

Agenda Item 3
1825 Telegraph Road
Replacement Residence

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Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Updated Statement of Intent
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Proposed Site Plan
Proposed West Elevation
Proposed North Elevation – With Garage
Proposed North Elevation – With Section Between House and Garage
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Proposed South Elevation
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Proposed Roof Plan
Building Sections
Proposed Basement Plan
Proposed First Floor Plan
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Proposed Lighting Plan
Proposed Light Fixtures
Site Grading Plan
Tree Removal Plan
Inventory of Trees To Be Removed
Preliminary Landscape Plan

Supplemental Materials

Design Studies
Front Elevation From Previous Submittal – May 2021

1825 Telegraph Road

Continued consideration of a request for approval of construction of a replacement residence and attached garage. Approval of a conceptual landscape plan and overall site plan is also requested.

Property Owner: Bel Sogno, LLC (Michael Donato 50%, Wendy Donato, 50%)

**Project Representatives: Bill Massey, architect
Rick Vanselow, Builder**

Staff Contact: Jen Baehr, Assistant Planner

Activity on this Petition to Date

The Board considered this petition at the May 5, 2021 meeting and after discussion about the various design aspects of the project, the Board continued the petition. The Board asked that the petitioner conduct further study of the aspects of the project discussed by the Board and consider some refinements. The Board also requested additional information related to the building lighting and exterior materials. The Board's packet includes the previously and currently proposed elevations as well as design studies of areas identified by the Board at the previous meeting.

The petitioner's updated statement of intent addresses the comments offered by the Board during the May meeting. The updated statement of intent is included in the Board's packet. The following changes and studies were completed in response to the Board's discussion at the May meeting.

- Natural wood is now proposed for the fascia, rakeboards and soffits.
- Windows with stone headers and sills were added to the smaller gable forms on the front elevation.
- The front elevation development studies were provided as requested by the Board and are included in the Board's packet.
- The covered terrace roof massing was studied further in response to comments made by the Board. The studies are included in the Board's packet.
- Alternate designs were studied for the stair windows. The studies are included in the Board's packet.
- The lighting plan was provided as requested by the Board.
- An updated landscape plan was provided that satisfies the minimum landscaping requirements and required replacement inches for the trees that will be removed.
- The petitioner provided samples of the proposed stone, asphalt roof shingle, and window material. The samples are available on site, at 1825 Telegraph Road, for the Board's review.

Portions of the following information is repeated from the May staff report.

Description of Property

This property is located on the east side of Telegraph Road, near the southern boundary of the City. The streetscape is generally characterized by expansive yards and significant landscaping along the street and between residences. The area is comprised of homes constructed in the 1950's with newer construction interspersed. There is a mixture of architectural styles in the surrounding neighborhood.

The property that is the subject of this request totals 6.8 acres and is a generally rectangular in shape with an angled front property line that follows the street. The existing residence on the property is a two story farmhouse structure that is in serious disrepair. A dilapidated brick barn building is also on the property, south of the farmhouse, and a collapsed screen porch structure is located between the farmhouse and barn. Few records for the property exist and it is unclear when the farmhouse and barn structure were constructed although based on the few records available, the farmhouse and barn were likely built in the early 1900's. There are wetlands along the north property line, in the southeast corner and generally at the center of the south property line as reflected on the Plat of Survey included in the Board's packet.

Summary of Request

The petitioner purchased the property last year and proposes to construct a new residence and an attached five car garage. The Board approved the demolition of the existing structures on the property at the May meeting.

An updated statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project. An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's consideration.

Replacement Residence

Site Plan - This standard is met.

The proposed residence is located further south than the existing farmhouse structure and extends slightly further south than the existing barn structure. The proposed residence at its closest point is set back approximately 160 feet from the front property line. For reference the existing farmhouse is set back approximately 120 feet from the front property line.

The proposed replacement residence faces west, toward Telegraph Road, with a side-load attached garage on the north side of the house. A circular driveway is proposed. The existing curb cuts will be removed and replaced with two new curb cuts. The new north curb cut is located approximately 55 feet further north than the existing north curb cut on the property. The proposed south curb cut is located approximately 33 feet further south than the existing south curb cut. A patio is proposed on the rear of the residence.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will increase from coverage of 3 percent to 5 percent.

Building Massing and Height – This standard is met.

Based on the overall size of the lot, a residence of up to 25,466 square feet is permitted on the site however, the presence of wetlands could impact that number. In this case, the house is proposed outside of any wetlands on the property so a deduction for wetlands does not need to be considered. A garage of up to 800 square feet is permitted along with up to 2,546 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and includes elements such as single dormers and screen porches.

- The proposed residence totals 7,972 square feet.
- A total of 800 square feet is allowed for a garage on this property. The proposed garage totals 1,460 square feet. The garage coverage of 660 square feet must be added to the total square footage of the residence.

- In addition to the above square footage, a total of 607 square feet of design elements are incorporated into the design of the house.
- The residence as proposed totals 8,632 square feet and is 66 percent **under** the maximum allowable square footage.
- If in the future the property is presented for subdivision, the lot on which the proposed residence is located will need to be large enough to fully support the square footage of the house.

At the maximum height, the residence is 38 feet and 1 inch tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet. The residence as presented complies with the height limitation.

Elevations – This standard is met.

The proposed residence is a contemporary style home. The residence reflects a two-and-a-half story mass. The garage on the north side of the residence is a one-and-a-half-story massing. The massing of the home is compatible with the massing found on the newer homes that are south of this property on Telegraph Road. The residence presents a series of steeply pitched gable roof forms. The front elevation presents a recessed entry at generally the center of the primary front façade. There are a variety of window sizes found on the home however, they reflect generally the same vertical, narrow proportions.

During the last meeting, the Board asked the petitioner to conduct further study on the front entrance, the stair windows, the front gable forms, and the garage roof forms, to explore options for some refinement. The petitioner provided these design studies to allow the Board to review the development of these elements. Ultimately, the petitioner found through further study of these elements, that the original proposal was the most effective design to achieve a balanced composition that fits with the contemporary style of the home and the approach desired by the property owner.

Type, color, and texture of materials – This standard is met.

The exterior walls of the home are stone. In areas such as the projecting two-story bay on the front elevation, metal is proposed for the exterior walls of the linking element between the house and garage. Architectural asphalt shingle is proposed for the roof. Aluminum clad wood windows with interior and exterior muntins are proposed. The door and window trim will be stone. The headers above the windows and sills will also be stone. The fascia, rakeboards and soffits as proposed are wood. Aluminum gutters and downspouts are proposed. The chimney will be stone with a metal cap. Because this house stands alone, and is not viewed as part of a unique development, the proposed materials are reasonable and general consistent with the mix of homes in the area.

Based on the color renderings provided by the petitioner, the color palette consists of a light gray color stone and the trim, fascia and soffits are bronze. The asphalt shingle roof will be dark gray. The windows will be bronze.

Landscape – This standard is met.

Based on the tree removal plan, a total of 31 trees are proposed for removal. The trees proposed for removal include Oak, Maple, Crabapple, Walnut, Boxelder, Hawthorn, Cedar, and Spruce trees. Many of the trees proposed for removal are low quality trees and trees that are in poor condition. Based on the trees that are quality species and in healthy condition that are proposed for removal, a total of 40 replacement inches is required.

The Heritage Oak tree proposed for removal is located north of the driveway and has uprooted. Because of the potential hazard, the City Arborist recommends removal of the Oak tree. Replacement inches are not required for this tree.

An updated landscape plan was provided and is included in the Board's packet. The plan reflects existing vegetation on the north and south property lines at the front of the property that will be maintained through construction. New plantings are proposed toward the front of the property and around the driveway. New plantings include Hackberry, Oak, Maple, Pine and Redbud trees, as well as evergreen and deciduous shrubs, and grasses.

Based on the updated landscape plan, the total number of replacement inches is satisfied. In addition to the required replacement inches, the Code establishes a minimum criteria for landscaping for new residential construction. As currently proposed, the minimum criteria for landscaping is also satisfied.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the replacement residence, garage, overall site plan and conceptual landscape plan based on the findings presented in this staff report and as further detailed during the Board's deliberations, subject to the following conditions of approval.

1. Any modifications to the plans presented to the Board either in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and the recently approved subdivision plans and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
3. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed, and shade trees and plantings in the front yard to soften the appearance of the home from the street and to follow the existing natural character found along the streetscape.
4. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.

5. Details of all exterior lighting shall be provided with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass.
6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address <u>1825 Telegraph Road</u>	Owner(s) <u>Bel Sogno LLC (Michael Donato 50%, Wendy Donato 50%)</u>
Architect <u>Bill Massey, architect</u>	Reviewed by: <u>Jen Baehr</u>
Date <u>6/2/2021</u>	
Lot Area <u>295831</u> sq. ft.	

Square Footage of New Residence:

1st floor <u>3182</u> + 2nd floor <u>3444</u> + 3rd floor <u>1346</u>	= <u>7972</u> sq. ft.
Design Element Allowance = <u>2546</u> sq. ft.	
Total Actual Design Elements = <u>607</u> sq. ft.	Excess = <u>0</u> sq. ft.
Garage <u>1460</u> sf actual ; <u>800</u> sf allowance	Excess = <u>660</u> sq. ft.
Garage Width <u>24'- 2"</u> ft. <i>may not exceed 24' in width on lots 18,900 sf or less in size.</i>	
Basement Area	= <u>0</u> sq. ft.
Accessory buildings	= <u>0</u> sq. ft.
TOTAL SQUARE FOOTAGE	= <u>8632</u> sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED	= <u>25466</u> sq. ft.
DIFFERENTIAL	= <u>-16834</u> sq. ft.

Allowable Height: 40 ft. Actual Height 38' - 1" ft.

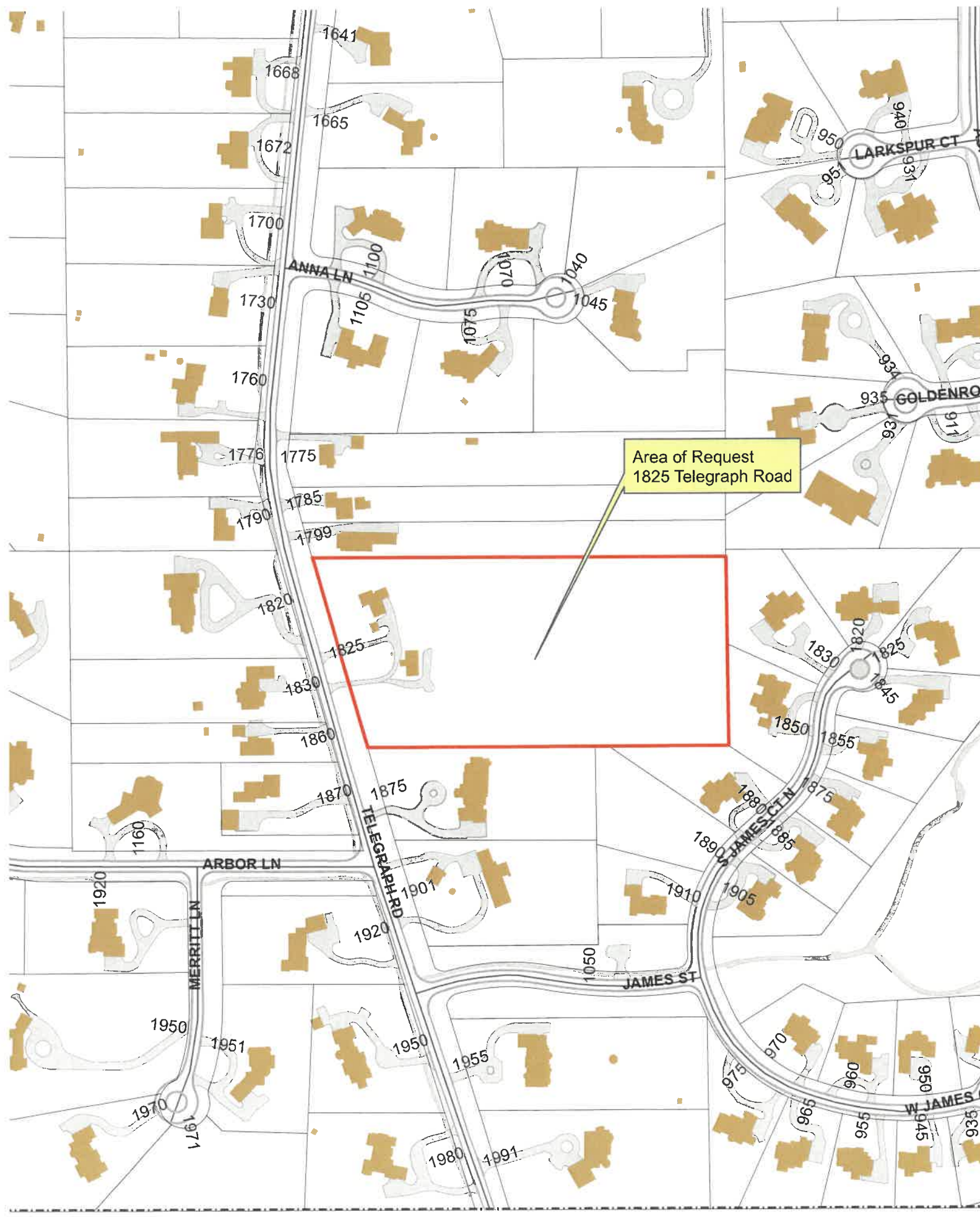
NET RESULT:

16834 sq. ft. is

66% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance:	<u>2546</u> sq. ft.	
Front & Side Porches =	<u>593</u> sq. ft.	
Rear & Side Screen Porches =	<u>0</u> sq. ft.	
Covered Entries =	<u>14</u> sq. ft.	
Portico =	<u>0</u> sq. ft.	
Porte-Cochere =	<u>0</u> sq. ft.	
Breezeway =	<u>0</u> sq. ft.	
Pergolas =	<u>0</u> sq. ft.	
Individual Dormers =	<u>0</u> sq. ft.	
Bay Windows =	<u>0</u> sq. ft.	
Total Actual Design Elements =	<u>607</u> sq. ft.	Excess Design Elements = <u>0</u> sq. ft.





Area of Request
1825 Telegraph Road



Area of Request
1825 Telegraph Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1825 TELEGRAPH RD. LAKE FOREST IL 60045

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

BEL SOQUO LLC
Owner of Property

1665 W. BROADLAND LN.
Owner's Street Address (may be different from project address)

LAKE FOREST IL 60045
City, State and Zip Code

847-878-2183
Phone Number

847-878-2183
Fax Number

MICHAEL BONATO@FGMK.COM
Email Address

Michael Bonato
Owner's Signature

ARCHITECT/BUILDER INFORMATION

RICK VALSELOW owner.
Name and Title of Person Presenting Project

V3 BUILDERS, INC.
Name of Firm

13880 W. TERIL DR.
Street Address

METTAWA IL 60045
City, State and Zip Code

847-830-3161
Phone Number

847-830-3161
Fax Number

RICK.V3@ICLOUD.COM
Email Address

Rick Valselow
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MICHAEL DONATO</u>	Name <u>WENAY DONATO</u>
Address <u>1665 W. BRANHAM LN</u> <u>LAKE FOREST, IL</u>	Address <u>1665 W. BRANHAM LN</u> <u>LAKE FOREST, IL 60057</u>
Ownership Percentage <u>50</u> %	Ownership Percentage <u>50</u> %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

May 10, 2021

Bel Sogno, LLC
1825 Telegraph Road.
Lake Forest, Illinois 60045

Reply to Building Review Board Notice of Action

Item a: Natural wood noted for fascia, rakeboards and soffits on general exterior material note and on each of the exterior elevations – Sheet A3.0-A3.5

Item b: The front door is the single arched element in the composition – this is what makes it prominent. This is reinforced as it is recessed between two-story stone gables that have double height metal detailed elements – creating “sentries” on each side of the front door. It is further highlighted with a profiled stone surround and decorative scones that draw focus to it as the “center” of the composition.

Item c: The garage massing was studied. The composition of gables on the garage as shown was deemed the most appropriate solution in that it breaks up roof planes and modulates the garage form. The two-story bay is meant to be integrated into the overall composition in its use of metal detailing that is picked up around the house yet stands out against the stone massing in design/scale and material. It is also the most forward projecting element on the house and the most transparent.

Item d: The stair window was studied and the amount of window is critical to maximizing natural light for the interior space. Options to create multiple windows or adding solid panels were rejected due to lack of appropriate scale and loss of natural light. The metal window surround detail that projects from the stone massing and will be profiled to create a refined “frame” that makes the window a picture floating on the stone wall.

Item e: The gables were studied and without adding gratuitous elements to the design, small gable windows with stone head and sills were added similar to the detail that exists on the back gable above the kitchen.

Item f: A detailed lighting plan is included.

Item g: A detailed landscape plan is provided. This will continue to be updated through construction and the owner will work with the City to meet and exceed the stated landscape requirements to enhance the property.

Item h: Builder is providing samples of materials on site.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish CHESTNUT BRONZE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☒ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone FRONT DOOR SURROUND
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STONE TO RETURN TO DOORS

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STONE TO RETURN TO WINDOWS

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

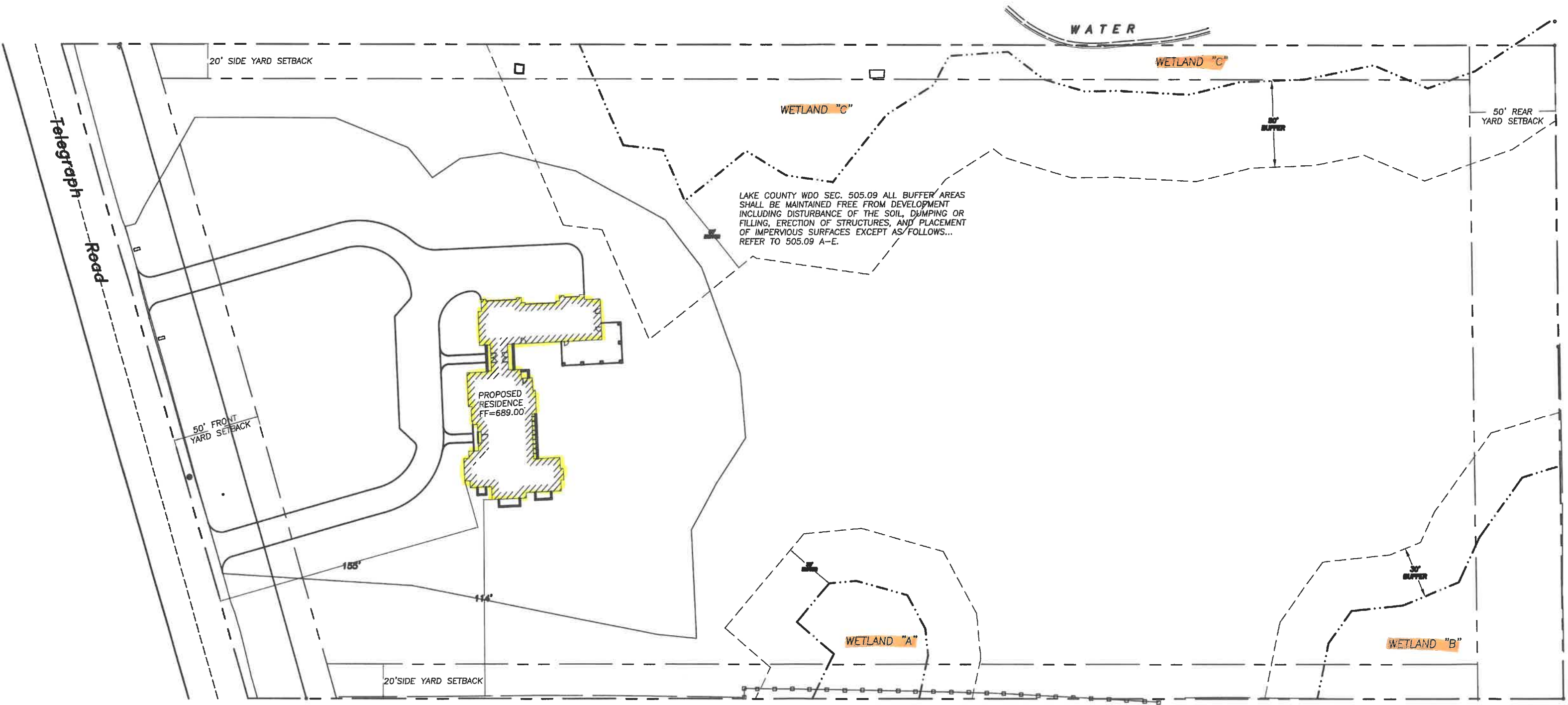
- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other PORCELAIN TILES FROM UNILOCK



EXTERIOR MATERIAL SPEC

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL - HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICURE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

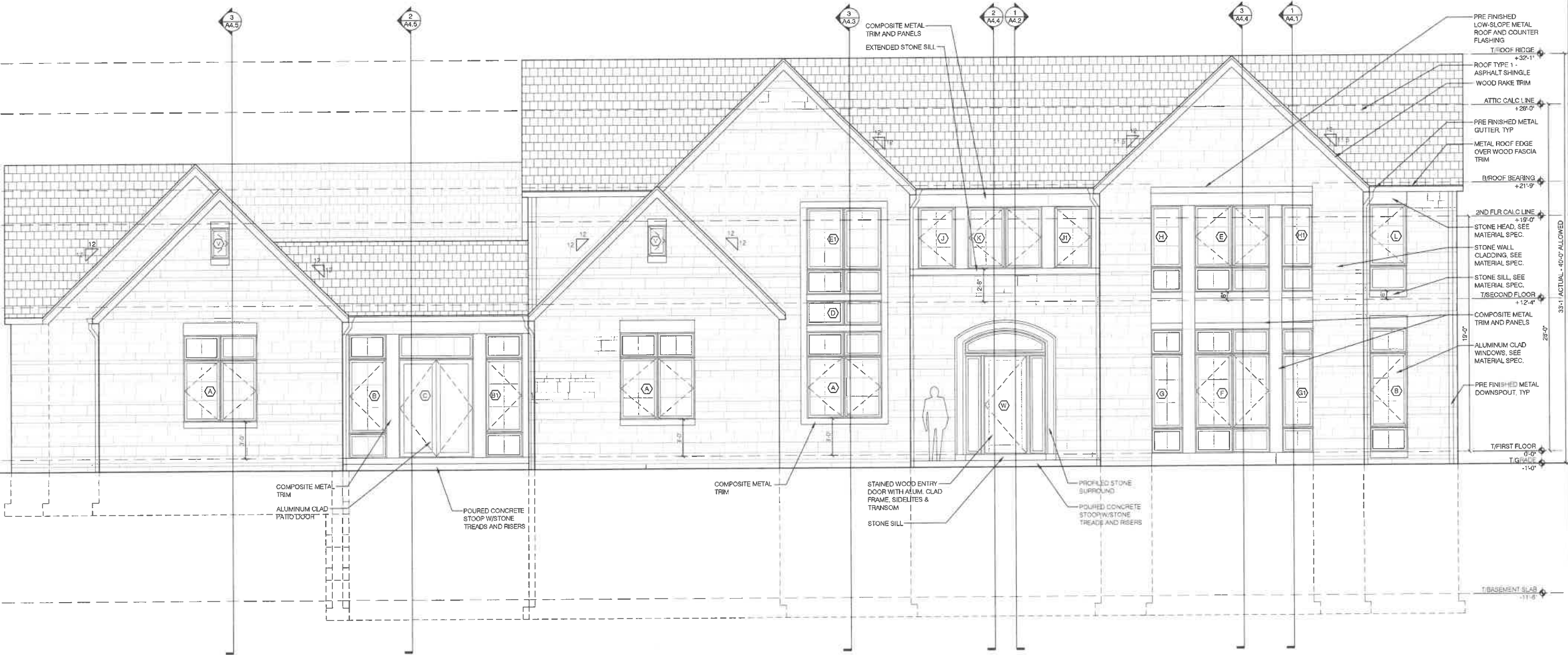
METAL WALL PANEL TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVES/OFFIT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T 773.525.2900 F 773.525.2999
www.masseyassociates.com



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS
A3.0

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES; CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEFOACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICVUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

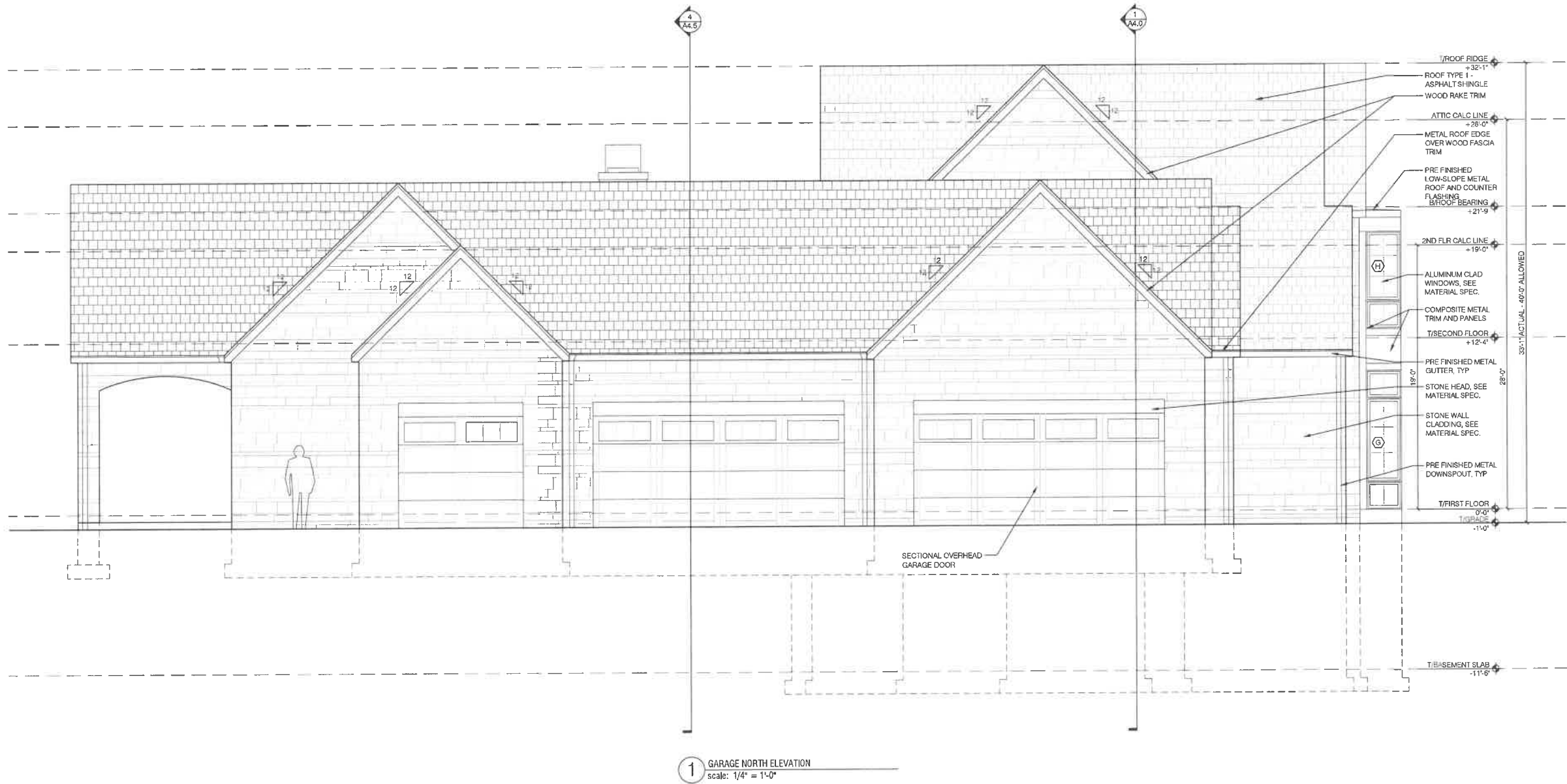
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR: TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVES/SOFRIT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Chicago, Illinois 60613
T 773.525.2900 F 773.525.2999
www.masseyassociates.com



PROPOSED NORTH ELEVATION – WITH SECTION THROUGH LINK BETWEEN HOUSE & GARAGE

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL, HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.,
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO., CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755

(ALT: INDIANA LIMESTONE)
CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPIQUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

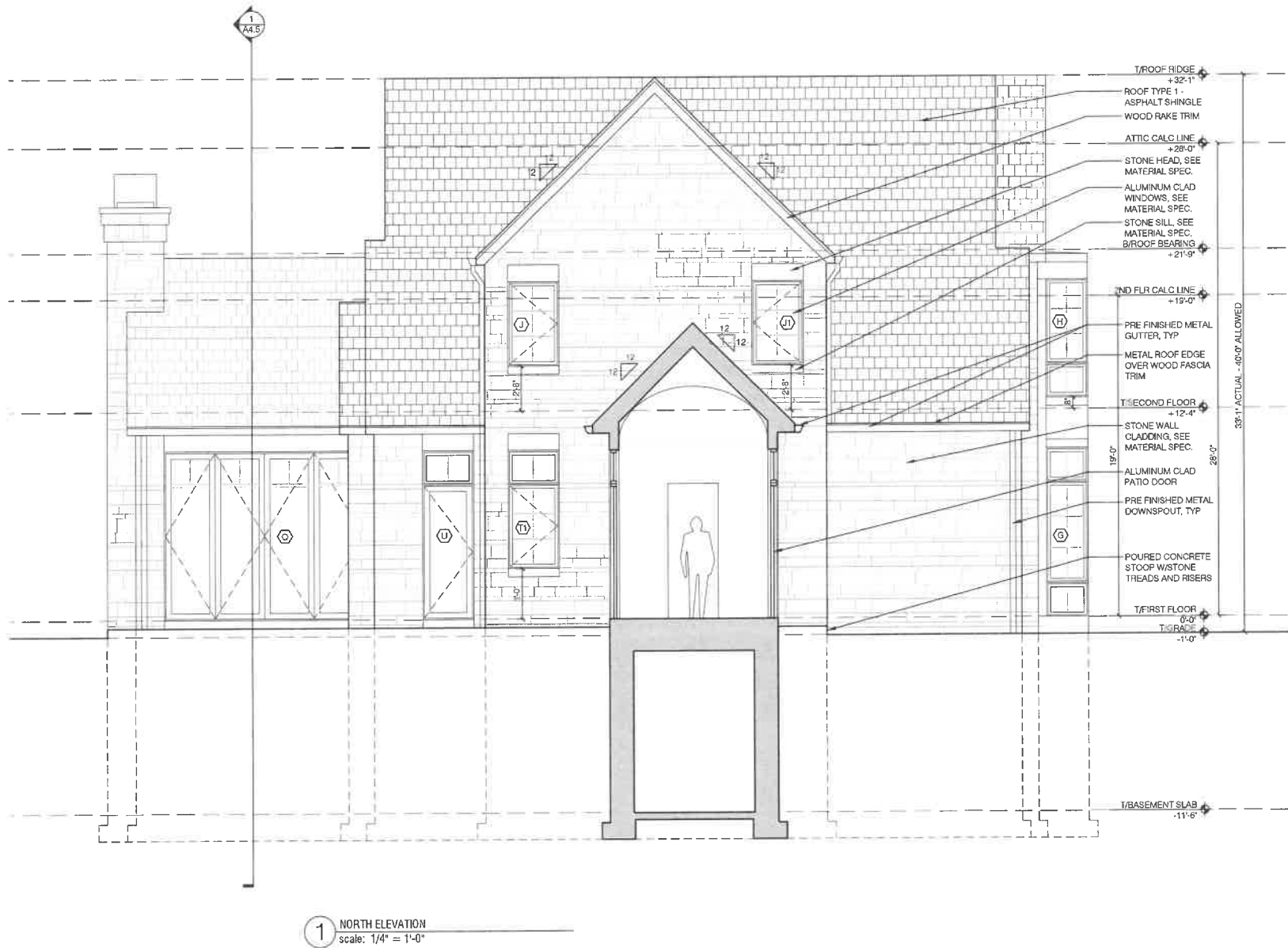
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR: TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVE/OFFSET TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T 773.525.2900 F 773.525.2999
www.masseyassociates.com



Graphic Scale
0 1 2 3 4
(IN FEET)
1 inch = 4 feet

STATE OF ILLINOIS
WILLIAM JOHN MASSEY
001-016530
LICENSED ARCHITECT

ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

A3.3

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK - FOND DU LAC BEDFACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS - FOND DU LAC
HONED (pressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755 (ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN SPICUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVE/SOFT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T: 773.525.2900 F: 773.525.2999
www.masseyassociates.com



1 EAST ELEVATION
scale: 1/4" = 1'-0"

Graphic Scale
0 2 4
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

A3.1

PROPOSED SOUTH ELEVATION

EXTERIOR MATERIALS OF CONSTRUCTION

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL - HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONEYED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOCHUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

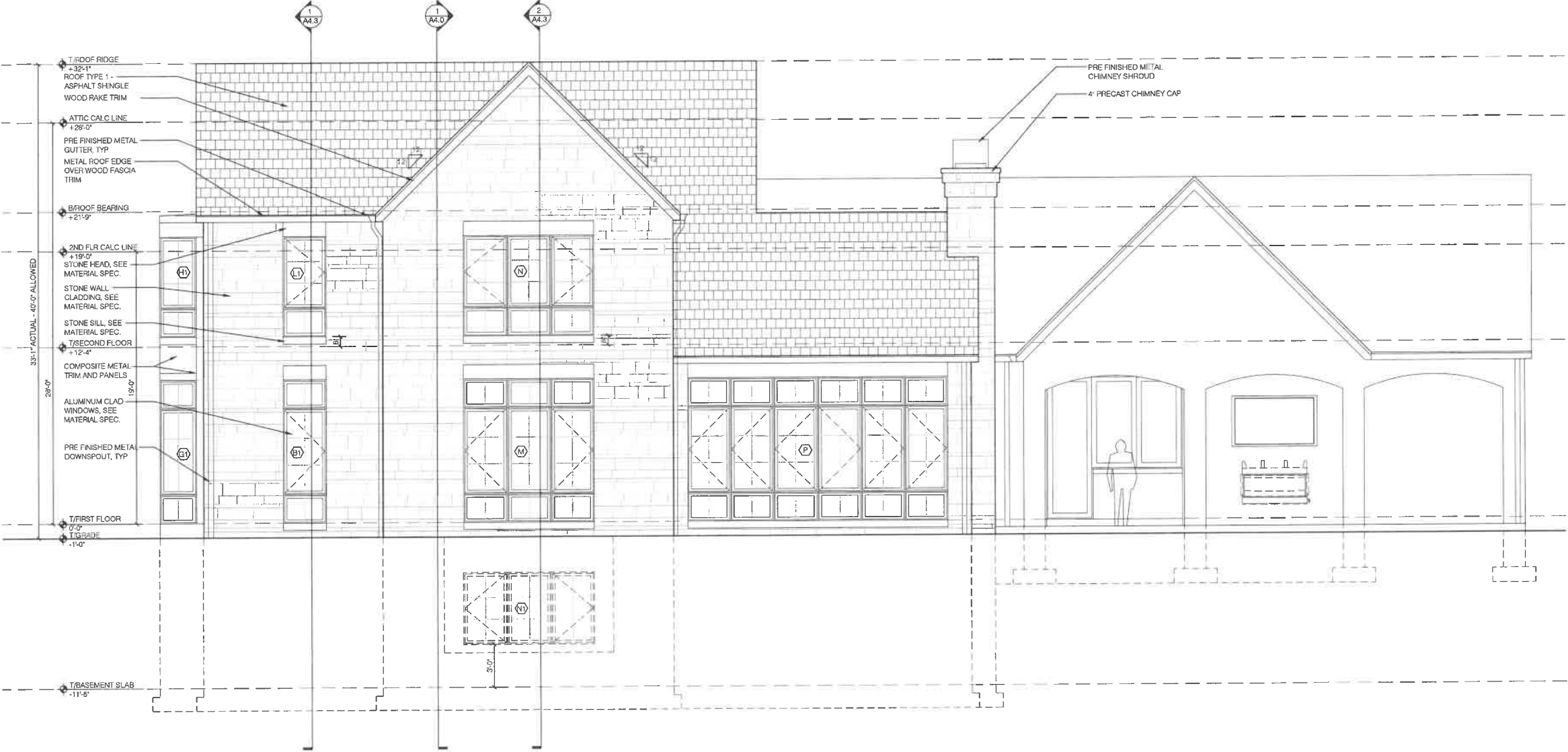
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVES/OFFIT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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ARCHITECTS

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1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS
A3.2

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/CILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOCHUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

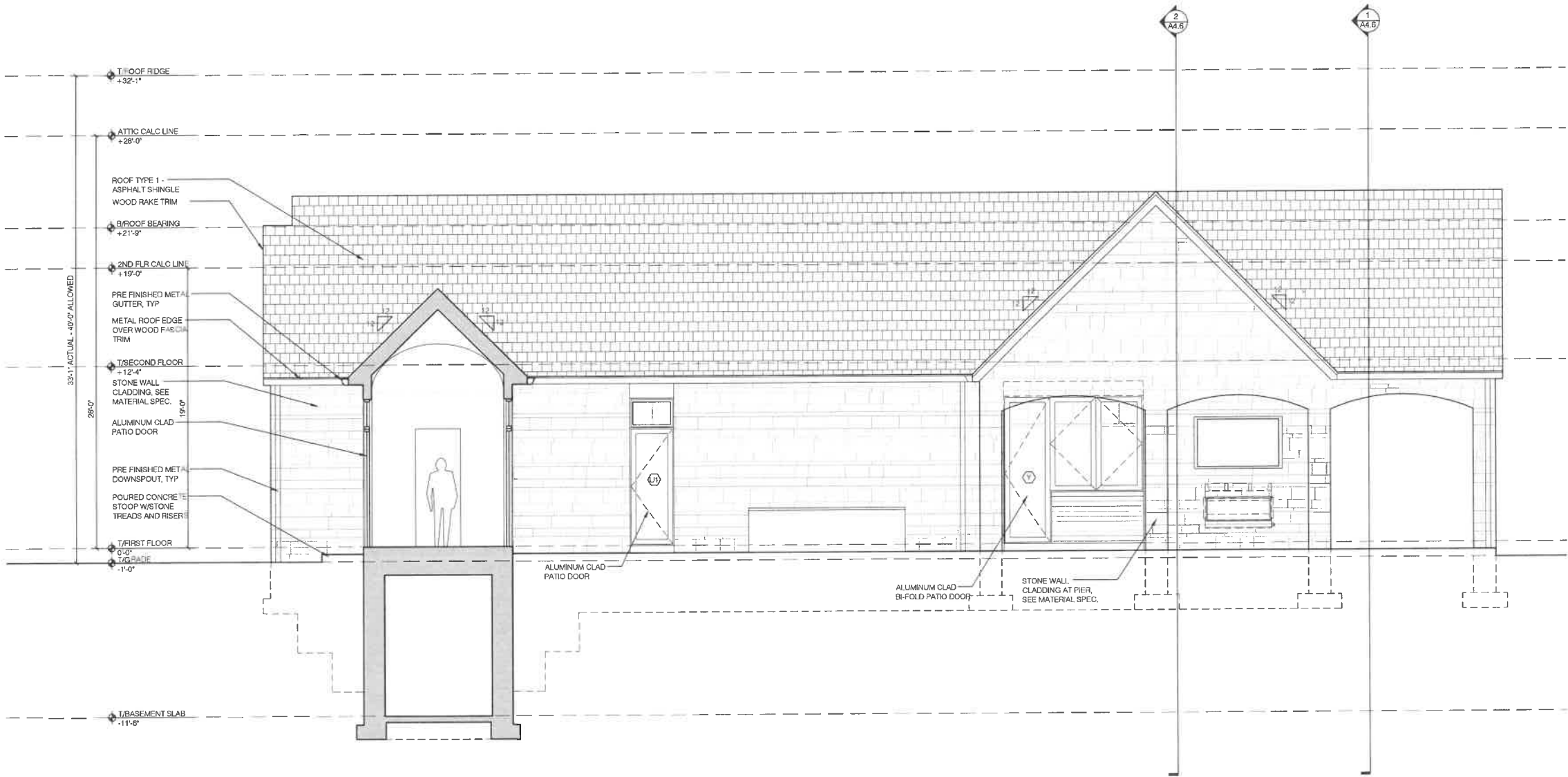
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE); MFR: TO BE DETERMINED BY
CONTRACTOR

WOOD FASCH/SHOVE/OFFSET TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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1 GARAGE SOUTH ELEVATION
scale: 1/4" = 1'-0"

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS
A3.4

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL - HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICVUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE). MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVE/SOFFT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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1 BIRDEYE VIEW FROM STREET
scale: N.T.S.

Graphic Scale
0 1 2
(IN FEET)
1 inch = 4 Feet



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

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Lake Forest, IL 60045

EXTERIOR
RENDERINGS

A3.8



2 VIEW FROM WEST
scale: N.T.S.



1 VIEW FROM SOUTHWEST
scale: N.T.S.

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 820-848-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS - FOND DU LAC
TIONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
820-848-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT. INDIANA LESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOQUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

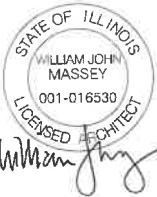
WOOD FASCIA/EAVES/OFFSET TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Graphic Scale
0 1 2
(IN FEET)
1 inch = 4 Feet



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

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Lake Forest, IL 60045

EXTERIOR
RENDERINGS

A3.6



2 CLOSE UP FROM DRIVE
scale: N.T.S.



1 CLOSE UP FROM DRIVE
scale: N.T.S.

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK, "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.,
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEADSILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT. INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD WEN EPICURE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIAS/EAVES/SOFFIT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Lake Forest, IL 60045

EXTERIOR
RENDERINGS
A3.9



2 VIEW FROM NORTHEAST
scale: N.T.S.



1 VIEW FROM SOUTHEAST
scale: N.T.S.

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO COLOR: MAX DEF
DRIFTWOOD
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/CILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPIQUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE). MFR. TO BE DETERMINED BY
CONTRACTOR

WOOD FASCIA/EAVE/SOFFIT TRIM:
1X CLEAR CEDAR BOARDS, SOLID COLOR
STAIN TO MATCH WINDOW CLADDING
(CHESTNUT BRONZE)

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Chicago, Illinois 60613
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Graphic Scale
0 1 2 3 4
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: BLDG REV BD CMT DATE: 05.10.2021

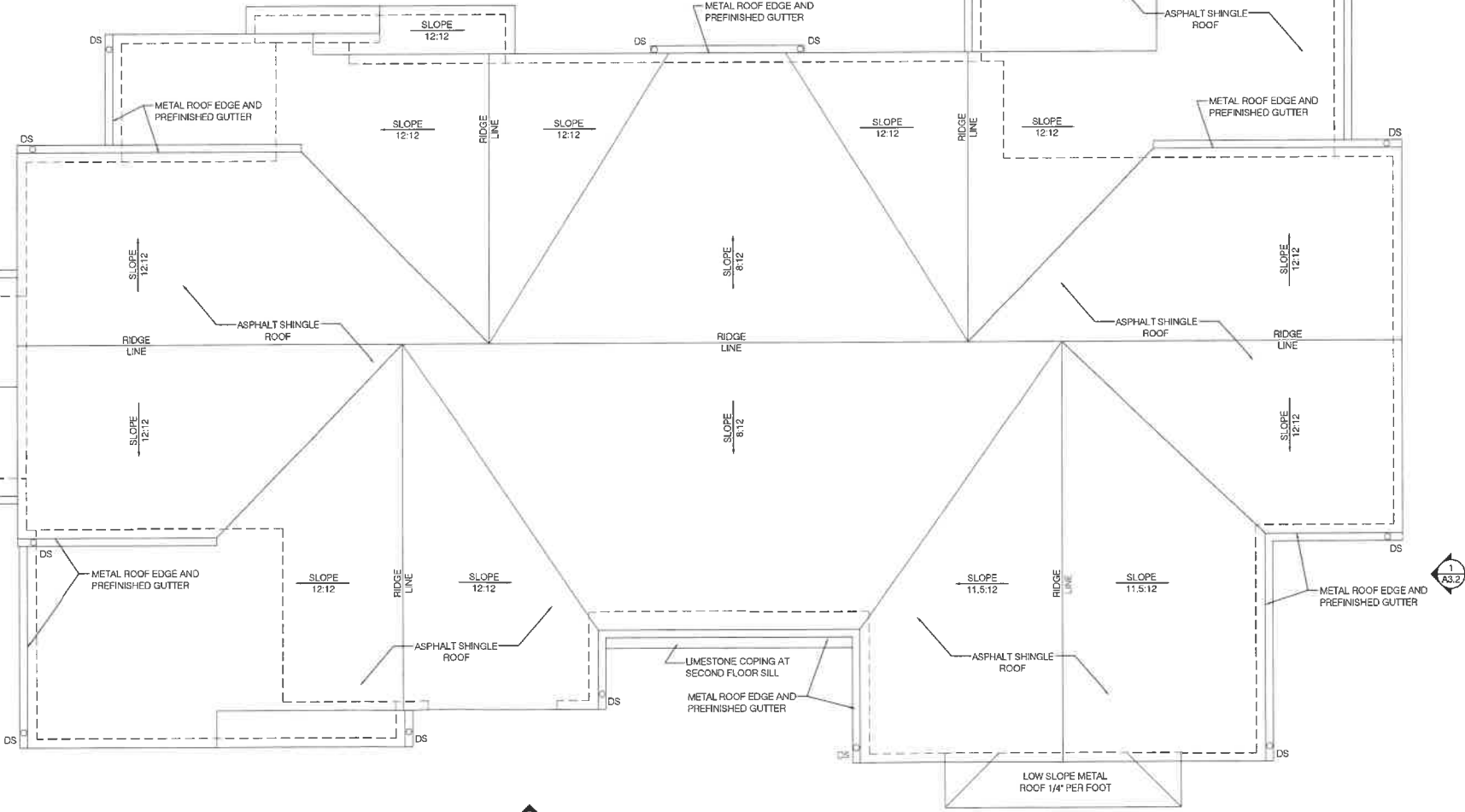
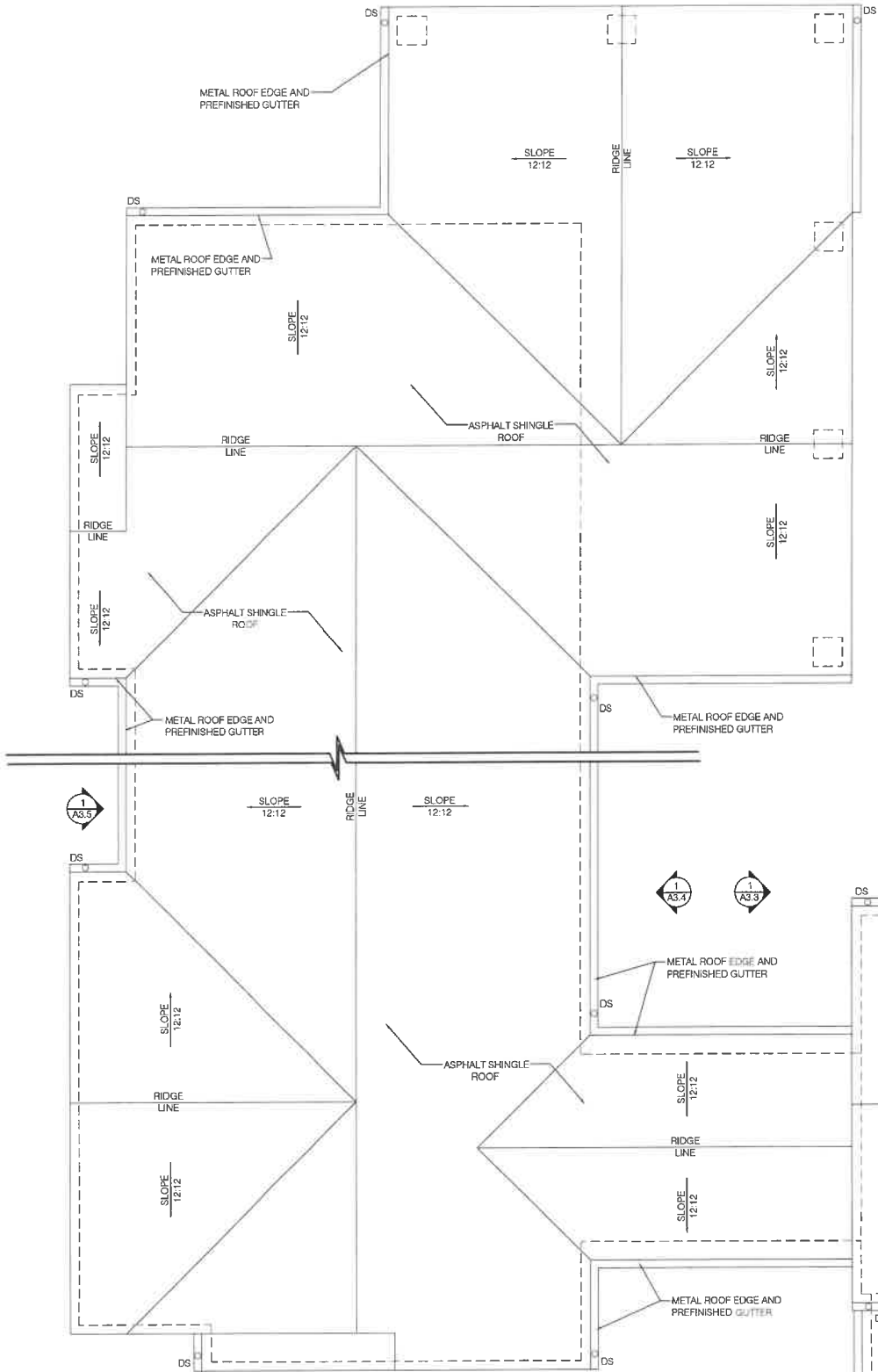
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Lake Forest, IL 60045

EXTERIOR
RENDERINGS

A3.7

PROPOSED ROOF PLAN



1 ROOF PLAN
scale: 1/4" = 1'-0"

ROOFING NOTES

1. CONTRACTOR TO PROVIDE FOR SEPARATION OF DISSIMILAR METALS (SUCH AS BETWEEN ZINC AND ALUMINUM) WHEN REQUIRED TO PREVENT GALVANIC ACTION.
2. ANY VENT OR STACK FROM AN APPLIANCE, MECHANICAL OR PLUMBING COMPONENT TO BE VENTED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL VENTS AND CAPS TO RISE ABOVE THE ROOF WITH THE REQUIRED CLEARANCES AND TO BE FLASHED.
3. VERIFY LOCATION OF ANY AND ALL ROOF OR WALL PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
4. PROVIDE PREFINISHED METAL GUTTER AND DOWNSPOUT SYSTEM PER DRAWINGS U.N.O. CONTRACTOR RESPONSIBLE FOR VERIFYING SIZE, QUANTITIES AND LOCATIONS OF GUTTERS, SCUPPERS, DOWNSPOUTS, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE WITH LOCATIONS INDICATED IN DRAWINGS AND REVIEW ANY CHANGES/ADDITIONS WITH ARCHITECT PRIOR TO INSTALLATION. ALL DOWNSPOUTS TO TIE-IN TO DRAINTILE FOR DISCHARGE ON GRADE AT A REMOTE LOCATION - REVIEW WITH ARCHITECT.
5. PROVIDE CONTINUOUS WATERPROOF UNDERLAYMENT (ICE & WATER SHIELD® BY W.R. GRACE OR APPROVED EQUAL) AT ALL ROOF VALLEYS, HIPS, EAVES, RAKES, LOW SLOPE AND FLAT ROOFS AND CHANGES IN ROOF PITCH.
6. AT EAVES, WATERPROOF UNDERLAYMENT TO EXTEND 24" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS 4:12 OR GREATER. EXTEND WATERPROOF UNDERLAYMENT 36" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS LESS THAN 4:12.
7. INSTALL WATERPROOF UNDERLAYMENT AT EAVES PER MANUFACTURERS STANDARD INSTALLATION DETAILS FOR "HIGH SNOW AREAS".

GENERAL NOTES

1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP, MINIMUM ONE PER FLOOR.

LEGEND

- (X) WINDOW TAG (SEE SCHEDULE)
- (X-1) DOOR TAG (SEE SCHEDULE)
- (T) PLUMBING FIXTURE (SEE SCHEDULE)
- (A6.0) INTERIOR ELEVATION TAG
- (SP) CARBON DIOXIDE/ SMOKE DETECTOR
- (H) EXTERIOR FROST FREE HOSE BIB

MASSEY ASSOCIATES ARCHITECTS

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Chicago, Illinois 60613
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ISSUED FOR: PERMIT DATE: 03.08.2021

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Lake Forest, IL 60045

ROOF PLAN

A2.3

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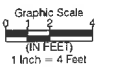
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Lake Forest, IL 60045

BUILDING
SECTION
A4.0

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ISSUED FOR: PERMIT DATE: 03.08.2021

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Lake Forest, IL 60045

BUILDING
SECTION

A4.2



STAIR NOTES

1. STAIRS SHALL NOT BE LESS THAN 36" IN WIDTH
2. MINIMUM TREAD DEPTH, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 9". THE MAXIMUM HEIGHT OF A RISER SHALL NOT EXCEED 7 3/4".
3. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF ALL STAIRS. HANDRAIL HEIGHT SHALL BE GREATER THAN 34" AFF AND LESS THAN 38" AFF.
4. STAIRS SHALL HAVE A MINIMUM HEAD ROOM OF 6'-8"
5. A LANDING SHALL BE PROVIDED WHEN THE VERTICAL RISE OF A STAIR EXCEEDS 12FT
6. GUARDRAILS TO BE PROVIDED AT 42" AFF AT EVERY POINT OF DANGER INCLUDING AT ALL EDGES OF EVERY FLOOR, BALCONY, MEZZANINE OR OTHER SPACE USED OR INTENDED FOR HUMAN OCCUPANCY WHICH IS AT A HEIGHT OF MORE THAN 2' ABOVE THE FLOOR, GROUND OR PAVEMENT DIRECTLY BELOW. BALUSTERS TO BE VERTICAL AND SPACING SO AS TO REJECT A 4" SPHERE.
- 7.

WINDOW & DOOR NOTES

1. SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF. BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE.
2. ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABETTED DOOR JAMBS
3. EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN. CLEAR HT. 24" MIN. AND CLEAR OPENING 5.7ft MIN.
4. EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH. ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW. UNLESS NOTED OTHERWISE.

GENERAL NOTES

1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP, MINIMUM ONE PER FLOOR.

LEGEND

- WINDOW TAG (SEE SCHEDULE)
- DOOR TAG (SEE SCHEDULE)
- PLUMBING FIXTURE (SEE SCHEDULE)
- INTERIOR ELEVATION TAG
- CARBON DIOXIDE/ SMOKE DETECTOR
- EXTERIOR FROST FREE HOSE BIB

MASSEY ASSOCIATES ARCHITECTS

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Chicago, Illinois 60613
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www.masseyassociates.com

Graphic Scale
0 1 2 3
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: DATE:
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PRIVATE RESIDENCE

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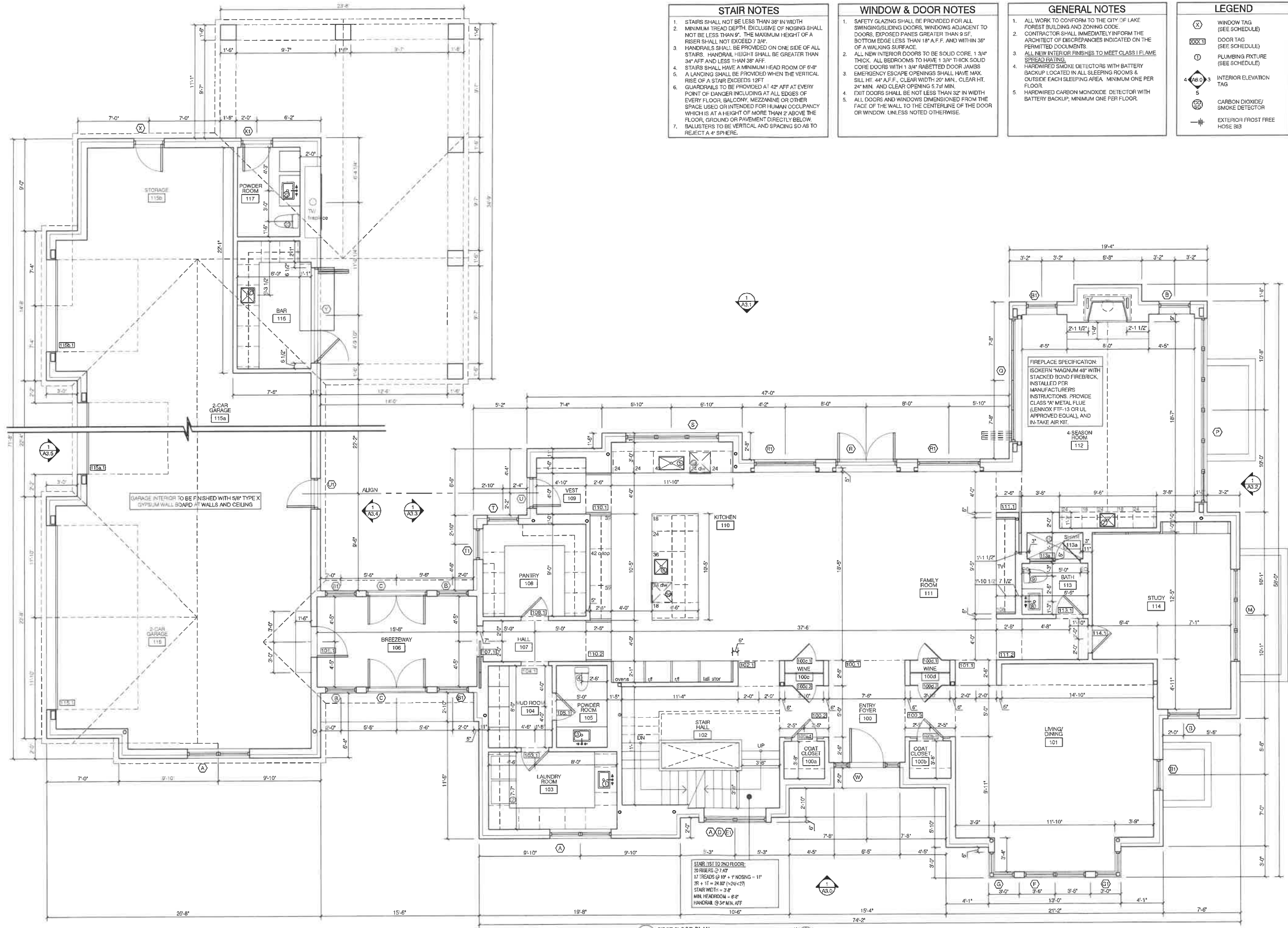
BASEMENT PLAN

A2.0

1 BASEMENT PLAN
scale: 1/4" = 1'-0"



FIRST FLOOR PLAN



- STAIR NOTES**
1. STAIRS SHALL NOT BE LESS THAN 36" IN WIDTH
 2. MINIMUM TREAD DEPTH, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 9". THE MAXIMUM HEIGHT OF A RISER SHALL NOT EXCEED 7 3/4".
 3. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF ALL STAIRS. HANDRAIL HEIGHT SHALL BE GREATER THAN 34" AFF AND LESS THAN 38" AFF.
 4. STAIRS SHALL HAVE A MINIMUM HEAD ROOM OF 6'-8"
 5. A LANDING SHALL BE PROVIDED WHEN THE VERTICAL RISE OF A STAIR EXCEEDS 12 FT
 6. GUARDRAILS TO BE PROVIDED AT 42" AFF AT EVERY POINT OF DANGER INCLUDING AT ALL EDGES OF EVERY FLOOR, BALCONY, MEZZANINE OR OTHER SPACE USED OR INTENDED FOR HUMAN OCCUPANCY WHICH IS AT A HEIGHT OF MORE THAN 2' ABOVE THE FLOOR, GROUND OR PAVEMENT DIRECTLY BELOW.
 7. BALUSTERS TO BE VERTICAL AND SPACING SO AS TO REJECT A 4" SPHERE.

- WINDOW & DOOR NOTES**
1. SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF, BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE.
 2. ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABBETED DOOR JAMBS
 3. EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN., CLEAR HT. 24" MIN. AND CLEAR OPENING 5.7 sq. ft. MIN.
 4. EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH
 5. ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW, UNLESS NOTED OTHERWISE.

- GENERAL NOTES**
1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
 2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP, MINIMUM ONE PER FLOOR.

- LEGEND**
- (X) WINDOW TAG (SEE SCHEDULE)
 - (XXXI) DOOR TAG (SEE SCHEDULE)
 - (I) PLUMBING FIXTURE (SEE SCHEDULE)
 - 4-A8.0-3 INTERIOR ELEVATION TAG
 - 5 CARBON DIOXIDE/ SMOKE DETECTOR
 - EXTERIOR FROST FREE HOSE BIB

MASSEY
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ARCHITECTS

4841 North Ravenswood #207
Chicago, Illinois 60613
T: 773.525.2990 F: 773.525.2999
www.masseyassociates.com

Graphic Scale
0 2
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: DATE:
PERMIT 03.08.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

FIRST
FLOOR
PLAN

A2.1

1 FIRST FLOOR PLAN
scale: 1/4" = 1'-0"

SECOND FLOOR PLAN

- STAIR NOTES**
1. STAIRS SHALL NOT BE LESS THAN 36" IN WIDTH MINIMUM TREAD DEPTH, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 9". THE MAXIMUM HEIGHT OF A RISER SHALL NOT EXCEED 7 3/4".
 2. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF ALL STAIRS. HANDRAIL HEIGHT SHALL BE GREATER THAN 34" AFF AND LESS THAN 38" AFF.
 3. STAIRS SHALL HAVE A MINIMUM HEAD ROOM OF 6'-8". A LANDING SHALL BE PROVIDED WHEN THE VERTICAL RISE OF A STAIR EXCEEDS 12 FT.
 4. GUARDRAILS TO BE PROVIDED AT 42" AFF AT EVERY POINT OF DANGER INCLUDING AT ALL EDGES OF EVERY FLOOR, BALCONY, MEZZANINE OR OTHER SPACE USED OR INTENDED FOR HUMAN OCCUPANCY WHICH IS AT A HEIGHT OF MORE THAN 2' ABOVE THE FLOOR, GROUND OR PAVEMENT DIRECTLY BELOW. BALUSTERS TO BE VERTICAL AND SPACING SO AS TO REJECT A 4" SPHERE.

- WINDOW & DOOR NOTES**
1. SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF, BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE.
 2. ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABETTED DOOR JAMBS. EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN. CLEAR HT. 24" MIN. AND CLEAR OPENINGS 5 7/8" MIN.
 3. EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW, UNLESS NOTED OTHERWISE.

- GENERAL NOTES**
1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
 2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP; MINIMUM ONE PER FLOOR.

- LEGEND**
- WINDOW TAG (SEE SCHEDULE)
 - DOOR TAG (SEE SCHEDULE)
 - PLUMBING FIXTURE (SEE SCHEDULE)
 - INTERIOR ELEVATION TAG
 - CARBON DIOXIDE/ SMOKE DETECTOR
 - EXTERIOR FROST FREE HOSE BIB

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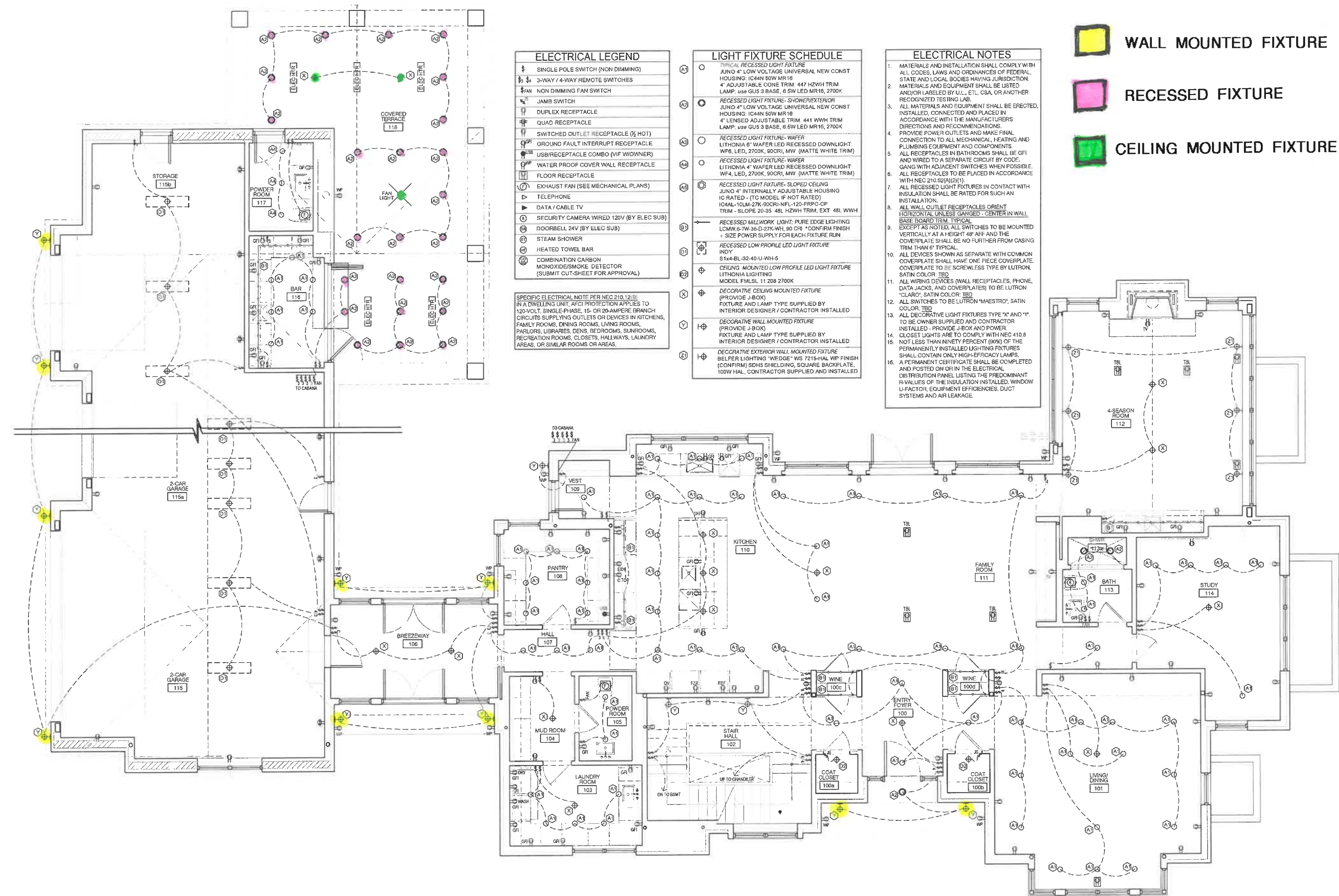
1825 Telegraph Road
Lake Forest, IL 60045

SECOND
FLOOR
PLAN

A2.2

1 SECOND FLOOR PLAN
scale: 1/4" = 1'-0"





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DESIGN-BUILD

Graphic Scale
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FIRST FLOOR
POWER AND LIGHT
PLAN

E2.1

PROPOSED WALL MOUNTED LIGHT FIXTURE

Lightology

Portico Outdoor Wall Sconce

ITEM NUMBER

HUB348385



BRAND

Hubbardton Forge

DESCRIPTION

The Portico Outdoor Wall Sconce brings an architectural design with a contemporary vibe to your interior space. Opal Glass or Seeded Clear Glass cylinders rest in a body finished in Coastal Bronze, Coastal Dark Smoke, Coastal Burnished Steel, Coastal Mahogany, Coastal Gold, Coastal Natural Iron or Coastal Black and available in three sizes. Robust Coastal Outdoor finishes are specifically formulated to resist some of the harshest environmental conditions. Lifetime Limited Warranty when installed in residential setting. Handcrafted to order by skilled artisans in Vermont, USA. Smallest size is ADA compliant. Wet location rated. UL and cUL listed.



Shown in: Coastal Burnished Steel / Opal

SHADE COLOR	Opal
BODY FINISH	Coastal Black
WATTAGE	24W
DIMMER	Standard 120V
DIMENSIONS	9.8"W x 23"H x 7.1"D
LAMP	4 x CA10/Medium (E26)/6W/120V LED

Technical Information

PRODUCT DIMENSIONS	Backplate: 8.6" x 11.5" Rect.
--------------------	-------------------------------

ITEM NUMBER

HUB348385

COMPANY	PROJECT	FIXTURE TYPE	APPROVED BY	DATE



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL: INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

**1825 TELEGRAPH ROAD
RESIDENTIAL DEVELOPMENT
1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS**

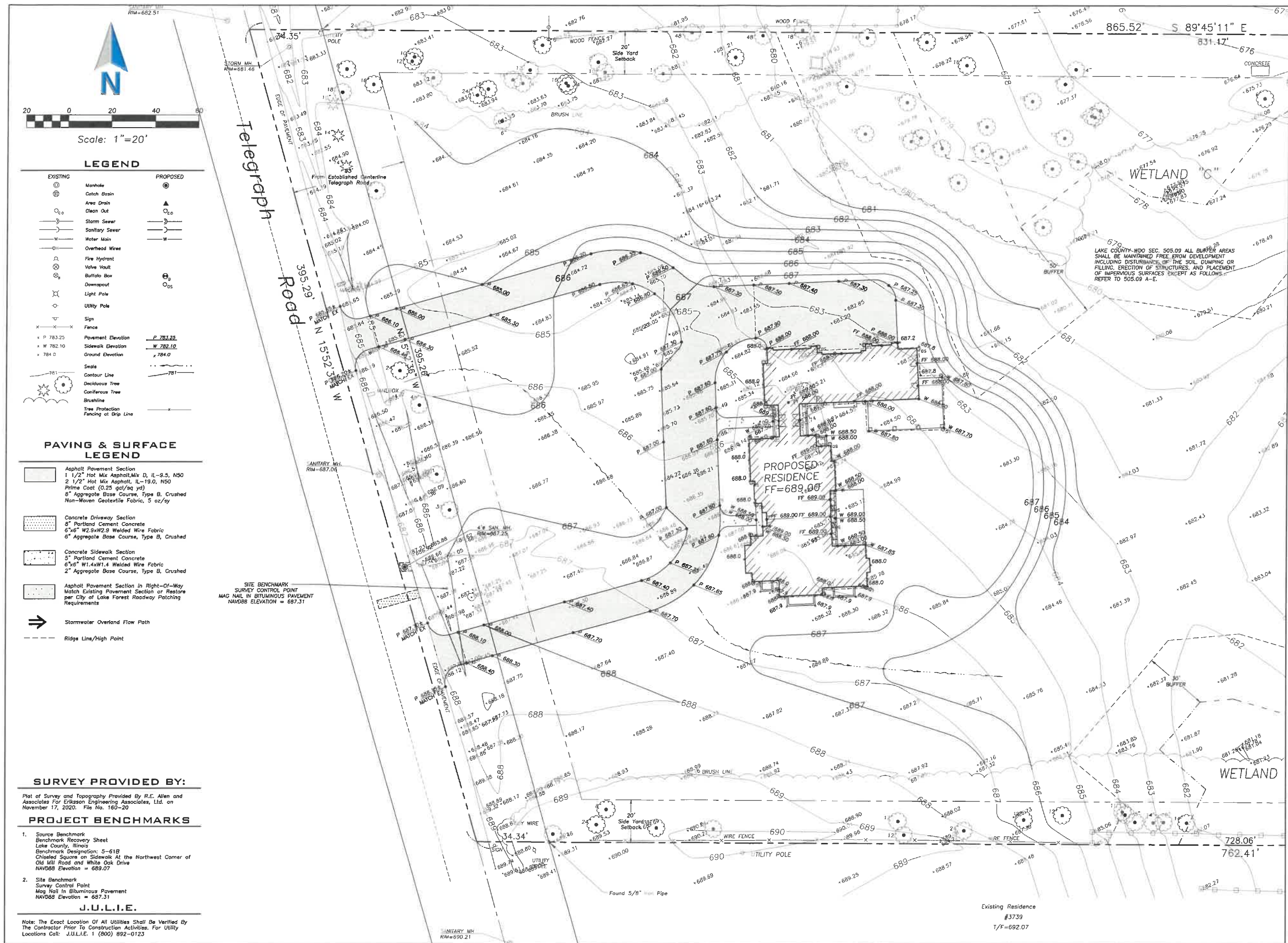
Reserved for Seal:

No.	Date	Description
03/08/21	Issued for City Permit	
03/25/21	Issued for Building Review Board	

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Design By: JC Approved By: MR Date: 03/05/21

Sheet Title:
**GRADING AND
PAVING PLAN**

Sheet No:
C401





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LICENSE NO. 184-003220
EXPIRES: 04/30/2021

1825 TELEGRAPH ROAD RESIDENTIAL DEVELOPMENT 1825 TELEGRAPH ROAD LAKE FOREST, ILLINOIS

Reserved for Seal:



Expires: 08/31/2021

No.	Date	Description
	04/02/2021	Issued for City Permit

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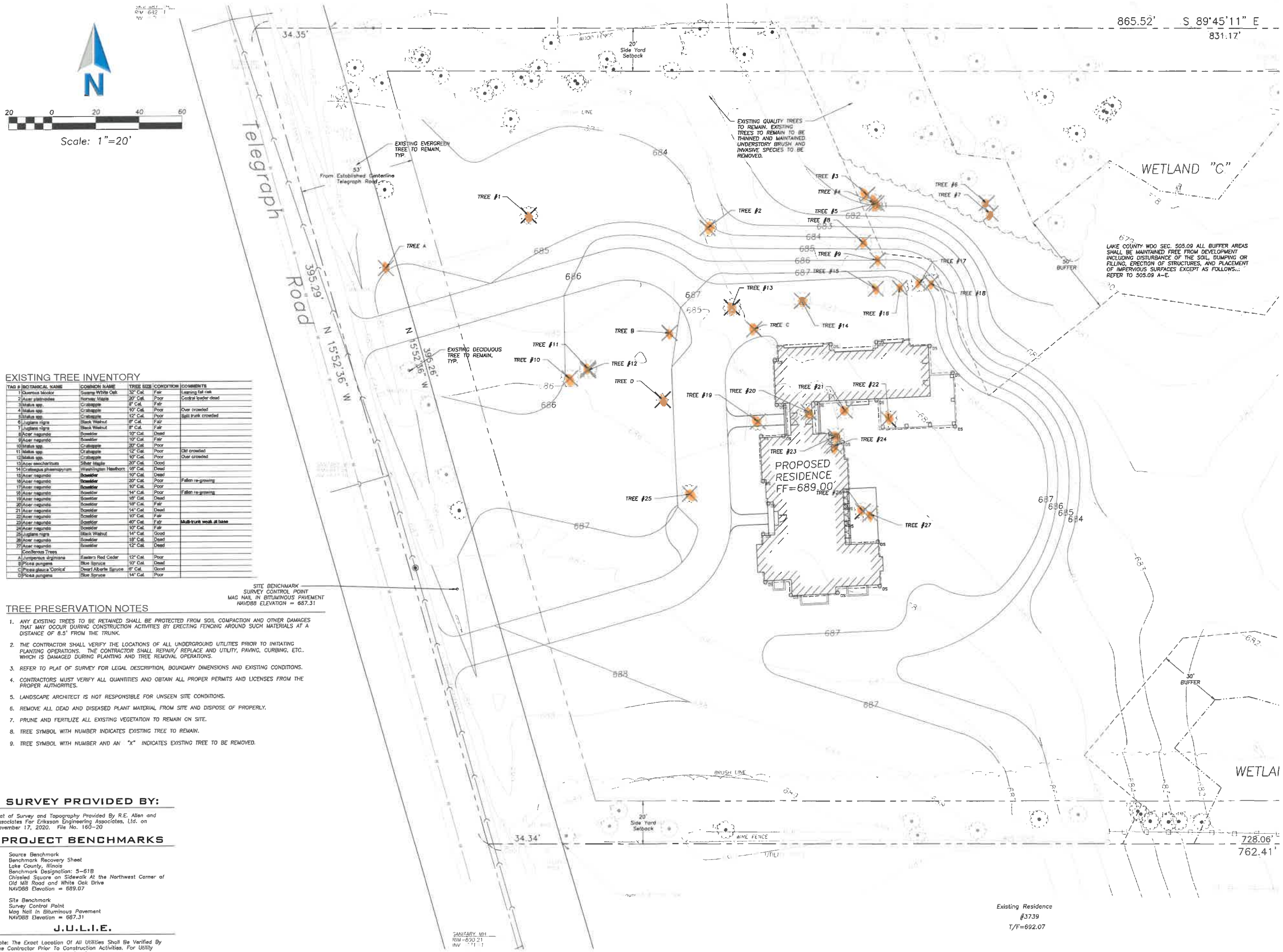
Design by: JC Approved By: MR Date: 03/05/21

Sheet Title:

TREE PRESERVATION PLAN

Sheet No:

TP100



INVENTORY OF TREES TO BE REMOVED

EXISTING TREE INVENTORY

TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	Quercus bicolor	Swamp White Oak	32" Cal.	Fair	Leaning fall risk
2	Acer platanoides	Norway Maple	20" Cal.	Poor	Central leader dead
3	Malus spp.	Crabapple	8" Cal.	Fair	
4	Malus spp.	Crabapple	10" Cal.	Poor	Over crowded
5	Malus spp.	Crabapple	12" Cal.	Poor	Split trunk crowded
6	Juglans nigra	Black Walnut	6" Cal.	Fair	
7	Juglans nigra	Black Walnut	8" Cal.	Fair	
8	Acer negundo	Boxelder	10" Cal.	Dead	
9	Acer negundo	Boxelder	10" Cal.	Fair	
10	Malus spp.	Crabapple	20" Cal.	Poor	
11	Malus spp.	Crabapple	12" Cal.	Poor	Old crowded
12	Malus spp.	Crabapple	10" Cal.	Poor	Over crowded
13	Acer saccharinum	Silver Maple	20" Cal.	Good	
14	Crateagus phaenopyrum	Washington Hawthorn	16" Cal.	Dead	
15	Acer negundo	Boxelder	10" Cal.	Dead	
16	Acer negundo	Boxelder	20" Cal.	Poor	Fallen re-growing
17	Acer negundo	Boxelder	10" Cal.	Poor	
18	Acer negundo	Boxelder	14" Cal.	Poor	Fallen re-growing
19	Acer negundo	Boxelder	16" Cal.	Dead	
20	Acer negundo	Boxelder	18" Cal.	Fair	
21	Acer negundo	Boxelder	14" Cal.	Dead	
22	Acer negundo	Boxelder	10" Cal.	Fair	
23	Acer negundo	Boxelder	40" Cal.	Fair	Multi-trunk weak at base
24	Acer negundo	Boxelder	10" Cal.	Fair	
25	Juglans nigra	Black Walnut	14" Cal.	Good	
26	Acer negundo	Boxelder	18" Cal.	Dead	
27	Acer negundo	Boxelder	12" Cal.	Dead	
Coniferous Trees					
A	Juniperous virginiana	Eastern Red Cedar	12" Cal.	Poor	
B	Picea pungens	Blue Spruce	10" Cal.	Dead	
C	Picea glauca 'Conica'	Dwarf Alberta Spruce	6" Cal.	Good	
D	Picea pungens	Blue Spruce	14" Cal.	Poor	



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1825 TELEGRAPH ROAD
RESIDENTIAL DEVELOPMENT
1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS

Reserved for Seal:

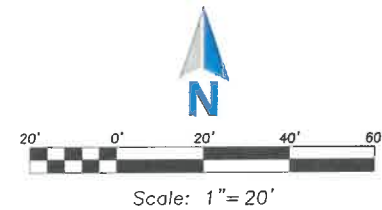


No.	Date	Description
04/02/2021	Issued for City Permit	
05/10/2021	Issued for City Building Review Board Comments	
05/17/2021	Issued per City Staff Review	

DESIGN BY:	APPROVED BY:	DATE:
JC	MR	03/05/21

Sheet Title:
**LANDSCAPE
PLAN**

Sheet No:
L100



LANDSCAPE NOTES:

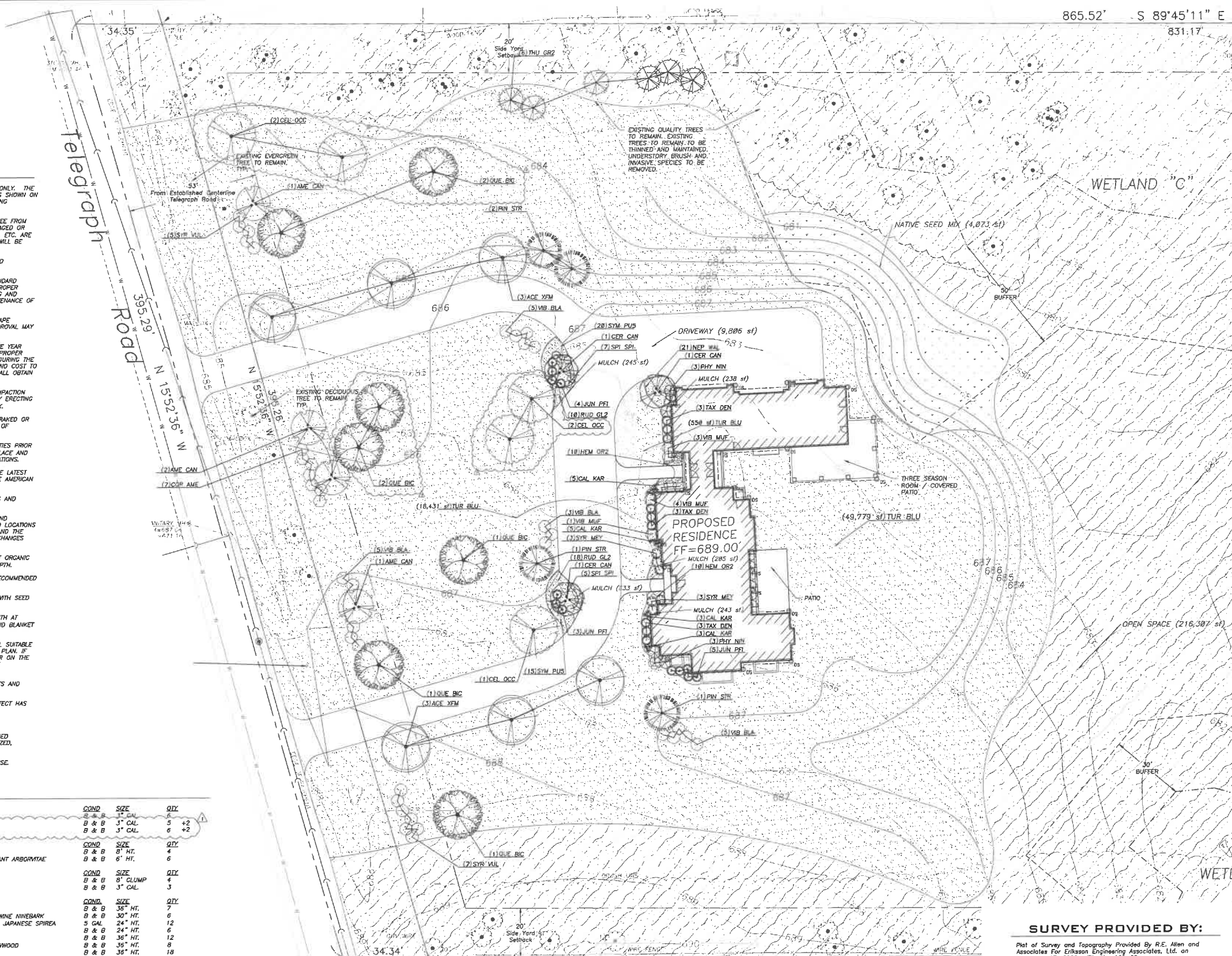
- PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFECTS, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISTORTED LEAVES, BARK ABRASION, SUNSCOLD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
- THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
- ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
- SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANS 260.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
- ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE OWNER AND THE VILLAGE IN WRITING.
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
- ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
- ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SEED AS A GROUND COVER, UNLESS OTHERWISE NOTED.
- ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED AND BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
- THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED PLANTING SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
- TREES SHALL BE STAKED AND GUYED, AND HAVE A WATERING SAUCER AT BASE.

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
CEL CAN	CELESTIAL / CELESTIAL	B & B	12" CAL	5
CEL OCC	CELESTIAL OCCIDENTALIS / COMMON HACKBERRY	B & B	3" CAL	5
QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	3" CAL	6
EVERGREEN TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
PIN STR	PIRUS STROBUS / WHITE PINE	B & B	8" HT.	4
THU GR2	THUJA STANDISHII X PULCATA 'GREEN GIANT' / GREEN GIANT ARBOVITAE	B & B	6" HT.	6
UNDERSTORY TREES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
AME CAN	AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY	B & B	8" CLUMP	4
CER CAN	CERIS CANADENSIS / EASTERN REDBUD	B & B	3" CAL	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
COR AME	CORYLUS AMERICANA / AMERICAN HAZELNUT	B & B	36" HT.	7
PHY NIN	PHYSCARPUS OPULOFOLIUS 'SUMMER WINE' / SUMMER WINE NINEBARK	B & B	30" HT.	6
SPI SPI	SPRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	12
STR MEY	SYRINGA MEYER 'PAULINA' / DWARF KOREAN LILAC	B & B	24" HT.	6
STR VUL	SYRINGA VULGARIS / COMMON LILAC	B & B	36" HT.	12
VIB MUF	VIBURNUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	B & B	36" HT.	12
VIB BLA	VIBURNUM PRUNIFOLIUM / BLACKHAW VIBURNUM	B & B	36" HT.	8
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
JUN PFI	JUNIPERUS CHINENSIS 'KALLAY'S COMPACT' / KALLAY COMPACT PRITZER JUNIPER	B & B	24" SPREAD	12
TAX DEN	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	B & B	30" HT.	9
GRASSES	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	16
GROUND COVERS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	20
NEP WAL	NEPETA X FASSENII 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	21
RUD GL2	RUBROECRA FLORIDA 'GLODSTRIM' / BLACK-EYED SUSAN	CONT.	QUART	28
STY PUS	SYMPHYOTRICHUM NOVAE-ANGLIAE 'PURPLE DOME' / NEW ENGLAND ASTER	CONT.	#1	35
TURF GRASS	BOTANICAL / COMMON NAME	COND.	SIZE	QTY.
TUR BLU	TURF GRASS / BLUEGRASS TURF BLEND	SEED	S.F.	68,760 SF

SITE MATERIALS SCHEDULE

MULCH	1,164 SF
NATIVE SEED MIX	4,073 SF
OPEN SPACE	216,307 SF
DRIVEWAY	9,806 SF



SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates For Eriksson Engineering Associates, Ltd. on November 17, 2020. File No. 160-20

PROJECT BENCHMARKS

- Source Benchmark
Benchmark Recovery Sheet
Lake County, Illinois
Benchmark Designation: 5-618
Chisled Square on Sidewalk At the Northwest Corner of Old Mill Road and White Oak Drive
NAVD88 Elevation = 689.07
- Site Benchmark
Survey Control Point
Mag Nail in Bituminous Pavement
NAVD88 Elevation = 687.31

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

DESIGN STUDIES

MASSEY
ASSOCIATES
ARCHITECTS

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a-PUNCHED WINDOWS, ALIGN WITH BAY- DOMINANT STONE FACADE



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

PRIVATE
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1825 Telegraph Road
Lake Forest, IL 60045

STAIR
WINDOW
STUDIES

A3.12 (a)

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b- VERTICAL WINDOW BAND, RELATE TO BAY - DOMINANT STONE FACADE



ISSUED FOR: BLDG REV BD CMT
DATE: 05.10.2021

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STAIR
WINDOW
STUDIES
A3.12 (b)

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c-MORE PUNCHED WINDOW, ALIGN WITH BAY - REDUCES STONE FACADE

Graphic Scale
0 1 2
(IN FEET)
1 Inch = 4 Feet

STATE OF ILL. INO'S
WILLIAM JOHN
MASSEY
001-016530
LICENSED ARCHITECT

ISSUED FOR: DATE:
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STAIR
WINDOW
STUDIES

A3.12 (c)

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d- WINDOWS WITH METAL SPANDREL/FRAME, RELATE TO BAY - REDUCES STONE FACADE



STATE OF ILL. INCL'S
WILLIAM JOHN
MASSEY
001-016530
LICENSED ARCHITECT

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STAIR
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STUDIES
A3.12 (d)

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FINAL PREFERRED DESIGN

e- MAX WINDOWS, RELATE TO BAY - REDUCES STONE FACADE, BALANCES COMPOSITION

Graphic Scale
0 1 2
(IN FEET)
1 Inch = 4 Feet

STATE OF ILLINOIS
WILLIAM JOHN
MASSEY
001-016530
LICENSED ARCHITECT

ISSUED FOR: BLDG REV BD CMT DATE: 05.10.2021

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STAIR
WINDOW
STUDIES
A3.12 (e)



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EXTERIOR
EVOLUTION
RENDERINGS

A3.10b



1 FRONT ENTRY DEVELOPMENT
scale: N.T.S.

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PRIVATE
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Lake Forest, IL 60045

EXTERIOR
EVOLUTION
RENDERINGS

A3.10c



1 FINAL DESIGN
scale: N.T.S.

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EXTERIOR
EVOLUTION
RENDERINGS

A3.10d

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1 GARAGE CABANA ROOF 1
scale: N.T.S.



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EXTERIOR
GARAGE/CABANA
ROOF STUDIES

A3.11a



1 GARAGE CABANA ROOF 2
scale: N.T.S.

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T 773.525.2900 F 773.625.2999
www.masseyassociates.com



ISSUED FOR: DATE:
BLDG REV BD CMT 05.10.2021

PRIVATE
RESIDENCE

1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
GARAGE/CABANA
ROOF STUDIES

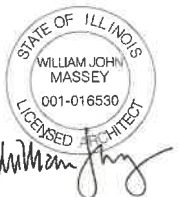
A3.11b



1 GARAGE CABANA ROOF 3
scale: N.T.S.

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1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
GARAGE/CABANA
ROOF STUDIES

A3.11c



1 GARAGE CABANA FINAL ROOF DESIGN
scale: N.T.S.

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Lake Forest, IL 60045

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GARAGE/CABANA
ROOF STUDIES

A3.11d

**FRONT ELEVATION FROM PREVIOUS
SUBMITTAL MAY 2021**

PROPOSED WEST ELEVATION

EXTERIOR MATERIAL SPEC

ROOF TYPE 1:
ASPHALT SHINGLES. CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL. HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 820-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
820-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT. INDIANA LESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICVUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)-MFR TO BE DETERMINED BY
CONTRACTOR

METAL FASCIA/EAVE/SOFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)-MFR
TO BE DETERMINED BY CONTRACTOR

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T: 773.525.2900 F: 773.525.2999
www.masseyassociates.com



ISSUED FOR: DATE:
PERMIT 03.08.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS
A3.0

1 WEST ELEVATION
scale: 1/4" = 1'-0"

Agenda Item 4
Amberley Woods Courtyard Homes
New Building Plans

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application

Statement of Intent

Bostonian Model – French Country Elevations

Bostonian Model – French Country Color Rendering

Bostonian Model – Shingle Elevations

Bostonian Model – Shingle Color Rendering

Bostonian Model – Tudor Elevations

Bostonian Model – Tudor Color Rendering

Bostonian Floorplans

Brunswick Model – French Country Elevations

Brunswick Model – French Country Color Rendering

Brunswick Model – Shingle Elevations

Brunswick Model – Shingle Color Rendering

Brunswick Model – Tudor Elevations

Brunswick Model – Tudor Color Rendering

Brunswick Floorplan

Carlisle Model – French Country Elevations

Carlisle Model – French Country Color Rendering

Carlisle Model – Shingle Elevations

Carlisle Model – Shingle Color Rendering

Carlisle Model – Tudor Elevations

Carlisle Model – Tudor Color Rendering

Carlisle Floorplans

Fenwick Model – French Country Elevations

Fenwick Model – French Country Color Rendering

Fenwick Model – Shingle Elevations

Fenwick Model – Shingle Color Rendering

Fenwick Model – Tudor Elevations

Fenwick Model – Tudor Color Rendering

Fenwick Floorplan

Typical Landscape Plans

Correspondence

Supplemental Materials

Previously Presented Plans – April 2021

Amberley Woods Courtyard Homes

Continued consideration of a request for approval of model homes for the remaining 19 lots in the Amberley Woods Courtyard Homes development located on the south side of Amberley Court, between Saunders Road and Conway Farms Drive, south of Route 60.

Property Owner: McNaughton Development (Paul R. McNaughton 100%)
Project Representative: John Barry, McNaughton Development
Rick Swanson, architect

Staff Contact: Jen Baehr, Assistant Planner

The petitioner recently purchased the remaining lots in the Amberley Courtyard Homes Development. Plans for homes in this development were originally incorporated into the approvals for the overall development. Two homes were built based on the original plans. Revised plans were later submitted by a subsequent developer, and approved. Three additional homes were constructed based on those plans. Throughout the review process for homes in this development, the goal has been to remain generally consistent with the design parameters, exterior materials and overall commitment to quality made by the original developer.

Activity on this Petition to Date

The Board considered this petition at the February 3, and April 7, 2021 meetings and after discussion about the proposed architectural styles and other various design aspects of the plans, the Board continued the petition. The Board asked that the petitioner conduct further study of the exterior materials and design elements of the proposed homes. In recognition of the new developer's timeline, at the April meeting, the Chairman appointed a subcommittee of two members of the Board to work with the petitioner and staff to provide additional input and direction with the goal of achieving plans that adhere to the City's Design Guidelines, respect the original intent of the development, and that are consistent with the existing homes in this unique and secluded development. After discussion by the Board subcommittee, the plans are now back before the Board for final action.

In response to the Board's requests and direction from the subcommittee, the petitioner provided revised plans. The changes made since the last meeting are reflected on the revised plans and the changes are also described in the petitioners' updated statement of intent. The previous plans are also included in the Board's packet for reference. In summary, the following changes are reflected on the revised plans.

- Detailing more in line with the chosen architectural styles is incorporated into the designs.
- Window types more in keeping with the architectural styles were added.
- The fenestration pattern on the various home designs was modified in an effort to present a more balanced and aligned appearance around each home.
- Stone chimneys are proposed to replace the previously proposed stucco chimneys.
- The shutters were modified to be proportional to the size of the windows.
- Elements and detailing were added to highlight the front entrances.
- The previously proposed engineered wood material was replaced with a fiber cement material with a smooth finish.
- The landscape plans were modified to incorporate additional plantings along the sides of the houses and along the driveway to the extent possible given the tightness of the parcels and the need to keep overland stormwater routes open.

- The petitioner updated the anti-monotony guidelines to include parameters on the mix of front and side load garages.

Portions of the following information is repeated from the April staff report.

Background Information

The Amberley Woods mixed use development received final approvals from the City Council on April 20, 2006. The 24 Courtyard Homes are part of the larger development, a 39 acre wooded site located at the western gateway to the City of Lake Forest, just east of the office buildings on Saunders Road and west of Conway Farms Drive. The development, as originally approved, includes a mix of uses single family residential, multi-family residential and commercial uses. Since approval in 2006, one of two condominium buildings and five of the 24 single family homes have been constructed, sold and occupied. The overall development site also includes preserved woodlands and wetlands, a vegetated buffer along Route 60, detention ponds and a historic residence. The remaining 19 single family home lots are the subject of this petition.

As noted above, five of the courtyard homes are complete. Two are located at the easternmost end of the development and were constructed by the original developer consistent with the plans as originally approved by the Board in 2006. Three other homes were constructed in the development by another developer based on modified plans which were approved by the Board in 2013. As noted above, the current plans are presented by a new developer who recently acquired the remaining 19 lots.

Summary of the Request

This is a request for approval of various plans that the new owner of the development plans to offer to buyers for the buildout of the remaining 19 single family homes. The elevations and exterior materials as now proposed will replace the plans for the courtyard homes that were previously approved by the Building Review Board. The petitioner is presenting four different plans, each with options for façade treatments that correspond to three different architectural styles; French Country, Shingle and Tudor. No changes are proposed to the overall site plan, configuration of the lots or density of the development.

The Building Review Board's role in reviewing the newly proposed plans for the courtyard homes is to evaluate the plans based on the adopted Design Guidelines and consider the proposed plans in the context of the existing surrounding development styles, quality and materials as is done with any new residence that is proposed. The Board should focus on the architectural design of the residences, the detailing, exterior materials, and typical landscaping as now proposed.

The approvals granted to date for the overall development provide for high quality architectural design, relatively simple forms, detailing consistent with the chosen architectural style and high quality materials for all buildings in the development. The Board's role in reviewing the proposed new plans is to assure that this intent is met in the plans currently presented.

Review and Evaluation of Applicable Standards

Building Designs

As noted above, the petitioner is requesting approval of four different plans with three different façade treatments to add variety to the development and address current market demands. The building designs as presented provide for a combination of one-and-a-half, two, and two-and-a-half-story massing. Elevations for each plan and façade treatment are included with the Board's packet. Color renderings of the proposed façade treatments are also included in the Board's packet. The petitioner has provided a

detailed statement of intent describing the architectural styles and exterior materials of the proposed building designs. In general, the proposed French Country, Shingle and Tudor architectural styles are compatible with the styles of the existing homes in the development and the condominium building.

The City's Design Guidelines and the Board's Standards must be applied to this development. Both the City's Design Guidelines and the Board's standards emphasize that the elements of a design should be consistent with the chosen architectural style, including elements such as the massing, roof forms, fenestration pattern, exterior materials, and architectural detailing should all be consistent with a chosen architectural style.

The revisions made to the building designs since the last meeting overall have been positive and address some of the Board's previous concerns. Since the previous proposal, the petitioner has revised the plans to reflect windows types and muntin patterns that are more consistent with each architectural style proposed. The detailing was also modified to be more in keeping with each architectural style. These modifications can be seen in the eave, window trim, dormer, and porch detailing.

At the previous meeting, the Board discussed incorporating more building designs that offer a side load garage. The plans currently presented reflect one model type with a side load garage, the Carlisle model. In an effort to offer a more even balance between front and side load garages, the petitioner's statement of intent notes that a minimum of five homes in the development will have side load garages. The statement of intent also notes that a second model type with a side load garage is being developed. Plans for this model type have not yet been submitted.

Materials and Detailing

The proposed exterior materials as currently proposed are in keeping with each of the architectural styles. The proposed exterior materials vary between the designs proposed so assuming an appropriate mix of designs is required through a non-monotony restriction. Façade materials include stucco, fiber cement smooth shingle siding, stone and brick. Architectural asphalt shingle roofs are proposed for the French Country and Tudor designs. The Shingle style design has a wood shingle roof. All building designs have fiberglass windows with simulated divided lites, steel garage doors and wood front doors. Fiber cement shutters are proposed. Shutterdogs and hinges are also proposed. The French Country and Shingle designs have stone chimneys, and the Tudor designs have brick chimneys. All building designs have clay chimney pots. All gutters and downspouts are proposed as aluminum. Wood is proposed for the porch columns and brackets. Asphalt is proposed for all driveways and pavers are proposed for walkways and patios.

Samples of the stucco, stucco trim boards, fiber cement smooth shingle siding, fiber cement trim, fascia and soffit, and architectural asphalt roof shingle were provided by the petitioner. The samples are available for the Board's review at the City's Municipal Services building, on the lower level patio located to the right of the main entrance to the building.

During the last meeting, based on review of the proposed engineered wood sample, the Board directed the petitioner to use natural wood for all trim, fascia and soffits. Instead of using natural wood, the petitioner is now proposing a fiber cement material for the trim, fascia and soffits for the Shingle model. The French Country and Tudor models will have stucco trim boards and fiber cement will be used for the fascia and soffits.

The proposed roof material has been discussed throughout the Board and subcommittee review process. The existing homes in the development all have wood shingle roofs, as does the condominium building on the north side of Amberley Court. Homes in Conway Farms, the development east of the

Amberley Woods development, also have wood shingle roofs. Based on direction from the subcommittee and input from property owners in the development, staff recommends that wood shingle roofs be required. This requirement is balanced with a recommendation that the Board approve the use of composite materials, rather than natural materials, for the siding, trim, fascia, and soffits, despite the fact that the approval of composite materials for trim, fascia and soffits is not consistent with past Board approvals. This compromise is intended to maintain a consistency throughout the development while also acknowledging the developer's desire to use some alternate materials from those originally approved for this development.

Below is table that reflects the materials used on the existing homes in the development along with the exterior materials currently proposed by the petitioner. The table also reflects staff's recommendations for each material that is proposed.

Application	Material Used For Existing Homes	Material Currently Proposed by Petitioner	Staff Recommendation
Exterior Walls	Wood Shingle, Stucco, and Stone	Fiber Cement Shingle with Smooth Finish and Stone (Shingle Style), Stucco and Stone (French Country Style) and Stucco, Brick and Stone (Tudor Style)	Approve
Windows	Aluminum Clad Wood	Fiberglass	Approve
Trim	Wood	Fiber Cement with Smooth Finish (Shingle Style) Stucco Trim (French Country & Tudor)	Approve
Fascia	Wood	Fiber Cement, Smooth Finish	Approve
Soffit	Wood	Fiber Cement, Smooth Finish	Approve
Roof	Wood Shingle	Wood Shingle (Shingle Style) and Architectural Asphalt Shingle (French Country & Tudor)	Require Wood Shingle for all model/style types
Chimney	Stone with Clay Pots	Stone and Brick with Clay Pots	Approve
Gutters & Downspouts	Copper	Aluminum	Approve
Columns	Wood	Wood	Approve
Brackets	Wood	Wood	Approve
Shutters	Wood	Fiber Cement	Approve

Landscape Plans

The proposed landscape plans are generally consistent with the previously approved landscape plans for the single family homes. As described in the petitioner's statement of intent, the landscape plans are designed to reflect plantings primarily along the foundation at the front and rear of the home. Based on the petitioner's statement of intent limited amount of landscaping is proposed on the side of the homes to preserve side yard drainage.

As each lot comes forward for development, an updated tree survey will be required to determine which trees are worthy of preservation and explore siting shifts that may allow that to happen. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need

to be removed to allow development of the lots. Replacement tree inches may be required for lost trees on a lot by lot basis to assure that over time, the wooded character of the development endures.

As development proceeds, the addition or replacement of any parkway trees that are negatively impacted by construction activity will be required.

Anti-Monotony Guidelines

The petitioner provided a set of standards in the statement of intent that are intended to assure appropriate diversity of styles and exterior materials within the development. The approach of maintaining a matrix of approved homes and their locations has worked well in the past with these types of developments. Staff will work closely with the developer to assure an appropriate mix of model types and architectural style types throughout the development. Careful consideration of a mix of front facing garages and side load garages will be important as build out of the lots proceeds. Some diversity in this area could help to soften the visual appearance of the streetscape.

Public Comment

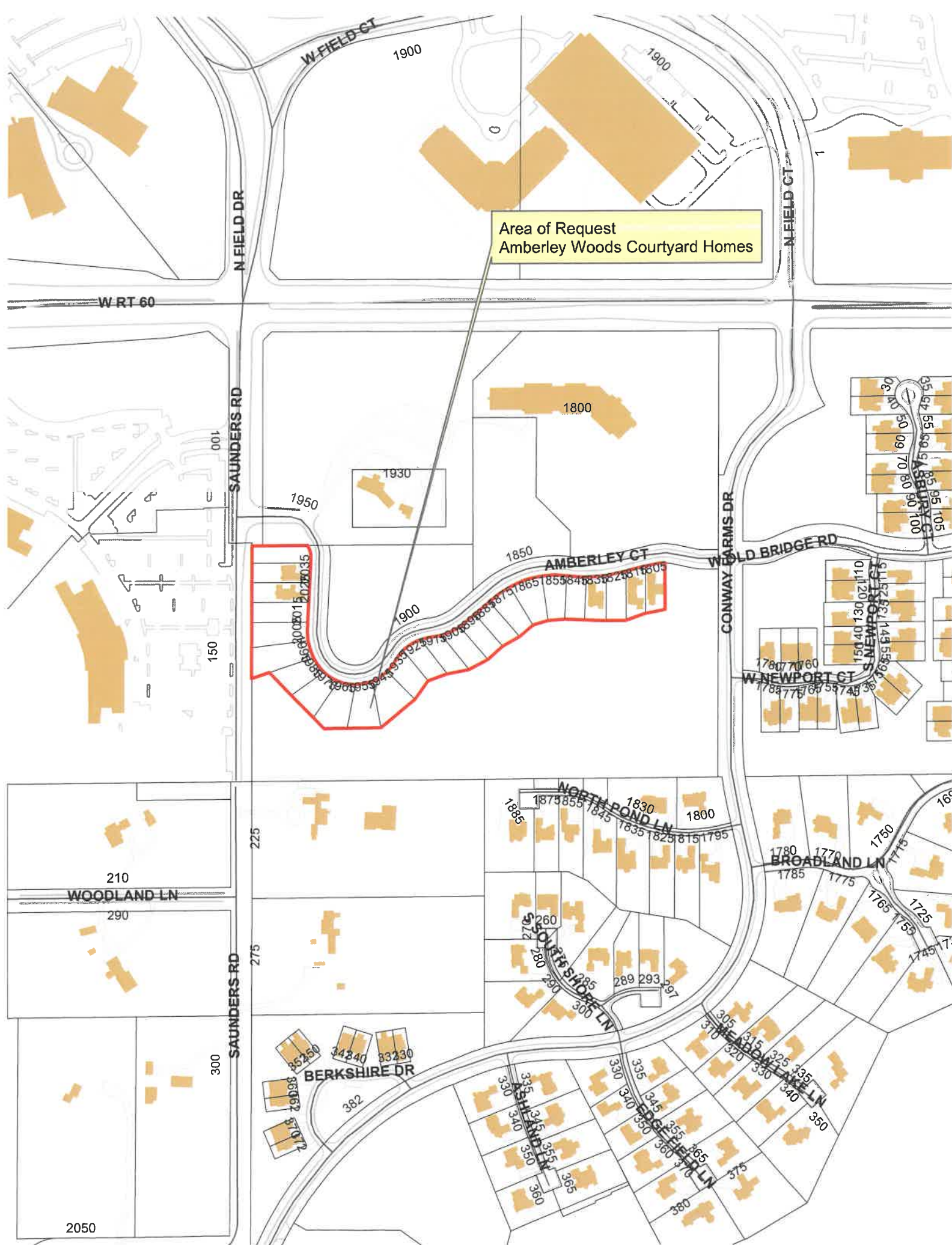
Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. Staff has received letters from neighboring property owners on this petition. The letters are included in the Board's packet.

Recommendation

Recommend approval of the model home designs as now presented to the Board, the exterior material palette, and the conceptual typical landscape plans for the single family homes on the remaining 19 lots for the Amberley Courtyard Homes Development based on the finding that the plans as presented meet the design standards and requirements of the City Code as detailed above. Approval is recommended subject to the following conditions:

1. The plans shall reflect the following exterior materials:
 - a. Wood shingle roofs for all model and style types.
 - b. Fiber cement with a smooth finish for all siding.
 - c. Fiber cement trim, fascia, soffits and shutters for the Shingle style designs.
 - d. Stucco trim boards and fiber cement fascia, soffits and shutters for the French Country and Tudor style designs.
 - e. Fiberglass windows with interior and exterior muntins.
 - f. Aluminum gutters and downspouts.
 - g. Wood porch columns and brackets.
 - h. Stone and brick chimneys with clay pots.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. The developer shall maintain a matrix of homes and their locations throughout the buildout of the development to assure appropriate diversity of models and architectural styles and submit said matrix updated, with each building permit submittal.

4. An updated tree survey will be required for each lot at the time plans are submitted for permit to determine which trees are worthy of preservation and require protection during construction. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need to be removed to allow development of the lots.
5. Landscape plans for each residence shall be submitted prior to the issuance of a building permit for each building.
6. Construction parking and staging plans shall be submitted to the City along with the application for building permit for each home. Amberley Court must remain passable and free of dirt and debris at all times.





Area of Request
Amberley Woods Courtyard Homes

An aerial photograph of a residential area. A red line outlines a large, irregularly shaped plot of land. A yellow callout box with a pointer indicates a specific area within this plot. The surrounding area includes a road, a parking lot, and several houses. The terrain is mostly wooded with bare trees.

Area of Request
Amberley Woods Courtyard Homes



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS COURTYARD HOMES OF AMBURY WOODS

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

McNAUGHION DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

Burr Ridge IL. 60527
City, State and Zip Code

630-325-3400
Phone Number

Fax Number

JOHN@MCNAUGHIONDEVELOPMENT.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BARRY
Name and Title of Person Presenting Project

McNAUGHION DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

Burr Ridge IL. 60527
City, State and Zip Code

630-352-3400
Phone Number

Fax Number

JOHN@MCNAUGHIONDEVELOPMENT.COM
Email Address

[Signature]
Representative's Signature Architect/ Builder

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>Paul R. McNaughton</u>	Name _____
Address <u>115220 Jackson Street</u> <u>Burn Ridge IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Site Narrative &
Request for Nineteen New Single-Family Residence
Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC, RM Swanson Architects & Fergon Architects LLC are returning to the Building Review Board requesting approval for their revisions to previously proposed single family home designs for remaining nineteen home sites at Amberley Court in the Amberley Woods Subdivision.

Architectural Review Process

Since our previous presentation on April 7th, we have engaged the services of Richard Swanson, architect, and the original developer of the Amberley Woods subdivision. We have had two subcommittee meetings with the two appointed representatives of the BRB and City Staff. We have also again engaged the existing residents of Amberley Court with the intention of updating them on our planning progress and our discussions with the subcommittee. The result of these meetings are twelve building elevations that adhere with the City's Design Guidelines. Besides adhering to the guidelines, the plans, as presented, represent the highest of quality in architecture and in materials. The proposed homes will enhance the character of Amberley Woods and the City of Lake Forest

Architectural Theme Refinements

All twelve of the previously proposed homes were reviewed by Mr. Swanson who in turn made numerous suggestions on each home. Considering the nature of the development, small lots and small side yards, the bulk of the review focused on the front elevation and at least the front half of each of the side elevations. Redline drawings were prepared for each home elevation, discussed at the subcommittee level and finalized as presented in the resubmittal package.

In general, design changes and additions to detailing were made to highlight the front entry of each home. This was accomplished in several ways, but mostly by, changing roof lines and pitches. These roof line changes predominantly occurred in the Tudor designs. Additional changes also occurred in the French Country styles of the Fenwick, Bostonian and Carlisle plans and the Fenwick Shingle plan. The previously proposed front porch features for the Brunswick and Fenwick ranch models were eliminated and replaced with bay window features.

From a detailing standpoint in all instances, where present, front entryway columns were changed and/ or increased in size and brackets added where appropriate. Masonry and siding arch details have been incorporated to several of the entryways. Front door trim detailing has been incorporated at select front doors. Window grills have been changed on all of the models to be style appropriate. Window, headers and shutters have been sized, aligned and balanced in an appropriate fashion where applicable.

Secondary, yet important changes in detailing include recessed dormers, simulated wall vents, bay detailing and masonry fireplace chimneys.

The end result of all of the roof changes and the additional detailing are homes that are rooted in historic characteristics of each of the proposed home styles. The changes maintain a consistency in design, patterns and materials yet it will not be monotonous. The overall designs provide for a unique and creative neighborhood. All the plans and their alternate elevations are appropriate in proportion and in scale. They will complement the existing homes in this manner.

Architectural Finishes

- French Country Architectural Elements
 - *Architectural grade CertainTeed Belmont Luxury asphalt shingle with ridge vent*
 - *Aluminum gutter & downspout*
 - *Hardi prefinished low maintenance fascia & soffit*
 - *Stucco with stucco trim and header boards*
 - *Cedar entryway columns and brackets*
 - *Hardi shutters w/ dogs and hinges*
 - *Stone veneer – 4” bed depth*
 - *Stone fireplace chimney w/ clay pot*
 - *Fiberglass SDL windows and patio doors*
 - *Prefinished steel garage doors with glass panels, raised panels, handles and spears*
 - *Wood fir doors with SDL windows and raised panels*
- Shingle Architectural Elements
 - *Cedar shake shingle with ridge vent*
 - *Aluminum gutter & downspout*
 - *Hardi prefinished low maintenance fascia & soffit*
 - *Hardi prefinished low maintenance shake, trim and header boards*
 - *Cedar columns*
 - *Hardi shutters w/ dogs and hinges*
 - *Stone veneer – 4” bed depth*
 - *Stone fireplace chimney w/ clay pot*
 - *Fiberglass SDL windows and patio doors*
 - *Prefinished steel garage doors with glass panels, raised panels, handles and spears*
 - *Wood fir doors with SDL windows and raised panels*
- Tudor Architectural Elements
 - *Architectural grade CertainTeed Belmont Luxury asphalt shingle with ridge vent*
 - *Aluminum gutter & downspout*
 - *Hardi prefinished low maintenance fascia & soffit*
 - *Stucco with simulated textured cedar band boards in stucco with stucco trim and header boards*
 - *Cedar entryway columns and brackets*
 - *Hardi shutters with dogs and hinges*
 - *Brick veneer – 4” bed depth*
 - *Brick fireplace chimney w/ clay pot*
 - *Fiberglass SDL windows and patio doors*
 - *Prefinished steel garage doors with glass panels, raised panels, handles and spears*
 - *Wood fir doors with SDL windows and raised panels*

**Items of relief per Design Guidelines*

We have chosen and are committed to use these specific materials because we believe that they are high quality materials that best complement our interpretation of the architectural design theme. The specified materials, in addition to being architecturally appropriate, are products that are valued by home buyers in the marketplace. They are valued by the market for their esthetics, their quality and their low propensity for and cost of maintenance. The products are used throughout the marketplace and are appropriate for the product and at the price point. However, in the event that a purchaser would prefer a material that might be deemed to some as an upgraded material i.e., a shake roof, that option will be made available to the purchaser at an additional cost. In addition, it is not our intention to offer predetermined color schemes. As a custom home builder, we believe in the importance of the client having the flexibility to customize their color scheme within an acceptable range as dictated by the architecture. We can, through our experience, assure strong

and building specific color schemes. We will also continue to work with Mr. Swanson throughout the building process to assist us in this manner.

Age Targeted Design Product

Our anticipation is that the market need in this location is for master bedroom first floor living. To address that demand we are proposing two ranch homes and two two-story homes which have the master bedroom on the first floor.

Brunswick Plan:

- Ranch home with two bedrooms and 2 ½ bathrooms
- 2,350 square feet
- Front load garage

Fenwick Plan:

- Ranch home with two bedrooms and 2 ½ bathrooms
- 2,475 square feet
- Front load garage

Bostonian Plan:

- Two-story home with a first-floor master bedroom and two additional second floor bedrooms and a total of 2 ½ bathroom
- 3,100 square feet
- Front load garage

Carlisle Plan:

- Two-story home with a first-floor master bedroom and two additional second floor bedrooms and a total of 2 ½ bathroom
- 3,000 square feet
- Courtyard (side load) garage

Not included in this application is a yet to be submitted ranch home with a courtyard (side load) garage feature. This additional option will be presented to City Staff in the near future.

Anti-Monotony Guidelines

- To assist in anti-monotony, we would propose the following standards...
- Adjacent lots shall not utilize the same floor plan and elevation combination
- Adjacent lots may utilize the same floor plan but would require a different elevation
- Adjacent lots that utilize the same building style shall be required to:
 - Change the colors of the following building materials:
 - Brick or stone
 - Stucco or siding.
 - Shingle roof.
 - Front door.
 - Overhead door(s), and;
- In no event shall the same floor plan or elevation be used on three adjacent lots (irrespective of color scheme).
- The overall product mix will include a minimum of five sideload (courtyard) garages.
- Exterior color selections to be monitored by and approved by McNaughton Development and its architectural consultant RM Swanson Architects.

Landscape Design

Additional homesite landscaping will be concentrated in the front and rear yards with minimum sideyard landscaping to preserve sideyard drainage and but provide for mechanical screening. New landscaping will be predominately located along the foundation in the front yards and rear yards. Front yard landscaping will be supplemented with appropriate canopy street trees (3" diameter) and an ornamental style tree between the curb line and foundation. Foundation landscaping will be used along the sides and the rear of the home and patio. Additional canopy or ornamental trees in the rear yard will be limited so not to detract from the existing preserved woodland in the open space south of the site. Home sites will be fully sodded and have irrigation systems. Driveways will be asphalt and walks, stoops and patios will be pavers.

May 26, 2021

Ms. Jennifer Baehr
City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

RE: Amberley Woods – Building Review Board

Dear Ms. Baehr:

We are excited to receive our recommendation of approval from the Building Review Board next Wednesday, and proceed to start permitting and constructing homes at Amberley Court.

I am concerned, however, that we are approaching a stalemate when it comes to the use of cedar materials (roofing, siding, and trim).

We have made our case against the use of natural cedar from the very beginning of this process. It is an undesirable product from both a cost and maintenance standpoint. The issue of cost has been exacerbated by the overall cost to build new residential construction, particularly with respect to lumber. Please see link showing the \$/Thousand Board Feet of lumber over the past few months. <https://markets.businessinsider.com/commodities/lumber-price>. Our lumber costs to build homes like the ones we are proposing at Amberley Woods range from 125%-140% more than the normative lumber pricing 1 year ago (\$50,000-\$60,000 additional/house). The cost upgrade to use cedar roofs on these homes, for example, is approximately \$32,000/home more than the asphalt shingle we have proposed. Just these 2 additional costs alone represent \$82,000-\$92,000, on homes that we originally intended to base price at \$900,000. Buyers would much rather put \$32,000 toward their kitchen, finished basement, outdoor entertaining space, etc. than a high-cost/high-maintenance roof, particularly when they are already dipping deeper into their pockets because of lumber and other material increases.

We have also argued against cedar from a maintenance standpoint. This is especially pertinent with this empty-nester product, where we will be promoting maintenance free living, and the use of low-maintenance materials. Cedar roofs have a maximum useful life of around 20 years (possibly shorter in heavily wooded areas like this one). Requiring cedar roofs not only imposes an unnecessary cost burden on the builder, but also imposes on the end-user costly ongoing maintenance, and a very expensive tear off at the end of its short 20-year life. This is not the right formula to sell semi-custom affordable luxury to a demographic that does not want the maintenance or cost (now or in the future).

McNaughton DEVELOPMENT, INC.

YOUR LUXURY HOME BUILDER

More recently, the issue of availability of cedar products is a major concern. This uncertainty makes it difficult to establish project costs, customer pricing, and expectations for subcontractors and customers, and makes it impracticable to offer cedar material on new construction housing.

It is frustrating to us that in the face of all of these hurdles, and in light of our expertise in designing, developing, building, marketing and selling developments just like this one, that there is not more deference paid to the landowner/expert with respect to materials that we know are the best materials to use to successfully jump start this 15-year troubled development, sell it, and leave it with a thriving re-sale market that does not have to worry about an \$800,000 "special assessment" 20 years later (in cedar roof tear-offs). Moreover, the asphalt roof that we are proposing is not a low-end material; it has been used by us on \$2,000,000+ homes, and it is a perfectly appropriate roofing material for the housing styles that we have proposed under the design manual. As such, the builder's expertise and landowner rights should trump the personal preferences of a Board when it comes to something as specific as the type of roofing material to be used on our homes.

Given all these circumstances, the Building Review Board's insistence on cedar is, in our opinion, overreaching. We have done and continue to do everything in our power to satisfy the Building Review Board's demands with respect to our architecture, but the use of cedar is just something to which we cannot acquiesce. Given all of the above, the fact that we have worked with the BRB to implement vast changes to our architecture, and the fact that we have committed to option cedar roofing if the Buyer wants to pay for it, we hope the Building Review Board will allow us to make the final decision with respect to the roofing, siding, and trim material to be used on our homes. Regardless, we request that the BRB make a recommendation at the June 2 meeting, so we can proceed to the next phase of this process.

Sincerely,



Paul McNaughton

CC: Cathy Czerniak
Building Review Board



TOP/ RIDGE
28'-8" ABOVE FINISHED
FLOOR

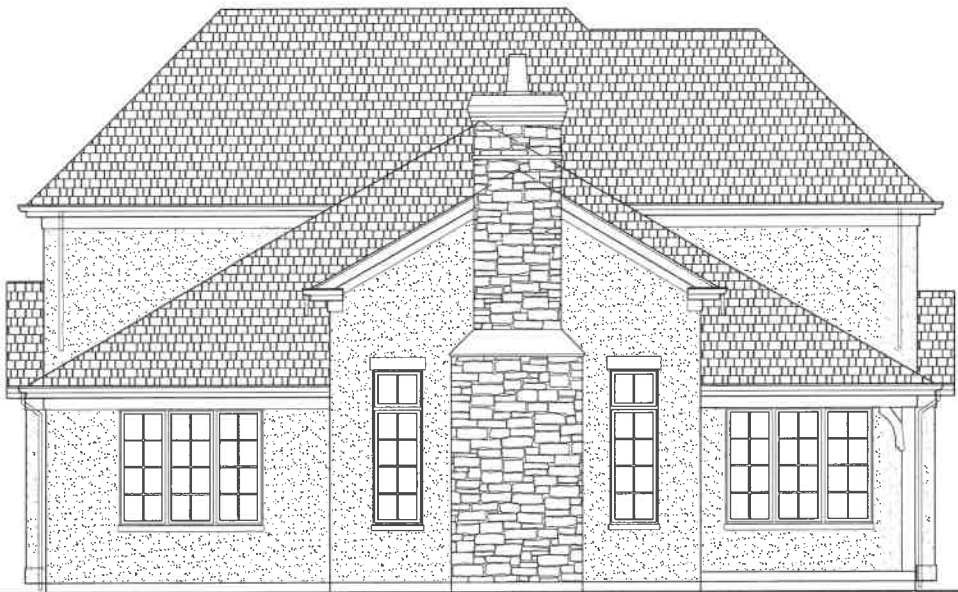
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

- TYPICAL EXTERIOR FACADE DETAILS:
- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
 - ALUMINUM GUTTERS AND DOWN SPOUTS
 - STUCCO FIREPLACE W/ CLAY FLUE CAP
 - HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
 - 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
 - 4" BRICK OR STONE WHERE SHOWN
 - FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
 - CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
BOSTONIAN - FRENCH COUNTRY

McNAUGHTON
DEVELOPMENT

119220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MAY 18, 2021





TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

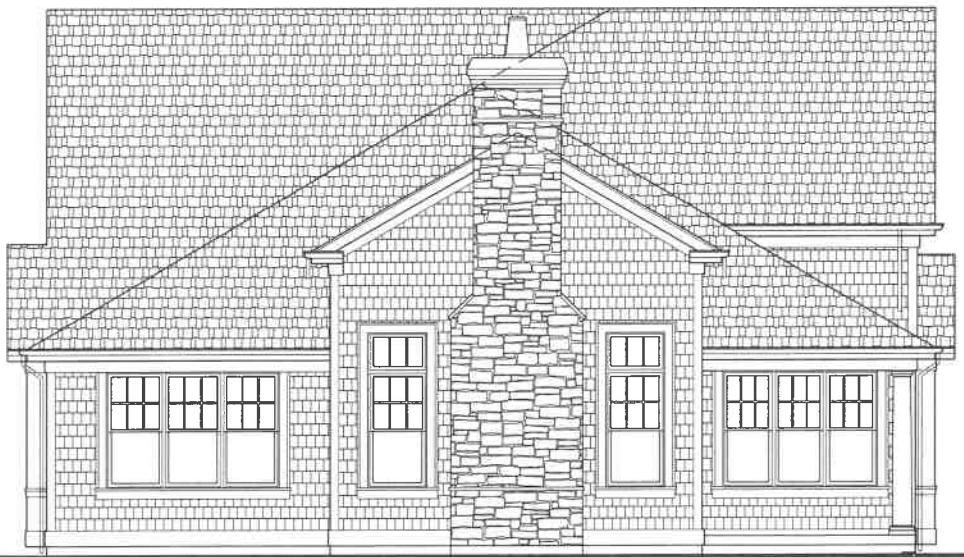
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TOP/ FIRST FLOOR
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RIGHT ELEVATION



REAR ELEVATION



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AMBERLEY COURT - LAKE FOREST

BOSTONIAN - SHINGLE

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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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AMBERLEY COURT - LAKE FOREST

BOSTONIAN - TUDOR

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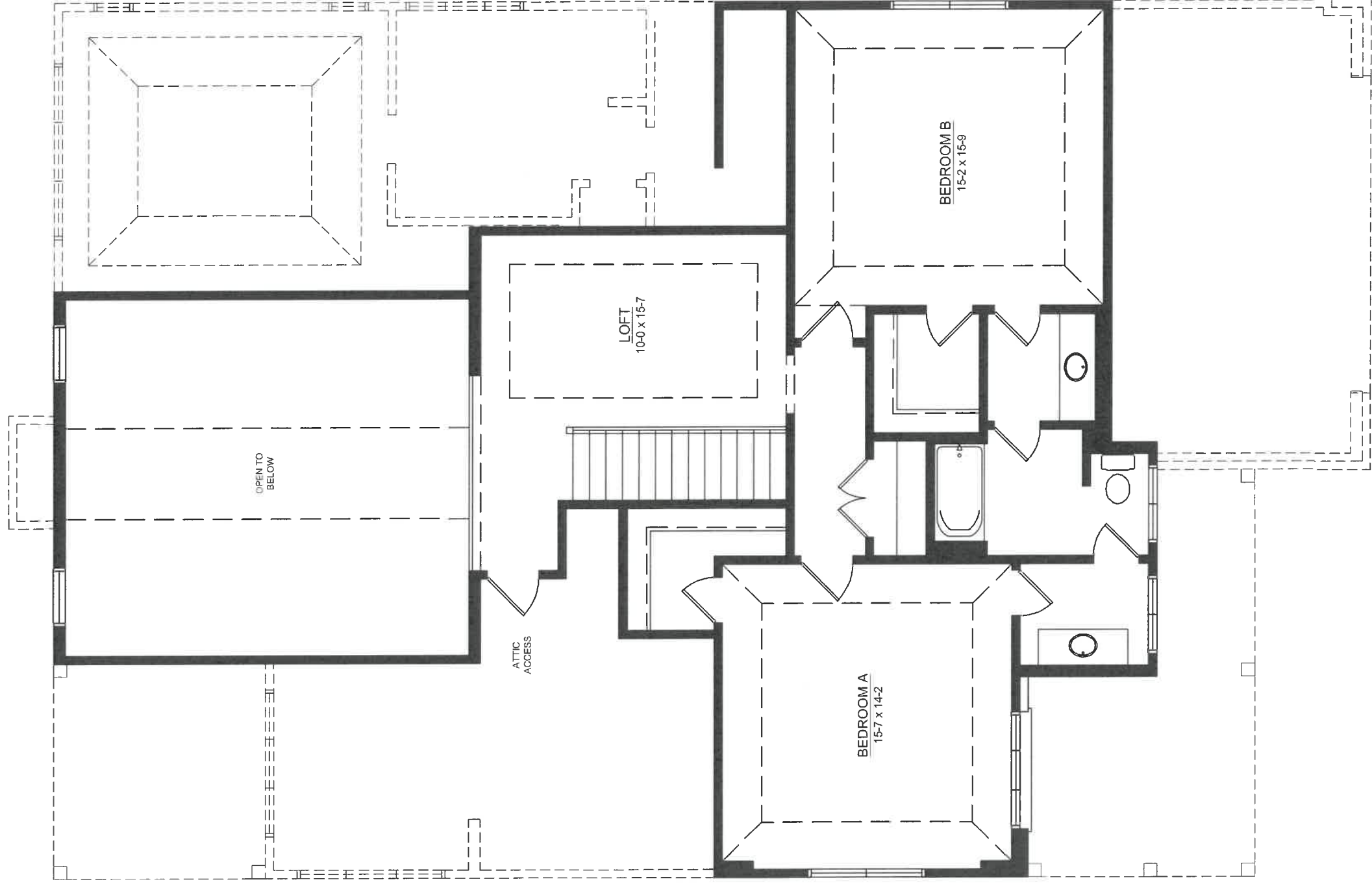
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FIRST FLOOR PLAN



SECOND FLOOR PLAN

FERGON

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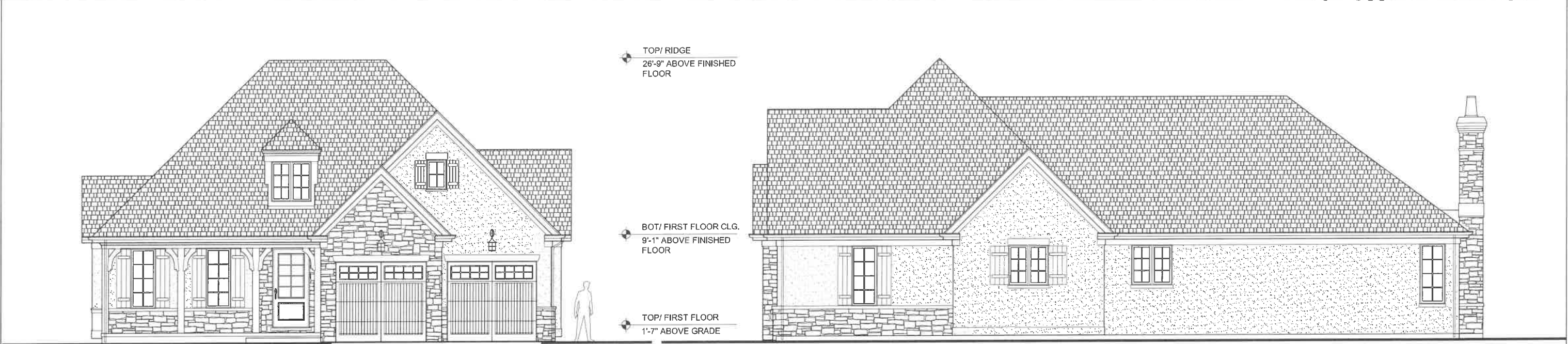
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BOSTONIAN

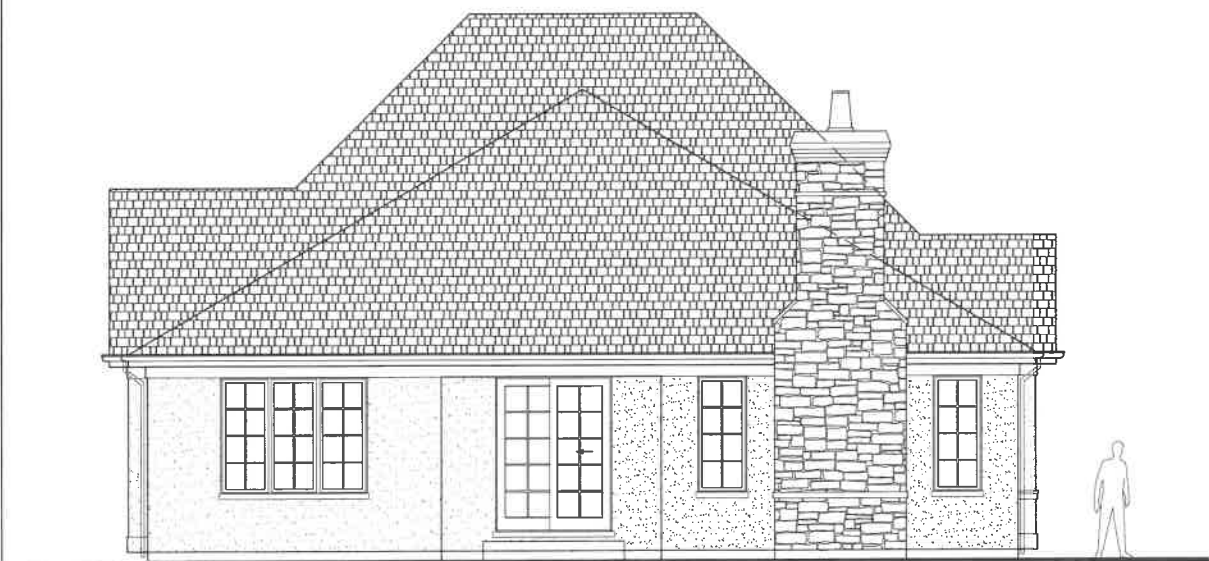
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FRONT ELEVATION

RIGHT ELEVATION



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AMBERLEY COURT - LAKE FOREST
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TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

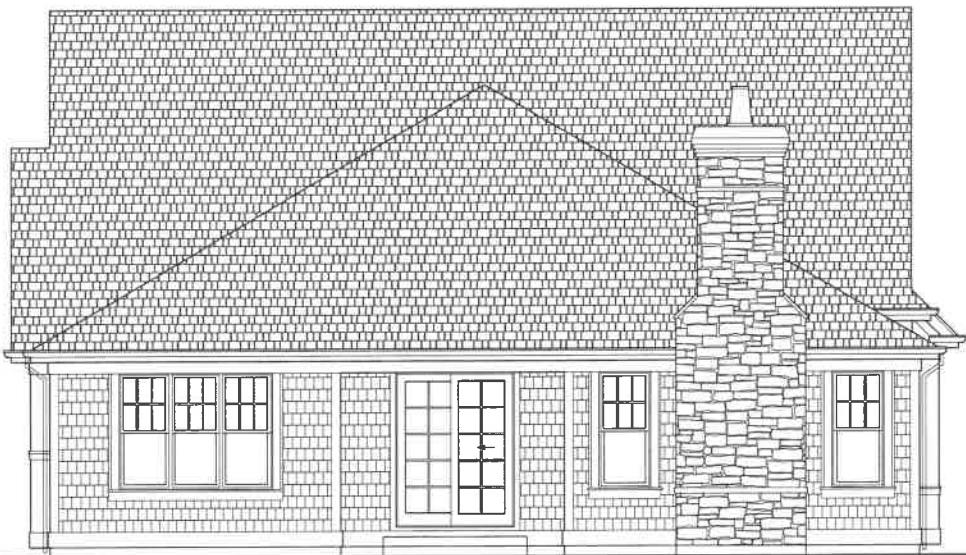
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
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TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



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AMBERLEY COURT - LAKE FOREST
BRUNSWICK - SHINGLE

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FRONT ELEVATION

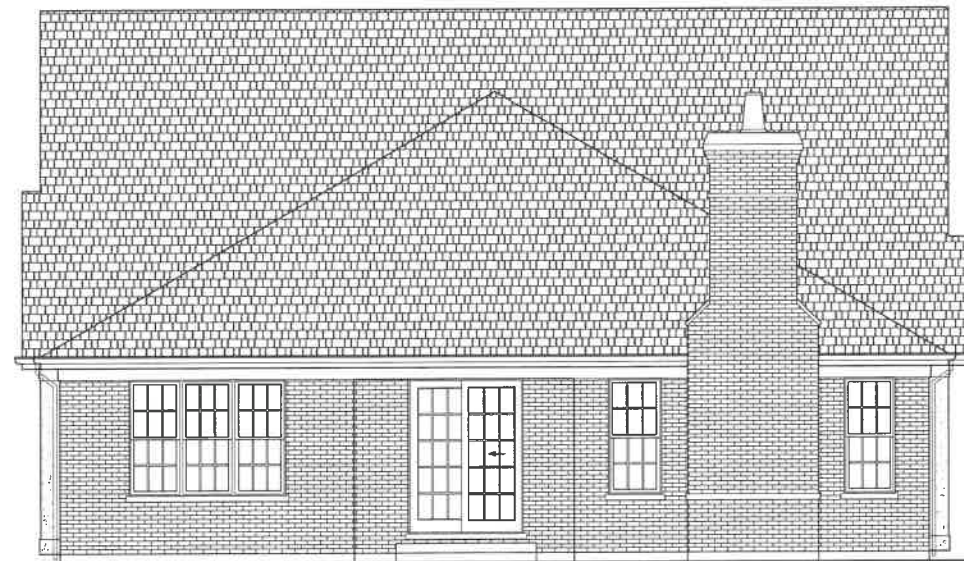
TOP/ RIDGE
27'-0" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
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RIGHT ELEVATION



REAR ELEVATION



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AMBERLEY COURT - LAKE FOREST

BRUNSWICK - TUDOR

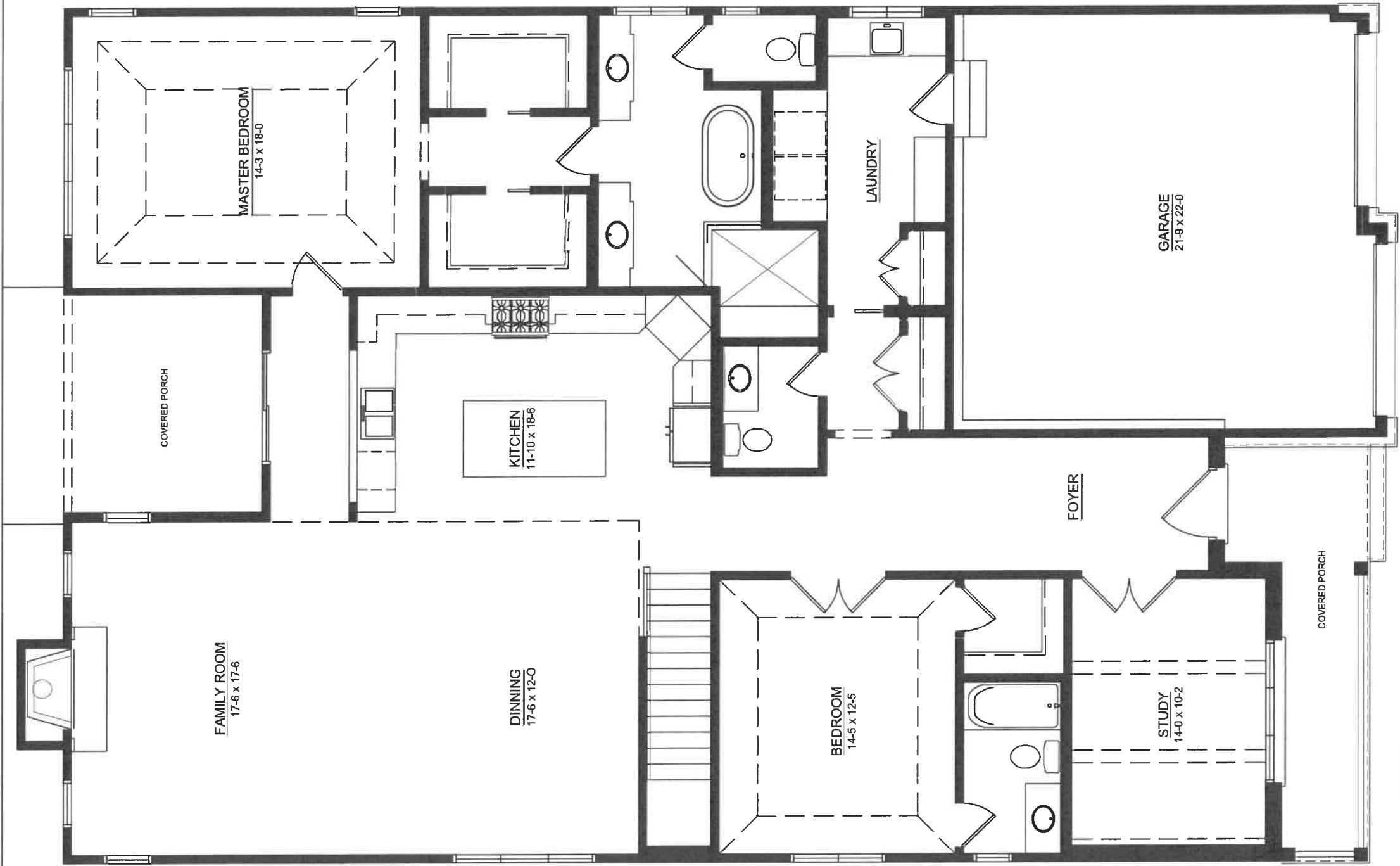
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FIRST FLOOR PLAN

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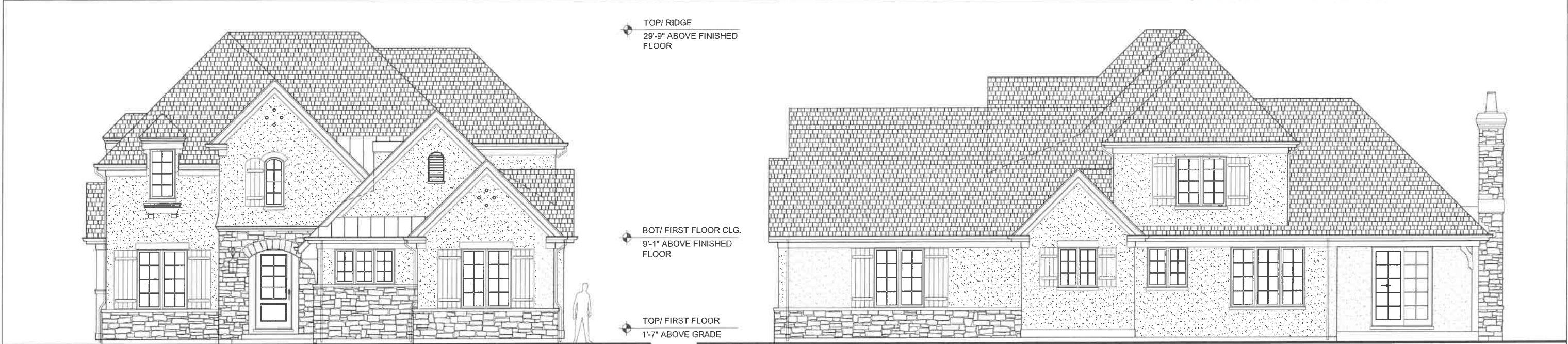
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BRUNSWICK

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FRONT ELEVATION

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AMBERLEY COURT - LAKE FOREST
CARLISLE - FRENCH COUNTRY

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MAY 18, 2020

CARLISLE – FRENCH COUNTRY RENDERING





TOP/ RIDGE
31'-2" ABOVE FINISHED
FLOOR

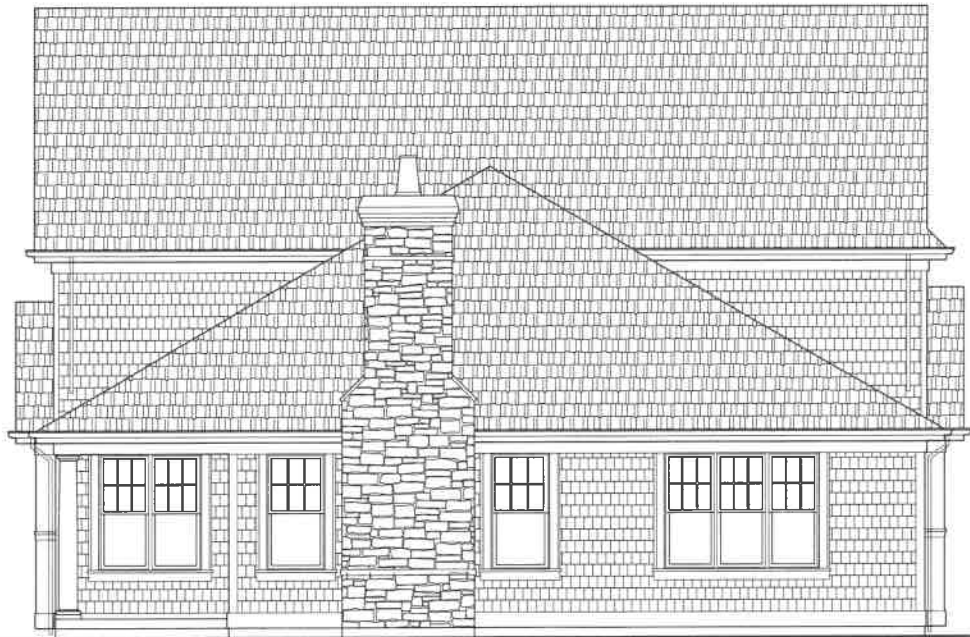
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
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TOP/ FIRST FLOOR
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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



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AMBERLEY COURT - LAKE FOREST
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FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
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AMBERLEY COURT - LAKE FOREST
CARLISLE - TUDOR

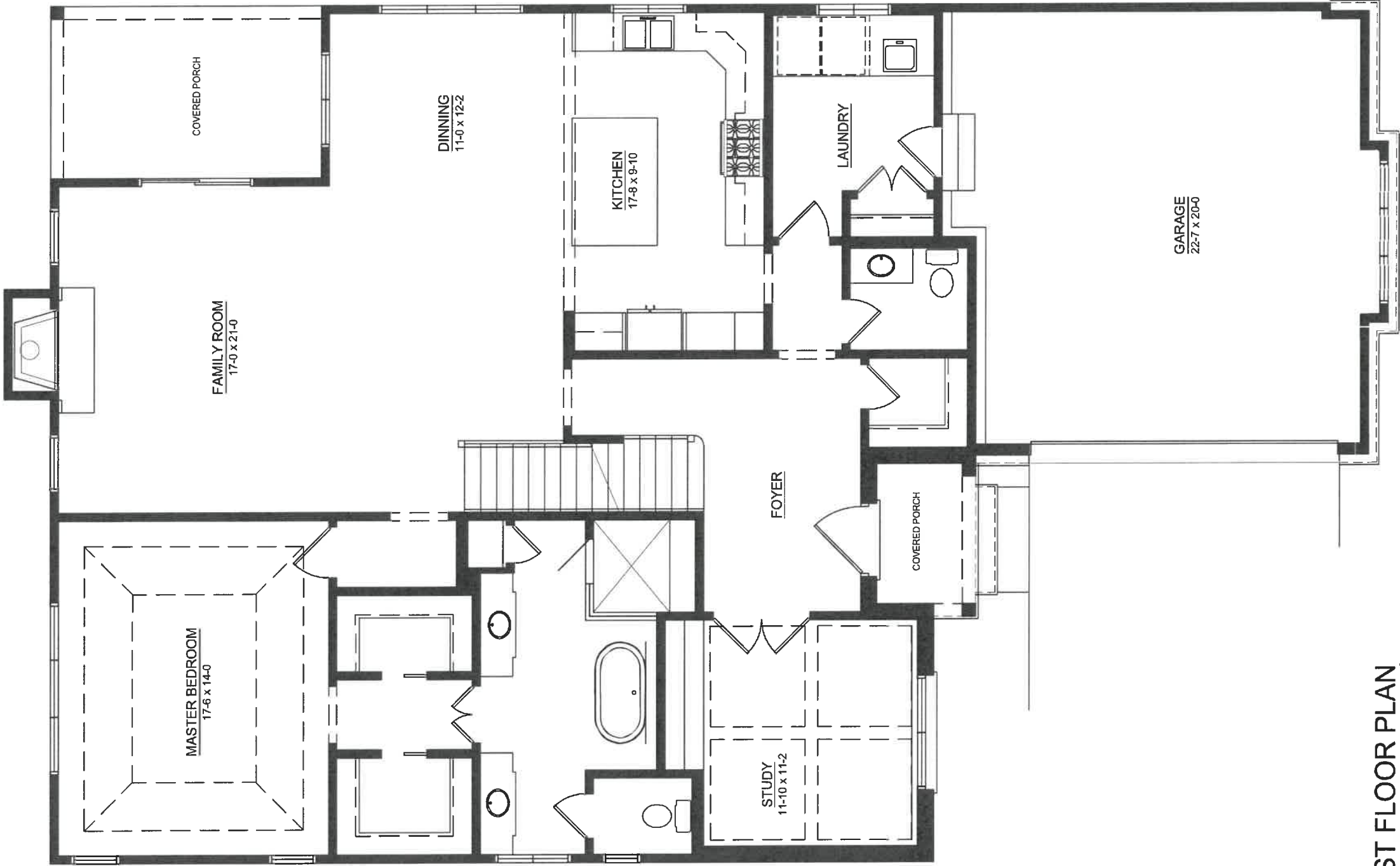
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NAY 18, 2020





FIRST FLOOR PLAN

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FERGON

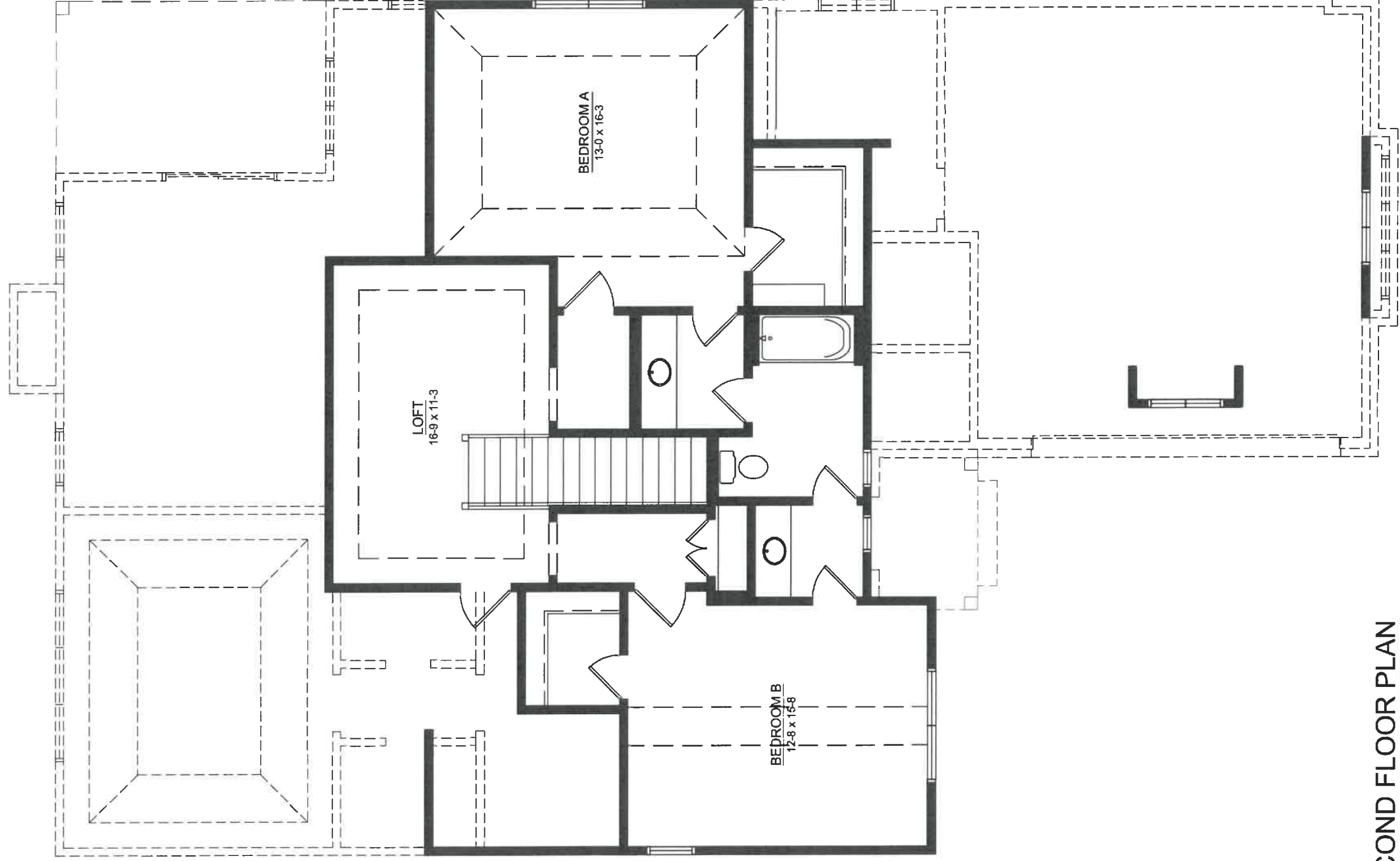
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ARCHITECTS LLC

CARLISLE

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SECOND FLOOR PLAN

FERGON

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ARCHITECTS LLC

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CARLISLE

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TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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AMBERLEY COURT - LAKE FOREST
FENWICK - FRENCH COUNTRY

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FLOOR

BOT/ FIRST FLOOR CLG.
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FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

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AMBERLEY COURT - LAKE FOREST
FENWICK - SHINGLE

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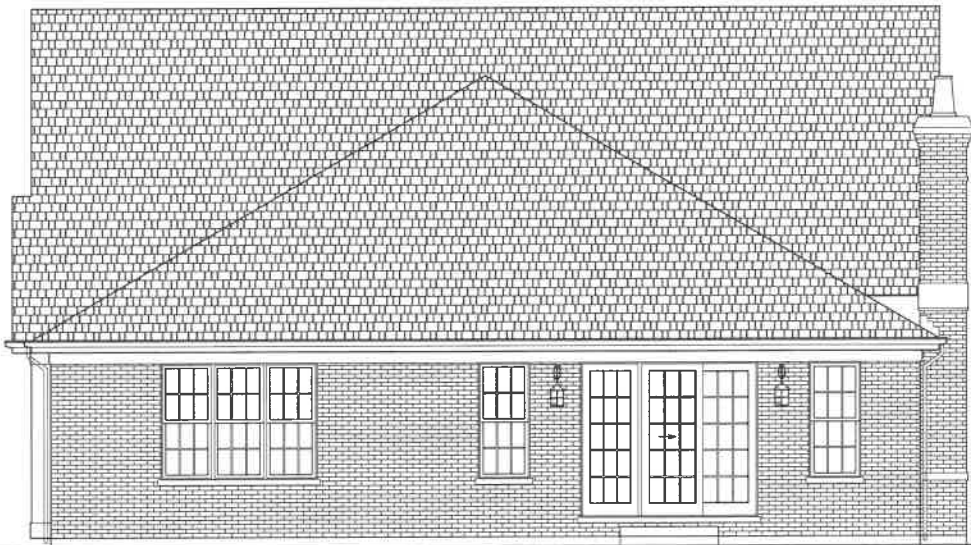
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FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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FENWICK - TUDOR

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FENWICK – TUDOR RENDERING





FIRST FLOOR PLAN



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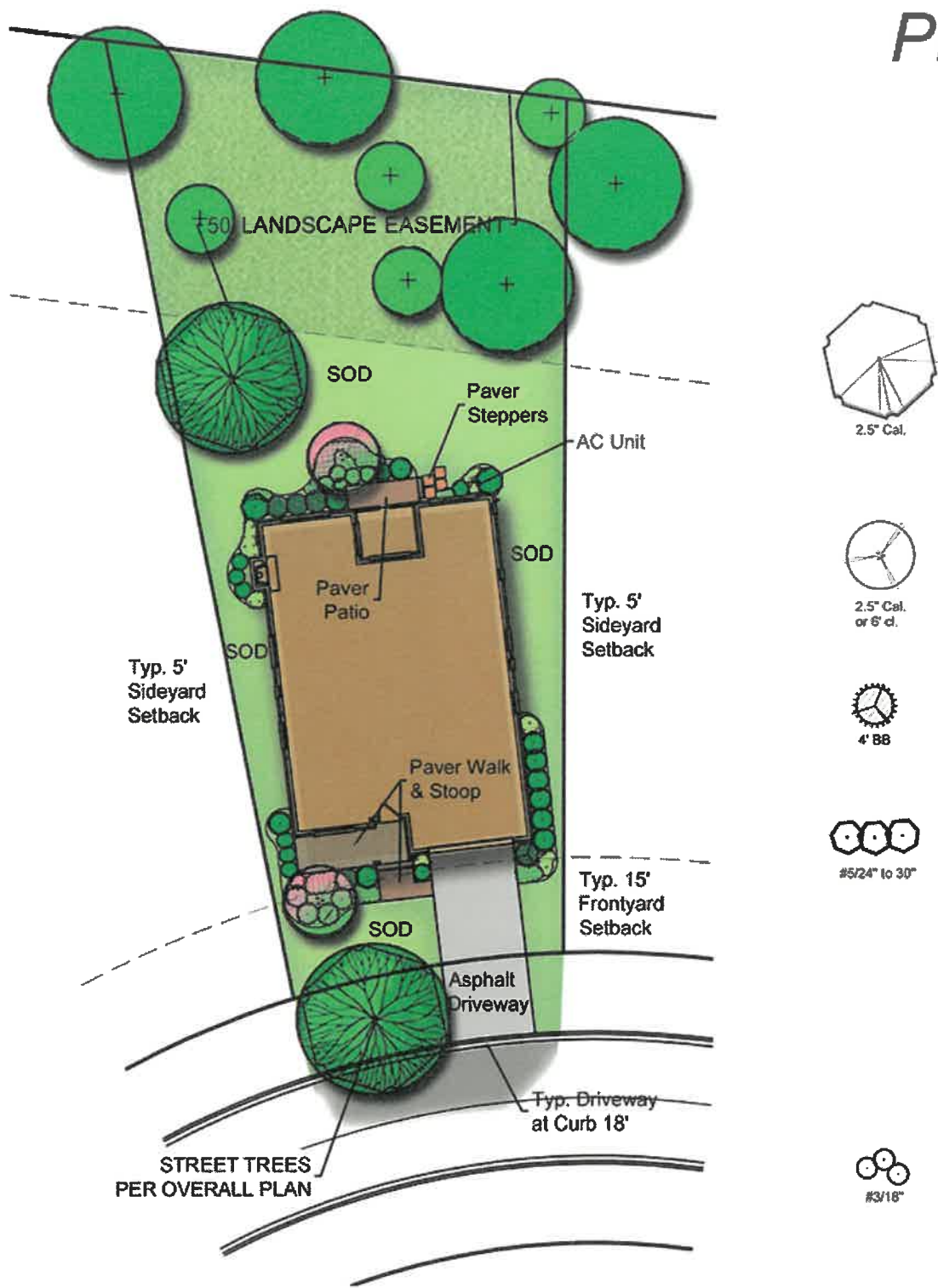
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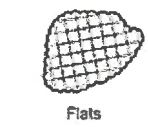


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PROTOTYPICAL FOUNDATION PLANTING



- PLANT LIST - FOUNDATIONS PLANTINGS**
The following is a general listing of quality plant material from which final plant species assignments may be selected.
- Plants to be used in heavy shade locations (North Sides of Buildings)
 - Plants to be used in part shade or sun
- DECIDUOUS SHADE TREES**
- | | |
|---------------------------|------------------------------|
| Acer l. 'Jeffersred' | Autumn Blaze Maple |
| Celtis occidentalis | Hackberry |
| Gymnocladus d. 'Espresso' | Espresso Kentucky Coffeetree |
| Quercus Species | Oaks |
| Ulmus j. x w. 'Morton' | Accolade Elm |
| Ulmus 'Frontier' | Frontier Elm |
- DECIDUOUS ORNAMENTAL TREES**
- | | |
|------------------------------------|--------------------------------|
| Amelanchier canadensis | Shadblow Serviceberry |
| Amelanchier g. 'Autumn Brilliance' | Autumn Brilliance Serviceberry |
| Betula p. 'Whitespire' | Whitespire Gray Birch |
| Crataegus crus-galli v. inermis | Thornless Cockspear Hawthorn |
| Hamamelis vernalis | Vernal Witchhazel |
| Malus species and cultivars | Flowering Crabapples |
| Pyrus c. 'Jazzam' | Jack Callery Pear |
| Syringa reticulata | Japanese Tree Lilac |
| Viburnum prunifolium | Blackhaw Viburnum |
- UPRIGHT EVERGREEN SHRUB**
- | | |
|----------------------------|--------------------------|
| Juniperus c. 'Mountbatten' | Mountbatten Juniper |
| Taxus c. 'Capitata' | Upright Yew |
| Thuja o. 'Smaragd' | Emerald Green Arborvitae |
- LARGE DECIDUOUS SHRUBS**
- | | |
|--------------------------|------------------------------|
| Cornus racemosa | Grey Dogwood |
| Cornus s. 'Bailey' | Bailey Redosier Dogwood |
| Cotoneaster acutifolia | Peking Cotoneaster |
| Hydrangea a. 'Abetwo' | Incrediball Hydrangea |
| Hydrangea p. 'Limelight' | Limelight Hydrangea |
| Hydrangea p. 'Ranthy' | Vanilla Strawberry Hydrangea |
| Physocarpus o. 'Seward' | Summer Wine Ninebark |
| Syringa p. 'Miss Kim' | Miss Kim Dwarf Lilac |
| Viburnum d. 'Christom' | Blue Muffin Viburnum |
| Viburnum x juddii | Judd Viburnum |
| Viburnum l. 'Mohican' | Mohican Viburnum |
| Weigela f. 'Alexandra' | Wine & Roses Weigela |
- DWARF DECIDUOUS SHRUBS & SHRUB ROSES**
- | | |
|---------------------------|-----------------------------|
| Cotoneaster apiculata | Cranberry Cotoneaster |
| Fothergilla gardenii | Dwarf Fothergilla |
| Diervilla 'G2X885411' | Kodiak Red Bush-honeysuckle |
| Hydrangea p. 'ILVOBO' | Bobo Hydrangea |
| Hypericum kalmianum | Kalm St. John's Wort |
| Rhus a. 'Gro-Low' | Gro-Low Sumac |
| Ribes a. 'Green Mound' | Green Mound Alpine Currant |
| Rosa Species | Shrub Rose |
| Sorbaria a. 'Sem' | Sem Ural Faele Spirea |
| Spiraea b. 'Tor' | Birchleaf Spirea |
| Spiraea x b. 'Froebel' | Froebel's Spirea |
| Spiraea x b. 'Gold Flame' | Gold Flame Spirea |
| Spiraea x m. 'Darsnom' | Snow Storm Spirea |
| Weigela x 'Dark Horse' | Dark Horse Weigela |



EVERGREEN/BROADLEAF SHRUBS

- | | |
|----------------------------------|---------------------------|
| Buxus 'Glencoe' | Chicagoland Green Boxwood |
| Euonymus l. 'Emerald Gold' | Emerald & Gold Euonymus |
| Euonymus l. 'Emerald Gaiety' | Emerald Gaiety Euonymus |
| Euonymus l. 'Sarcocoe' | Sarcocoe Euonymus |
| Juniperus c. 'Gold Lace' | Gold Lace Juniper |
| Juniperus c. 'Kallay's Compact' | Kallay's Compact Juniper |
| Juniperus c. 'Daub's Frosted' | Daub's Frosted Juniper |
| Juniperus c. 'Sargentii Viridis' | Green Sargent Juniper |
| Juniperus h. 'Hughes' | Hughes Juniper |
| Taxus m. 'Densiformis' | Dense Yew |

ORNAMENTAL GRASSES

- | | |
|----------------------------------|----------------------------------|
| Calamagrostis a. 'Karl Foerster' | Feather Reed Grass |
| Carex m. 'Ice Dance' | Ice Dance Sedge |
| Deschampsia c. 'Pride Fountain' | Pride Fountain Tufted Hair Grass |
| Hakonechloa m. 'All Gold' | Japanese Forest Grass |
| Panicum v. 'Cheyenne Sky' | Cheyenne Sky Switch Grass |
| Panicum v. 'Shenandoah' | Shenandoah Red Switch Grass |
| Pennisetum a. 'Hameln' | Hameln Fountain Grass |
| Schizachyrium s. 'Carousel' | Carousel Little Bluestem |
| Sesleria autumnalis | Autumn Moor Grass |
| Sporobolus heterolapids | Prairie Dropseed |

PERENNIALS

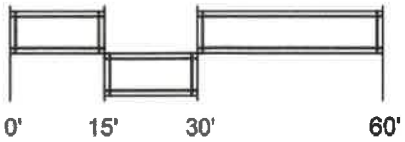
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|------------------------------------|------------------------------|
| Achillea millefolium sp. | Yarrow |
| Astilbe chinensis sp. | Astilbe |
| Coreopsis v. 'Moonbeam' | Moonbeam Coreopsis |
| Echinacea sp. | Coneflower |
| Geranium 'Gerwat' | Rozanne Geranium |
| Geranium s. 'Max Frei' | Max Frei Bloody Cranesbill |
| Hemerocallis sp. | Daylily |
| Heuchera sp. | Corabellis |
| Hosta 'August Moon' | August Moon Hosta |
| Hosta 'Brother Stefan' | Brother Stefan Hosta |
| Hosta 'Francee' | Francee Hosta |
| Hosta 'Halcyon' | Halcyon Hosta |
| Hosta 'Patriot' | Patriot Hosta |
| Nepeta r. 'Walker's Low' | Walker's Low Catmint |
| Rudbeckia f. 'Vette's Little Suzy' | Little Suzy Black-eyed Susan |
| Sedum s. 'Autumn Fire' | Autumn Fire Sedum |

GROUNDCOVERS

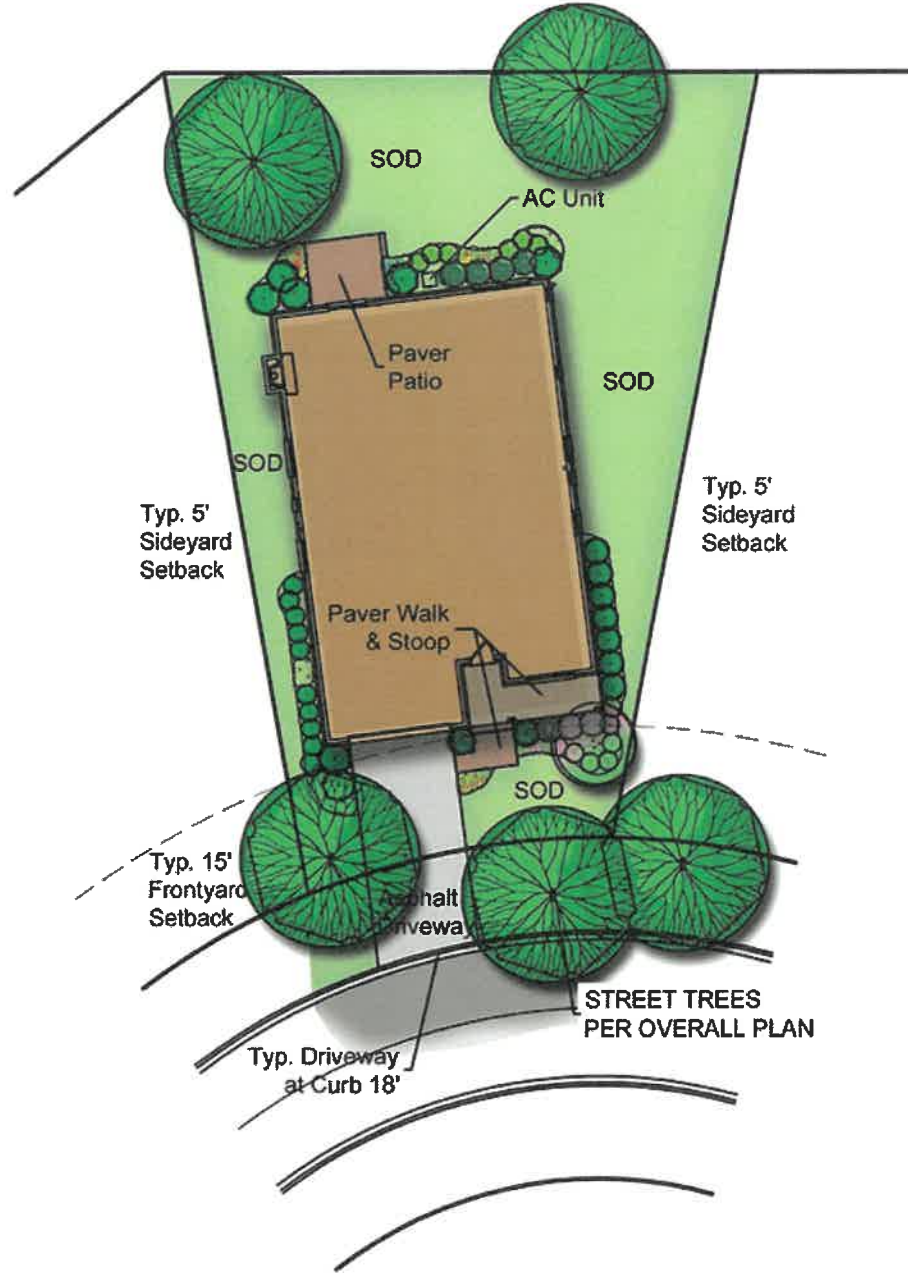
- | | |
|-------------------------------|--------------------------|
| Ajuga r. 'Bronze Beauty' | Bronze Beauty Bugleweed |
| Euonymus l. 'Coloratus' | Purpleleaf Wintercreeper |
| Hedera h. 'Thorndale' | English Ivy |
| Pachysandra t. 'Green Carpet' | Japanese Spurge |
| Sedum kamtschaticum | Russian Stonecrop |

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



PROTOTYPICAL FOUNDATION PLANTING



PLANT LIST - FOUNDATIONS PLANTINGS
The following is a general listing of quality plant material from which final plant species assignments may be selected.

● Plants to be used in heavy shade locations (North Sides of Buildings)
● Plants to be used in part shade or sun

DECIDUOUS SHADE TREES

Acer f. 'Jeffersred'	Autumn Blaze Maple
Celtis occidentalis	Hackberry
Gymnocladus d. 'Espresso'	Espresso Kentucky Coffeetree
Quercus Species	Oaks
Ulmus j. x w. 'Morton'	Accolade Elm
Ulmus 'Frontier'	Frontier Elm

DECIDUOUS ORNAMENTAL TREES

Amelanchier canadensis	Shadblow Serviceberry
Amelanchier g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry
Betula p. 'Whitespire'	Whitespire Gray Birch
Crataegus crus-galli v. inermis	Thornless Cockspear Hawthorn
Hamamelis vernalis	Vernal Witchhazel
Malus species and cultivars	Flowering Crabapples
Pyrus c. 'Jazzam'	Jack Gallery Pear
Syringa reticulata	Japanese Tree Lilac
Viburnum prunifolium	Blackhaw Viburnum

UPRIGHT EVERGREEN SHRUB

Juniperus c. 'Mountbatten'	Mountbatten Juniper
Taxus c. 'Capitata'	Upright Yew
Thuja o. 'Smaragd'	Emerald Green Arborvitae

LARGE DECIDUOUS SHRUBS

Cornus racemosa	Grey Dogwood
Cornus s. 'Baileyi'	Bailey Redosier Dogwood
Cotoneaster acutifolia	Peking Cotoneaster
Hydrangea a. 'Abetwo'	Incrediball Hydrangea
Hydrangea p. 'Limelight'	Limelight Hydrangea
Hydrangea p. 'Renhy'	Vanilla Strawberry Hydrangea
Physocarpus o. 'Seward'	Summer Wine Ninebark
Syringa p. 'Miss Kim'	Miss Kim Dwarf Lilac
Viburnum d. 'Christom'	Blue Muffin Viburnum
Viburnum x juddii	Judd Viburnum
Viburnum l. 'Mohican'	Mohican Viburnum
Weigela l. 'Alexandra'	Wine & Roses Weigela

DWARF DECIDUOUS SHRUBS & SHRUB ROSES

Cotoneaster apiculata	Cranberry Cotoneaster
Fothergilla gardenii	Dwarf Fothergilla
Diervilla 'G2X885411'	Kodiak Red Bush-honeysuckle
Hydrangea p. 'ILVOBO'	Bobo Hydrangea
Hypericum kalmianum	Kalm St. John's Wort
Rhus a. 'Gro-Low'	Gro-Low Sumac
Ribes a. 'Green Mound'	Green Mound Alpine Currant
Rosa Species	Shrub Rose
Sorbaria a. 'Sem'	Sem Ural Faste Spirea
Spiraea b. 'Tor'	Birchleaf Spirea
Spiraea x b. 'Froebel'	Froebel's Spirea
Spiraea x b. 'Gold Flame'	Gold Flame Spirea
Spiraea x m. 'Darsnom'	Snow Storm Spirea
Weigela x 'Dark Horse'	Dark Horse Weigela

EVERGREEN/BROADLEAF SHRUBS

● Buxus 'Glencoe'	Chicagoland Green Boxwood
● Euonymus f. 'Emerald Gold'	Emerald & Gold Euonymus
● Euonymus f. 'Emerald Galety'	Emerald Galety Euonymus
● Euonymus f. 'Sarcocoe'	Sarcocoe Euonymus
● Juniperus c. 'Gold Lace'	Gold Lace Juniper
● Juniperus c. 'Kallay's Compact'	Kallay's Compact Juniper
● Juniperus c. 'Daub's Frosted'	Daub's Frosted Juniper
● Juniperus c. 'Sargentii Viridis'	Green Sargent Juniper
● Juniperus h. 'Hughes'	Hughes Juniper
● Taxus m. 'Densiformis'	Dense Yew

ORNAMENTAL GRASSES

○ Calamagrostis a. 'Karl Foerster'	Feather Reed Grass
● Carex m. 'Ice Dance'	Ice Dance Sedge
● Deschampsia c. 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass
● Hakonechloa m. 'All Gold'	Japanese Forest Grass
○ Panicum v. 'Cheyenne Sky'	Cheyenne Sky Switch Grass
○ Panicum v. 'Shenandoah'	Shenandoah Red Switch Grass
○ Pennisetum a. 'Hamel'	Hamel Fountain Grass
○ Schizachyrium s. 'Carousel'	Carousel Little Bluestem
● Setaria autumnalis	Autumn Moor Grass
○ Sporobolus heterolepis	Prairie Dropseed

PERENNIALS

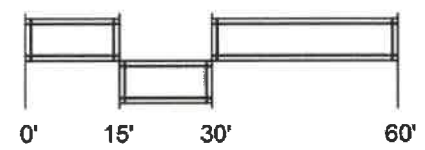
○ Achillea millefolium sp.	Yarrow
● Astilbe chinensis sp.	Astilbe
○ Coreopsis v. 'Moonbeam'	Moonbeam Coreopsis
● Echinacea sp.	Coneflower
● Geranium 'Gerwat'	Rozanne Geranium
● Geranium s. 'Max Frei'	Max Frei Bloody Cranesbill
○ Hemerocallis sp.	Daylily
● Heuchera sp.	Corabells
● Hosta 'August Moon'	August Moon Hosta
● Hosta 'Brother Stefan'	Brother Stefan Hosta
● Hosta 'Francee'	Francee Hosta
● Hosta 'Halcyon'	Halcyon Hosta
● Hosta 'Patriot'	Patriot Hosta
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● Rudbeckia f. 'Vette's Little Suzy'	Little Suzy Black-eyed Susan
○ Sedum s. 'Autumn Fire'	Autumn Fire Sedum

GROUNDCOVERS

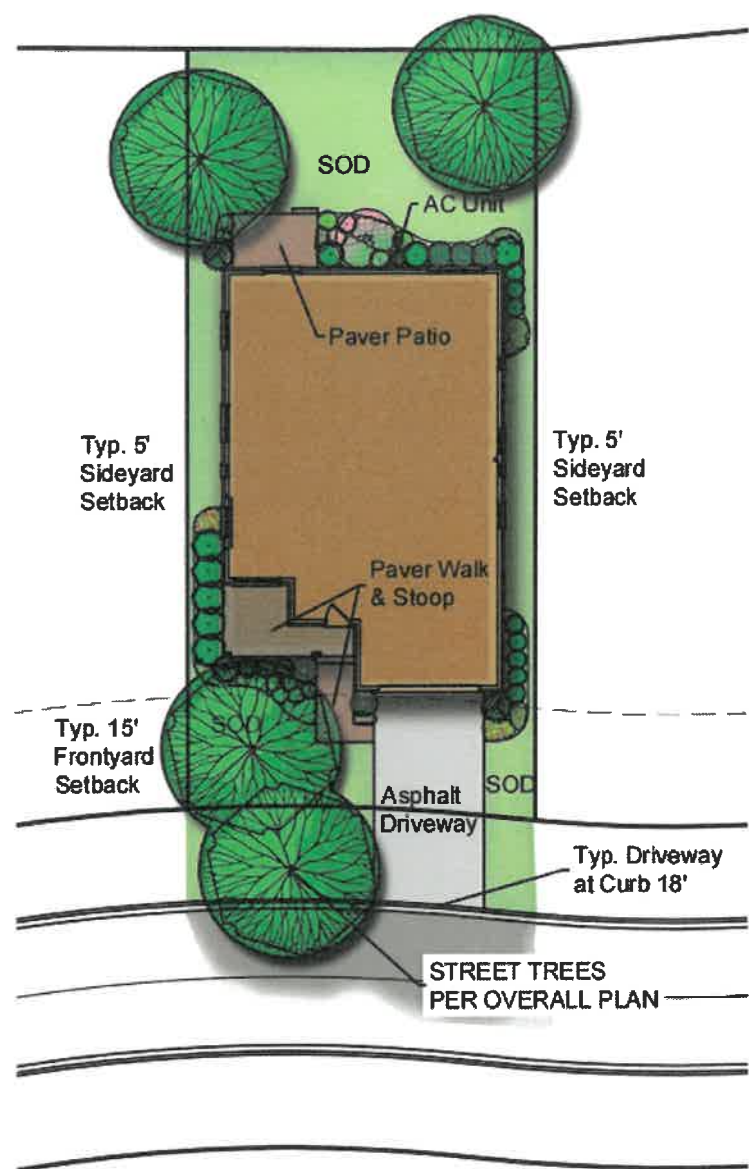
○ Ajuga r. 'Bronze Beauty'	Bronze Beauty Bugleweed
● Euonymus f. 'Coloratus'	Purpleleaf Wintercreeper
● Hedera h. 'Thomdale'	English Ivy
● Pachysandra t. 'Green Carpet'	Japanese Spurge
○ Sedum kamtschaticum	Russian Stonecrop

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



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● Viburnum x juddii	Judd Viburnum
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● Spiraea b. 'Tor'	Birdleaf Spirea
● Spiraea x b. 'Froebel'	Froebels Spirea
● Spiraea x b. 'Gold Flame'	Gold Flame Spirea
● Spiraea x m. 'Daisynorm'	Snow Storm Spirea
● Weigela x 'Dark Horse'	Dark Horse Weigela

EVERGREEN BROADLEAF SHRUBS

● Buxus 'Glennae'	Chicagoland Green Boxwood
● Euonymus f. 'Emerald Gold'	Emerald & Gold Euonymus
● Euonymus f. 'Emerald Gaiety'	Emerald Gaiety Euonymus
● Euonymus f. 'Sarcocoe'	Sarcocoe Euonymus
● Juniperus c. 'Gold Lace'	Gold Lace Juniper
● Juniperus c. 'Kali's Compact'	Kali's Compact Juniper
● Juniperus c. 'Daub's Frosted'	Daub's Frosted Juniper
● Juniperus c. 'Sargentii Viridis'	Green Sargent Juniper
● Juniperus h. 'Hughes'	Hughes Juniper
● Taxus m. 'Densiformis'	Dense Yew

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○ Schizachyrium s. 'Carousel'	Carousel Little Bluestem
● Sesleria autumnalis	Autumn Moor Grass
○ Sporobolus heterostachys	Prairie Dropseed

PERENNIALS

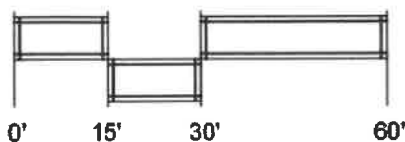
○ Achillea millefolium sp.	Yarrow
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○ Coreopsis v. 'Moonbeam'	Moonbeam Coreopsis
● Echinacea sp.	Coneflower
● Geranium 'Gerwat'	Rozanne Geranium
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○ Hemerocallis sp.	Daylily
● Heuchera sp.	Coralbells
● Hosta 'August Moon'	August Moon Hosta
● Hosta 'Brother Stefan'	Brother Stefan Hosta
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● Hosta 'Halcyon'	Halcyon Hosta
● Hosta 'Patriot'	Patriot Hosta
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GROUNDCOVERS

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● Pachysandra t. 'Green Carpet'	Japanese Spurge
○ Sedum kamtschaticum	Russian Stonecrop

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



**PREVIOUSLY PRESENTED ELEVATIONS
APRIL 2021**



TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
BOSTONIAN - FRENCH COUNTRY

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MARCH 29, 2020



FRONT ELEVATION

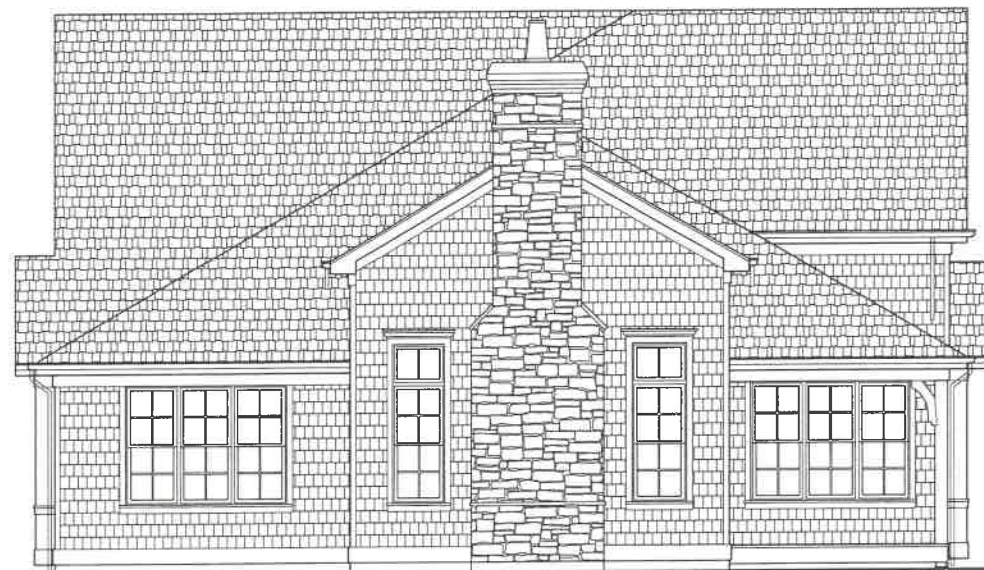
TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING AND TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.

AMBERLEY COURT - LAKE FOREST
BOSTONIAN - SHINGLE



434 North Dover Avenue
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McNAUGHTON
DEVELOPMENT

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01820

MARCH 29, 2020



TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
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AMBERLEY COURT - LAKE FOREST
BOSTONIAN - TUDOR

McNAUGHTON
DEVELOPMENT

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PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MARCH 29, 2020



TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
BRUNSWICK - FRENCH COUNTRY

McNAUGHTON
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01820

MARCH 29, 2021



TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

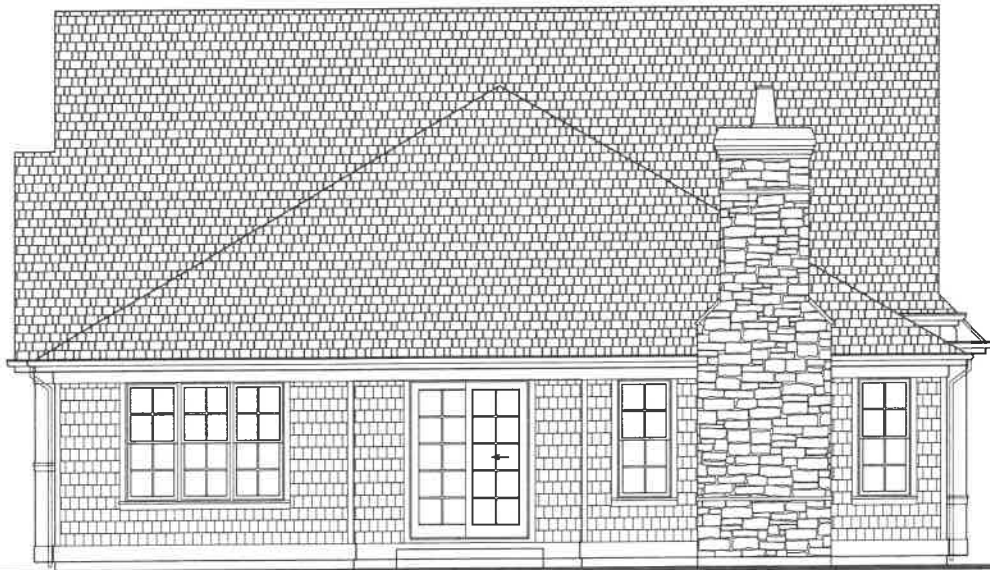
BOT/ FIRST FLOOR CL.G.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

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- STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING AND L.P. TRIM BOARDS W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
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- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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BRUNSWICK - SHINGLE

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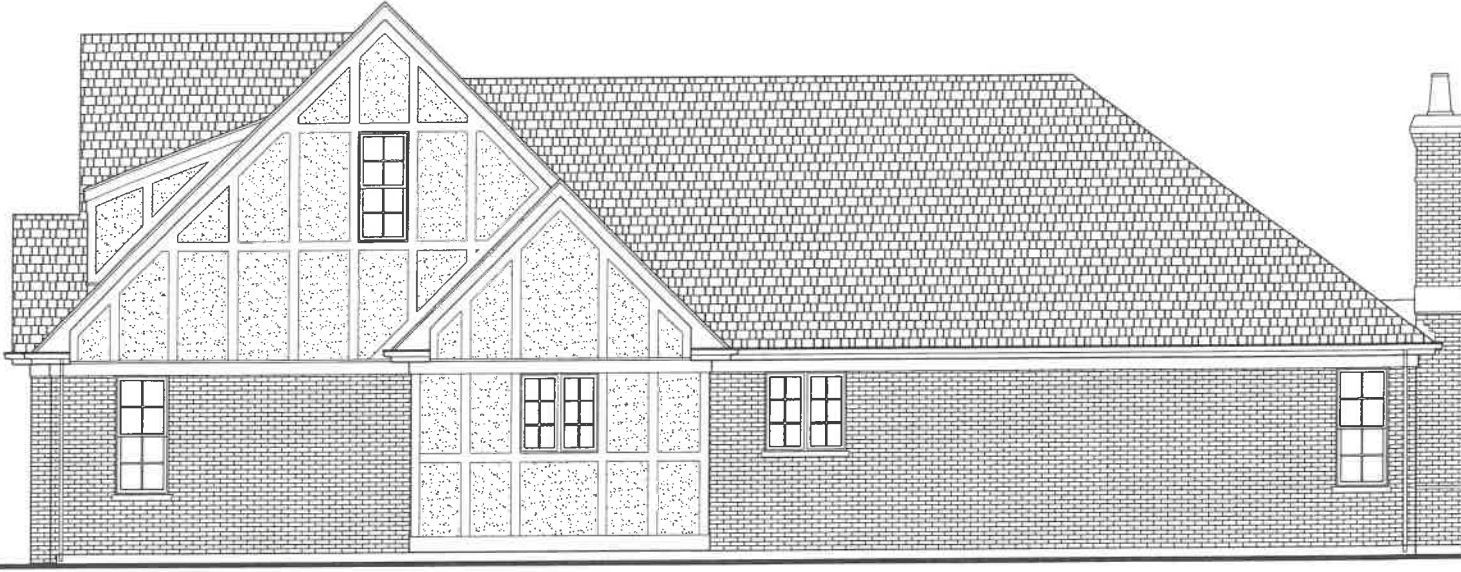
MARCH 29, 2021



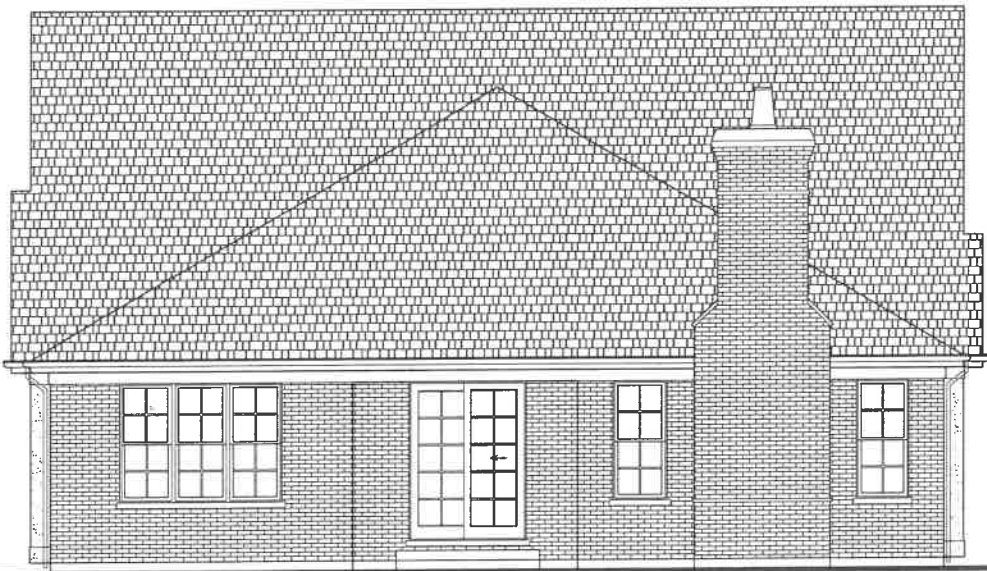
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26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
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1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

- TYPICAL EXTERIOR FACADE DETAILS:**
- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
 - ALUMINUM GUTTERS AND DOWN SPOUTS
 - 4" BRICK FIREPLACE W/ CLAY FLUE CAP
 - L.P. FASCIA & SOFFIT W/ FACTORY FINISH
 - 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
 - 4" BRICK OR STONE WHERE SHOWN
 - FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
 - CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

ARCHITECTS LLC

AMBERLEY COURT - LAKE FOREST

BRUNSWICK - TUDOR

McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MARCH 29, 2021



TOP/ RIDGE
29'-11" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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FERGON
ARCHITECTS LLC
434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
CARLISLE - FRENCH COUNTRY

**McNAUGHTON
DEVELOPMENT**
11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
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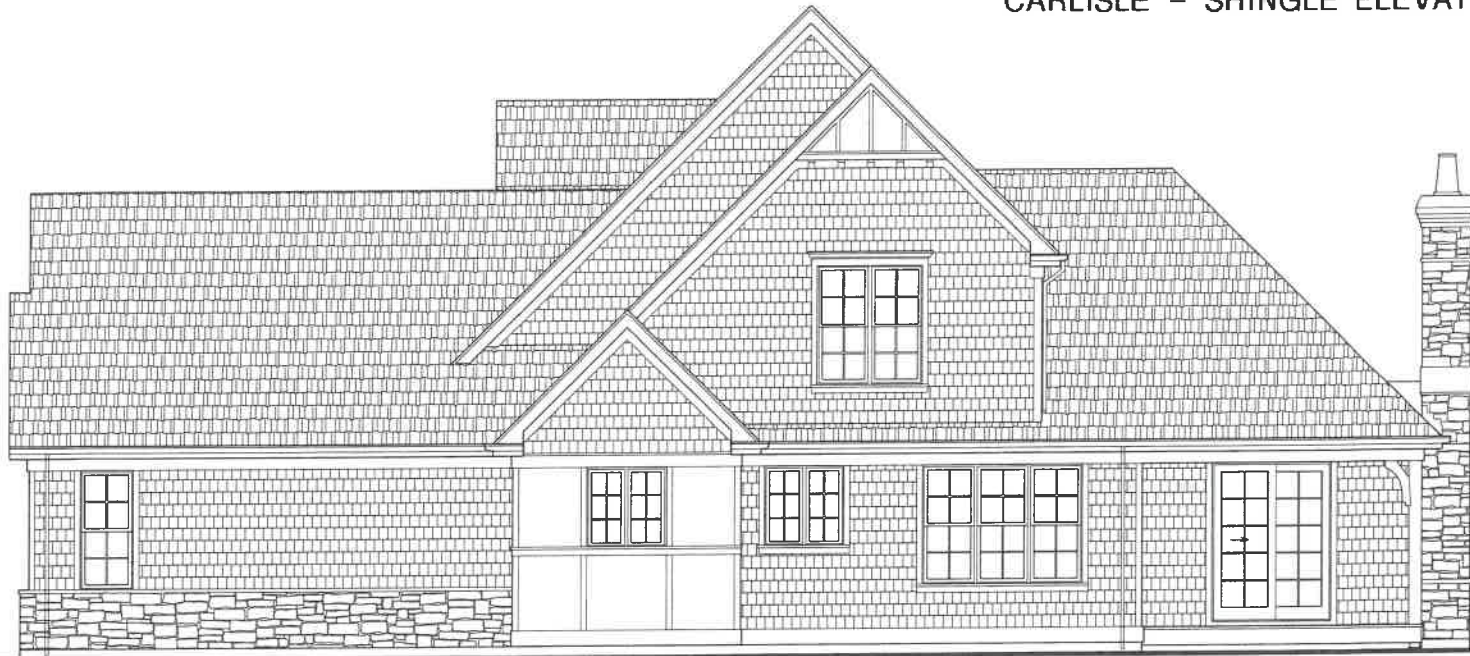


TOP/ RIDGE
31'-2" ABOVE FINISHED
FLOOR

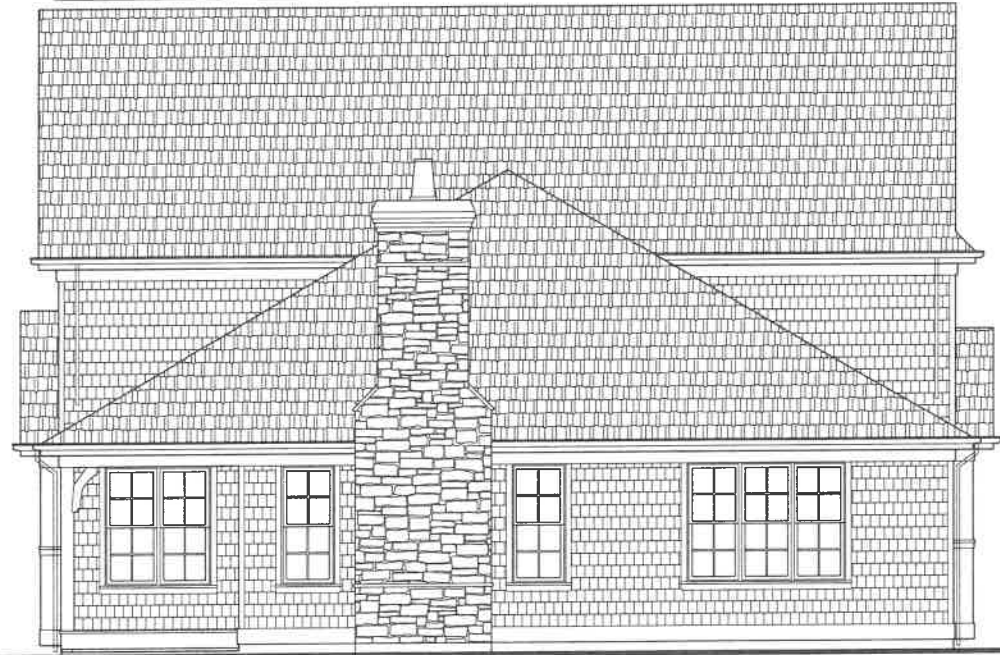
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FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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- ALUMINUM GUTTERS AND DOWN SPOUTS
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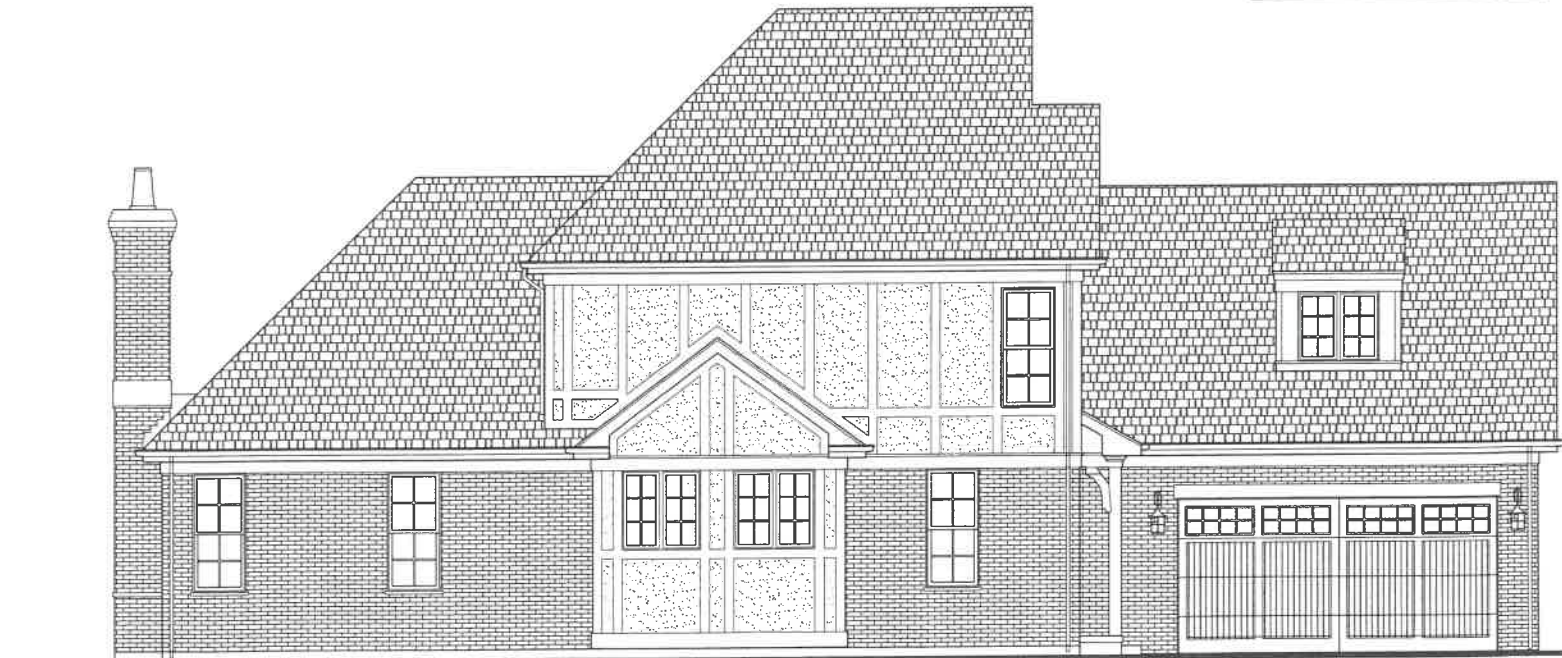
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REAR ELEVATION



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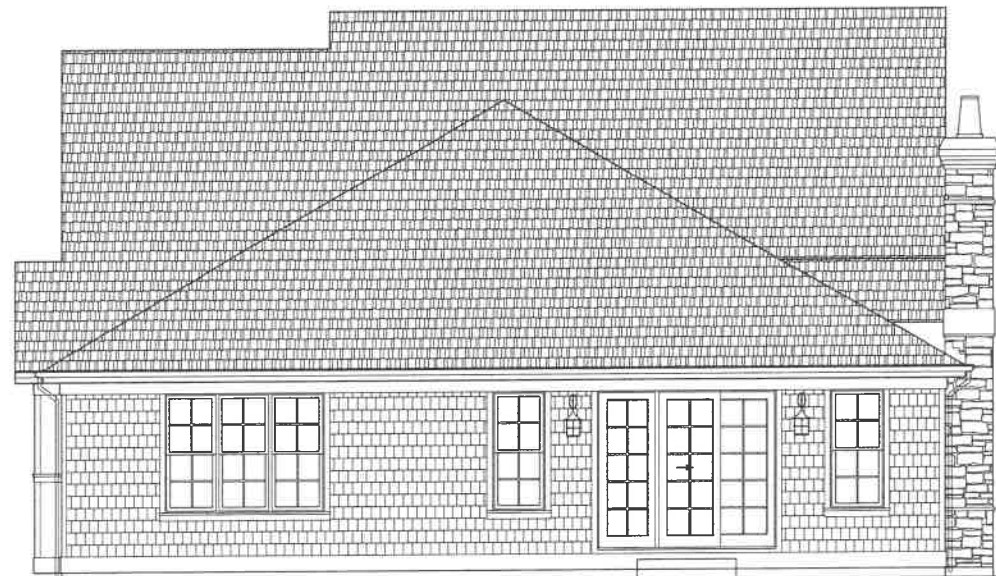
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REAR ELEVATION



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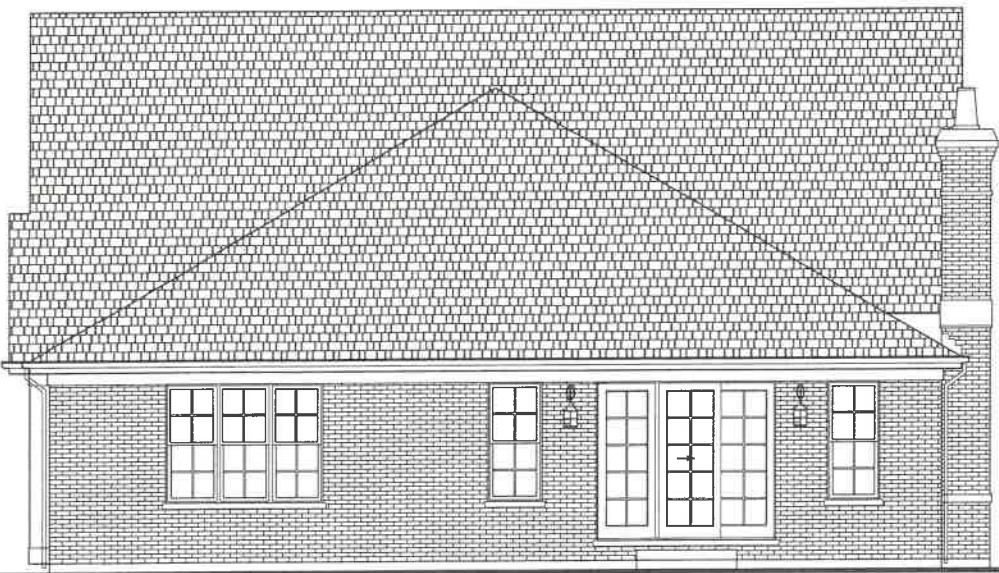
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MARCH 29, 2021

Agenda Item 5
713 Illinois Road
Garage and Porch Additions

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed East Elevation
Proposed South Elevation
Proposed West Elevation
Proposed North Elevation
Proposed Site Plan with Roof Plan
Preliminary Site Grading Plan

713 Illinois Road

Consideration of a request for approval of construction of a two-car attached garage and the addition of covered porches on the front and rear of the home.

Property Owner: Chance Shea

Project Representative: Dale Shea, contractor

Staff Contact: Jen Baehr, Assistant Planner

Description of Property and Existing Residence

This property is located at the south side of Illinois Road, between Washington and Sheridan Roads. The home is located across from the Lake Forest College athletic fields. The homes in the surrounding neighborhood range from single story ranch style homes, to larger two and two-and-a-half story homes of varying architectural styles. The property that is the subject of this request is 7,643 square feet and is triangular in shape. The residence on the property was built in the 1950's and is a brick single story residence. Based on available City records, very few modifications have been made to the home since its construction.

Summary of Request

This is a request for approval of construction a two-car attached garage on the southeast side of the existing residence. The property currently does not have a garage. The petitioner is also proposing a covered porch on the front elevation over the existing stoop at the front entrance and a second open porch on the rear elevation.

The property owner recently purchased the property and obtained a permit to move the driveway from the northwest side of the site to the southeast side, all in compliance with the Code. In discussions with City staff at the time a driveway permit was requested, the owner stated that no garage was planned in the near future. Since that time, the owner has decided to move forward with a proposed two car attached garage.

The Zoning Board of Appeals recently considered and recommended approval of a request for zoning variances to allow construction of the garage and front porch. The Zoning Board of Appeals recognized that the unique configuration of the property offers little opportunity to locate a garage to the rear of the home. The Board also found it reasonable that a two car garage is desired by the property owner.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's considerations.

Site Plan – This standard is generally met.

As noted above, the proposed garage is located on the southeast side of the residence. The garage is 23 feet in width and 25 feet deep. The garage is sited 3 feet forward of the existing front wall of the residence, and is located approximately 20 feet from the street at the closest point. Staff encouraged exploration of stepping the garage back at least slightly from the front of the house. While it is uncommon to locate the garage forward of the front façade, in this case, it is presented this way in an effort to pull the garage away from the south property line to the extent possible, where the garage as presented is only 7 feet and 8 inches from the south property line.

The open porch on the front elevation is located on the northwest corner of the house. The front porch is 5 feet and 6 inches deep and 11 feet and 6 inches in length and is intended to provide a functional element that provides shelter to visitors coming to the home. The rear open porch is located on the northwest corner of the house and is 8 feet and 6 inches deep and 17 feet in length.

The new concrete driveway is 18 feet in width. A brick paver walkway is proposed from the front porch to the street. A brick paver patio is also proposed on the rear of the home. A retaining wall is proposed on the rear side of the lot and rises 6 inches above grade to accommodate the grade change on the site.

Building Massing

Based on the lot size, a residence of up to 2,370 square feet is permitted on the site with an allowance of 576 square feet for a garage and 237 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

A preliminary building scale calculation has been completed based on the plans provided by the petitioner. Fully dimensioned floorplans and elevations have not yet been provided pending action by the two Boards. Based on the preliminary review, the existing residence is 1,002 square feet, and is well below the maximum allowable square footage by 58 percent. The proposed garage totals 575 square feet, and is within the square footage allowance for a garage, therefore the square footage of the garage does not contribute to the overall square footage of the residence. The proposed open porches total 208 square feet and are considered design elements and are not counted toward the square footage of the home. Even without fully dimensioned plans it is clear that this project conforms fully to the building scale limitations.

The petitioner's plans do not reflect a height dimension of the house or garage from the lowest point of existing grade. The maximum height allowed for a residence and garage on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak. From scaling the provided elevation drawings, the existing house is approximately 13 feet tall. The height of the garage is intended to match the existing height of the residence. At the time the petitioner submits for a building permit, fully dimensioned floorplans and elevations must be provided to City staff.

Elevations – This standard is generally met.

The existing residence is a modest ranch style home. The proposed garage addition is a simple rectangular mass with a hip roof form that matches the 4:12 pitch of the existing roof on the home. A 16 foot wide overhead garage door is proposed on the front elevation of the garage. The garage door detailing is intended to present the appearance of two single doors, an effort to soften the visual impact of the garage on the streetscape. The open porches have hip roof forms with square columns.

The elevation drawings provided by the petitioner reflect shutters on some of the windows around the home. The shutters are proposed as an enhancement to the home. However, as currently proposed, the shutters are not consistently applied around the home, and some shutters as shown on the plans are not proportional to the size of the windows. Based on discussions with the petitioner the shutters may be eliminated from the project. Staff recommends that if shutters remain, they should be consistently applied to windows around the home and be proportional to the size of the windows.

The existing windows on the home are double hung windows with horizontal divisions on the top and bottom sashes. The plans submitted by the petitioner incorrectly reflect the existing windows as double hung windows with a six over one muntin pattern. The petitioner does not intend on replacing the existing

windows. The only new window is proposed on the side elevation of the garage. Based on discussions with the petitioner, the new window on the side elevation of the garage is intended to match the existing double hung windows on the home.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials are consistent with those on the existing residence. The proposed façade material is brick and it is the petitioner's intent to reuse brick from the house to the extent possible. Asphalt shingles are proposed for the new roof forms on the garage and porches. Trim, fascia and soffit materials are wood wrapped in aluminum to match the existing home. The new window on the garage will be wood. A steel overhead garage door is proposed on the front elevation, and a single steel entry door is proposed on the rear elevation of the garage.

Landscaping – This standard can be met.

The proposed garage and porch additions will not require the removal of any existing trees on the site. The petitioner has stated that no additional landscaping on the site is proposed. Given that the garage addition will increase the mass of the home as perceived from the streetscape staff recommends that, as recommended by the Zoning Board of Appeals, some additional landscaping should be planted in the front yard to soften the appearance of the home from the street.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this petition.

Recommendation

Recommend approval of the construction of a two-car garage and open porch additions on the front and rear of the existing home based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. If shutters are proposed, they should be consistently applied to windows around the home and be proportional to the size of the windows.
2. If modifications are made to the plans, either in response to Board direction or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. A full set of dimensioned architectural plans shall be submitted at the time of application for permit.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall reflect new plantings in the front yard to the extent possible in an effort to soften the appearance of the home as viewed from the street.

5. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices to properly direct drainage.
6. Details of any exterior lighting shall be provided with the plans submitted for permit. Cut sheets of all light fixtures shall be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass. All exterior lights, except for motion detector lights for security purposes, shall be set on timers to turn off no later than 11 p.m.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 713 Illinois Road Owner(s) Chance Shea

Architect Dale Shea Reviewed by: Jen Baehr

Date 6/2/2021

Lot Area 7643 sq. ft.

Square Footage of Existing Residence:

1st floor 1002 + 2nd floor 0 + 3rd floor 0 = 1002 sq. ft.

Design Element Allowance = 237 sq. ft.

Total Actual Design Elements = 0 sq. ft. Excess = 0 sq. ft.

Garage 0 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 0 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1002 sq. ft.

Square Footage of Proposed Additions:

1st floor 0 + 2nd floor 0 + 3rd floor 0 = 0 sq. ft.

New Garage Area 575 sq. ft. Excess = 0 sq. ft.

New Design Elements 208 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 1002 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2370 sq. ft.

DIFFERENTIAL = -1368 sq. ft.

NET RESULT:
Under Maximum

1368 sq. ft. is

58% under the
Max. allowed

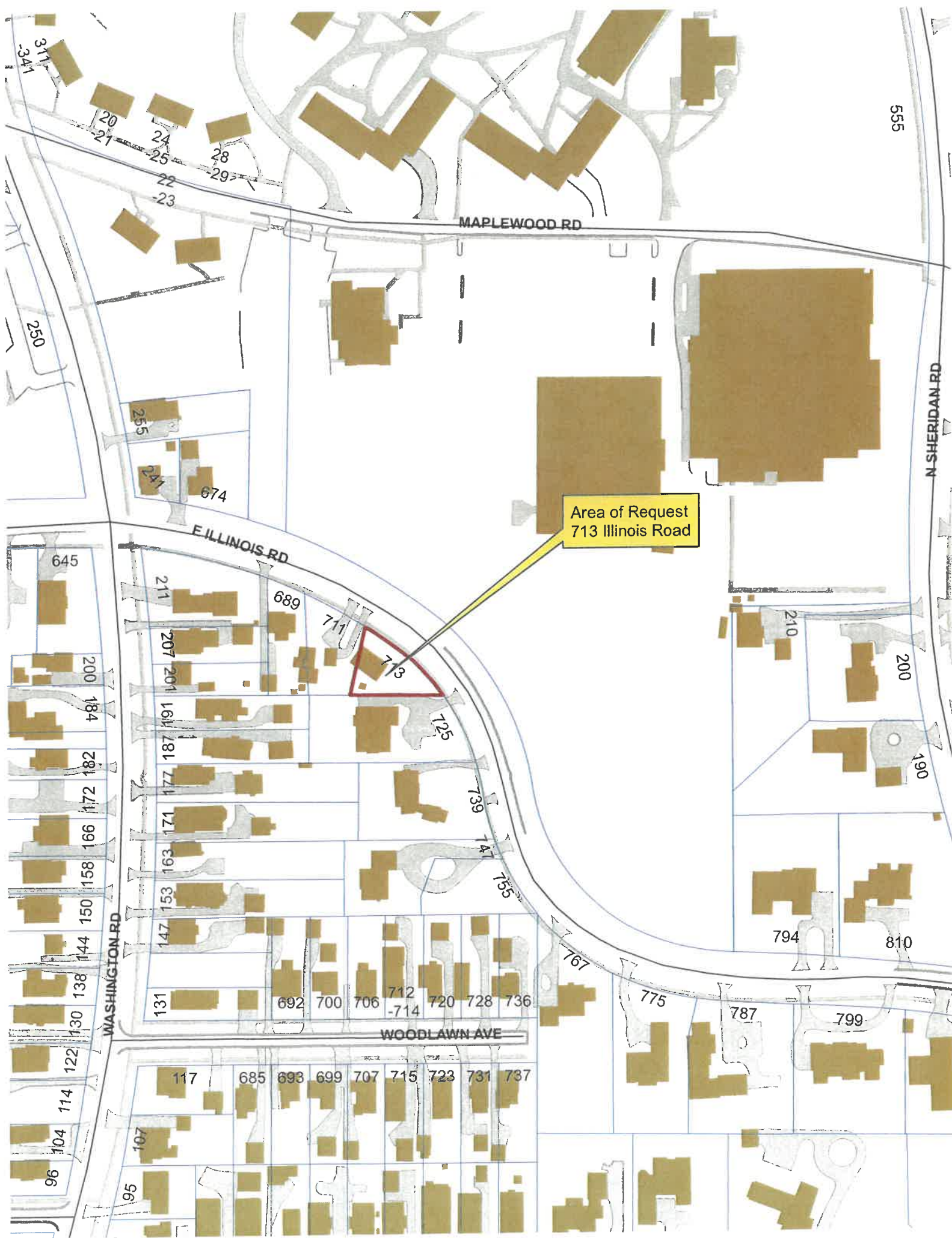
Allowable Height: 30 ft. Actual Height: 13 feet (existing house and garage)

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 237 sq. ft.

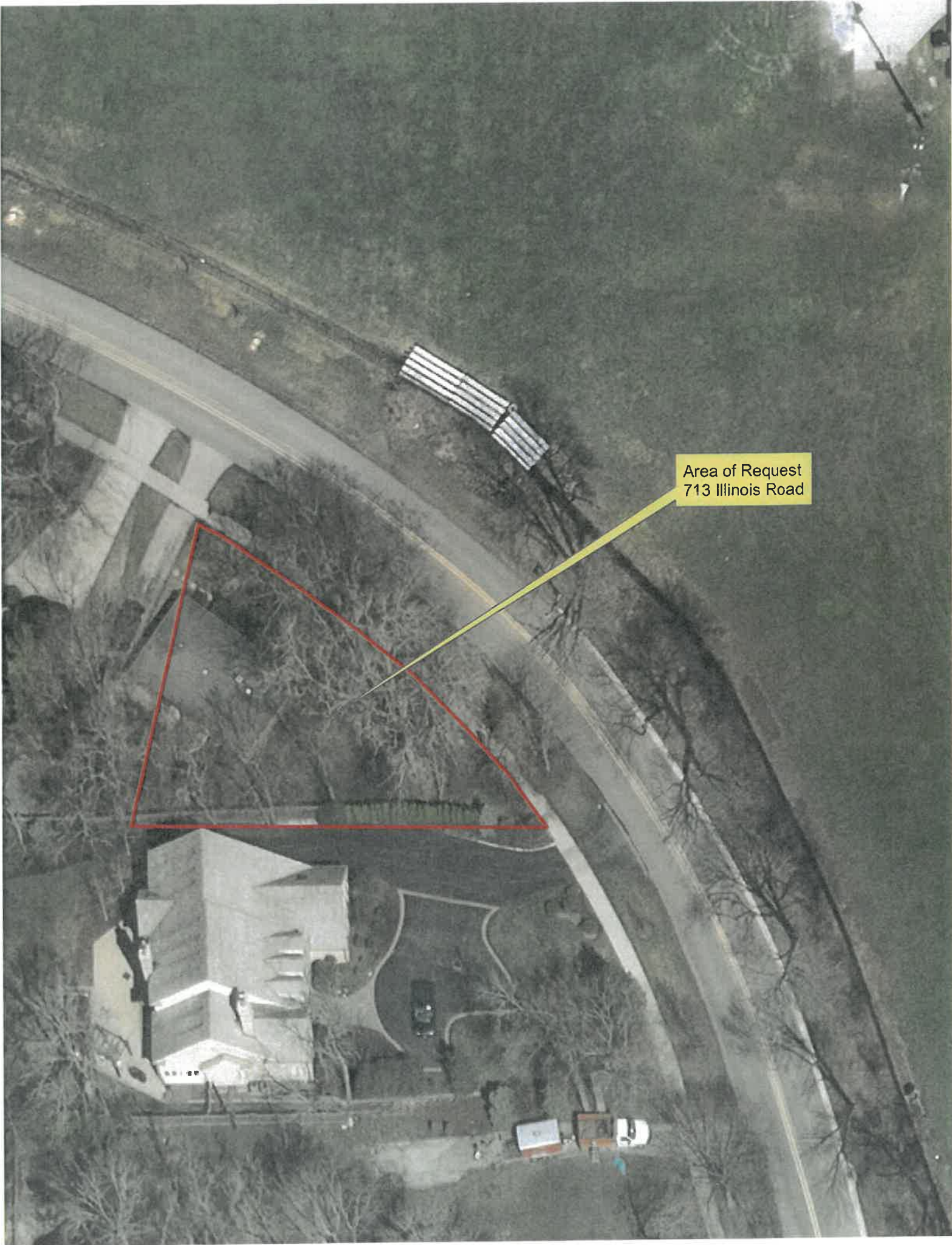
Front & Side Porches = 208 sq. ft.
Rear & Side Screen Porches = 0 sq. ft.
Covered Entries = 0 sq. ft.
Portico = 0 sq. ft.
Porte-Cochere = 0 sq. ft.
Breezeway = 0 sq. ft.
Pergolas = 0 sq. ft.
Individual Dormers = 0 sq. ft.
Bay Windows = 0 sq. ft.

Total Actual Design Elements = 208 sq. ft. **Excess Design Elements** = 0 sq. ft.





Area of Request
713 Illinois Road



Area of Request
713 Illinois Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 713 E. Illinois Rd, Lake Forest, IL 60045

APPLICATION TYPE Garage Addition

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Chance K. Shea

Owner of Property

Same as Above

Owner's Street Address (may be different from project address)

City, State and Zip Code

847-769-1594

Phone Number

Fax Number

chance.shea93@gmail.com

Email Address

Chance K. Shea

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Dale Shea

Name and Title of Person Presenting Project

Name of Firm

207 Washington Rd.

Street Address

Lake Forest, IL 60045

City, State and Zip Code

847-626-4307

Phone Number

Fax Number

Sheadale7@gmail.com

Email Address

Dale R. Shea

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

***I will pick up a copy of the staff report at
the Community Development Department***

☐ OWNER

☐ REPRESENTATIVE

Statement of Intent
Garage Variance Permit 713 E. Illinois Rd, LF

The four “Tests”

1. The variance does NOT alter the essential character of the subject property; it is a clear improvement.
2. The conditions upon which the petition for variance is requested, are unique to the property, and NOT at all typical of other properties in this zoning classification.
3. The difficulty/hardship in conforming has absolutely NOT been created by ownership or others of interest in the property
4. The proposed variance will absolutely NOT impair light, air, or congestion of adjacent properties/streets. It will NOT increase danger of fire, public safety, or a diminishment/impairment of property values, and should INCREASE them.

Please read below for a summary delineating both the above factors, but also, why this variance is being requested.

History

As a resident (207 Washington Road) of Lake Forest for 20 years, my family has enjoyed the community. My son Chance mowed the lawn for Ms. Jones while he was in middle school and high school. He’s wanted to live in the community, if possible. The house at 713 came up for sale but Chance was serving in the National Guard as a medic, stationed in Afghanistan. I purchased the house in Chances’ absence with his commitment to purchase back from me as soon as possible. As a parent, of course I would like him to live close by, so this was perfect.

Site

The site is an irregular “pie” shape, of approximately 6,314 square feet. The minimum lot size for R1 zoning is 9,375 square feet; the entire lot is really a variance or a “grandfathered” situation to begin with. As such, special care has been taken to minimize any impact on adjacent neighbors, and to improve the profile of the neighborhood through optimization of the existing structure with the proposed garage addition, and an improved 360 degree elevation view.

Structure

The existing structure is very modest; 40 feet wide x 25 deep; 1,000 square feet of living area with a full basement. No other structures are present. The setback line of 40 feet runs right through the middle (see SK-5 Site Plan) of the structure. Compliance is impossible at this point, and only an improvement in quality and appearance is possible. Stated objective is create a more pleasing elevation view, with the obvious functional benefit of car and typical garage item storage.

Proposed Plan needing variance

The need for a garage is self-explanatory. The average family with two adults working requires two vehicles, hence the two car garage. Storage and protection from the Chicago winters is a typical desire of all single family home owners. Additionally, storage for basic lawn and home maintenance is essential. The challenge was to IMPROVE the elevation (currently bland and almost considered an

eyesore) when proposing something that the community would consider reasonable, and NOT an over reach. With that stated objective, a “depth” of elevation was needed; hence the “forward” front hip over the garage, and a smaller matching hip over the front porch. While the plans and elevations speak for themselves, in order to “blend the new with the old” ownership is committing to removing the brick (piece by piece) on the East side (common wall) and utilize it on the front elevation so that the garage appears to have been built with the original structure. Driveway will be concrete.

Variance

The setback at the SE corner will be 7'-8" from the corner of structure, and 6'-1" at the eaves corner from the property line. The final improvement will reflect the best use of the land in an extremely difficult situation. In working with the two adjacent neighbors for the past year, they have verbalized their support for the project.

Ownership respectfully requests this variance application be granted based on the submitted information and testimony.

Chance K. Shea, Owner

Dale R. Shea, Contractor/Father



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material Red, Match existing

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish White

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☒ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☒ Other Wood base, Alm wrap
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other N/A

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles Asphalt base
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material Gray

Gutters and Downspouts

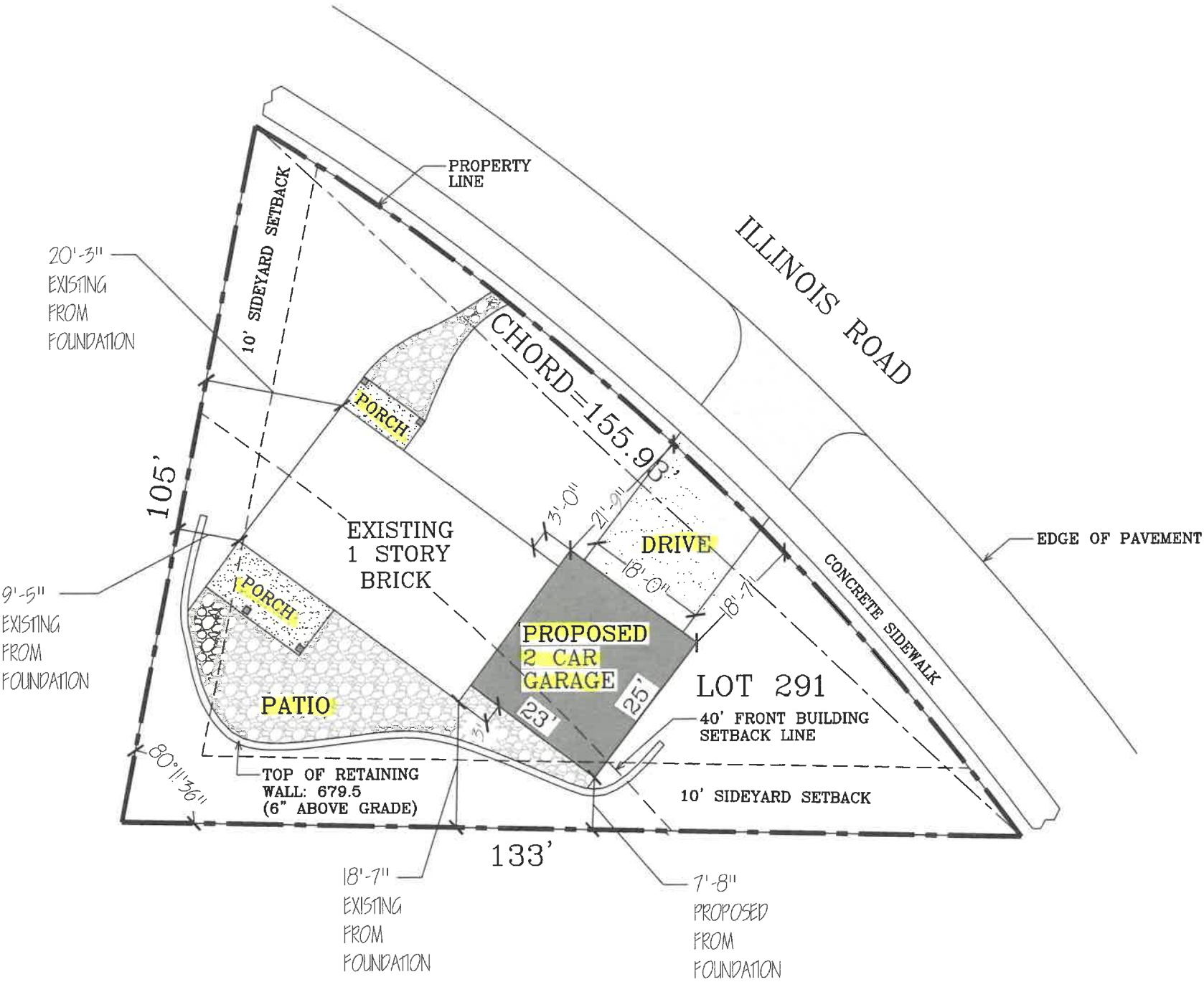
- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

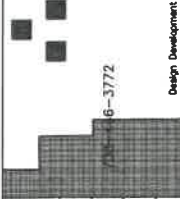
- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____



SITE PLAN
SCALE: 1" = 20'-0"

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URBINA
ARCHITECTS, INC.
Francisco J. Urbina, A.I.A.
President/Registered Architect
28983 W. Burbank Ln.
Ingleside, IL 60041
Phone 847-740-8750 Fax 847-740-8756



PROJECT: SHEA RESIDENSE
7113 ILLINOIS RD, LAKE FOREST, ILLINOIS
ARCHITECT: URBINA ARCHITECTS, INC.
CUSTOMER: URBINA ARCHITECTS, INC.
REPRESENTATIVE: URBINA ARCHITECTS, INC.

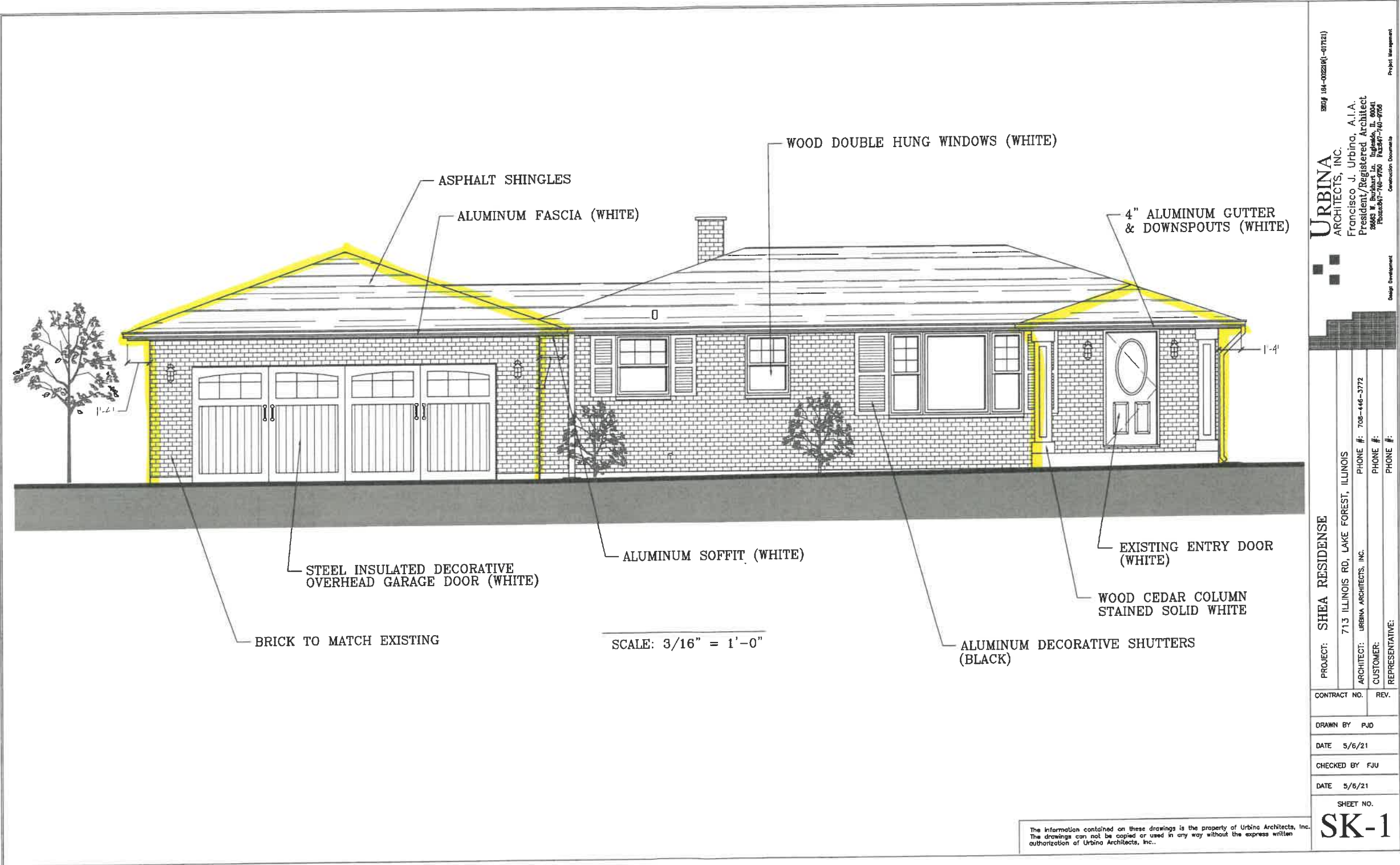
CONTRACT NO. REV.
DRAWN BY FJD
DATE 5/13/21
CHECKED BY FJU
DATE 5/13/21

SHEET NO.
SK-5

Project Management

Design Development

Construction Documents



URBINA
ARCHITECTS, INC.
Francisco J. Urbina, A.I.A.
President/Registered Architect
2883 N. Lincoln Ave., Suite 200
Chicago, IL 60641
Tel: 773-344-3772
Fax: 773-344-3773

2883 N. Lincoln Ave., Suite 200
Chicago, IL 60641
Tel: 773-344-3772
Fax: 773-344-3773

PROJECT: SHEA RESIDENCE

713 ILLINOIS RD, LAKE FOREST, ILLINOIS

ARCHITECT: URBINA ARCHITECTS, INC.

CUSTOMER: URBINA ARCHITECTS, INC.

REPRESENTATIVE: FRANCISCO J. URBINA

CONTRACT NO.

REV.

DRAWN BY: FJD

DATE: 5/6/21

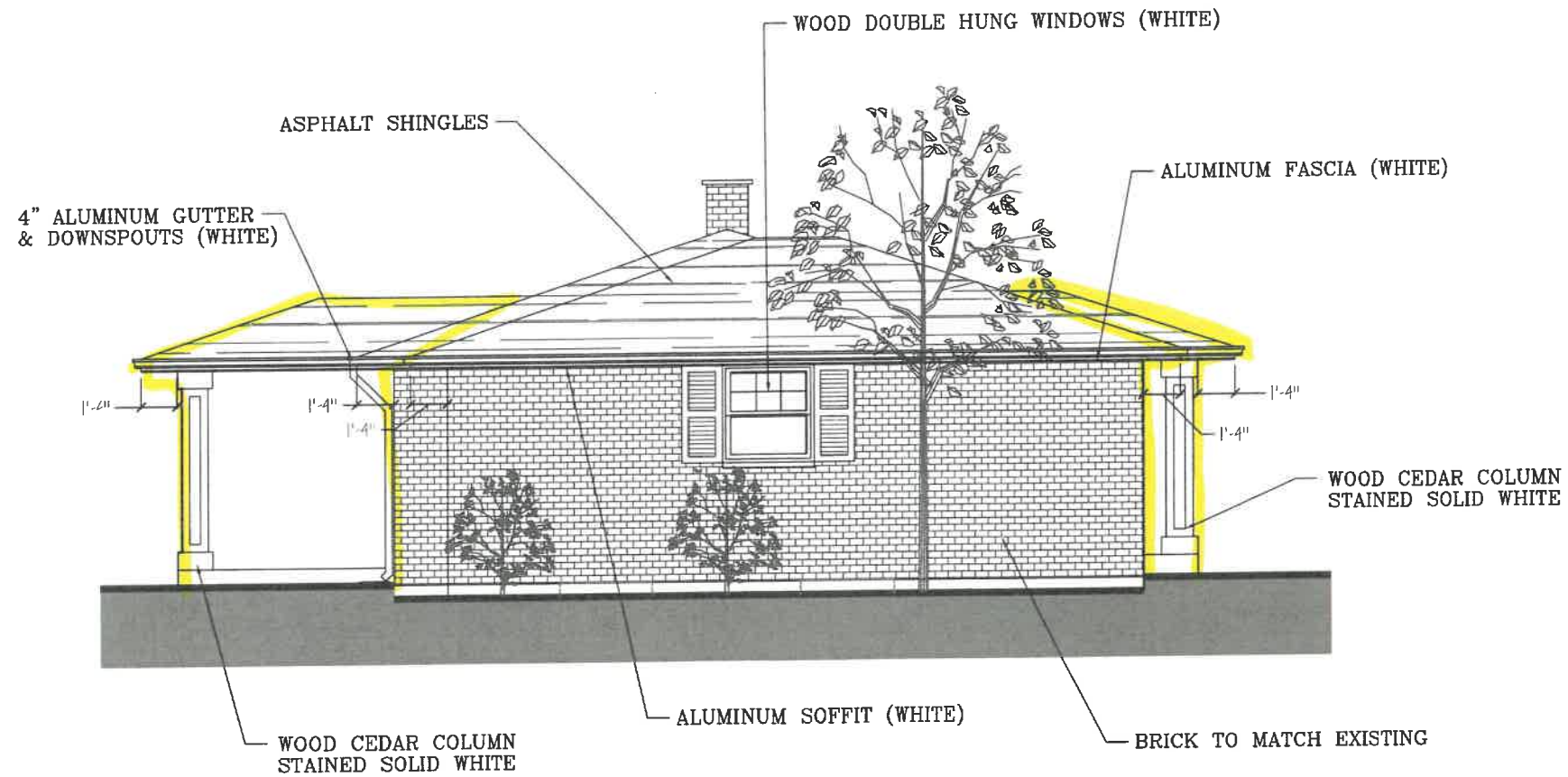
CHECKED BY: FJU

DATE: 5/6/21

SHEET NO.


SK-1

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SCALE: 3/16" = 1'-0"

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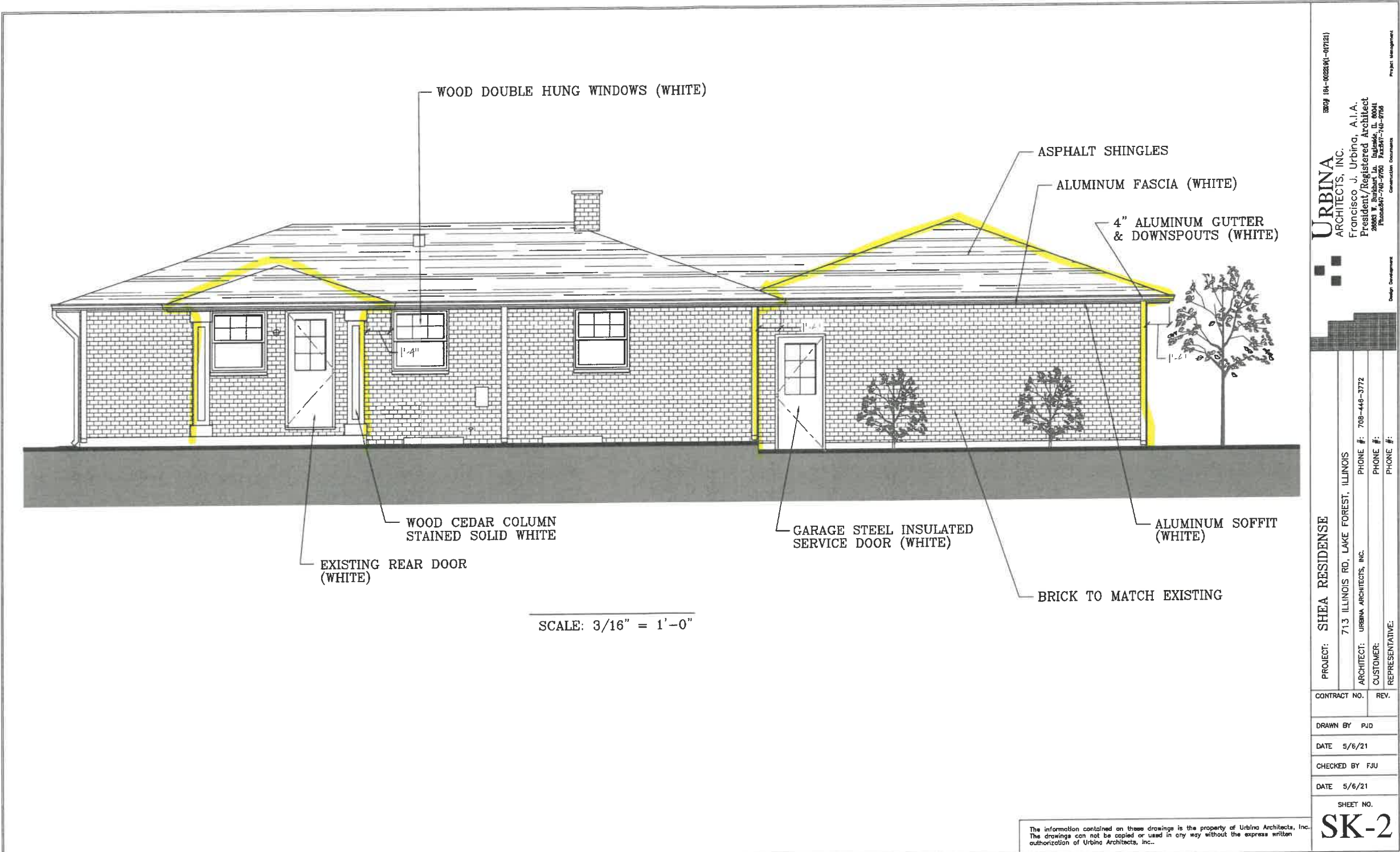


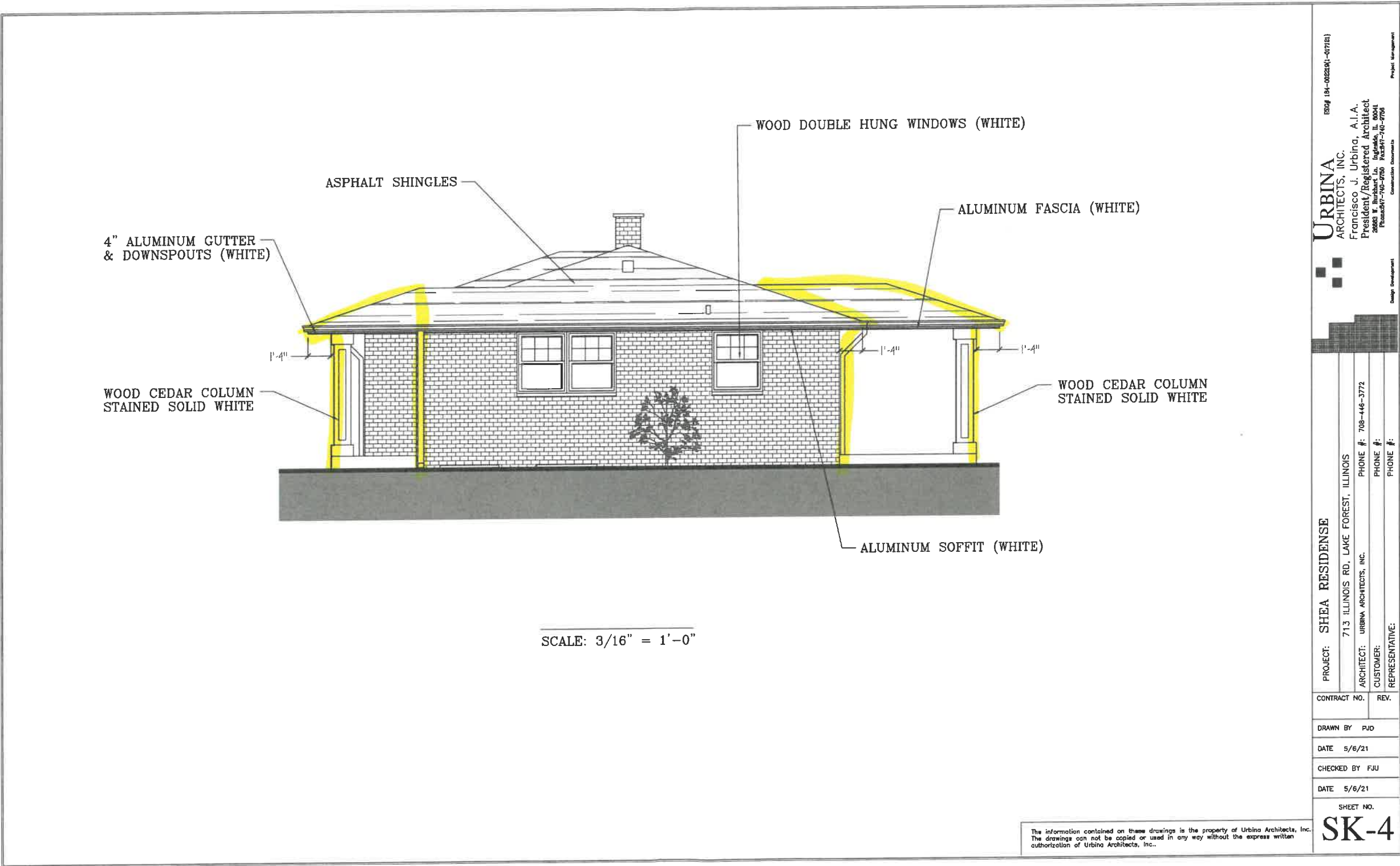
URBINA
ARCHITECTS, INC.
Francisco J. Urbina, A.I.A.
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2008 W. Burkland Ln. Suite 200
Naperville, IL 60563
Phone: 630-740-9700 Fax: 630-740-9700

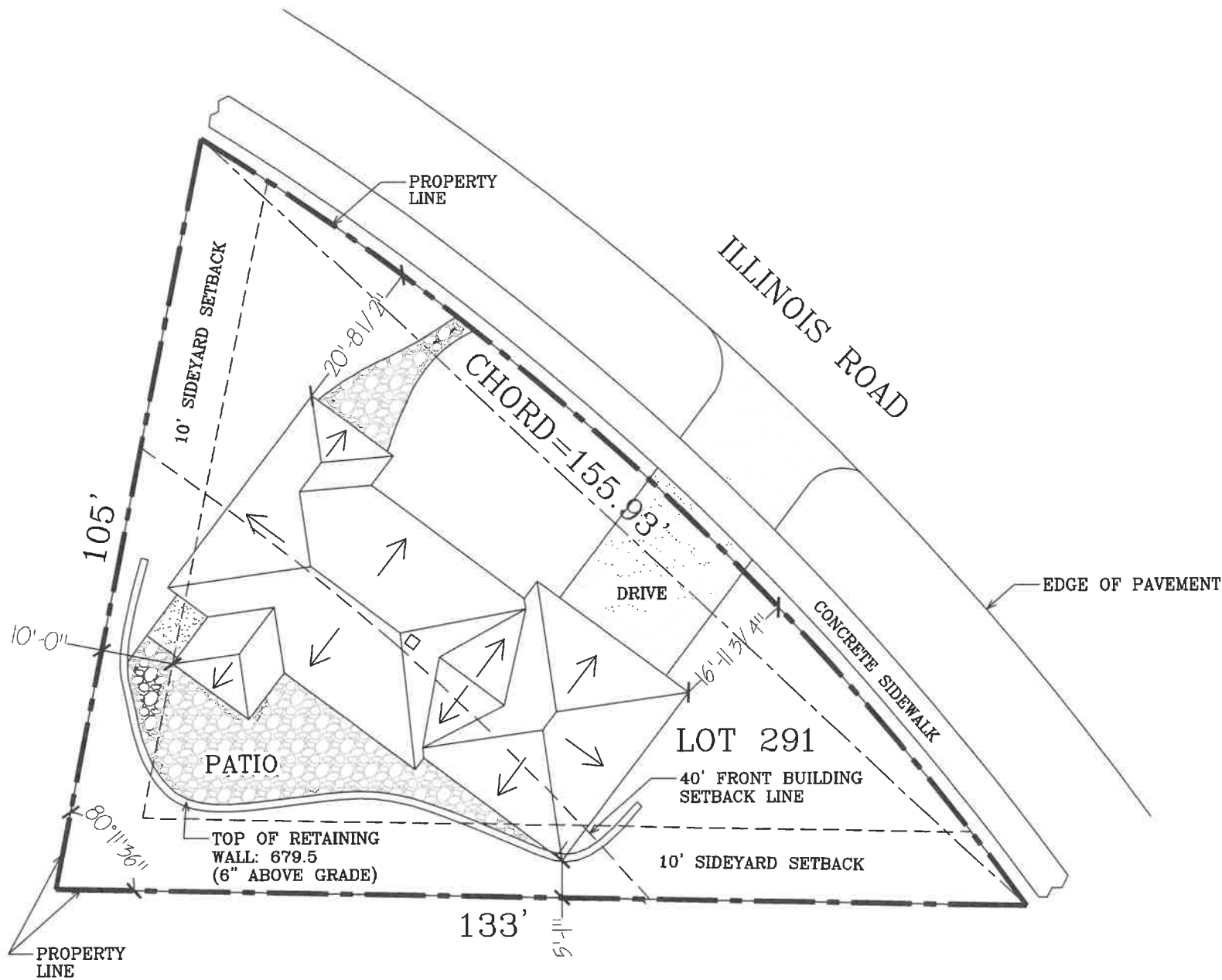
19049 184-00221041-017121

Project Management

PROJECT: SHEA RESIDENCE	
713 ILLINOIS RD, LAKE FOREST, ILLINOIS	
ARCHITECT: URBINA ARCHITECTS, INC.	PHONE #: 708-446-3772
CUSTOMER:	PHONE #:
REPRESENTATIVE:	PHONE #:
CONTRACT NO.	REV.
DRAWN BY PJD	
DATE 5/6/21	
CHECKED BY FJU	
DATE 5/6/21	
SHEET NO.	
SK-3	



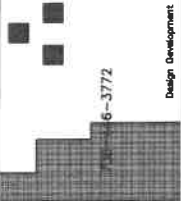




ROOF PLAN
SCALE: 1" = 20'-0"

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PROJECT: SHEA RESIDENSE
713 ILLINOIS RD, LAKE FOREST, ILLINOIS
ARCHITECT: URBINA ARCHITECTS, INC. PHONE #: 6-3772
CUSTOMER: REPRESENTATIVE: PHONE #: PHONE #:
REPRESENTATIVE: PHONE #:

CONTRACT NO. REV.

DRAWN BY PJD

DATE 5/13/21

CHECKED BY FJU

DATE 5/13/21

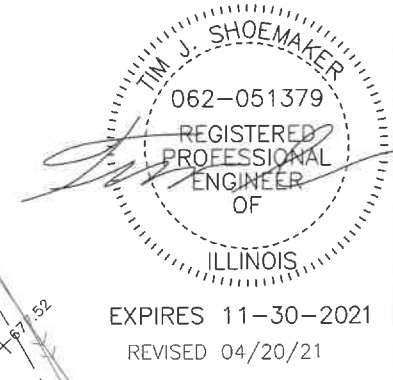
SHEET NO.

SK-6

Project Management

Construction Documents

Design Development



SCALE: 1" = 20'-0"

1. EXISTING CONDITIONS SHOWN FROM SURVEY PREPARED BY LAMBERT & ASSOCIATES. SEE THEIR PLAN FOR BENCHMARK, DATUM, AND ALL EXISTING CONDITIONS.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK.
3. CONTRACTOR SHALL NOTIFY MUNICIPALITY 48 HOURS PRIOR TO START OF ANY WORK.
4. CONTRACTOR SHALL CALL 811 AND OBTAIN ALL UTILITY LOCATES PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL COMPLY WITH STANDARD EROSION CONTROL REQUIREMENTS OF MUNICIPALITY AND SMC.
6. DISTURBED AREAS SHALL BE RESTORED AT A MINIMUM WITH 4" OF TOPSOIL AND SEED.

	EXIST	PROPOSED
ELEVATION	+679.46	678.90
CONTOUR		
FLOW DIRECTION		

PROJECT: SHEA RESIDENSE

CONTRACT NO.	REV.
DRAWN BY PJD	
DATE 2/27/21	
CHECKED BY FJM	
DATE 2/27/21	
SHEET NO.	

SHEET NO.
C-1

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Agenda Item 7
1133 Mount Vernon Avenue
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statements of Intent
Description of Exterior Materials
Staking Diagram
Proposed Site Plan
Proposed West Elevation
Proposed North Elevation
Proposed East Elevation
Proposed South Elevation
Proposed Roof Plan and Building Section
Color Renderings
Basement Floor Plan
First Floor Plan
Second Floor Plan
Preliminary Site Grading Plan and Tree Removal Plan
Tree Inventory
Preliminary Landscape Plan
Streetscape Images

1133 Mount Vernon Avenue

Consideration of a request for approval of construction of a single family residence and attached garage on a vacant lot. Approval of a conceptual landscape plan and overall site plan is also requested.

Property Owner: IBG Devco LLC (Charlie Murphy, 100%)

Project Representative: Paul Psenka, architect

Sean Burke, Icon Building Group

Staff Contact: Jen Baehr, Assistant Planner

Description of Property

This property is located on the east side of Mount Vernon Avenue, between Everett and Old Elm Roads. The surrounding established neighborhood contains modest size homes of varying architectural styles mostly built in the 1980s. The parcel that is the subject of this request totals 13,435 square feet and is rectangular in shape.

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and conceptual landscape plan is also requested. The petition was submitted by the builder on behalf of a potential buyer, the builder currently owns the property. The proposed residence is described as a Colonial Revival style home.

Statements of intent from the potential buyer and future resident, architect and builder, and other supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project. An evaluation of the project based on the applicable standards is offered below for the Board's consideration.

Review and Evaluation of Applicable Standards

Site Plan - This standard is met.

The residence is sited on the north side of the property in an effort to preserve the highest quality and healthiest trees on the south side of the site. The proposed residence and attached garage face west, toward the street. Although front facing garages are often discouraged, in this particular case, a front facing garage is not unusual for this neighborhood. Additionally, given the small site, a side load garage on this property would cause more trees to be impacted.

Based on information submitted by the petitioner, the amount of proposed impervious surface on the site totals 3,455 square feet, equal to 26% of the site. The building footprint totals 2,391 square feet and other paved surfaces including the driveway, stoops and walkways total 1,064 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,181 square feet is permitted on the site with an allowance of 576 square feet for a garage and 318 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The residence totals 3,165 square feet.
- The proposed garage totals 545 square feet, and is below the allowance of 576 square feet and therefore, does not contribute to the overall square footage of the home.
- In addition to the above square footage, a total of 331 square feet of design elements are incorporated into the design of the house. Because the total square footage of design elements exceeds the square footage allowed for design elements for this property the overage of 13 square feet must be added to the total square footage of the residence.
- In conclusion, the proposed residence totals 3,178 square feet, equal to .09 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as dimensioned on the elevations provided, from the lowest point of existing grade, is 28 feet and 3 inches. The maximum height allowed for a residence on this size lot is 30 feet as measured from the lowest point of existing grade to the tallest roof peak. Given that the house as proposed is close to the maximum allowable overall height, careful review of the grading and building plans, including a detailed section of the house documenting the lowest point of existing grade, will be required prior to the issuance of a building permit. An as-built drawing will be required at various points in the construction process, to assure that the house, upon completion, does not exceed the allowable height.

Elevations – This standard is generally met.

The proposed residence reflects a two story mass with gable roof forms. Design elements including an open porch on front façade and a screen porch at the southwest corner of the house are proposed. The elevations present a consistent level of detailing and a balanced and aligned fenestration pattern.

As noted above, the home is designed in the Colonial Revival style as noted in the petitioner's statement of intent. In an effort to more closely align with the chosen architectural style, enhancements to the architectural detailing are recommended. For example, the home as currently proposed reflects an open eave detail, traditionally Colonial Revival style homes have a more refined, classical boxed eave detail.

Type, color, and texture of materials – This standard is met.

The exterior of the home is primarily horizontal fiber cement siding, with stone along the base. Architectural asphalt shingle is proposed for the roof material. Aluminum clad wood windows with interior and exterior muntins are proposed. Trim, fascia boards, and soffits will be wood. Aluminum gutters and downspouts are proposed.

The proposed driveway is asphalt and the porch, stoops and walkway are concrete.

The proposed color palette includes dark blue siding, white trim, charcoal roof shingle, and black windows. The front door is red and the garage door will be white. The petitioner provided color renderings to reflect the proposed color palette. The color renderings are included in the Board's packet.

Landscaping - This standard can be met.

As currently proposed, a total of nineteen trees are proposed for removal. Seven of the trees proposed for removal are located within the footprint of the proposed residence and driveway, the twelve other trees proposed for removal are located in proximity to the area of work and they will be

impacted by construction. The trees proposed for removal consist of Red, White and Pin Oak trees. A single dead Ash tree and Buckthorn on the property will also be removed. Based on the species, size and condition of the trees proposed for removal, a total of 140 replacement inches will be required to be planted on site to the extent possible using good forestry practices. The total replacement inches required does not include replacement inches for low quality trees or trees in poor condition proposed for removal. A deduction in replacement inches is also provided recognizing that the lot is buildable and some trees must be removed to allow for development of the site.

The preliminary landscape plan reflects plantings around the foundation of the home and new shade, evergreen and ornamental trees. Proposed plantings on the property include Maple, Spruce, Crabapple and Redbud trees and a variety of shrubs including hydrangea, viburnum and boxwood. Additional on site planting of trees that will mature and provide a canopy is encouraged if possible given the limitations of the site. Considering the existing trees that will remain on the site and the small size of the property, it is unlikely that the required replacement inches can be fully planted on site and a payment in lieu of the remaining replacement inches that cannot be accommodated on site will be required before the issuance of a building permit. In addition to the required replacement inches, the Code establishes a minimum criteria for landscaping for new residential construction. As currently proposed, the minimum criteria for landscaping is satisfied.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendations

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. Enhancements to the architectural detailing shall be incorporated into the final plans in an effort to more closely align with the Colonial Revival architectural style.
2. All modifications to the plans including the refinements noted above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, the minimum landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry

practices. If the full amount of required replacement inches which totals 140 inches cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.

4. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1133 Mt. Vernon Avenue Owner(s) Icon Building Group
 Architect Paul Psenka, architect Reviewed by: Jen Baehr
 Date 6/2/2021
 Lot Area 13435 sq. ft.

Square Footage of New Residence:

1st floor 1482 + 2nd floor 1683 + 3rd floor 0 = 3165 sq. ft.

Design Element Allowance = 318

Total Actual Design Elements = 331 Excess = 13 sq. ft.

Garage 545 sf actual ; 576 Excess = 0 sq. ft.

Garage Width 23'-3" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3178 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3181 sq. ft.

DIFFERENTIAL = -3 sq. ft.
Under Maximum

Allowable Height: 30 ft. Actual Height 28'-3" ft.

NET RESULT:

3 sq. ft. is

0.09% under the
 Max. allowed

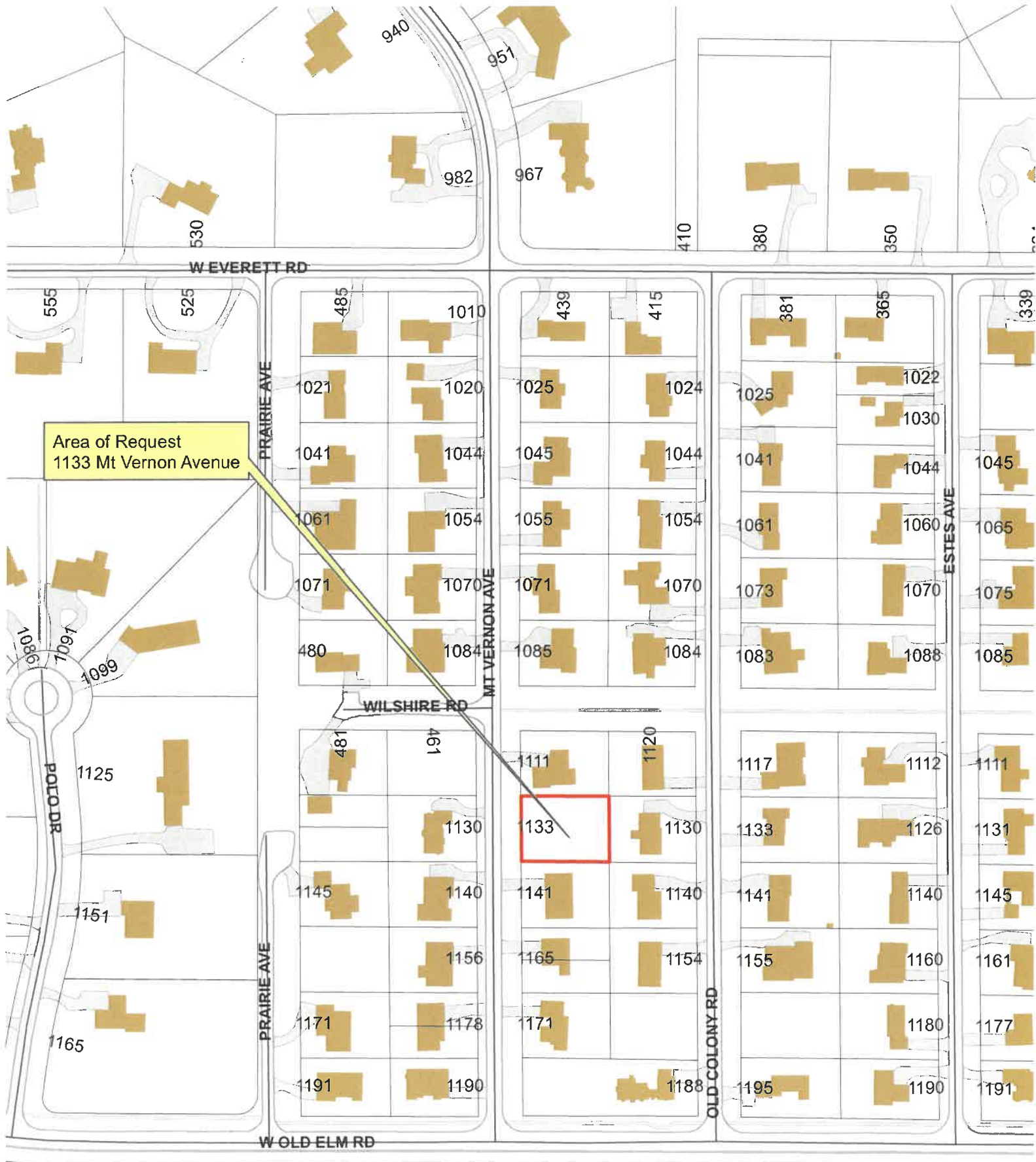
DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 318 sq. ft.

Front & Side Porches = 111 sq. ft.
 Rear & Side Screen Porches = 190 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 30 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 331 sq. ft.

Excess Design Elements = 13 sq. ft.



Area of Request
1133 Mt Vernon Avenue



Area of Request
1133 Mt Vernon Avenue





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1133 Mt Vernon Ave Lake Forest, IL

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

IBG Devco LLC

Owner of Property

2413 W Algonquin Rd Suite 247

Owner's Street Address (may be different from project address)

Algonquin, IL 60102

City, State and Zip Code

(815) 715-2536

Phone Number

Fax Number

Rachel.wallis@icon-group.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Sean Burke - VP of Operations

Name and Title of Person Presenting Project

Icon Building Group

Name of Firm

106 Roman Lane

Street Address

Hawthorn Woods, IL 60047

City, State and Zip Code

(847) 271-8203

Phone Number

Fax Number

Sean.burke@icon-group.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

*I will pick up a copy of the staff report at
the Community Development Department*

☒ OWNER

☒ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>Charlie Murphy</u>	Name _____
Address <u>2413 W Algonquin Rd Suite 247</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



04-15-21

Resident Letter

Name: Rodrigo Nufio Schaemaker & Jimena Villanueva de Nufio

Cell: (224) 321-0119

Email: rshaemaker@hotmail.com, mjimena.villanueva@gmail.com



To Whom It May Concern,

My husband, Rodrigo, and I currently reside in the city of Lake Forest and have been here for two and half years. From the beautiful greenery to the excellent schools, we have absolutely loved our time in Lake Forest and hope to remain here for years to come. Because of our two young children, schools and their quality of education are on the top of our priority list which continues to draw us to Lake Forest and is a strong reason for our desire to stay. Although we love our current home, we are looking to upsize in both the land and physical home in order to have a larger space for ourselves and our children. We came across the Lake Forest Heights neighborhood and found the opportunity to build there; it is the perfect neighborhood and one that we have always dreamt of, and we cannot imagine living anywhere else. We love the family-oriented environment, the proximity to parks and amenities, and the diversity in home styles throughout the neighborhood, as we plan to build a colonial revival style home.

We chose lot 11 because it is in an already established neighborhood, and we value the idea of moving into an environment with existing neighborhood friendships. We are very people-oriented, and we have always loved the idea of a well-connected community. Furthermore, the woodlands are a strong draw for our family to this particular area and Lake Forest as a whole. Our children spend much of their free time outside in the backyard or on the driveway playing various sports, so we love the options that lot 11 provides and feel it is an absolutely perfect fit. Building our home here would make our life-long dream become a reality.

We began working with Icon Building Group to collaborate in building the perfect home that both conforms to the neighborhood and reflects our unique family and style. As mentioned, we have a more colonial design taste and have always wanted our home to feature Hardie siding and a spacious screen porch. Hardie siding is highly durable, has incredible curb appeal, is low maintenance, and has endless customizable options, so we are excited to see this come to fruition. A screen porch was incredibly important to us, with the amount of time our family spends outdoors, having this area has been high on our checklist for years, and we cannot wait for the endless family nights that will take place in this space. As important as aesthetics are to us, we also want to ensure that we create a functional, timeless home that will allow us to raise our children and make memories for years to come. Because of the wide range of exterior styles featured throughout the neighborhood, with the help of Icon Building Group, we are certain that our home will fit right in immediately.

We want to thank the Lake Forest Review Board for the review of this proposed home and are hopeful for your approval of our request to build our dream home.

Sincerely,  



1133 S. MT. VERNON AVENUE
STATEMENT OF INTENT

City of Lake Forest Building Review Board,

Psenka Architects at this time is proposing the following concept for a new residence located at 1133 S. Mt. Vernon Avenue we have outlined some of the important design concerns as follows.

- Selected an appropriate style for the location:
 - Use of a Colonial Revival style home to be respectful of the housing stock in the area
 - Similar in size and massing
 - Designed to blend in with existing environment.
- Site house according to the existing environment :
 - Locate at distance from the street similar to adjacent homes
 - Located footprint to minimize disturbance to existing vegetation.
 - Relate inside of home to exterior spaces.
- Proper use of materials:
 - Select materials similar to homes in the area
 - Hardie siding, Screen Porch, Architectural Asphalt roofing, Stone
- Building detailing
 - Use of historical detailing to maintain character of home
 - Exposed roof rafter tails
 - Window sill and apron detail
 - Window head detail
- Relationship of home to streets:
 - Place home in relationship to streetscape to maintain existing pattern.

In conclusion we believe that we have designed a home that will blend harmoniously with its existing environment, and add to the existing charm and feel of the neighborhood.



04-15-2021

To Whom it May Concern,

Builder Developer

Icon Development LLC is submitting to the Building Review Board of Lake Forest to request approval for their proposed single-family home in Lake Forest Heights.

Architectural Theme

Although our original design consisted of a shaker style, we have since rerouted to a more colonial revival design with a much more simplistic exterior elevation. Although Lake Forest Heights is comprised of various home styles, we believe that a more colonial revival style exterior will be a better fit into the existing community. With heavy consideration of the initial revisions made by the Village of Lake Forest, we have since incorporated a multitude of these recommendations in our new exterior elevation design.

Design Elements

We are presenting a colonial revival style home, a style of which is abundant in the Lake Forest Heights neighborhood. From simplifying the siding materials to achieve a more basic aesthetic to introducing a more consistent window pattern, this new design is sure to satisfy the requirements for the Lake Forest Heights community. The materials and aesthetics are of high quality and fit in with the existing homes while still offering a unique, new design. Due to the fact that the Lake Forest Heights community consists of relatively clean-lined, architecturally simplistic layouts, we believe the new elevation will enhance and complement the surrounding homes.

Based off discussions with staff and our client's inspiration, we have incorporated key elements into the architectural design, all of which focus on the design to reflect the colonial revival style. We have centered the windows on the gable and exterior walls, altered the roof line to be more simplistic in nature, and kept similar roof pitches to achieve a more simplistic design. Window forms were designed to reflect a more consistent, pleasing pattern. This is also echoed in the exterior materials; utilizing siding allows for a less busy appearance. From the accentuated front door and adjacent rectangular windows to the façade, the colonial revival nature of this home is sure to enhance the aesthetical appeal of the community.

Sincerely,

A handwritten signature in blue ink, appearing to be "AR", with a long horizontal flourish extending to the right.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other <u>5" Exposure James Hardie Lap Siding</u> |

Color of Material Deep Ocean

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish Black

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars with Spacer Bar
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other N/A

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☐ Sheet Metal
- ☒ Other Architectural Asphalt Shingles

Flashing Material

- ☐ Copper
- ☐ Sheet Metal
- ☐ Other

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

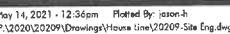
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____

Project Manager: M L A
Engineer: M L A
Date: 05.14.2021
Project No. 20-209
Sheet 1



[illegible]

HITECHS Inc.
DESIGN • CONSTRUCTION • BUILD
SUITE 4 HAWTHORN WOODS, IL 60047
TELEPHONE 647-736-4700

JOB NO.	
DRAWN BY:	PAP
CHECKED BY:	PAP
APPROVED BY:	PAP

ELEVATIONS

A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE (LOT 11)
LAKE FOREST, ILLINOIS
DESIGNED FOR
ICON BUILDING GROUP

SHEET NO.

P-1

A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE
LAKE FOREST, ILLINOIS,
PREPARED FOR
ICON BUILDING GROUP



ELEVATIONS A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS PREPARED FOR ICON BUILDING GROUP	JOB NO.	 PSENKA ARCHITECTS Inc. ARCHITECTURE • PLANNING • DESIGN • BUILD 40 LANSFORD PARKWAY, SUITE 4 HAWTHORN WOODS, IL 60067 PH: 847.947.9470 TEL: 847.947.9470		COPYRIGHT THESE DOCUMENTS PREPARED BY THE FIRM ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS. SINCE SOME PROJECTS MAY INVOLVE OTHER FIRM ARCHITECTS, THE ARCHITECTS SHALL BE RESPONSIBLE FOR THE WORK OF ALL ARCHITECTS INVOLVED. INDICATE THE © ____ 2017 PSENKA ARCHITECTS	DATE	REMARKS
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	APPROVED BY: PAP					

A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE
LAKE FOREST, ILLINOIS
PREPARED FOR
ICON BUILDING GROUP



REAR ELEVATION

ELEVATIONS		JOB NO.		ISSUE DATES:	
A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS PREPARED FOR ICON BUILDING GROUP	PAP	DRAWN BY:	PAP	DATE	REMARKS
	PAP	CHECKED BY:	PAP	5-12-21	PRELIM ELEC.
	PAP	APPROVED BY:	PAP		
SHEET NO.		P-1			
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A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE
LAKE FOREST, ILLINOIS
PREPARED FOR
ICON BUILDING GROUP

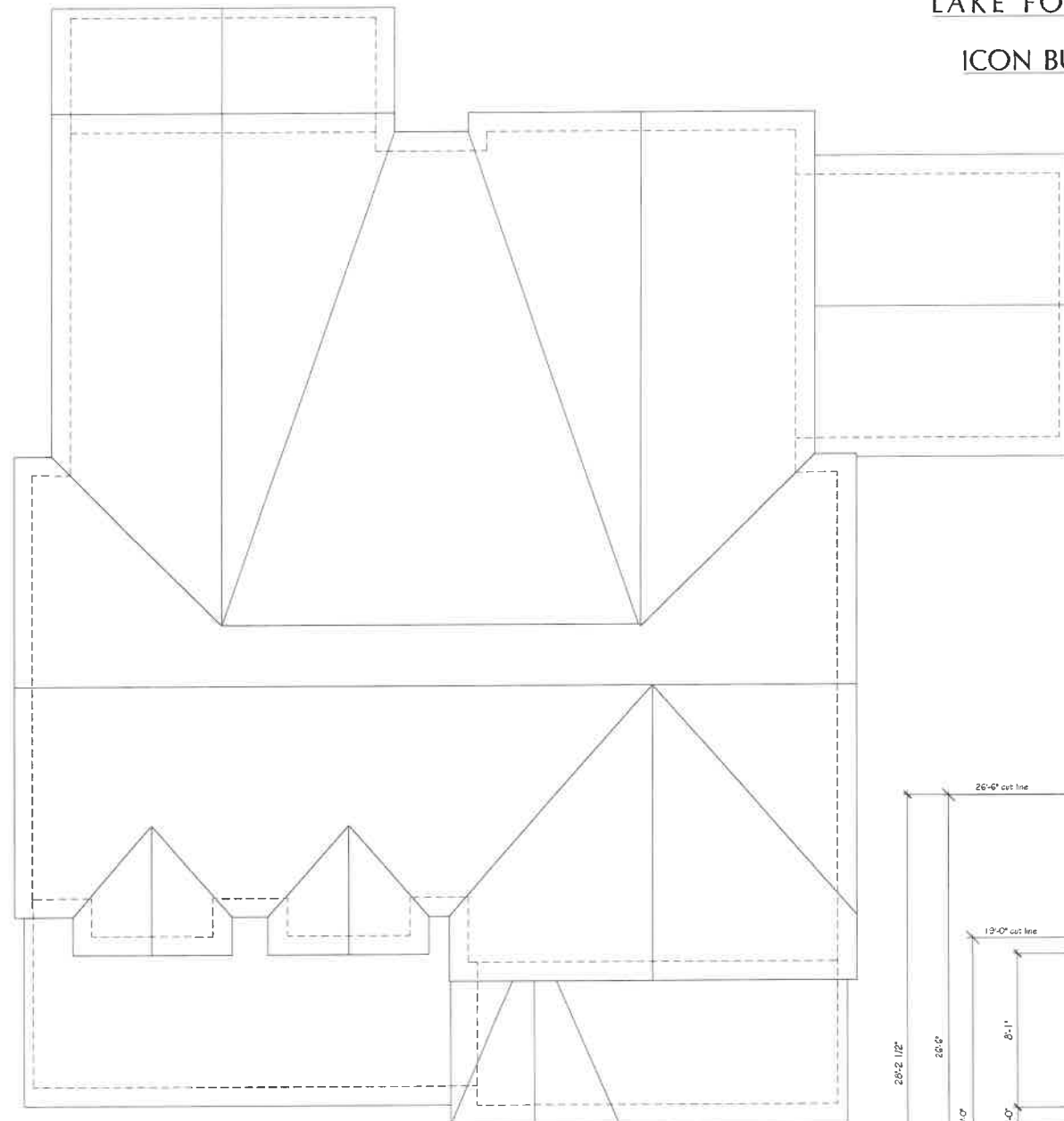


LOWEST ADJACENT GRADE LINE

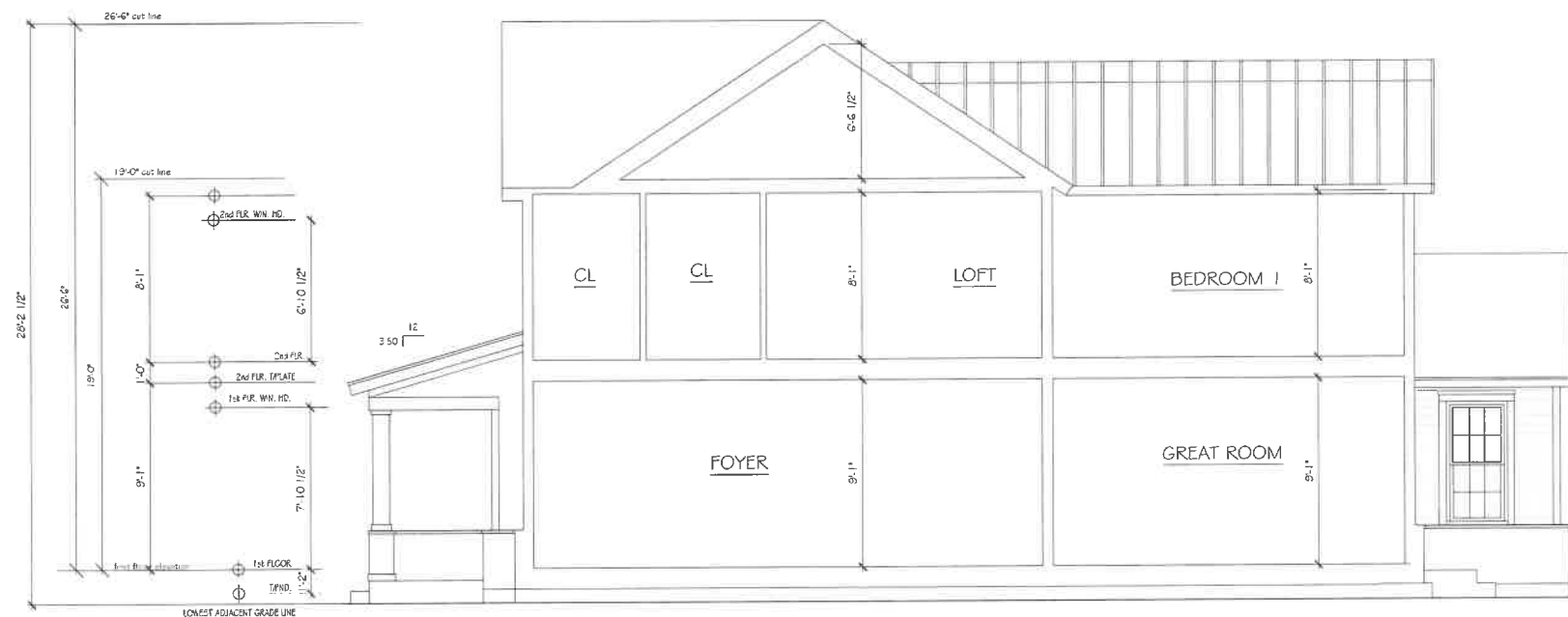
RIGHT SIDE ELEVATION

ELEVATIONS		JOB NO.		COPYRIGHT		ISSUE DATES:					
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		APPROVED BY:		PAP							
SHEET NO.											
P-1											

A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE (LOT 11)
LAKE FOREST, ILLINOIS,
PREPARED FOR
ICON BUILDING GROUP



ROOF **PLAN**

$$1/4'' = 1'-0''$$


BUILDING SECTION THRU FOYER

$$1/4'' = 1'-0''$$

SHEET NO. P-1	ROOF PLAN AND SECTION A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS PREPARED FOR ICON BUILDING GROUP	JOB NO.		 PSENKA ARCHITECTS Inc. ARCHITECTURE • PLANNING • DESIGN • BUILD 40 LINDBERG PARKWAY, SUITE 4 • HANTON WOODS, IL 60047 FAX 847/564-0701 TELEPHONE 847/564-0008	COPYRIGHT THESE DOCUMENTS WERE PREPARED BY THE FIRM OF PSENKA ARCHITECTS INC. IN THE MONTH OF JULY, 2017. NO PART OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PSENKA ARCHITECTS INC. © 2017 PSENKA ARCHITECTS	REMARKS DATE 5-12-21 PREPARED BY:
		DRAWN BY:	PAF			
		CHECKED BY:	PAF			
		APPROVED BY:	PAF			

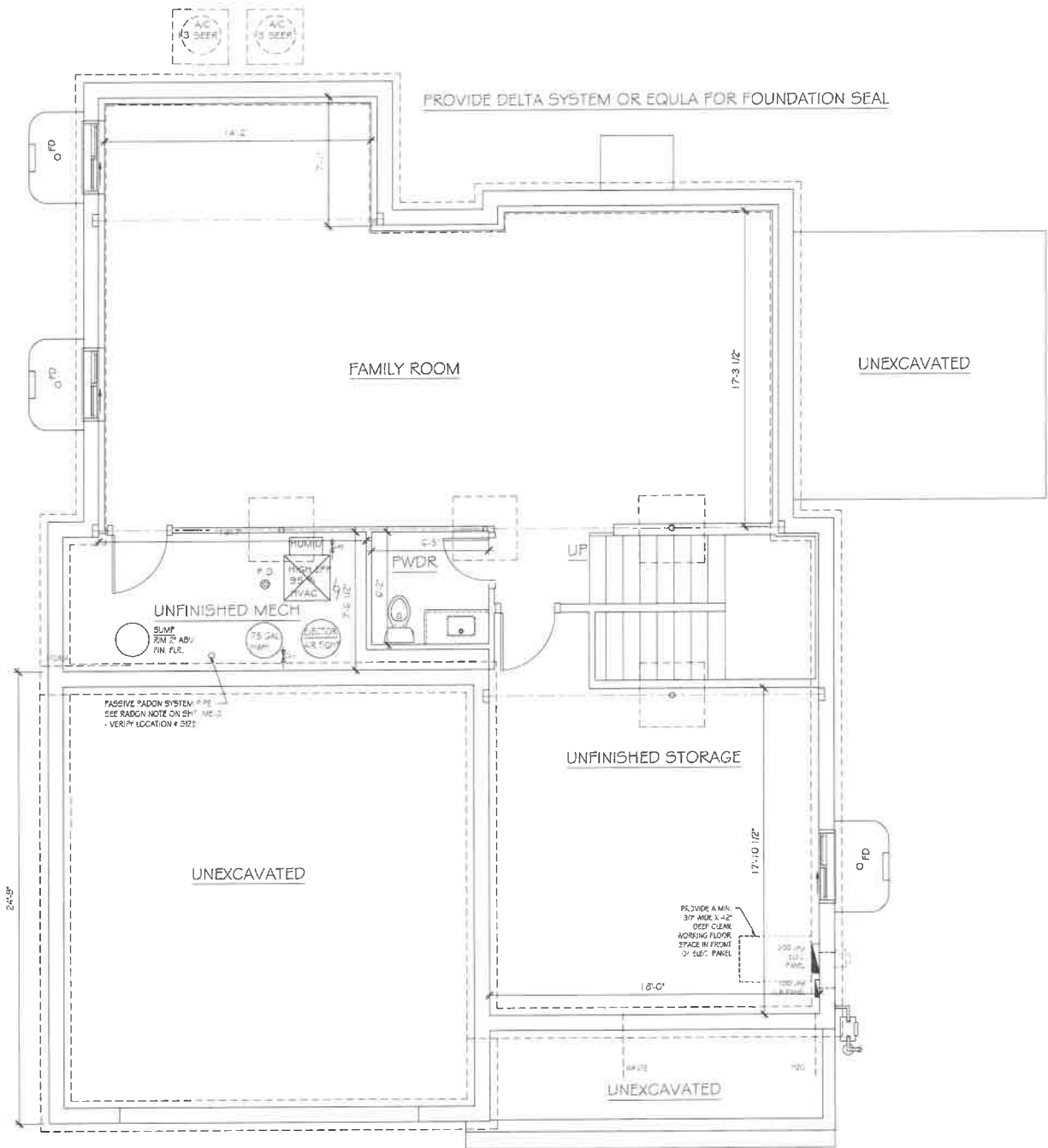








A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE (LOT 11)
LAKE FOREST, ILLINOIS,
PREPARED FOR
ICON BUILDING GROUP

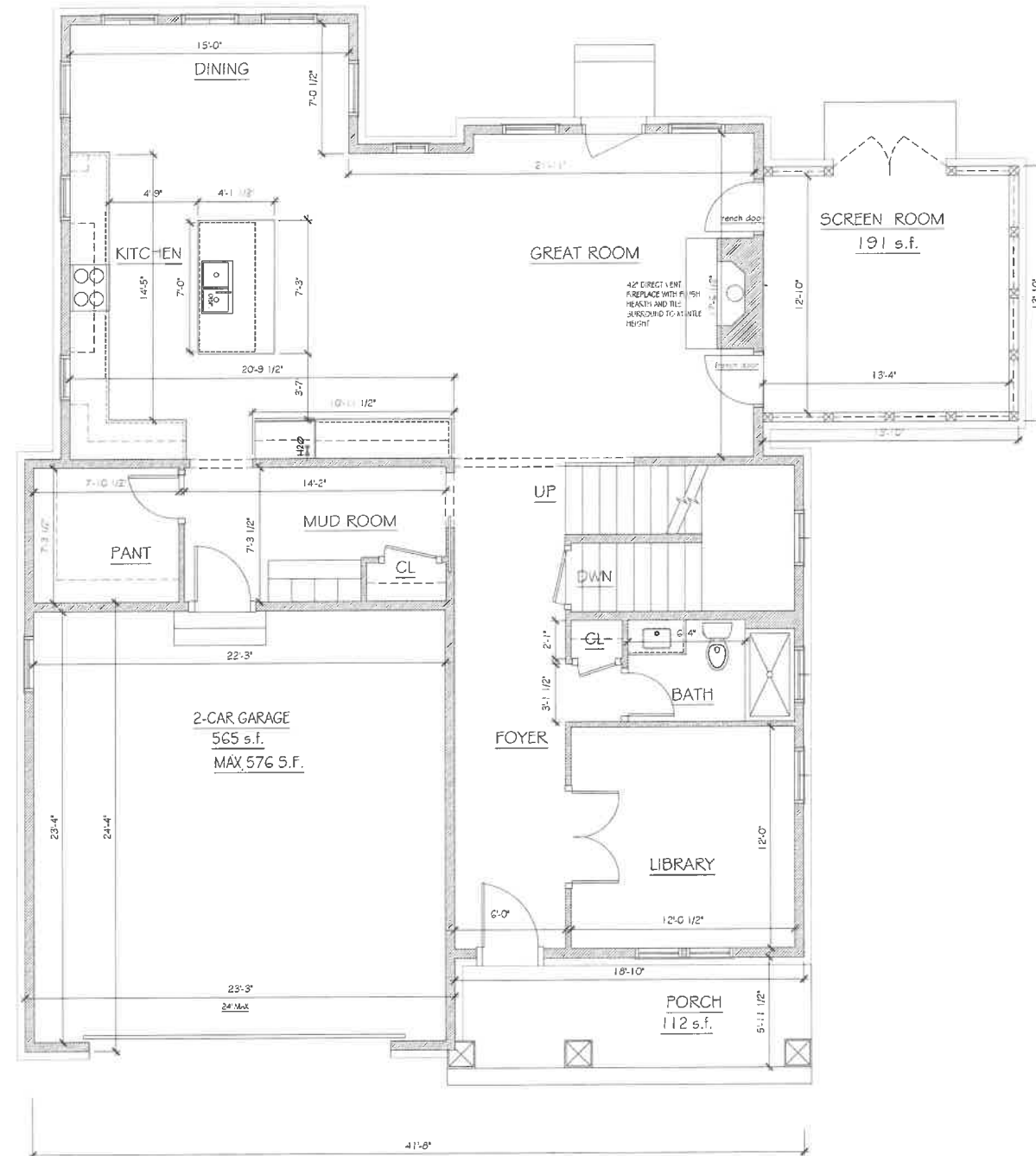


BASEMENT PLAN

1/4" = 1'-0" 790 S.F. FINISHED
ALL UTILITIES TO BE VERIFIED

PLANS	JOB NO.	ISSUE DATES	REMARKS
A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS, PREPARED FOR ICON BUILDING GROUP	PAP	5/12/21	PRELIM ELEC.
PSENIKA ARCHITECTS, Inc. ARCHITECTURE - PLANNING - DESIGN - BUILD 40 LINDOZE PARKWAY, SUITE 4 HAWTHORN WOODS, IL 60047 TEL 847564201 FAX 847564201	PAP		
SHEET NO.	P-1		

A CUSTOM HOME FOR
1133 S. MT. VERNON AVENUE (LOT 11)
LAKE FOREST, ILLINOIS,
PREPARED FOR
ICON BUILDING GROUP



1/4" = 1'-0" 1,466 S.F. FIRST FLOOR NOT INCLUDING GARAGE

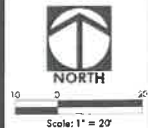
P-1	SHEET NO.	PLANS		<p>A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS</p> <p>PREPARED BY: ICON BUILDING GROUP</p>	 <p>PSENKA ARCHITECTS Inc. ARCHITECTURE • PLANNING • DESIGN • BUILD 40 LANDOVSE PARKWAY, SUITE 4 • HAWTHORN WOODS, IL 60067 FAX 647-564-4901 TELEPHONE 647-564-0000</p>	<p>THIS DOCUMENT IS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PSENKA ARCHITECTS INC.</p>	<p>© 2012 PSENKA ARCHITECTS</p>	ISSUE DATES:	
		DATE	REVISIONS						
								5-12-21	PRELIM. Dwg.

SECOND FLOOR PLAN



PLANS	JOB NO.	DRAWN BY: PJP	CHECKED BY: PJP	APPROVED BY: PJP	 PSENKA ARCHITECTS Inc. ARCHITECTS • PLANNERS • DESIGN-BUILD 40 LANGDON PARKWAY, SUITE 4 HAWTHORN WOODS, IL 60047 TEL: 847.348.4011 FAX: 847.348.4011		COPYRIGHT THE DRAWINGS, SPECIFICATIONS AND ANY PARTS THEREOF ARE THE PROPERTY OF PSENKA ARCHITECTS INC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PSENKA ARCHITECTS INC.	ISSUE DATES: DATE: 5-12-21 REVISIONS: REVISION NO. 1 REVISION DATE 5-12-21 REVISION DESCRIPTION	REMARKS: PRELIM ELEC.
A CUSTOM HOME FOR 1133 S. MT. VERNON AVENUE (LOT 11) LAKE FOREST, ILLINOIS PROJECT NO. ICON BUILDING GROUP									
SHEET NO. P-1									

PRELIMINARY GRADING PLAN & TREE REMOVAL PLAN

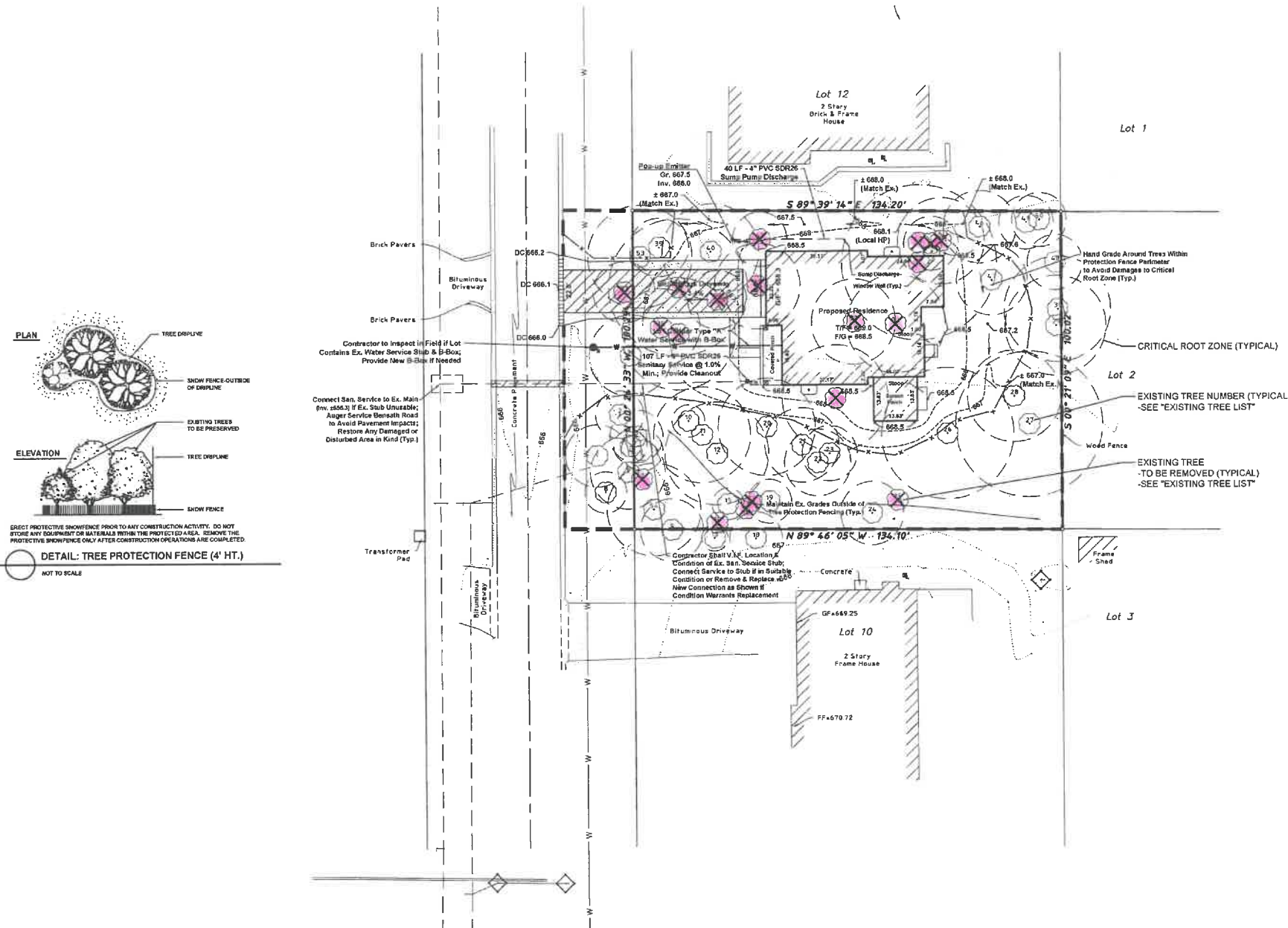


EXISTING TREE LIST:

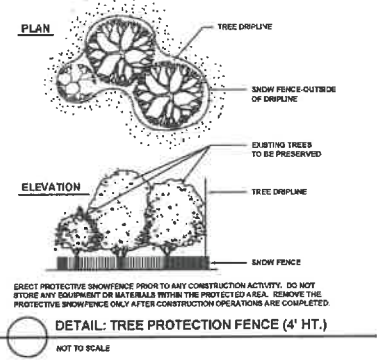
TREE #	COMMON NAME	BOTANICAL NAME	SIZE (CAL.)	CONDITION	PRES. METHOD	MITIGATION	COMMENTS
11	BLACK WALNUT	JUGLANS NIGRA	9.8	GOOD		DW	
2	BLACK WALNUT	JUGLANS NIGRA	7.5	GOOD		DW	
3	WHITE OAK	QUERCUS ALBA	8.1	GOOD		DW	
4	NORTHERN RED OAK	QUERCUS RUBRA	5.2	GOOD		DW	
5	WHITE OAK	QUERCUS ALBA	6.5	GOOD		DW	
6	WHITE OAK	QUERCUS ALBA	11.6	FAIR		DW	
7	NORTHERN RED OAK	QUERCUS RUBRA	4.5	DEAD	REMOVE		FWL 4.0, 2.5
8	EUROPEAN BUCKTHORN	FRAXINUS CATHARTICA	5.5	GOOD		DW	
9	WHITE OAK	QUERCUS ALBA	9.8	GOOD		DW	
10	WHITE OAK	QUERCUS ALBA	5.1	FAIR		DW	
11	WHITE OAK	QUERCUS ALBA	15.1	FAIR		DW	
12	WHITE OAK	QUERCUS ALBA	15.2	FAIR		DW	
13	WHITE OAK	QUERCUS ALBA	4.1	GOOD		DW	
14	WHITE OAK	QUERCUS ALBA	4.8	POOR	REMOVE		DW, DECAY FUNGI
15	WHITE OAK	QUERCUS ALBA	5.0	FAIR		DW	DW, LEANING
16	EUROPEAN BUCKTHORN	FRAXINUS CATHARTICA	5.5	POOR	REMOVE		DW, MS. 1.5, 1.2
17	EUROPEAN BUCKTHORN	FRAXINUS CATHARTICA	6.4	POOR	REMOVE		DW, MS. 3.2, 1.8, 1.4
18	WHITE OAK	QUERCUS ALBA	8.3	FAIR		DW	
19	WHITE OAK	QUERCUS ALBA	6.9	FAIR		DW	
20	WHITE OAK	QUERCUS ALBA	15.3	FAIR		DW	
21	WHITE OAK	QUERCUS ALBA	11.7	GOOD		DW	
22	WHITE OAK	QUERCUS ALBA	10.5	GOOD		DW	
23	WHITE OAK	QUERCUS ALBA	8.7	FAIR		DW	
24	WHITE OAK	QUERCUS ALBA	10.0	GOOD		DW	
25	GREENASH	FRAXINUS PENNSYLVANICA	20.8	DEAD	REMOVE		EAB, MS. 11.5, 8.9
26	WHITE OAK	QUERCUS ALBA	20.7	FAIR		DW	
27	WHITE OAK	QUERCUS ALBA	22.9	FAIR		DW	
28	WHITE OAK	QUERCUS ALBA	14.4	FAIR		DW	
29	PIN OAK	QUERCUS PAULSTRIS	15.7	GOOD		DW	
30	PIN OAK	QUERCUS PAULSTRIS	16.6	GOOD		DW	
31	PIN OAK	QUERCUS PAULSTRIS	15.5	GOOD	REMOVE	31	DW - CONSTRUCTION CONFLICT
32	WHITE OAK	QUERCUS ALBA	15.4	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
33	WHITE OAK	QUERCUS ALBA	15.5	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
34	PIN OAK	QUERCUS PAULSTRIS	17.6	FAIR	REMOVE	35	DW - CONSTRUCTION CONFLICT
35	PIN OAK	QUERCUS PAULSTRIS	12.2	FAIR	REMOVE	24	DW - CONSTRUCTION CONFLICT
36	WHITE OAK	QUERCUS ALBA	11.8	FAIR		DW	
37	PIN OAK	QUERCUS PAULSTRIS	16.6	GOOD	REMOVE	15	DW - CONSTRUCTION CONFLICT
38	WHITE OAK	QUERCUS ALBA	21.6	FAIR	REMOVE	43	DW, MS. 11.5, 10.1 - CONSTRUCTION CONFLICT
39	AMERICAN ELM	ULMUS AMERICANA	9.2	FAIR		18	DW
40	WHITE OAK	QUERCUS ALBA	15.1	FAIR		DW	
41	WHITE OAK	QUERCUS ALBA	11.6	FAIR	REMOVE	17	DW - CONSTRUCTION CONFLICT
42	BLACK CHERRY	PRUNUS SEROTINA	8.1	DEAD	REMOVE		LEANING AND BROKEN
43	WHITE OAK	QUERCUS ALBA	24.4	FAIR	REMOVE	49	DW, CO-DOMINANTS, INCLUDED BARK, MS. 11.5, 12.9
44	WHITE OAK	QUERCUS ALBA	8.5	FAIR	REMOVE	37	DW - CONSTRUCTION CONFLICT
45	WHITE OAK	QUERCUS ALBA	15.8	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
46	WHITE OAK	QUERCUS ALBA	11.4	FAIR		DW	
47	WHITE OAK	QUERCUS ALBA	11.0	FAIR		DW	
48	PIN OAK	QUERCUS PAULSTRIS	8.7	FAIR		DW	CO-DOMINANTS
49	WHITE OAK	QUERCUS ALBA	8.4	FAIR		DW	
50	WHITE OAK	QUERCUS ALBA	8.5	FAIR		DW	
51	WHITE OAK	QUERCUS ALBA	16.8	FAIR	REMOVE	34	DW - CONSTRUCTION CONFLICT
52	WHITE OAK	QUERCUS ALBA	9.2	FAIR	REMOVE	18	DW - CONSTRUCTION CONFLICT
53	WHITE OAK	QUERCUS ALBA	16.2	GOOD		DW	
54	WHITE OAK	QUERCUS ALBA	14.6	GOOD		DW	
				TOTAL MITIGATION (INCHES)		387	
				TOTAL MITIGATION TREES (# 2" CALIF.)		129	

TREE PRESERVATION PLAN NOTES:

- ALL GRADING AND CONSTRUCTION EQUIPMENT SHALL BE FORBIDDEN FROM ENCROACHING WITHIN THE ROOT ZONE OF A TREE TO BE PRESERVED. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO BE PRESERVED.
- CRUSHED LIMESTONE HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY EFFECT THE HEALTH OF THE TREE.
- APPROPRIATE FENCING (SEE DETAIL) SHALL TEMPORARILY BE INSTALLED AT THE PERIPHERY OF THE ROOT ZONE OF TREE(S) AND PLANT MATERIAL DESIGNATED FOR PRESERVATION, AS INDICATED ON THE PLAN. IN AREAS OF WHERE PLANTINGS ARE ADJACENT TO EX. CURBING THAT IS TO REMAIN, INSTALL FENCING AS CLOSE TO BACK OF CURB AS POSSIBLE.
- ALL REQUIRED FENCING SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITY. THE FENCING SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD. ALL FENCING MUST BE SECURED TO UL. HARDWOOD POSTS DRIVEN INTO THE GROUND AND SPACED NO FURTHER THAN 7' APART, OR CLOSER AS NECESSARY. NOTE: IF SILT FENCE IS NOT LOCATED AT PROPERTY LINE, EXTEND FENCING OFF SITE TO ADJACENT CURB IN ORDER TO PROTECT ALL LANDSCAPE AREAS BELOW THE TREE'S CRITICAL ROOT ZONE.
- NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN APPROVED MATERIALS FOR BRACING, GUYING OR WRAPPING SHALL BE ATTACHED TO ANY VEGETATION DURING THE CONSTRUCTION PERIOD.
- DURING CONSTRUCTION, ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGE OF TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED) SHALL BE TAKEN.
- NO SOIL IS TO BE REMOVED FROM WITHIN THE ROOT ZONE OF ANY TREE THAT IS TO REMAIN.
- TREE PROTECTION FENCE TO BE EXTRUDED POLYETHYLENE. COLOR TO BE BRIGHT SAFETY ORANGE.



PROPOSED CONDITIONS



811.
Know what's below.
Call before you dig.
Note:
Call 811 at least 48 hours, excluding weekends and holidays, before you dig.



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TREE SURVEY / PRESERVATION PLAN
SCHEAMAKER RESIDENCE
1133 MOUNT VERNON AVE.
LAKE FOREST, IL
ICON BUILDING GROUP

Project Manager: M L A
Engineer: K P N
Date: 01/11/2021
Project No.: 20-209
Sheet: L1.0/1

TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL

EXISTING TREE LIST:

TREE #	COMMON NAME	BOTANICAL NAME	SIZE (CAL.)	CONDITION	PRES. METHOD	MITIGATION	COMMENTS
T1	BLACK WALNUT	JUGLANS NIGRA	9.8	GOOD			DW
2	BLACK WALNUT	JUGLANS NIGRA	7.5	GOOD			DW
3	WHITE OAK	QUERCUS ALBA	8.3	GOOD			DW
4	NORTHERN RED OAK	QUERCUS RUBRA	5.2	GOOD			DW
5	WHITE OAK	QUERCUS ALBA	6.5	GOOD			
6	WHITE OAK	QUERCUS ALBA	11.6	FAIR			DW
7	NORTHERN RED OAK	QUERCUS RUBRA	4.5	DEAD	REMOVE	-	DW
8	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	6.5	DEAD		-	MS, 4.0, 2.5
9	WHITE OAK	QUERCUS ALBA	9.8	GOOD			DW
10	WHITE OAK	QUERCUS ALBA	5.1	FAIR			DW
11	WHITE OAK	QUERCUS ALBA	15.1	FAIR			DW
12	WHITE OAK	QUERCUS ALBA	16.2	FAIR			DW
13	WHITE OAK	QUERCUS ALBA	4.1	GOOD			DW
14	WHITE OAK	QUERCUS ALBA	4.9	POOR	REMOVE		DW, DECAY FUNGI
15	WHITE OAK	QUERCUS ALBA	5.0	FAIR			DW, LEANING
16	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	5.5	POOR	REMOVE	-	DW, MS, 4.3, 1.2
17	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	6.4	POOR	REMOVE	-	DW, MS, 3.2, 1.8, 1.4
18	WHITE OAK	QUERCUS ALBA	8.3	FAIR			DW
19	WHITE OAK	QUERCUS ALBA	6.9	FAIR			DW
20	WHITE OAK	QUERCUS ALBA	15.3	FAIR			DW
21	WHITE OAK	QUERCUS ALBA	11.7	GOOD			DW
22	WHITE OAK	QUERCUS ALBA	10.5	GOOD			DW
23	WHITE OAK	QUERCUS ALBA	8.7	FAIR			DW
24	WHITE OAK	QUERCUS ALBA	10.0	GOOD			DW
25	GREEN ASH	FRAXINUS PENNSYLVANICA	20.8	DEAD	REMOVE	-	EAB, MS, 11.9, 8.9
26	WHITE OAK	QUERCUS ALBA	20.7	FAIR			DW
27	WHITE OAK	QUERCUS ALBA	22.9	FAIR			DW
28	WHITE OAK	QUERCUS ALBA	14.4	FAIR			DW
29	PIN OAK	QUERCUS PALUSTRIS	15.7	GOOD			DW
30	PIN OAK	QUERCUS PALUSTRIS	16.6	GOOD			DW
31	PIN OAK	QUERCUS PALUSTRIS	15.5	GOOD	REMOVE	31	DW - CONSTRUCTION CONFLICT
32	WHITE OAK	QUERCUS ALBA	13.4	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
33	WHITE OAK	QUERCUS ALBA	13.5	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
34	PIN OAK	QUERCUS PALUSTRIS	17.6	FAIR	REMOVE	35	DW - CONSTRUCTION CONFLICT
35	PIN OAK	QUERCUS PALUSTRIS	12.2	FAIR	REMOVE	24	DW - CONSTRUCTION CONFLICT
36	WHITE OAK	QUERCUS ALBA	12.8	FAIR		26	DW - CONSTRUCTION CONFLICT
37	PIN OAK	QUERCUS PALUSTRIS	9.5	GOOD	REMOVE	19	DW - CONSTRUCTION CONFLICT
38	WHITE OAK	QUERCUS ALBA	21.6	FAIR	REMOVE	43	DW, MS, 11.5, 10.1 - CONSTRUCTION CONFLICT
39	AMERICAN ELM	ULMUS AMERICANA	9.2	FAIR		18	DW
40	WHITE OAK	QUERCUS ALBA	15.1	FAIR			DW
41	WHITE OAK	QUERCUS ALBA	8.6	FAIR	REMOVE	17	DW - CONSTRUCTION CONFLICT
42	BLACK CHERRY	PRUNUS SEROTINA	8.1	DEAD	REMOVE	-	LEANING AND BROKEN
43	WHITE OAK	QUERCUS ALBA	24.4	FAIR	REMOVE	49	DW, CO-DOMINANTS, INCLUDED BARK, MS, 11.5, 12.9
44	WHITE OAK	QUERCUS ALBA	8.5	FAIR	REMOVE	17	DW - CONSTRUCTION CONFLICT
45	WHITE OAK	QUERCUS ALBA	13.6	FAIR	REMOVE	27	DW - CONSTRUCTION CONFLICT
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47	WHITE OAK	QUERCUS ALBA	11.0	FAIR			DW
48	PIN OAK	QUERCUS PALUSTRIS	8.7	FAIR			DW, CO-DOMINANTS
49	WHITE OAK	QUERCUS ALBA	8.4	FAIR			DW
50	WHITE OAK	QUERCUS ALBA	8.5	FAIR			DW
51	WHITE OAK	QUERCUS ALBA	16.8	FAIR	REMOVE	34	DW - CONSTRUCTION CONFLICT
52	WHITE OAK	QUERCUS ALBA	9.2	FAIR	REMOVE	18	DW - CONSTRUCTION CONFLICT
53	WHITE OAK	QUERCUS ALBA	16.2	GOOD			DW
54	WHITE OAK	QUERCUS ALBA	14.6	GOOD			DW
TOTAL MITIGATION (INCHES)						413	
TOTAL MITIGATION TREES (@ 3" CALIPER)						138	

DW = DEADWOOD

MS= MULTISTEM (DBH IS TOTAL OF ALL STEMS. INDIVIDUAL DBH'S ARE LISTED IN COMMENTS)

EAB= EMERALD ASH BORER

Landscape Development Plan

ICON BUILDING GROUP



EXISTING TREE LIST

TREE #	COMMON NAME	BOTANICAL NAME	SIZE (CAL.)	CONDITION	PRES. METHOD
1	BLACK WALNUT	JUGLANS NIGRA	9.8	GOOD	
2	BLACK WALNUT	JUGLANS NIGRA	7.5	GOOD	
3	WHITE OAK	QUERCUS ALBA	8.3	GOOD	
4	NORTHERN RED OAK	QUERCUS RUBRA	5.2	GOOD	
5	WHITE OAK	QUERCUS ALBA	6.5	GOOD	
6	WHITE OAK	QUERCUS ALBA	11.6	FAIR	
7	NORTHERN RED OAK	QUERCUS RUBRA	4.5	DEAD	REMOVE
8	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	6.5	DEAD	
9	WHITE OAK	QUERCUS ALBA	9.8	GOOD	
10	WHITE OAK	QUERCUS ALBA	5.1	FAIR	
11	WHITE OAK	QUERCUS ALBA	15.1	FAIR	
12	WHITE OAK	QUERCUS ALBA	16.2	FAIR	
13	WHITE OAK	QUERCUS ALBA	4.1	GOOD	
14	WHITE OAK	QUERCUS ALBA	4.9	POOR	REMOVE
15	WHITE OAK	QUERCUS ALBA	3.0	FAIR	
16	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	5.5	POOR	REMOVE
17	EUROPEAN BUCKTHORN	RHAMNUS CATHARTICA	6.4	POOR	REMOVE
18	WHITE OAK	QUERCUS ALBA	5.3	FAIR	
19	WHITE OAK	QUERCUS ALBA	6.9	FAIR	
20	WHITE OAK	QUERCUS ALBA	15.3	FAIR	
21	WHITE OAK	QUERCUS ALBA	11.7	GOOD	
22	WHITE OAK	QUERCUS ALBA	10.5	GOOD	
23	WHITE OAK	QUERCUS ALBA	5.7	FAIR	
24	WHITE OAK	QUERCUS ALBA	10.0	GOOD	
25	GREEN ASH	FRAXINUS PENNSYLVANICA	20.8	DEAD	REMOVE
26	WHITE OAK	QUERCUS ALBA	20.7	FAIR	
27	WHITE OAK	QUERCUS ALBA	22.9	FAIR	
28	WHITE OAK	QUERCUS ALBA	14.4	FAIR	
29	PIN OAK	QUERCUS PALUSTRIS	15.7	GOOD	
30	PIN OAK	QUERCUS PALUSTRIS	16.6	GOOD	
31	PIN OAK	QUERCUS PALUSTRIS	15.5	GOOD	REMOVE
32	WHITE OAK	QUERCUS ALBA	13.4	FAIR	REMOVE
33	WHITE OAK	QUERCUS ALBA	13.5	FAIR	REMOVE
34	PIN OAK	QUERCUS PALUSTRIS	17.6	FAIR	REMOVE
35	PIN OAK	QUERCUS PALUSTRIS	12.2	FAIR	REMOVE
36	WHITE OAK	QUERCUS ALBA	12.8	FAIR	
37	PIN OAK	QUERCUS PALUSTRIS	9.6	GOOD	REMOVE
38	WHITE OAK	QUERCUS ALBA	21.6	FAIR	REMOVE
39	AMERICAN ELM	ULMUS AMERICANA	9.2	FAIR	
40	WHITE OAK	QUERCUS ALBA	15.1	FAIR	
41	WHITE OAK	QUERCUS ALBA	8.6	FAIR	REMOVE
42	BLACK CHERRY	PRUNUS SEROTINA	8.1	DEAD	REMOVE
43	WHITE OAK	QUERCUS ALBA	24.4	FAIR	REMOVE
44	WHITE OAK	QUERCUS ALBA	8.5	FAIR	REMOVE
45	WHITE OAK	QUERCUS ALBA	13.6	FAIR	REMOVE
46	WHITE OAK	QUERCUS ALBA	11.4	FAIR	
47	WHITE OAK	QUERCUS ALBA	11.0	FAIR	
48	PIN OAK	QUERCUS PALUSTRIS	8.7	FAIR	
49	WHITE OAK	QUERCUS ALBA	8.4	FAIR	
50	WHITE OAK	QUERCUS ALBA	8.5	FAIR	
51	WHITE OAK	QUERCUS ALBA	16.8	FAIR	REMOVE
52	WHITE OAK	QUERCUS ALBA	9.2	FAIR	REMOVE
53	WHITE OAK	QUERCUS ALBA	16.2	GOOD	
54	WHITE OAK	QUERCUS ALBA	14.6	GOOD	

1133 Mount Vernon Avenue
Lake Forest, Illinois

sheet:

date: 14 JANUARY 2021

north:

drawn: TM

checked: TM

scale: 1/8" = 1'-0"

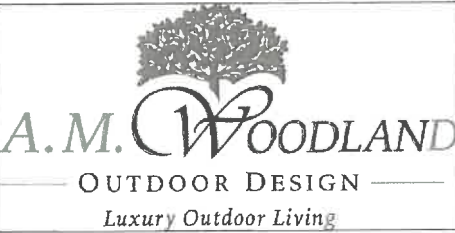
1 3/26/21

2 4/20/21

3 5/12/21

revisions:

SHADE TREES	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Autumn Blaze Maple	Acer x Fraxino	D40	3" cal	2
ORNAMENTAL TREES	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Eastern Redbud	Cercis Canadensis	D40	8" cal	2
	Red Jewel Crabapple	Malus x Red Jewel	D40	3" cal	1
EVERGREEN TREES	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Black Hills Spruce	Picea Glauca var. densata	D40	6'	3
SHRUBS	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Little Lane Hydrangea	Hydrangea paniculata Little Lane	D40	36"	3
	Twist and Shout Hydrangea	Hydrangea macrophylla Twist and Shout	D40	36"	7
	Strawberry Sundae Hydrangea	Hydrangea paniculata Strawberry Sundae	#5 CONT	24"	5
	Chicago Lustre Viburnum	Viburnum dentatum Symonshedei	D40	36"	3
	Center Glow Hibiscus	Physocarpus opulifolius Center Glow	D40	36"	6
	Miss Kim Lilac	Syringa pinnatifida Miss Kim	D40	36"	8
	Pine Wine Weigela	Weigela florida Steamroller	#5 CONT	24"	3
EVERGREEN SHRUBS	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Green Velvet Dogwood	Deutzia x Green Velvet	D40	24"	5
PERENNIALS	COMMON NAME	BOTANICAL NAME	CONT	SIZE	QUANTITY
	Little Suzy Black-eyed Susan	Rudbeckia hirta var. Speciosa Little Suzy	1 GAL		17
	Georgia Peach Coral Bell	Hebe x Georgia Peach	1 GAL		12
	May Night Salvia	Salvia sylvestris May Night	1 GAL		15
	Summer Beauty Allium	Allium Summer Beauty	1 GAL		12
	Sedum Spectabile Autumn Joy	Sedum Spectabile Autumn Joy	1 GAL		9
	Royal Candies Veronica	Veronica spicata Candy	1 GAL		9



Old Colony Rd



Mount Vernon Ave



Wilshire Rd



Prairie Ave

W Old Elm Rd