

Agenda Item 3
455 Oak Knoll Drive
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Staking Diagram
Proposed Site Plan
Proposed West Front Elevation
Proposed North Elevation
Proposed East Elevation
Proposed South Elevation
Color Rendering
Roof Plan
Building Section
Proposed First Floor Plan
Proposed Second Floor Plan
Preliminary Site Grading Plan and Tree Removal Plan
Tree Inventory
Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.

455 Oak Knoll Drive

Consideration of a request for approval of a new residence, an attached garage, tree removal plan, a conceptual landscape plan and the overall site plan.

Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)

Contract Purchasers: Matthew and Kristine Bowersox

Project Representatives: Rick Swanson, architect

Jeff Letzter, project manager

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

Description of Property

The property is located on the east side of Oak Knoll Drive. The property is Lot 2 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 40,301 square feet. As established by the Plat of Subdivision there is a drainage and conservation easement at the east end of the property and a 10 foot drainage easement along the north property line.

The Board recently approved new residences on Lots 12 and 14 in this new subdivision, 1525 and 1545 Sage Court. This petition was submitted by the developer on behalf of the contract purchasers of Lot 2 of the Oak Knoll Subdivision. Plans for a new home at 1535 Sage Court, on Lot 13, will also be presented at the July meeting.

Review and Evaluation of Applicable Standards from the City Code

Below is a review of the standards outlined in the City Code for the Board's consideration.

Site Plan – This standard requires further due diligence.

The proposed residence faces west toward the street and is sited at an angle on the property, following the angle of the street. The attached three car garage faces north. A single curb cut is proposed at the northwest corner of the property and the driveway extends along the north side of the site to access the side load garage. Two walkways are proposed in the front yard, one stone stepper walkway is proposed from the front entrance to the driveway, and a paver walkway is proposed from the front entrance to the street. Paver stoops and steps are proposed on the rear side of the home.

The corners of the residence are staked on the site and a staking diagram is included in the Board's packet.

As currently proposed, the siting of the garage and driveway impacts a number of healthy Heritage Oak trees. Lesser quality trees and trees that are in poor condition are located on the south side of the site. The City Arborist requests further study of the site plan to preserve some of the Heritage Oak trees on the north side of the site, particularly in an effort to preserve trees #346 and #349 as labeled on the tree survey.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site totals 6,235 square feet and is equal to 16 percent of the lot area. The building footprint is 2,321 square feet, and hardscape and driveway surfaces total 3,914 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,024 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 502 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 4,900 square feet.
- The proposed garage totals 775 square feet, and
- In addition to the above square footage, a total of 54 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 124 square feet below the maximum allowable square footage.

At the maximum height, the residence is 32 tall as measured from the lowest point of existing grade adjacent to the home to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

Elevations – This standard is generally met.

Based on information provided in the petitioner's statement of intent, the proposed residence is designed in the French Provincial architectural style. The residence presents a primary two-and-a-half story mass with smaller two story masses on the north and east sides of the home, and a one-and-a-half story garage. The residence features mostly steeply pitched hip roof forms with a consistent 14:12 pitch. The two-story mass on the rear (east) side of the home has a more shallow 4:12 pitch. The home presents elements common to the French style, flared roof eaves, narrow casement windows, decorative metalwork and arched dormers.

The French doors on the front, rear and north elevations as currently proposed reflect only horizontal muntins. Staff recommends that a vertical muntin is added to the French doors to reflect a muntin pattern and proportions more consistent with the windows around the home.

Type, color, and texture of materials – This standard is generally met.

The exterior walls of the home will be painted brick. The main roof material is wood shingle. Copper is proposed for the dormer roofs and the roof on the rear two-story mass. Wood will be used for the fascia and soffits. The horizontal banding, door surrounds, window sills and trim will be cast stone. The face of the dormers will be wood and the dormer walls will be wood shingle to match the roof material. The widow's walk and balconies are wrought iron. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney is brick with a clay chimney pot. The front door is mahogany with wrought iron detailing and the garage doors are carriage style steel doors.

- Staff recommends that limestone is used in place of cast stone for the horizontal banding, window sills, trim and door surrounds to be consistent with the other high quality exterior materials that are proposed and to achieve the level of detail reflected in the architectural drawings. If the Board considers the use of cast stone, the specific stone should be mocked up on the site in an effort to avoid a stone that appears yellowish and less elegant than limestone.

The proposed color palette includes white painted brick, white windows, and white trim at the cornice and dormers. The cast stone horizontal banding, window trim, sills and door surrounds is proposed as light gray and, as noted above, will need to be carefully selected to achieve the desired tone. The balconies and widow's walk at the top of the main roof will be black. The main roof will be natural cedar shingle. The petitioner provided a color elevation to reflect the proposed color palette. The color elevation is included in the Board's packet.

Landscaping - This standard can be met.

As currently proposed, a total of 19 trees are proposed to be removed. There are no trees within the footprint of the residence that will be removed however there are several trees located in close proximity to the home and in the area of the driveway that will be impacted by the site plan as proposed. There are also a number of trees across the site that are proposed for removal because they are dead or in poor condition, no replacement inches are required for these trees.

The trees proposed for removal consist of Oak, Boxelder Maple, Elm and Ash trees. Nine Oak trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter. Based on the species, size and condition of these trees, a total of 214 replacement inches will be required to be planted on the site.

As shown on the plans, two Heritage Oak trees (labeled #307 and #377 on the tree survey and inventory) that are currently proposed for protection are located close to the driveway and garage apron. Given the location of the driveway and garage apron in relation to these trees, construction will likely negatively impact the root systems causing the trees to die within three years after construction. As noted above, consideration should be given to adjusting the site plan to preserve healthy Heritage trees. Even with modification of the site plan, the petitioner's Certified Arborist must provide a maintenance plan for these trees including pre and post construction treatment, to provide the best possible opportunity for these trees to survive and thrive long after construction is completed. If during construction, or as a result of construction, the Heritage Oak trees are negatively impacted, double inch for inch replacement will be required either through planting on site or with a payment in lieu of on site planting. The payment will be required prior to the issuance of a Certificate of Occupancy.

As noted above, there appears to be an opportunity to revisit the site plan and preserve some of the Heritage Oak trees on the north side of the site and reduce the number of higher quality and healthy trees proposed for removal and thereby reducing the number of replacement inches required.

The landscape plan submitted by the petitioner reflects shrub and ornamental plantings around the foundation of the home as well as a number of shade and evergreen trees across the site. Foundation plantings and minimal plantings on the site are required by the Code separate and apart from replacement plantings for trees that are proposed for removal. The landscape plan reflects new shade and ornamental trees in the front yard that will help to soften the appearance of the new residence from the street. In the rear yard, several evergreen and shade trees are proposed. A hedge of semi-evergreen plantings are proposed along the north property line to screen views of the driveway and garage doors.

Based on the landscape plan, the total number of replacement inches is not yet satisfied. As the landscape plan is further developed the required replacement inches will need to be incorporated as part of the final landscape plan to the extent possible using good forestry practices and avoiding

overplanting. Any required replacement inches that cannot be accommodated on the site will require a payment in lieu of on site planting.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the petition subject to the following conditions:

1. The site plan shall be modified in consultation with the petitioner's certified arborist, to preserve the most significant Heritage Oak trees on the site. The revised site plan shall be subject to review and approval by City staff and the City's Certified Arborist in consultation with the Chairman. If a satisfactory site plan cannot be reached the petition may be directed to return to the Board for review.
2. Limestone shall be used for all horizontal banding, window sills, trim and door surrounds.
3. A vertical muntin shall be incorporated in the French doors to reflect a muntin pattern and proportions more consistent with the windows around the home.
4. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
5. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site.
6. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
7. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
8. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during

construction, must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, a maintenance plan, including pre and post construction treatment for trees to be preserved must be submitted.

9. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
10. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 455 Oak Knoll Drive Owner(s) Fidelity Wes of Oak Knoll LLC

Representative Rick Swanson, Architect
Jeff Letzter, Project Manager Reviewed by: Jen Baehr

Date 7/7/2021

Lot Area 40301 sq. ft.

Square Footage of New Residence:

1st floor 2263 + 2nd floor 2637 + 3rd floor 0 = 4900 sq. ft.

Design Element Allowance = 502

Total Actual Design Elements = 54 Excess = 0 sq. ft.

Garage 775 sf actual ; 800 Excess = 0 sq. ft.

Garage Width 22'-10" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 4900 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5024 sq. ft.

DIFFERENTIAL = -124 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 32 ft.

NET RESULT:

124 sq. ft. is

2% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 502 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 28 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

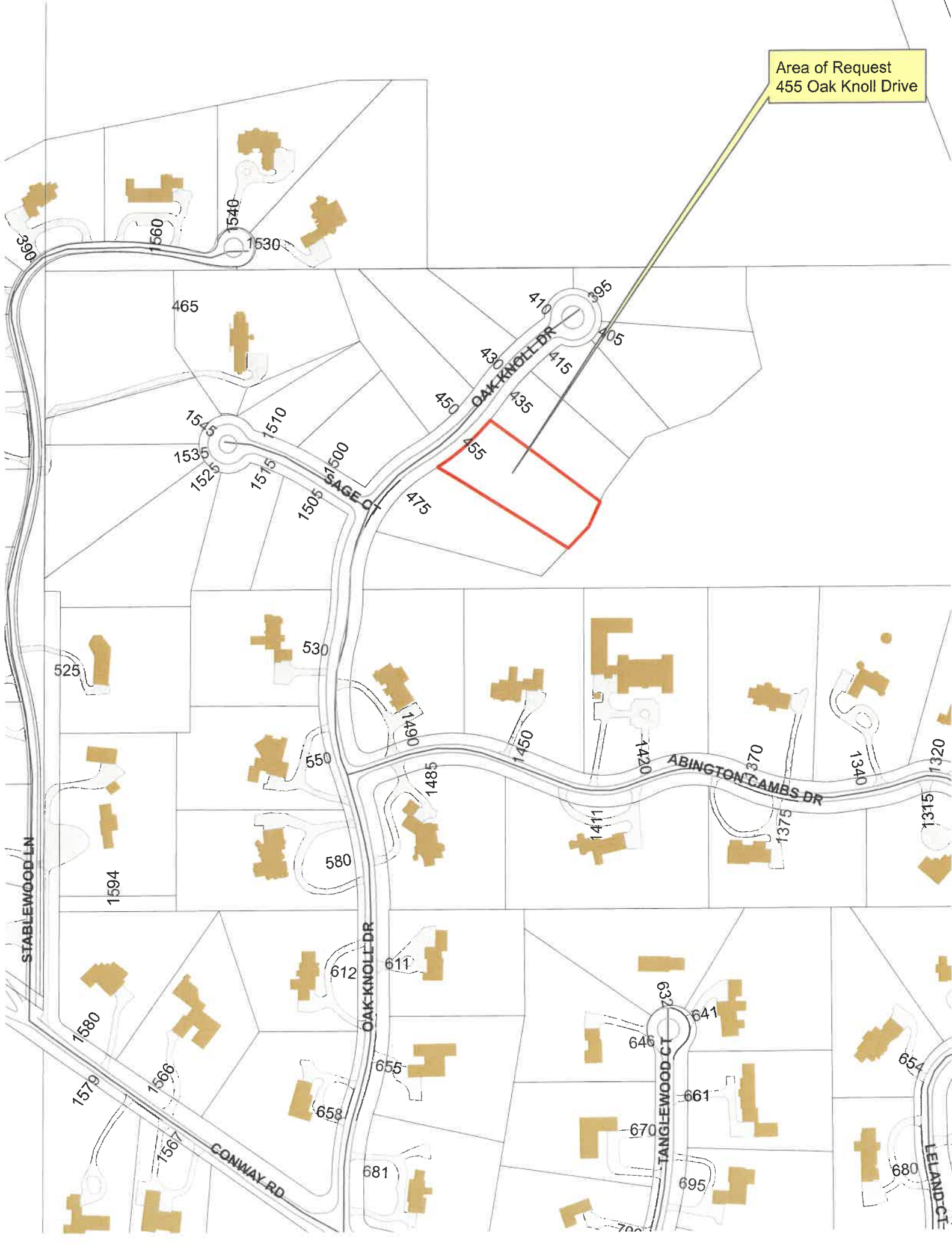
Individual Dormers = 26 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 54 sq. ft.

Excess Design Elements = 0 sq. ft.

Area of Request
455 Oak Knoll Drive



Area of Request
455 Oak Knoll Drive





Area of Request
455 Oak Knoll Drive



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS LOT #2 DAK KNOW WOODLANDS

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

FIDELITY WES OF DAK KNOW WOODLANDS
Owner of Property

201 ROBERT PARKER COFFIN RD
Owner's Street Address (may be different from project address)

LAKE FOREST, ILL 60047
City, State and Zip Code

941 980-9686
Phone Number

Fax Number

MIKE@FIDELITYWES.COM
Email Address

Mike New
Owner's Signature

ARCHITECT/BUILDER INFORMATION

RICK SWANSON AIA, NCARB
Name and Title of Person Presenting Project

R.M. SWANSON ARCHITECTS PC
Name of Firm

11418 E MISSION LN
Street Address

SCOTTSDALE, AZ 85259
City, State and Zip Code

941 751-3175
Phone Number

Fax Number

RICK@RMSWANSON.COM
Email Address

RSWANSON
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MIKE DEMAR</u>	Name _____
Address <u>201 Robert Parker Way</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



11418 E Mission Ln.
Scottsdale, AZ 85259
(847) 757-3975

Jennifer Baehr
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

June 28, 2021

Re: The Bowersox Residence

Ms. Baehr,

Our firm was recently retained by Fidelity Wes Builders to assist in completion of design approvals for the proposed new homes in the Oak Knoll Woodlands. As you know we were the original developers for this project and wrote the Design Guidelines that were initially a condition of approval for the project. Our roll in this is to assist the proposed buyers with the exterior design process based on their personal taste to assure the result is consistent with the originally approved development and appropriately compliments the existing neighborhoods around it. We intend to present two new petitions to the Building Review Board at the July 7th meeting. For purposes of clarity, I will be providing a separate project narrative for the Heckenbach residence.

We are respectfully requesting the Building Review Boards consideration and approval of the planned two-story residence for Matthew and Kristine Bowersox at 455 Oak Knoll Road. The proposed architectural vernacular is best described as a more simplified interpretation of the French Provincial style with long casement windows, light brick veneer and cut limestone trim elements. Wrought iron has been implemented to offer a subtle contrast to the intentionally monolithic palette of the exterior materials. A "widow's walk" has been added to the main roof to create a sense of hierarchy and offer a relief to the parapet roof form.

The proposed exterior materials will be as follows:

Roof: Medium Cedar shingles

Wrought Iron: Black

Face Brick: Belden Brick Co. (Alaska White Velour)

Windows: SDL aluminum clad (white)

Exterior Trim: Smooth cedar (white)

Entrance Surround: Cast stone (light gray)

Window Trim & Sills: Cast stone (light gray)

Wall Banding: Cast stone (light grey)

Chimney Flue: Superior Clay Products 24" "Savoy"

Porch and Steps: Slate patina

Front Door: Dark mahogany with black wrought iron scroll grill

Garage Doors: Dark Mahogany painted

We appreciate this opportunity to present the proposed Bowersox residence on July 7th. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line.

Rick Swanson AIA, NCARB
R.M. Swanson Architects PC



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish white

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material cultured stone
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material cultured stone
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Color of Material _____

Flashing Material

- ☒ Copper
☒ Sheet Metal *Welded Flashing*
☐ Other _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

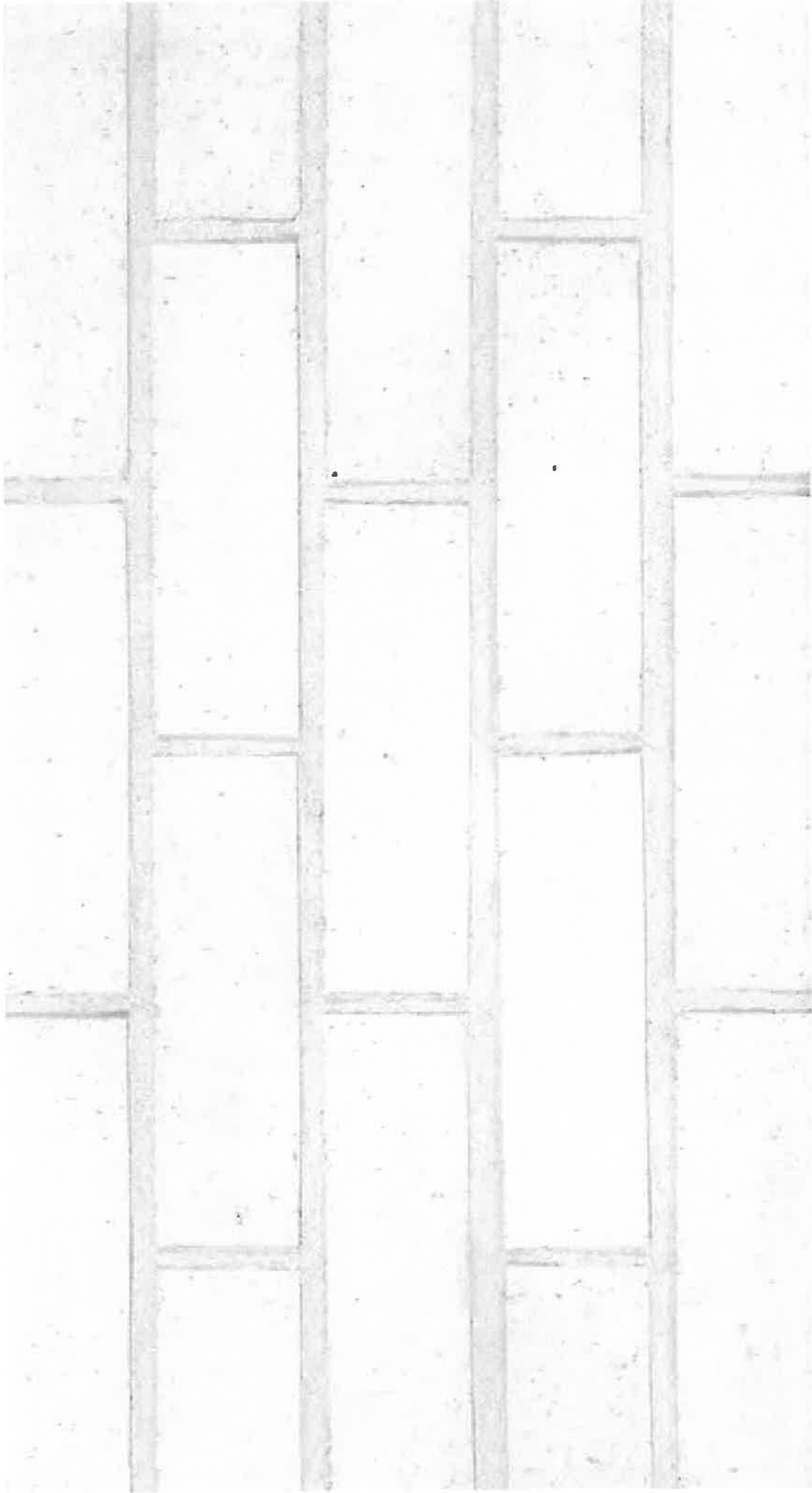
Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

PROPOSED BRICK IMAGE



BLECK

engineers | surveyors

Black Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

455 OAK KNOLL DRIVE
Lake Forest, IL



Source Benchmark
City of Lake Forest Monument #10
Brass Disk in Concrete at NE Corner
Oak Knoll Dr. & Conway Rd. Intersection
Elev. 597.44 (NAVD 83)

Site Benchmark
Masthead on Fire Hydrant at
Edging Oak Knoll Drive Cul-de-sac
Elev. 654.21 (NAVD 83)

ISSUED DATE ISSUED FOR

01/08/2021	SRB

PROFESSIONAL SEAL

"To the best of our knowledge and belief,
the drainage of the surface waters will
not be changed by the construction of
this project or any part thereof, or that if
such surface waters drainage will be
changed, reasonable provisions have
been made for the collection and
disposal of such surface waters into
public areas or drains which the
developer has a right to use, and that
such surface waters will be planned for
in accordance with generally accepted
engineering practices so as to reduce
the likelihood of the damage to the
adjoining property because of the
construction of the project."

Michael G. Bleck, PE 08.08.2021
License No. 088388888 Expires 12/31/2024
© 2021 Black Engineering Company, Inc. All Rights Reserved
Black Engineering Company, Inc. 088388888

FIDELITY WES
201 Robert Parker Coffin Rd.
Long Grove, Illinois 60045

70-859-2 Project No.
MGB/CBS Drawn By
MGB Checked By

Drawing No.

3

Drawing Name
Site Grading Plan

455 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

Impervious Surface Calculation

Lot Area	sq. ft.	acre
40301	0.925	

Existing Conditions

	sq. ft.	acre
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
Walkways	0	0.000
Shed	0	0.000
Total	0	0.000

Percent Impervious

0.0%

Proposed Conditions

	sq. ft.	acre
House	2321	0.053
Stoops	174	0.004
Driveway	3143	0.072
Patio	0	0.000
Walkways	522	0.014
Total	6235	0.143

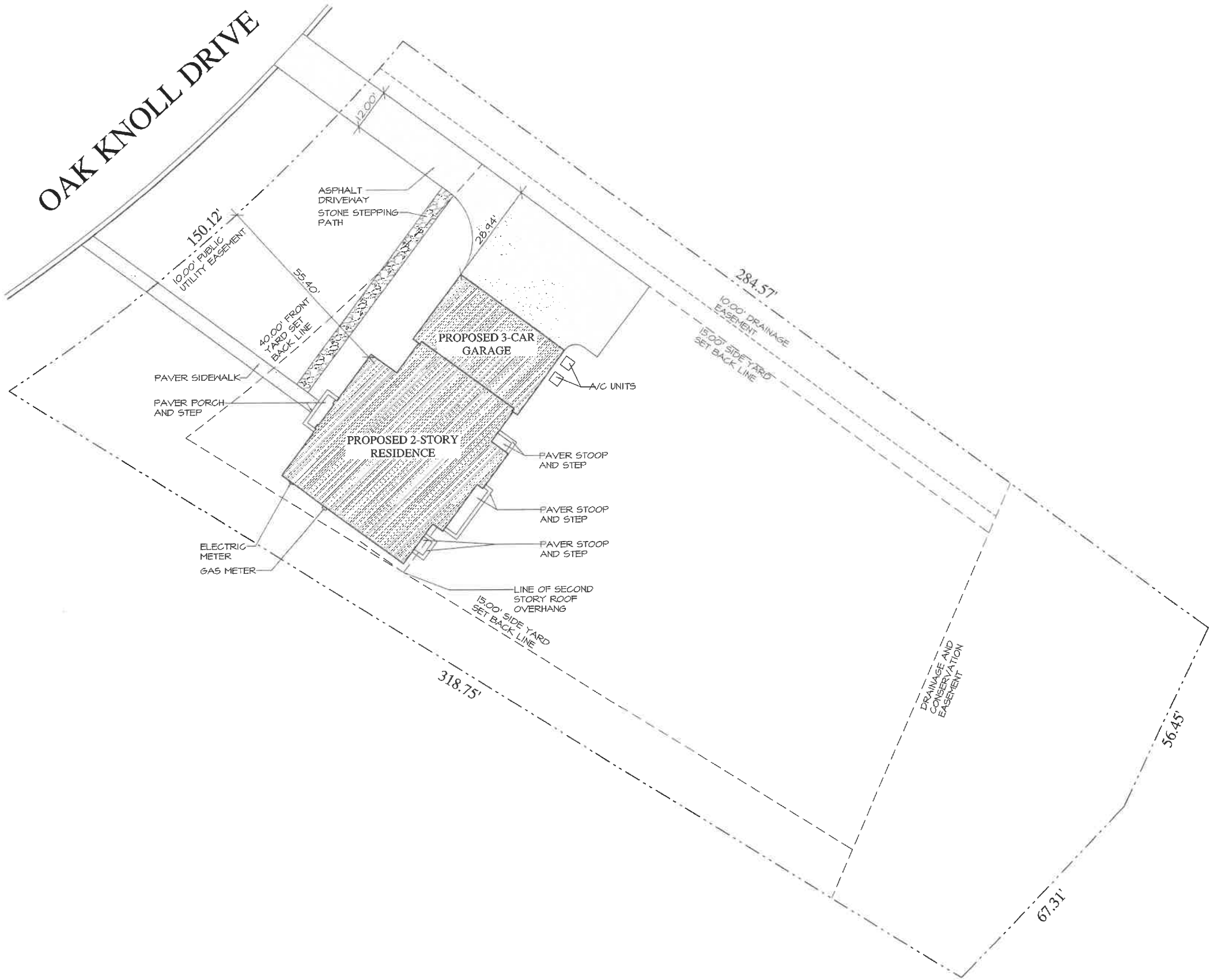
Percent Impervious

15.5%

TREE INVENTORY BY:
URBAN FOREST MANAGEMENT
UPDATED MAY 7, 2021
CONDITION
1-EXCELLENT
2-GOOD-FAIR
3-FAIR
4-FAIR-POOR
5-POOR
6-DEAD

WHITE OAK
RED OAK
BUR OAK
BLACK WALNUT
GREEN ASH, BOX ELDER
SHAGBARK HICKORY

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Remarks/Status	Comments	Co-located at 4.5' DBH
323	Green Ash	Fraxinus pennsylvanica	25	5	4	minor deadwood, sweeping, broken off	emerald ash borer	Dead	
324	Green Ash	Fraxinus pennsylvanica	17	5	4	minor deadwood, one sided, under-topped, slight sweep, sparse foliage	emerald ash borer	Dead	
325	Green Ash	Fraxinus pennsylvanica	18	6	3	leaf in trunk	emerald ash borer	Dead	
326	White Oak	Quercus alba	35	3	3	minor deadwood, sweep, over-topped, multiple leaders			
327	Boxelder Maple	Acer negundo	8	5	5	minor deadwood, sweep, over-topped, sparse foliage			
328	Green Ash	Fraxinus pennsylvanica	35	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer		
329	Green Ash	Fraxinus pennsylvanica	22	5	4	one sided, over-topped, slight sweep	emerald ash borer	Dead	
330	Green Ash	Fraxinus pennsylvanica	15	5	4	one sided, over-topped, slight sweep	emerald ash borer	Dead	
331	Red Oak	Quercus rubra	39	4	4	broken limbs, basal decay, slight lean, heavy deadwood, hollow			
332	White Oak	Quercus alba	32	3	4	heavy deadwood, one sided, slight sweep			
333	White Oak	Quercus alba	29	4	4	minor deadwood, basal decay, sweep, hollow, multiple leaders			
334	White Oak	Quercus alba	25	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
335	Green Ash	Fraxinus pennsylvanica	17	5	4	minor deadwood, sweep, over-topped, sparse foliage	emerald ash borer	Dead	
336	Red Oak	Quercus rubra	32	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
337	Red Oak	Quercus rubra	28	3	4	minor deadwood, basal decay, sweep, hollow, multiple leaders			
338	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
339	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
340	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
341	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
342	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
343	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
344	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
345	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
346	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
347	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
348	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
349	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
350	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
351	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
352	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
353	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
354	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
355	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
356	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
357	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
358	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
359	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
360	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
361	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
362	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
363	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
364	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
365	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
366	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
367	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
368	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
369	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
370	Red Oak	Quercus rubra	15	3	3	minor deadwood, basal decay, sweep, hollow, multiple leaders			
371	White Oak	Quercus alba	25	3	4	minor deadwood, epicormics, leaf in trunk, double leader			
372	Red Oak	Quercus rubra	23	3	3	minor deadwood, epicormics, leaf in trunk, double leader			
373	Red Oak	Quercus rubra	32	3	3	heavy deadwood, slight sweep, multiple leaders			
374	White Oak	Quercus alba	29	3	3	minor deadwood, over-topped, epicormics, slight sweep			
375	Black Walnut	Juglans nigra	28	3	3	broken limbs, minor deadwood, multiple leaders			
376	White Oak	Quercus alba	21	3	4	minor deadwood, one sided, over-topped, epicormics			
377	Red Oak	Quercus rubra	21	3	4	minor deadwood, one sided, epicormics			
378	Red Oak	Quercus rubra	28	4	4	basal decay, one sided, over-topped, slight sweep			
379	Red Oak	Quercus rubra	22	3	4	heavy deadwood, epicormics, slight lean, sweep			
380	White Oak	Quercus alba	25	3	4	minor deadwood, sweep			
432	Green Ash	Fraxinus pennsylvanica	22	4	4	minor deadwood, basal decay, weak crown, slight sweep, double leader, hollow			
433	White Oak	Quercus alba	13	3	4	minor deadwood, over-topped, epicormics, slight sweep			
434	Black Walnut	Juglans nigra	8.75	5	4	minor deadwood, slight lean, multiple leaders			
435	Red Oak	Quercus rubra	9	2	4	excessive lean, thin crown			
436	Hill's Oak	Quercus ellipsoidalis	15	3	3	minor deadwood, leaf in trunk, double leader			
437	Hill's Oak	Quercus ellipsoidalis	10	3	4	minor deadwood, excessive lean, slight sweep, one sided			
438	Silver Maple	Acer saccharinum	12	5	3	trunk scar, one sided, decay, stem infection, bark in trunk			
439	Red Oak	Quercus rubra	9	3	3	minor deadwood, one sided, multiple leaders			
440	Red Oak	Quercus rubra	9	3	3	minor deadwood, one sided, epicormics			
441	Red Oak	Quercus rubra	9	3	4	slight lean, trunk scar, one sided, epicormics			
442	Red Oak	Quercus rubra	11	2	3	one sided, slight lean, thin crown			
443	American Elm	Ulmus americana	8	6	8	top broken off			
444	Red Oak	Quercus rubra	9.75	2	3	thin crown, slight lean, minor deadwood			
445	Green Ash	Fraxinus pennsylvanica	9	5	3	minor deadwood, slight lean, double leader, sucking, dieback	emerald ash borer	Dead	
446	Red Oak	Quercus rubra	4	6	4				
447	Red Oak	Quercus rubra	8	2	4	minor deadwood, one sided			
448	Red Oak	Quercus rubra	9	2	3	minor deadwood, thin crown, slight lean			
449	Red Oak	Quercus rubra	8	2	3	one sided, slight lean			



1 SITE PLAN
AR 01

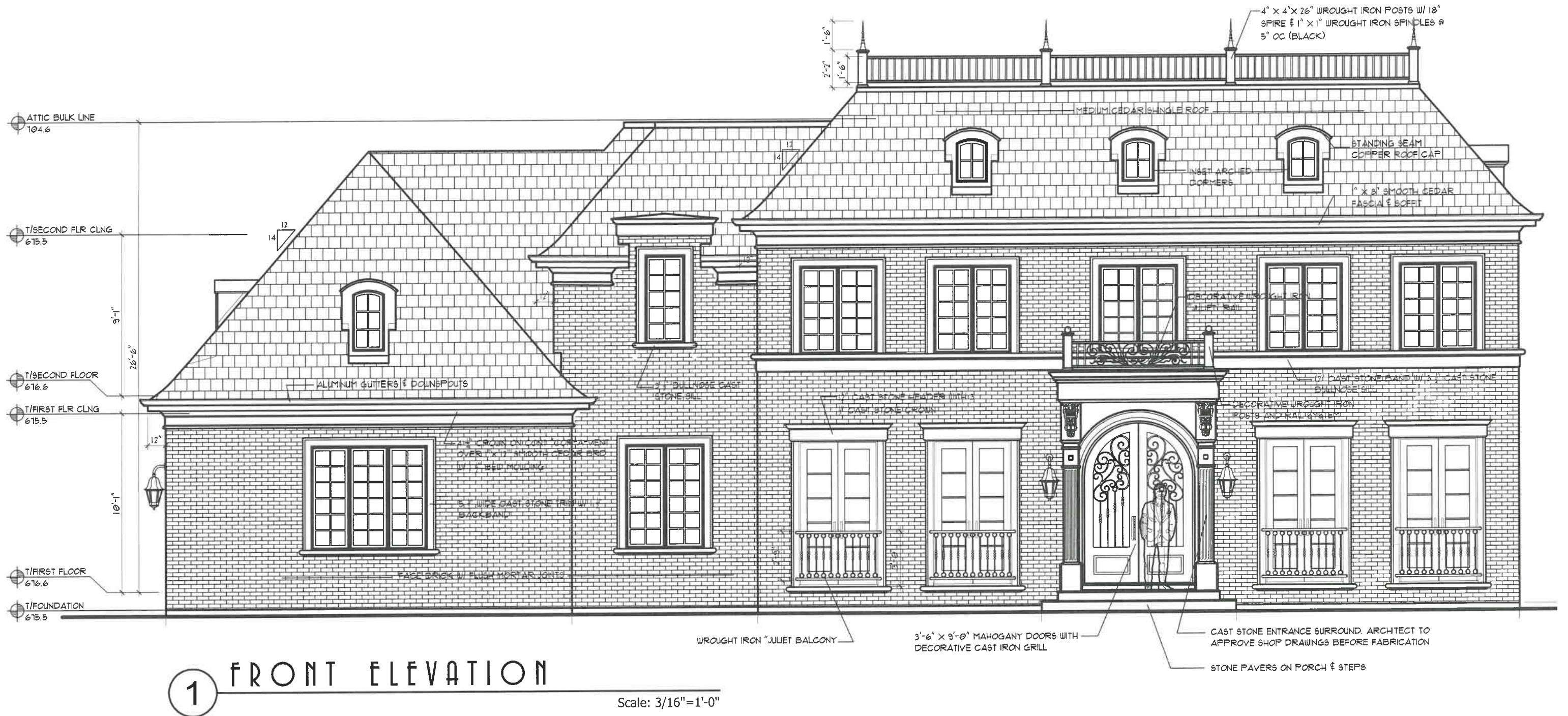


NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 2 BOWERSOX RESIDENCE 455 OAK KNOLL DRIVE OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
04/02/2021 REVIEW	04/09/2021 REVIEW
04/13/2021 REVIEW	04/20/2021 REVIEW
04/23/2021 REVIEW	04/28/2021 REVIEW
04/29/2021 REVIEW	04/29/2021 REVIEW

26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847.457.2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 18400854	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT # DRAWN BY:	AD21105 COM/MB
LOT 2 SITE PLAN	
AR 01	
# 1 OF TOTAL SHEETS	



THE BOWERSOX RESIDENCE
455 OAK KNOLL DR.
LAKE FOREST, ILLINOIS

June 28 2021

RM
SWANSON
ARCHITECTS

11418 E MISSION LN.
SCOTTSDALE, ARIZONA 85259
847 757-3975
rick@rmswanson.com



2 LEFT SIDE ELEVATION

Scale: 3/16"=1'-0"

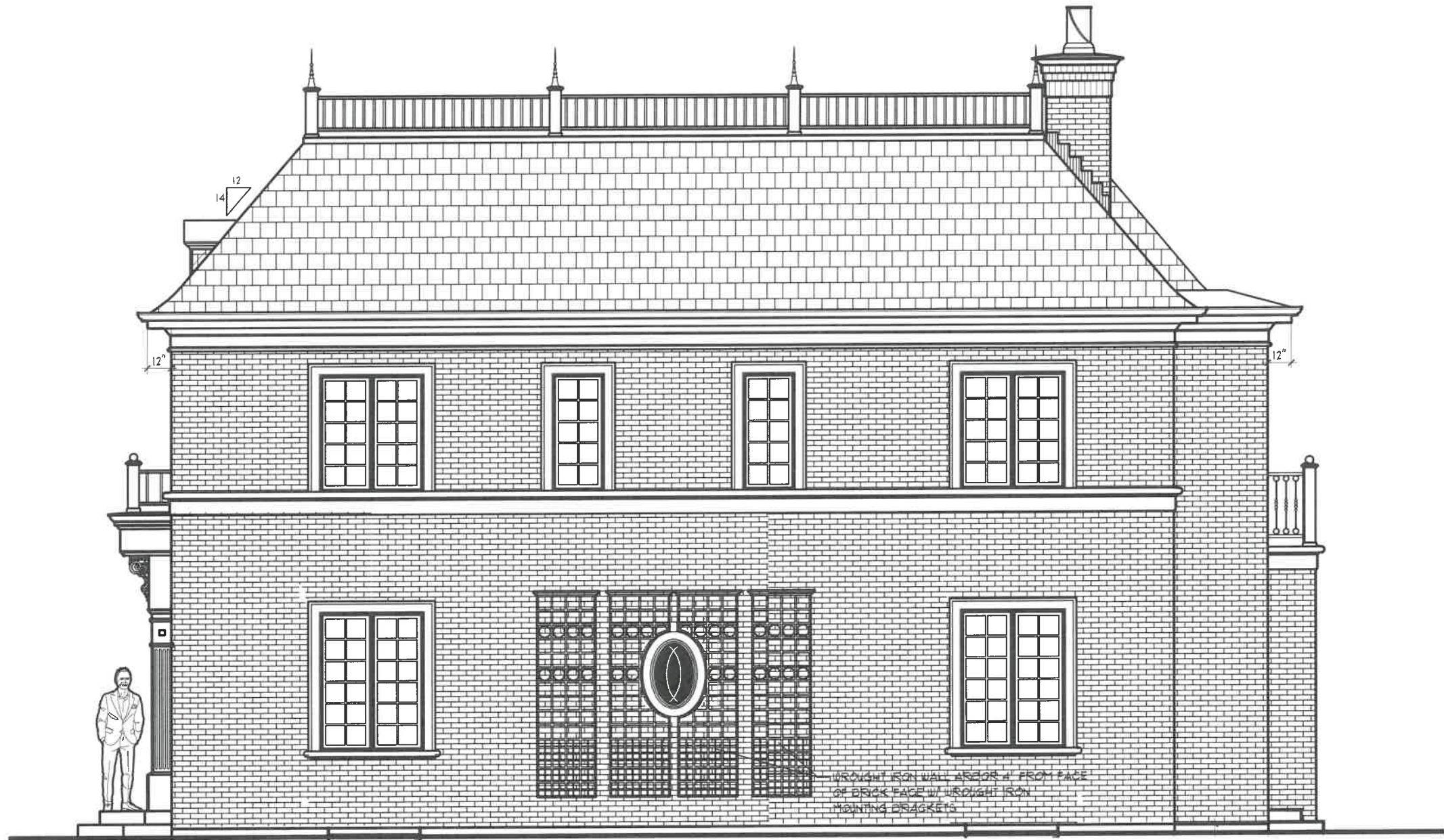
THE BOWERSOX RESIDENCE
455 OAK KNOLL DR.
LAKE FOREST, ILLINOIS



3 REAR ELEVATION

Scale: 3/16"=1'-0"

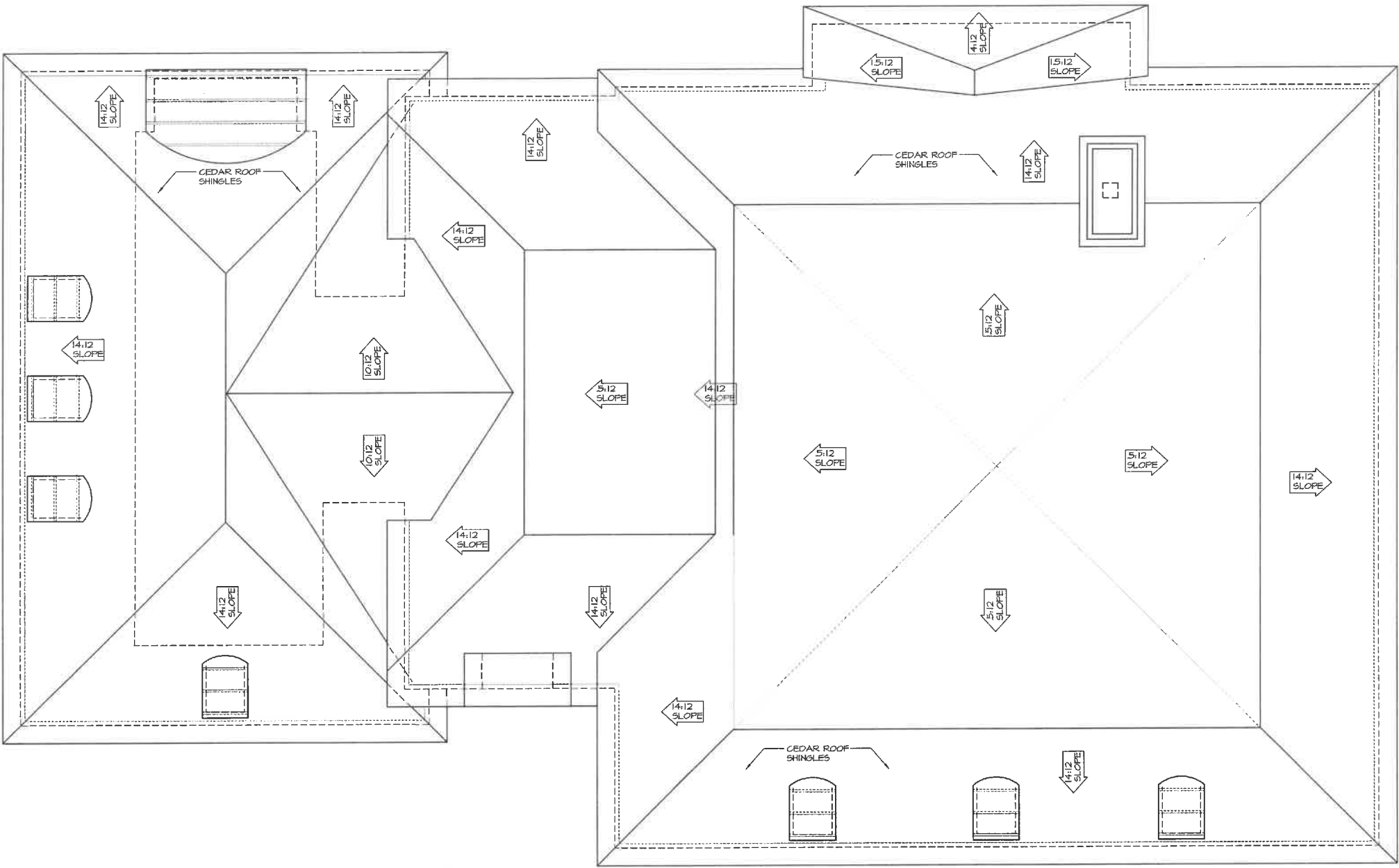
THE BOWERSOX RESIDENCE
455 OAK KNOLL DR.
LAKE FOREST, ILLINOIS



4 RIGHT SIDE ELEVATION
Scale: 3/16"=1'-0"

THE BOWERSOX RESIDENCE
455 OAK KNOLL DR.
LAKE FOREST, ILLINOIS





ROOF PLAN

1
AR 09

ROOF PLAN

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

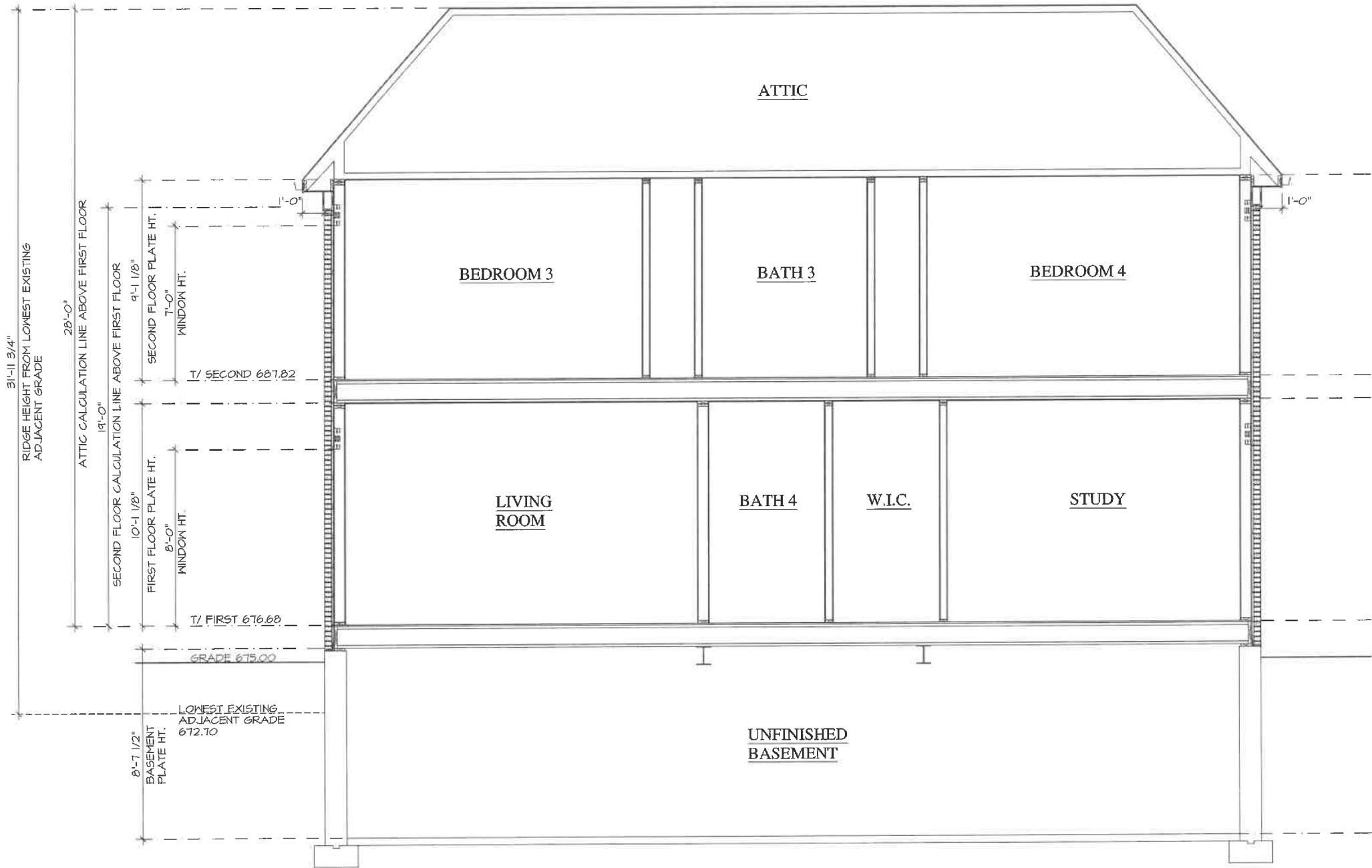
© COPYRIGHT 2021

REVIEW ONLY-NOT FOR CONSTRUCTION

PROJECT # AD21105	
DRAWN BY: COM/MB	
LOT 2 ROOF PLAN	
AR 09	
# 9 OF TOTAL SHEETS	

ASPECT DESIGN INC. ARCHITECTS	
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 18-004551	
REVIEW	04/02/2021
REVIEW	04/09/2021
REVIEW	04/13/2021
REVIEW	04/20/2021
REVIEW	04/23/2021
REVIEW	04/28/2021
REVIEW	04/29/2021
REVIEW	06/09/2021

FIDELITY WES	
LOT 2 BOWERSOX RESIDENCE	
455 OAK KNOLL DRIVE OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	




1 BUILDING SECTION
AR 11

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-04354



ASPECT DESIGN INC.
ARCHITECTS

REVIEW	04/02/2021
REVIEW	04/09/2021
REVIEW	04/13/2021
REVIEW	04/20/2021
REVIEW	04/23/2021
REVIEW	04/28/2021
REVIEW	04/29/2021
REVIEW	06/22/2021

PROJECT # AD21105

DRAWN BY: COM/MB


LOT 2
BUILDING SECTION

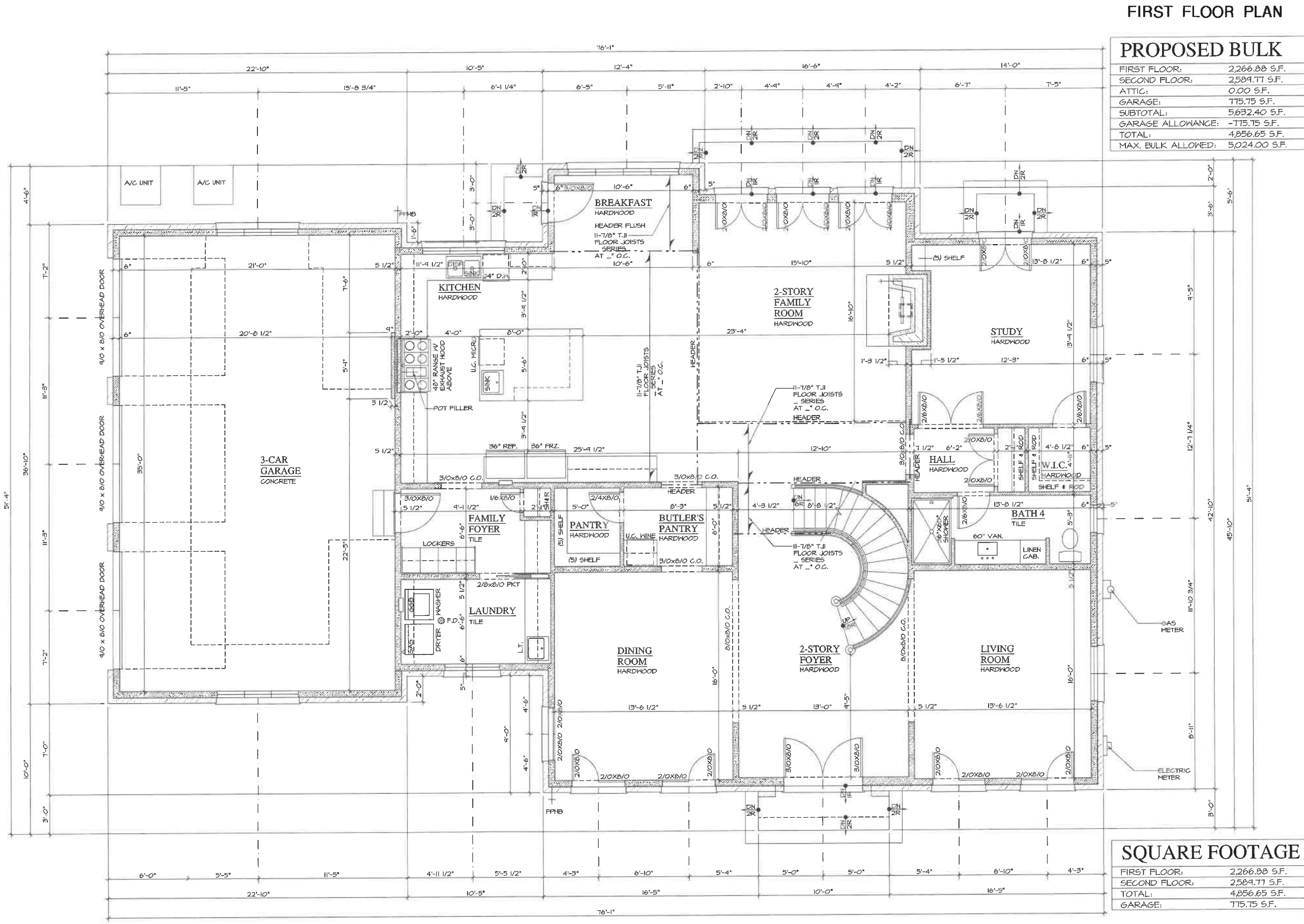
AR 10

10 OF TOTAL SHEETS

LOT 2
BOWERSOX RESIDENCE

455 OAK KNOLL DRIVE
OAK KNOLL WOODLANDS SUBDIV.
LAKE FOREST, IL 60045

FIDELITY WES



FIRST FLOOR PLAN

PROPOSED BULK	
FIRST FLOOR:	2,266.88 S.F.
SECOND FLOOR:	2,589.77 S.F.
ATTIC:	0.00 S.F.
GARAGE:	775.75 S.F.
SUBTOTAL:	5,632.40 S.F.
GARAGE ALLOWANCE:	-775.75 S.F.
TOTAL:	4,856.65 S.F.
MAX. BULK ALLOWED:	5,024.00 S.F.

SQUARE FOOTAGE

FIRST FLOOR:	2,266.88 S.F.
SECOND FLOOR:	2,589.77 S.F.
TOTAL:	4,856.65 S.F.
GARAGE:	775.75 S.F.

1

AR 07

FIRST FLOOR PLAN

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 2

BOWERSOX RESIDENCE

455 OAK KNOLL DRIVE
OAK KNOLL WOODLANDS SUBDV.
LAKE FOREST, IL 60045

FIDELITY WES

04/07/2021

REVIEW

04/09/2021

REVIEW

04/13/2021

REVIEW

04/20/2021

REVIEW

04/23/2021

REVIEW

04/28/2021

REVIEW

04/29/2021

REVIEW

06/09/2021

REVIEW

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
TEL LICENSE # 18460004

ASPECT DESIGN INC.

ARCHITECTS

PROJECT #

AD21105

DRAWN BY:

COM/MB

LOT 2

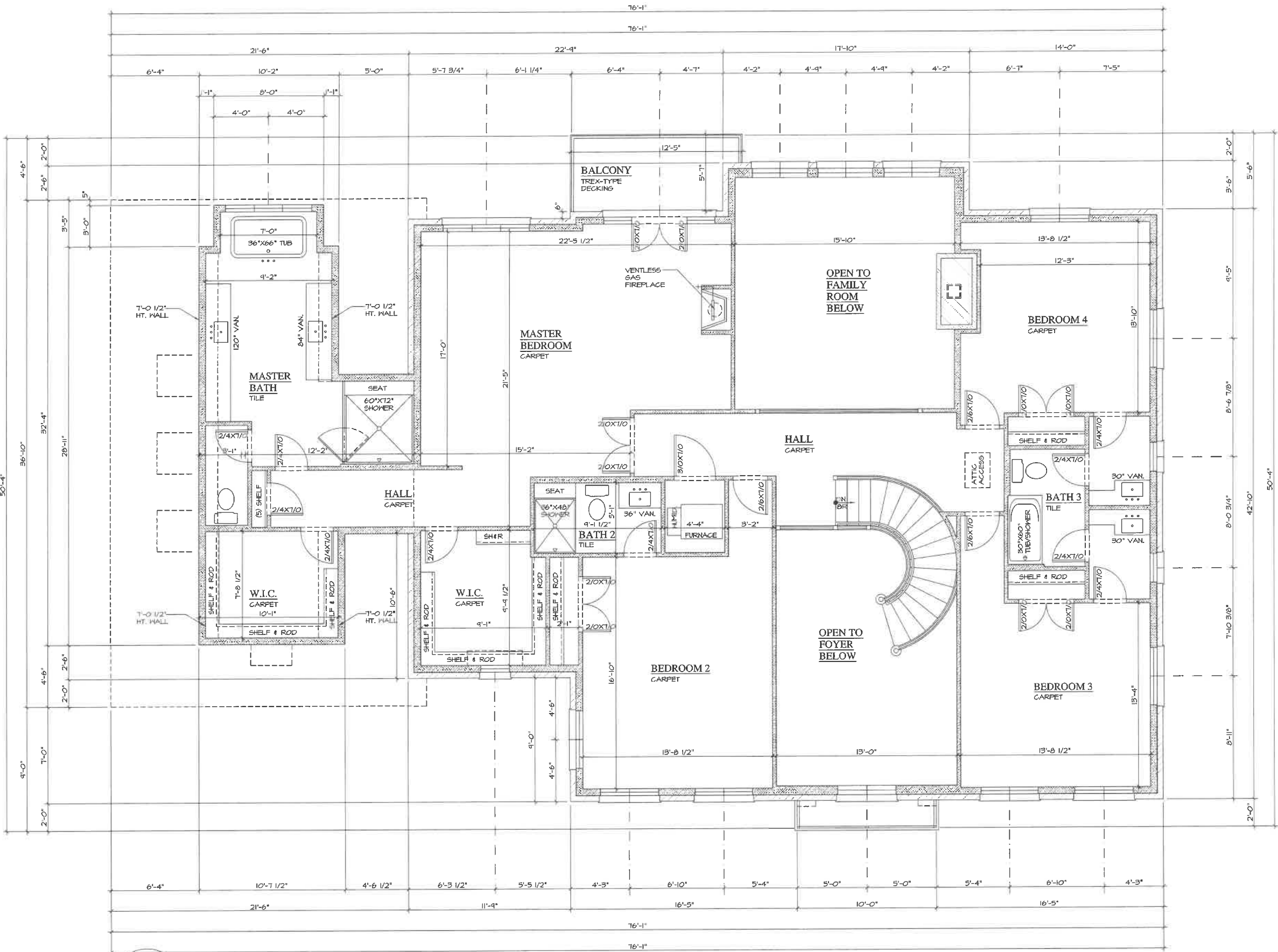
FIRST FLOOR PLAN

AR 07

7 OF

TOTAL SHEETS

© COPYRIGHT 2020



1
AR 08
SECOND FLOOR PLAN

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2021

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 2 BOWERSOX RESIDENCE 455 OAK KNOLL DRIVE OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
04/02/2021 REVIEW	04/09/2021 REVIEW
04/13/2021 REVIEW	04/20/2021 REVIEW
04/23/2021 REVIEW	04/28/2021 REVIEW
04/29/2021 REVIEW	05/09/2021 REVIEW
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM TEL: LICENSE # 18404034	
PROJECT # AD21103 DRAWN BY: COM/MB LOT 2 SECOND FLOOR PLAN	
AR 08	
# 8 OF TOTAL SHEETS	

PRELIMINARY SITE GRADING PLAN & TREE REMOVAL PLAN

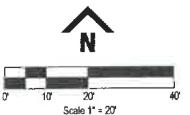
BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

455 OAK KNOLL DRIVE

Lake Forest, IL



Source Benchmark:
City of Lake Forest Monument #10
Brass Disk in Concrete at NE Corner
Oak Knoll Dr. & Conway Rd. Intersection
Elev. 697.44 (NAVD 88)

Site Benchmark:
Muelle: Nut on Fire Hydrant at
Existing Oak Knoll Drive Cul-de-sac
Elev. 684.21 (NAVD 88)

ISSUED DATE ISSUED FOR
06.08.2021 BRB

PROFESSIONAL SEAL
"To the best of our knowledge and belief,
the drainage of the surface waters will
not be changed by the construction of
this project or any part thereof, or that if
such surface waters drainage will be
changed, reasonable provisions have
been made for the collection and
diversion of such surface waters into
public areas or drains which the
developer has a right to use, and that
such surface waters will be planned for
in accordance with generally accepted
engineering practices so as to reduce
the likelihood of the damage to the
adjoining property because of the
construction of the project."



Michael G. Bleck, PE 06.08.2021
License No. 042.048891 Expires 11/30/21

FIDELITY WES
201 Robert Parker Coffin Rd.
Long Grove, Illinois 60045

70-859-2 Project No.
MGB/CBS Drawn By
MGB Checked By

Drawing No.

3

Drawing Name
Site Grading Plan



HERITAGE OAK TREES
IMPACTED BY CONSTRUCTION



TREES PROPOSED FOR REMOVAL



455 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

Impervious Surface Calculation

Lot Area 40301 0.925

Existing Conditions

	sq ft	acre
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	0.000
Total	0	0.000

Percent Impervious 0.0%

Proposed Conditions

	sq ft	acre
House	2321	0.053
Stoops	174	0.004
Driveway	3143	0.072
Patio	0	0.000
Walkways	597	0.014
Total	6235	0.143

Percent Impervious 15.5%

TREE INVENTORY BY:
URBAN FOREST MANAGEMENT
UPDATED MAY 7, 2021
CONDITION
1-EXCELLENT
2-GOOD-FAIR
3-FAIR
4-FAIR/POOR
5-POOR
6-DEAD

WHITE OAK
RED OAK
BUR OAK
BLACK WALNUT
GREEN ASH, BOX ELDER
SHAGBARK HICKORY

Ty No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
282	Green Ash	Fraxinus pennsylvanica	26	5	3	missing decay, top broken off	emerald ash borer	Dead		Heritage Tree (DQ Condition)
284	Green Ash	Fraxinus pennsylvanica	18	6	3	heavy deadwood, one sided, suckering, slight sweep, sparse foliage	emerald ash borer	Dead		Heritage Tree (DQ Condition)
301	White Oak	Quercus alba	33	3	3	minor deadwood, weak crotch, multiple leaders	emerald ash borer			Heritage Tree
302	Boxelder Maple	Acer negundo	8	3	5	minor deadwood, sweep, over-topped, sparse foliage				
303	Green Ash	Fraxinus pennsylvanica	15	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer			
304	Green Ash	Fraxinus pennsylvanica	30	5	4	one sided, over-topped, slight sweep	emerald ash borer	Dead		
305	Green Ash	Fraxinus pennsylvanica	19	5	6	broken limbs, basal decay, slight lean, heavy deadwood, hollow	emerald ash borer	Dead-fallen		
306	Red Oak	Quercus rubra	29	4	4	heavy deadwood, one sided, slight sweep				Heritage Tree (DQ Condition)
307	White Oak	Quercus alba	32	3	4	minor deadwood, basal decay, sweep, hollow, multiple leaders				Heritage Tree (DQ Condition)
308	White Oak	Quercus alba	29	4	4	heavy deadwood, basal decay, sweep, hollow, multiple leaders				Heritage Tree (DQ Condition)
345	White Oak	Quercus alba	25	3	3	heavy deadwood, weak crotch				Heritage Tree (DQ Condition)
347	Red Oak	Quercus rubra	43	4	3	broken limbs, basal decay, one sided, multiple leaders				Heritage Tree (DQ Condition)
348	Green Ash	Fraxinus pennsylvanica	17	5	4	suckering	emerald ash borer			Heritage Tree
349	Red Oak	Quercus rubra	32	3	3	minor deadwood, basal decay, one sided, mechanical damage, basal scar				Heritage Tree
350	Shagbark Hickory	Carya ovata	10.75	3	4	over-topped, slight sweep, double leader				Heritage Tree
351	Bur Oak	Quercus macrocarpa	28	3	4	minor deadwood, weak crotch, sweep				Heritage Tree (DQ Condition)
353	Red Oak	Quercus rubra	15	3	3	minor deadwood, weak crotch, slight lean, double leader				Heritage Tree
356	Red Oak	Quercus rubra	10	2	4	one sided, over-topped, slight lean				Heritage Tree
367	Red Oak	Quercus rubra	11	2	3	over-topped				Heritage Tree
368	Bur Oak	Quercus macrocarpa	34	3	4	minor deadwood, one sided, slight lean, slight sweep				Heritage Tree (DQ Condition)
369	Red Oak	Quercus rubra	31	4	3	minor deadwood, basal decay, weak crotch, damaged leader, multiple leaders				Heritage Tree
370	Bur Oak	Quercus macrocarpa	33	3	4	minor deadwood, one sided, epicormics, double leader, weak crotch				Heritage Tree
371	White Oak	Quercus alba	18	3	4	sweep, over-topped, epicormics, minor deadwood				Heritage Tree (DQ Condition)
372	Red Oak	Quercus rubra	23	3	3	minor deadwood, epicormics, twist in trunk, double leader				Heritage Tree
373	Red Oak	Quercus rubra	32	3	4	heavy deadwood, slight sweep, multiple leaders				Heritage Tree
374	White Oak	Quercus alba	19	3	4	minor deadwood, over-topped, epicormics, slight sweep				Heritage Tree
375	Black Walnut	Juglans nigra	28	3	3	broken limbs, minor deadwood, multiple leaders				Heritage Tree
376	White Oak	Quercus alba	21	3	4	minor deadwood, one sided, over-topped, epicormics				Heritage Tree
377	Red Oak	Quercus rubra	21	3	4	minor deadwood, one sided, epicormics				Heritage Tree (DQ Condition)
378	Red Oak	Quercus rubra	28	4	4	basal decay, one sided, over-topped, slight sweep				Heritage Tree
379	Red Oak	Quercus rubra	22	3	4	heavy deadwood, epicormics, slight lean, sweep				Heritage Tree
380	White Oak	Quercus alba	25	2	4	minor deadwood, sweep				Heritage Tree (DQ Condition)
412	Bur Oak	Quercus macrocarpa	35	4	4	minor deadwood, basal decay, weak crotch, slight sweep, double leader, hollow				Heritage Tree
413	White Oak	Quercus alba	13	3	4	minor deadwood, over-topped, epicormics, slight sweep				Heritage Tree
414	Black Walnut	Juglans nigra	9.75	3	4	minor deadwood, slight lean, multiple leaders				Heritage Tree
415	Red Oak	Quercus rubra	9	2	4	excessive lean, thin crown				Heritage Tree
416	Hill's Oak	Quercus ellipsoidalis	15	3	3	minor deadwood, twist in trunk, double leader				Heritage Tree
417	Hill's Oak	Quercus ellipsoidalis	10	3	4	minor deadwood, excessive lean, slight sweep, one sided				Heritage Tree
430	Silver Maple	Acer saccharinum	12	3	3	trunk scar, one sided, decay, vine infested, twist in trunk				Heritage Tree
431	Red Oak	Quercus rubra	11	2	3	minor deadwood, one sided, multiple leaders				Heritage Tree
432	Bur Oak	Quercus macrocarpa	9	3	3	minor deadwood, one sided, epicormics				Heritage Tree
433	Red Oak	Quercus rubra	9	3	4	slight lean, trunk scar, one sided, epicormics				Heritage Tree
434	Red Oak	Quercus rubra	11	2	3	one sided, slight lean, thin crown				Heritage Tree
435	American Elm	Ulmus americana	8	6	6	top broken off		Dead, 6' snag.		
436	Red Oak	Quercus rubra	9.75	2	3	thin crown, slight lean, minor deadwood				
470	Green Ash	Fraxinus pennsylvanica	9	5	3	minor deadwood, slight lean, double leader, suckering, dieback	emerald ash borer	Dead.		
1771	Red Oak	Quercus rubra	8	6	4					
1772	Red Oak	Quercus rubra	8	2	4	minor deadwood, one sided				
1773	Red Oak	Quercus rubra	9	2	3	minor deadwood, thin crown, slight lean				
1774	Red Oak	Quercus rubra	8	2	3	one sided, slight lean				

- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
 - For downspouts tying into sewer system, provide 2" air gap.

- STABILIZED CONSTRUCTION ENTRANCE
Use proposed driveway location
- TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts
- SILT FILTER FENCE
Shall comply with ASHTO Standard M 288-00
- MUD AND DUST CONTROL
- TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Baskets or approved equal.
- FINAL STABILIZATION - SEE LANDSCAPE PLAN

SILT FENCE
TREE FENCE

Tag No.	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
282	Green Ash	26	6	5	suckering, decay, top broken off	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
283	Green Ash	17	5	4	heavy deadwood, one sided, suckering, slight sweep, sparse foliage	emerald ash borer			
284	Green Ash	18	6	3	twist in trunk	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
301	White Oak	33	3	3	minor deadwood, weak crotch, multiple leaders				Heritage Tree
302	Boxelder Maple	8	3	5	minor deadwood, sweep, over-topped, sparse foliage				
303	Green Ash	15	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer			
304	Green Ash	10	6	4	one sided, over-topped, slight sweep	emerald ash borer	Dead.		
305	Green Ash	11	6	6		emerald ash borer	Dead. Fallen.		
306	Red Oak	39	4	4	broken limbs, basal decay, slight lean, heavy deadwood, hollow				Heritage Tree (DQ Condition)
307	White Oak	32	3	4	heavy deadwood, one sided, slight sweep				Heritage Tree
308	White Oak	29	4	4	minor deadwood, basal decay, sweep, hollow, multiple leaders				Heritage Tree (DQ Condition)
346	White Oak	25	3	3	heavy deadwood, weak crotch				Heritage Tree
347	Red Oak	43	4	3	broken limbs, basal decay, one sided, multiple leaders				Heritage Tree (DQ Condition)
348	Green Ash	17	5	4	suckering	emerald ash borer			
349	Red Oak	32	3	3	minor deadwood, basal decay, one sided, mechanical damage, basal scar				Heritage Tree
350	Shagbark Hickory	10.75	3	4	over-topped, slight sweep, double leader				
351	Bur Oak	28	3	4	minor deadwood, weak crotch, sweep				Heritage Tree
353	Red Oak	15	3	3	minor deadwood, weak crotch, slight lean, double leader				
366	Red Oak	10	2	4	one sided, over-topped, slight lean				
367	Red Oak	11	2	3	over-topped				
368	Bur Oak	34	3	4	minor deadwood, one sided, slight lean, slight sweep				Heritage Tree
369	Red Oak	31	4	3	minor deadwood, basal decay, weak crotch, damaged leader, multiple leaders			Forked at 3' with a 26" co-leader.	Heritage Tree (DQ Condition)
370	Bur Oak	33	3	4	minor deadwood, one sided, epicormics, double leader, weak crotch				Heritage Tree
371	White Oak	16	3	4	sweep, over-topped, epicormics, minor deadwood				
372	Red Oak	23	3	3	minor deadwood, epicormics, twist in trunk, double leader				Heritage Tree
373	Red Oak	32	3	4	heavy deadwood, slight sweep, multiple leaders				Heritage Tree
374	White Oak	19	3	4	minor deadwood, over-topped, epicormics, slight sweep				Heritage Tree
375	Black Walnut	28	3	3	broken limbs, minor deadwood, multiple leaders				Heritage Tree
376	White Oak	21	3	4	minor deadwood, one sided, over-topped, epicormics				Heritage Tree
377	Red Oak	21	3	4	minor deadwood, one sided, epicormics				Heritage Tree
378	Red Oak	28	4	4	basal decay, one sided, over-topped, slight sweep				Heritage Tree (DQ Condition)
379	Red Oak	22	3	4	heavy deadwood, epicormics, slight lean, sweep			Forked at base with a 21" co-leader.	Heritage Tree
380	White Oak	25	2	4	minor deadwood, sweep				Heritage Tree
412	Bur Oak	35	4	4	minor deadwood, basal decay, weak crotch, slight sweep, double leader, hollow		Twin leader split off at 4'		Heritage Tree (DQ Condition)
413	White Oak	13	3	4	minor deadwood, over-topped, epicormics, slight sweep				
414	Black Walnut	9.75	3	4	minor deadwood, slight lean, multiple leaders				
415	Red Oak	9	2	4	excessive lean, thin crown				
416	Hill's Oak	15	3	3	minor deadwood, twist in trunk, double leader				
417	Hill's Oak	10	3	4	minor deadwood, excessive lean, slight sweep, one sided				
430	Silver Maple	12	3	3	trunk scar, one sided, decay, vine infested, twist in trunk				
431	Red Oak	11	2	3	minor deadwood, one sided, multiple leaders				
432	Bur Oak	9	3	3	minor deadwood, one sided, epicormics				
433	Red Oak	9	3	4	slight lean, trunk scar, one sided, epicormics				
434	Red Oak	11	2	3	one sided, slight lean, thin crown				
435	American Elm	8	6	6	top broken off		Dead. 6' snag.		
436	Red Oak	9.75	2	3	thin crown, slight lean, minor deadwood				
470	Green Ash	9	5	3	minor deadwood, slight lean, double leader, suckering, dieback	emerald ash borer			
1771	Red Oak	8	6	4			Dead.		
1772	Red Oak	8	2	4	minor deadwood, one sided				
1773	Red Oak	9	2	3	minor deadwood, thin crown, slight lean				
1774	Red Oak	8	2	3	one sided, slight lean				

Agenda Item 4
1535 Sage Court
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Staking Diagram
Proposed Site Plan
Proposed East (Front) Elevation
Proposed South Elevation
Proposed West Elevation
Proposed North Elevation
Color Renderings
Roof Plan
Building Section
Streetscape Elevation
Proposed First Floor Plan
Proposed Second Floor Plan
Preliminary Site Grading Plan and Tree Removal Plan
Tree Inventory
Landscape Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.

1535 Sage Court

Consideration of a request for approval of a new residence, an attached garage, a tree removal plan, a conceptual landscape plan and the overall site plan.

Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)

Contract Purchasers: Brian and Betsy Heckenbach

Project Representatives: Rick Swanson, architect

Jeff Letzter, project manager

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan, tree removal plan and landscape plan is also requested.

Description of Property

The property is located on the west side of the cul-de-sac at the end of Sage Court. The property is Lot 13 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 50,411 square feet and is irregular in shape. As established by the Plat of Subdivision, there is a drainage and conservation easement on the west side of the property. There is also a 25 foot access easement along the west property line that provides access to the property to the north, beyond the subdivision.

The Board recently approved petitions for Lots 12 and 14 in the Oak Knoll Subdivision. The petition currently presented to the Board was submitted by the developer on behalf of the contract purchasers for Lot 13 of the Oak Knoll Subdivision. Plans for 455 Oak Knoll Drive, Lot 2 are also being presented at the July meeting.

Review and Evaluation of Applicable Standards from the City Code

Below is a review of the standards outlined in the City Code for the Board's consideration.

Site Plan – This standard is met.

The proposed residence faces east, toward Sage Court with the attached garage facing north. A single curb cut is proposed, generally in the center of the curved property line at the front of the site. The driveway curves through the front yard and extends toward the north property line to access the side-load garage. A concrete paver walkway is proposed from the front entrance to the driveway and a concrete paver patio and stoop is proposed on the rear side of the residence.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will be 14%. The building footprint is 3,222 square feet and hardscape and driveway surfaces total 3,899 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,302 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 530 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 5,082 square feet.

- The proposed garage totals 992 square feet. The garage overage of 192 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 412 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 5,274 square feet, and is 28 square feet below the maximum allowable square footage.

At the maximum height, the residence is 35 feet tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

Elevations – This standard is generally met.

Based on the petitioner's statement of intent, the proposed residence is designed as a Craftsman style home. The residence presents a primary two-and-a-half-story mass with a one-and-a-half story garage mass on the north side. The residence features multiple gable roof forms. The home presents features common to the Craftsman style, such as a front porch with tapered columns, open eaves, bracket details, and shed dormers.

Although the elevations incorporate many design elements and details that are consistent with the Craftsman style, the number of different elements and details appear to reflect a somewhat busy appearance. Consideration should be given to a more restrained use of design elements and details that may be more effective in presenting a well-balanced composition while still maintaining the character of a Craftsman style home.

Type, color, and texture of materials – This standard is generally met.

The exterior walls of the home are a combination of stone and fiber cement horizontal and shingle siding. The main roof material is wood shingle. The shed dormers and porch will have standing seam metal roofs. Wood will be used for the trim, corner boards, fascia, and soffits. The horizontal band is fiber cement. The porch columns are a composite material. The brackets are wood. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney will be stone with a copper chimney shroud.

- Staff recommends that a smooth finish is used for the horizontal and shingle siding. The use of siding with an imitation wood grain should be avoided.
- Consistent with the City's Residential Design Guidelines, staff recommends that no more than two wall materials are used for the exterior siding. The use of more than two wall materials can be distracting. Limiting the number of materials focuses attention on the composition of the design.

The proposed color palette includes gray siding, white trim, and white windows. The roof will be natural cedar shingle. The petitioner provided color renderings to reflect the proposed color palette. The renderings are included in the Board's packet.

Landscaping - This standard can be met.

As currently proposed, a total of 21 trees are proposed to be removed. The trees proposed for removal consist of Black Walnut, Silver Maple, Elm, White Oak, Shagbark Hickory, Pine, Black Cherry and Ash trees. There are five trees within the footprint of the residence that will be removed and an additional seven trees that are located in the area of proposed hardscape that will be impacted. There are also a number of trees across the site that are proposed for removal that are

dead or in poor condition. Based on the species, size and condition of the trees proposed for removal, a total of 148 replacement inches will be required to be planted on site.

The landscape plan submitted by the petitioner reflects shrub and ornamental plantings around the foundation of the home as well as a number of shade and evergreen trees across the site. Foundation plantings and minimal plantings on the site are required by the Code separate and apart from replacement plantings for trees that are proposed for removal. The landscape plan reflects new shade and ornamental trees in the front yard that will help to soften the appearance of the new residence from the street. In the rear yard, several shade trees are proposed. A hedge of viburnum and privet are proposed along the north property line to screen views of the driveway and garage doors from the adjacent property.

Based on the landscape plan, the total number of replacement inches is not yet satisfied. As the landscape plan is further developed the required replacement inches will need to be incorporated as part of the final landscape plan to the extent possible using good forestry practices and avoiding overplanting. Any required replacement inches that cannot be accommodated on the site will require a payment in lieu of on site planting which will be payable in full prior to the issuance of a Certificate of Occupancy.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the residence, attached garage, tree removal plan, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the comments from the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. Consideration of simplifying some of the design elements and details.
2. No more than two wall materials shall be used, consistent with the City's Residential Design Guidelines.
3. Siding with a smooth finish shall be used for the horizontal and shingle siding.
4. The removal of the trees located on the west property line are subject to review and approval from the Conway Farms Homeowners' Association.
5. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the

modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

6. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site.
7. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
8. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
9. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
10. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
11. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1535 Sage Court Owner(s) Fidelity Wes of Oak Knoll LLC

Representative: Rick Swanson, Architect
Jeff Letzter, Project Manager Reviewed by: Jen Baehr

Date 7/7/2021

Lot Area 43774 sq. ft.

Square Footage of New Residence:

1st floor 1885 + 2nd floor 2661 + 3rd floor 536 = 5082 sq. ft.

Design Element Allowance = 530

Total Actual Design Elements = 412 Excess = 0 sq. ft.

Garage 992 sf actual ; 800 Excess = 192 sq. ft.

Garage Width 23'-6" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 5274 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5302 sq. ft.

DIFFERENTIAL = -28 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 35 ft.

NET RESULT:

28 sq. ft. is

0.53% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 530 sq. ft.

Front & Side Porches = 216 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

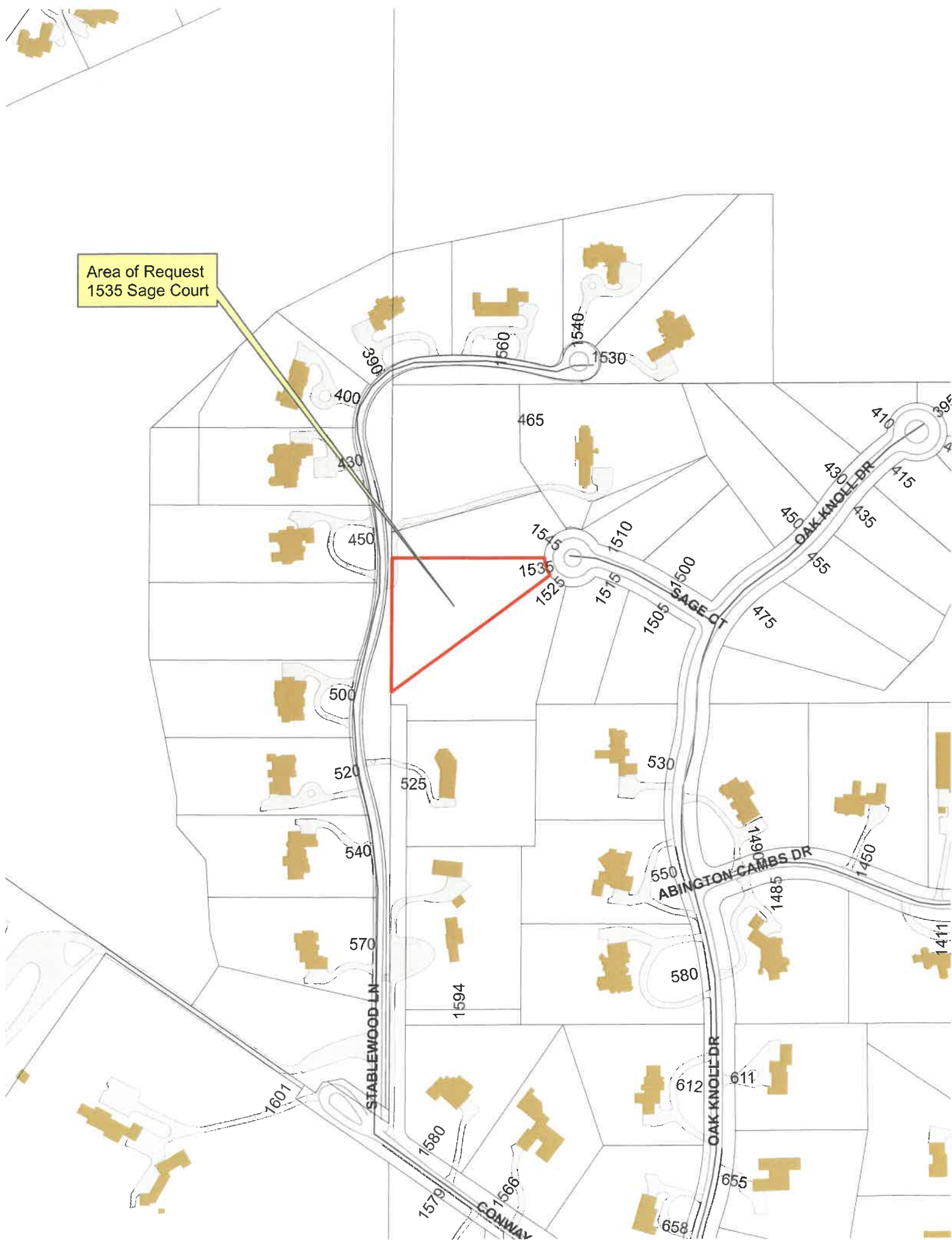
Pergolas = 0 sq. ft.

Individual Dormers = 196 sq. ft.

Bay Windows = 0 sq. ft.

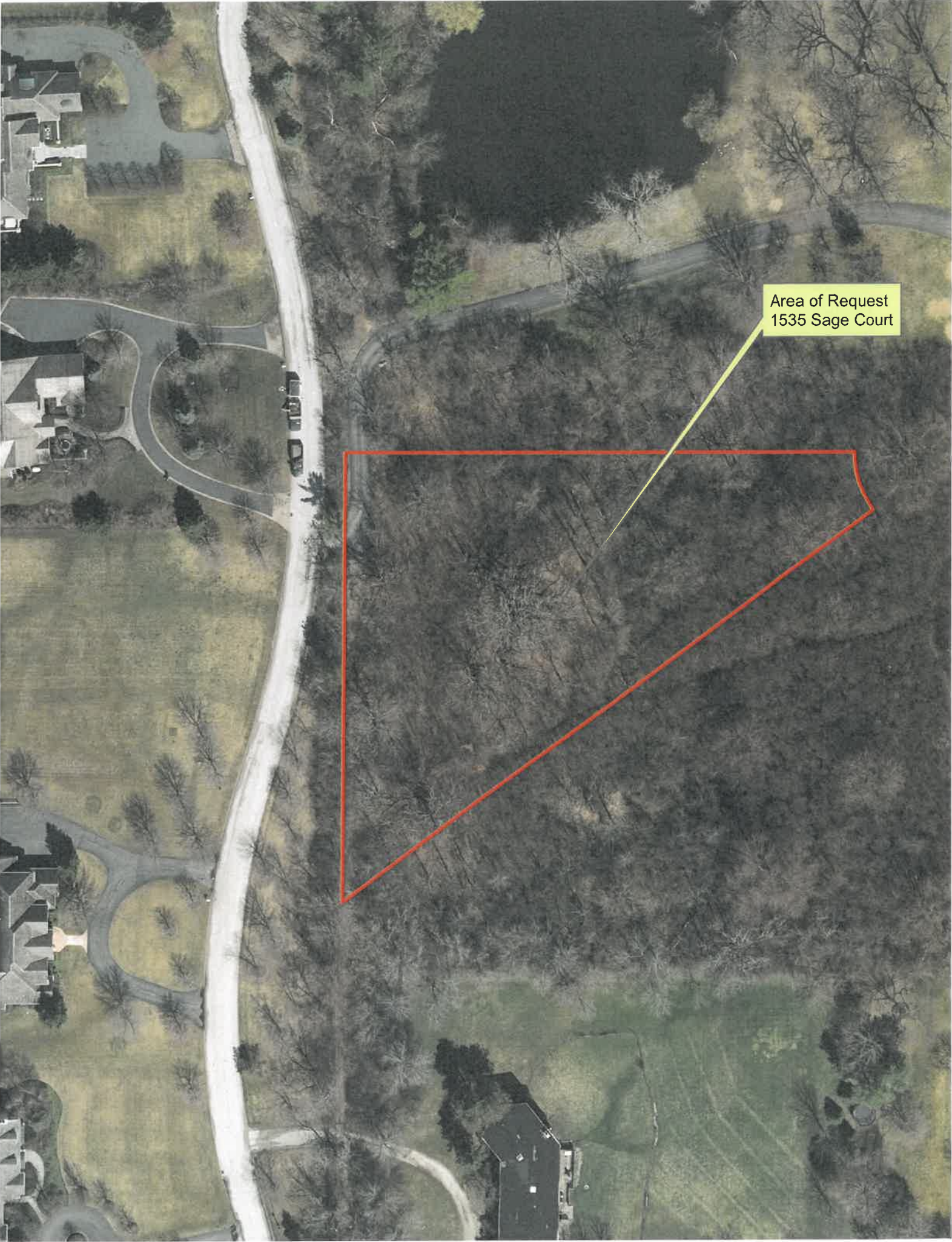
Total Actual Design Elements = 412 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1535 Sage Court





Area of Request
1535 Sage Court



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS LOT 13 OAK KNOLL WOODLANDS LAKE FOREST, IL
1988 GALE COURT

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

ESSENTIALS OF OAK KNOLL, LLC
Owner of Property

201 ROBERT PARKER COFFIN RD
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60047
City, State and Zip Code

(847) 980-9456 (847) 983-6153
Phone Number Fax Number

MARK@OAKKNOLLTY.COM
Email Address

W. Decker, Pres
Owner's Signature

ARCHITECT/BUILDER INFORMATION

ESSENTIALS OF OAK KNOLL, LLC
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

21478 CANNON RD SUITE 407
Street Address

VALE, IL 60073
City, State and Zip Code

(847) 457-3000 N/A
Phone Number Fax Number

SLT@ESSENTIALSOAKKNOLL.COM
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 4:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MIKE DEMAR (PRES.)</u>	Name _____
Address <u>201 ROBERT PARKER COTTAGE</u> <u>LONG GROVE, IL</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



11418 E Mission Ln.
Scottsdale, AZ 85259
(847) 757-3975

Jennifer Baehr
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

June 14, 2021

Re: The Heckenbach Residence

Ms. Baehr,

We are respectfully requesting the Building Review Board's consideration and approval of the planned two-story residence for Brian and Betsy Heckenbach on Lot #13 Sage Court in Oak Knoll Woodlands Subdivision. The proposed home embraces the Craftsman style, which is typically a more casual architectural vernacular. Characteristics of this style include lower pitched gabled roofs with larger overhangs complimented with exposed rafter tails. Often, covered porches are attached as a key component of the main entrance supported by large, tapered columns on masonry piers. We feel this home will frame the Sage Court cul d sac very nicely and be a fitting addition to this new and growing neighborhood.

The proposed exterior materials will be as follows:

Roof: Medium cedar shingles

Porch Columns: White

Stone Veneer: Halquist Stone "Kensington" (see attached)

Windows: SDL aluminum clad casements (white)

Exterior Trim: White

Porch and Steps: Stone pavers

Front Door: Oak with warm/dark stain

Garage Doors: White

We appreciate this opportunity to present the proposed Heckenbach residence on July 7th. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "R. Swanson", followed by a horizontal line.

Rick Swanson AIA, NCARB
R.M. Swanson Architects PC



6-30-21
HECKENRACH
LOT 13
1535 SAGE COURT

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick **HARDE**
☒ ~~Wood~~ Clapboard Siding
☐ Stucco

- ☒ **HARDE**
☒ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material GRAY

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone @ SILL'S
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone @ SILL'S
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☒ Other

Color of Material MEDIUM GRAY

HARDIE BOARD SHALE
SIDING
PEARL GRAY

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish WHITE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

PROPOSED STONE IMAGE



Lake Forest, IL



BENCHMARK
ELEVATION =

ALL ELEVATIONS ON THESE PLANS ARE ON
CITY OF LAKE FOREST (UNGS MAND 21)
DATUM

[illegible]

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of the proposed storm water drainage. If such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

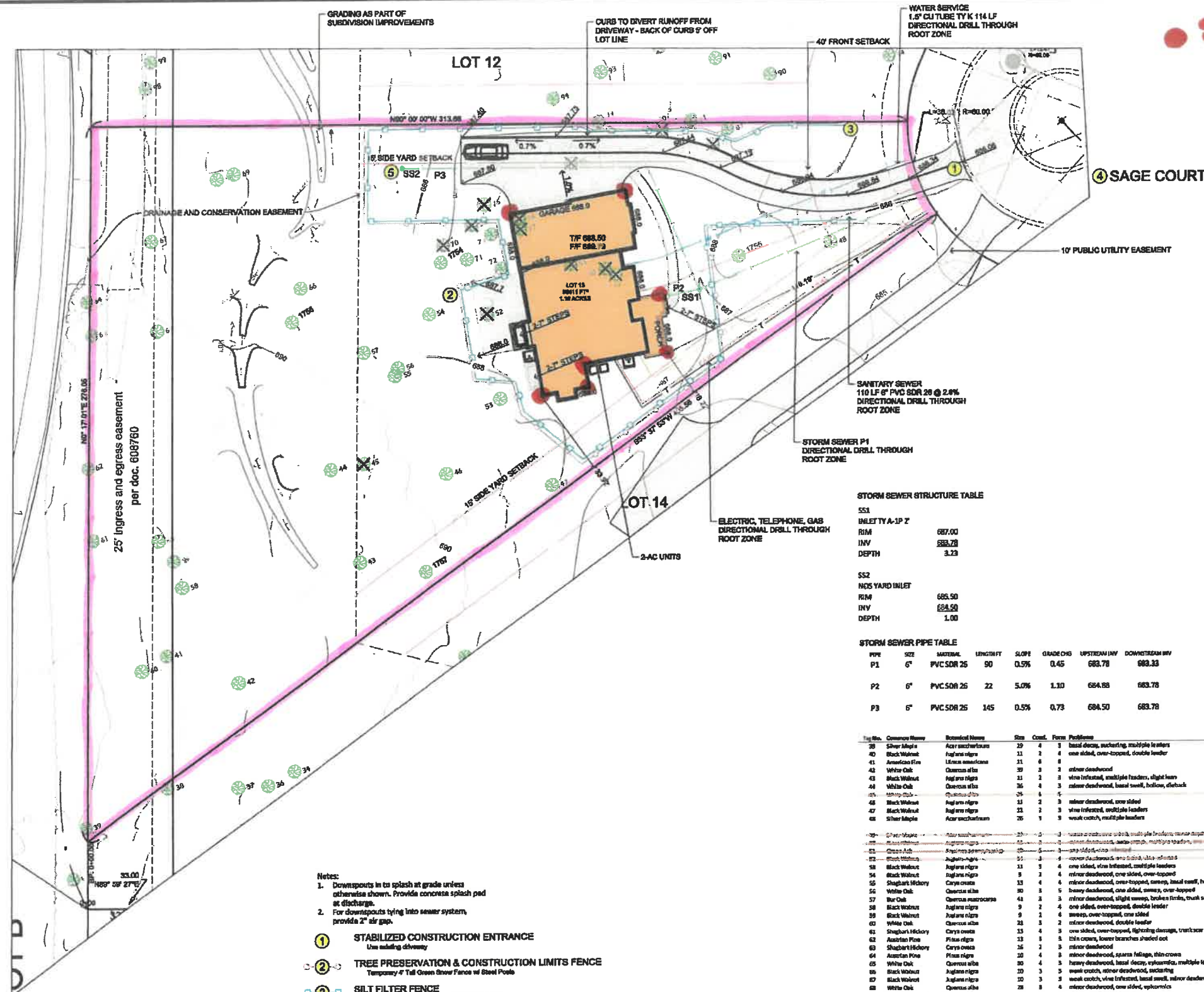
Michael G. Block, PE SIG DATE
License No. 0652-9999 Expires 7/1/02

FIDELITY WES
201 Robert Parker Coffin Rd.
Long Grove, Illinois 60045

70-859-13	Project No.
MGB	Drawn By
MGB	Checked By

Drawing No.

Drawing Name
Site Grading Plan



Notes:

1. Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
2. For downspouts tying into sewer system, provide 2" air gap.

1 STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway

2 TREE PRESERVATION & CONSTRUCTION LIMIT
Temporary 4' Tall Green Snow Fence w/ Steel Posts

3 SILT FILTER FENCE
Shall comply with ASHTO Standard M 228-00

4 MUD AND DUST CONTROL

5 TEMPORARY INLET PROTECTION
All open lot structures to have Catchall At Manholes or approved equal.

6 FINAL STABILIZATION - SEE LANDSCAPE PLAN

TREE INVENTORY BY:
 URBAN FOREST MANAGEMENT
 UPDATED MAY 7, 2021
 CONDITION
 1-EXCELLENT
 2-GOOD-FAIR
 3-FAIR
 4-FAIR/POOR
 5-POOR
 6-DEAD

Tag No.	Common Name	Botanical Name	Count	Form	Position	Remarks/Status	Comments	Co-Specimens at USF OHS	Heritage Tree
39	Silver Maple	<i>Acer saccharinum</i>	29	1	1	basal decay, searling, multiple leaders		Old tag #725.	Heritage Tree (DQ Co)
40	Black Walnut	<i>Juglans nigra</i>	11	2	4	one sided, over-topped, double leader			
41	American Elm	<i>Ulmus americana</i>	11	6	8		Fallen.		Heritage Tree
42	White Oak	<i>Quercus alba</i>	39	3	2	minor deadwood			
43	Black Walnut	<i>Juglans nigra</i>	21	3	8	vine infested, multiple leaders, slight lean			Heritage Tree (DQ Co)
44	White Oak	<i>Quercus alba</i>	36	4	3	minor deadwood, basal swell, hollow, dieback			Heritage Tree (DQ Co)
45	White Oak	<i>Quercus alba</i>	26	6	5		Fallen		
46	Black Walnut	<i>Juglans nigra</i>	11	3	3	minor deadwood, one sided			
47	Black Walnut	<i>Juglans nigra</i>	22	3	3	vine infested, multiple leaders			
48	Silver Maple	<i>Acer saccharinum</i>	20	1	8	weak crotch, multiple leaders	Forked at 1.5 with 12", 8" co-leaders.		Heritage Tree
49	Silver Maple	<i>Acer saccharinum</i>	25	2	3	minor crown over-topped, multiple leaders, minor deadwood			Heritage Tree
50	Black Walnut	<i>Juglans nigra</i>	25	2	3	minor deadwood, one-sided, multiple leaders			
51	Black Walnut	<i>Juglans nigra</i>	25	2	3	minor deadwood, one-sided, multiple leaders	Dead		
52	Black Walnut	<i>Juglans nigra</i>	51	3	4	minor deadwood, one-sided, multiple leaders			
53	Black Walnut	<i>Juglans nigra</i>	11	3	4	one-sided, vine infested, multiple leaders			
54	Black Walnut	<i>Juglans nigra</i>	9	2	4	minor deadwood, one-sided, over-topped			
55	Shagbark Hickory	<i>Carya ovata</i>	14	4	4	minor deadwood, one-topped, canopy, basal swell, hollow			
56	White Oak	<i>Quercus alba</i>	30	3	3	heavy deadwood, one-sided, canopy, over-topped			Heritage Tree
57	Bur Oak	<i>Quercus macrocarpa</i>	41	3	3	minor deadwood, slight canopy, broken limbs, trunk scar			Heritage Tree
58	Black Walnut	<i>Juglans nigra</i>	9	2	4	one-sided, over-topped, double leader			
59	Black Walnut	<i>Juglans nigra</i>	9	2	4	minor deadwood, one-sided			
60	Shagbark Hickory	<i>Carya ovata</i>	34	3	2	minor deadwood, double leader			Heritage Tree
61	Shagbark Hickory	<i>Carya ovata</i>	13	4	3	over-topped, over-topped, lightning damage, trunk scar			
62	American Elm	<i>Ulmus americana</i>	16	3	3	thin crown, lower branches shaded out			
63	Shagbark Hickory	<i>Carya ovata</i>	13	3	3	minor deadwood	Old tag #726.		
64	American Elm	<i>Ulmus americana</i>	10	3	3	minor deadwood, sparse foliage, thin crown			
65	White Oak	<i>Quercus alba</i>	30	4	3	heavy deadwood, basal decay, xylematics, multiple leaders, hollow			Heritage Tree (DQ Co)
66	Black Walnut	<i>Juglans nigra</i>	10	3	3	weak crotch, minor deadwood, searling			
67	Black Walnut	<i>Juglans nigra</i>	10	3	3	weak crotch, vine infested, basal swell, minor deadwood			
68	White Oak	<i>Quercus alba</i>	29	4	4	minor deadwood, one-sided, xylematics			Heritage Tree
69	Shagbark Hickory	<i>Carya ovata</i>	17	3	4	bark to bark, double leader, one-sided			
70	Black Walnut	<i>Juglans nigra</i>	4	6	4	over-topped	Dead		
71	Black Walnut	<i>Juglans nigra</i>	9	3	3	minor deadwood, one-sided, thin crown			
72	Black Walnut	<i>Juglans nigra</i>	11	4	4	minor deadwood, one-sided, thin crown			
73	Black Walnut	<i>Juglans nigra</i>	9	8	4	minor deadwood, one-sided, double leader, slight canopy, vine infested, thin crown			
74	Black Walnut	<i>Juglans nigra</i>	14	5	4	one-sided, vine infested, minor deadwood, sparse foliage, stem crown			
75	Black Walnut	<i>Juglans nigra</i>	5	6	5	over-topped	Dead		
76	Black Walnut	<i>Juglans nigra</i>	13	2	3	one-sided, bark to bark, double leader, minor deadwood, sparse foliage, thin crown			
77	Black Walnut	<i>Juglans nigra</i>	13	3	4	one-sided, over-topped, vine infested, multiple leaders, minor deadwood			
78	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
79	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
80	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
81	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
82	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
83	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
84	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
85	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
86	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
87	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
88	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
89	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
90	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
91	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
92	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
93	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
94	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
95	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
96	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
97	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
98	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
99	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			
100	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one-sided, multiple leaders			

Published Online - December 1, 2010 | **doi:10.1186/1745-6215-11-115** | **Received: 22 September 2010** | **Accepted: 22 October 2010**


© 2000 Pearson Education, Inc. All rights reserved. Printed in the United States of America. This book is published by Pearson Education, Inc., 501 Boylston Street, Boston, MA 02116.

REVIEW ONLY-NOT FOR CONSTRUCTION



NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

1 OF x TOTAL SHEETS

 FIDELITY WES

REVIEW	03/24/2021
REVIEW	04/30/2021
REVIEW	05/13/2021
REVIEW	05/17/2021
REVIEW	05/21/2021
REVIEW	06/23/2021
REVIEW	06/29/2021

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPCTDESIGNINC.COM
IL LICENSE # 184-004354

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD211
DRAWN BY:	COM/MB/N
1535 SAGE COURT • LOT 13	
SITE PLAN	

AR 01

1
AR 01

SITE PLAN



1 FRONT ELEVATION

Scale: 3/16"=1'-0"

June 30, 2021

THE HECKENBACH RESIDENCE
LOT 13 SAGE COURT
LAKE FOREST, ILLINOIS

RM
SWANSON
ARCHITECTS
11418 E MISSION LN. 847 757-3975
SCOTTSDALE, ARIZONA rick@rmswanson.com



4 LEFT SIDE ELEVATION

Scale: 3/16"=1'-0"

June 30, 2021

THE HECKENBACH RESIDENCE
LOT 13 SAGE COURT
LAKE FOREST, ILLINOIS

RM
SWANSON
ARCHITECTS
11418 E MISSION LN. 847.757-3975
SCOTTSDALE, ARIZONA rick@rmswanson.com



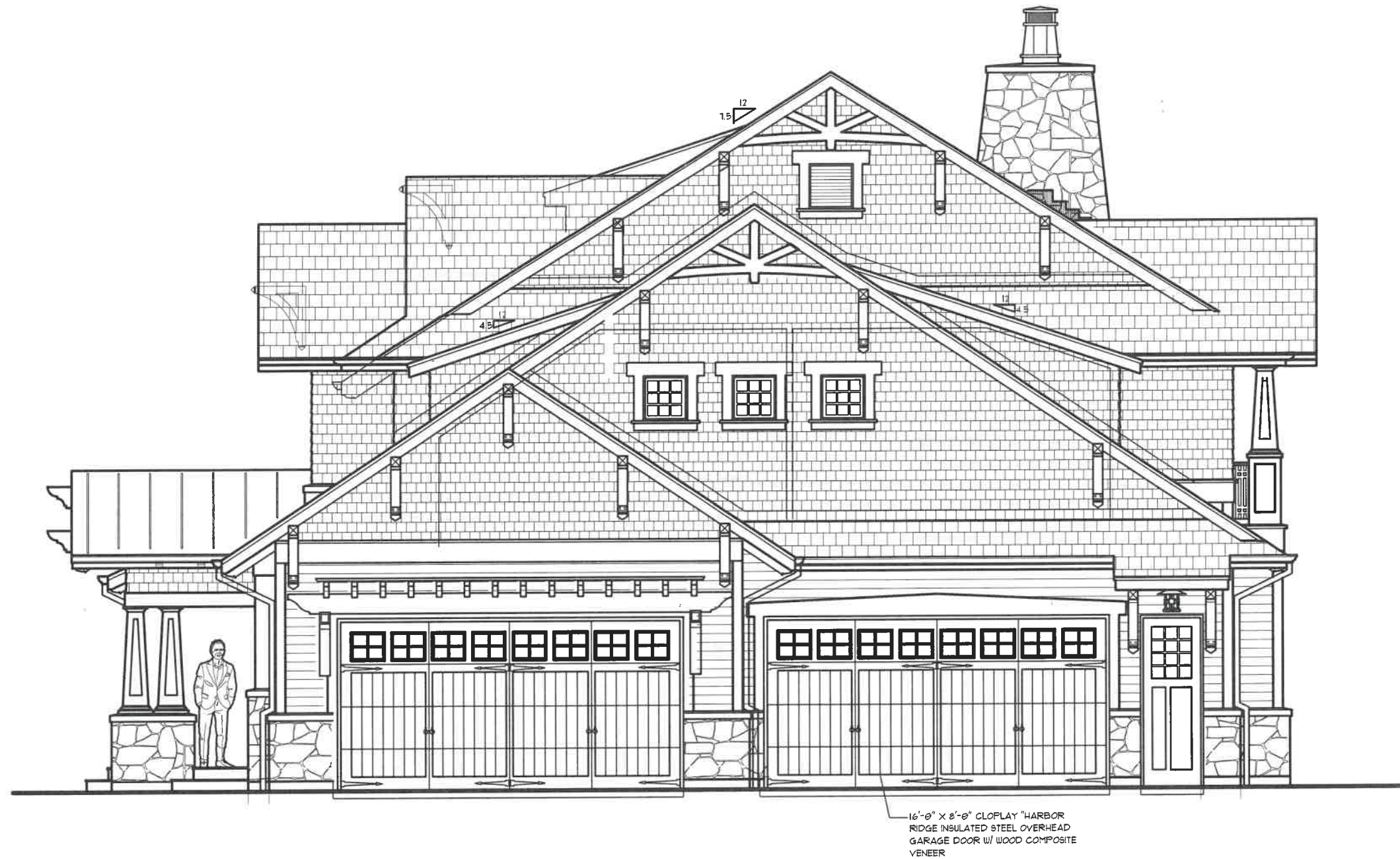
3 REAR ELEVATION

Scale: 3/16"=1'-0"

June 30, 2021

THE HECKENBACH RESIDENCE
LOT 13 SAGE COURT
LAKE FOREST, ILLINOIS

RM
SWANSON
ARCHITECTS
11418 E MISSION LN
SCOTTSDALE, ARIZONA 847 157-3975
rswanson@ymail.com



2 RIGHT SIDE ELEVATION

Scale: 3/16"=1'-0"

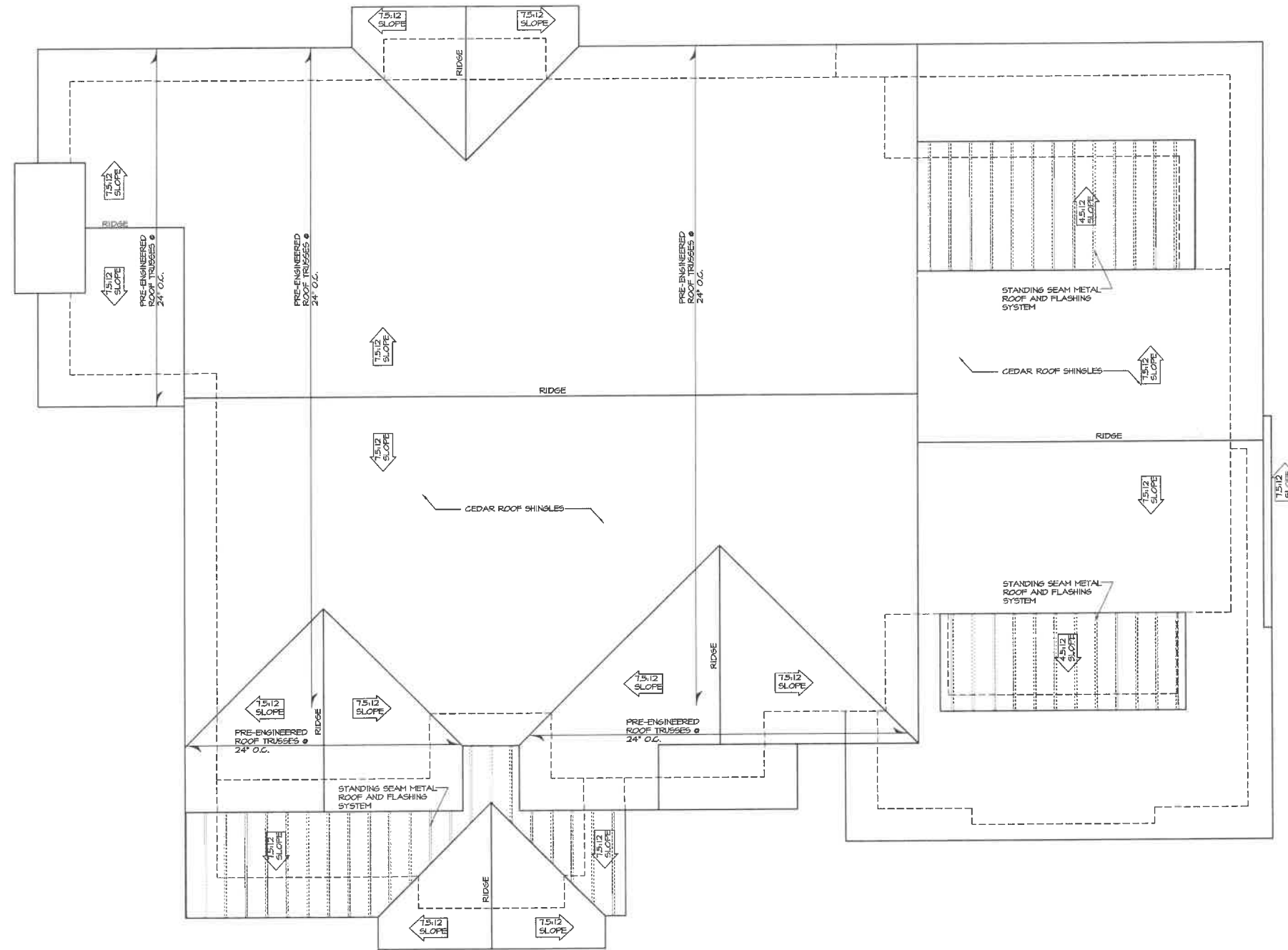
June 30, 2021

THE HECKENBACH RESIDENCE
LOT 13 SAGE COURT
LAKE FOREST, ILLINOIS

RM
SWANSON
ARCHITECTS
11418 E MISSION LN. 847.757-3975
SCOTTSDALE, ARIZONA rick@rmswanson.com







1
AR 10

ROOF PLAN

SCALE:N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT MMXXI

LOT 13
HECKENBACH RESIDENCE
1535 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	03/24/2021
REVIEW	04/30/2021
REVIEW	05/13/2021
REVIEW	05/17/2021
REVIEW	05/21/2021
REVIEW	06/23/2021
REVIEW	06/29/2021

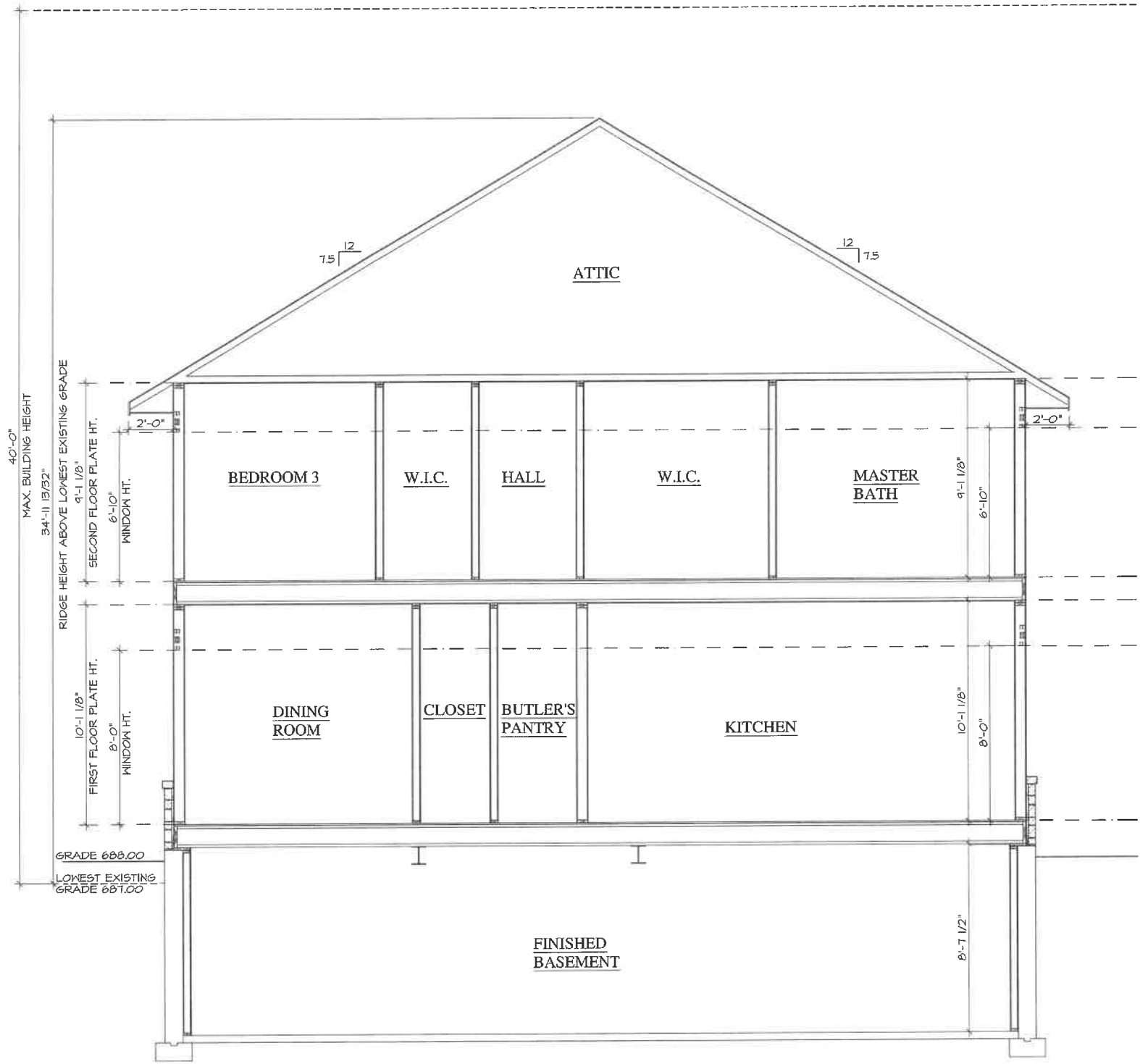
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-004354

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD21110
DRAWN BY:	COM/MB/NH
1535 SAGE COURT - LOT 13	
ROOF PLAN	

AR 10

#10 OF x TOTAL SHEETS



1
AR 11

BUILDING SECTION

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2021

REVIEW ONLY-NOT FOR CONSTRUCTION

PROJECT # AD211110	
DRAWN BY: COM/MB/NH	
1535 SAGE COURT - LOT 13	
BUILDING SECTION	
AR 11	
# 11 OF 1 TOTAL SHEETS	

07/27/21	REVIEW
04/30/21	REVIEW
05/13/21	REVIEW
05/17/21	REVIEW
05/17/21	REVIEW
06/23/21	REVIEW

26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 1840404
ASPECT DESIGN INC. ARCHITECTS

FIDELITY WES	
LOT 13 HECKENBACH RESIDENCE 1535 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	



LOT 14 SAGE COURT

LOT 13 SAGE COURT

LOT 12 SAGE COURT

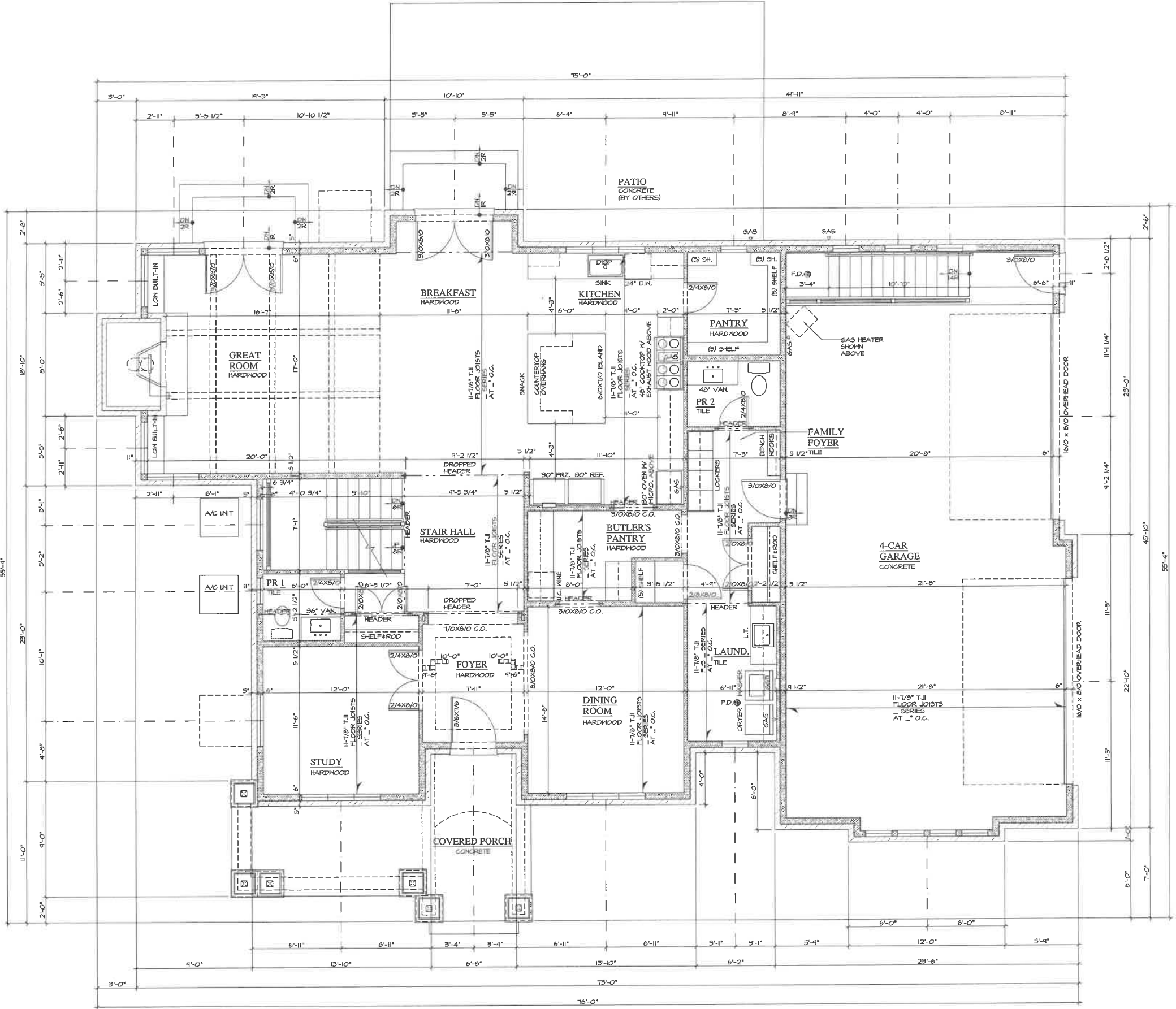
STREET VIEW STUDY

THE HECKENBACH RESIDENCE

LOT 13 SAGE COURT
LAKE FOREST, ILLINOIS

June 22, 2021

RM
SWANSON
ARCHITECTS
11418 E MISSION LN. 847.757-3975
SCOTTSDALE, ARIZONA rick@rmvswanson.com



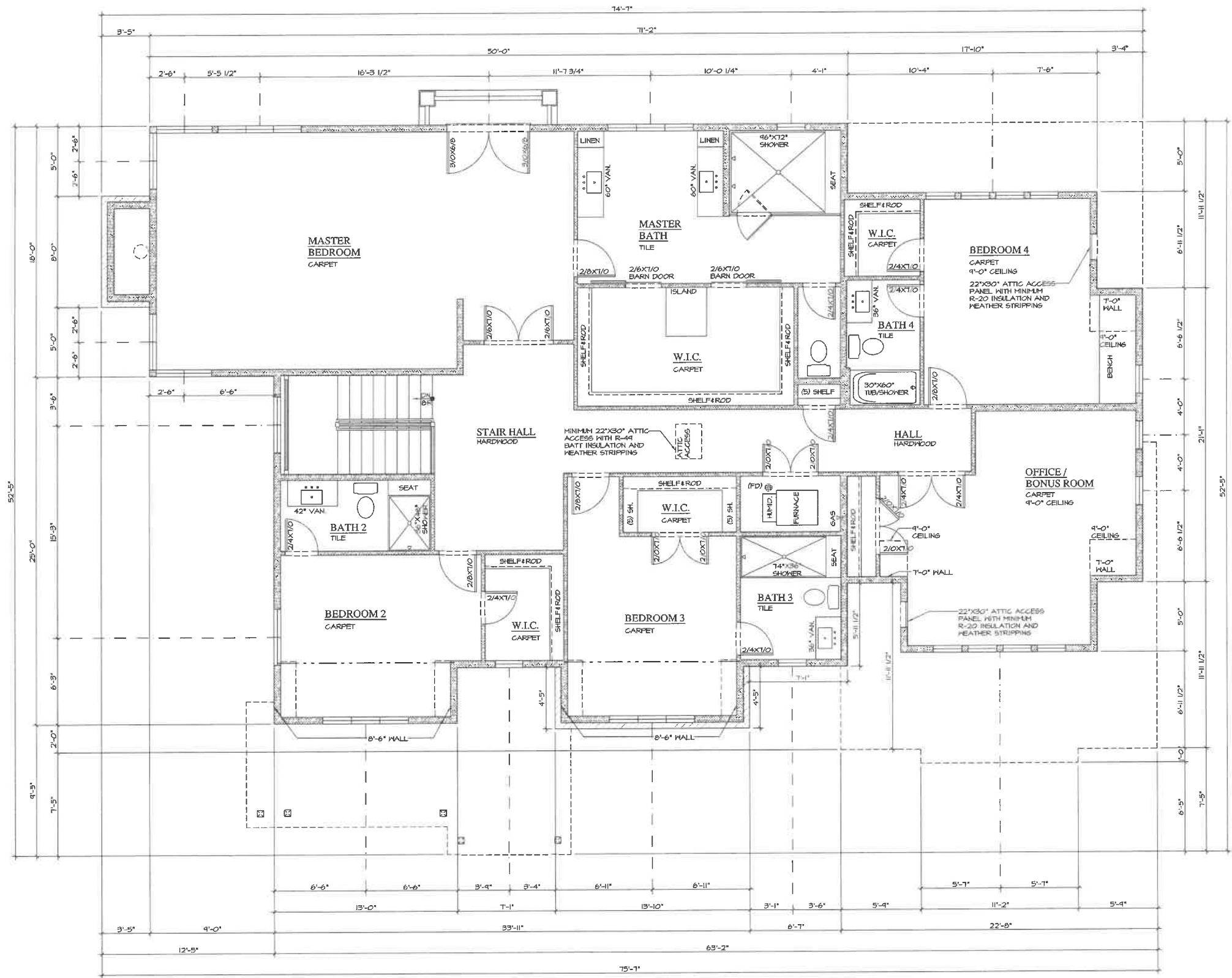
1 FIRST FLOOR PLAN
AR 08

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 13 HECKENBACH RESIDENCE	
1535 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
03/24/2021 04/30/2021 05/13/2021 06/17/2021 08/14/2021	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE #18-06051	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT #	AD21110
DRAWN BY:	COM/MB/NH
1535 SAGE COURT - LOT 13 FIRST FLOOR PLAN	
AR 08	
# 8 OF 8 TOTAL SHEETS	



1 SECOND FLOOR PLAN
AR 09

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
24" x 36" SIZE PAPER (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 13
HECKENBACH RESIDENCE
1535 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	03/24/2021
REVIEW	04/30/2021
REVIEW	05/13/2021
REVIEW	05/17/2021
REVIEW	06/02/2021
REVIEW	06/14/2021

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE #140058

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD21110
DRAWN BY: COM/MB/NH
1535 SAGE COURT - LOT 13
SECOND FLOOR PLAN
AR 09
9 OF 9 TOTAL SHEETS

PRELIMINARY SITE GRADING PLAN AND TREE REMOVAL PLAN

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 **W** bleckeng.com

1535 SAGE
COURT

Lake Forest, IL

BENCHMARK:
ELEVATION ■

ALL ELEVATIONS ON THESE PLANS ARE ON
CITY OF LAKE FOREST (USGS NAVD 88)
DATUM

	ISSUED DATE	ISSUED FOR
■	05.13.2021	BRB

1535 SAGE COURT
LAKE FOREST, IL 60045

Impervious Surface Calculation		
	<i>sqft</i>	<i>acre</i>
Lot Area	50411	1.157
Existing Conditions		
	<i>sqft</i>	<i>acre</i>
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	<u>0.000</u>
Total	0	0.000

Percent Impervious	0.0%	
Proposed Conditions		
	<i>sq ft</i>	<i>acre</i>
House	3011	0.069
Porch	211	0.005
Driveway	3082	0.071
Patio	537	0.012
Walkways	<u>290</u>	0.006
Total	7121	0.163

Percent Impervious	14.1%
--------------------	-------

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."

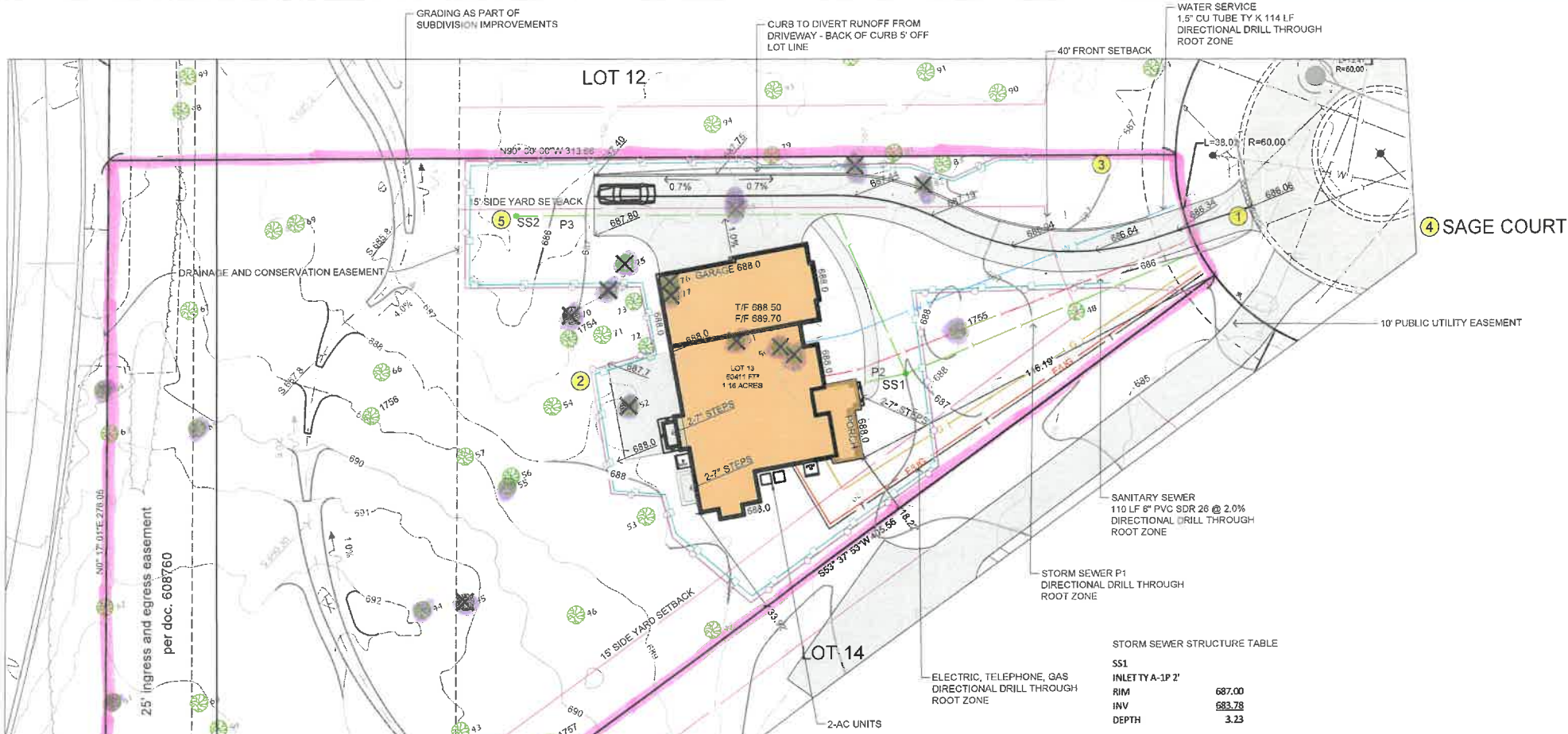
Michael G. Bleck, PE SIG DATE
License No. 002046893 Expires 11/06/21

FIDELITY WES
201 Robert Parker Coffin Rd.
Long Grove, Illinois 60045

70-859-13	Project No.
MGB	Drawn By
MGB	Checked By

Drawing No.

	3
Drawing Name	Site Grading Plan

STORM SEWER STRUCTURE TABLE

SS1
INLET TY A-1P 2'
RIM
INV
DEPTH

SS2
NDS YARD INLET
RIM
INV
DEPTH

STORM SEWER PIPE TABLE

PIPE	SIZE	MATERIAL	LENGTH FT	SLOPE	GRADE CHG	UPSTREAM INV	DOWNSTREAM
P1	6"	PVC SDR 26	90	0.5%	0.45	683.78	683.33
P2	6"	PVC SDR 26	22	5.0%	1.10	684.88	683.78
P3	6"	PVC SDR 26	145	0.5%	0.73	684.50	683.78

Tax No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
39	Silver Maple	<i>Acer saccharinum</i>	19	4	3	basal decay, suckering, multiple leaders		Old tag #735.		Heritage Tree (DQ Condition)
40	Black Walnut	<i>Juglans nigra</i>	11	2	4	one sided, over-topped, double leader				
41	American Elm	<i>Ulmus americana</i>	11	6	6			Fallen.		
42	White Oak	<i>Quercus alba</i>	89	3	2	minor deadwood				Heritage Tree
43	Black Walnut	<i>Juglans nigra</i>	11	2	3	vine infested, multiple leaders, slight lean				Heritage Tree (DQ Condition)
44	White Oak	<i>Quercus alba</i>	36	4	3	minor deadwood, basal swell, hollow, dieback				Heritage Tree (DQ Condition)
45	White Oak	<i>Quercus alba</i>	26	6	6			Fallen.		
46	Black Walnut	<i>Juglans nigra</i>	11	2	3	minor deadwood, one sided				
47	Black Walnut	<i>Juglans nigra</i>	12	2	3	vine infested, multiple leaders			Forked at 1.5' with 12", 8" co-leaders.	Heritage Tree
48	Silver Maple	<i>Acer saccharinum</i>	26	3	3	weak crotch, multiple leaders				
49	Silver Maple	<i>Acer saccharinum</i>	27	3	3	weak crotch, one sided, multiple leaders, minor deadwood				Heritage Tree
50	Black Walnut	<i>Juglans nigra</i>	11	3	3	minor deadwood, weak crotch, multiple leaders, one sided				
51	Green Ash	<i>Fraxinus pennsylvanica</i>	10	6	3	one sided, vine infested		emerald ash borer - Good.		
52	Black Walnut	<i>Juglans nigra</i>	14	2	4	minor deadwood, one sided, vine infested				
53	Black Walnut	<i>Juglans nigra</i>	11	3	4	one sided, vine infested, multiple leaders				
54	Black Walnut	<i>Juglans nigra</i>	9	3	4	minor deadwood, one sided, over-topped				
55	Shagbark Hickory	<i>Carya ovata</i>	13	4	4	minor deadwood, over-topped, sweep, basal swell, hollow				
56	White Oak	<i>Quercus alba</i>	30	3	5	heavy deadwood, one sided, sweep, over-topped				Heritage Tree
57	Bur Oak	<i>Quercus macrocarpa</i>	41	3	3	minor deadwood, slight sweep, broken limbs, trunk scar				Heritage Tree
58	Black Walnut	<i>Juglans nigra</i>	9	2	4	one sided, over-topped, double leader				
59	Black Walnut	<i>Juglans nigra</i>	9	2	4	sweep, over-topped, one sided				
60	White Oak	<i>Quercus alba</i>	31	3	2	minor deadwood, double leader				Heritage Tree
61	Shagbark Hickory	<i>Carya ovata</i>	13	4	3	one sided, over-topped, lightning damage, trunk scar				
62	Austrian Pine	<i>Pinus nigra</i>	13	3	3	thin crown, lower branches shaded out		Old tag #738.		
63	Shagbark Hickory	<i>Carya ovata</i>	16	2	3	minor deadwood				
64	Austrian Pine	<i>Pinus nigra</i>	10	4	3	minor deadwood, sparse foliage, thin crown				
65	White Oak	<i>Quercus alba</i>	30	4	3	heavy deadwood, basal decay, epicormics, multiple leaders, hollow				Heritage Tree (DQ Condition)
66	Black Walnut	<i>Juglans nigra</i>	10	3	3	weak crotch, minor deadwood, suckering				
67	Black Walnut	<i>Juglans nigra</i>	10	3	3	weak crotch, vine infested, basal swell, minor deadwood				
68	White Oak	<i>Quercus alba</i>	28	3	4	minor deadwood, one sided, epicormics				Heritage Tree
69	Shagbark Hickory	<i>Carya ovata</i>	17	4	4	twist in trunk, double leader, one sided				
70	Black Walnut	<i>Juglans nigra</i>	8	8	4	one sided		Dead.		
71	Black Walnut	<i>Juglans nigra</i>	9	3	3	minor deadwood, one sided, thin crown				
72	Black Walnut	<i>Juglans nigra</i>	11	3	4	minor deadwood, one sided, thin crown				
73	Black Walnut	<i>Juglans nigra</i>	9	3	4	minor deadwood, one sided, double leader, slight sweep, vine infested, thin crown				
74	Black Walnut	<i>Juglans nigra</i>	10	5	4	one sided, vine infested, multiple leaders, thin crown				
75	Black Walnut	<i>Juglans nigra</i>	9	6	5	top broken off		Dead.		
76	Black Walnut	<i>Juglans nigra</i>	13	5	4	one sided, twist in trunk, double leader, minor deadwood, sparse foliage, thin crown				
77	Black Walnut	<i>Juglans nigra</i>	13	3	4	one sided, over-topped, vine infested, multiple leaders, minor deadwood				
78	Black Walnut	<i>Juglans nigra</i>	13	3	4	minor deadwood, vine infested, multiple leaders				
79	Black Walnut	<i>Juglans nigra</i>	13	3	3	vine infested, twist in trunk, minor deadwood, one sided, multiple leaders				
80	Black Walnut	<i>Juglans nigra</i>	12	2	3	one sided, minor deadwood		Tag missing.		
81	Black Walnut	<i>Juglans nigra</i>	13	2	4	one sided, slight lean, minor deadwood				
1754	Black Walnut	<i>Juglans nigra</i>	8	3	4	minor deadwood, thin crown				
1755	Black Cherry	<i>Prunus serotina</i>	9	4	3	minor deadwood, basal decay, weak crotch, suckering, multiple leaders				
1756	White Oak	<i>Quercus alba</i>	77	3	4	minor deadwood, one sided, over-topped, slight sweep				
1757	Black Walnut	<i>Juglans nigra</i>	8	2	3	one sided				
1766	Black Walnut	<i>Juglans nigra</i>	9	3	3	vine infested, multiple leaders				

Notes:

1. Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
2. For downspouts tying into sewer system, provide 2" air gap.

1. STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway
2. TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts
3. SILT FILTER FENCE
Shall comply with AASHTO Standard M 288-00
4. MUD AND DUST CONTROL
5. TEMPORARY INLET PROTECTION
All open lid structures to have Catchall All Baskets or approved equal.
6. FINAL STABILIZATION - SEE LANDSCAPE PLAN

TREE INVENTORY BY:
 URBAN FOREST MANAGEMENT
 UPDATED MAY 7, 2021
 CONDITION
 1-EXCELLENT
 2-GOOD-FAIR
 3-FAIR
 4-FAIR/POOR
 5-POOR
 6-DEAD

 SILT FENCE

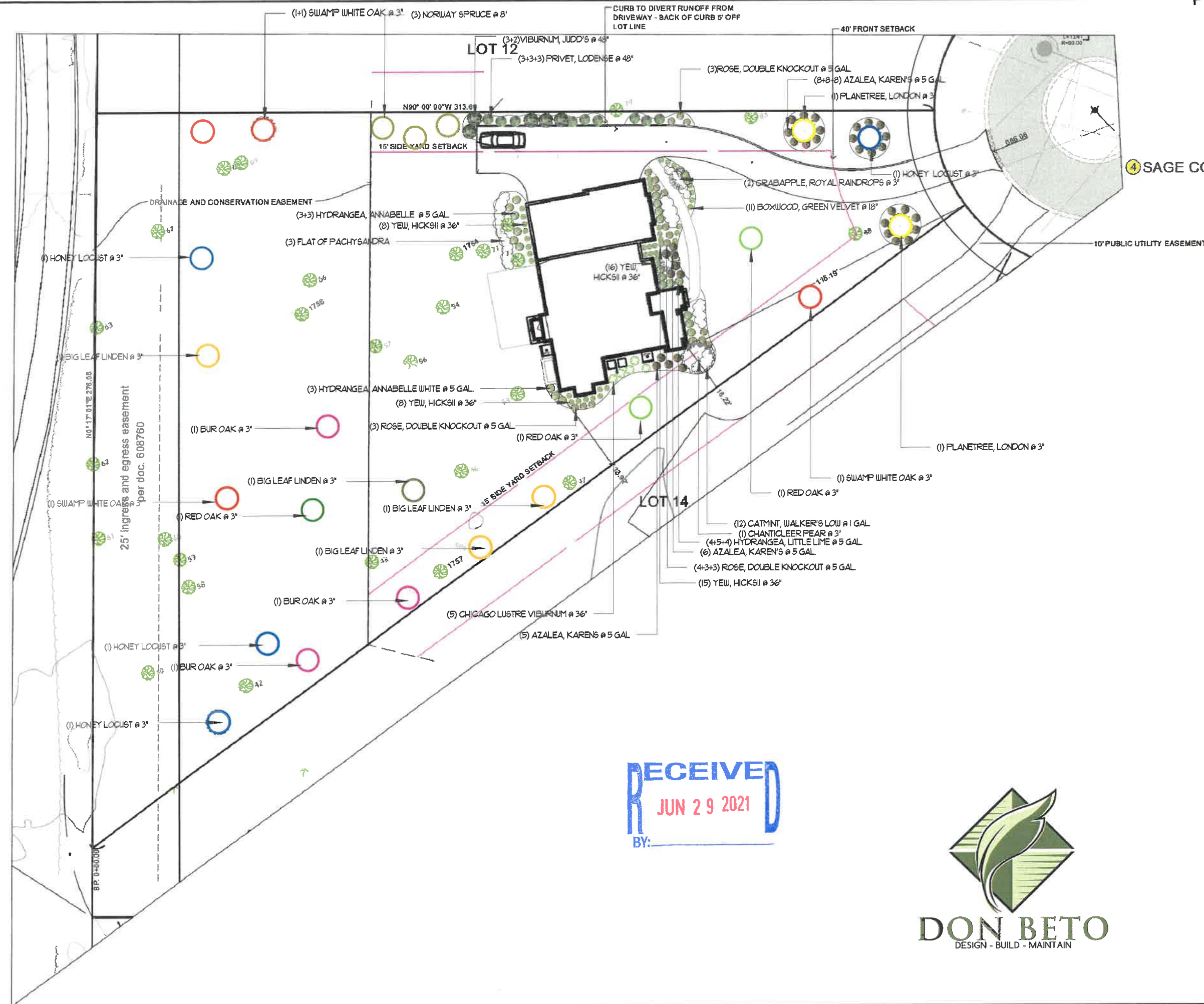
 TREE FENCE

Tag No.	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Heritage Tree
39	Silver Maple	19	4	3	basal decay, suckering, multiple leaders		Old tag #735.	Heritage Tree (DQ Condition)
40	Black Walnut	11	2	4	one sided, over-topped, double leader			
41	American Elm	11	6	6			Fallen.	
42	White Oak	39	3	2	minor deadwood			Heritage Tree
43	Black Walnut	11	2	3	vine infested, multiple leaders, slight lean			
44	White Oak	36	4	3	minor deadwood, basal swell, hollow, dieback		Fallen.	Heritage Tree (DQ Condition)
45	White Oak	26	6	6				Heritage Tree (DQ Condition)
46	Black Walnut	11	2	3	minor deadwood, one sided			
47	Black Walnut	12	2	3	vine infested, multiple leaders			
48	Silver Maple	26	3	3	weak crotch, multiple leaders			Heritage Tree
49	Silver Maple	27	3	3	weak crotch, one sided, multiple leaders, minor deadwood			Heritage Tree
50	Black Walnut	11	3	3	minor deadwood, weak crotch, multiple leaders, one sided			
51	Green Ash	10	6	3	one sided, vine infested	emerald ash borer	Dead.	
52	Black Walnut	14	2	4	minor deadwood, one sided, vine infested			
53	Black Walnut	11	3	4	one sided, vine infested, multiple leaders			
54	Black Walnut	9	3	4	minor deadwood, one sided, over-topped			
55	Shagbark Hickory	13	4	4	minor deadwood, over-topped, sweep, basal swell, hollow			Heritage Tree
56	White Oak	30	3	5	heavy deadwood, one sided, sweep, over-topped			Heritage Tree
57	Bur Oak	41	3	3	minor deadwood, slight sweep, broken limbs, trunk scar			
58	Black Walnut	9	2	4	one sided, over-topped, double leader			
59	Black Walnut	9	2	4	sweep, over-topped, one sided			Heritage Tree
60	White Oak	31	3	2	minor deadwood, double leader			
61	Shagbark Hickory	13	4	3	one sided, over-topped, lightning damage, trunk scar			
62	Austrian Pine	13	3	3	thin crown, lower branches shaded out		Old tag #738.	
63	Shagbark Hickory	16	2	3	minor deadwood			
64	Austrian Pine	10	4	3	minor deadwood, sparse foliage, thin crown			Heritage Tree (DQ Condition)
65	White Oak	30	4	3	heavy deadwood, basal decay, epicormics, multiple leaders, hollow			
66	Black Walnut	10	3	3	weak crotch, minor deadwood, suckering			
67	Black Walnut	10	3	3	weak crotch, vine infested, basal swell, minor deadwood			Heritage Tree
68	White Oak	28	3	4	minor deadwood, one sided, epicormics			
69	Shagbark Hickory	17	3	4	twist in trunk, double leader, one sided		Dead.	
70	Black Walnut	9	6	4	one sided			
71	Black Walnut	9	3	3	minor deadwood, one sided, thin crown			
72	Black Walnut	11	3	4	minor deadwood, one sided, thin crown			
73	Black Walnut	9	3	4	minor deadwood, one sided, double leader, slight sweep, vine infested, thin crown			
74	Black Walnut	10	5	4	one sided, vine infested, minor deadwood, sparse foliage, thin crown		Dead.	
75	Black Walnut	9	6	5	top broken off			
76	Black Walnut	13	5	4	one sided, twist in trunk, double leader, minor deadwood, sparse foliage, thin crown			
77	Black Walnut	12	3	4	one sided, over-topped, vine infested, multiple leaders, minor deadwood			
78	Black Walnut	13	3	3	minor deadwood, vine infested, multiple leaders			
80	Black Walnut	11	2	3	vine infested, twist in trunk, minor deadwood, one sided, multiple leaders		Tag missing.	
82	Black Walnut	12	2	3	one sided, minor deadwood			
83	Black Walnut	13	2	4	one sided, slight lean, minor deadwood			
1754	Black Walnut	8	3	4	minor deadwood, thin crown			
1755	Black Cherry	8	4	3	minor deadwood, basal scar, weak crotch, suckering, multiple leaders			
1756	Hill's Oak	7.75	3	4	minor deadwood, one sided, over-topped, slight sweep			
1757	Black Walnut	8	2	3	one sided			
1766	Black Walnut	9	3	3	vine infested, multiple leaders			

1535 SAGE COURT
LAKE FOREST, IL



DATE: JUNE 28, 2021
PAGE 3 OF 3



DON BETO