

Agenda Item 3
175 Pembroke Drive
Additions & Building Scale Variance

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175 Pembroke Drive

Consideration of a request for approval of the expansion of the connecting element between the house and the garage and exterior alterations to the residence. A building scale variance is also requested.

Property Owners: Paul and Melanie Thomas
Project Representative: Michael Breseman, architect

Staff Contact: Jen Baehr, Assistant Planner

Description of Property and Existing Residence

This property is located at the southwest corner of Pembroke Drive and Green Bay Road. The property is Lot 12 of the Page's Pembroke Subdivision. The subdivision was recorded in 1975. Most of the residences in the subdivision were built in the mid 1970's through the mid 1980's and are traditional style two and two-half story homes. These homes were built prior to the adoption of the current building scale limitations. The property that is the subject of this request is 1.4 acres in size. The residence on the property was built in 1980 and is a two and a half story single family home with an attached four car garage.

Summary of Request

This is a request for approval of the expansion of the connecting element between the house and garage. The connecting element will be expanded on the north and south sides. A building scale variance is also requested to allow for the proposed expansion. The connecting element houses the mudroom, bathroom and laundry area. The expansion of the connecting element is proposed to make the space more functional as a service area for the home. The petitioner is also proposing to add a portico element at the front entrance of the home. Exterior alterations including modifications to the windows and doors on the rear elevation and modifications to the rear sunroom are also proposed.

The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Review and Evaluation of Applicable Standards

Site Plan – This standard is met.

The expansion is proposed on the north and south sides of the connecting element. The connecting element will be expanded by 4 feet in both the north and south directions to align with the roof overhang. The width of the element will be maintained. The proposed portico is centered on the front door, on the north side of the home. The existing raised deck on the southwest corner of the house will be removed. No changes are proposed to the existing curb cut or driveway.

Building Massing and Height – A building scale variance is requested.

Based on the lot size, a residence of up to 6,664 square feet is permitted on the site with an allowance of 800 square feet for a garage and 666 square feet for design elements. Design elements are defined as those

elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries and open porches.

- The existing residence totals 8,064 square feet.
- The existing garage is 981 square feet and exceeds the allowance of 800 square feet for a garage by 181 square feet. The excess 181 square feet of the garage is incorporated into the overall square footage of the existing home.
- The existing residence including the garage overage, totals 8,245 square feet and exceeds the allowable square footage for this property by 1,581 square feet, equal to 24 percent of the allowable square footage.
- The expansion of the connecting element that is proposed totals 114 square feet.
- The proposed portico on the front elevation totals 52 square feet and is considered a design element and is exempt from the square footage calculation.
- In total, the square footage of the existing residence in addition to the proposed expansion of the connecting element is 8,359 square feet. The total square footage exceeds the allowable by 1,695 square feet, equal to 25 percent of the allowable square footage.

Review of Building Scale Variance Standards and Staff Recommendation

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The expansion of the connecting element is minimal in relation to size of the existing residence and the expansion does not visually impact the overall massing or design of the home.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. There are existing shade trees in the front yard and dense vegetation on the south side of the property. Because the size of the expansion is very small and the connecting element is recessed between the front elevation of the home and the garage, the appearance of mass from off of the street will not significantly change.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. Because the expansion of the connecting element is a single story in height and recessed between the larger and taller main mass of the residence and garage the appearance of mass from the streetscape will not change and the expansion will not negatively impact the light and views from neighboring homes.

Standard 4 – The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. As noted above, the size and height of the proposed expansion is minimal in comparison to the existing residence and structures on neighboring properties.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not met. The property is not located adjacent to land used as permanent open space.

In summary, the first criteria and three additional criteria are satisfied as detailed in the findings presented above.

The maximum building height for this property is 40 feet. The highest point of the existing house, as measured from the lowest point of the existing grade is 37 feet and 5 inches. The proposed expansion will be below the existing roof overhang and is 10 feet above the adjacent grade.

Elevations – This standard is generally met.

The new north and south exterior walls of the connecting element will each have a single entry door and single double hung window. The new entry doors are similar in appearance to the existing doors on the connecting element, the new windows have an 8 over 1 muntin pattern.

- Consideration shall be given to incorporating muntins on the bottom sashes of the windows on the north and south walls of the connecting element to match the appearance of the existing windows on the home which have muntins in both the top and bottom sashes.

The proposed portico on the front (north) elevation is designed with two square columns on either side of the front door and a pediment roof above. A new elliptical transom window is proposed above the front door. Also on the front elevation, a new double hung window with shutters is proposed on the gable end at the west side of the home.

The proposed modifications to the sunroom include replacement of the existing windows with larger windows on the east, west and south elevations and new triangular windows on the gable end on the south elevation. The new windows on the sunroom are intended to allow more light into the home. A new brick fireplace is proposed on the south elevation of the sunroom.

All the existing windows and doors on the first floor of the south elevation of the home will be removed, with the exception of the entry door to the garage. New French doors with transoms above are proposed

along the majority of the south elevation. A grouping of three windows with transoms above is proposed to replace the existing doors in the library, on the west side of the south elevation. On the second floor, two existing double hung windows located generally at the center of the south elevation, will be removed and replaced with a grouping of three double hung windows to match the arrangement of windows on the west end of the elevation.

- Staff suggests further study of the proportions and style of the proposed windows in the library, on the west side of the south elevation, in an effort to match more closely to the appearance of the existing windows on the home.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials are compatible with those on the existing residence. Most of the existing home has a brick exterior. No changes are proposed to the existing wood shingle roof. The new north and south exterior walls of the expansion will be horizontal wood siding to make a distinction between the main mass of the existing residence and the connecting element. The proposed portico will have a wood shingle roof, wood columns and trim. The sunroom will have wood siding below the windows and wood pilasters, fascia and trim. Aluminum-clad wood double hung windows with interior and exterior muntins are proposed. Copper gutters and downspouts are proposed. The new fireplace on the south elevation of the sunroom will be brick.

Landscaping – This standard is met.

The proposed work will not impact any existing trees on the site and the existing landscaping will be maintained.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the additions to the residence, demolition of the existing garage, construction of a replacement garage and a building scale variance based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. Consideration shall be given to incorporating muntins on the bottom sashes of the windows on the north and south walls of the connecting element to match the existing windows on the home.
2. The proportions and style of the windows on the west side of the south elevation shall be studied further in an effort to match more closely to the appearance of the existing windows on the home.
3. If any modifications are made to the plans that were presented to the Board, in response to the items to be studied above, to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine

whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

4. Details of any exterior lighting that is proposed shall be provided with the plans submitted for permit. Cut sheets of all light fixtures shall be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass. All exterior lights, except for motion detector lights for security purposes, shall be set on timers to turn off no later than 11 p.m.
5. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 175 Pembroke Drive Owner(s) Paul and Melanie Thomas
 Architect Michael Breseman Reviewed by: Jen Baehr
 Date 5/5/2021
 Lot Area 60800 sq. ft.

Square Footage of Existing Residence:

1st floor 3594 + 2nd floor 3196 + 3rd floor 1274 = 8064 sq. ft.

Design Element Allowance = 666 sq. ft.

Total Existing Design Elements = 0 sq. ft. Excess = 0 sq. ft.

Garage 981 sf actual ; 800 sf allowance Excess = 181 sq. ft.

Garage Width N/A ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings - Pool House = 0 sq. ft.

Total Square Footage of Existing Residence = 8245 sq. ft.

Square Footage of Proposed Additions:

1st Floor: 114 + 2nd floor 0 + 3rd floor 0 = 114 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 52 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 8359 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 6664 sq. ft.

DIFFERENTIAL = 1695 sq. ft.

Over Maximum

NET RESULT:

1695 sq. ft. is

25% over the
Max. allowed

Allowable Height: 40 ft. Actual Height 37' -5"(existing house - no changes)

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance: 666 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 52 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

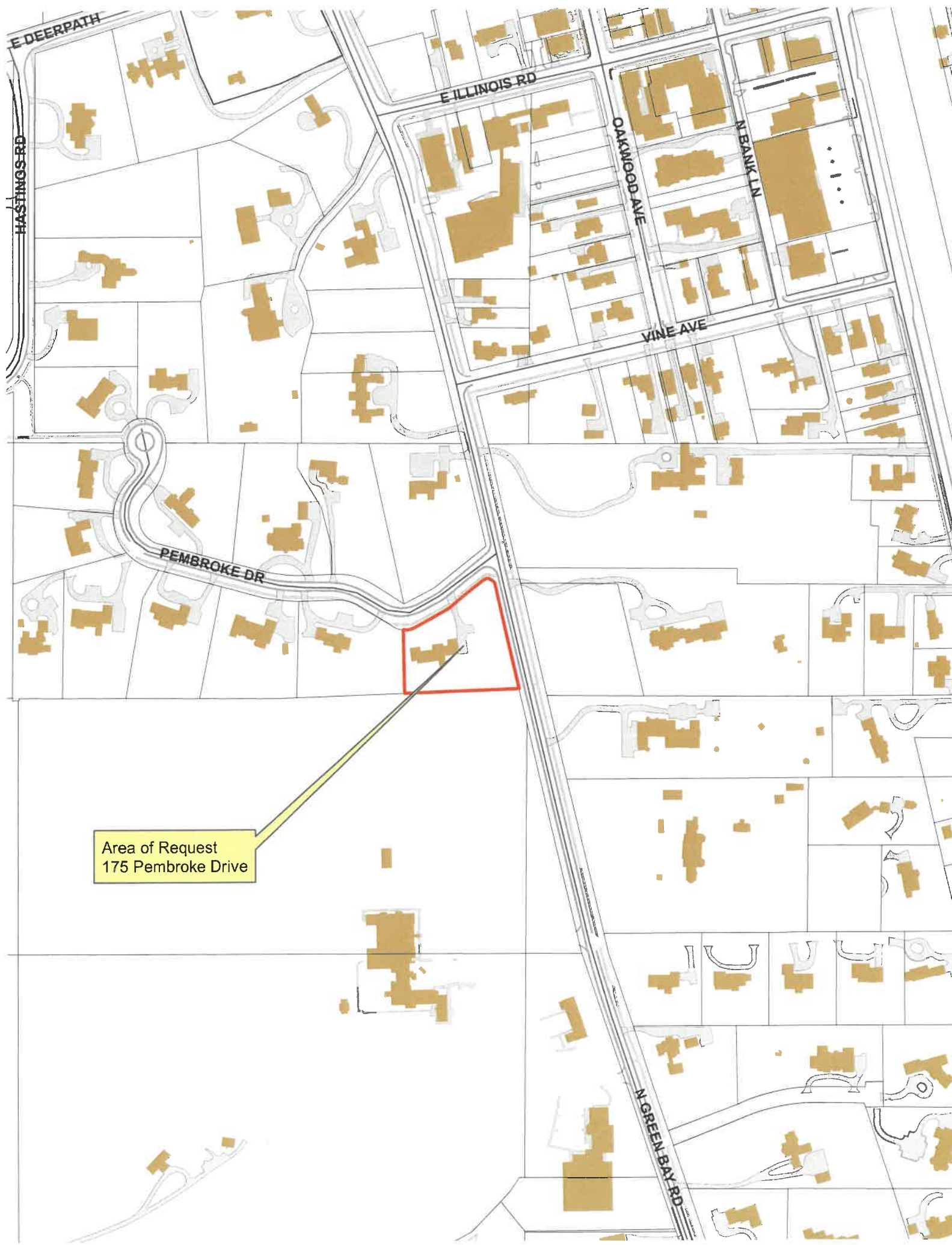
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 52 sq. ft.


Excess Design Elements = 0 sq. ft.



Area of Request
175 Pembroke Drive



Area of Request
175 Pembroke Drive



Area of Request
175 Pembroke Drive



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 175 PEMBROKE DRIVE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

PAUL & MELANIE THOMAS
Owner of Property

1000 ASHLEY LANE
Owner's Street Address (may be different from project address)

LIBERTYVILLE IL 60048
City, State and Zip Code

512 663-5361
Phone Number

512 657-2025 Fax Number

POTHOMAS@ICMAC.COM

MELANIE THOMAS100@HOTMAIL.COM
Email Address

Paul D Thomas
Melanie C Thomas
Owner's Signature

ARCHITECT/BUILDER INFORMATION

MICHAEL BRECKEMAN PRESIDENT
Name and Title of Person Presenting Project

MICHAEL E BRECKEMAN ARCHITECTS LTD
Name of Firm

2911 FAHNTREE CT
Street Address

PRIME GROVE IL 60012
City, State and Zip Code

847 845-1000
Phone Number

Fax Number

MIB@MEBRECKEMAN.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

**I will pick up a copy of the staff report at
the Community Development Department**

☐ OWNER ☐ REPRESENTATIVE



STATEMENT OF INTENT

Michael E. Breseman Architects, Ltd., are requesting approval of a certificate of appropriateness for two small additions off the front and rear portions of the home that link the garage with the main house and a bulk variation. The property is located at 175 Pembroke Drive, Lake Forest, Illinois. Paul and Melanie Thomas purchased the property in March of this year.

A summary of the property:

The current home was custom built in 1980 for former Chicago Bears quarterback Bobby Douglas. The home has had only one additional owner before the purchase in March by the Paul and Melanie Thomas. The Thomases are moving from Austin Texas back to the Midwest to be with both of their daughters and the arrival of their first grandchild.

Project needs:

- A fairly extensive interior renovation project that centers on expanding internally the current kitchen and sunroom while strengthening the relationships between kitchen, breakfast room, sunroom, and family room.
- The current service area/link (mudroom, laundry, and bathroom) is disproportionately too small relative to the overall size of the current home.
- Expand the current service area/link out 4' on both the front and rear of the home to be align with the current roof overhangs.
- A new arrangement of windows and the introduction of more classical elements and detailing at the sunroom, as well as a new fireplace which is expressed on the exterior.
- A fairly extensive interior renovation on the second floor including reconfiguring the master suite, adding a guest master suite, and solving some general layout issues.
- A proposed front portico to give some definition to front façade, but more importantly provide a covered entry.
- Refenestration of the rear elevation based on the new room layouts on first and second floor plans.



Rear fenestration:

The fenestration at existing rear elevation at the main block of the house will be reconfigured based on the new room layouts on both the first and second floors. The interior work gives us an opportunity to rework the current exterior elevation to provide rhythm and balance that it is currently lacking. The haphazard expression of windows and doors is a result of conflicts created by interior room layouts and its related functions.

The proposed first floor is a series of French doors and corresponding transoms which create rhythm. This is punctuated by the stacked double hung windows to the west at the existing library. The introduction of a set of three double hung windows at the new master bathroom gives some balance that is missing from the current second floor window arrangement.

Finally, the proposed window arrangement at the existing sunroom, which also incorporating more traditional detailing, creates a more cohesive and complimentary façade to the main home.

Proposed massing:

The massing of the home essentially is unaffected by the minor changes which we are proposing.

The first adjustment is pushing the proposed exterior walls out 4' at the link to enclose the area under the current roofline/overhang. This new lower massing is further mitigated by the fact the new wall at the link in the front will still be 7' in the foreground to the two-story gable of the main house to the west and about 15' to the foreground to the 1 ½ story gable of the garage to the east.

The proposed portico at the front entry fits within the context of the space created by the flanking gables of the main façade of the home. The height of the columns, frieze board, elliptical pediment are proportional to the existing structure and actually softens the recessed main interior elevation.

Finally, the new fireplace at the sunroom only protrudes out 1'-0" from the existing wall line to the south, materially not affecting the perceived massing.



Materials & details:

The new exterior walls at the link will be of horizontal ship lap siding with painted trim at the new doors & windows. The introduction of the painted wood surfaces is to make a distinction between the garage and the forms of the main house while also softening this element.

The new windows and doors will be aluminum clad with simulated divided lights. The sizes of the doors and windows will be proportional to the existing lites.

We have introduced some more traditional detailing at both the front portico and the sunroom, these include painted frieze board, pilasters, and crown mouldings to give some depth to a simple but dignified structure.

The brick at the fireplace will have match the existing brick in color and texture.

Additional bulk request:

The current home has a bulk square footage of 8,319 SF which is 1,655 SF or 25% above the current allowable bulk square footage. We are proposing to infill the current roof overhangs at the link between the garage and the main home, as well as the footprint for a new fireplace off the existing sunroom. We are requesting a total of 120 or 1.8% SF of additional bulk.

There are a number of mitigating factors in regard to our request for additional bulk square footage.

- The existing structure was built in 1980 predating the current zoning and bulk requirements with over 1/2 of the bulk overage in the unused attic.
- There have been no additions to the current home and has remained the same since being built.
- The current link has an existing roof overhangs of 4' which are proposed to be infilled.
- The roof massing at the link will remain the same, so in a practical sense the "visual" bulk will remain unchanged.
- A reduction in massing by removing the current raised deck (about 200 SF) on the southwest corner of the rear of the home.

Finally, the proposed structure is consistent with the design standards of Lake Forest and we believe meets standards 3 and 4. The location of the existing link and the current roof mitigate the appearance of the additions. We are proposing the current height massing of the home to remain unchanged and thus are compatible with the neighborhood.



* * * * *

We thank you for the opportunity to present our request and hope you will agree with us that the proposal will provide additional aesthetic value to the home and neighborhood.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☒ Brick @ FIREPLACE
☒ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish WHITE TO MATCH

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☒ Brick
☒ Wood TO MATCH
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☒ Wood Shakes @ *pergato*
☐ Slate
☐ Clay Tile
☐ Composition Shingles
☐ Sheet Metal
☐ Other _____

Flashing Material

- ☐ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material NATURAL

Gutters and Downspouts

- ☒ Copper
☐ Aluminum ~~##~~
☐ Other _____

Driveway Material

- ☐ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers *N/A*
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☒ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

LEGEND	
N.	= North
S.	= South
E.	= East
W.	= West
N.W.	= Northwest
N.E.	= Northeast
S.E.	= Southeast
S.W.	= Southwest
P.O.B.	= Point of Beginning
S.D.F.T.	= Square Feet
R.O.W.	= Right of Way
Doc.	= Document
Rec.	= Recorded as
Meas.	= Measured
T.F.	= Top of Foundation
MIN.	= Minimum
MAX.	= Maximum

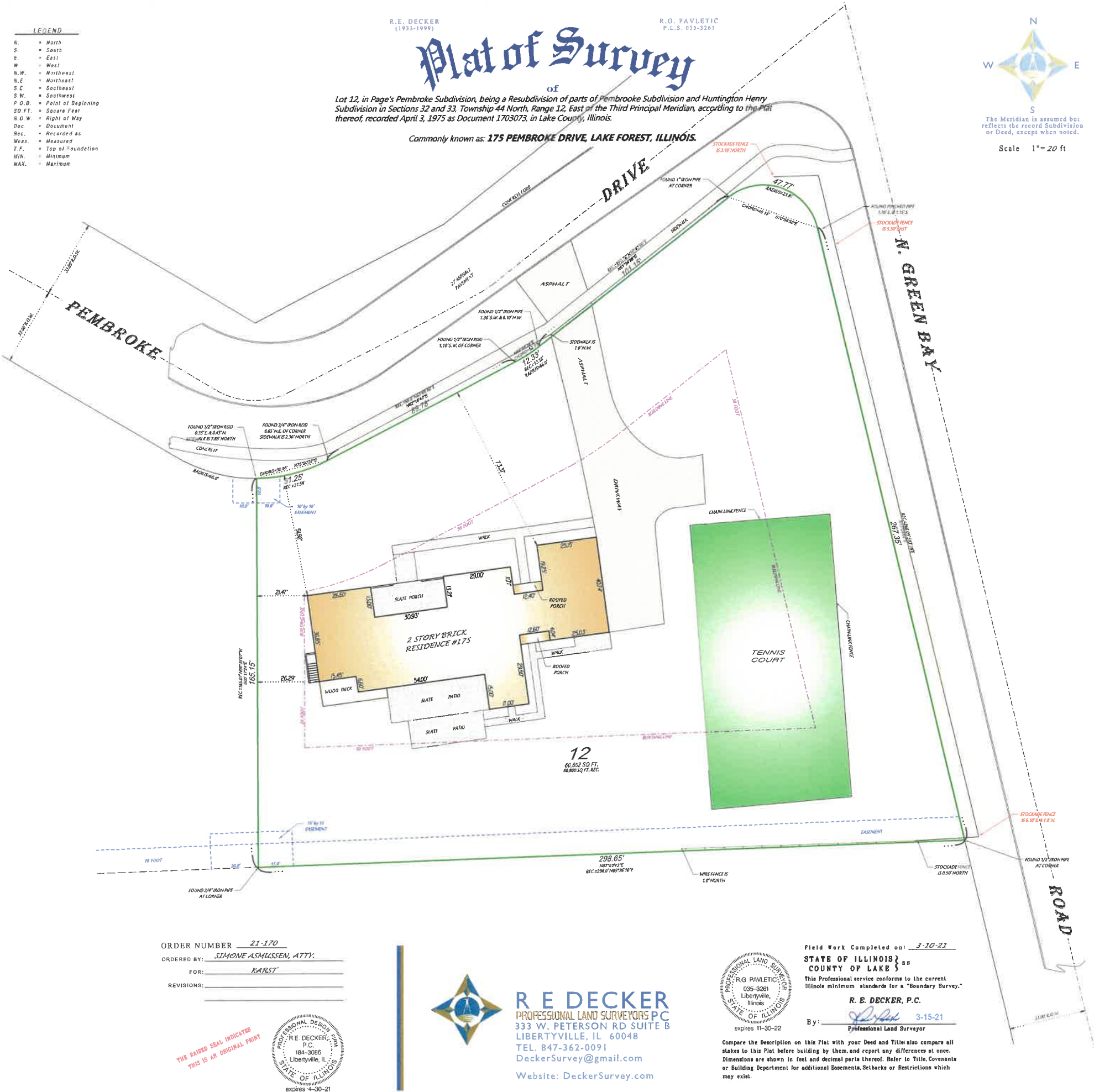
R.E. DECKER
(1933-1999)

R.G. PAVLETIC
P.L.S. 035-3261

Plat of Survey

Lot 12, in Page's Pembroke Subdivision, being a Resubdivision of parts of Pembroke Subdivision and Huntington Henry Subdivision in Sections 32 and 33, Township 44 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof, recorded April 3, 1975 as Document 1703073, in Lake County, Illinois.

Commonly known as: 175 PEMBROKE DRIVE, LAKE FOREST, ILLINOIS.



ORDER NUMBER 21-170
ORDERED BY: SIMONE ASMUSSEN, ATTY.
FOR: KARST
REVISIONS: _____

THE RAISED SEAL INDICATES
THIS IS AN ORIGINAL PRINT



R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
333 W. PETERSON RD SUITE B
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DeckerSurvey@gmail.com
Website: DeckerSurvey.com



Field Work Completed on: 3-10-21
STATE OF ILLINOIS ss
COUNTY OF LAKE ss
This Professional service conforms to the current
Illinois minimum standards for a "Boundary Survey."
R. E. DECKER, P.C.
By: [Signature] 3-15-21
Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title; also compare all
stakes to this Plat before building by them, and report any differences at once.
Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants
or Building Department for additional Easements, Setbacks or Restrictions which
may exist.

LEGEND	
N.	North
S.	South
E.	East
W.	West
N.E.	North-East
S.E.	South-East
N.W.	North-West
S.W.	South-West
P.O.B.	Point of Beginning
S.D.F.	Survey Feet
S.D.M.	Sign of Way
D.C.	Document
P.C.	Record as
W.D.	Warranty
T.F.	Top of Foundation
M.W.	Midway
M.L.	Midline

R.F. DECKER
(1931-1999)

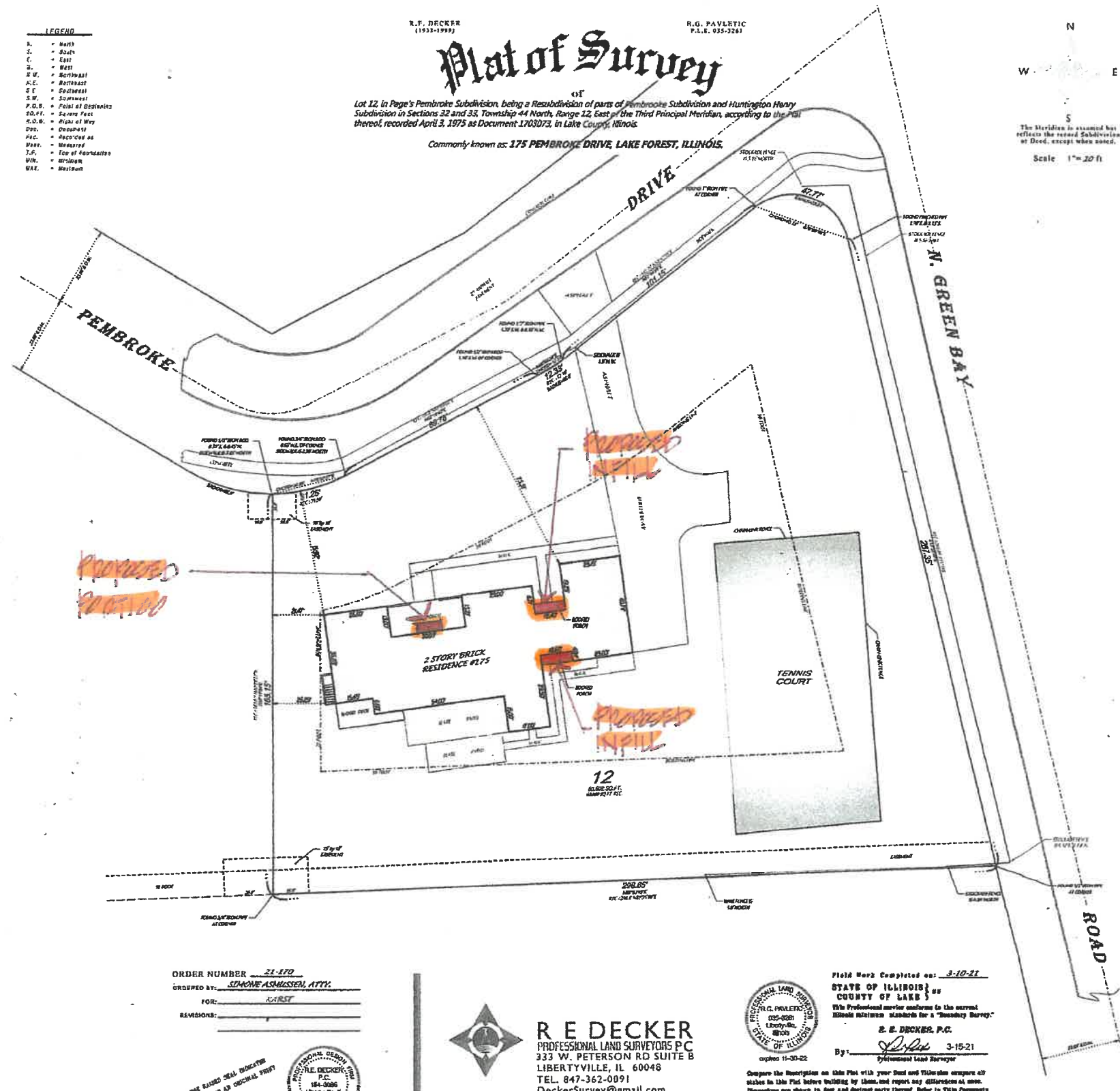
R.G. PAVLETIC
P.L.E. 035-3261

Plat of Survey

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Commonly known as: 175 PEMBROKE DRIVE, LAKE FOREST, ILLINOIS.

N
W E
S
The Meridian is assumed but reflects the record Subdivision or Deed, except where noted.
Scale 1"=20' ft



ORDER NUMBER 21-270
ORDERED BY: SIMONE ASMUNDEN, ATTY:
FOR: KIRST
REVISIONS:

THE LAKED JAIL DOCUMENT
TWO 10 AD ORIGINAL PLAT



R E DECKER
PROFESSIONAL LAND SURVEYORS P.C.
333 W. PETERSON RD SUITE B
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DeckerSurvey@gmail.com
Website: DeckerSurvey.com



Field Work Completed on: 3-10-21
STATE OF ILLINOIS
COUNTY OF LAKE
This Professional survey conforms to the current Illinois Minimum Standards for a "Boundary Survey."
R. E. DECKER, P.C.
By: [Signature] 3-15-21
Professional Land Surveyor

Compare the description on this Plat with your Deed and this also compares all states to this Plat before building by them and report any differences of same. Dimensions are shown in feet and decimal parts thereof. Refer to This, Comments or Building Department for additional Requirements, Rules and Regulations which may exist.

PROPOSED SITE PLAN
SCALE 1"=60'-0"

THOMAS RESIDENCE
175 PEMBROKE DRIVE
MEP ARCHITECTS LTD
04.23.21



Existing Front Elevation w/ demolition

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd





Proposed Front Elevation

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd

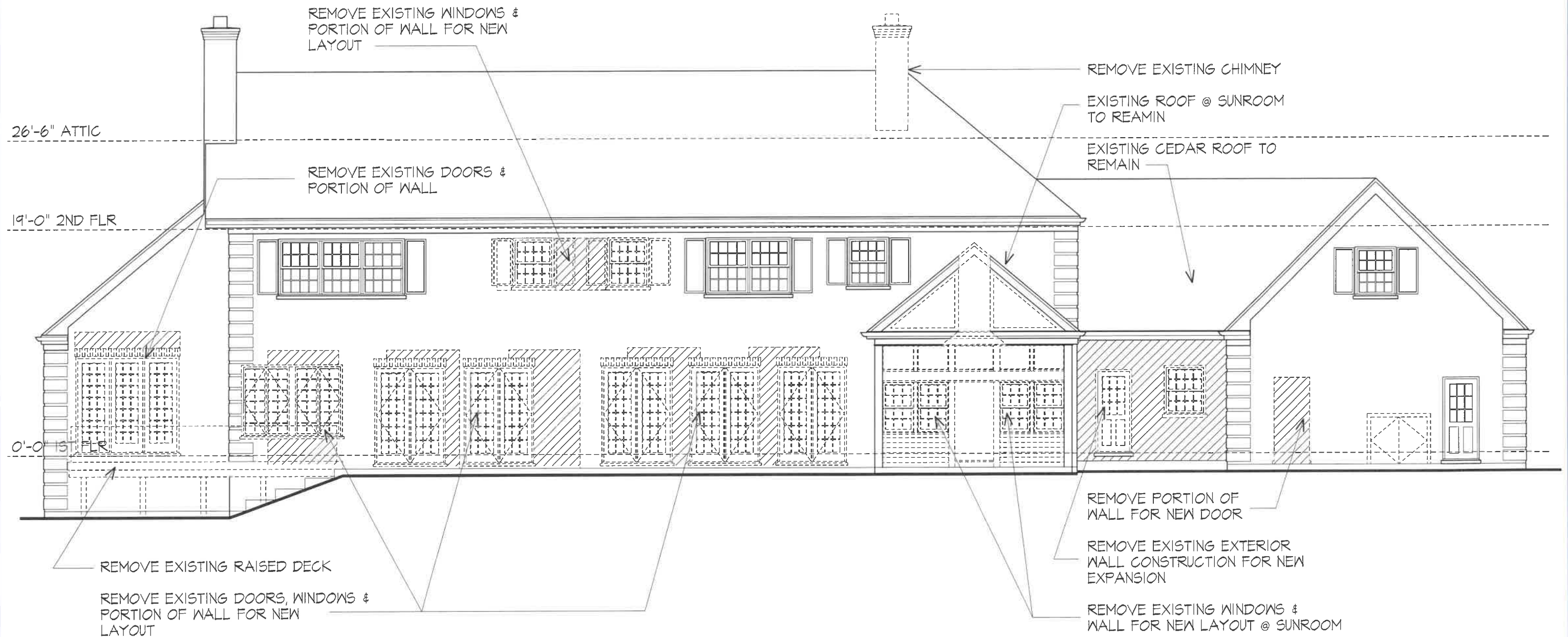


Enlarged Front Entry Elevation

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd



Existing Rear Elevation w/ demolition

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd



Proposed Rear Elevation

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd



Proposed Enlarged Elevation @ Sunroom

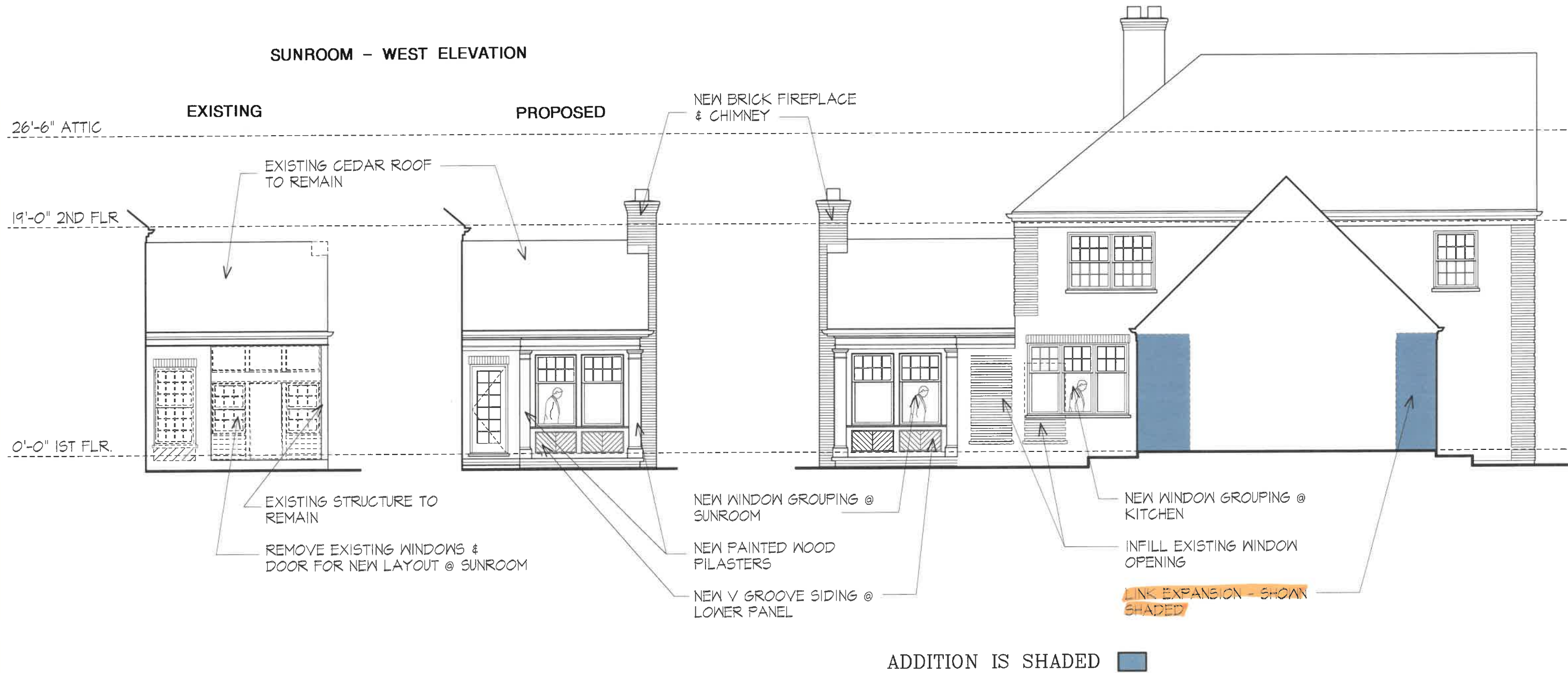
SCALE: 3/16" = 1'-0" 0 1 2 4 6

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd



EAST ELEVATION - WITH SECTION THROUGH CONNECTING ELEMENT



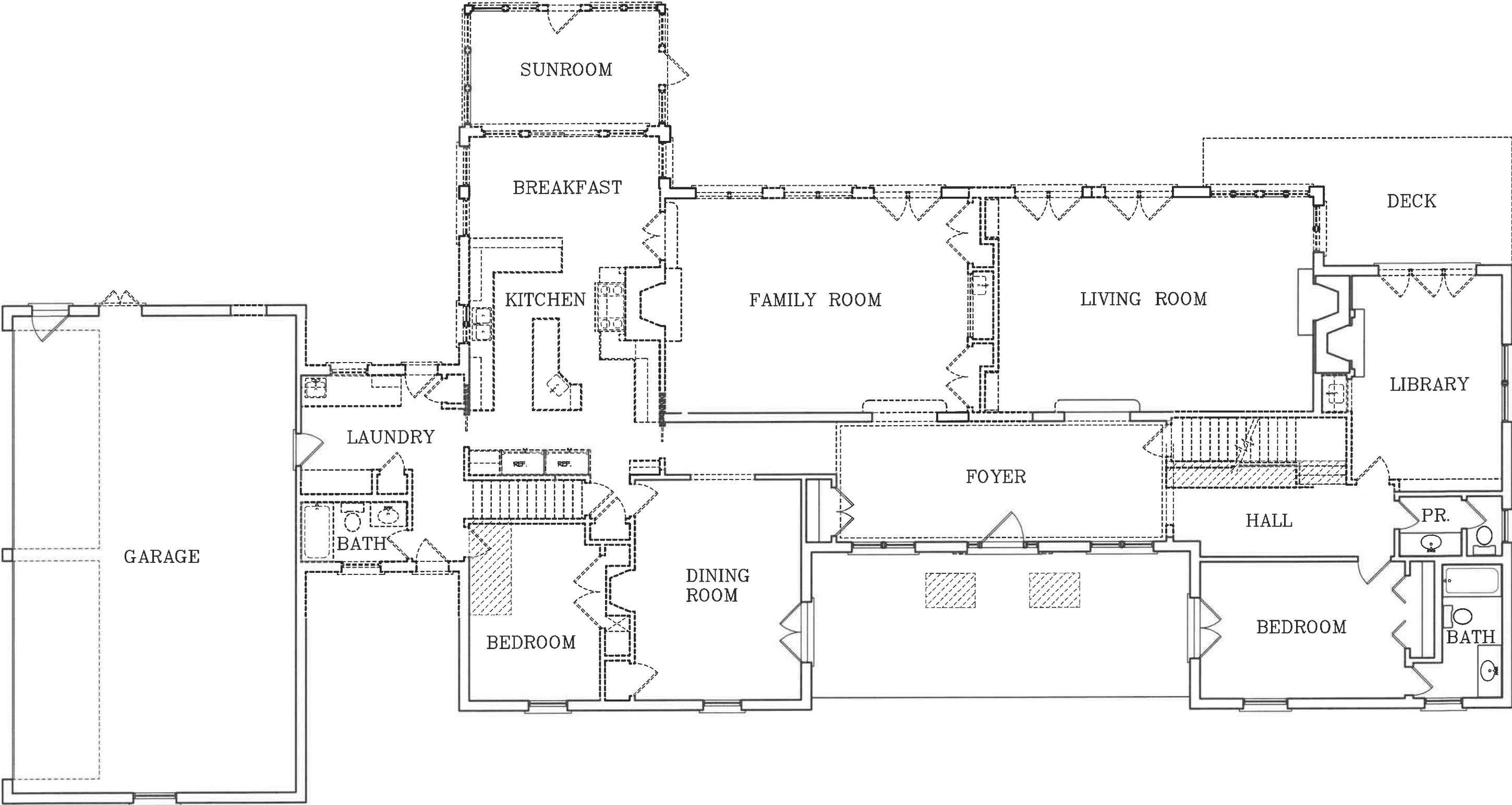
East & Sunroom Elevations

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd





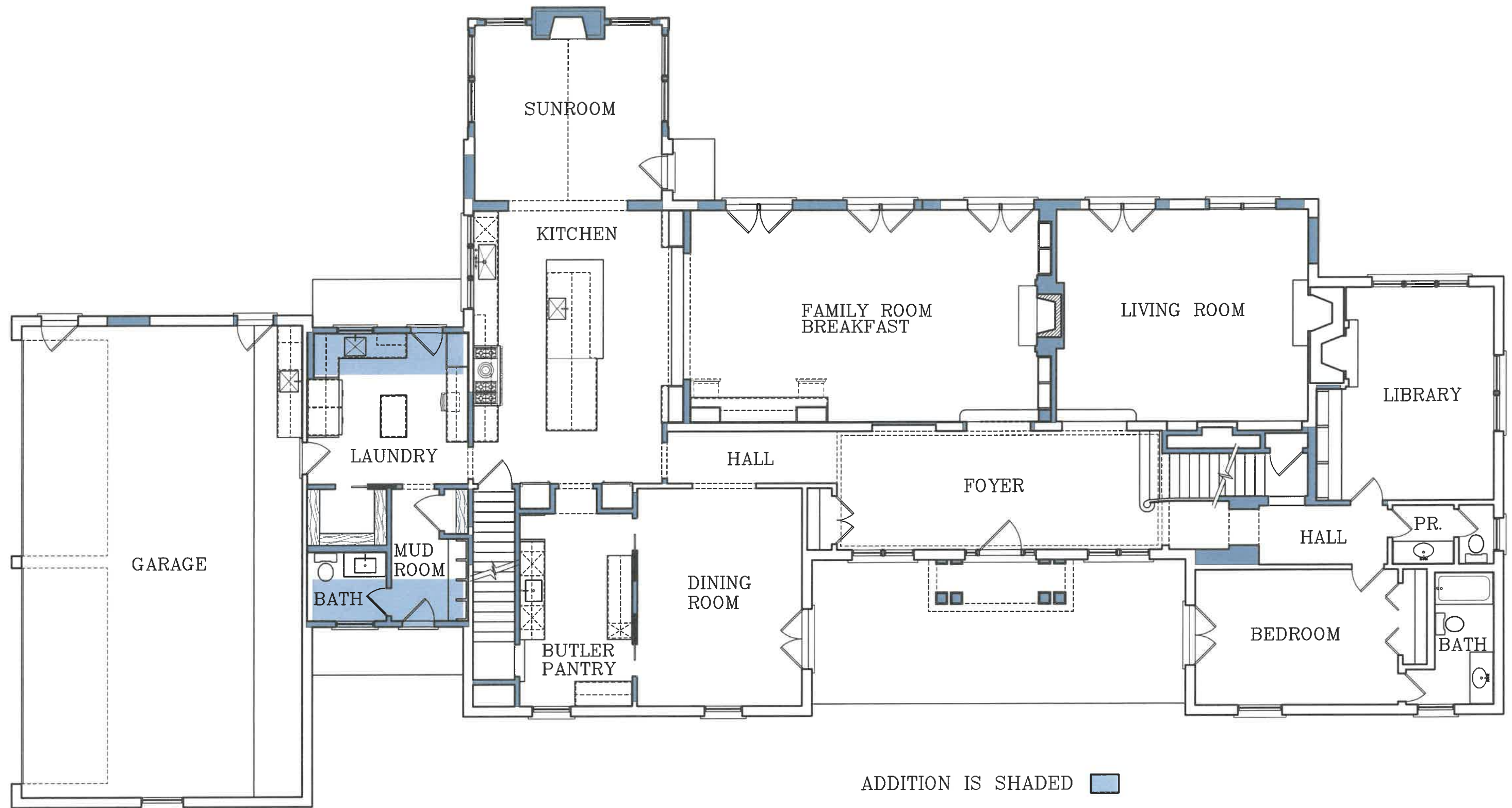
Existing First Floor & Demolition Plan

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

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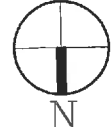
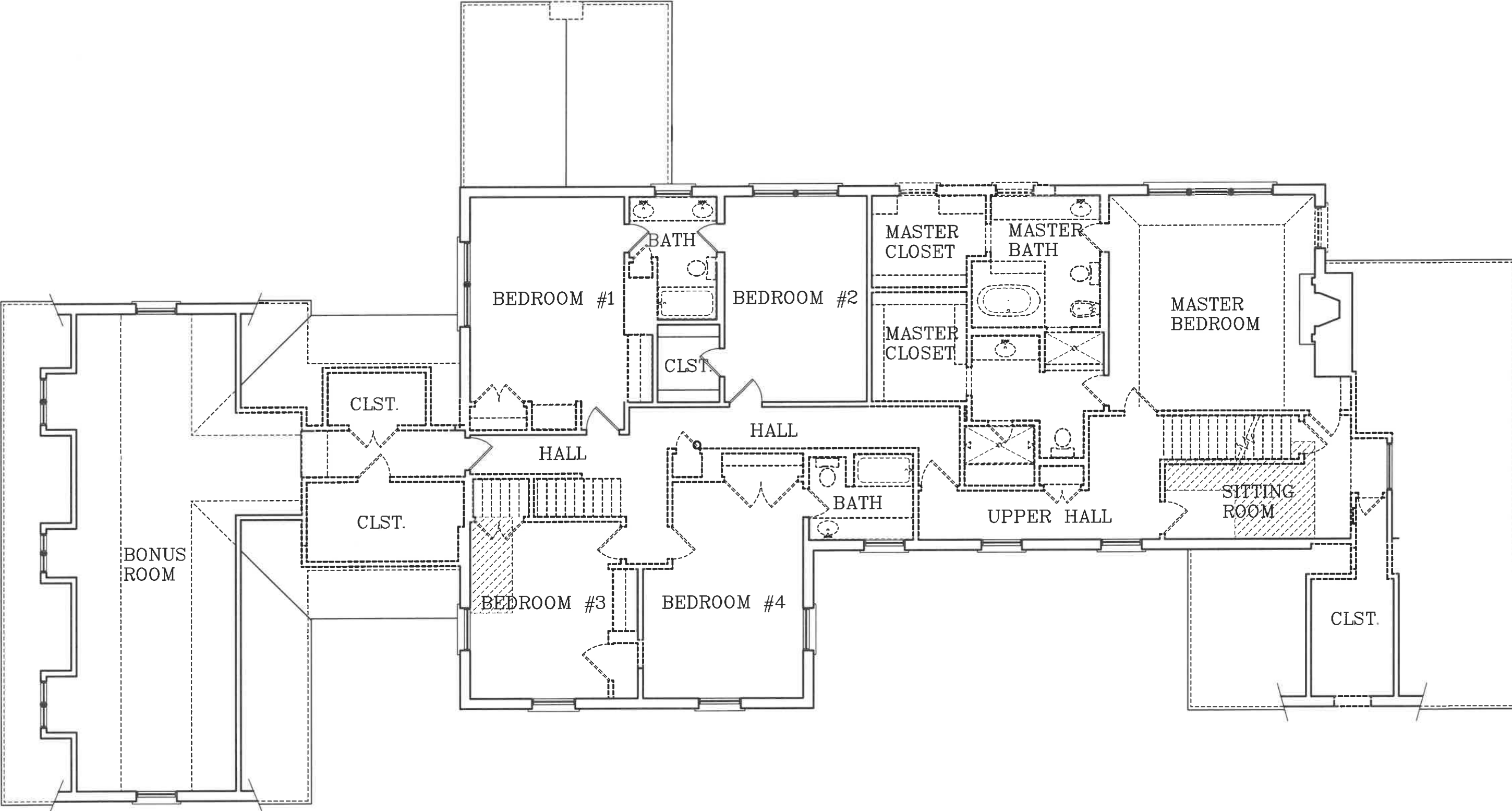
Proposed First Floor Plan

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

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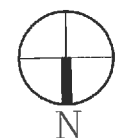
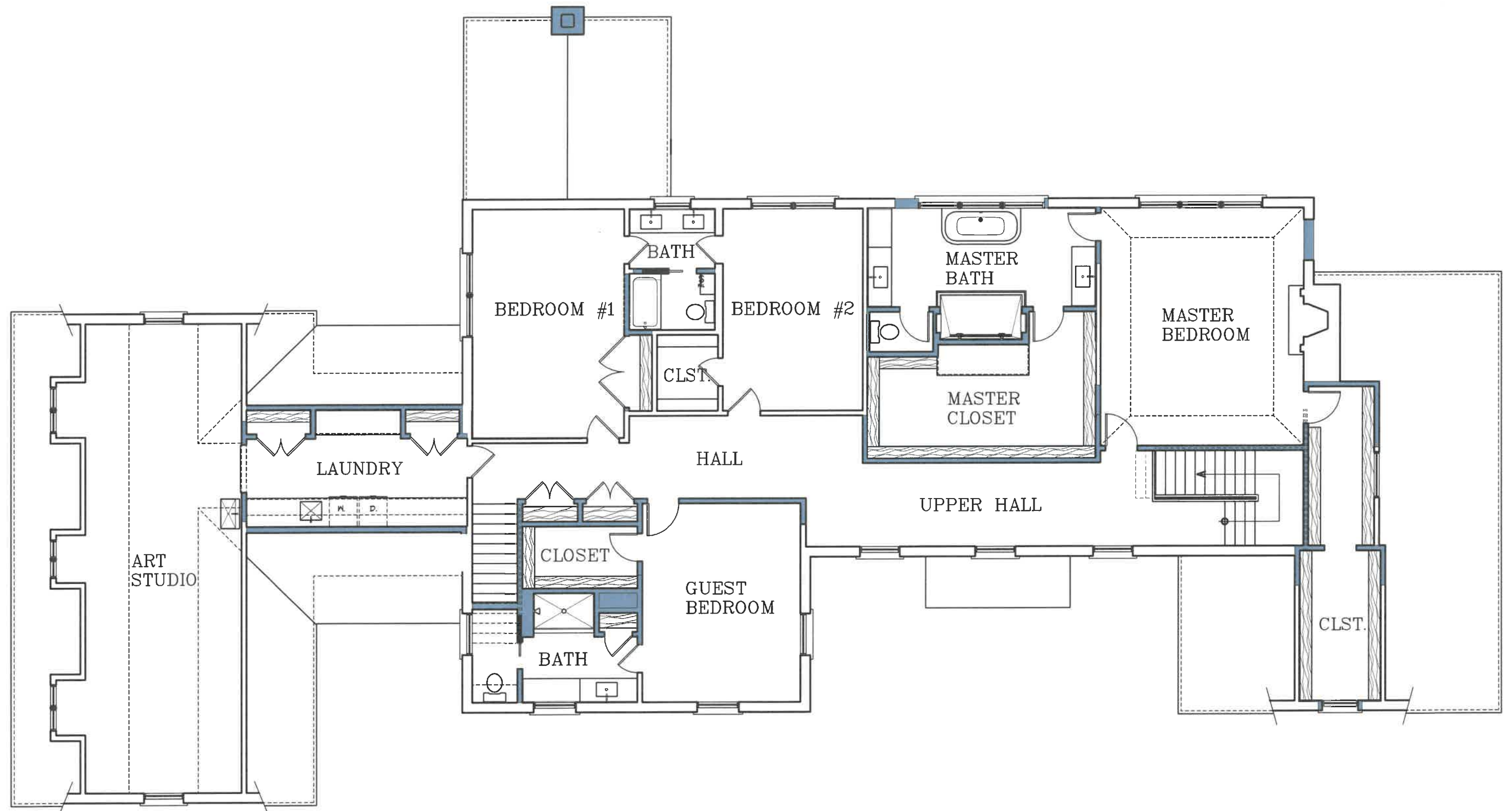
Existing Second Floor & Demolition Plan

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd





Proposed Second Floor Plan

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Thomas Residence - 175 Pembroke Drive

Michael E. Breseman Architects Ltd





House & Property Photos

Thomas Residence - 175 Pembroke Drive
Michael E. Breseman Architects Ltd



Agenda Item 4
854 Everett Road
Demolition & Replacement Residence

Staff Memorandum
Previous Staff Report – November 2016
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Currently Proposed Site Plan
Currently Proposed South Elevation
Currently Proposed East Elevation
Currently Proposed North Elevation
Currently Proposed West Elevation
Currently Proposed Color Rendering
Currently Proposed Exterior Materials – No Changes Proposed
Currently Proposed Roof Plan
Currently Proposed Building Section
Site Massing Perspective Diagram
Currently Proposed Floor Plans
Currently Proposed Landscape and Hardscape Plan
Currently Proposed Gate and Fence Elevation

Supplemental Materials

Previously Approved Plans – November 2016
Excerpts of Building Review Board Meeting Minutes



MEMORANDUM

To: Chairman Diamond and members of the Building Review Board

From: Jennifer Baehr, Assistant Planner

Date: May 5, 2021

Subject: **854 Everett Road - Extension of a Prior Approval**

This is a request for an extension of a prior approval granted by the Building Review Board. This petition was considered by the Building Review Board over the course of three meetings; July 2016, October 2016 and November 2016. The petition includes a request for approval of demolition of the residence and approval of a new residence, landscaping and overall site plan. The Building Review Board recommended approval of the petition at the November 2016 meeting and the City Council approved the petition on December 5, 2016. Approvals are valid for a period of two years from the date of final approval. Because the approval has expired, a request for an extension of the prior approval is presented by the petition. The intent is to adhere to the previously approved plans with the only modifications being those made to respond to the conditions of the earlier approval. The conditions of approval are detailed below.

Attached to this memorandum, please find the plans currently proposed as well as the previous staff report and submittal for this petition from the November 2016 meeting. Also attached are excerpts from the minutes from the July 2016, October 2016 and the November 2016 meetings to provide more background on this project and information on past Board discussions.

A number of conditions were included as part of the Board's previous approval in November 2016. Below are the previous conditions of the Board's approval.

1. *The plans should be modified to respond to the items listed below. If additional modifications are made to the plans as the result of final design development or in response to Board direction, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.*
 - a. *The site plan shall demonstrate that there is a minimum of five feet between the garage court and the house to allow space for at least minimal plantings.*
 - b. *Details on all exterior materials shall be provided. Natural materials, consistent with the plans presented to the Board, should be used consistently on all elevations and should be clearly indicated on the plans submitted for permit.*
 - c. *Details shall be provided on the chimney pots.*

- d. *Windows, both on the house and on the garage shall be generally consistent in form and detailing.*
 - e. *Detailed information on the windows shall be submitted with the permit application. Muntins shall be affixed to the interior and exterior of the glass.*
 - f. *The residence shall fully comply with the building scale ordinance.*
 - g. *The gate and fencing shall fully comply with zoning regulations.*
2. *The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, to properly direct drainage.*
3. *Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation and to protect trees and vegetation on neighboring properties during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.*
4. *The final landscape plan shall reflect at a minimum, replacement inches for trees removed as determined to be required by the City Arborist consistent with the Code requirements. The plan will be subject to final review and approval by the City Arborist.*
 - a. *The final landscape plan shall be drawn on the approved grading plan to allow confirmation by staff that there are no conflicts between proposed plantings and overland stormwater flow routes.*
 - b. *Foundation plantings meet the minimum Code requirements.*
 - c. *Sufficient perimeter plantings are proposed to screen the mass of the house and the garage court from the street and from adjacent properties to the east and west.*
5. *If determined to be necessary by the City's Certified Arborist, a pre and post tree maintenance plan prepared by a Certified Arborist shall be submitted outlining the steps that will be taken to protect the mature trees on the property. The maintenance plan shall be subject to review and approval by the City's Arborist. The plan shall be fully implemented to the satisfaction of the City's Arborist and regular inspections shall be conducted by the Arborist to verify completion of specified measures at appropriate points before the issuance of permits, during construction and after completion of the project.*
6. *Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.*
7. *Comprehensive photo documentation of the residence, the overall property and the streetscape must be provided to the City in a digital form determined to be satisfactory by the City. The purpose of the documentation is to preserve an historic record of the property in both the City and in the Lake Forest-Lake Bluff Historical Society archives.*
8. *Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood during construction and to minimize impacts on trees intended for preservation. On street parking on Everett Road and Evergreen Road is not permitted. Off site parking for workers and shuttles to the site may be required.*

9. *This project must abide by all of the terms, conditions, restrictions, and provisions of The City of Lake Forest City Code, and all other applicable codes, ordinances, rules, and regulations.*

Based on staff's review of the current plans it appears that refinements were made in response to the Board's previous conditions of approval. As observed by staff and as detailed in the architect's statement, the refinements that were made since the Board's previous approval are listed below.

- The site plan was modified to reflect the addition of window wells on the north, east and west sides of the home. As a result, the landscape plan was slightly modified in the areas of the window wells.
- The total square footage of the replacement residence that was presented to the Board in November 2016 exceeded the allowable square footage. The plans were modified to reduce the width of the house and garage in order to comply with the building scale limitations. An updated building scale summary sheet is included in the Board's packet and reflects the square footage as currently proposed.
- The tower element on the front elevation was shifted west as directed by the Board at the November 2016 meeting.
- Some of the window proportions and muntin patterns were modified.
- The previous two single dormers above the garage on the east elevation are now proposed as double dormers.
- One single dormer was removed on the north end of the east elevation.
- The number of dormers on rear elevation was reduced as directed by the Board during the November 2016 meeting. The two center dormers on the rear (north) elevation were eliminated and a new double dormer is proposed at the center.
- The French doors on the rear elevation were separated as directed by the Board during the November 2016 meeting.
- The arched transom dormers above the French doors on the rear elevation were eliminated.
- The single dormers on the west elevation were eliminated and replaced with two new double dormers.

As noted above, the refinements made to the plans since the Board's approval in November 2016 appear to directly respond to the Board's earlier discussion, direction and approvals. The refinements are relatively minor and do not significantly impact the overall design or architectural style of the proposed replacement residence.

Staff Recommendation

Given that the current plans are consistent with the Board's prior approvals, staff recommends that the Board approve a motion extending the approval of the petition until May 5, 2022. This extension will require that the building permits for the project are picked up and all associated fees paid prior to that date. The extension of the approval includes the demolition of the existing residence and approval of the replacement residence, attached garage, overall site plan and the conceptual landscape plan. The prior conditions of approval would remain the same as the original approval with the exception of those conditions that have been met through refinement to the plans as now presented.

The previously approved applicable conditions remain in effect and are repeated below.

1. The plans should be modified to respond to the items listed below. If additional modifications are made to the plans as the result of final design development or in response to Board direction, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
 - a. The site plan submitted with the permit application shall demonstrate that there is a minimum of five feet between the garage court and the house to allow space for at least minimal plantings.
 - b. Details on all exterior materials should be clearly indicated on the plans submitted for permit.
 - c. Copper shall be used for the gutters and downspouts and should be clearly indicated on the plans submitted for permit.
 - d. Detailed information on the windows shall be submitted with the permit application. Muntins shall be affixed to the interior and exterior of the glass.
 - e. The gate and fencing shall fully comply with zoning regulations.
2. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, to properly direct drainage.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation and to protect trees and vegetation on neighboring properties during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
4. The final landscape plan shall reflect at a minimum, replacement inches for trees removed as determined to be required by the City Arborist consistent with the Code requirements. The plan will be subject to final review and approval by the City Arborist.
 - a. The final landscape plan shall be drawn on the approved grading plan to allow confirmation by staff that there are no conflicts between proposed plantings and overland stormwater flow routes.
 - b. Foundation plantings meet the minimum Code requirements.
 - c. Sufficient perimeter plantings are proposed to screen the mass of the house and the garage court from the street and from adjacent properties to the east and west.
5. If determined to be necessary by the City's Certified Arborist, a pre and post tree maintenance plan prepared by a Certified Arborist shall be submitted outlining the steps that will be taken to protect the mature trees on the property. The maintenance plan shall be subject to review and approval by the City's Arborist. The plan shall be fully implemented to the satisfaction of the City's Arborist and regular inspections shall be conducted by the Arborist to verify completion of specified measures at appropriate points before the issuance of permits, during construction and after completion of the project.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.

7. Comprehensive photo documentation of the residence, the overall property and the streetscape must be provided to the City in a digital form determined to be satisfactory by the City. The purpose of the documentation is to preserve an historic record of the property in both the City and in the Lake Forest-Lake Bluff Historical Society archives.
8. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood during construction and to minimize impacts on trees intended for preservation. On street parking on Everett Road and Evergreen Road is not permitted. Off site parking for workers and shuttles to the site may be required.
9. This project must abide by all of the terms, conditions, restrictions, and provisions of The City of Lake Forest City Code, and all other applicable codes, ordinances, rules, and regulations.

854 Everett Road

Continued Consideration of a Request for Approval of the Demolition of an Existing Residence and Approval of a Replacement Residence and Attached Garage. Approval of the Overall Site Plan and Conceptual Landscape Plan is Also Requested.

Owner: Elena Ciorobitca

Representative: Firmin S. Senga, architect

Staff Contact: Kate McManus, Assistant Planner

Summary of Request

This is a request for approval of the demolition of an existing single family residence and attached garage and construction of a replacement residence and attached garage. Approval of the overall site plan and landscape plan is also requested. No building scale variance or other variances are requested.

Action to Date

The Board initially considered a petition for this property in July. At that time, additions and significant alterations to the existing house were proposed. Based on direction from the Board, at the October 5, 2016 Building Review Board meeting, a petition for demolition of the existing house and a replacement residence was presented. The Board stated general support for the proposed demolition and continued the petition with direction to the petitioner to refine the plans for the replacement residence. Specifically, the Board asked the petitioner to explore alternatives for the 3 car garage to improve functionality and reduce the visual prominence of the garage doors, refine the architectural details and massing to achieve consistency with the chosen style on all elevations (including the tower, dormers, rear doors and square bay), break up the long expanses of wall on the side elevations, simplify the roof forms, particularly as viewed from the front elevation and develop a landscape plan that helps to mitigate the appearance of increased mass of the house and incorporates, at a minimum, replacement inches commensurate with the tree inches that will be removed from the site.

Proposed Replacement Structure

The statement of intent and supporting materials submitted by the petitioner are included in the Board's packets and more fully explain the proposed project. A summary of the petition and a staff evaluation are provided below.

The City Code establishes the following Standards for Architectural and Site Design Review for the Board's review of new construction.

Site Plan and Landscaping

The proposed house and attached garage are sited in full conformance with zoning regulations. The proposed attached garage will be slightly forward of the existing house; however, the main mass of the house will be shifted further back on the lot than the existing house. The existing curb cut and driveway remain; it appears that the driveway width will be slightly reduced from 17 feet, 2 inches to 16 feet, in conformance with the maximum driveway width permitted by the Code.

In response to the Board's direction, the house was shifted a couple feet further back on the lot to allow for space between the motorcourt and front façade. The siting of the house also allows the existing maple tree northeast of the house to be preserved. As previously proposed, the maple tree at the northwest corner of the house will be removed due to the proximity of the tree's root system

to the foundation of the replacement house. The garage wing was also shifted further west to allow for more space between the garage and tower element. The motorcourt is now proposed as concrete with a decorative paver border.

- ❖ Staff requests clarification on the distance between the motorcourt and front façade. The City's Certified Arborists recommends that a minimum of 5 feet be provided to allow adequate space for minimal plantings.

The City's Certified Arborist reviewed the landscape plan and noted that an adequate amount of replacement inches are reflected on the plans. Landscape screening is provided along the property lines and in front of the residence to minimize the massing of the garage. A 4 foot tall fence and vehicular gate are proposed at the front of the property. A pool is proposed in the rear yard. A pre and post tree maintenance plan will be required for the mature maple tree at the northeast corner of the residence.

- ❖ Details on the proposed gate and fencing are expected to be presented at the meeting.

Elevations

Based on the lot size, a residence of up to 4,000 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 400 square feet of design elements. The proposed house measures 4,012 square feet. The project as currently presented exceeds the allowable square footage by 12 square feet. This issue is being addressed by the petitioner through minor revisions to the plans and staff will verify that the project does not exceed the allowable square footage prior to issuance of a building permit. The residence is under the allowable 35 feet maximum height at 30 feet, 6 inches, assuming that no filling is proposed on the site. The garage is 748 square feet and the design elements total 126 square feet.

According to the petitioner's statement of intent, the residence is designed in the French Eclectic style. The following refinements were made in response to the Board's comments:

- ❖ Additional space was provided for the round tower element as a result of the garage shifting further to the west. Furthermore, the tower now projects out from the plane of the front façade.
- ❖ The dormer windows are consistent in scale and roof pitch on all elevations.
- ❖ The roof forms were further simplified. The garage roof form was lowered, visually separating the garage wing from the main mass of the house.
- ❖ The square bay on the front elevation was eliminated. A one-and-a-half story front gabled projection is now proposed.
- ❖ The expanse of solid wall on the west elevation was broken up with additional casement windows. Furthermore, the wall of the garage projects forward from the house providing 2 wall planes.
- ❖ The rear French doors no longer break the eave line. Additional dormers are now proposed on the rear elevation.

Type, color, and texture of materials

No changes are proposed to the exterior materials since the Board last saw this petition. The exterior materials appear to be of high quality and consistent with the City's design guidelines and selected architectural style. Natural exterior materials are specified. Based on the annotated elevations, brick is proposed as the primary exterior material with limestone and stucco accents. The gutters and downspouts are copper, the chimney is brick with clay chimney pots, the windows are aluminum clad, and the roof is cedar shingle. Although a number of exterior materials are proposed, the French Eclectic style is generally characterized by a combination of exterior finishes and textures.

❖ A color rendering is expected to be presented at the meeting.

A 4 foot tall black metal picket fence is proposed along the front property line. A 4 foot tall wood fence is proposed along the side and rear property lines. As noted above, more information is requested on the proposed gate and fence at the front of the residence.

Description of Property *(portions repeated from previous staff report)*

The property is located on the north side of Everett Road at its intersection with Evergreen Drive. The property is Lot 9 of the Thomas F. Yore Estates subdivision and is 20,000 square feet. St. Mary's Primary School is located directly behind the property. This stretch of Everett Road is characterized by just a few one story ranch homes that are relatively close to and fully visible from the street. Larger homes, on larger lots, with less visibility from the Everett Road are located on the south side of Everett Road. To the west, Everett Road approaches Waukegan Road and commercial and institutional uses are located near the intersection. This is a transitional area, without a single distinct character.

The lot is rectangular and generally consistent in size and shape with neighboring lots. The property has very few trees at the front of the lot making the house fully visible from the street. The existing residence is a split level brick ranch constructed in 1955. The home has undergone very few exterior modifications; aluminum siding and trim was installed in 1973. The existing house is not historically or architecturally significant.

Proposed Demolition

The Code establishes criteria for the Board's review of demolition requests. A review of the criteria is provided below. The Code does not require that all criteria be satisfied but instead, that on balance, the criteria and the intent of the Code to preserve significant residences, is met.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. As noted above, a review of City records show the existing structure was constructed in 1955. The residence is a one story ranch house with an attached garage and there is no known architect of record. The existing façade material is brick with an asphalt roof. This is not an architecturally or historically significant structure in the neighborhood, although it is characteristic of some of the other homes in the immediate area.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. Previous design iterations are included in the Board members' packets as background for the purpose of understanding the alternatives considered by the petitioner to date. As evidenced in the materials presented, the extent of work needed to modify the house to meet the owner's goals results in significant demolition work and a compromised end product.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not met. The existing residence is suitable for residential use and no structural issues were identified in the structural evaluation.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the demolition and construction of an appropriate replacement structure will adversely impact the value of property within the neighborhood.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

The criterion is not fully met. The concepts for the replacement house, as currently presented, are not yet in full conformance with the applicable standards and Design Guidelines.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, no correspondence or contacts have been received regarding this request.

Recommendation

Recommend approval of the demolition of the existing residence and approval of the replacement residence, attached garage, landscaping and overall site plan based on the findings detailed in this staff report which document that the plans as presented and as modified by the recommended conditions of approval, meet the design standards and requirements of the City Code as detailed in this staff report. Approval is recommended subject to the following conditions of approval:

Conditions of Approval

Prior to the Issuance of Building Permits

1. The plans should be modified to respond to the items listed below. If additional modifications are made to the plans as the result of final design development or in response to Board direction, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
 - a. The site plan shall demonstrate that there is a minimum of five feet between the garage court and the house to allow space for at least minimal plantings.
 - b. Details on all exterior materials shall be provided. Natural materials, consistent with the plans presented to the Board, should be used consistently on all elevations and should be clearly indicated on the plans submitted for permit.
 - c. Details shall be provided on the chimney pots.
 - d. Windows, both on the house and on the garage shall be generally consistent in form and detailing.

- e. Detailed information on the windows shall be submitted with the permit application. Muntins shall be affixed to the interior and exterior of the glass.
 - f. The residence shall fully comply with the building scale ordinance.
 - g. The gate and fencing shall fully comply with zoning regulations.
2. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, to properly direct drainage.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation and to protect trees and vegetation on neighboring properties during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
4. The final landscape plan shall reflect at a minimum, replacement inches for trees removed as determined to be required by the City Arborist consistent with the Code requirements. The plan will be subject to final review and approval by the City Arborist.
 - a. The final landscape plan shall be drawn on the approved grading plan to allow confirmation by staff that there are no conflicts between proposed plantings and overland stormwater flow routes.
 - b. Foundation plantings meet the minimum Code requirements.
 - c. Sufficient perimeter plantings are proposed to screen the mass of the house and the garage court from the street and from adjacent properties to the east and west.
5. If determined to be necessary by the City's Certified Arborist, a pre and post tree maintenance plan prepared by a Certified Arborist shall be submitted outlining the steps that will be taken to protect the mature trees on the property. The maintenance plan shall be subject to review and approval by the City's Arborist. The plan shall be fully implemented to the satisfaction of the City's Arborist and regular inspections shall be conducted by the Arborist to verify completion of specified measures at appropriate points before the issuance of permits, during construction and after completion of the project.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
7. Comprehensive photo documentation of the residence, the overall property and the streetscape must be provided to the City in a digital form determined to be satisfactory by the City. The purpose of the documentation is to preserve an historic record of the property in both the City and in the Lake Forest-Lake Bluff Historical Society archives.
8. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood during construction and to minimize impacts on trees intended for preservation. On street parking on Everett Road and Evergreen Road is not permitted. Off site parking for workers and shuttles to the site may be required.
9. This project must abide by all of the terms, conditions, restrictions, and provisions of The City of Lake Forest City Code, and all other applicable codes, ordinances, rules, and regulations.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 854 Everett Road Owner(s) Elena Ciorobitca
 Architect Firman Senga Reviewed by: Jen Baehr
 Date 5/5/2021
 Lot Area 20000 sq. ft.

Square Footage of New Residence:

1st floor 2147 + 2nd floor 1516 + 3rd floor 212 = 3875 sq. ft.

Design Element Allowance = 400

Total Actual Design Elements = 168 Excess = 0 sq.ft.

Garage 718 sf actual ; 600 Excess = 118 sq. ft.

Garage Width 23' ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3993 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4000 sq. ft.

DIFFERENTIAL = -7 sq. ft.

Under Maximum

Allowable Height: 35 ft. Actual Height 31' - 11" ft.

NET RESULT:

7 sq. ft. is

0.17% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 400 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 22 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 146 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 168 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
854 Everett Road

900-950
900-006

W EVERETT RD

EVERGREEN DR

FRANZ DR

WOLPE DR

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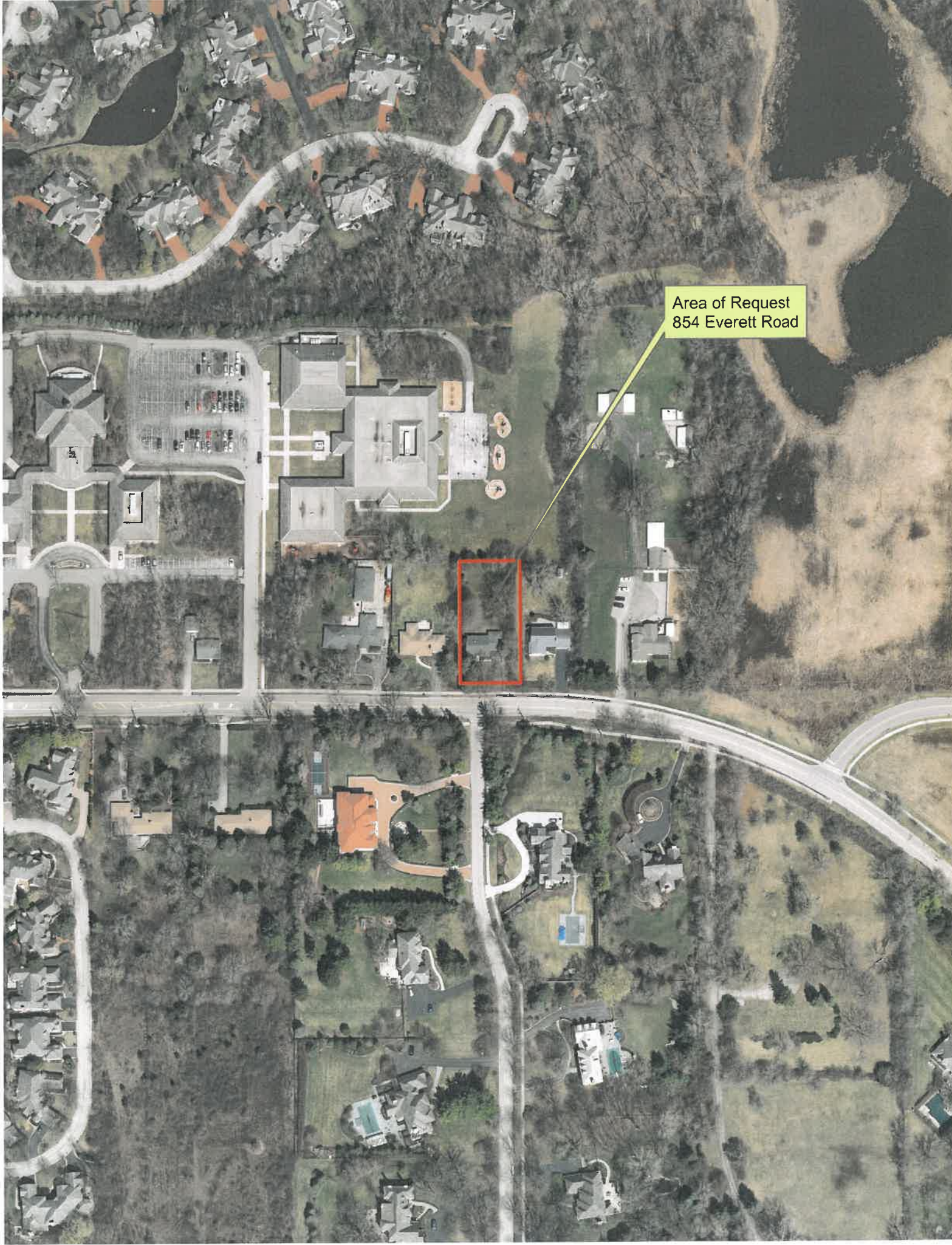
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Area of Request
854 Everett Road



Area of Request
854 Everett Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 854 W Everett Rd, Lake Forest, IL 60045

APPLICATION TYPE

REQUEST FOR EXTENSION OF APPROVAL

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Elena Ciorobitca

Owner of Property

854 W Everett Rd, Lake Forest, IL 60045

Owner's Street Address (may be different from project address)

Lake Forest, IL 60045

City, State and Zip Code

847-414-6443

Phone Number

Fax Number

elenaciorobitca@yahoo.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Firmin S. Senga

Name and Title of Person Presenting Project

SENGA ARCHITECTS INC.

Name of Firm

166 W Washington #600

Street Address

Chicago, IL 60602

City, State and Zip Code

773-656-8946

Phone Number

Fax Number

fsengas@sengaarch.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



Re: 854 Everett Road Changes

This letter is to describe the changes to drawings that were made since the last approval of the set in November 2016.

- Garage square footage reduced, and house depth reduced by 6" to reduce total house square footage by 62 sf in order to comply with zoning ordinance of max. 4,000 sf. This change resulted in slight roof size reduction as well.
- Window muntin pattern changed to align with the French eclectic design style.
- Number of overall dormers have been reduced from the previous 14 to 10
- Tower has been shifted slightly to the West
- Window wells have been added
- Minor changes to the floor plan (removal/relocating of closets, etc.)

[Cell:773-656-8946](tel:773-656-8946)

Office: 312-235-6816

fsengas@sengaarch.com

Sincerely,

Firmin S. Senga

STATEMENT OF INTENT

Located in the South-Western area of Lake Forest, the property is placed at the intersection of Everett Road and Evergreen Drive. Within the limits of the block is a gathering mixture of urban utilities: church, hospital and canine club. The adjacent neighbors are both residential.

Heading west on Everett, there is dense landscaping consisting of mature trees and tall shrubbery. The further west you go the less dense the landscaping. It is noticeable that the subject property represents the limit between those two landscapes. Even though the neighbors match their heights at the same level of 1 to 1-1/2 stories, the impact of their unity is reduced by the vegetation.

A second instance of the in-between status is related to the urban scale. Going through Evergreen Dr., big sites and large setbacks create a coherent image of different proportions. Once approaching the intersection of Everett, the last two volumes on the left and right change the visual perception through their imposing height and scale. This leads to an interesting end perspective. Therefore, a 1-1/2 story home with large setbacks and shallow roof slope seems to be inconsistent.

The existing building is not characterized by any special detail with a relevant style or handcraft work; therefore, in order to pursue the personal goals, the homeowners propose demolish entirely the existing home and build a new single family house.

The proposal aims to moderate the transition from the quietness of the residential to the dynamic of the adjacent urban sites, through both formal and informal tools such as style, proportions and sustainable vision in future development of the entire road. In terms of a better integration inside the neighborhood, the building materials preserve the unity: brick, stone, decorative elements and roof with same pitched slope.

The architectural proposal rose from the homeowner's necessity to enlarge their personal space and to add new parking in the garage. Due to their preferences regarding the main functional organization, which converged to a clear separation between day and night areas, the project followed a classical pattern putting together all the bedrooms and their utilities on the second floor, while the living, dining, kitchen and entertainment the same level.

With a basement below grade for additional storage and entertainment.

With respect for the built environment and a personal bias from the owners, French eclectic seemed to be the perfect fit of the new project. Starting with a simple volume, the new elevation reunites the traditional features of the style with a modern interpretation.

The main stylistic point is asymmetrical: applied to all façades, even though they serve different purposes. In a way of coherence, the functions are clearly divided, so that the form could better follow the function: the main façade is dedicated to the pedestrian entryway, the right side façade next to the entry covers the car entrances, the rear façade highlights the relation inside-outside through a wide glazed area opened to the rear porch, and the right side façade houses the chimney. The elevations are also divided in two horizontal layers resulted from the main day-night function overlapping. Taken horizontally, vertically or around the house the same notion of proportion and decorative expression exists. This entire rhythm of the brick/window alternation takes away from the horizontal length of the house. The front entry with a tower next to the door brings a vertical element to the structure. The vertical entrance makes the house seem more vertical than horizontal. Hierarchy is important to any classical interpretation; therefore the composition is distinguished by a tall pedestrian main entrance, which is also a symbolic dominant in the end of the road front perspective off of Evergreen Dr.

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☒ Copper
- ☐ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☒ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material cream clear

Window Treatment

Primary Window Type

- ☒ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish Morning Sky Gray

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

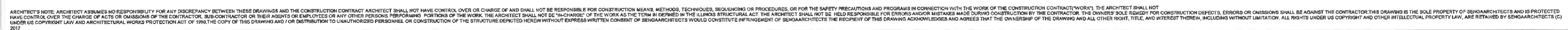
- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

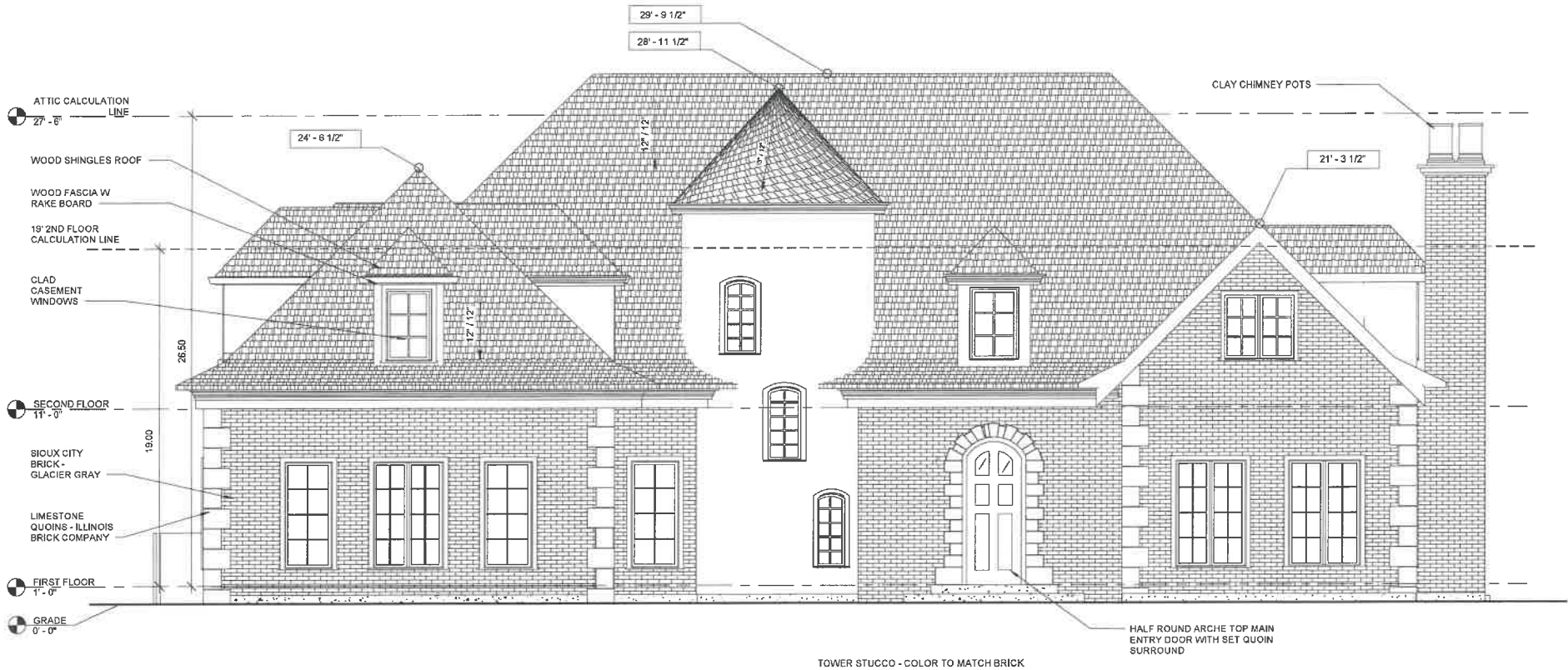
Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

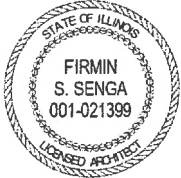




SOUTH ELEVATION (FRONT)

SENGAARCHITECTS

SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
WWW.SENGAARCH.COM



ILLINOIS LICENCE NUMBER: 001.021399
LIC. EXP.: 11.30.2022
DESIGN FIRM LICENSE NO.: 184.007480-0001
LIC. EXP.: 04.30.2021

consultants

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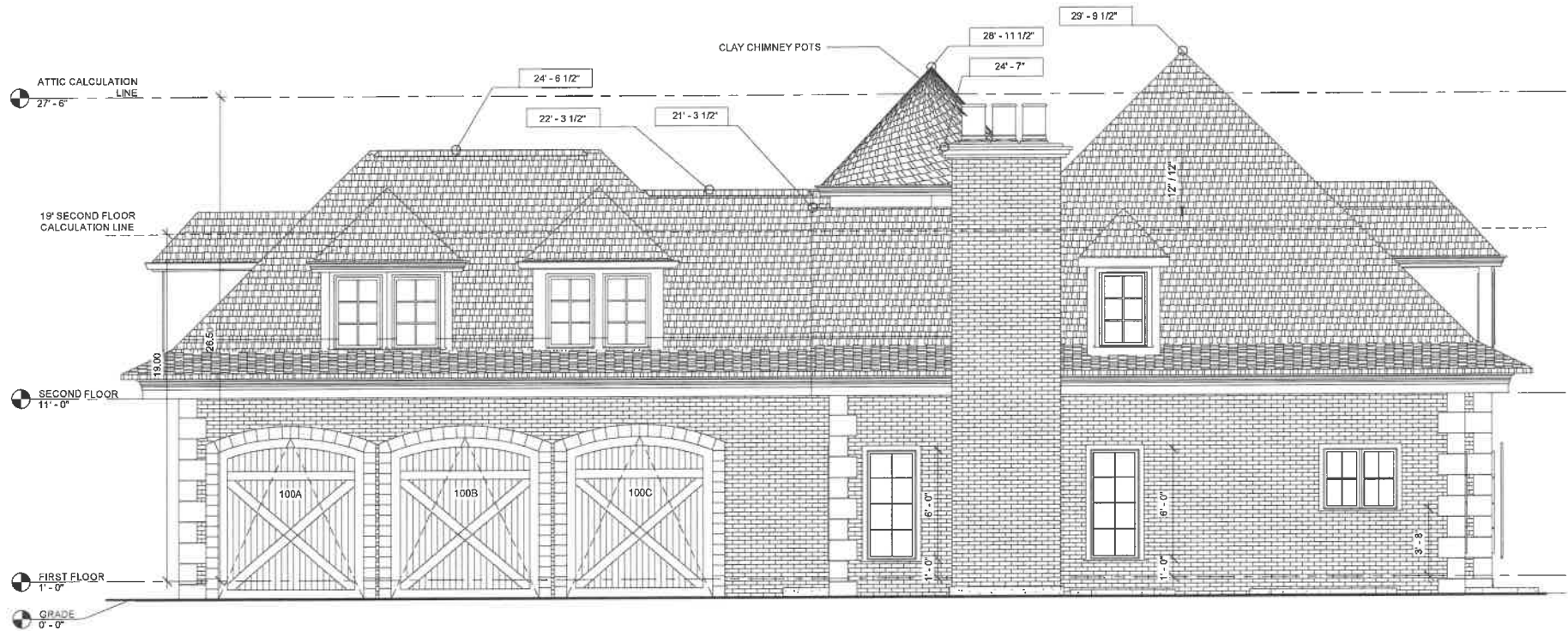
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Lake Forest, IL 60045
Project number: 21.023
Drawn by: Author
Checked by: Checker

Description:
SOUTH ELEVATION

BRB2



EAST ELEVATION (SIDE)



SENGAARCHITECTS

SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
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LIC. EXP.: 04.30. 2021

consultants

general notes:

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Project number:	21.023
Drawn by:	Author
Checked by:	Checker

Description:
EAST ELEVATION

BRB3

CURRENTLY PROPOSED NORTH ELEVATION

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SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
WWW.SENGAARCH.COM



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LIC. EXP.: 11.30.2022

DESIGN FIRM LICENSE NO.: 184.007480-0001
LIC. EXP.: 04.30.2021

consultants:

general notes:

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Project	854 W Everett Rd, Lake Forest, IL 60045
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Project number: 21.023

Drawn by:	Author
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Checked by:	Checker
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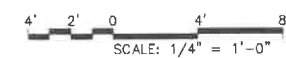
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NORTH ELEVATION

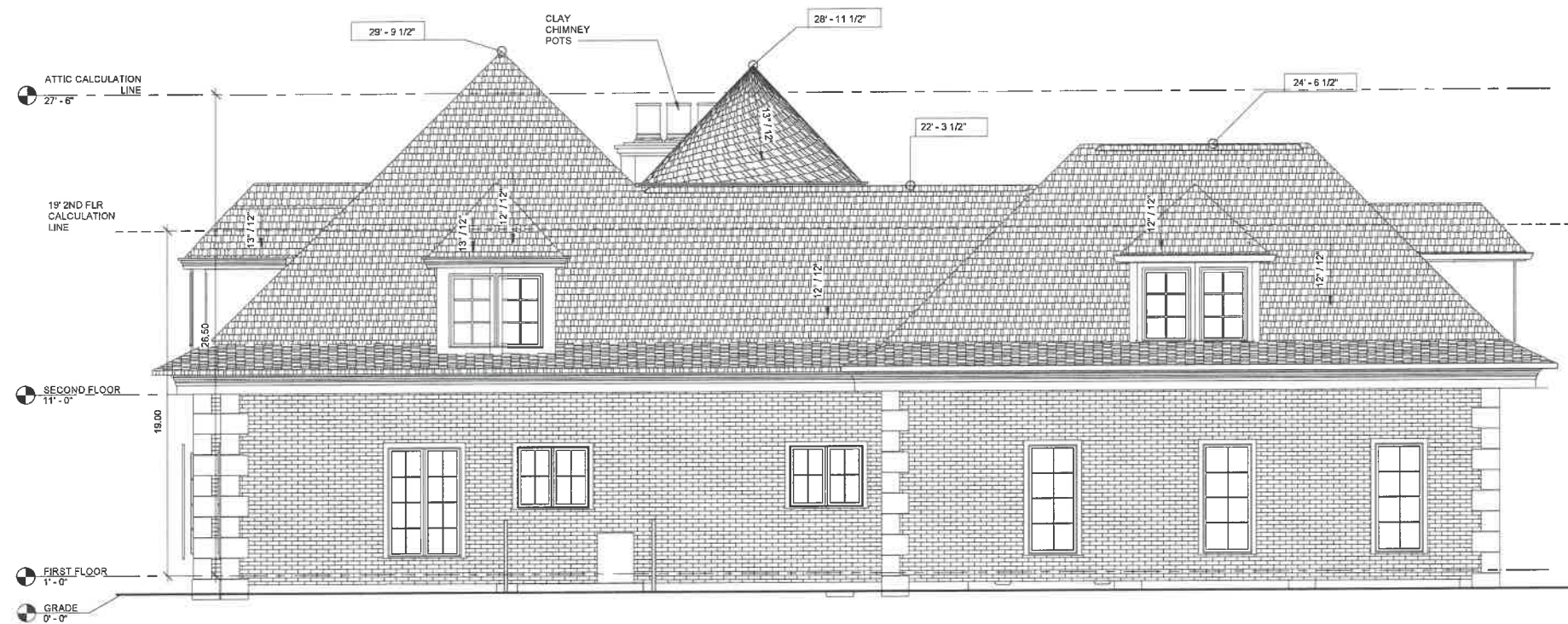
BRB4



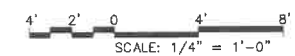
NORTH ELEVATION (REAR)

[illegible]

CURRENTLY PROPOSED WEST ELEVATION



WEST ELEVATION (SIDE)



SENGA ARCHITECTS

SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
WWW.SENGAARCH.COM



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LIC. EXP.: 04.30. 2021

consultants:

general notes:

[illegible]

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Project number: 21.023

Drawn by: RM

Checked by: FS

Description:

WEST ELEVATION

BRB5

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RENDERING - STREETScape

SENGAARCHITECTS

SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
WWW.SENGAARCH.COM



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Description:
RENDERING

BRB11

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MATERIALS

MAIN MATERIALS



SIoux CITY BRICK - GLACIER GRAY



ROOF WOOD SHINGLE



LIMESTONE, ILLINOIS BRICK COMPANY



WOOD PAINTED WINDOW, PELLA STORE, 450 SERIES



TAN DOOR, PELLA STORE, 450 SERIES



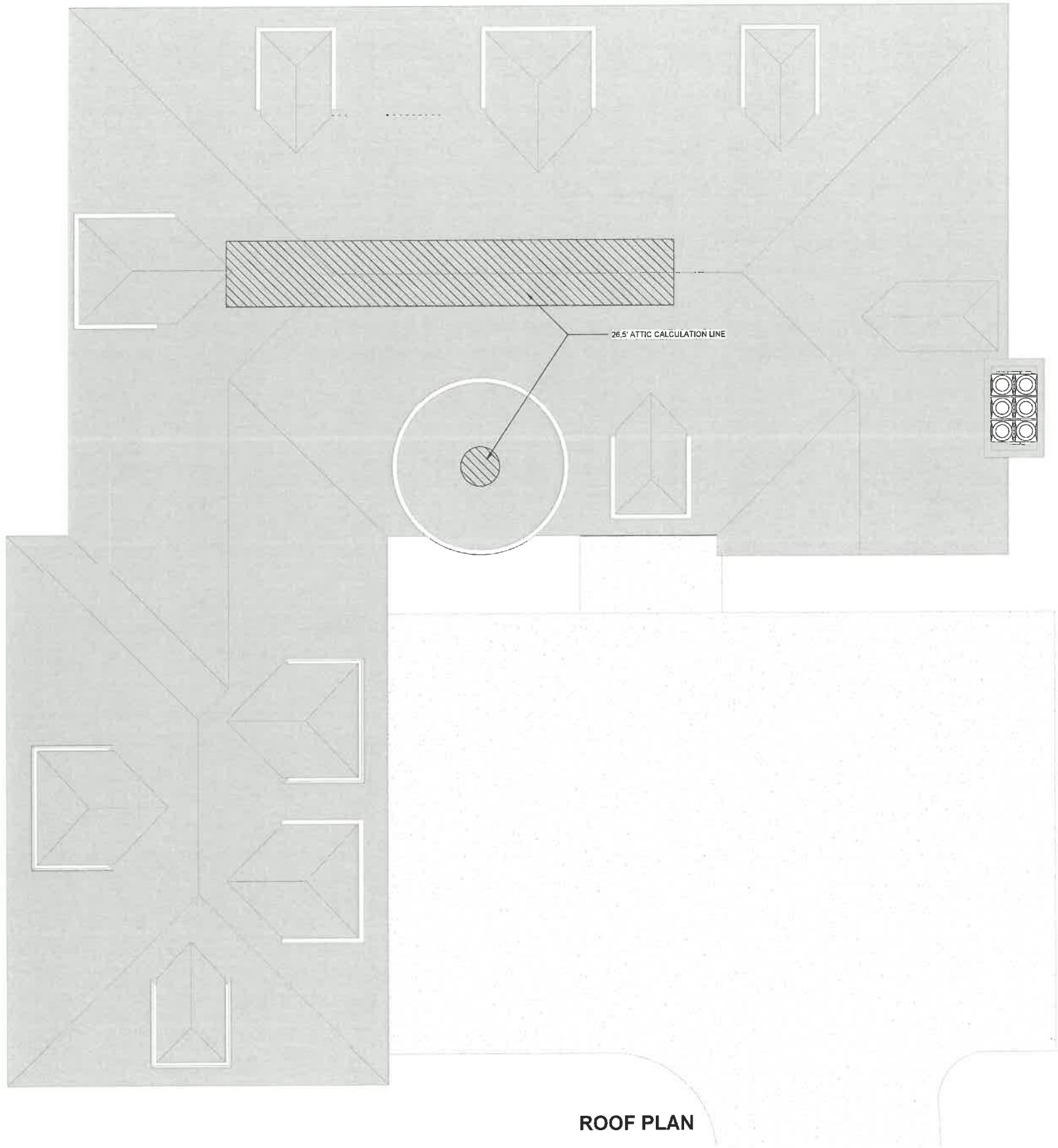
TRADITIONAL - GRILLE PATTERNS



Morning Sky Gray



EXTERIOR WINDOW FINISH - MORNING GRAY



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166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
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Description:
ROOF PLAN

BRB9

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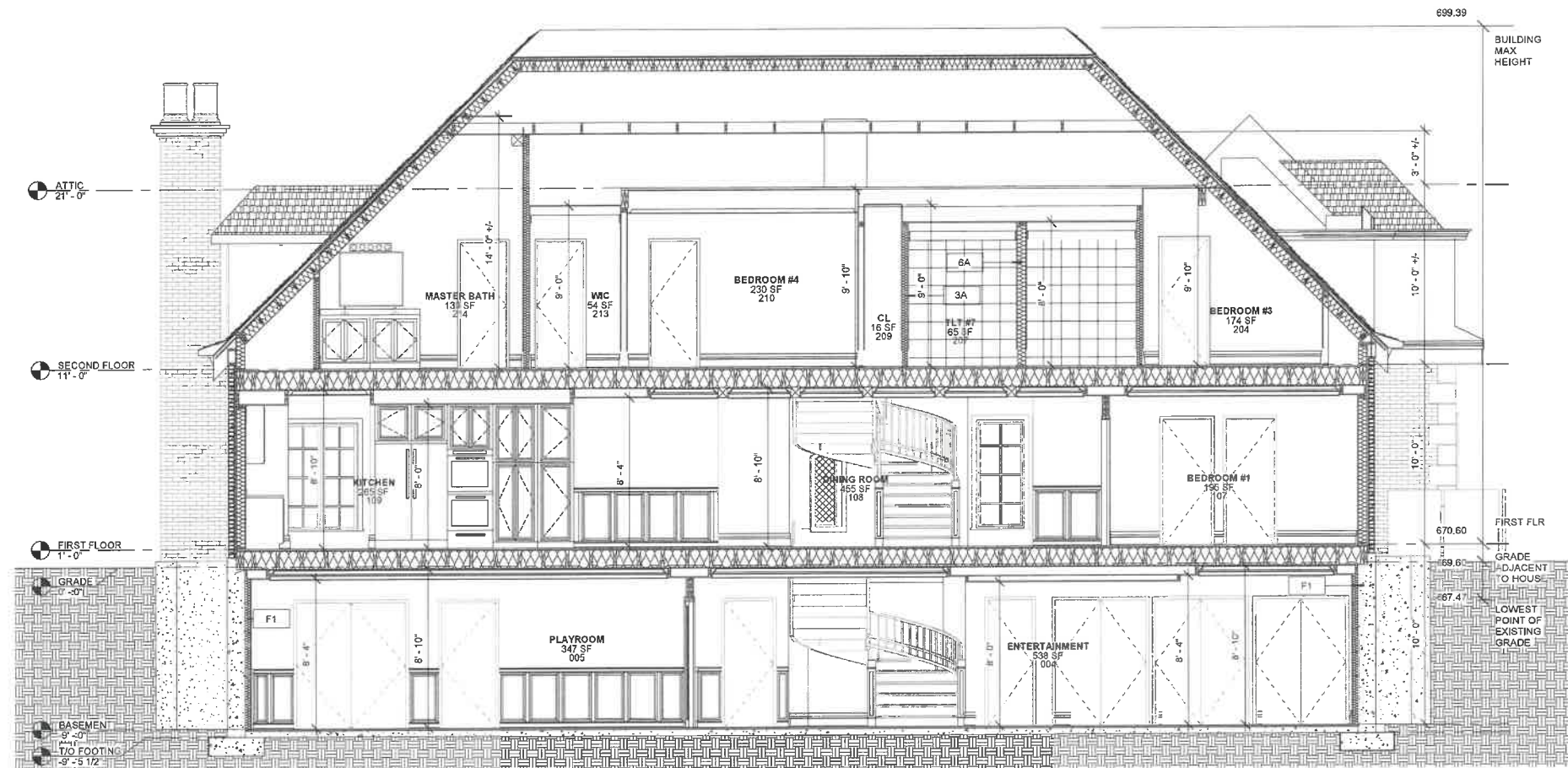
consultants:

general notes:

[illegible]

Description:
SECTION

BRB10



SECTION

[illegible]



SITE MASSING DIAGRAM

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Chicago Illinois 60602
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Project number: 21.023

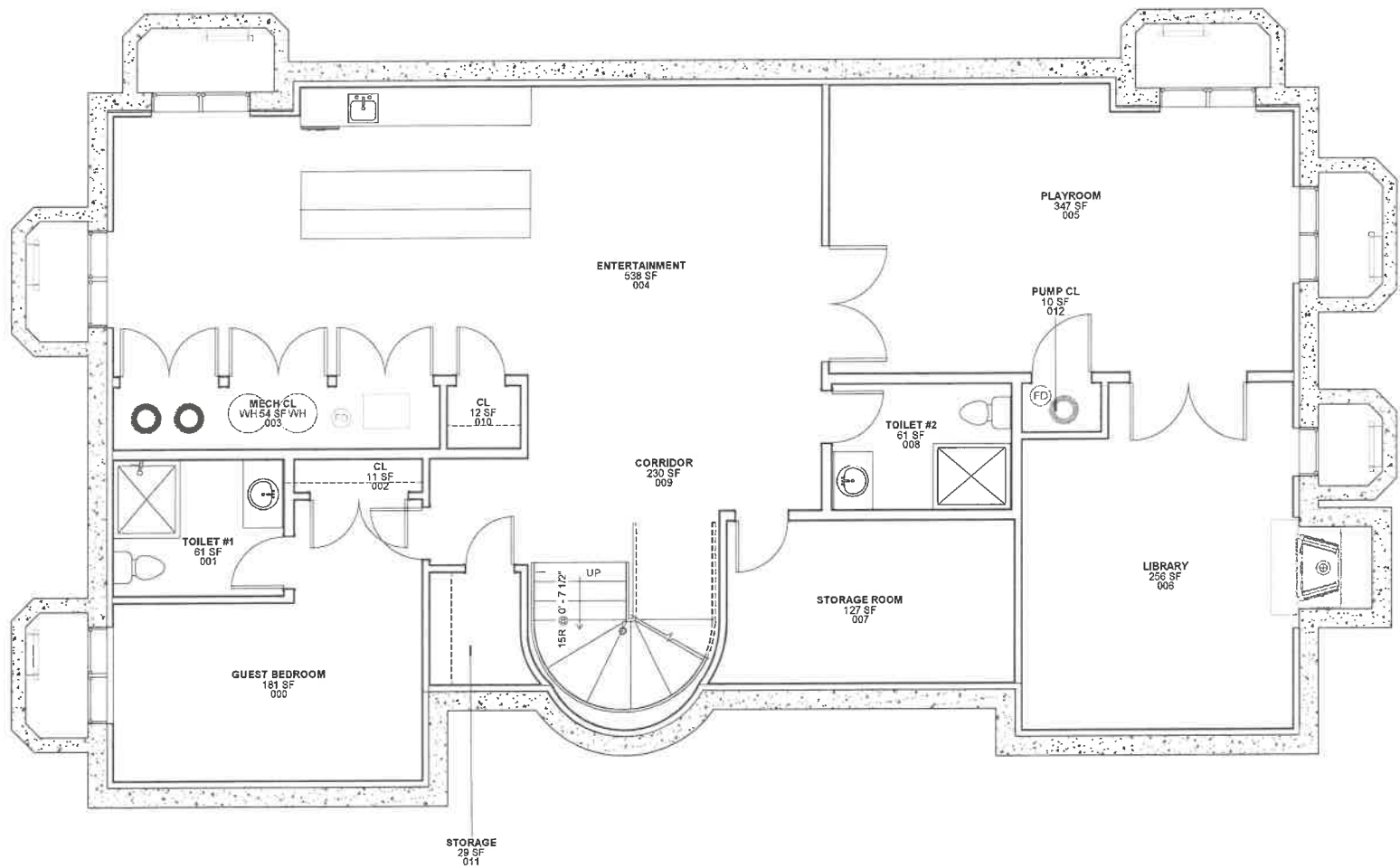
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Checked by: Checker

Description:

SITE MASSING

BRB12



BASEMENT FLOOR PLAN



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166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
info@sengaarch.com
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LIC. EXP.: 04.30.2021

consultants:

general notes:

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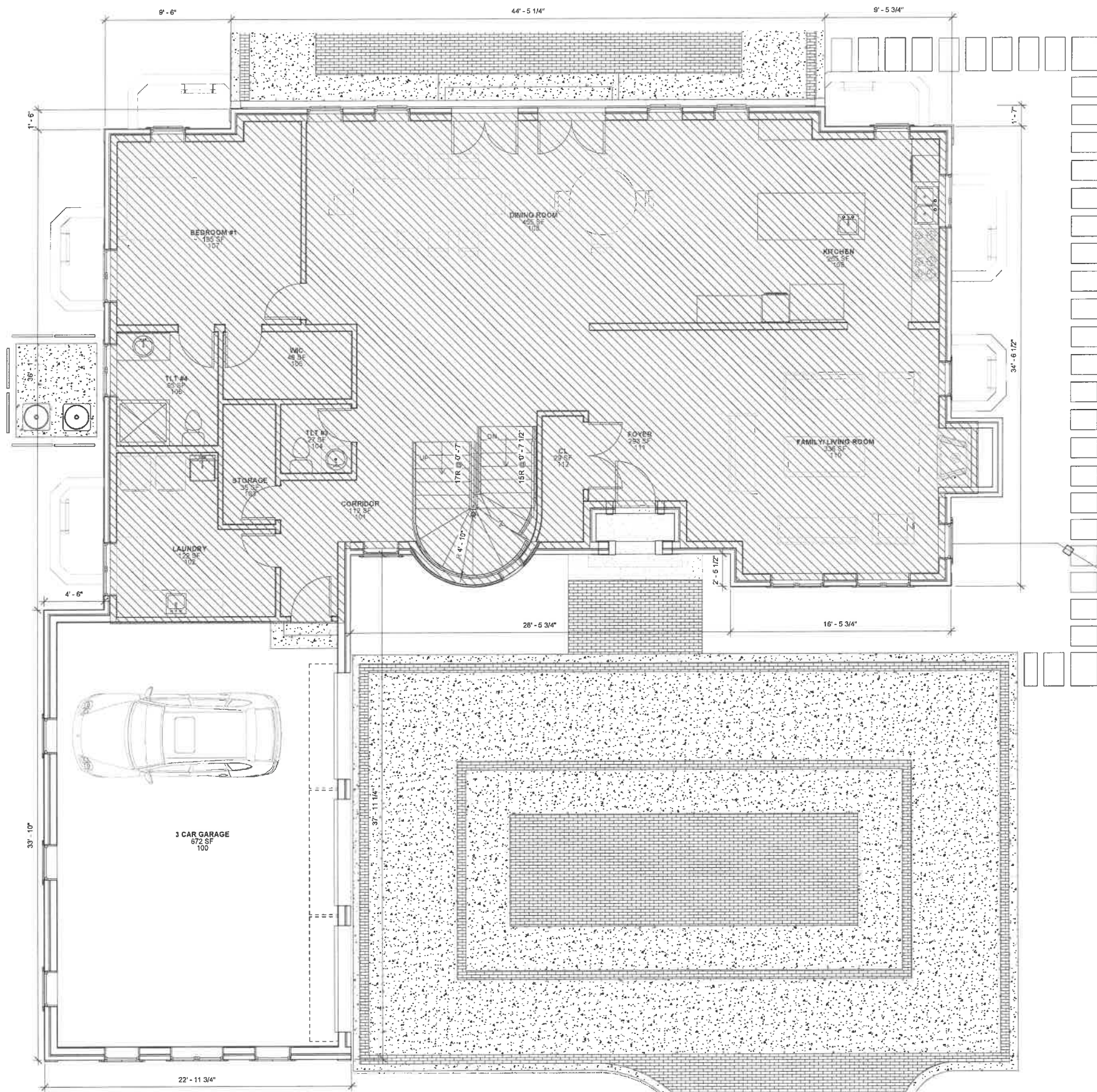


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Lake Forest, IL 60045
Project number: 21.023
Drawn by: Author
Checked by: Checker

Description:
BASEMENT FLOOR
PLAN

BRB6

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FIRST FLOOR PLAN

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SENGA ARCHITECTS
166 W Washington Street #600
Chicago Illinois 60602
Tel: 312 235 6969
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LIC. EXP.: 04.30.2021

consultants:

general notes:

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Project	854 W Everett Rd, Lake Forest, IL 60045
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Project number: 21.023

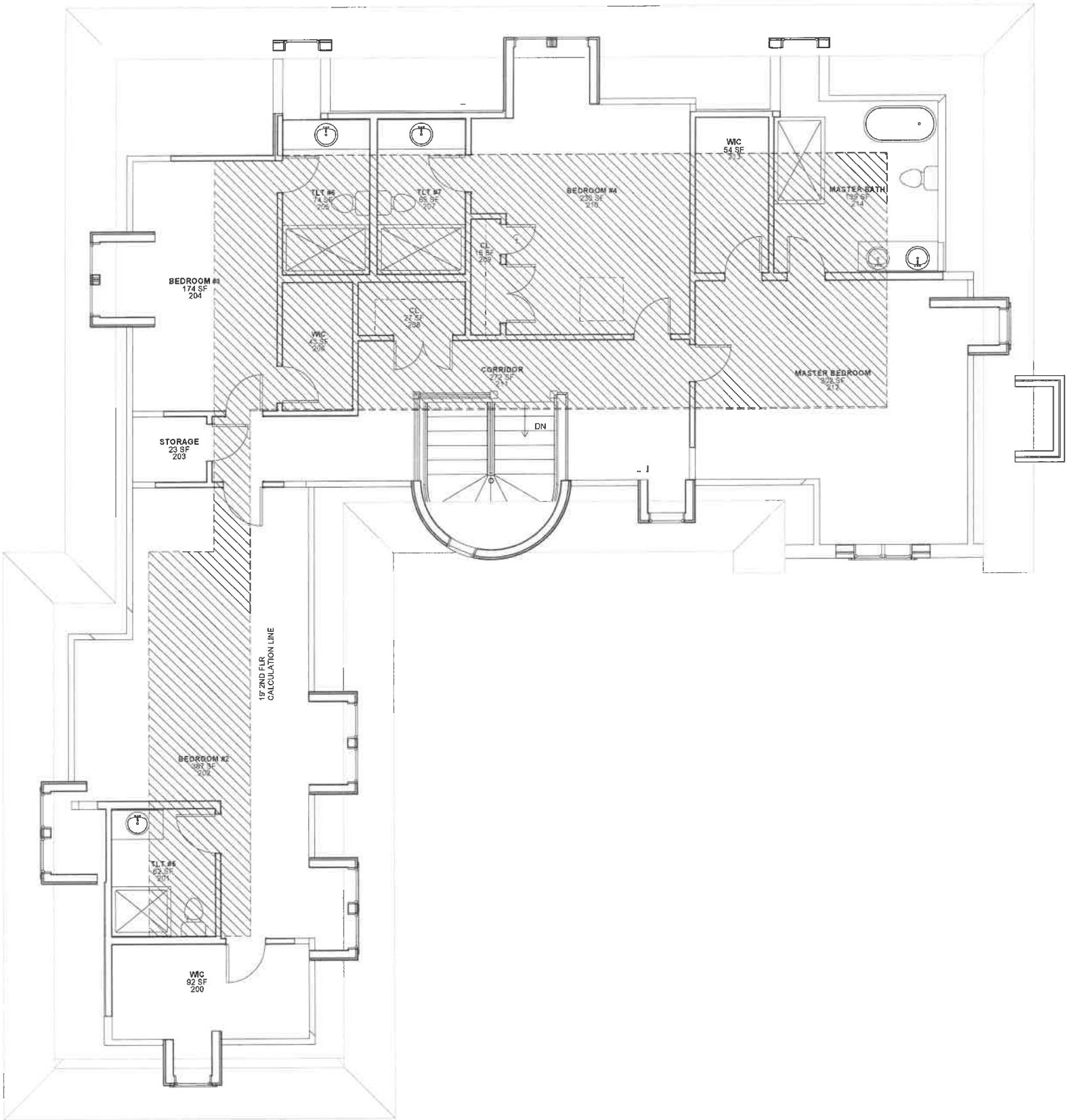
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Description:

FIRST FLOOR PLAN

BRB7



SECOND FLOOR PLAN



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LIC. EXP.: 04.30.2021

consultants:

general notes:

ISSUED FOR	REV	DATE
ISSUED FOR PERMIT	1	01/24/17

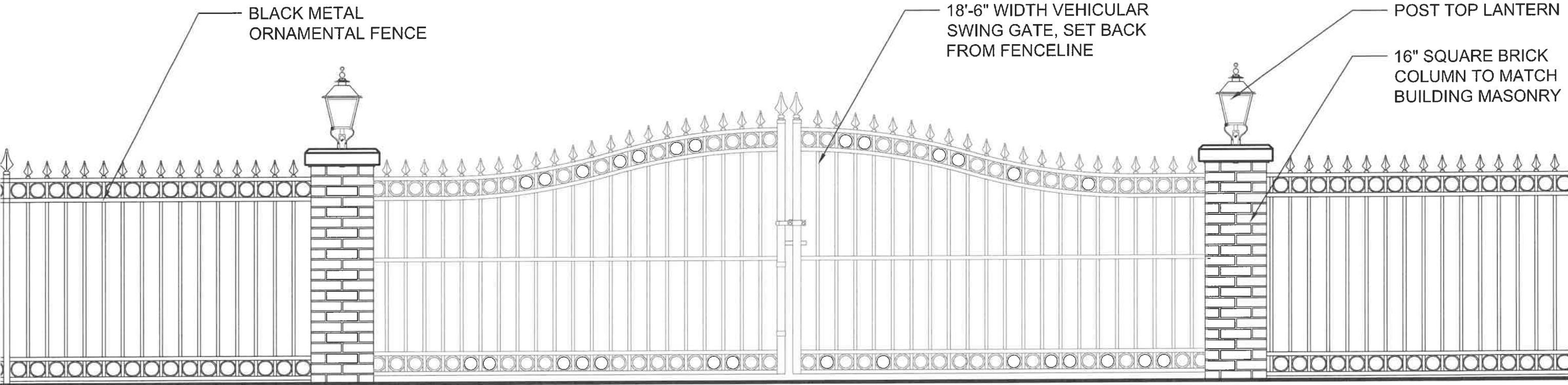


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Lake Forest, IL 60045
Project number: 21.023
Drawn by: RM
Checked by: FS

Description:
SECOND FLOOR PLAN

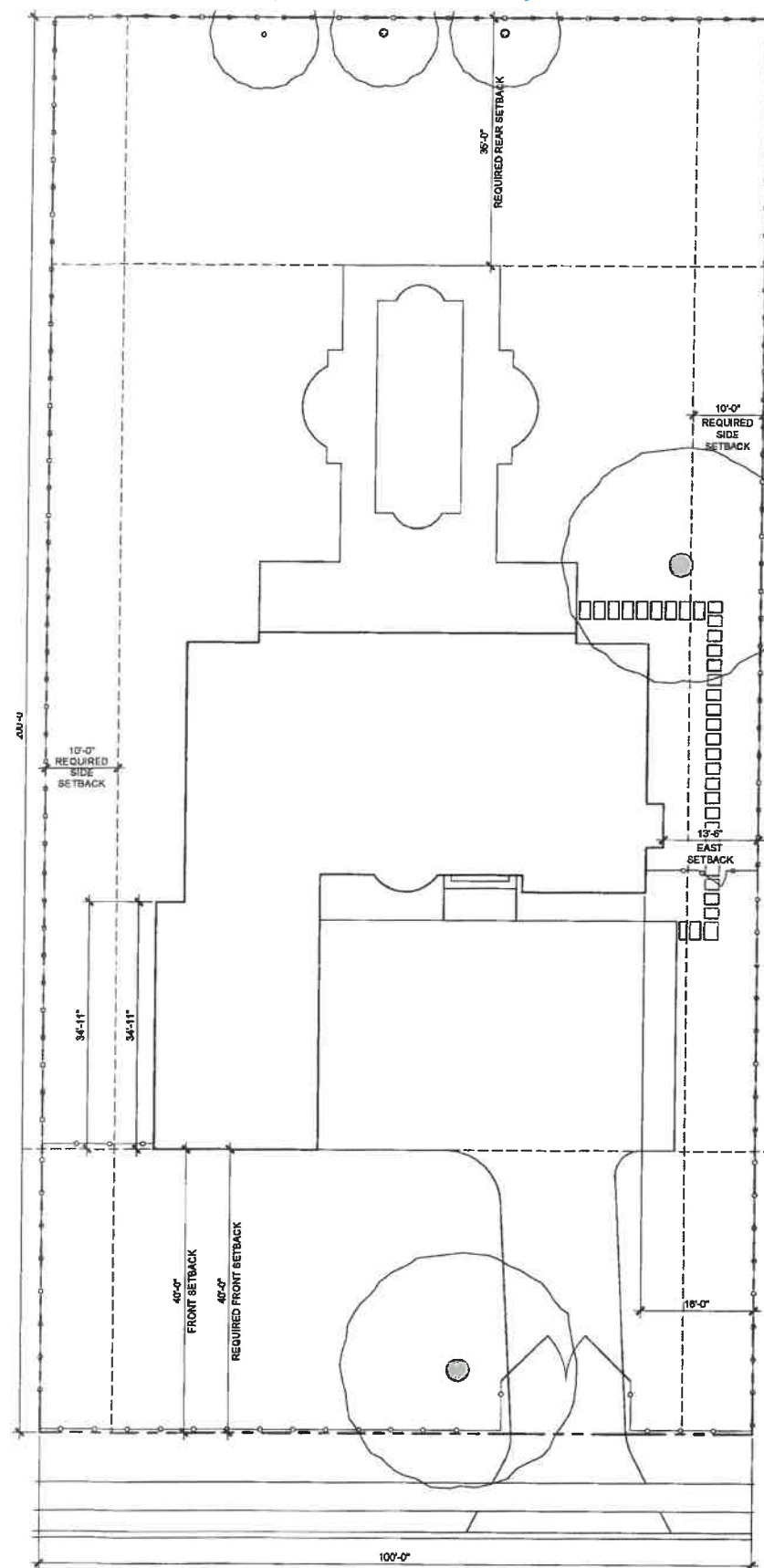
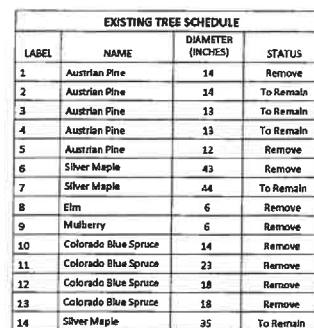
BRB8

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SCALE: 1/2" = 1'-0"

PREVIOUSLY APPROVED PLANS – NOVEMBER 2016



Sheet List	
Sheet Name	Sheet Number
COVER SHEET	T1
DEMOLITION PLAN	A1
NEW FIRST FLOOR PLANS	A3
NEW SECOND FLOOR PLANS	A4
ROOF PLAN	A5
ELEVATIONS	A6
LANDSCAPE AND HARDSCAPE PLAN	A8

ZONING LEGEND	
DESCRIPTION	REQUIREMENT
ZONING DISTRICT	R-2
LOT AREA	20,000 SF
MAXIMUM BULK	20,000 x 0.05 + 3,000 SF = 4,000 SF
MAXIMUM GARAGE EXEMPTION	800 SF
MAXIMUM BUILDING HEIGHT	35 FT
SECOND FLOOR CALCULATION LINE	19 FT
THIRD FLOOR/ATTIC AREA	26.5 FT
REQUIRED SETBACK : FRONT YARD	40 FT
REQUIRED SETBACK : INTERIOR SIDE YARD	12 FT
REQUIRED SETBACK : REAR YARD	35 FT

IMPERVIOUS SURFACE (SF)	
EXISTING HOUSE/LOT	2,699
PROPOSED HOUSE/LOT	7,198

SENGA ARCHITECTS
659 W Randolph Street #1205
Chicago Illinois 60661
C: 773 856 8946
fsengas@sengarch.com
WWW.SENGAARCH.COM

consultants:

general notes:

[illegible]

project no.	08.001
project	854 W Everett Rd, Lake Forest, IL 60045

description:
COVER SHEET

$$\frac{A}{T1}$$

1
T1
EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

2 NEW SITE PLAN
T1
SCALE: 3/32" = 1'-0"

[illegible]

consultants:

general notes:

[illegible]

PLAN
NORTH



project no. 08.001
project 854 W Everett Rd,
Lake Forest, IL
60045

description:
ELEVATIONS

$$\frac{A}{A6}$$
[illegible]

general notes:

[illegible]

project no. 08.001
project 854 W Everett Rd.
Lake Forest, IL
60045

description:
ELEVATIONS

$$\frac{A}{17}$$

Senga Architects
SENGA ARCHITECTS
659 W Randolph Street #1205
Chicago Illinois 60661
C: 773 656 8946
fsengas@sengaarch.com
WWW.SENGAARCH.COM

consultants.

general notes:

ISSUED FOR	REV	DATE



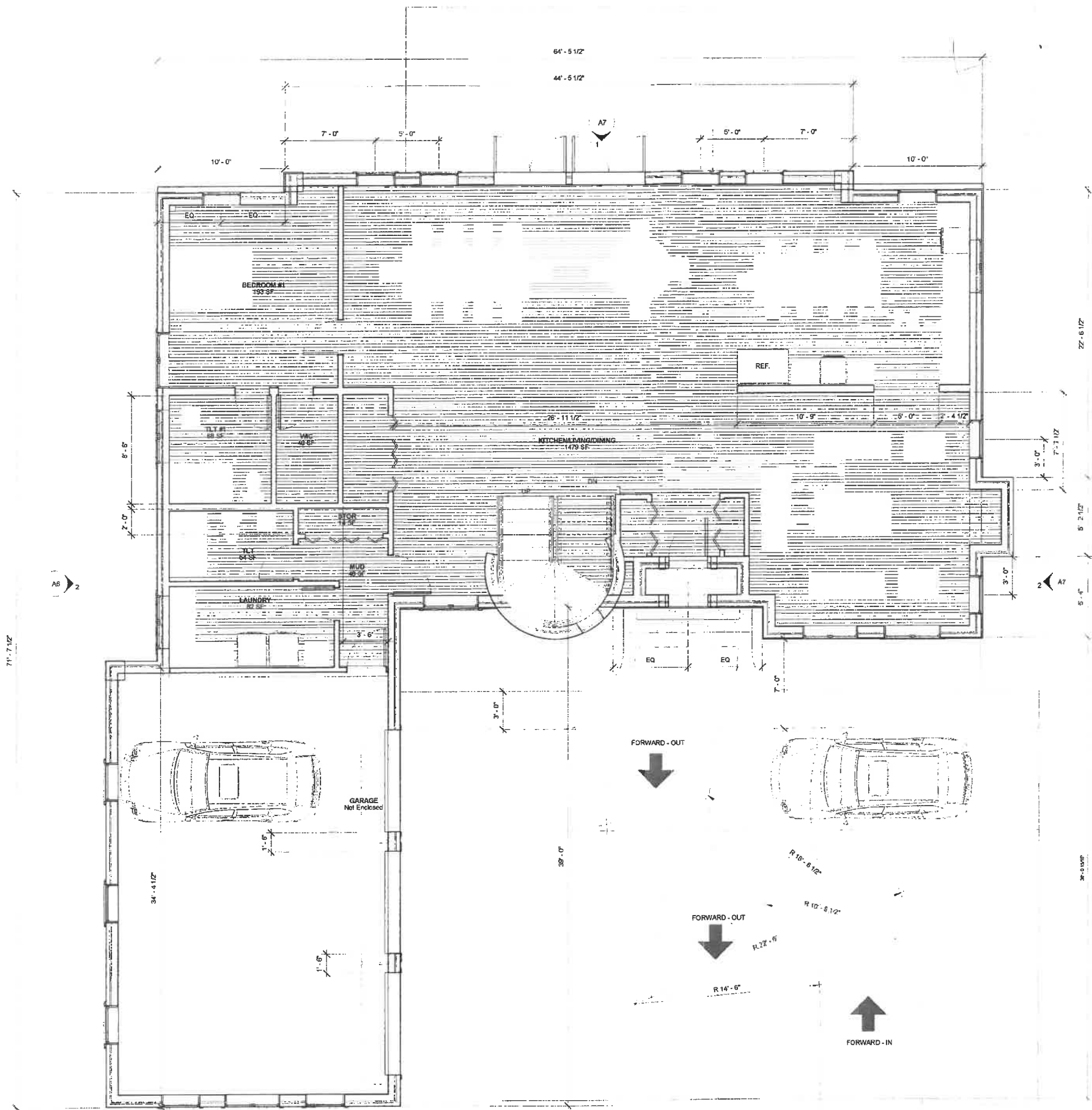
project no. 08.001
project 854 W Everett Rd,
Lake Forest, IL
60045

description:
ROOF PLAN

A
A5

1 NEW ROOF PLAN
SCALE: 1/4" = 1'-0"

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Senga Architects
SENGA ARCHITECTS
659 W Randolph Street #1205
Chicago Illinois 60661
C: 773 656 8946
fsengas@sengaarch.com
WWW.SENGAARCH.COM

consultants

general notes

ISSUED FOR	REV	DATE
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project no.	08.001
project	854 W Everett Rd, Lake Forest, IL 60045

description:
NEW FIRST FLOOR
PLANS



A
A3

consultants

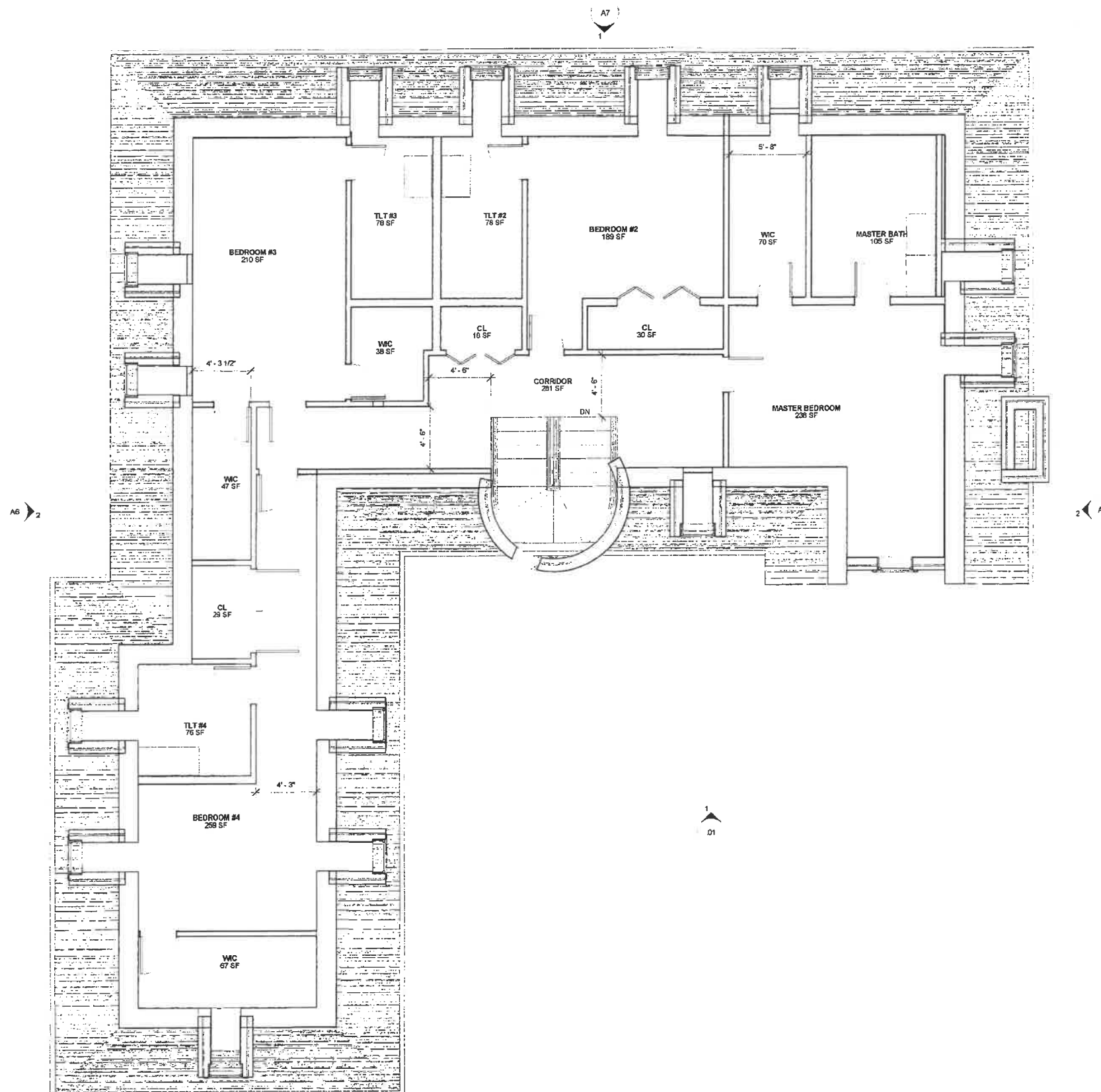
general notes

ISSUED FOR	REV	DATE
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PLAN
GETU

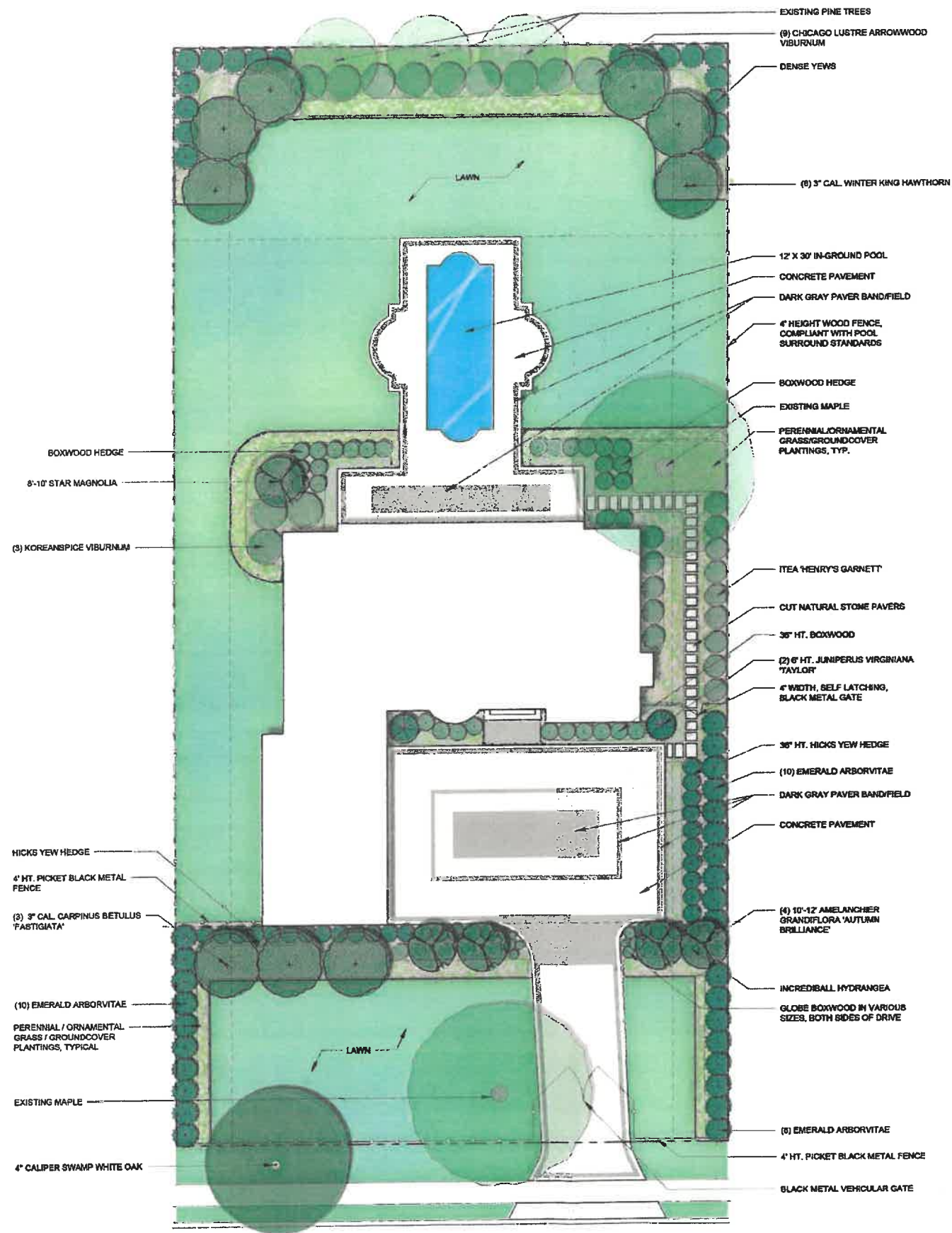
project no. 08.001
project 854 W Everett Rd,
Lake Forest, IL
60045

description:
NEW SECOND FLOOR
PLANS

A
4

1 NEW SECOND FLOOR PLAN
A4 SCALE: 1/4" = 1'-0"

[illegible]



1 **HARDSCAPE AND LANDSCAPE PLAN**
T1 SCALE: 3/32" = 1'-0"

SenGa Architects
SENGA ARCHITECTS
659 W Randolph Street #1205
Chicago Illinois 60661
C: 773 666 8948
fsengas@sengaaarch.com
WWW.SENGAARCH.COM

consultants:

general notes:

ISSUED FOR	REV	DATE
Approved and recommended for release by the originating activity	UNCLASSIFIED 1 2000 0000	00000000 00000000 00000000
1. Authority, if different from 1.1, 1.2, 1.3, 1.4, 1.5, 1.6, 1.7, 1.8, 1.9, 1.10, 1.11, 1.12, 1.13, 1.14, 1.15, 1.16, 1.17, 1.18, 1.19, 1.20, 1.21, 1.22, 1.23, 1.24, 1.25, 1.26, 1.27, 1.28, 1.29, 1.30, 1.31, 1.32, 1.33, 1.34, 1.35, 1.36, 1.37, 1.38, 1.39, 1.40, 1.41, 1.42, 1.43, 1.44, 1.45, 1.46, 1.47, 1.48, 1.49, 1.50, 1.51, 1.52, 1.53, 1.54, 1.55, 1.56, 1.57, 1.58, 1.59, 1.60, 1.61, 1.62, 1.63, 1.64, 1.65, 1.66, 1.67, 1.68, 1.69, 1.70, 1.71, 1.72, 1.73, 1.74, 1.75, 1.76, 1.77, 1.78, 1.79, 1.80, 1.81, 1.82, 1.83, 1.84, 1.85, 1.86, 1.87, 1.88, 1.89, 1.90, 1.91, 1.92, 1.93, 1.94, 1.95, 1.96, 1.97, 1.98, 1.99, 2.00, 2.01, 2.02, 2.03, 2.04, 2.05, 2.06, 2.07, 2.08, 2.09, 2.10, 2.11, 2.12, 2.13, 2.14, 2.15, 2.16, 2.17, 2.18, 2.19, 2.20, 2.21, 2.22, 2.23, 2.24, 2.25, 2.26, 2.27, 2.28, 2.29, 2.30, 2.31, 2.32, 2.33, 2.34, 2.35, 2.36, 2.37, 2.38, 2.39, 2.40, 2.41, 2.42, 2.43, 2.44, 2.45, 2.46, 2.47, 2.48, 2.49, 2.50, 2.51, 2.52, 2.53, 2.54, 2.55, 2.56, 2.57, 2.58, 2.59, 2.60, 2.61, 2.62, 2.63, 2.64, 2.65, 2.66, 2.67, 2.68, 2.69, 2.70, 2.71, 2.72, 2.73, 2.74, 2.75, 2.76, 2.77, 2.78, 2.79, 2.80, 2.81, 2.82, 2.83, 2.84, 2.85, 2.86, 2.87, 2.88, 2.89, 2.90, 2.91, 2.92, 2.93, 2.94, 2.95, 2.96, 2.97, 2.98, 2.99, 3.00, 3.01, 3.02, 3.03, 3.04, 3.05, 3.06, 3.07, 3.08, 3.09, 3.10, 3.11, 3.12, 3.13, 3.14, 3.15, 3.16, 3.17, 3.18, 3.19, 3.20, 3.21, 3.22, 3.23, 3.24, 3.25, 3.26, 3.27, 3.28, 3.29, 3.30, 3.31, 3.32, 3.33, 3.34, 3.35, 3.36, 3.37, 3.38, 3.39, 3.40, 3.41, 3.42, 3.43, 3.44, 3.45, 3.46, 3.47, 3.48, 3.49, 3.50, 3.51, 3.52, 3.53, 3.54, 3.55, 3.56, 3.57, 3.58, 3.59, 3.60, 3.61, 3.62, 3.63, 3.64, 3.65, 3.66, 3.67, 3.68, 3.69, 3.70, 3.71, 3.72, 3.73, 3.74, 3.75, 3.76, 3.77, 3.78, 3.79, 3.80, 3.81, 3.82, 3.83, 3.84, 3.85, 3.86, 3.87, 3.88, 3.89, 3.90, 3.91, 3.92, 3.93, 3.94, 3.95, 3.96, 3.97, 3.98, 3.99, 4.00, 4.01, 4.02, 4.03, 4.04, 4.05, 4.06, 4.07, 4.08, 4.09, 4.10, 4.11, 4.12, 4.13, 4.14, 4.15, 4.16, 4.17, 4.18, 4.19, 4.20, 4.21, 4.22, 4.23, 4.24, 4.25, 4.26, 4.27, 4.28, 4.29, 4.30, 4.31, 4.32, 4.33, 4.34, 4.35, 4.36, 4.37, 4.38, 4.39, 4.40, 4.41, 4.42, 4.43, 4.44, 4.45, 4.46, 4.47, 4.48, 4.49, 4.50, 4.51, 4.52, 4.53, 4.54, 4.55, 4.56, 4.57, 4.58, 4.59, 4.60, 4.61, 4.62, 4.63, 4.64, 4.65, 4.66, 4.67, 4.68, 4.69, 4.70, 4.71, 4.72, 4.73, 4.74, 4.75, 4.76, 4.77, 4.78, 4.79, 4.80, 4.81, 4.82, 4.83, 4.84, 4.85, 4.86, 4.87, 4.88, 4.89, 4.90, 4.91, 4.92, 4.93, 4.94, 4.95, 4.96, 4.97, 4.98, 4.99, 5.00, 5.01, 5.02, 5.03, 5.04, 5.05, 5.06, 5.07, 5.08, 5.09, 5.10, 5.11, 5.12, 5.13, 5.14, 5.15, 5.16, 5.17, 5.18, 5.19, 5.20, 5.21, 5.22, 5.23, 5.24, 5.25, 5.26, 5.27, 5.28, 5.29, 5.30, 5.31, 5.32, 5.33, 5.34, 5.35, 5.36, 5.37, 5.38, 5.39, 5.40, 5.41, 5.42, 5.43, 5.44, 5.45, 5.46, 5.47, 5.48, 5.49, 5.50, 5.51, 5.52, 5.53, 5.54, 5.55, 5.56, 5.57, 5.58, 5.59, 5.60, 5.61, 5.62, 5.63, 5.64, 5.65, 5.66, 5.67, 5.68, 5.69, 5.70, 5.71, 5.72, 5.73, 5.74, 5.75, 5.76, 5.77, 5.78, 5.79, 5.80, 5.81, 5.82, 5.83, 5.84, 5.85, 5.86, 5.87, 5.88, 5.89, 5.90, 5.91, 5.92, 5.93, 5.94, 5.95, 5.96, 5.97, 5.98, 5.99, 6.00, 6.01, 6.02, 6.03, 6.04, 6.05, 6.06, 6.07, 6.08, 6.09, 6.10, 6.11, 6.12, 6.13, 6.14, 6.15, 6.16, 6.17, 6.18, 6.19, 6.20, 6.21, 6.22, 6.23, 6.24, 6.25, 6.26, 6.27, 6.28, 6.29, 6.30, 6.31, 6.32, 6.33, 6.34, 6.35, 6.36, 6.37, 6.38, 6.39, 6.40, 6.41, 6.42, 6.43, 6.44, 6.45, 6.46, 6.47, 6.48, 6.49, 6.50, 6.51, 6.52, 6.53, 6.54, 6.55, 6.56, 6.57, 6.58, 6.59, 6.60, 6.61, 6.62, 6.63, 6.64, 6.65, 6.66, 6.67, 6.68, 6.69, 6.70, 6.71, 6.72, 6.73, 6.74, 6.75, 6.76, 6.77, 6.78, 6.79, 6.80, 6.81, 6.82, 6.83, 6.84, 6.85, 6.86, 6.87, 6.88, 6.89, 6.90, 6.91, 6.92, 6.93, 6.94, 6.95, 6.96, 6.97, 6.98, 6.99, 7.00, 7.01, 7.02, 7.03, 7.04, 7.05, 7.06, 7.07, 7.08, 7.09, 7.10, 7.11, 7.12, 7.13, 7.14, 7.15, 7.16, 7.17, 7.18, 7.19, 7.20, 7.21, 7.22, 7.23, 7.24, 7.25, 7.26, 7.27, 7.28, 7.29, 7.30, 7.31, 7.32, 7.33, 7.34, 7.35, 7.36, 7.37, 7.38, 7.39, 7.40, 7.41, 7.42, 7.43, 7.44, 7.45, 7.46, 7.47, 7.48, 7.49, 7.50, 7.51, 7.52, 7.53, 7.54, 7.55, 7.56, 7.57, 7.58, 7.59, 7.60, 7.61, 7.62,		

project no. 08.001
project 854 W Everett Rd,
Lake Forest, IL
60045

description:
**LANDSCAPE AND
HARDSCAPE PLAN**

1. *Ch. 17* gives brief details of public expenditure in the public sector.

EXCERPTS OF BUILDING REVIEW BOARD MEETING MINUTES

The City of Lake Forest
Building Review Board
Proceedings of November 3, 2016 Meeting

A regular meeting of the Lake Forest Building Review Board was held on Thursday, November 3rd, 2016 at 6:30 p.m., in the Council Chambers of City Hall, 220 E. Deerpath, Lake Forest, Illinois.

Building Review Board members present: Chairman Ted Notz and Board members: Jim Diamond, Ross Friedman, Robert Reda and Fred Moyer

Building Review Board members absent: Peter Dunne and Mike Bleck

Staff present: Kate McManus, Assistant Planner and Catherine Czerniak, Director of Community Development

1. **Continued consideration of a request for approval of the demolition of the existing single family residence located at 854 Everett Road and a replacement residence, attached garage, overall site plan and conceptual landscape plan.**
Owner: Elena Ciorobitca
Representative: Firmin S. Senga, architect

Chairman Notz asked the Board for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Mr. Senga explained that the petition was reviewed by the Board last month and he summarized the revisions made in response to the Board's direction. He reviewed photos and the location of the existing home. He reviewed images of the streetscape and stated that natural materials are proposed for the exterior of the home. He reviewed the site plan explaining that the Board expressed concerns about the length of the east elevation, the lack of details on the proposed landscaping and the massing of the garage. He noted that additional landscaping was added to the plan to mitigate the mass of the garage. He provided images of the proposed fence and piers at the front of the property noting the simple design of these elements to keep the focus on the house and landscaping. He stated that the piers will be brick, to match the house. He reviewed turning radius studies to demonstrate the functionality of the garage and explained that the house was shifted further back on the lot to allow space for plantings between the house and the driveway. He stated that decorative pavers are proposed for the driveway. He stated that the roof line on the house was simplified in response to Board comments and he noted that the tower

element is now more prominent at the center of the front façade. He noted that the dormers were refined to be consistent around the house. He reviewed the previously proposed elevations and compared them to the refined elevations now presented for Board approval. He stated that the doors on the rear façade were brought down to avoid breaking the eave line. He stated that the garage doors will be consistent with the style of the house. He presented a color rendering.

Ms. McManus stated that the petition was continued from the previous meeting and noted that the revisions made appear to be responsive to the Board's direction. She stated that the proposed residence is currently 12 feet over the allowable square footage, but will be brought into conformance with the building scale requirements prior to submitting plans for permit. She noted that the City Arborist reviewed the conceptual landscape plan and found it acceptable. She stated that staff is recommending approval of the petition subject to the conditions detailed in the staff report.

In response to questions from Board member Diamond, Mr. Senga confirmed that the color palette has not changed since the last meeting and provided samples of the proposed exterior materials. He confirmed that true limestone will be used as noted on the plans for various elements including window sills. He stated that a model was not constructed.

Board member Diamond noted that the house has changed dramatically from the initial plans presented to the Board.

In response to questions from Board member Friedman, Mr. Senga stated that copper is proposed for the gutters, downspouts and flashing. He explained that the driveway slants to align with the existing curb cut. He stated that a gray color palette will be used for the house. He confirmed that the roof is wood shake and the garage doors will be custom built wood doors. He stated that cast stone is proposed.

In response to questions from Board member Reda, Mr. Senga confirmed that the window configuration on the west elevation is drawn incorrectly. He clarified that a gable roof form is proposed on the east elevation.

In response to questions from Board member Moyer, Mr. Senga stated that the house will have a flared roof and acknowledged that the roof lines are drawn inconsistently on the plans.

Board member Moyer stated that it will important that the construction plans accurately reflect the intended forms and details. He pointed out that the tower element is nearly in the center of the house; however, the house is not

symmetrical. He suggested that the tower may be more visually effective if it is moved slightly to the west. He suggested adding side windows at the front door to celebrate the entry. He noted that the window to the west of the tower repeats the window type used everywhere else and suggested that the window at this location be special. He suggested that three dormers be considered for the rear elevation, instead of four. He commented that, in his opinion, the previous elevations were more successful than those currently presented. He stated however that the overall design is still very refreshing.

In response to questions from Chairman Notz, Mr. Senga confirmed that there is sufficient head room in the link between the house and the garage. He stated that the roof in that area will slope up to 8 feet. He agreed to consider shifting the location of the tower, as suggested by Board member Moyer. He stated that the chimney pots are ceramic, the chimney cap is limestone and the chimney is brick.

In response to questions from Board member Friedman, Mr. Senga stated that the soffit material is wood, tongue and groove, painted to match the shade of the limestone. He added that the front stoop is concrete.

In response to a question from Chairman Notz, Mr. Senga agreed to consider separating the paired doors on the rear elevation. He noted however the intention is to open all 4 doors at the same time onto the pool area.

Hearing no further questions from the Board, Chairman Notz invited public comment. Hearing none, he invited final comments from the Board.

Board member Moyer suggested that consideration should be given to increasing the height of the tower.

Hearing no further comments from the Board, Chairman Notz invited a motion.

Board member Reda made a motion to approve the demolition of the existing residence.

The motion was seconded by Board member Friedman and the motioned passed by a vote of 5 to 0.

Board member Reda moved to approve the petition based on the findings in the staff report and subject to the following conditions of approval.

Prior to the Issuance of Building Permits

1. The plans should be modified to respond to the items listed below. If additional modifications are made to the plans as the result of final design development or in response to Board direction, the modifications shall be clearly called out

on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

- a. The site plan shall demonstrate that there is a minimum of five feet between the garage court and the house to allow space for minimal foundation plantings consistent with the Code requirements.
 - b. Details on all exterior materials shall be provided. Natural materials, consistent with the plans presented to the Board, should be used consistently on all elevations and should be clearly indicated on the plans submitted for permit.
 - c. Details shall be provided on the chimney pots.
 - d. Copper shall be used for the gutters and downspouts.
 - e. Windows, both on the house and on the garage shall be generally consistent in form and detailing.
 - f. Detailed information on the windows shall be submitted with the permit application. Muntins shall be affixed to the interior and exterior of the glass.
 - g. The residence shall fully comply with the building scale ordinance.
 - h. The gate and fencing shall fully comply with zoning regulations.
 - i. The tower shall be shifted further west on the front façade to retain the asymmetrical character of the façade and consideration should be given to increasing the height of the tower.
 - j. Consideration shall be given to reducing the number of dormers from 4 to 3 on the rear elevation.
 - k. Consideration shall be given to separating the rear doors.
2. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, to properly direct drainage.
 3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation and to protect trees and vegetation on neighboring properties during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
 4. The final landscape plan shall reflect at a minimum, replacement inches for trees removed as determined to be required by the City Arborist consistent with the Code requirements. The plan will be subject to final review and approval by the City Arborist.

- a. The final landscape plan shall be drawn on the approved grading plan to allow confirmation by staff that there are no conflicts between proposed plantings and overland storm water flow routes.
 - b. Foundation plantings must meet, but may exceed, the minimum Code requirements.
 - c. Sufficient perimeter plantings are shown to screen the mass of the house and the garage court from the street and from adjacent properties to the east and west.
5. If determined to be necessary by the City's Certified Arborist, a pre and post tree maintenance plan prepared by a Certified Arborist shall be submitted outlining the steps that will be taken to protect the mature trees on the property. The maintenance plan shall be subject to review and approval by the City's Arborist. The plan shall be fully implemented to the satisfaction of the City's Arborist and regular inspections shall be conducted by the Arborist to verify completion of specified measures at appropriate points before the issuance of permits, during construction and after completion of the project.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
7. Comprehensive photo documentation of the residence, the overall property and the streetscape must be provided to the City in a digital form determined to be satisfactory by the City. The purpose of the documentation is to preserve an historic record of the property in both the City and in the Lake Forest-Lake Bluff Historical Society archives.
8. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood during construction and to minimize impacts on trees intended for preservation. On street parking on Everett Road and Evergreen Road is not permitted. Off-site parking for workers and shuttles to the site may be required.
9. This project must abide by all of the terms, conditions, restrictions, and provisions of The City of Lake Forest City Code, and all other applicable codes, ordinances, rules, and regulations.

The motion was seconded by Board member Friedman and the motioned passed by a vote of 5 to 0.

The City of Lake Forest
Building Review Board
Proceedings of October 5, 2016 Meeting

A regular meeting of the Lake Forest Building Review Board was held on Wednesday, October 5th, 2016 at 6:30 p.m., in the Council Chambers of City Hall, 220 E. Deerpath, Lake Forest, Illinois.

Building Review Board members present: Chairman Ted Notz and Board members: Peter Dunne, Jim Diamond, Ross Friedman, Robert Reda, Fred Moyer and Mike Bleck

Building Review Board members absent: none

Staff present: Kate McManus, Assistant Planner and Catherine Czerniak, Director of Community Development

7. Continued consideration of a request for approval of the demolition of the existing single family residence located at 854 Everett Road and a replacement residence, attached garage, overall site plan and conceptual landscape plan.
Owner: Elena Ciorobitca
Representative: Firmin S. Senga, architect

Chairman Notz asked the Board for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Mr. Senga introduced the petition and explained that the previous architect proposed to only partially demolish the home. He noted that based on input from the Board, the petition now requests approval for a full demolition. He reviewed the neighborhood noting the different uses nearby. He reviewed site photos and provided precedent images of the French Eclectic style. He noted that the proposed house conforms to the required setbacks. He stated that the existing driveway and curb cut will be retained. He stated that the owner desires a 3 car garage and he confirmed that studies were done to confirm that the driveway and motor court provides adequate ingress and egress for the garage. He reviewed the floor plans noting the open living space on the first floor. He stated that the scale of the garage was brought down from the earlier proposal.

Ms. McManus stated that the Board previously saw a request for this property for a partial demolition and significant modifications to the existing home. She stated that copies of the previous petition were provided in the packets for reference. She explained that the Board suggested that a full demolition be considered to allow a replacement residence to be designed without the limitations of working around the existing house and in conformance with the design guidelines. She noted that since the previous meeting, the owner hired a new architect and a full demolition is now proposed along with a replacement residence in a different architectural style than previously proposed. She stated that the proposed residence does not appear to fully meet the design standards yet. She stated that recommendations are offered in the staff report in an effort to achieve a plan that more fully meets the applicable standards. She recommended that consideration be given to adjustments to the garage including the possibility of a connecting element to reduce the scale of the garage and its proximity to the entrance to the home. She also recommended that adjustments be made to the dormers, tower and roof forms. She noted that high quality, natural materials are proposed. She stated that the new design lowers the overall massing of the house from the earlier proposal noting that the house is now more in keeping with the streetscape. She stated that staff recommends continuation of the petition to allow for some modifications to achieve a home that more fully complies with the applicable standards.

In response to a question from Board member Dunne, Mr. Senga confirmed that the client desires a 3 car garage and stated that the proposed house does not exceed the allowable square footage.

In response to a question from Board member Dunne, Ms. McManus stated that the relationship of the tower to the front façade of the house is not clear. She noted that the tower appears to be flush with the façade and is very close to the garage wing. She suggested consideration of refinements that allow the tower to project out from the front façade.

Board member Dunne stated that as presented, the tower looks contrived.

In response to questions from Board member Dunne, Mr. Senga confirmed that the gates and pillars shown on the previous petition are no longer proposed. He confirmed that the elevations accurately reflect the garage doors and noted that the windows on the garage doors and on the house have traditional grill patterns. He provided brick and stone samples.

In response to a question from Board member Friedman, Mr. Senga stated that the style of the home is French Eclectic and reviewed the exterior materials; brick, limestone, stucco and white gutters and downspouts. He reviewed the landscape plan and stated that the maple tree behind the house will not survive. He stated a

willingness to give further consideration to the details of the driveway. He stated that the material of the soffits has not yet been determined and noted that plywood is being considered. He noted that the roof is cedar shake.

Board member Freidman stated that a more detailed and embellished landscape plan is needed. He stated that as proposed, the driveway lacks integrity and grace.

In response to a question from Board member Bleck, Mr. Senga confirmed that the driveway goes up to the front of the house and as currently proposed, there is no space for foundation plantings.

Board member Bleck requested that the petitioner consider pushing the residence back on the property to provide space for plantings and additional maneuvering area for cars. He noted that the inspiration photos provided by the petitioner show homes with substantial plantings in front of the residences.

Board member Reda asked that petitioner give further consideration to the consistency of massing, roof forms and dormers around the house. He noted that the 3 most visible dormers are each different sizes. He noted that the square bay to the right of the entry should also be reconsidered. He added that the windows are various shapes and sizes and suggested that adjustments be made for consistency. He recommended that consideration be given to shifting the garage to the west to allow the tower to be shifted forward. He stated that this house will set a precedent for future redevelopment along this section of Everett Road. He requested that the petitioner look at ways to reduce the massing of the garage and the roof height. He complimented the simplicity of the rear elevation, but noted that the same consideration should be given to the side elevations noting that the expanse of brick wall be broken up.

In response to Board member Reda's comments, Mr. Senga explained that the center dormer provides light into interior, but agreed to consider refinements to make it more consistent with the other dormers.

Board member Moyer stated that the home is a refreshing change to the streetscape and complimented the overall character. He stated that some refinements are needed and noted that there appear to be some issues with the drawings, likely as a result of the CAD program. He noted that the round tower appears different on the floor plans and agreed that the element is not as successful as it could be and should project out further.

In response to a question from Chairman Notz, Mr. Senga acknowledged that the roof plan is inaccurate. He clarified that the quoins are limestone.

Chairman Notz stated that the west elevation is a very long expanse of unbroken wall. He suggested consideration of bumping the garage out to the west noting that shift would provide additional room for the tower and break up the elevation. He stated some variation in the pitch of various roof elements and suggested further study and refinement to achieve consistency.

Board member Friedman agreed that the west elevation is very massive and highly visible. He noted that there appears to be space to shift the garage west and break up the elevation with an offset.

Hearing no further questions from the Board, Chairman Notz invited public comment.

Michael Mallarkey, 1025 Evergreen Drive, stated support for the proposed demolition and noted his concerns about the proposed replacement house and the property in general.

In response to Mr. Mallarkey's comments, Chairman Notz reviewed the Board's purview and asked that public testimony be limited to matters before the Board. Hearing no additional public testimony, he invited final comments from the Board.

Board member Diamond stated that the driveway should be modified to accommodate plantings in front of the house and to assure functionality.

Board member Freidman requested that modifications be made to soften the garage.

Board member Bleck stated that the revised design is improved over the plan previously presented to the Board and acknowledged the work to date in response to the Board's comments.

Hearing no further comments from the Board, Chairman Notz invited a motion.

Board member Reda made a motion to continue the petition with direction to the petitioner to refine the design based on the comments, suggestions and direction of the Board including refinement to minimize the visual prominence of the garage from the streetscape. He added that a landscape plan should be prepared for review by the Board.

The motion was seconded by Board member Friedman and the motioned passed by a vote of 7 to 0.

The City of Lake Forest
Building Review Board
Proceedings of July 6, 2016 Meeting

A regular meeting of the Lake Forest Building Review Board was held on Wednesday, July 6th 2016, at 6:30 p.m., in the Council Chambers of City Hall, 220 E. Deerpath, Lake Forest, Illinois.

Building Review Board members present: Chairman Ted Notz and Board members: Jim Diamond, Mike Bleck, Ross Friedman and Peter Dunne.

Building Review Board members absent: Fred Moyer and Robert Reda

Staff present: Kate McManus, Assistant Planner and Catherine Czerniak, Director of Community Development

- 6. Consideration of a request for approval of significant demolition of portions of the existing residence, various additions and alterations and modifications to the overall site plan and landscaping at 854 W. Everett Road.**
Owner: Elena Ciorobiteau
Representative: Cristian Gansari, project manager

Chairman Notz asked the Board for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Mr. Gansari introduced the petition noting that additions are proposed to a one and half story house including additions to the rear and the addition of a full second story. He reviewed the location of the property noting that there is a mix of commercial and residential uses and the property is located on the edge of two zoning districts. He reviewed the neighboring properties and explained that the existing house is a split level with a garage on the right side and that there are several smaller trees in the front yard. He stated that they are proposing to remove the trees in the front because they are in poor health, but the trees in rear yard will be retained. He stated that the trees along the east side of the property will also be removed and new plantings will be added for screening. He provided images of the existing house and floor plans and stated that the proposed house is influenced by the Georgian Revival style. He reviewed typical characteristics of the style and reviewed the proposed elevations noting the rectangular double hung windows, hipped roof, flat deck, dormers, symmetry and balustrade. He stated that the home is brick with quoins, and a 2 story portico. He provided images of historic examples of the style and reviewed the site plan with brick piers and wrought iron fencing along the front property line.

Ms. McManus explained that the petition is before the Board for direction and initial input and consists of a request for demolition of the majority of the existing house and substantial additions. She noted that staff met with the petitioner on numerous occasions and recommended that consideration be given to demolishing the house in order to achieve a better end product that meets the City's design guidelines. She stated that several areas of concern were outlined in the staff report regarding the replacement structure and site plan. She stated that staff recommends that the Board continue the petition with general support for the demolition and direction to the petitioner to design a replacement residence that is consistent and true to a single architectural style.

In response to questions from Board member Diamond, Mr. Gansari stated that fully demolishing the house is a cost issue and confirmed that front and rear of the home will be demolished, including 80 percent of the front wall, as part of the current proposal.

In response to Board member Friedman, Mr. Gansari confirmed that the existing brick is red and stated that the new brick will be similar in color. He stated that the side walls that will remain and will be patched with new brick. He stated that consideration could be given to re-bricking the entire home. He stated that aluminum gutters and an architectural asphalt shingle roof in a gray color are proposed. He noted that the proposed columns are wrapped with wood, but agreed that alternate materials could be considered. He explained that if a full demolition were pursued the replacement home would likely also be designed in the Colonial Revival style. He explained that the existing house is a split level with a 5 foot difference between sections of the house creating challenges with achieving consistent window placements.

Board member Friedman stated that re-bricking the entire house would be a better solution than patching. He stated that as proposed, the house is stark and should be softened. He questioned whether there will be a significant cost savings as a result of trying to work with the existing house.

In response to questions from Board member Bleck, Mr. Gansari agreed that the homes across Everett Road are larger and that the adjacent homes, on the south side of Everett Road are smaller in scale. He confirmed that the Evergreen Subdivision is in a different zoning district.

Board member Bleck expressed concern about the existing foundation based on the information provided in the structural report. He stated that it may be less expensive to put in a new foundation than work with the existing foundation. He stated that the proposed house does not meet the design guidelines and is out of scale with the character of the neighborhood.

Board member Dunne expressed concern regarding the proposed brick selection noting that there is too much color variation from the existing bricks.

In response to a question from Board member Dunne, Mr. Gansari confirmed that the widows walk along the roof line is for aesthetics only and not meant to be functional.

Chairman Notz stated that he is concerned with maneuvering in and out of the garage based on the site plan presented.

In response to Chairman Notz' comments, Ms. Czerniak stated that auto turn studies were requested to verify the adequacy of the area available for maneuvering into and out of the garage. She confirmed that the side yard setback is 12 feet.

Hearing no further questions from the Board, Chairman Notz invited public comment.

Maureen Mullarkey, 1025 Evergreen Drive, stated that she appreciates the improvements that are proposed for the site, but is concerned with construction staging and traffic.

In response to public testimony, Ms. Czerniak stated that it would not be unusual to add conditions that speak to construction parking and staging with specific prohibitions about on street parking in the neighborhood.

Hearing no further public testimony, Chairman Notz invited final comments from the Board.

Board member Dunne stated that the brick piers along the front property line are inappropriate for the neighborhood and stated concern about the size of the proposed residence and the brick selection.

Board member Bleck stated that if the existing house is retained, a new foundation should be put in and the overall height of the structure should be reduced. He encouraged the petitioner to design a home that is sensitive to the adjacent neighbors.

Board member Friedman questioned the cost analysis noting that a full demolition and construction of a new house may result in cost savings. He encouraged the petitioner to design a new home that is not limited by the constraints of the existing house.

Board member Diamond stated that he is supportive of a full demolition and encouraged the use of more organic materials to soften the elevations.

Chairman Notz stated that the challenges associated with working with the existing house may result in a higher cost. He encouraged the petitioner to consider a full demolition which would solve some of the issues including the inadequate turning radius for the garage and the proposed raised patio at the rear of the home. He stated that he is not supportive of the petition and the stated that the design should be considerably reevaluated and re-created before the petition returns to the Board.

Hearing no further comments, Chairman Notz invited a motion.

Board member Bleck made a motion to continue consideration of the petition with direction to the petitioner to consider a full demolition of the existing residence rather than work within the constraints of the existing structure given the magnitude of the work proposed and to design a house in keeping with the context of the surrounding area.

The motion was seconded by Board member Friedman and approved by a vote of 5 to 0.

Agenda Item 5
1545 Sage Court
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey
Proposed Site Plan
Proposed East Elevation
Proposed East Color Elevation
Proposed South Elevation
Proposed West Elevation
Proposed North Elevation
Proposed Roof Plan
Building Section
Proposed First Floor Plan
Proposed Second Floor Plan
Preliminary Site Grading Plan
Preliminary Tree Removal Plan
Preliminary Tree Inventory
Preliminary Landscape Plan

1545 Sage Court

Consideration of a request for approval of a new residence, an attached garage, a conceptual landscape plan and the overall site plan.

Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)

Contract Purchasers: Eric Han and Carol Chang

Project Representative: Jeff Letzter, Aspect Design Inc.

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

Description of Property

The property is located on the northwest side of the cul-de-sac at the end of Sage Court. The property is Lot 12 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 32,535 square feet and is irregular in shape. As established by the Plat of Subdivision, there is a drainage and conservation easement on the west side of the property.

The Board recently approved a petition for the first new residence on Lot 14 in the Oak Knoll Subdivision at the April 2021 meeting. The petition currently presented to the Board was submitted by the developer on behalf of the contract purchasers for Lot 12 of the Oak Knoll Subdivision. A statement of intent from the contract purchasers is included in the Board's packet.

Review and Evaluation of Applicable Standards from the City Code

Below is a review of the standards outlined in the City Code for the Board's consideration.

Site Plan – This standard is met.

The proposed residence is sited at an angle on the property and faces east, toward Sage Court with the attached side-load garage facing north. A single curb cut is proposed on the north side of the curved property line at the front of the site. A paver walkway is proposed from the front entrance to the driveway and a paver stoop is proposed on the west side of the residence.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will be 16%. The building footprint is 2,267 square feet and hardscape and driveway surfaces total 2,950 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,555 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 455 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 3,670 square feet.
- The proposed garage totals 834 square feet. The garage overage of 234 square feet must be added to the total square footage of the residence.

- In addition to the above square footage, a total of 12 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 3,904 square feet, and is 14 percent below the maximum allowable square footage.

At the maximum height, the residence is 33 feet and 3 inches tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 35 feet.

Elevations – This standard is met.

According to the petitioner's statement of intent, the proposed residence is designed as a Colonial Revival style home, a traditional architectural style that is found throughout the community. The residence presents a primary two-story mass with a one and half-story garage mass on the north side. The residence features gable roof forms with a consistent 8:12 pitch. The home presents features common to the Colonial Revival style, such as portico at the front entrance that is centered on the front facade, double hung windows with shutters, and gable dormers.

The north and south facades feature a circular louvered vent. The circular vents do not appear to relate to other elements of the proposed residence. Staff recommends that the circular louvered elements are eliminated or replaced with a more traditional style vent that is small in size and has a vertical shape.

Type, color, and texture of materials – This standard is met.

The exterior walls of the home have fiber cement horizontal siding. The roof material is wood shingle. Wood will be used for the trim, corner boards, fascia, and soffits. The window sills and portico columns will also be wood. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney will be brick with a clay chimney pot. Wood shutters are proposed.

The proposed color palette includes white siding, trim, and windows. The front door and shutters are gray. The roof will be natural cedar shingle. The petitioner provided a color elevation to reflect the proposed color palette. The color elevation is included in the Board's packet.

Landscaping - This standard requires further due diligence.

As currently proposed, a total of 14 trees are proposed to be removed. The trees proposed for removal consist of Black Walnut, Silver Maple, Basswood, Apple, Pear and Sugar Maple trees. The submittal of a complete tree survey with the current conditions of the trees on the site is pending. Once a tree survey is received, based on the size, species and condition, the required replacement inches for the trees removed will be determined.

The preliminary landscape plan reflects plantings around the foundation of the home. Foundation plantings and minimal plantings on the site are required by the Code separate and apart from replacement plantings for trees that are proposed for removal. The preliminary landscape plan also indicates plantings in the front yard and along the east property line. Some minimal plantings are reflected in the rear yard. Proposed plantings on the property include Oak, Spruce, Pear and Crabapple trees and a variety of shrubs and ornamental plantings.

This subdivision was created as a conservation subdivision with open space, woodlands and wetlands, and the landscape plans for the homes should reflect that natural theme with substantial plantings to create a well landscaped subdivision and replace the trees lost due to construction of the infrastructure and the individual homes. Given that many trees are proposed for removal across the site, as the landscape plan for this property is further developed, additional shade trees will need to be incorporated in the rear yard, to enhance the wooded character of the site and to replace, over time, the canopy coverage that will be lost due to removal of trees on the site.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. The circular louvered elements shall be eliminated or replaced with a more traditional style vent that is small in size and has a vertical shape.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to submitting plans and an application for permit, a complete tree survey shall be prepared by a Certified Arborist for the existing trees to allow a determination of the total number of replacement inches to be planted on site based on the size, species and condition of the trees to be removed.
4. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site.
5. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
6. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum

necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.

7. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1545 Sage Court Owner(s) Fidelity Wes of Oak Knoll LLC
 Architect Jeff Letzter, Project Manager Reviewed by: Jen Baehr
 Date 5/5/2021
 Lot Area 31093 sq. ft.

Square Footage of New Residence:

1st floor 1417 + 2nd floor 1851 + 3rd floor 402 = 3670 sq. ft.

Design Element Allowance = 455

Total Actual Design Elements = 12 Excess = 0 sq. ft.

Garage 834 sf actual ; 600 Excess = 234 sq. ft.

Garage Width 28'-9" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3904 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4555 sq. ft.

DIFFERENTIAL = -651 sq. ft.

Under Maximum

Allowable Height: 35 ft. Actual Height 33' - 3" ft.

NET RESULT:

651 sq. ft. is

14% **under the**
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 640 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 12 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

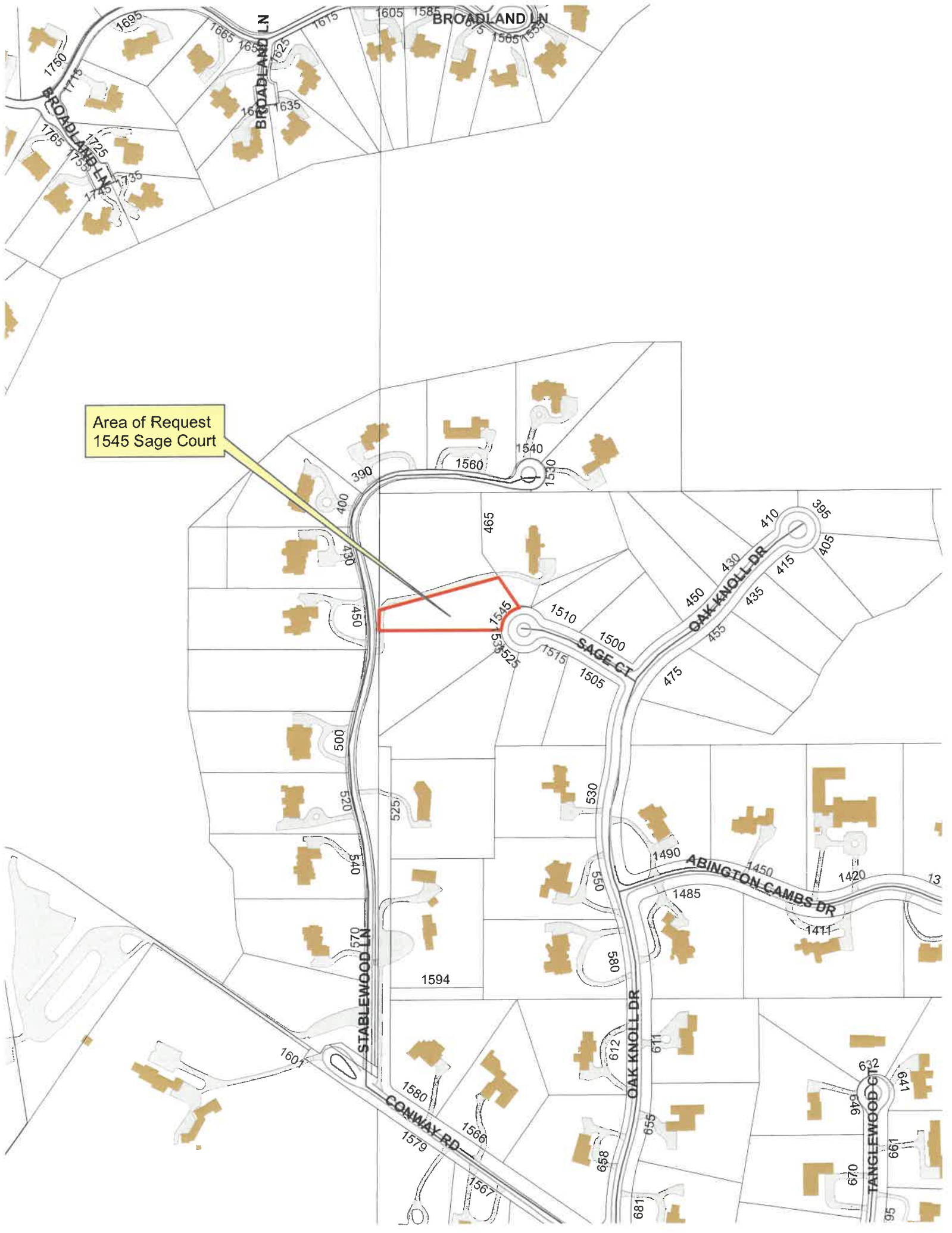
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 12 sq. ft.

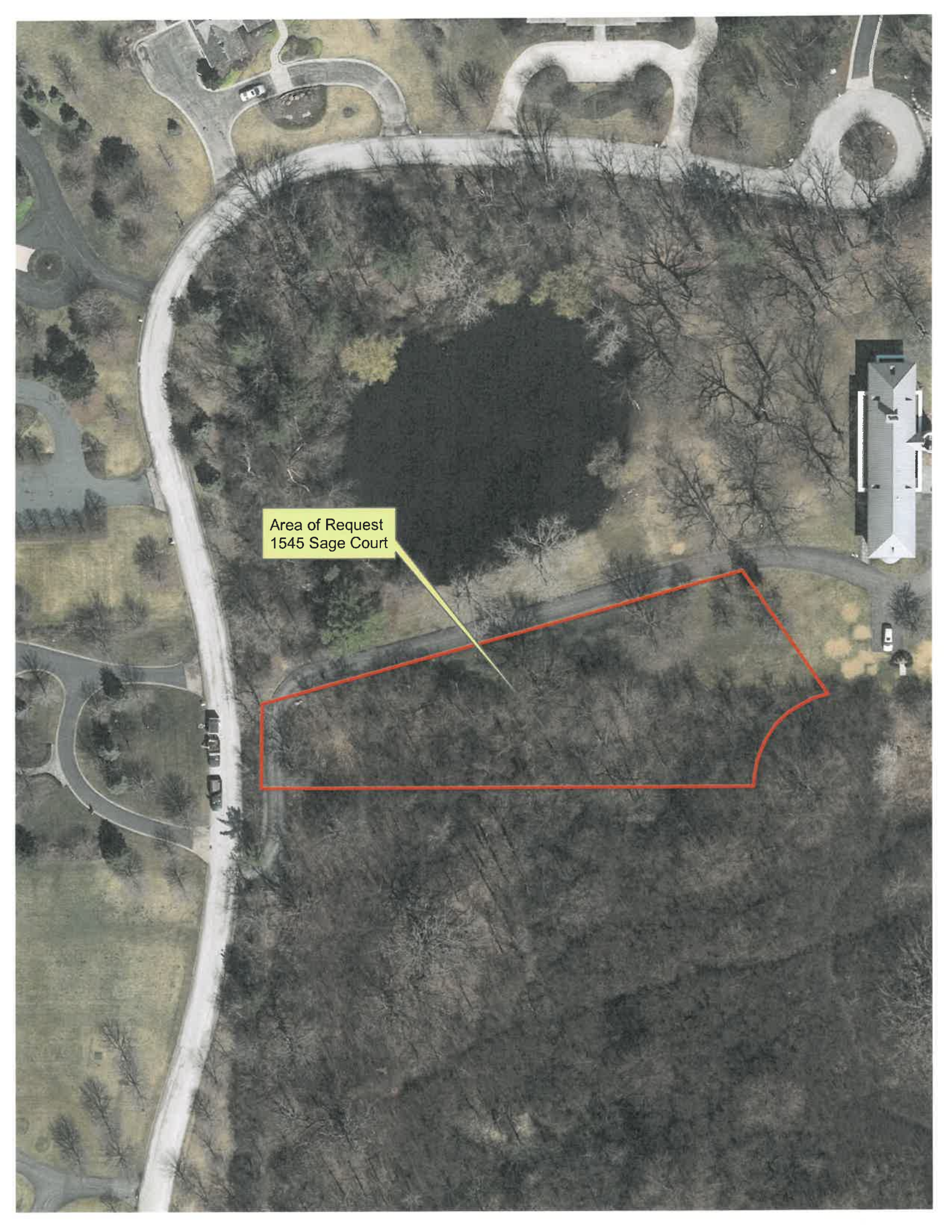
Excess Design Elements = 0 sq. ft.



Area of Request
1545 Sage Court

Area of Request
1545 Sage Court



An aerial photograph showing a large, irregularly shaped wooded area. A red line outlines a specific portion of this wooded area, which is the subject of a request. A yellow callout box with a pointer indicates this area. The surrounding landscape includes a paved road on the left, a residential building on the right, and various trees and grassy patches.

Area of Request
1545 Sage Court



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS LOT 12 OAK KNOLL WOODLANDS
1545 SAGE COURT LAKE FOREST, IL 60045

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence /	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

FIORLITY WBS OF OAK KNOLL, LLC.
Owner of Property

301 FOREST PARKER COTTAGE CO.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60047
City, State and Zip Code

(417) 980-9686 (417) 863-6132
Phone Number Fax Number

NIKEE.FIORLITYWBS.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZTER, PROJECT MGR.
Name and Title of Person Preparing Project

ASPECT DESIGN, INC.
Name of Firm

26575 COMMERCE DR SUITE 607
Street Address

VALD, IL 60073
City, State and Zip Code

(417) 457-2800 N/A
Phone Number Fax Number

JEFFLETZTER@ASPECTDESIGNINC.COM
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 5:00pm.	
Please email a copy of the staff report	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MILK DEMAR (PRES.)</u>	Name _____
<u>201 ROBERT PARKER</u>	_____
<u>COFFIN ROAD, LONG GROVE, IL</u>	Address _____
Address _____	_____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
_____	_____
Address _____	Address _____
_____	_____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
_____	_____
Address _____	Address _____
_____	_____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
_____	_____
Address _____	Address _____
_____	_____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
_____	_____
Address _____	Address _____
_____	_____
Ownership Percentage _____ %	Ownership Percentage _____ %

From: Carol Chang and Eric Han

March 29, 2021

Building Review Board
City Of Lake Forest
220 East Deerpath Road
Lake Forest, IL 60045

Subject: Proposed Residence - 1545 Sage Court - Oak Knoll Woodlands Lot 12

To Building Review Board and Whom It May Concern:

We are writing to ask for your consideration and approval of our proposed residence at 1545 Sage Court, Lot 12 of Oak Knoll Woodlands. Hopefully, this note will provide some insight into us, our thought process, and what we hope you will find is a great addition to the community.

A couple of years ago, we moved out from downtown Chicago to the northern suburbs to be closer to work and the airport. As time went by and we thought about where we expected to be in life, we soon figured that settling down in a house made sense. As a result, we began casually home searching, scouring the internet for the perfect forever home, which was difficult to find.

When we saw the listing for Oak Knoll Woodlands, we visited the property that weekend and immediately fell in love with the entire neighborhood, from Oak Knoll Drive all the way to Sage Court. Between having the right level of housing density, residential privacy delivered by natural and curated flora, and a serene feeling, the area just felt right - we wanted to make this an opportunity to have our first, and hopefully forever, home.

Our thought for the residence was to attain a classic, timeless look that optimized the longevity of the building's integrity while staying true to traditional architectural design. We ultimately desired the colonial revival design as it fit our needs. Working with Jeff Letzter and Fidelity Wes, we also achieved what we believe to be a highly efficient interior floor plan that not only is functional, but also builds lasting value into the residence (which we will ideally own forever). In terms of exterior colors, we love the look that the property at 33 S. Sheridan Road was able to achieve. For us, this proposal is only the beginning. As we progress with our lives, we plan to build a paver patio as well as bolster the landscape plan with additional trees and evergreens (that may not currently be shown) to create our little private oasis.

We are excited for what the future holds. Every time we review the elevation and the floor plan, as we plan for furniture, interior trims, and other odds and ends, our excitement continues to grow. From architecture to plant selection, this entire process has been an amazing learning experience and we look forward to seeing the late nights and weekends pay off. Again, thank you for your time and consideration and we hope that you approve our proposal.

Best Regards,
Carol and Eric



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco

☒ Other Hardie Board

Color of Material Artic White

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish White

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☒ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

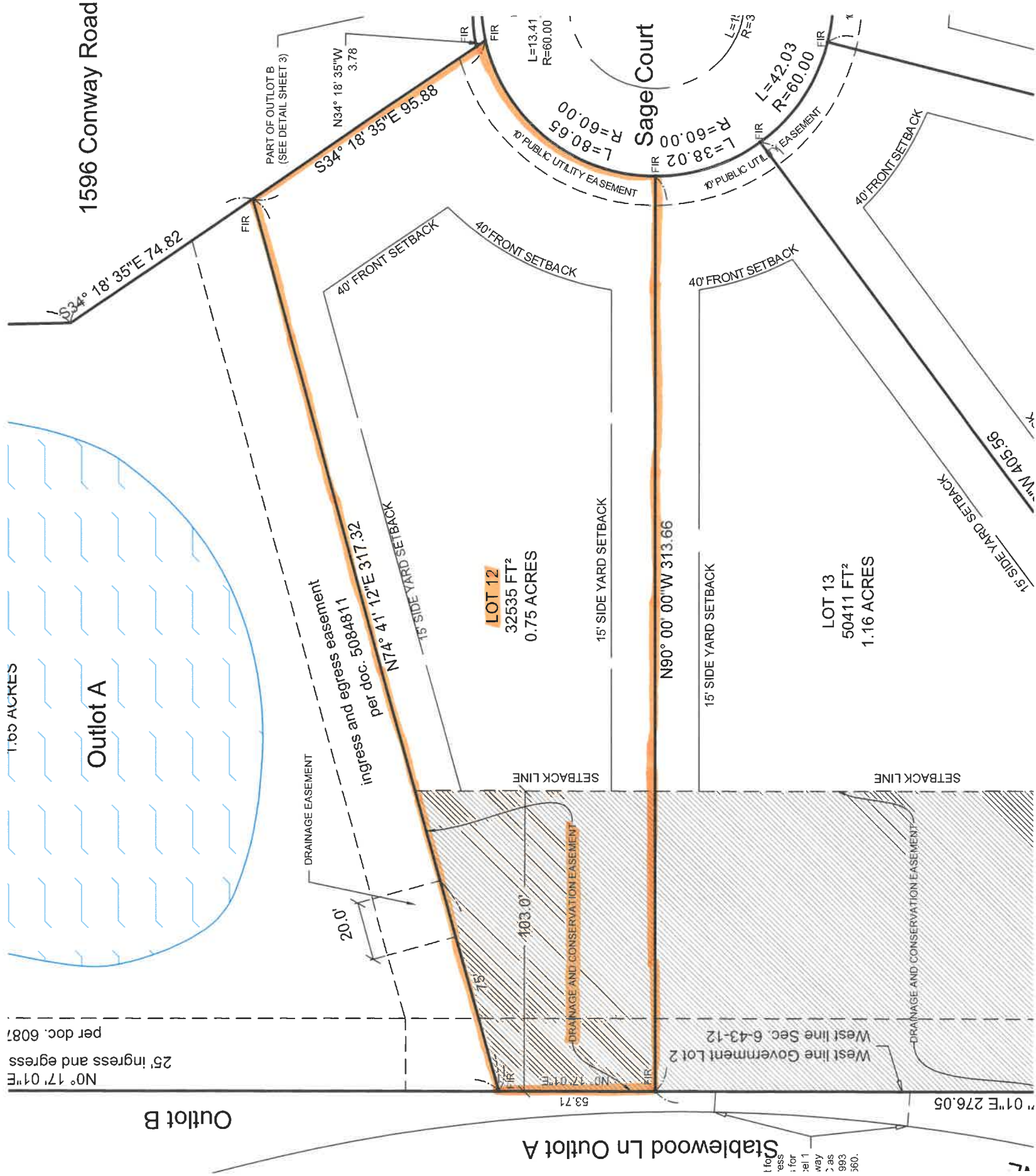
- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Plat of Survey

LOT 12 OF OAK KNOLL WOODLANDS, BEING A SUBDIVISION OF THE SOUTHWEST ¼ OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL OF MERIDIAN ACCORDING TO THE PLAT THEREOF
RECORDED JUNE 2, 2015 AS DOCUMENT NUMBER 7199030 IN LAKE COUNTY, ILLINOIS.



PLAT IS VOID IF IMPRESSED
SEAL DOES NOT APPEAR

STATE OF ILLINOIS } S.S.
COUNTY OF LAKE }

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE
RECORDED SUBDIVISION PLAT ARE SHOWN HEREON; CHECK LOCAL
ORDINANCES BEFORE BUILDING; COMPARE YOUR DESCRIPTION AND
SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY
DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING COMPANY, INC., I, JACK R.
BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN
THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER
MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND
CORRECT REPRESENTATION OF SAID SURVEY. MEASUREMENTS ARE
GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL
SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM
STANDARDS FOR A BOUNDARY SURVEY.

DATED AT LAKE FOREST, ILLINOIS, THIS ___ DAY OF ___, A.D., 2015.

BY _____
REGISTERED ILLINOIS LAND SURVEYOR NO. 3591

ABBREVIATIONS:
m. or meas. = measured
r. or rec. = record

CB = chord bearing
CH = chord length
L = arc length
N = North
S = South
E = East
W = West

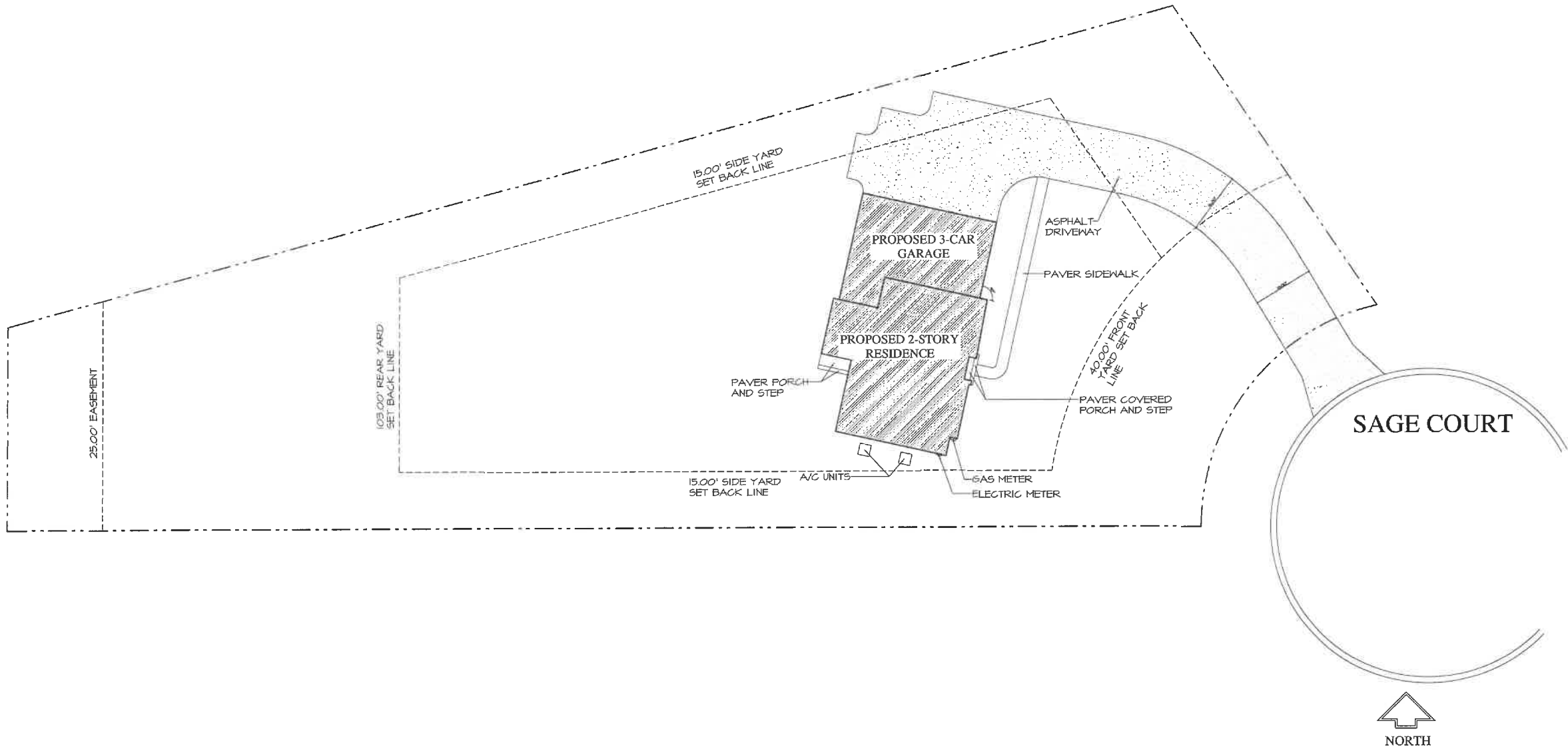
S.F. = square feet
DOC. = Document
FIR = Found Iron Rod

Rialto Capital Management
790 NW 107th Ave, Suite 400
Miami, Florida 33172
Project No. 70-859

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com



1 SITE PLAN
AR 09

SCALE: 1"=15'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

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LOT 12 HAN / CHANG RESIDENCE	
1545 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
12/01/2020 REVIEW	01/12/2021 REVIEW
01/12/2021 REVIEW	01/21/2021 REVIEW
01/21/2021 REVIEW	01/26/2021 REVIEW
02/04/2021 REVIEW	02/10/2021 REVIEW
03/23/2021 REVIEW	
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 18-04054	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT # AD20202	DRAWN BY: COM / MB
LOT 12 ROOF PLAN	
AR 09	
# 9 OF 14 TOTAL SHEETS	

 FIDELITY WES

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ARCHITECTS

AR 01

1 OF 14 TOTAL SHEETS

SQUARE FOOTAGE	
FIRST FLOOR:	1,434.05 S.F.
SECOND FLOOR:	1,930.71 S.F.
TOTAL:	3,364.76 S.F.
GARAGE:	835.93 S.F.



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1
AR 01


FRONT ELEVATION

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LOT 12
HAN / CHANG RESIDENCE
1545 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

FIDELITY WES


REVIEW	12/01/2020
REVIEW	01/12/2021
REVIEW	01/21/2021
REVIEW	01/26/2021
REVIEW	01/27/2021
REVIEW	02/04/2021
REVIEW	03/26/2021
REVIEW	03/26/2021

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ARCHITECTS

PROJECT # AD20202
DRAWN BY: COM / MB
LOT 12
EXTERIOR ELEVATIONS
AR 01
1 OF 14 TOTAL SHEETS



1 LEFT ELEVATION
AR 02

SCALE: N.T.S.

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LOT 12 HAN / CHANG RESIDENCE 1545 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
12/01/2020 REVIEW	01/12/2021 REVIEW
01/12/2021 REVIEW	01/21/2021 REVIEW
01/21/2021 REVIEW	01/26/2021 REVIEW
01/26/2021 REVIEW	02/04/2021 REVIEW
02/04/2021 REVIEW	02/10/2021 REVIEW
02/10/2021 REVIEW	03/24/2021 REVIEW

26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE #140454	ASPECT DESIGN INC. ARCHITECTS
--	----------------------------------

PROJECT #	AD202012
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LOT 12 EXTERIOR ELEVATIONS	
AR 02	
# 2 OF 14 TOTAL SHEETS	



1
AR 03

REAR ELEVATION

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LOT 12 HAN / CHANG RESIDENCE 1545 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
REVIEW 12/01/2020	REVIEW 01/12/2021
REVIEW 01/12/2021	REVIEW 01/26/2021
REVIEW 01/27/2021	REVIEW 02/04/2021
REVIEW 02/10/2021	REVIEW 02/25/2021
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 14-00454	
PROJECT # AD20202 DRAWN BY: COM / MB	
LOT 12 EXTERIOR ELEVATIONS	
AR 03	
# 3 OF 14 TOTAL SHEETS	



1 RIGHT ELEVATION
AR 04

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LOT 12
HAN / CHANG RESIDENCE
1545 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	12/01/2020
REVIEW	01/12/2021
REVIEW	01/21/2021
REVIEW	01/26/2021
REVIEW	01/27/2021
REVIEW	02/04/2021
REVIEW	02/10/2021
REVIEW	03/23/2021

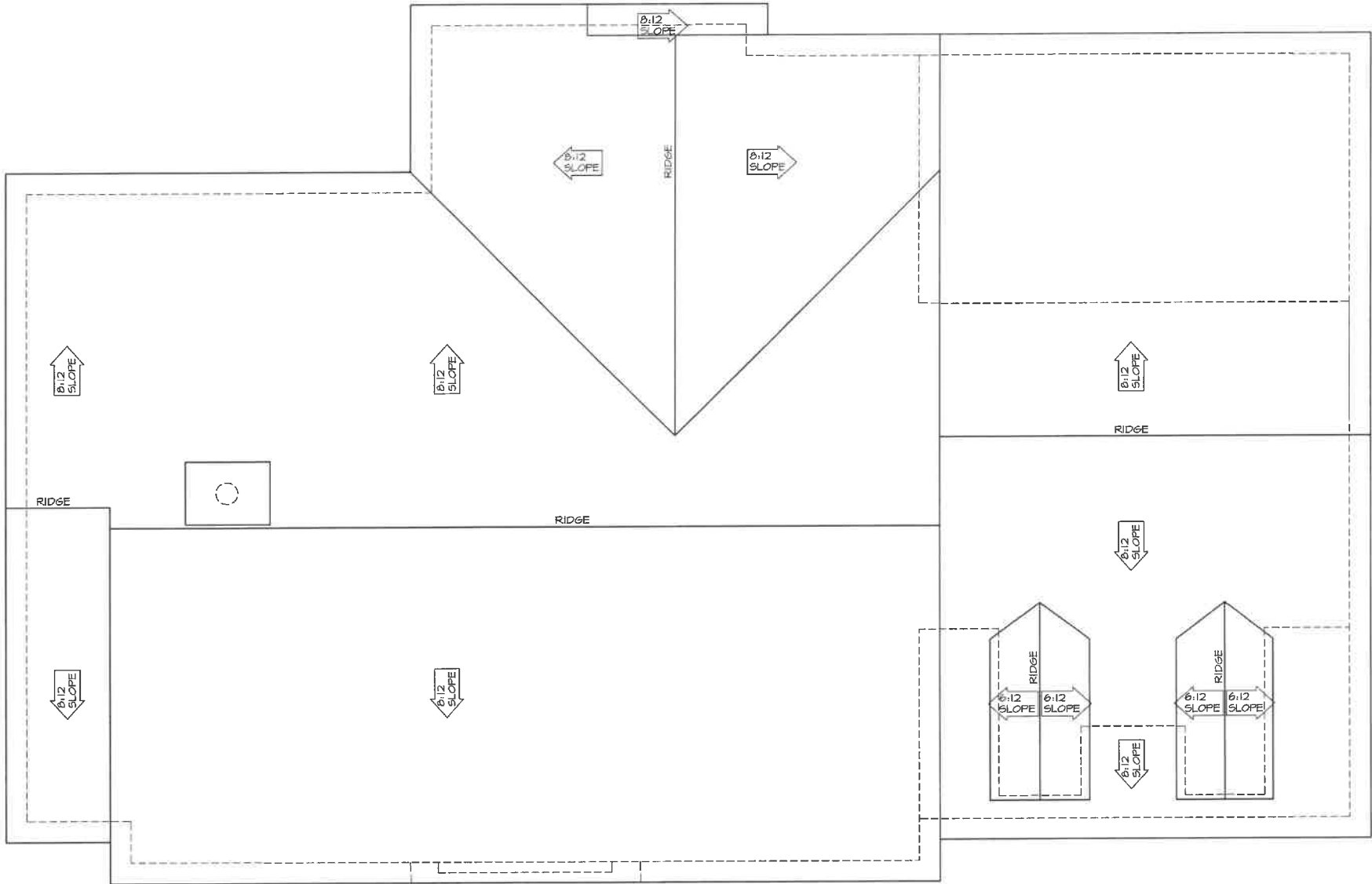
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MAIN: 847-457-2300
WWW.ASPECTDESIGNINC.COM
IL 16286314-0001

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD20202
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LOT 12
EXTERIOR ELEVATIONS
AR 04

4 OF 14 TOTAL SHEETS



1 ROOF PLAN
AR 07

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AD20202

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LOT 12
ROOF PLAN

AR 07

7 OF 14 TOTAL SHEETS

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12/01/2020
REVIEW

01/12/2021
REVIEW

01/11/2021
REVIEW

01/06/2021
REVIEW

01/27/2021
REVIEW

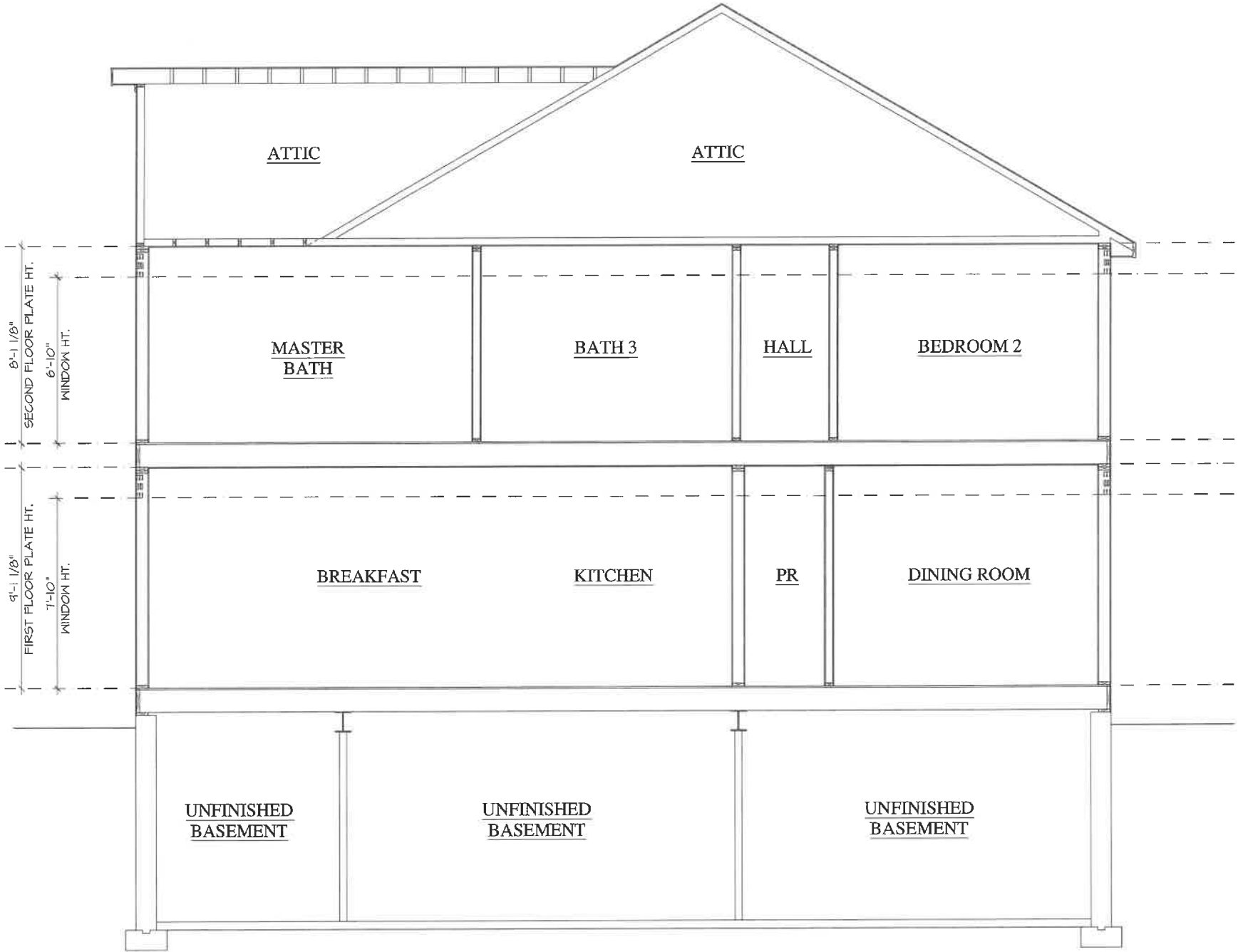
02/04/2021
REVIEW

02/10/2021
REVIEW

03/23/2021
REVIEW

FIDELITY WES

LOT 12
HAN / CHANG RESIDENCE
1545 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045



1
AR 08

BUILDING SECTION

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PROJECT # AD20202	
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LOT 12 BUILDING SECTION	
AR 08	
# 8 OF 14 TOTAL SHEETS	

12/01/2020	REVIEW
01/12/2021	REVIEW
01/21/2021	REVIEW
01/26/2021	REVIEW
01/27/2021	REVIEW
02/04/2021	REVIEW
02/10/2021	REVIEW
03/25/2021	REVIEW



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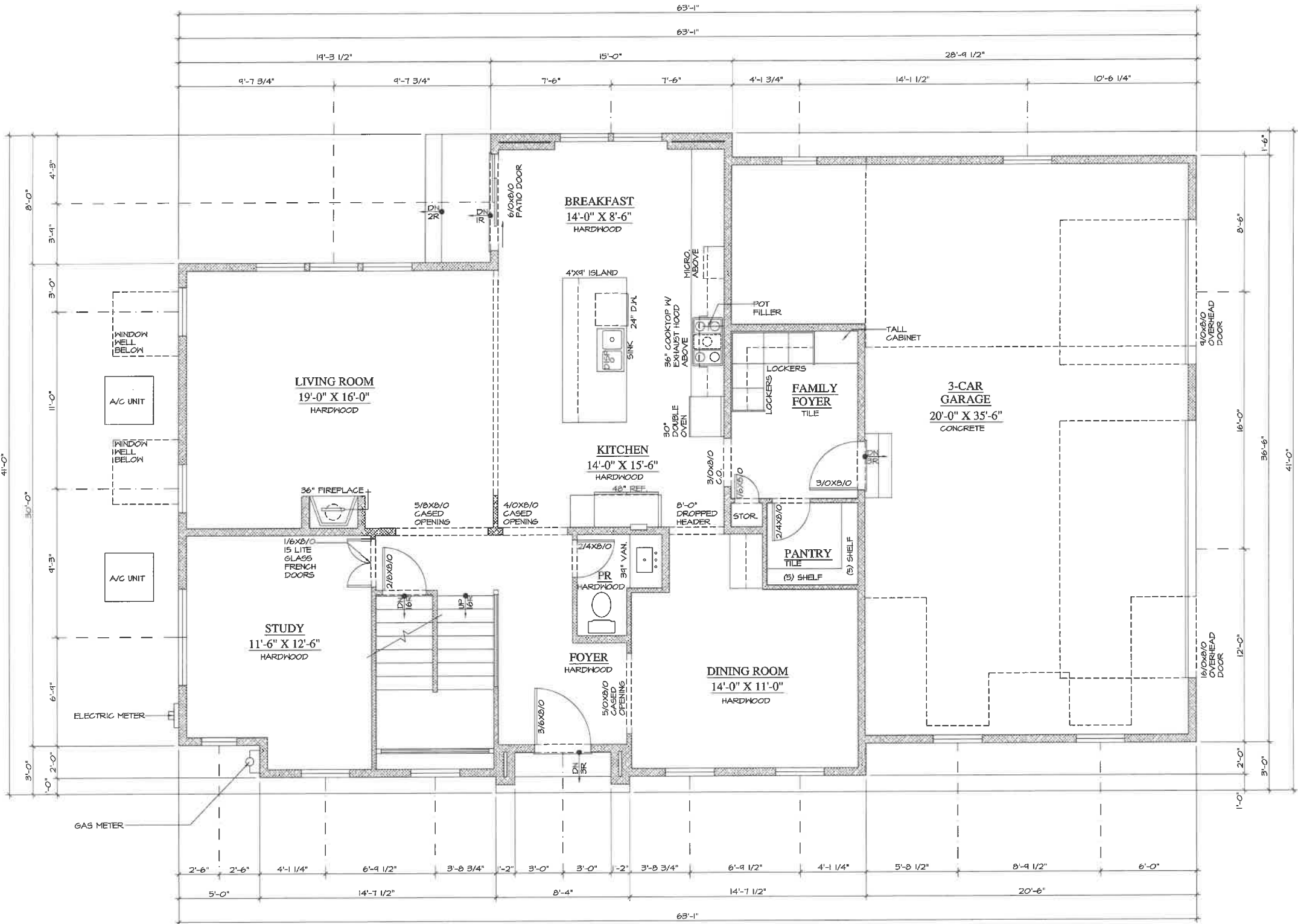
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FIDELITY WES

LOT 12
HAN / CHANG RESIDENCE

1545 SAGE COURT
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LAKE FOREST, IL 60045



1 FIRST FLOOR PLAN
AR 05

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AD202022

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LOT 12
FIRST FLOOR PLAN

AR 05

5 OF 14 TOTAL SHEETS

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REVIEW
12/01/2020

REVIEW
01/12/2021

REVIEW
01/21/2021

REVIEW
01/26/2021

REVIEW
01/27/2021

REVIEW
02/04/2021

REVIEW
02/10/2021

REVIEW
03/25/2021

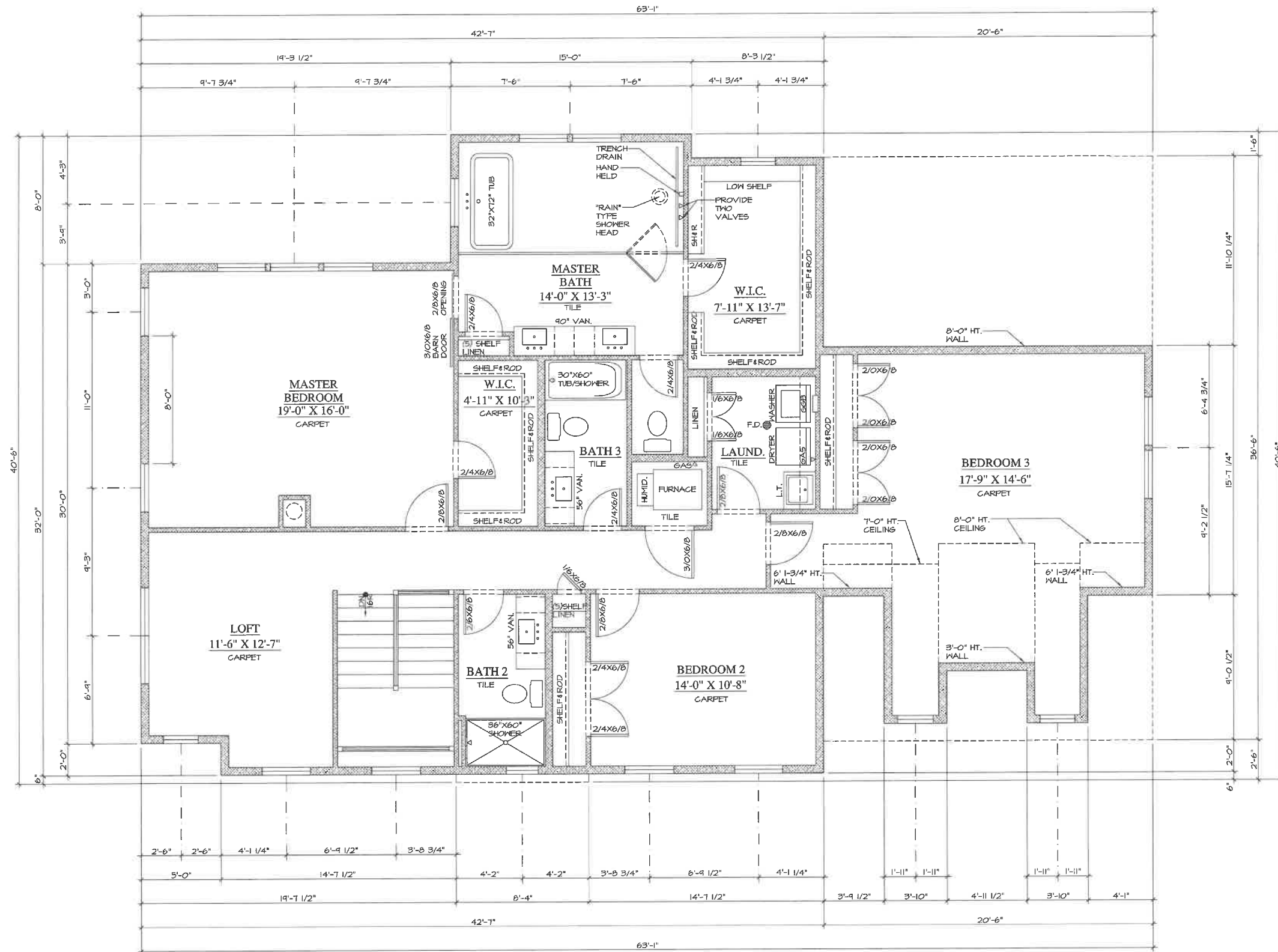
FIDELITY WES

LOT 12
HAN / CHANG RESIDENCE
1545 SAGE COURT
OAK KNOLL WOODLANDS
LAKE FOREST, IL 60045

REVIEW	12/01/2020
REVIEW	01/13/2021
REVIEW	01/21/2021
REVIEW	01/24/2021
REVIEW	01/27/2021
REVIEW	02/04/2021
REVIEW	02/10/2021
REVIEW	03/25/2021


ASPECT DESIGN INC.
 ARCHITECTS
 26575 COMMERCE DR.
 SUITE 607
 VOLVO IL 60073
 TEL: 847-457-2500
 FAX: 847-457-2500
 E-MAIL: INFO@ASPECTDESIGN.COM
 IL LICENSE # 18400534

PROJECT #	AD20202
DRAWN BY:	COM / MB
LOT 12 SECOND FLOOR PLAN	
<h1>AR 06</h1>	
# 6 OF 14 TOTAL SHEETS	

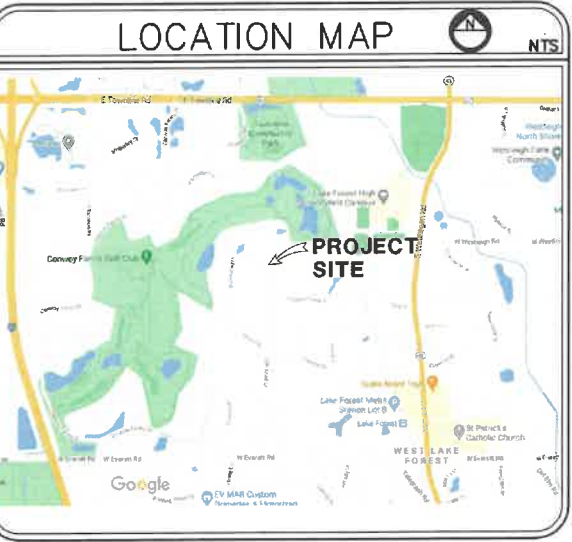
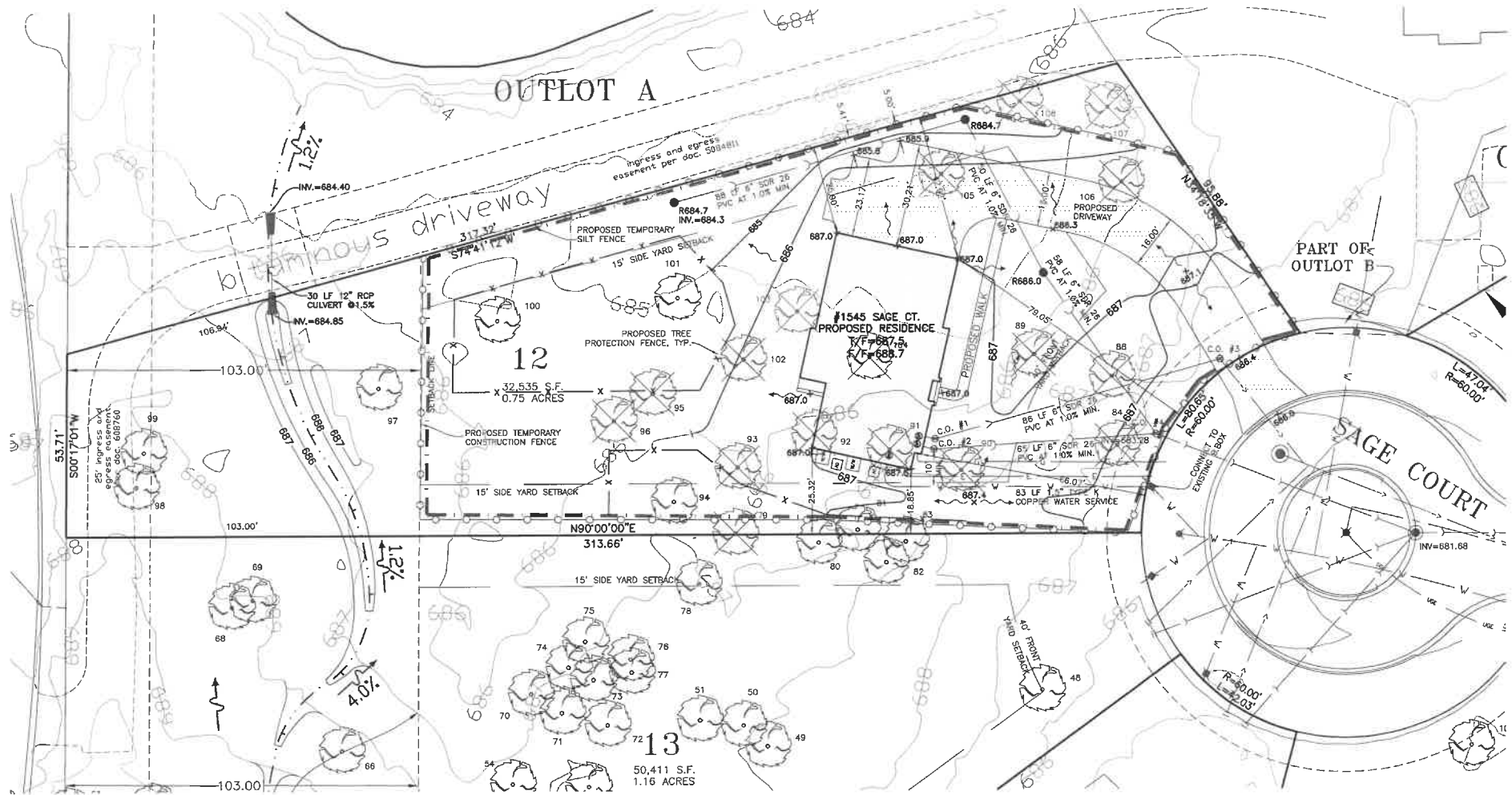


1 SECOND FLOOR PLAN
AR 06

SCALE: N.T.S.

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LEGEND	
EXISTING	PROPOSED
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	YARD DRAIN
	STORM MANHOLE
	SANITARY MANHOLE
	CLEAN OUT
	B.BOX
	DOWNSPOUT
	PAVEMENT
	DRAINAGE FLOW
	PAVEMENT GROUND ELEVATION
	CONTOURS
	TOP OF FOUNDATION ELEVATION
	FIRST FLOOR ELEVATION
	GARAGE FLOOR ELEVATION
	EXISTING TREE
	TREE TO BE REMOVED
	SILT FENCE
	TREE PROTECTION FENCE
	CONSTRUCTION FENCE

THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

IMPERVIOUS AREA CALCULATIONS		
	EXISTING	PROPOSED
RESIDENCE	0 SQ. FT.	2,287 SQ. FT.
DRIVEWAY	0 SQ. FT.	2,875 SQ. FT.
WALK, PORCH, PATIO & STEPS	0 SQ. FT.	257 SQ. FT.
A/C PAD	0 SQ. FT.	18 SQ. FT.
TOTAL AREA	0 SQ. FT.	5,217 SQ. FT.
LOT AREA EXCLUDING CONSERVATION EASEMENT	25,548 SQ. FT. (0.59 AC)	
TOTAL LOT AREA	32,535 SQ. FT. (0.75 AC)	

BENCHMARK:
CITY OF LAKE FOREST MONUMENT #10
BRASS DISK IN CONCRETE AT NORTHEAST CORNER OF OAK KNOLL DRIVE & CONWAY ROAD INTERSECTION.
ELEVATION = 697.44 (NAVD 88)

SITE BENCHMARK:
MUELLER NUT ON FIRE HYDRANT AT #530 OAK KNOLL DRIVE.
ELEVATION = 684.21 (NAVD 88)

THE CITY OF LAKE FOREST GENERAL NOTES:
ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE FOREST CITY CODE AND THE ENGINEERING AND CONSTRUCTION STANDARDS, CURRENT EDITION.

EROSION CONTROL NOTES:
A SYNTHETIC SILT FENCE SHALL BE CONSTRUCTED ALONG THE PERIMETER OF THE DISTURBED AREA WHEREVER OVERLAND FLOWS ARE TRIBUTARY TO THE DETENTION POND OR STORM SEWER STRUCTURE.
THIS SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE MANUAL "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL (ILLINOIS)".
THIS SILT FENCE SHALL BE CONSTRUCTED AT THE OUTSET OF THE WORK AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK UNTIL ACCEPTABLE VEGETATION IS ESTABLISHED ON THE SITE.

LAWN RESTORATION NOTE:
ALL DISTURBED AREAS MUST BE SEEDED, SODDED OR PLANTED WITH APPROVED GRASS COVER WITHIN THIRTY (30) DAYS OF SUBSTANTIAL COMPLETION OF STRUCTURE EXTERIOR. THE PUBLIC PARKWAY DRAIN MUST BE ESTABLISHED PRIOR TO ISSUANCE OF A CONDITIONAL OCCUPANCY PERMIT.

PER LAKE FOREST TREE PRESERVATION ORDINANCE (CHAPTER 42, SECTION 38-A):
UTILITY SERVICES (WATER, SANITARY, STORM, GAS, ELECTRIC, AMERITECH AND U.S. CABLE) SHOULD BE LOCATED IN DRIVEWAY AREAS WHENEVER POSSIBLE TO PREVENT ANY DESTRUCTION OF TREES IN THE SITE. IF CONFLICTS ARE UNAVOIDABLE, THEN SERVICES MUST BE AUGERED.

EACH UTILITY SERVICE ROUTE MUST BE FIELD STAKED WITH LATH AND IDENTIFIED WITH RIBBON IN ACCORDANCE WITH THE FOLLOWING COLOR CODE:

BLUE => WATER
GREEN => STORM
RED => SANITARY
YELLOW => GAS
ORANGE => ELECTRIC, TELEPHONE & CABLE

NO TREES 12" OR LARGER SHALL NOT BE REMOVED WITHOUT A PERMIT FROM THE DIRECTOR OF PARKS, FORESTRY AND PUBLIC WORKS.

TREE PRESERVATION FENCING MUST BE ERECTED AT A 20' PERIMETER OF THE PROPOSED STRUCTURE'S FOUNDATION AND AT A 5' OFFSET OF THE PROPOSED DRIVEWAY EDGES. THE FENCE SHALL CONSIST OF EITHER WOOD OR PLASTIC FENCE MATERIALS, FOUR (4) FEET HIGH WITH STEEL SUPPORTING POSTS 12 FEET ON CENTER. FENCING MUST BE INSTALLED PRIOR TO PRELIMINARY SITE INSPECTION AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION.

NO VEGETATION IS PERMITTED FOR REMOVAL FOR THE FENCE INSTALLATION.

SITE DEVELOPMENT PLAN

- TOPOGRAPHY INFORMATION PROVIDED BY CLIENT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATION. ASPECT DESIGNS ARCHITECTS INC. 26575 COMMERCE DRIVE SUITE 607, Volo, IL 60073 847-457-2500

ig CONSULTING, INC.
CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH: (847) 215-1133 | FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH: (262) 878-6200 | info@igconsulting.net

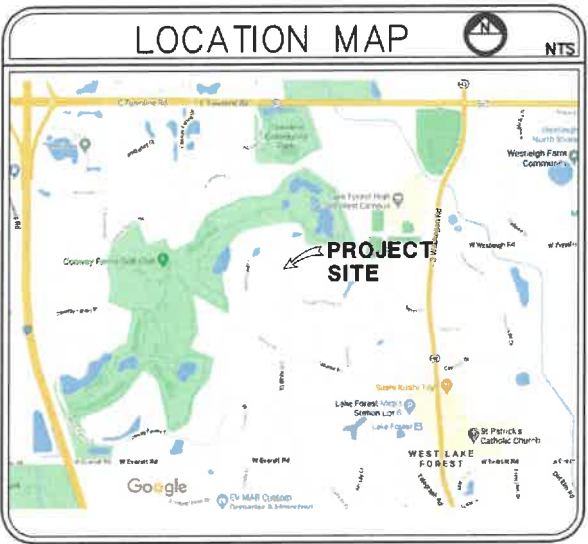
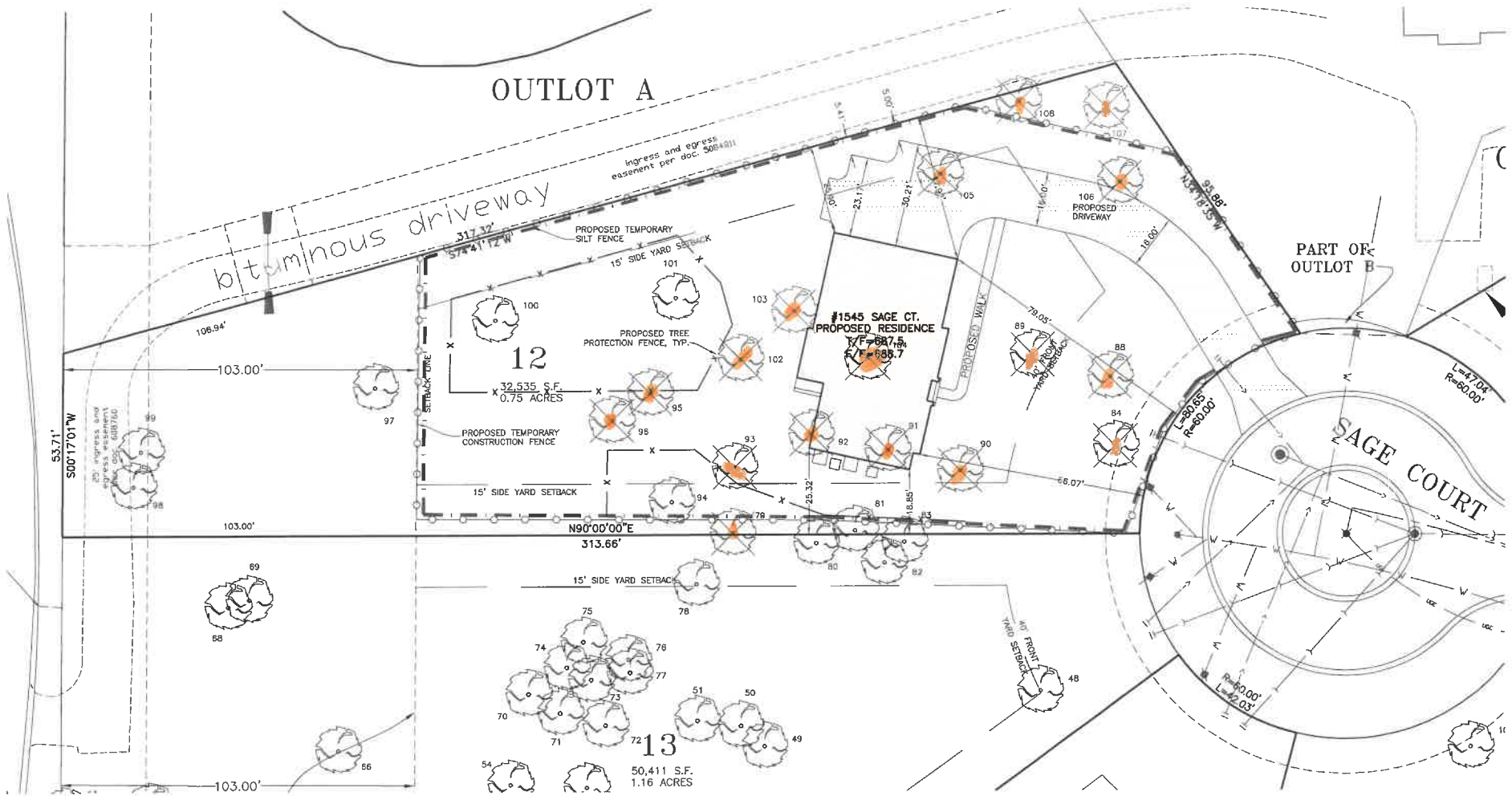
REVISIONS
DATE DESCRIPTION DRAWN BY

SITE DEVELOPMENT PLAN
DESIGN: K.C.L.
DRAFTING: S.R.M.
DATE: 03/30/21
SCALE: 1"=20'
FIRM NO. 184-001330

LOT 12 OAK KNOLL WOODLANDS
1545 SAGE COURT
LAKE FOREST, ILLINOIS

PROJECT No.
20830

1 of 3



LEGEND	
EXISTING	PROPOSED

THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

TREE REMOVAL PLAN

- TOPOGRAPHY INFORMATION PROVIDED BY CLIENT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATION. ASPECT DESIGNS ARCHITECTS INC. 26575 COMMERCE DRIVE SUITE 607, Volo, IL 60073 847-457-2500

REVISIONS	
DATE	DESCRIPTION

ICCONSULTING, INC.
CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 ic@icconsulting.net

DESIGN: K.C.L. DRAFTING: A.W.
TREE REMOVAL PLAN SCALE: 1"=20' DATE: 03/30/21

FIRM NO. 184-001330

LOT 12 OAK KNOLL WOODLANDS
1545 SAGE COURT
LAKE FOREST, ILLINOIS

PROJECT No.
20830

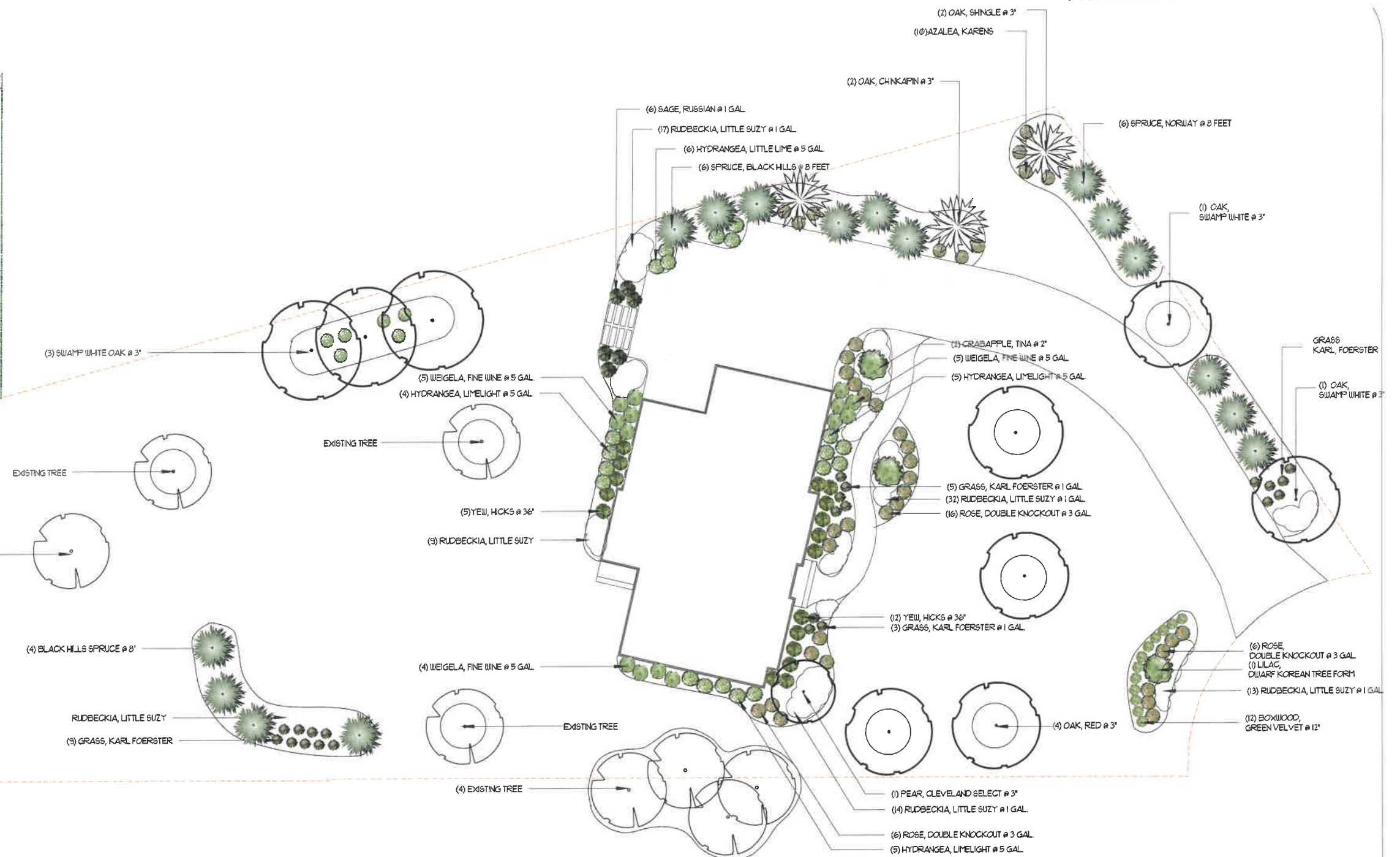
2 of 3

PRELIMINARY TREE INVENTORY

Tag	Common Name	2015 Size	2015 Problems	2020 Condition	Removal(2021)	LOT
79	Black Walnut	8	vine infested, twist in trunk	dead/dying	X	12
81	Black Walnut	9	one sided, twist in trunk			12
84	Black Walnut	8	weak crotch, slight sweep		X	12
88	Black Walnut	9	twist in trunk, double leader		X	12
89	Black Walnut	9	vine infested, slight sweep		X	12
90	Black Walnut	9	weak crotch		X	12
91	Black Walnut	9	minor deadwood, twist in trunk		X	12
92	Black Walnut	18	minor deadwood, multiple leaders		X	12
93	Black Walnut	12	minor deadwood, vine infested, multiple leaders		X	12
94	Silver Maple	8	vine infested, slight sweep			12
95	Silver Maple	12	one sided, vine infested, twist in trunk	dead/dying	X	12
96	Silver Maple	12	weak crotch, one sided, over-topped, vine infested, double leader		X	12
97	Black Walnut	8	double leader	dead/dying		12
98	Black Walnut	14	minor deadwood, multiple leaders			12
99	Black Walnut	11	minor deadwood, multiple leaders			12
100	White Oak	35	trunk scar, decay, slight lean, multiple leaders			12
101	Cut-leaf Silver	32	weak crotch, multiple leaders			12
102	Basswood	21	slight sweep		X	12
103	Apple	10	minor deadwood, sparse foliage, sweep, over-topped	gone		12
104	Sugar Maple	19	weak crotch, multiple leaders		X	12
105	Silver Maple	47	basal decay, weak crotch, girdling root, multiple leaders		X	12
106	Callery Pear	8	minor deadwood, weak crotch, trunk scar, decay		X	12
107	Callery Pear	8	weak crotch, decay, hollow	gone		12
108	Callery Pear	9	weak crotch, hollow	gone		12

LEGEND

Quantity	Common Name	Botanical Name	Size
Flower, Perennial			
52	Black Eyed Susan, Little Suzy	Viola's Little Suzy Black Eyed Susan	1 gal.
10	Sage, Russian	Perovskia, Atriplicifolia	1 gal.
Grass, Perennial			
36	Karl Foerster	Calamagrostis acutiflora 'Karl Foerster'	1 gal.
Shrub, Deciduous			
20	Hydrangea, Little Lime	Hydrangea paniculata 'Dane'	5 gal.
33	Rose, Double Knockout	Rosa 'Double Knockout'	5 gal.
10	Azalea, Karens	Azalea x 'Karen'	5 gal.
15	Weigela, Fine Wine	Weigela Florida 'Fine Wine'	36"
Shrub, Evergreen			
12	Boxwood, Green Velvet	Buxus x 'Green Velvet'	18"
27	Yew, Hicks	Taxus media 'HicksII'	36"
Tree Deciduous			
4	Oak, Red	Quercus coccinea	3"
10	Oak, Heritage	Quercus robur 'Clemens'	3"
5	Oak, Swamp White	Quercus Bicolor	3"
2	Oak, Chinkapin	Quercus muehlenbergii	3"
1	Oak, Shingle	Quercus imbricaria	3"
1	Pear, Cleveland Select	Pyrus calleryana 'Cleveland Select'	3"
2	Crabapple, Tina	Malus Sargentii	3"
Tree, Evergreen			
10	Spruce, Black Hills	Picea glauca 'Densata'	8 ft
6	Spruce, Norway	Picea abies	8 ft



LANDSCAPE DEVELOPMENT PLAN

HAN/CHENG RESIDENCE

1545 SAGE COURT
LAKE FOREST, IL

SCALE 3/32 = 1'



NORTH

PREPARED BY:

DON BETO AND COMPANY
888 TOWER ROAD
MUNDELEIN, IL 60060

REVISION:

MARCH 29, 2021

NOTES:

LAKE FOREST TREE REPLACEMENT REQUIREMENTS
REQUIRED REPLACEMENT = 60 INCHES
(10) BLACK HILLS SPRUCE # 8 FEET (3" CALIPER) = 30 INCHES
(6) NORWAY SPRUCE # 8 FEET (3" CALIPER) = 18 INCHES
(5) SWAMP WHITE OAK # 3" CALIPER = 15 INCHES
(4) RED OAK # 3" CALIPER = 12 INCHES
(2) CHINKAPIN OAK # 3" CALIPER = 6 INCHES
(1) SHINGLE OAK # 3" CALIPER = 3 INCHES
(1) CLEVELAND SELECT PEAR # 3" CALIPER = 3 INCHES
(2) TINA CRABAPPLE # 2" CALIPER = 4 INCHES

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Agenda Item 6
1825 Telegraph Road
Demolition & Replacement Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Plat of Survey – Existing Conditions
Proposed Site Plan
Site Plan Overlay
Proposed West Elevation
Proposed North Elevation – With Garage
Proposed North Elevation – With Section Between House and Garage
Proposed East Elevation
Proposed South Elevation
Proposed South Elevation – Garage
Color Renderings
Proposed Roof Plan
Building Sections
Proposed Basement Plan
Proposed First Floor Plan
Proposed Second Floor Plan
Site Grading Plan
Tree Removal Plan
Inventory of Trees To Be Removed
Preliminary Landscape Plan
Correspondence

1825 Telegraph Road

Consideration of a request for approval of the demolition of a single family residence and barn and construction of a replacement residence and attached garage. Approval of a conceptual landscape plan and overall site plan is also requested.

**Property Owner: Bel Sogno, LLC (Michael Donato 50%, Wendy Donato, 50%)
Project Representative: Rick Vanselow, Builder**

Staff Contact: Jen Baehr, Assistant Planner

Description of Property

This property is located on the east side of Telegraph Road, near the southern boundary of the City. The streetscape is generally characterized by expansive yards and significant landscaping along the street and between residences. The area is comprised of homes constructed in the 1950's with newer construction interspersed. There is a mixture of architectural styles in the surrounding neighborhood.

The property that is the subject of this request totals 6.8 acres and is a generally rectangular in shape with an angled front property line that follows the street. The existing residence on the property is a two story farmhouse structure that is in serious disrepair. A dilapidated brick barn building is also on the property, south of the farmhouse, and a collapsed screen porch structure is located between the farmhouse and barn. Few records for the property exist and it is unclear when the farmhouse and barn structure were constructed although based on the few records available, the farmhouse and barn were likely built in the early 1900's. There are wetlands along the north property line, in the southeast corner and generally at the center of the south property line as reflected on the Plat of Survey included in the Board's packet.

Summary of Request

The petitioner purchased the property last year and proposes to completely demolish the existing farmhouse, barn and existing driveway and construct a new residence and an attached five car garage.

The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project. An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's consideration.

Proposed Demolition

The applicable criteria set forth in the Ordinance are reviewed by staff below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. Although the existing farmhouse and barn are presumed to be over 100 years old, in their dilapidated state, the structures do not contain the historic or architectural integrity that would make them worthy of preservation.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. Based on the conditions of the existing residence, no part of the structure can be preserved and reused.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. The house, in its current condition, is not habitable. Given the current state of the residence, likely all elements of the home would need complete replacement to make the home suitable for residential use.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. In fact, demolition of the house and barn will remove a nuisance property and redevelopment of the site with a residence that complies with the City's Design Guidelines will support property values in the neighborhood.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The surrounding neighborhood is comprised of a mix of homes of varying in age, massing, and architectural style. The Board's review and direction are intended to assure that the new home will be consistent with the quality and character of the neighborhood.

Staff finds that the criteria for demolition are satisfied.

Replacement Residence

Site Plan - This standard is met.

The proposed residence is located further south than the existing farmhouse structure and extends slightly further south than the existing barn structure. The proposed residence at its closest point is set back approximately 160 feet from the front property line. For reference the existing farmhouse is set back approximately 120 feet from the front property line.

The proposed replacement residence faces west toward Telegraph Road, with a side-load attached garage on the north side of the house. A circular driveway is proposed. The existing curb cuts will be removed and replaced with two new curb cuts. The new north curb cut is located approximately 55 feet further north than the existing north curb cut on the property. The proposed south curb cut is located approximately 33 feet further south than the existing south curb cut. A patio is proposed on the rear of the residence.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will increase from coverage of 3 percent to 5 percent.

Building Massing and Height – This standard is met.

Based on the overall size of the lot, a residence of up to 25,466 square feet is permitted on the site however, the presence of wetlands could impact that number. In this case, the house is proposed outside of any wetlands on the property so a deduction for wetlands does not need to be considered. A garage of up to 800 square feet is permitted along with up to 2,546 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and includes elements such as single dormers and screen porches.

- The proposed residence totals 7,972 square feet.
- A total of 800 square feet is allowed for a garage on this property. The proposed garage totals 1,460 square feet. The garage overage of 660 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 607 square feet of design elements are incorporated into the design of the house.
- The residence as proposed totals 8,632 square feet and is 66 percent under the maximum allowable square footage.
- If in the future the property is presented for subdivision, the lot on which the proposed residence is located will need to be large enough to fully support the square footage of the house.

At the maximum height, the residence is 38 feet and 1 inch tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet. The residence as presented complies with the height limitation.

Elevations – This standard is met.

The proposed residence is a contemporary style home. The residence reflects a two-and-a-half story mass. The garage on the north side of the residence is a one-and-a-half-story massing. The massing of the home is compatible with the massing found on the newer homes that are south of this property on Telegraph Road. The residence presents a series of steeply pitched gable roof forms. The front elevation presents a recessed entry at generally the center of the primary front façade. There are a variety of window sizes found on the home however, they reflect generally the same vertical, narrow proportions.

Type, color, and texture of materials – This standard is generally met.

The exterior walls of the home are stone. In areas such as the projecting two-story bay on the front elevation, and on the exterior walls of the linking element between the house and garage, a composite metal material is proposed. Based on discussions with the petitioner, cedar is also being considered for these areas.

Architectural asphalt shingle is proposed for the roof. Aluminum clad wood windows with interior and exterior muntins are proposed. The door and window trim will be stone. The headers above the windows and sills will also be stone. The fascia, rakeboards and soffits as proposed are wrapped with aluminum. Aluminum gutters and downspouts are proposed. The chimney will be stone with a metal cap.

- Consistent with past Board approvals, the fascia, rakeboards, and soffits shall be natural wood. On a house of this size and prominence, use of wood in this area is important.

Based on the color renderings provided by the petitioner, the color palette consists of a light gray color stone and the trim, fascia and soffits are bronze. The asphalt shingle roof will be dark gray. The windows will be bronze.

Landscape and Hardscape

Based on the tree removal plan, a total of 31 trees are proposed for removal. The trees proposed for removal include Oak, Maple, Crabapple, Walnut, Boxelder, Hawthorn, Cedar, and Spruce trees. Many of the trees proposed for removal are low quality trees and trees that are in poor condition. Based on the trees that are quality species and in healthy condition that are proposed for removal, a total of 40 replacement inches is required.

The Heritage Oak tree proposed for removal is located north of the driveway and has uprooted. Because of the potential hazard, the City Arborist recommends removal of the Oak tree is removed. Replacement inches are not required for this tree.

A partial conceptual landscape plan was provided and is included in the Board's packet. The plan reflects existing vegetation on the north and south property lines at the front of the property that will be maintained through construction. New plantings are proposed around the front of the home and around the driveway. New plantings include Freeman Maple and Redbud trees, as well as evergreen and deciduous shrubs, and grasses.

The City Arborist does not recommend the use of Maple trees for new plantings because many are failing to thrive in the community. The City will provide a list of recommended alternatives that can be incorporated into the landscape plan as it is further developed.

Based on the conceptual landscape plan, the total number of replacement inches is not satisfied. In addition to the required replacement inches, the Code establishes a minimum criteria for landscaping for new residential construction. As currently proposed, the minimum criteria for landscaping is not fully satisfied and additional shade trees and understory or evergreen plantings are needed to meet the minimum landscape requirements for new residences. As the landscape plan is further developed it will need to be detailed with additional plantings and will be subject to review and approval by the City's Certified Arborist. The landscape plan shall also incorporate shade trees and plantings in the front yard to soften the appearance of the home from the street and to follow the existing natural character found along the streetscape.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. Staff received one letter from a neighboring property owner and the letter is included in the Board's packet.

A preliminary drainage plan was submitted by the petitioner and is under review by the City Engineer. This area has considerable wetlands and areas of overland stormwater flows. The City Engineer will assure that the new construction and the grading proposed on the site will not exacerbate current stormwater conditions.

Recommendations

Recommend approval of demolition of the existing residence and barn structure based on the findings presented above.

and

Recommend approval of the replacement residence, garage, overall site plan and conceptual landscape plan based on the findings presented in this staff report and as further detailed during the Board's deliberations, subject to the following conditions of approval.

1. Natural wood shall be used for the fascia, rakeboards and soffits.
2. All modifications to the plans presented to the Board, including those detailed above and any additional refinements either in response to Board direction, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and the recently approved subdivision plans and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage.
4. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed, and shade trees and plantings in the front yard to soften the appearance of the home from the street and to follow the existing natural character found along the streetscape.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
6. Details of all exterior lighting shall be provided with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1825 Telegraph Road Owner(s) Bel Sogno LLC
 Architect Rick Vanselow, V3 Builders Inc. (Michael Donato 50%, Wendy Donato 50%)
 Date 5/5/2021 Reviewed by: Jen Baehr
 Lot Area 295831 sq. ft.

Square Footage of New Residence:

1st floor 3182 + 2nd floor 3444 + 3rd floor 1346 = 7972 sq. ft.

Design Element Allowance = 2546 sq. ft.

Total Actual Design Elements = 607 sq. ft. Excess = 0 sq. ft.

Garage 1460 sf actual ; 800 sf allowance Excess = 660 sq. ft.

Garage Width 24'- 2" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 8632 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 25466 sq. ft.

DIFFERENTIAL = -16834 sq. ft.

Under Maximum

Allowable Height: 40 ft. Actual Height 38' - 1" ft.

NET RESULT:

16834 sq. ft. is

66% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 2546 sq. ft.

Front & Side Porches = 593 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 14 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

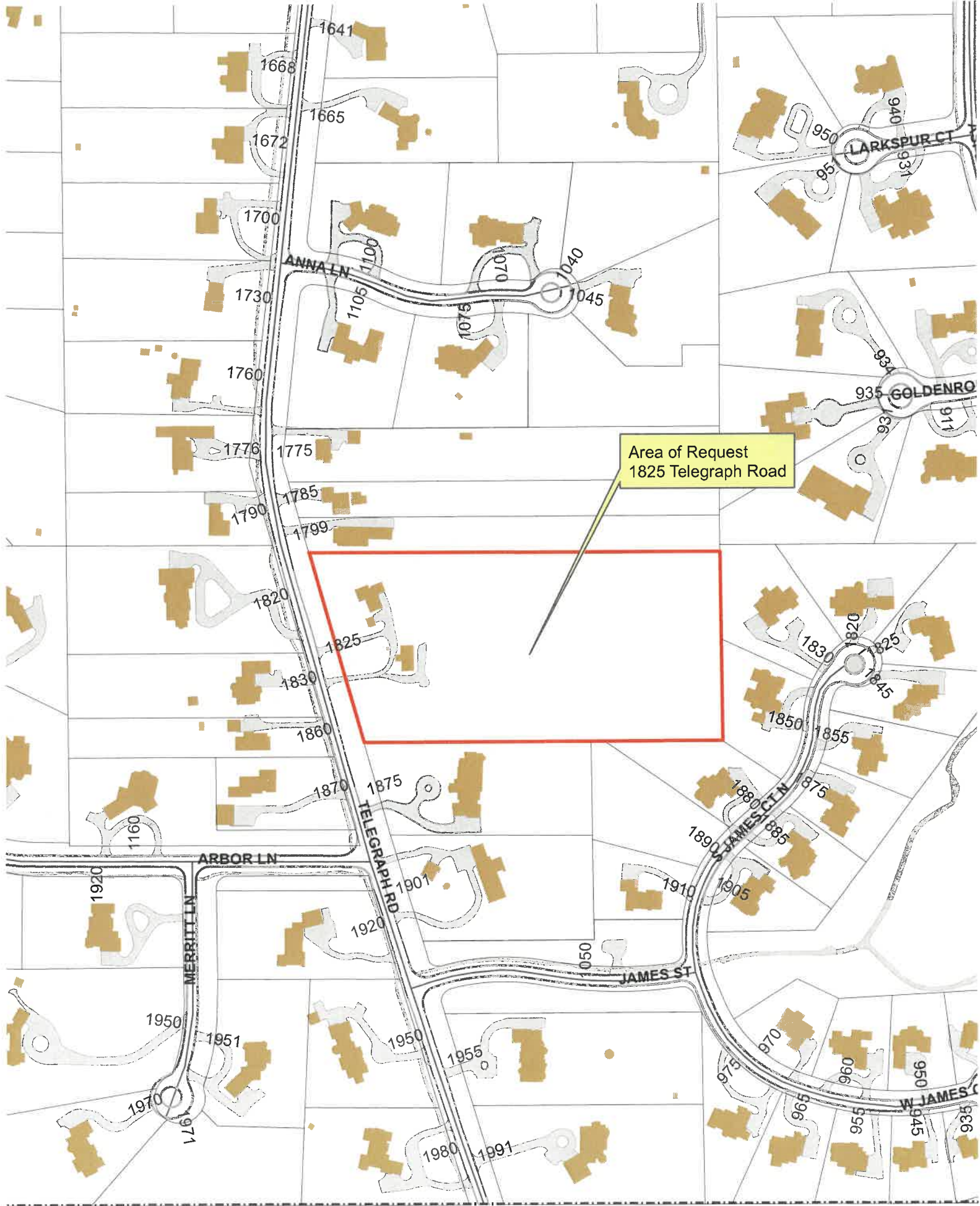
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 607 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
1825 Telegraph Road



Area of Request
1825 Telegraph Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1825 TELEGRAPH RD. LAKE FOREST IL 60045

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

BEC SOQUO LLC
Owner of Property

1665 W. BROADLAND LN.
Owner's Street Address (may be different from project address)

LAKE FOREST IL 60045
City, State and Zip Code

847-818-2183
Phone Number

847-818-2183
Fax Number

MICHAEL BONATO@FGMK.COM
Email Address

Michael Bonato
Owner's Signature

ARCHITECT/BUILDER INFORMATION

RICK VALSELOW OWNER.
Name and Title of Person Presenting Project

V3 BUILDERS, INC.
Name of Firm

13880 W TRAIL DR.
Street Address

METTAWA IL 60045
City, State and Zip Code

847-830-3161
Phone Number

847-830-3161
Fax Number

RICK.V3@ICLOUD.COM
Email Address

Rick Valselow
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MICHAEL DONATO</u>	Name <u>WENAY DONATO</u>
Address <u>1665 W. BEAUMONT LN</u> <u>LAKE FOREST, IL</u>	Address <u>1665 W. BEAUMONT LN</u> <u>LAKE FOREST, IL 60057</u>
Ownership Percentage <u>50</u> %	Ownership Percentage <u>50</u> %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

April 23, 2021

Bel Sogno, LLC
1825 Telegraph Road .
Lake Forest , Illinois 60 045

Criteria for Approval of Demolition of a Structure

1. The existing structures on the site include a single family house and a building in a partially ruined state. There is no known information as to the age, architect or past owners/occupants of the buildings . There are no distinctive architectural features – the house has siding and the building in partial ruin is brick.
2. The existing house does not suit a contemporary living program either in terms of room sizes or arrangement. The building structure and services would need complete replacement and the resulting renovated structure would neither realize the value of the property nor be in character with surrounding single family residential properties.
3. The single family residence is vacant for at least 5 years and the condition of the structure is very poor. The other structure on the property is non-residential and is a state of partial ruin.
4. The replacement structure will not adversely impact the value of property within the neighborhood in that the proposed new single family residence will be more in keeping with the adjacent properties.
5. The replacement structure will be compatible with and not adversely impact the neighborhood character – the design is in the spirit of a country estate with exterior stone cladding, abundant windows and a well composed building massing.

March 24, 2021

**Bel Sogno, LLC
1825 Telegraph Road.
Lake Forest, Illinois 60045**

Architectural Design Intent

The site is 7 acres therefore, the project is not really an in-fill project on a city street that needs to fit in and maintain the typical streetscape. Rather, the design looks more at the notion of being a country estate as many properties on Telegraph appear as isolated buildings set on the land. This design is similar in that it is sited on an old farmstead – with generally flat land and areas of wetland at the perimeter.

All setbacks are exceeded and the house is set in the area of the site that is already generally flat. The structure is set back from the street approximately 150 feet and set at a slight angle off parallel so that it visually recedes as one drives past it. This allows for a broad front lawn with ample landscaping to screen the house while still preserving the existing natural features (wetlands and rolling fields) on the north, south and east portions of the site.

The scale and height is in conformance with city requirements and is consistent with the existing properties along Telegraph as they tend to spread out on the site, are set back from the street and vary in mass and design style.

This design seeks to modulate the building massing – providing the functions requested by the client while breaking down the mass so that it appears settled into the site. The main building mass contains primary living spaces and bedrooms. Secondary support functions are then appended to the form in reduced heights to create a hierarchy of forms and a visually pleasing composition. The garage and covered patio are rotated 90 degrees to minimize their visual impact on the design when viewed from the street. This rotation also creates a more private backyard experience for the client. The resulting massing and rooflines present an ordered composition that is deliberate and fitting to the property in scale.

Exterior materials are high quality. Clad in Wisconsin limestone, punctuated with chestnut bronze clad windows and accents of chestnut bronze metal cladding and a two-story bay window feature, the design is distinctive yet based on standard concepts of order and proportion without being restrained by symmetry or repetition. The resulting size, scale and nature of the structure is consistent with the nearby surrounding properties and will be a distinctive addition that fits into the streetscape and neighborhood.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish CHESTNUT BRONZE

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone FRONT DOOR SURROUND
☐ Brick
☐ Wood
☐ Synthetic Material
☒ Other STONE TO RETURN TO DOORS.

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material
☒ Other STONE TO RETURN TO WINDOWS.

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other PREFINISHED METAL
☐ Synthetic Material

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other PORCELAIN TILES FROM UNILOCK

145 COMMERCE DRIVE, SUITE A
GRAYS LAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

1825 TELEGRAPH ROAD
RESIDENTIAL DEVELOPMENT

1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS

Reserved for Seal:

[illegible]

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Design By: JC	Approved By: MR	Date: 03/05/21
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Sheet Title:

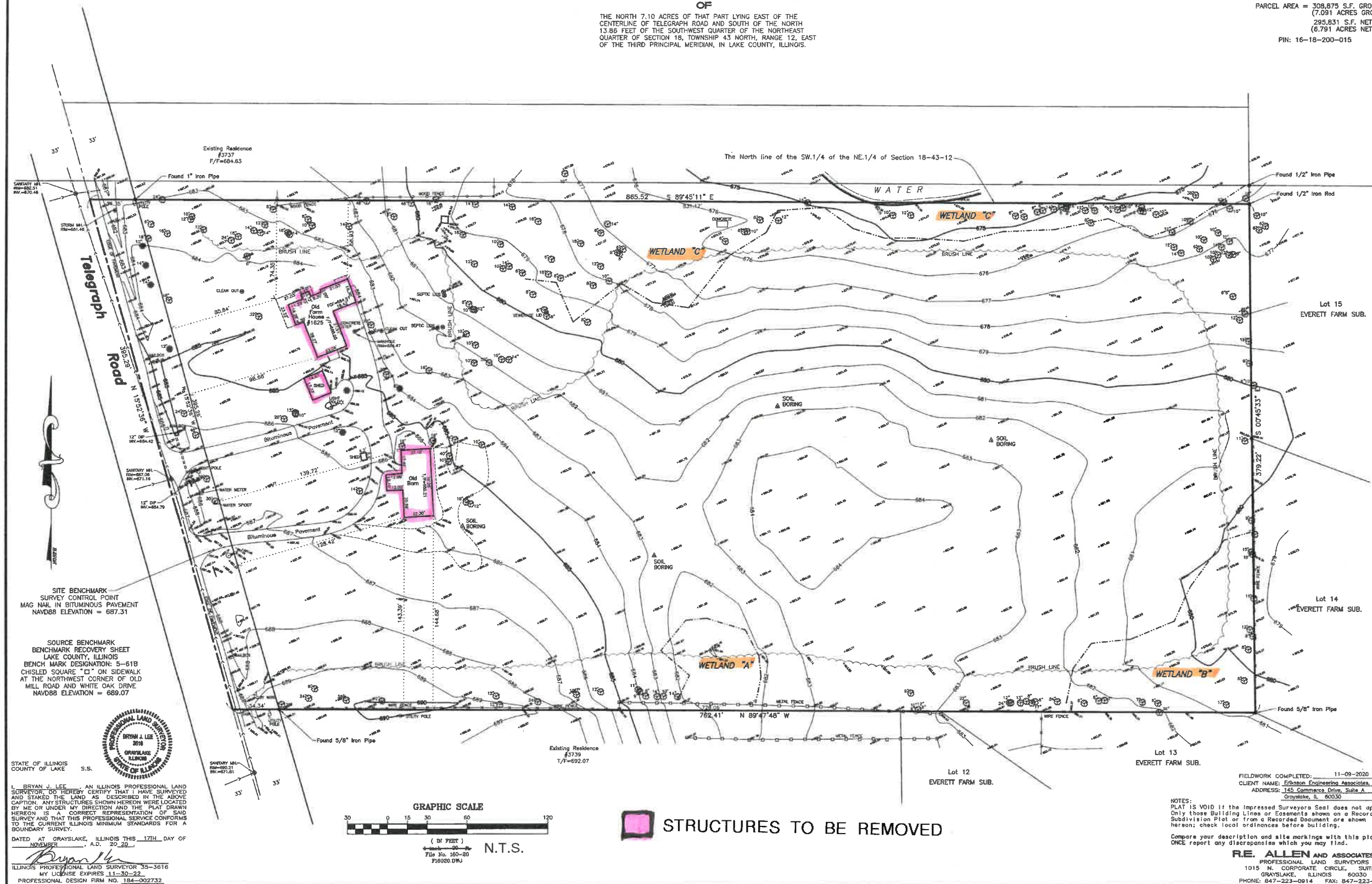
SURVEY

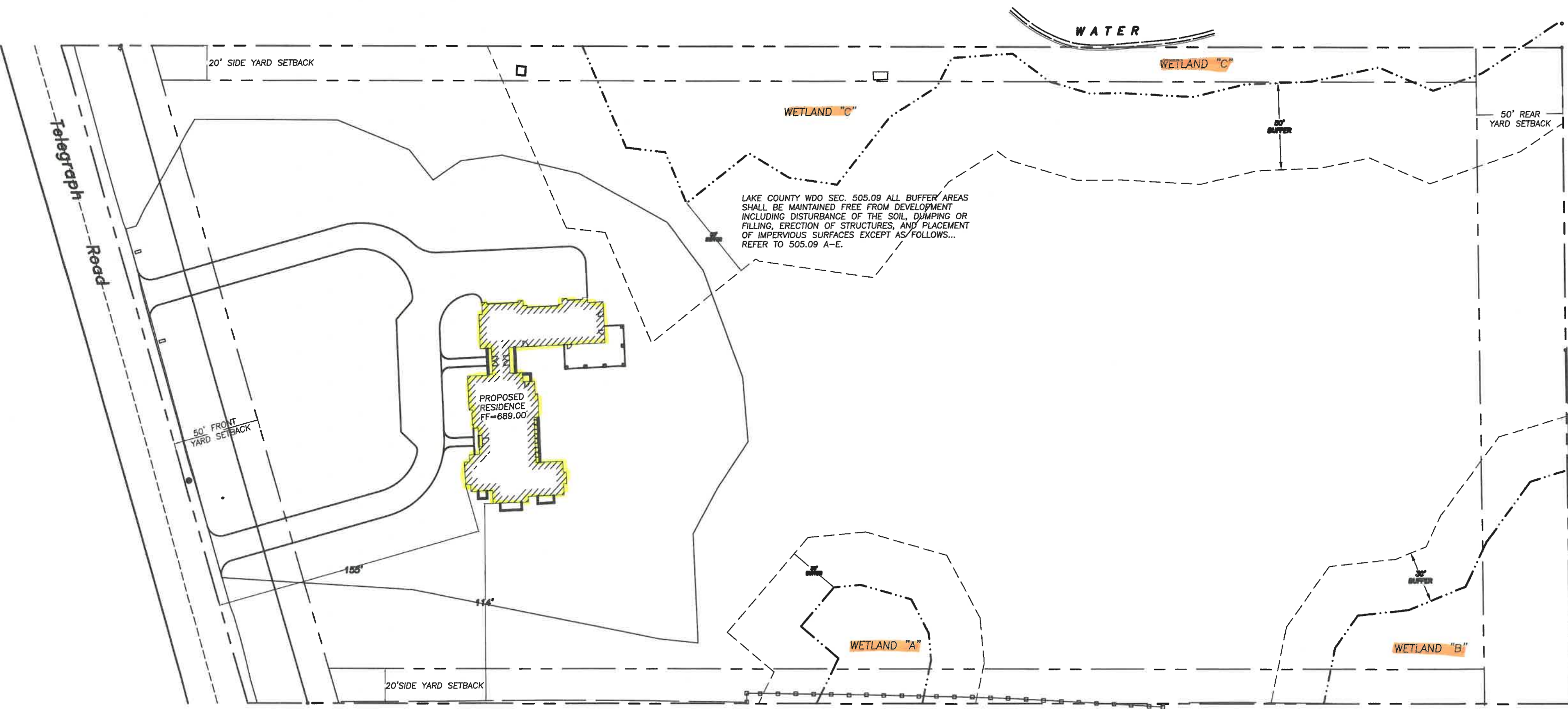
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C001

THE NORTH 7.10 ACRES OF THAT PART LYING EAST OF THE CENTERLINE OF TELEGRAPH ROAD AND SOUTH OF THE NORTH 13.86 FEET OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

THE PREMISES COMMONLY KNOWN AS:
1825 TELEGRAPH ROAD, LAKE FOREST, IL
PARCEL AREA = 308,875 S.F. GROSS
(7.091 ACRES GROSS)
295,831 S.F. NET
(6.791 ACRES NET)
PIN: 16-18-200-015







**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

**1825 TELEGRAPH ROAD
RESIDENTIAL DEVELOPMENT**
1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS

Reserved for Seal:

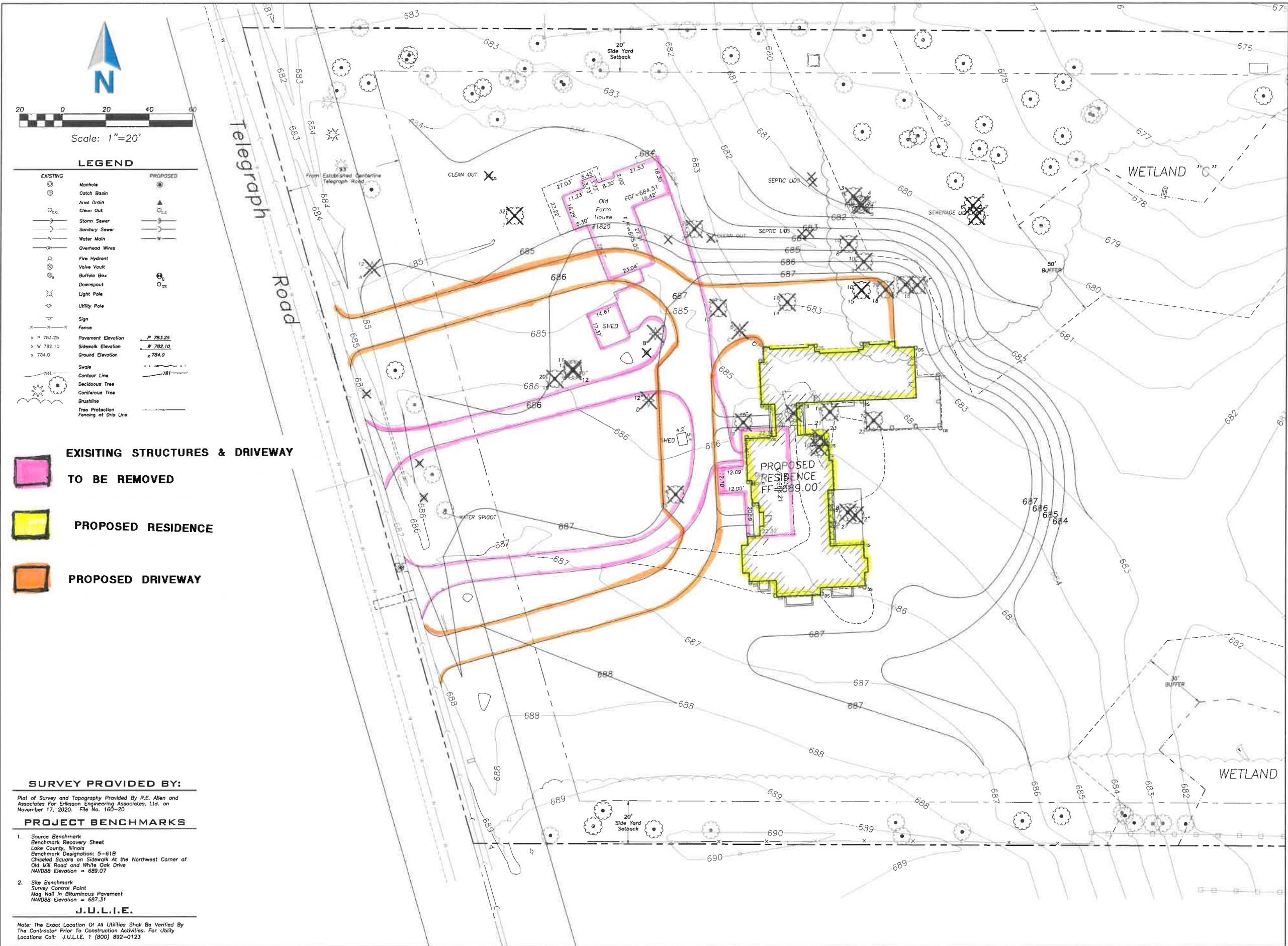
No.	Date	Description
	03/08/21	Issued for City Permit
	03/25/21	Issued for Building Review Board

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Design By:	Approved By:	Date:
JC	MR	03/05/21

Sheet Title:
**EXISTING VS.
PROPOSED
OVERLAY EXH.**

Sheet No:
CX300



LEGEND

- | EXISTING | PROPOSED |
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EXISTING STRUCTURES & DRIVEWAY

TO BE REMOVED

PROPOSED RESIDENCE

PROPOSED DRIVEWAY

SURVEY PROVIDED BY:

Plat of Survey and Topography Provided By R.E. Allen and Associates For Eriksson Engineering Associates, Ltd. on November 17, 2020. File No. 160-20

PROJECT BENCHMARKS

- Source Benchmark
Benchmark Recovery Sheet
Lake County, Illinois
Benchmark Designation: S-618
Chiseled Square on Sidewalk At the Northwest Corner of Old Mill Road and White Oak Drive
NAVD88 Elevation = 689.07
- Site Benchmark
Survey Control Point
Mag Nail in Bituminous Pavement
NAVD88 Elevation = 687.31

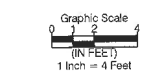
J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

EXTERIOR MATERIAL SPEC

**MASSEY
ASSOCIATES
ARCHITECTS**

4043 North Ravenswood #207
Chicago, Illinois 60613
T 773.525.2900 F 773.525.2999
www.masseyassociates.com



PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

A3.0

1 WEST ELEVATION
scale: 1/4" = 1'-0"

ROOF TYPE 1:
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICVUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

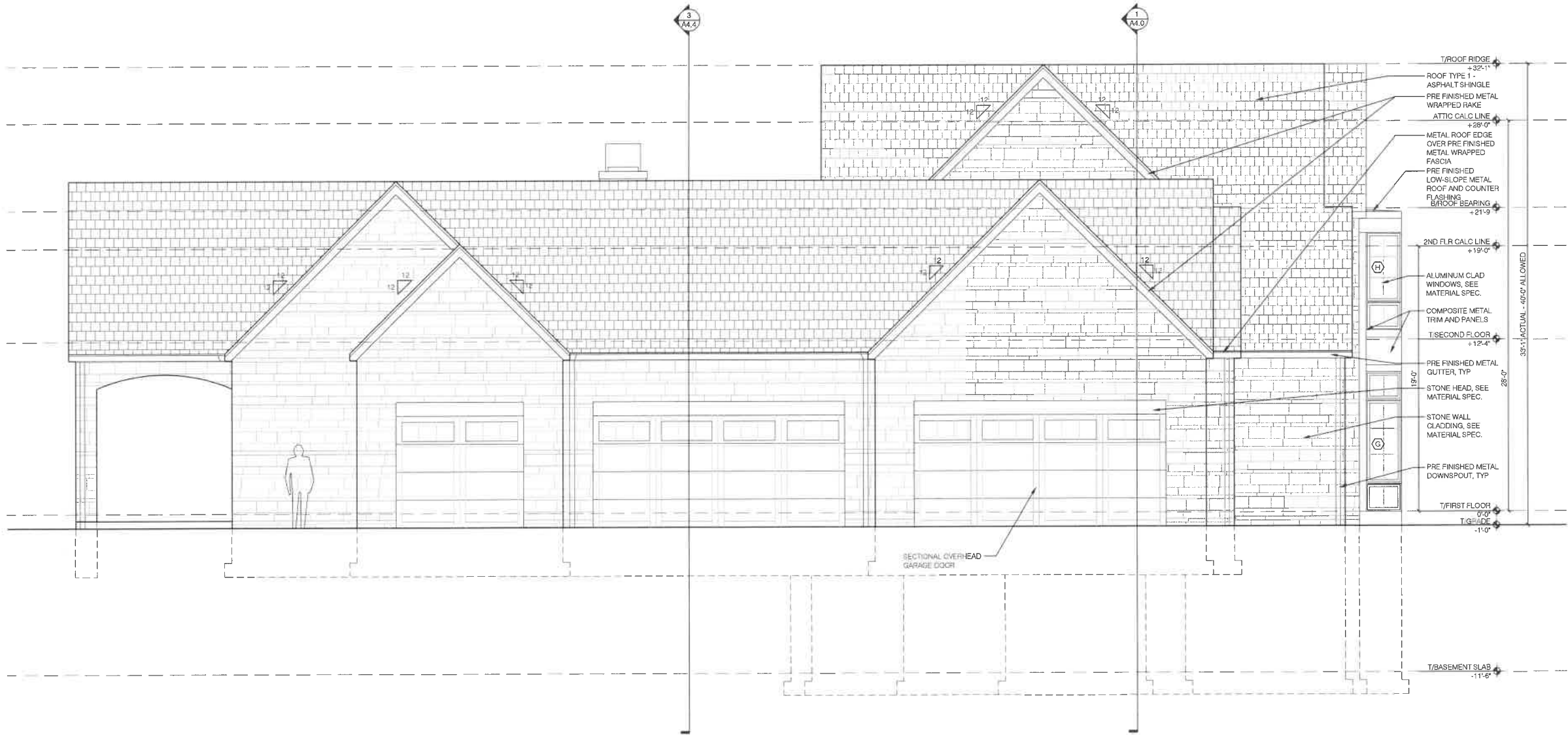
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR

METAL FASCIA/EAVE/OFFSET TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR.
TO BE DETERMINED BY CONTRACTOR

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T 773.525.2900 F 773.525.2999
www.masseyassociates.com



1 GARAGE NORTH ELEVATION
scale: 1/4" = 1'-0"



ISSUED FOR: DATE:
PERMIT 03.08.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

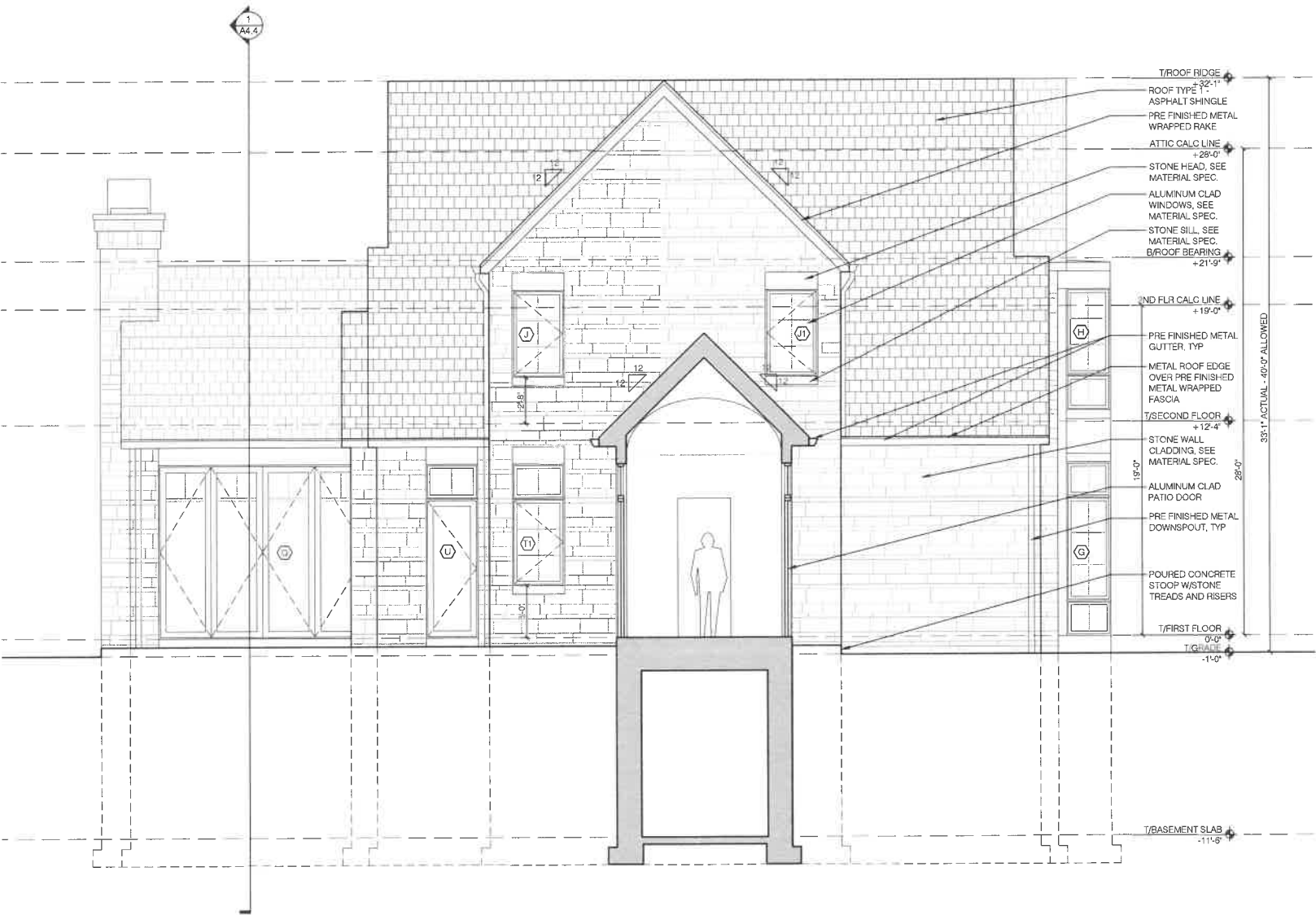
A3.5

PROPOSED NORTH ELEVATION – SECTION THROUGH CONNECTION BETWEEN HOUSE & GARAGE

HOOP 1 1/2" x 1":
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)
STONE WALL CLADDING:
4" THICK - FOND DU LAC BEDFACED
DIMENSIONAL - HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755
STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS - FOND DU LAC
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)
CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOQUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR: TO BE DETERMINED BY
CONTRACTOR
METAL FASCIA/EAVE/SOFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR:
TO BE DETERMINED BY CONTRACTOR
NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T: 773.525.2930 F: 773.525.2999
www.masseyassociates.com



1 NORTH ELEVATION
scale: 1/4" = 1'-0"

Graphic Scale
0 2 4
(IN FEET)
1 inch = 4 Feet



ISSUED FOR: DATE:
PERMIT 03.08.2021

PRIVATE
RESIDENCE
1825 Telegraph Road
Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

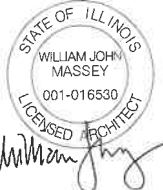
A3.3

PROPOSED EAST ELEVATION

EXTERIOR MATERIALS
ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)
STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755
STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT. INDIANA LIMESTONE)
CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOQUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR
METAL FASCIA/EAVE/OFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR.
TO BE DETERMINED BY CONTRACTOR
NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

A3.1

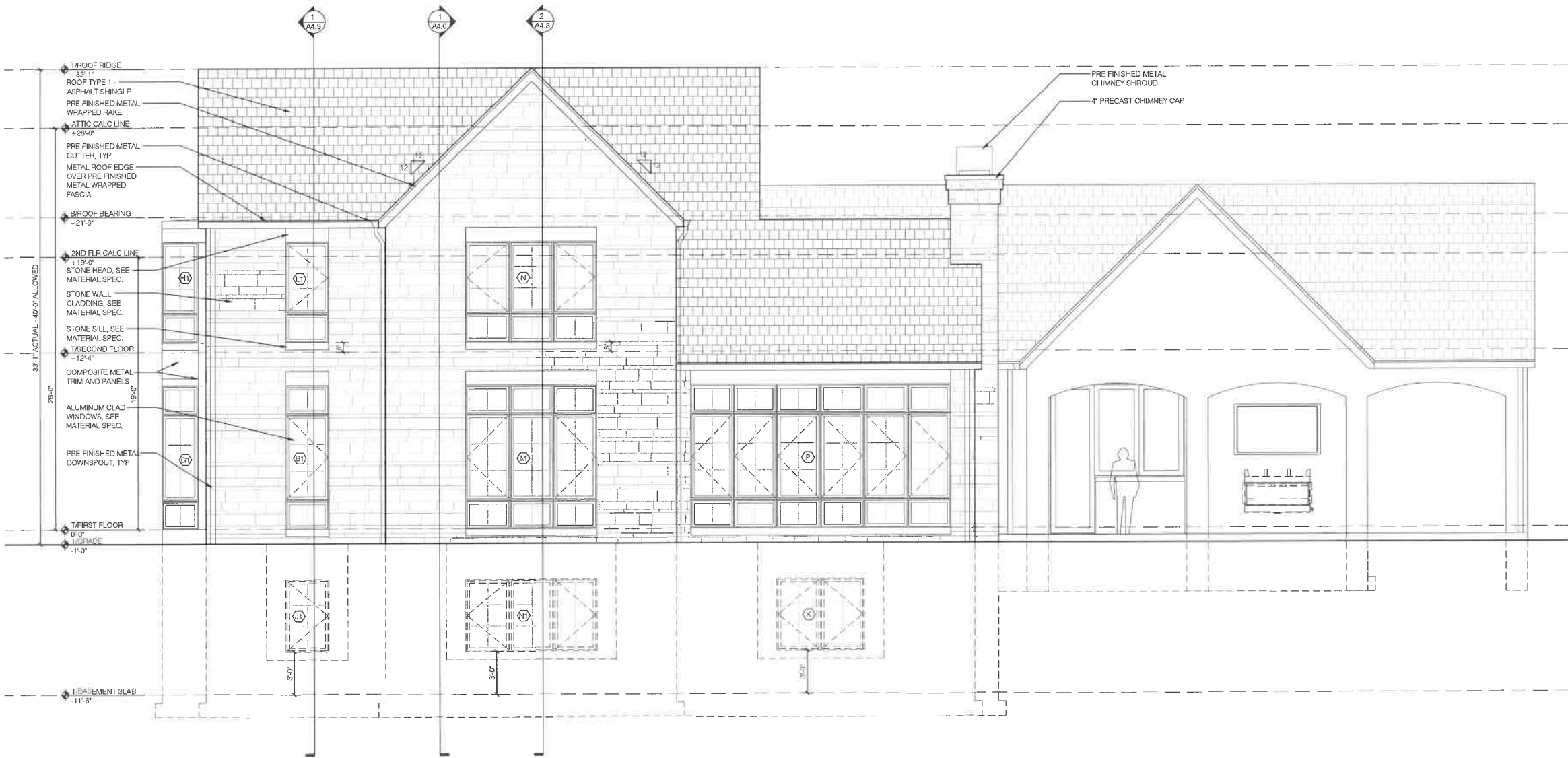
1 EAST ELEVATION
scale: 1/4" = 1'-0"

PROPOSED SOUTH ELEVATION

EXTERIOR
ROOF TYPE 1:
ASPHALT SHINGLES: CERTANTEED
LANDMARK PRO. COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)
STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
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reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755
STONE WINDOW & DOOR HEAD/SILL TRIM:
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708-310-9755
(ALT: INDIANA LIMESTONE)
CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPIQUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR. TO BE DETERMINED BY
CONTRACTOR
METAL FASCIA/EAVE/SOFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR.
TO BE DETERMINED BY CONTRACTOR
NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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1 SOUTH ELEVATION
scale: 1/4" = 1'-0"

Graphic Scale
0 1 2
(IN FEET)
1 inch = 4 feet



ISSUED FOR: DATE:
PERMIT 03.08.2021

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RESIDENCE

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Lake Forest, IL 60045

EXTERIOR
ELEVATIONS

A3.2

PROPOSED SOUTH ELEVATION – GARAGE

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPOXYVE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

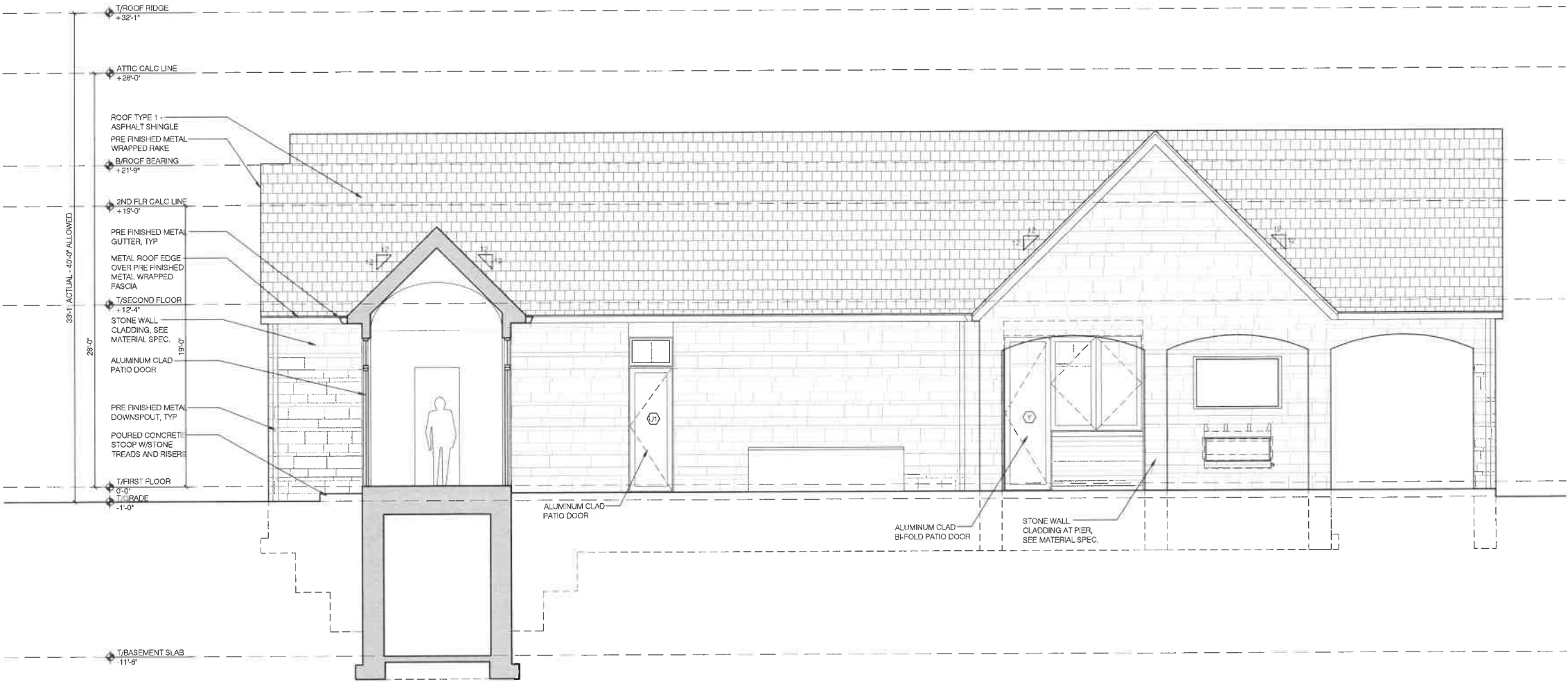
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM. COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE)- MFR: TO BE DETERMINED BY
CONTRACTOR

METAL FASCIA/EAVE/OFFSET TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR:
TO BE DETERMINED BY CONTRACTOR

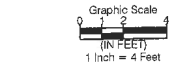
NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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1 GARAGE SOUTH ELEVATION
scale: 1/4" = 1'-0"



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RESIDENCE
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Lake Forest, IL 60045

EXTERIOR
ELEVATIONS
A3.4

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO. COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICURE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE). MFR: TO BE DETERMINED BY
CONTRACTOR

METAL FASCIA/EAVE/OFFSET TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR:
TO BE DETERMINED BY CONTRACTOR

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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1 BIRDEYE VIEW FROM STREET
scale: N.T.S.

Graphic Scale
0 1 2 3
(IN FEET)
1 Inch = 4 Feet



William John Massey

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EXTERIOR
RENDERINGS

A3.8



2 VIEW FROM NORTHWEST
scale: N.T.S.



1 VIEW FROM SOUTHWEST
scale: N.T.S.

VIEW FROM NORTHWEST

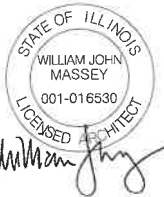
VIEW FROM SOUTHWEST

EXTERIOR MATERIAL SPECIFICATION
ROOF TYPE: T
ASPHALT SHINGLES, CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)
STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL, HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
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CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN PROVUE SERIES, COLOR:
CHESTNUT BRONZE, SEE TO SHEET A9.0
METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE); MFR: TO BE DETERMINED BY
CONTRACTOR
METAL FASCIA/EAVE/SOFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE); MFR:
TO BE DETERMINED BY CONTRACTOR
NOTE: ALL COLORS TO BE REVIEWED
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Graphic Scale
0 1 2 3 4
(IN FEET)
1 Inch = 4 Feet



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EXTERIOR
RENDERINGS

A3.6



2 VIEW FROM NORTHEAST
scale: N.T.S.



1 VIEW FROM SOUTHEAST
scale: N.T.S.

VIEW FROM NORTHEAST

VIEW FROM SOUTHEAST

EXTERIOR MATERIAL SPECIFICATION

ROOF TYPE 1:
ASPHALT SHINGLES: CERTAINTED
LANDMARK PRO, COLOR: MAX DEF
COLONIAL SLATE
GUTTERS/DOWNSPOUT TO MATCH
WINDOW CLAD (CHESTNUT BRONZE)

STONE WALL CLADDING:
4" THICK "FOND DU LAC" BEDFACED
DIMENSIONAL- HEAVY MORTAR JOINT,
SUPPLIED BY RADEMANN STONE CO.
CONTACT: REID JOHNSTON 920-948-0103
reid@rademann.com OR THROUGH ILLINOIS
BRICK - LYNN PACHNER 708-310-9755

STONE WINDOW & DOOR HEAD/SILL TRIM:
VARYING THICKNESS "FOND DU LAC"
HONED (dressed), SUPPLIED BY RADEMANN
STONE CO. CONTACT: REID JOHNSTON
920-948-0103 reid@rademann.com OR
THROUGH ILLINOIS BRICK - LYNN PACHNER
708-310-9755
(ALT: INDIANA LIMESTONE)

CLAD WINDOWS AND EXTERIOR DOORS:
JELD-WEN EPICVUE SERIES, COLOR:
CHESTNUT BRONZE. SEE TO SHEET A9.0

METAL WALL PANELS/TRIM:
COMPOSITE WALL SYSTEM, COLOR TO
MATCH WINDOW CLADDING (CHESTNUT
BRONZE). MFR: TO BE DETERMINED BY
CONTRACTOR

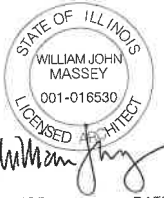
METAL FASCIA/EAVE/SOFFIT TRIM:
BRAKE METAL ALUMINUM WRAPPED
BOARDS, COLOR TO MATCH WINDOW
CLADDING (CHESTNUT BRONZE)- MFR:
TO BE DETERMINED BY CONTRACTOR

NOTE: ALL COLORS TO BE REVIEWED
AND CONFIRMED WITH OWNER

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Graphic Scale
0 1 2 3 4
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: DATE:
PERMIT 03.08.2021

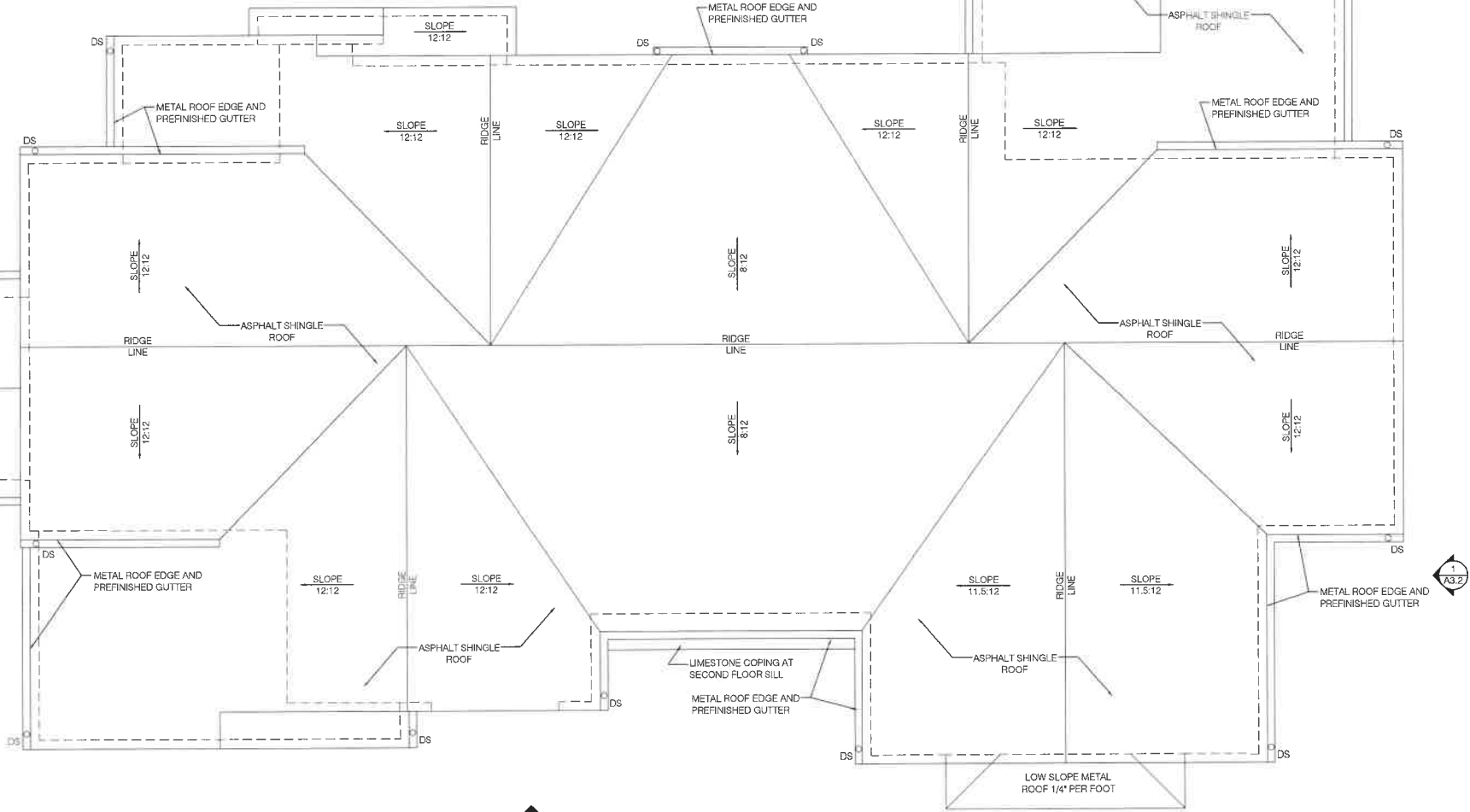
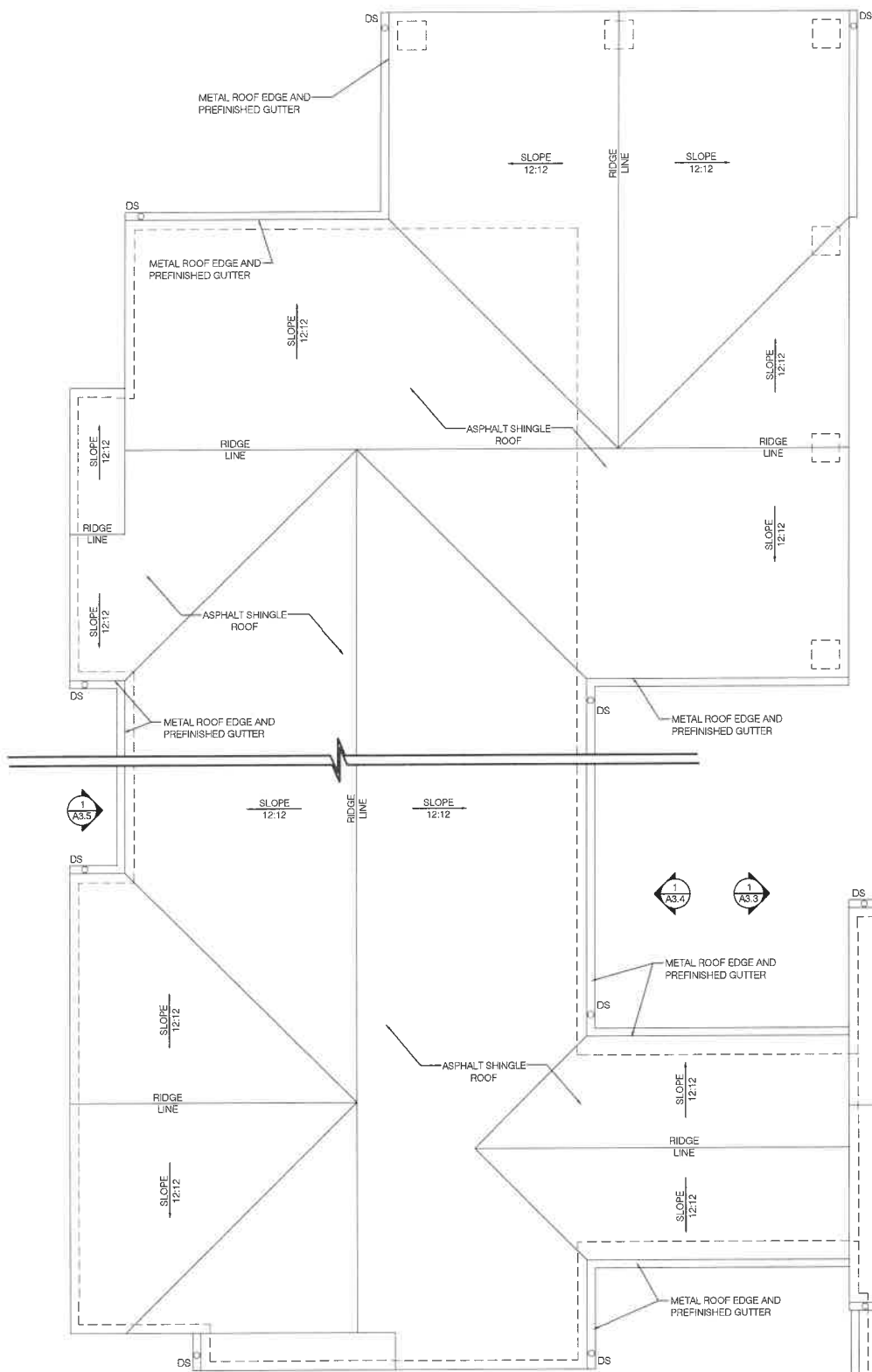
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Lake Forest, IL 60045

EXTERIOR
RENDERINGS

A3.7

PROPOSED ROOF PLAN



- ROOFING NOTES**
1. CONTRACTOR TO PROVIDE FOR SEPARATION OF DISSIMILAR METALS (SUCH AS BETWEEN ZINC AND ALUMINUM) WHEN REQUIRED TO PREVENT GALVANIC ACTION.
 2. ANY VENT OR STACK FROM AN APPLIANCE, MECHANICAL OR PLUMBING COMPONENT TO BE VENTED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL VENTS AND CAPS TO RISE ABOVE THE ROOF WITH THE REQUIRED CLEARANCES AND TO BE FLASHED.
 3. VERIFY LOCATION OF ANY AND ALL ROOF OR WALL PENETRATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 4. PROVIDE PREFINISHED METAL GUTTER AND DOWNSPOUT SYSTEM PER DRAWINGS U.N.O. CONTRACTOR RESPONSIBLE FOR VERIFYING SIZE, QUANTITIES AND LOCATIONS OF GUTTERS, SCUPPERS, DOWNSPOUTS, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE WITH LOCATIONS INDICATED IN DRAWINGS AND REVIEW ANY CHANGES/ADDITIONS WITH ARCHITECT PRIOR TO INSTALLATION. ALL DOWNSPOUTS TO TIE-IN TO DRAIN TILE FOR DISCHARGE ON GRADE AT A REMOTE LOCATION - REVIEW WITH ARCHITECT.
 5. PROVIDE CONTINUOUS WATERPROOF UNDERLAYMENT ("ICE & WATER SHIELD" BY W.R. GRACE OR APPROVED EQUAL) AT ALL ROOF VALLEYS, HIPs, EAVES, RAKES, LOW SLOPE AND FLAT ROOFS AND CHANGES IN ROOF PITCH.
 6. AT EAVES, WATERPROOF UNDERLAYMENT TO EXTEND 24" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS 4:12 OR GREATER. EXTEND WATERPROOF UNDERLAYMENT 36" (MIN.) HORIZONTALLY INTO HEATED SPACE WHEN ROOF PITCH IS LESS THAN 4:12.
 7. INSTALL WATERPROOF UNDERLAYMENT AT EAVES PER MANUFACTURER'S STANDARD INSTALLATION DETAILS FOR "HIGH SNOW AREAS".

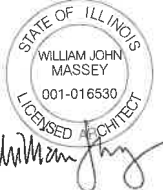
- GENERAL NOTES**
1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
 2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP; MINIMUM ONE PER FLOOR.

LEGEND

	WINDOW TAG (SEE SCHEDULE)
	DOOR TAG (SEE SCHEDULE)
	PLUMBING FIXTURE (SEE SCHEDULE)
	INTERIOR ELEVATION TAG
	CARBON DIOXIDE/ SMOKE DETECTOR
	EXTERIOR FROST FREE HOSE BIB

MASSEY ASSOCIATES ARCHITECTS

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ROOF PLAN
A2.3

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Graphic Scale
1" = 4'-0"



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RESIDENCE

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Lake Forest, IL 60045

BUILDING
SECTION

A4.0

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Lake Forest, IL 60045

BUILDING
SECTION

A4.2



1 BUILDING SECTION
scale: 1/4" = 1'-0"

BASEMENT PLAN

- STAIR NOTES**
1. STAIRS SHALL NOT BE LESS THAN 36" IN WIDTH
 2. MINIMUM TREAD DEPTH, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 9". THE MAXIMUM HEIGHT OF A RISER SHALL NOT EXCEED 7 3/4"
 3. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF ALL STAIRS. HANDRAIL HEIGHT SHALL BE GREATER THAN 34" AFF AND LESS THAN 38" AFF
 4. STAIRS SHALL HAVE A MINIMUM HEAD ROOM OF 6'-8"
 5. A LANDING SHALL BE PROVIDED WHEN THE VERTICAL RISE OF A STAIR EXCEEDS 12 FT
 6. GUARDRAILS TO BE PROVIDED AT 42" AFF AT EVERY POINT OF DANGER INCLUDING AT ALL EDGES OF EVERY FLOOR, BALCONY, MEZZANINE OR OTHER SPACE USED OR INTENDED FOR HUMAN OCCUPANCY WHICH IS AT A HEIGHT OF MORE THAN 2' ABOVE THE FLOOR, GROUND OR PAVEMENT DIRECTLY BELOW. BALUSTERS TO BE VERTICAL AND SPACING SO AS TO REJECT A 4" SPHERE.
 - 7.

- WINDOW & DOOR NOTES**
1. SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF, BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE
 2. ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABETTED DOOR JAMBS
 3. EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN., CLEAR HT. 24" MIN. AND CLEAR OPENING 5.7ft MIN.
 4. EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH
 5. ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW, UNLESS NOTED OTHERWISE.

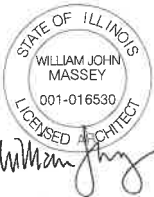
- GENERAL NOTES**
1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
 2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP, MINIMUM ONE PER FLOOR.

- LEGEND**
- WINDOW TAG (SEE SCHEDULE)
 - DOOR TAG (SEE SCHEDULE)
 - PLUMBING FIXTURE (SEE SCHEDULE)
 - INTERIOR ELEVATION TAG
 - CARBON DIOXIDE/ SMOKE DETECTOR
 - EXTERIOR FROST FREE HOSE BIB

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ARCHITECTS

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Graphic Scale
0 1 2 3
(IN FEET)
1 inch = 4 Feet



ISSUED FOR: DATE:
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RESIDENCE

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Lake Forest, IL 60045

BASEMENT
PLAN

A2.0

1 BASEMENT PLAN
scale: 1/4" = 1'-0"



MASSEY
ASSOCIATES
ARCHITECTS

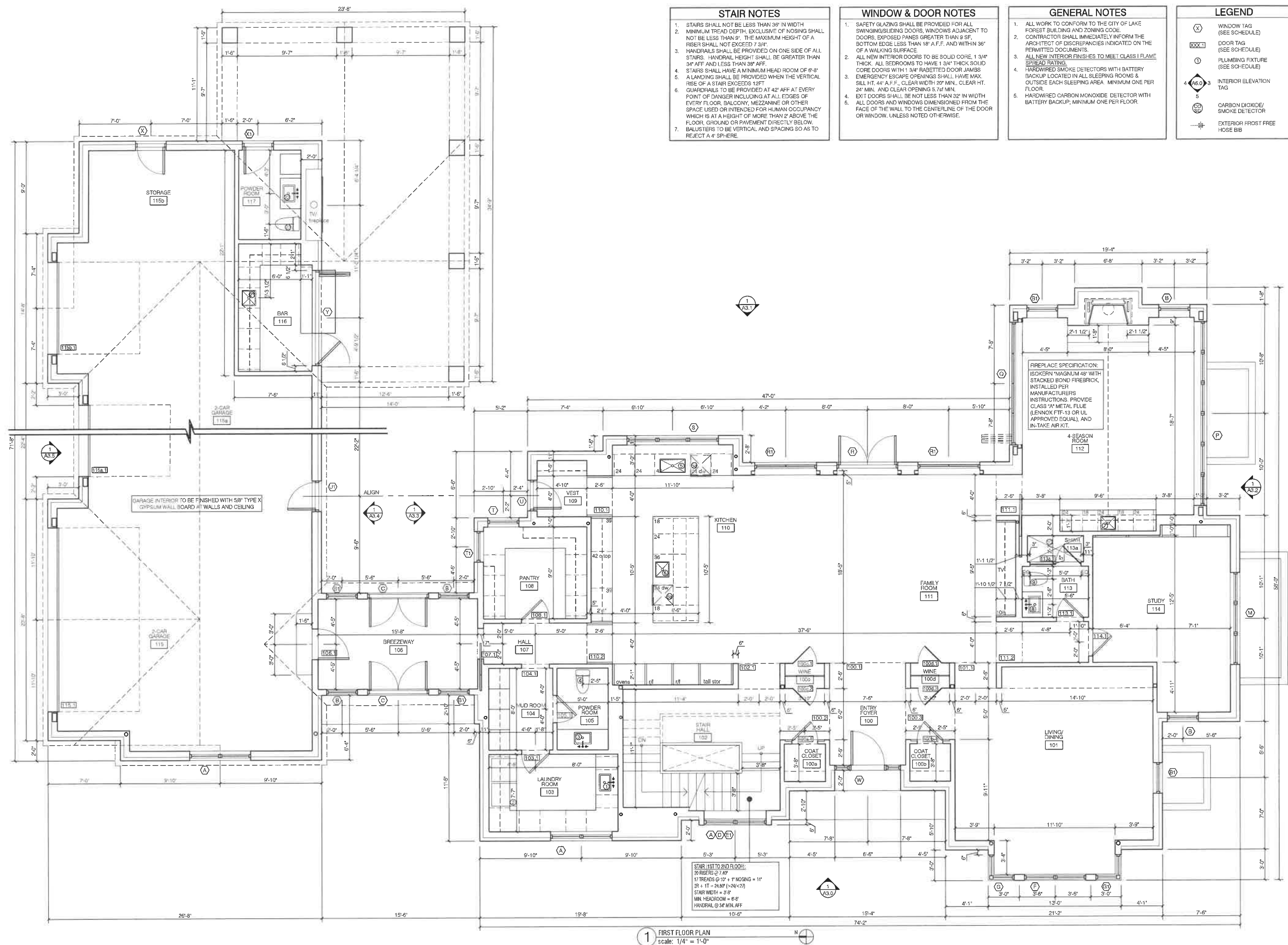
Graphic Scale
1 2 4
(IN FEET)
Inch = 4 Feet



PRIVATE
RESIDENCE

FIRST
FLOOR
PLAN

A2.1



- STAIR NOTES**
1. STAIRS SHALL NOT BE LESS THAN 36" IN WIDTH.
 2. MINIMUM TREAD DEPTH, EXCLUSIVE OF NOSING SHALL NOT BE LESS THAN 9". THE MAXIMUM HEIGHT OF A RISER SHALL NOT EXCEED 7 3/4".
 3. HANDRAILS SHALL BE PROVIDED ON ONE SIDE OF ALL STAIRS. HANDRAIL HEIGHT SHALL BE GREATER THAN 34" AFF AND LESS THAN 38" AFF.
 4. STAIRS SHALL HAVE A MINIMUM HEAD ROOM OF 6'-8".
 5. A LANDING SHALL BE PROVIDED WHEN THE VERTICAL RISE OF A STAIR EXCEEDS 12 FT.
 6. GUARDRAILS TO BE PROVIDED AT 42" AFF AT EVERY POINT OF DANGER INCLUDING AT ALL EDGES OF EVERY FLOOR, BALCONY, MEZZANINE OR OTHER SPACE USED OR INTENDED FOR HUMAN OCCUPANCY WHICH IS AT A HEIGHT OF MORE THAN 2' ABOVE THE FLOOR, GROUND OR PAVEMENT DIRECTLY BELOW. BALUSTERS TO BE VERTICAL AND SPACING SO AS TO REJECT A 4" SPHERE.
 - 7.

- WINDOW & DOOR NOTES**
1. SAFETY GLAZING SHALL BE PROVIDED FOR ALL SWINGING/SLIDING DOORS, WINDOWS ADJACENT TO DOORS, EXPOSED PANES GREATER THAN 9 SF, BOTTOM EDGE LESS THAN 18" A.F.F. AND WITHIN 36" OF A WALKING SURFACE.
 2. ALL NEW INTERIOR DOORS TO BE SOLID CORE, 1 3/4" THICK. ALL BEDROOMS TO HAVE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" RABETTED DOOR JAMBS.
 3. EMERGENCY ESCAPE OPENINGS SHALL HAVE MAX. SILL HT. 44" A.F.F., CLEAR WIDTH 20" MIN., CLEAR HT. 24" MIN. AND CLEAR OPENING 5.7/8" MIN.
 4. EXIT DOORS SHALL BE NOT LESS THAN 32" IN WIDTH.
 5. ALL DOORS AND WINDOWS DIMENSIONED FROM THE FACE OF THE WALL TO THE CENTERLINE OF THE DOOR OR WINDOW, UNLESS NOTED OTHERWISE.

- GENERAL NOTES**
1. ALL WORK TO CONFORM TO THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.
 2. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT OF DISCREPANCIES INDICATED ON THE PERMITTED DOCUMENTS.
 3. ALL NEW INTERIOR FINISHES TO MEET CLASS I FLAME SPREAD RATING.
 4. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUP LOCATED IN ALL SLEEPING ROOMS & OUTSIDE EACH SLEEPING AREA. MINIMUM ONE PER FLOOR.
 5. HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP; MINIMUM ONE PER FLOOR.

- LEGEND**
- WINDOW TAG (SEE SCHEDULE)
 - DOOR TAG (SEE SCHEDULE)
 - PLUMBING FIXTURE (SEE SCHEDULE)
 - INTERIOR ELEVATION TAG
 - CARBON DIOXIDE/ SMOKE DETECTOR
 - EXTERIOR FROST FREE HOSE BIB

MASSEY
ASSOCIATES
ARCHITECTS

4043 North Ravenswood #207
Chicago, Illinois 60613
T. 773.528.2930 F. 773.525.2999
www.masseyassociates.com

Graphic Scale
0 1 2 4
(IN FEET)
1 Inch = 4 Feet



ISSUED FOR: DATE:
PERMIT 03.08.2021

PRIVATE
RESIDENCE

1825 Telegraph Road
Lake Forest, IL 60045

SECOND
FLOOR
PLAN

A2.2



ERIKSSON
ENGINEERING
ASSOCIATES, LTD.

145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
PHONE (847) 223-4804
FAX (847) 223-4864
EMAIL INFO@EEA-LTD.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2021

1825 TELEGRAPH ROAD
RESIDENTIAL DEVELOPMENT
1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS

Reserved for Seal:

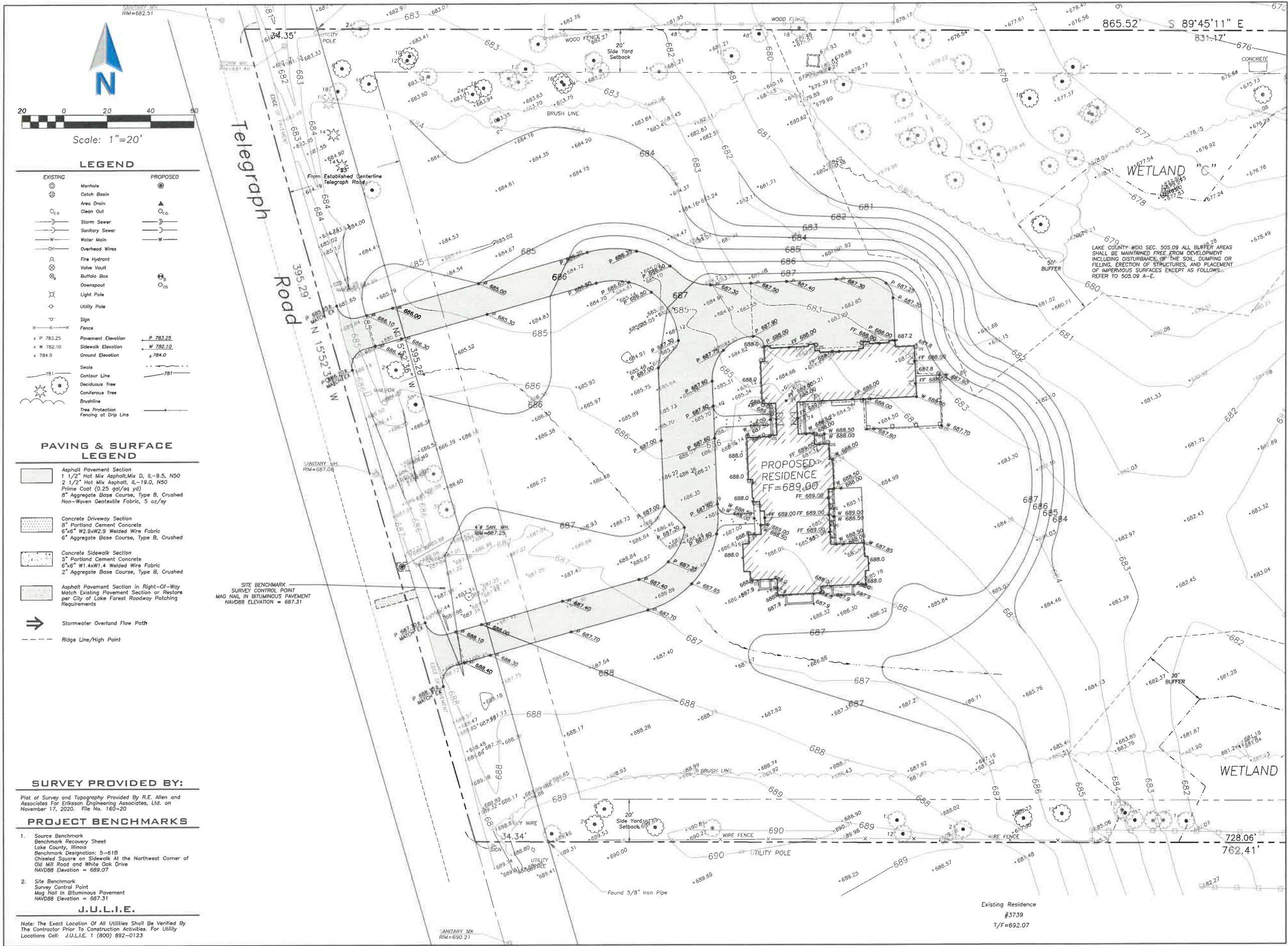
No.	Date	Description
03/08/21	Issued for City Permit	
03/25/21	Issued for Building Review Board	

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DESIGN BY: JC APPROVED BY: MR DATE: 03/05/21

Sheet Title:

GRADING AND
PAVING PLAN

Sheet No:
C401





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GRAYSLAKE, ILLINOIS 60030
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FAX: (847) 223-4864
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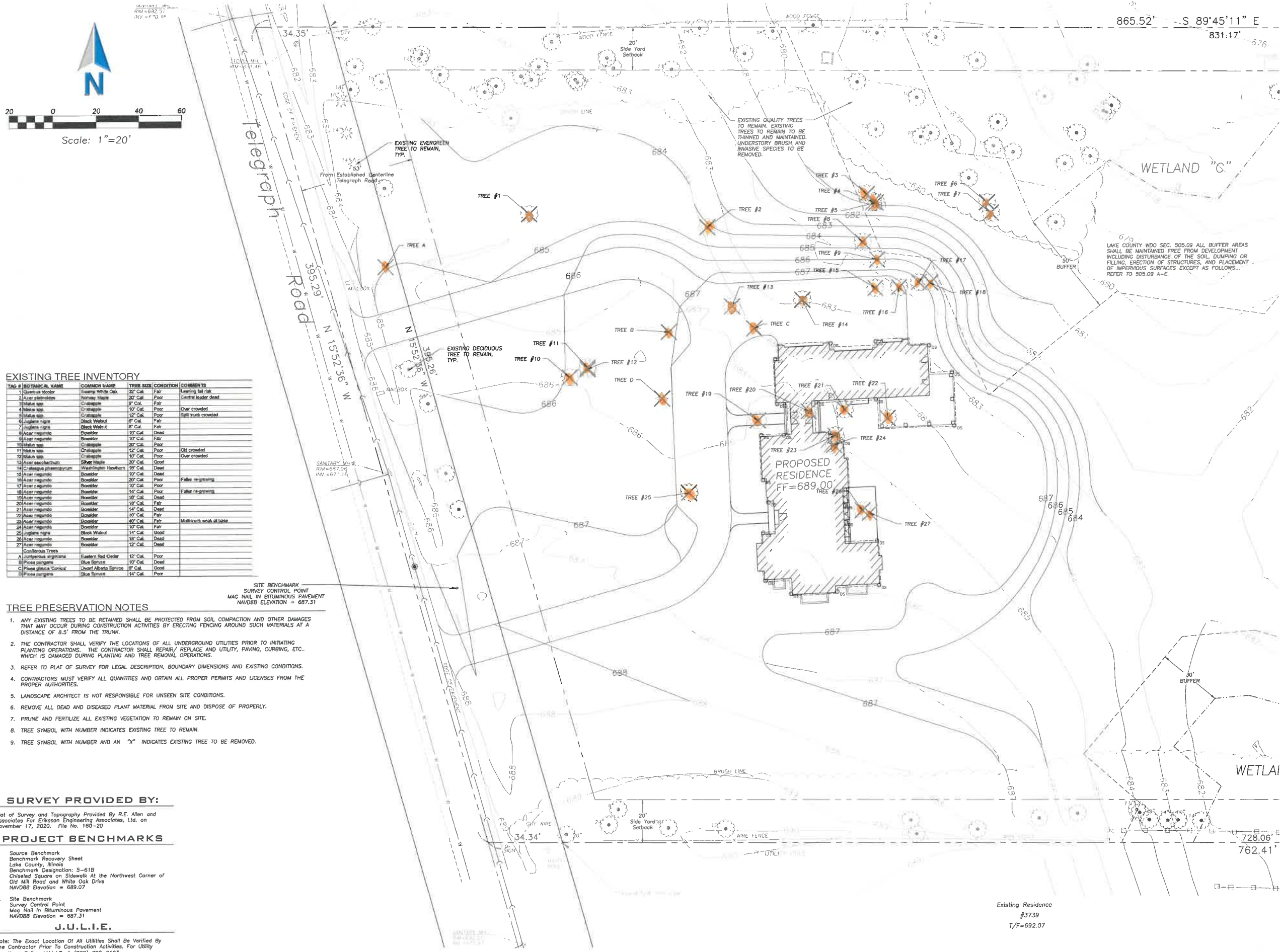
No.	Date	Description
	04/02/2021	Issued for City Permit

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Design By: JC Approved By: MR Date: 03/05/21

Sheet Title:
**TREE
PRESERVATION
PLAN**

Sheet No:
TP100



EXISTING TREE INVENTORY				
TAG #	SCIENTIFIC NAME	COMMON NAME	TREE SIZE	CONDITION
1	Quercus bicolor	Swamp White Oak	32" Cal.	Fair
2	Acer platanoides	Norway Spruce	20" Cal.	Poor
3	Malus sp.	Crabapple	10" Cal.	Fair
4	Malus sp.	Crabapple	10" Cal.	Poor
5	Malus sp.	Crabapple	12" Cal.	Poor
6	Liquidambar styraciflua	Black Walnut	10" Cal.	Fair
7	Liquidambar styraciflua	Black Walnut	8" Cal.	Fair
8	Acer negundo	Boxelder	10" Cal.	Dead
9	Acer negundo	Boxelder	10" Cal.	Fair
10	Malus sp.	Crabapple	10" Cal.	Poor
11	Malus sp.	Crabapple	12" Cal.	Poor
12	Malus sp.	Crabapple	10" Cal.	Poor
13	Acer saccharinum	Black Maple	20" Cal.	Good
14	Crataegus phaenopynum	Wormburn Hawthorn	18" Cal.	Dead
15	Acer negundo	Boxelder	10" Cal.	Dead
16	Acer negundo	Boxelder	20" Cal.	Poor
17	Acer negundo	Boxelder	10" Cal.	Poor
18	Acer negundo	Boxelder	14" Cal.	Poor
19	Acer negundo	Boxelder	18" Cal.	Dead
20	Acer negundo	Boxelder	18" Cal.	Fair
21	Acer negundo	Boxelder	14" Cal.	Dead
22	Acer negundo	Boxelder	10" Cal.	Fair
23	Acer negundo	Boxelder	40" Cal.	Fair
24	Acer negundo	Boxelder	10" Cal.	Fair
25	Liquidambar styraciflua	Black Walnut	14" Cal.	Good
26	Acer negundo	Boxelder	18" Cal.	Dead
27	Acer negundo	Boxelder	12" Cal.	Dead
Coniferous Trees				
A	Juniperus horizontalis	Eastern Red Cedar	12" Cal.	Poor
B	Picea canadensis	Blue Spruce	10" Cal.	Dead
C	Picea canadensis	Dwarf Alberta Spruce	8" Cal.	Good
D	Picea canadensis	Blue Spruce	14" Cal.	Poor

- TREE PRESERVATION NOTES**
- ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING AND TREE REMOVAL OPERATIONS.
 - REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
 - CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
 - LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
 - REMOVE ALL DEAD AND DISEASED PLANT MATERIAL FROM SITE AND DISPOSE OF PROPERLY.
 - PRUNE AND FERTILIZE ALL EXISTING VEGETATION TO REMAIN ON SITE.
 - TREE SYMBOL WITH NUMBER INDICATES EXISTING TREE TO REMAIN.
 - TREE SYMBOL WITH NUMBER AND AN "X" INDICATES EXISTING TREE TO BE REMOVED.

SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates For Eriksson Engineering Associates, Ltd. on November 17, 2020. File No. 160-20

PROJECT BENCHMARKS

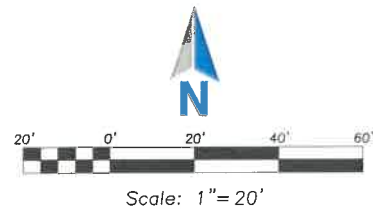
- Source Benchmark
Benchmark Recovery Sheet
Lake County, Illinois
Benchmark Designation: S-618
Chiseled Square on Sidewalk At the Northwest Corner of Old Mill Road and White Oak Drive
NAVD88 Elevation = 689.07
- Site Benchmark
Survey Control Point
Mag Nail in Bituminous Pavement
NAVD88 Elevation = 687.31

J.U.L.I.E.

Note: The Exact Location Of All Utilities Shall Be Verified By The Contractor Prior To Construction Activities. For Utility Locations Call: J.U.L.I.E. 1 (800) 892-0123

EXISTING TREE INVENTORY

TAG #	BOTANICAL NAME	COMMON NAME	TREE SIZE	CONDITION	COMMENTS
1	Quercus bicolor	Swamp White Oak	32" Cal.	Fair	Leaning fall risk
2	Acer platanoides	Norway Maple	20" Cal.	Poor	Central leader dead
3	Malus spp.	Crabapple	8" Cal.	Fair	
4	Malus spp.	Crabapple	10" Cal.	Poor	Over crowded
5	Malus spp.	Crabapple	12" Cal.	Poor	Split trunk crowded
6	Juglans nigra	Black Walnut	6" Cal.	Fair	
7	Juglans nigra	Black Walnut	8" Cal.	Fair	
8	Acer negundo	Boxelder	10" Cal.	Dead	
9	Acer negundo	Boxelder	10" Cal.	Fair	
10	Malus spp.	Crabapple	20" Cal.	Poor	
11	Malus spp.	Crabapple	12" Cal.	Poor	Old crowded
12	Malus spp.	Crabapple	10" Cal.	Poor	Over crowded
13	Acer saccharinum	Silver Maple	20" Cal.	Good	
14	Crateagus phaenopyrum	Washington Hawthorn	16" Cal.	Dead	
15	Acer negundo	Boxelder	10" Cal.	Dead	
16	Acer negundo	Boxelder	20" Cal.	Poor	Fallen re-growing
17	Acer negundo	Boxelder	10" Cal.	Poor	
18	Acer negundo	Boxelder	14" Cal.	Poor	Fallen re-growing
19	Acer negundo	Boxelder	16" Cal.	Dead	
20	Acer negundo	Boxelder	18" Cal.	Fair	
21	Acer negundo	Boxelder	14" Cal.	Dead	
22	Acer negundo	Boxelder	10" Cal.	Fair	
23	Acer negundo	Boxelder	40" Cal.	Fair	Multi-trunk weak at base
24	Acer negundo	Boxelder	10" Cal.	Fair	
25	Juglans nigra	Black Walnut	14" Cal.	Good	
26	Acer negundo	Boxelder	18" Cal.	Dead	
27	Acer negundo	Boxelder	12" Cal.	Dead	
	Coniferous Trees				
A	Juniperous virginiana	Eastern Red Cedar	12" Cal.	Poor	
B	Picea pungens	Blue Spruce	10" Cal.	Dead	
C	Picea glauca 'Conica'	Dwarf Alberta Spruce	6" Cal.	Good	
D	Picea pungens	Blue Spruce	14" Cal.	Poor	



LANDSCAPE NOTES:

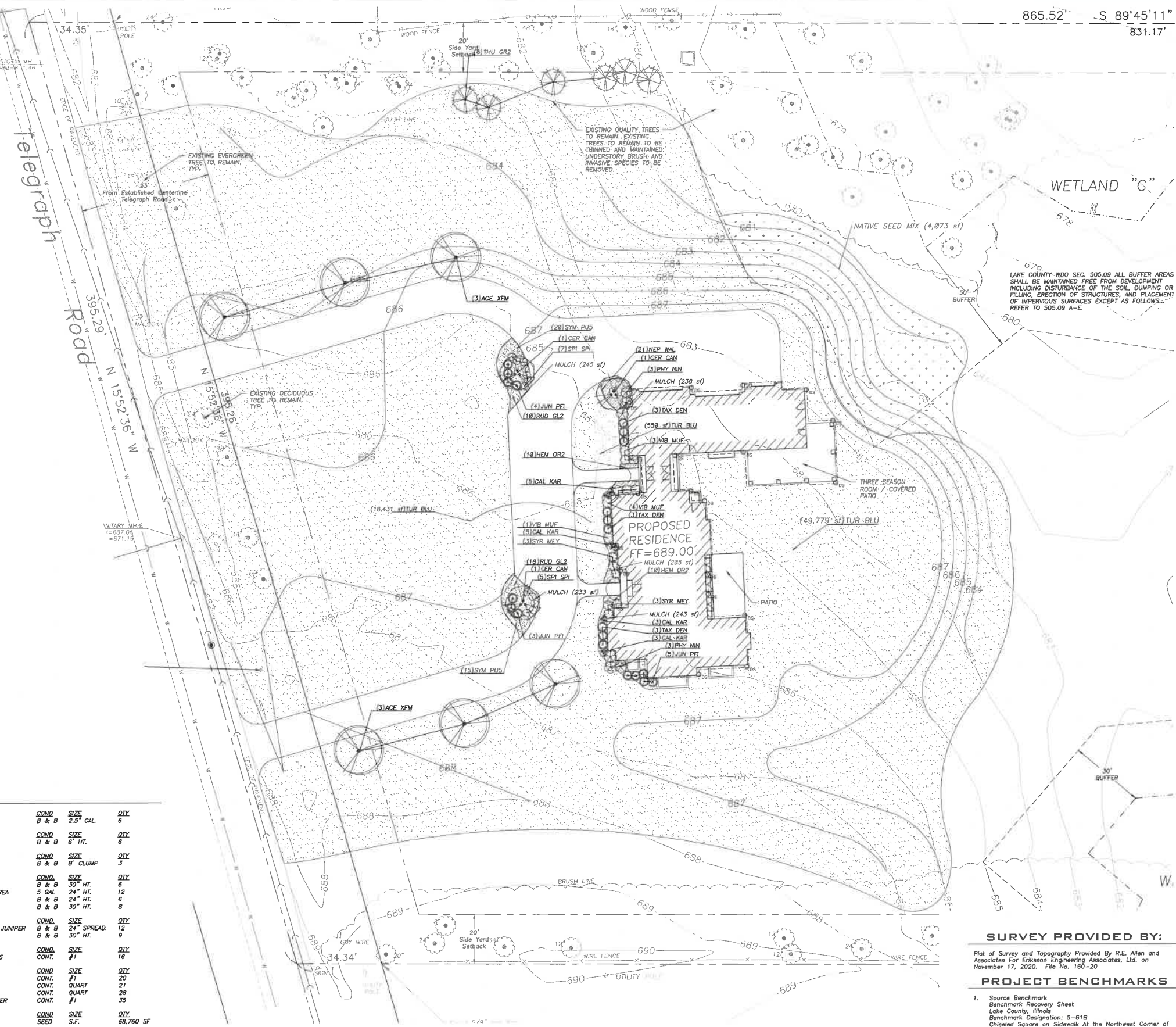
1. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIALS SHOWN ON THE PLAN AND SHOULD NOT RELY ON THE PLANT SCHEDULE FOR DETERMINING QUANTITIES.
2. ALL PLANT MATERIALS SHALL BE NURSERY GROWN STOCK AND SHALL BE FREE FROM ANY DEFORMITIES, DISEASES OR INSECT DAMAGE. ANY MATERIALS WITH DAMAGED OR CROOKED/DISTORTED LEAVES, BARK ABRASION, SUNSCALD, INSECT DAMAGE, ETC. ARE NOT ACCEPTABLE AND WILL BE REJECTED. TREES WITH MULTIPLE LEADERS WILL BE REJECTED UNLESS CALLED OUT IN THE PLANT SCHEDULE AS MULTI-STEM.
3. ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
4. ALL PLANTING OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, PROPER PLANTING BED AND TREE PIT PREPARATION, PLANTING MIX, PRUNING, STAKING AND GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE OF MATERIALS DURING CONSTRUCTION ACTIVITIES.
5. ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY MATERIALS INSTALLED WITHOUT APPROVAL MAY BE REJECTED.
6. THE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL OUTLINE PROPER MAINTENANCE PROCEDURES TO THE OWNER AT THE TIME OF ACCEPTANCE. DURING THE GUARANTEE PERIOD, DEAD OR DISEASED MATERIALS SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE GUARANTEE PERIOD THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
7. ANY EXISTING TREES TO BE RETAINED SHALL BE PROTECTED FROM SOIL COMPACTION AND OTHER DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES BY ERECTING FENCING AROUND SUCH MATERIALS AT A DISTANCE OF 8.5' FROM THE TRUNK.
8. ALL GRASS, CLUMPS, OTHER VEGETATION, DEBRIS, STONES, ETC., SHALL BE RAKED OR OTHERWISE REMOVED FROM PLANTING AND LAWN AREAS PRIOR TO INITIATION OF INSTALLATION PROCEDURES.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INITIATING PLANTING OPERATIONS. THE CONTRACTOR SHALL REPAIR/ REPLACE AND UTILITY, PAVING, CURBING, ETC., WHICH IS DAMAGED DURING PLANTING OPERATIONS.
10. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF ANSI Z60.1, AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
11. REFER TO PLAT OF SURVEY FOR LEGAL DESCRIPTION, BOUNDARY DIMENSIONS AND EXISTING CONDITIONS.
12. ALL PLANT MATERIAL ON THIS PLANTING PLAN REPRESENTS THE INTENTION AND INTENSITY OF THE PROPOSED LANDSCAPE MATERIAL. THE EXACT SPECIES AND LOCATIONS MAY VARY IN THE FIELD DO TO MODIFICATIONS IN THE SITE IMPROVEMENTS AND THE AVAILABILITY OF PLANT MATERIAL AT THE TIME OF INSTALLATION. ANY SUCH CHANGES MUST FIRST BE APPROVED BY THE OWNER AND THE VILLAGE IN WRITING.
13. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED WITH A SHREDDED BARK MATERIAL TO A MINIMUM 3" DEPTH.
14. ALL BEDS SHALL BE EDGED, HAVE WEED PREEMERGENTS APPLIED AT THE RECOMMENDED RATE.
15. ALL PARKWAYS AND PARKING LOT ISLANDS SHALL HAVE LAWN ESTABLISHED WITH SEED AS A GROUND COVER, UNLESS OTHERWISE NOTED.
16. ALL LAWN AREAS ON THIS PLAN SHALL BE GRADED SMOOTH AND TOPPED WITH AT LEAST 4" OF TOPSOIL. ALL LAWN AREAS TO BE ESTABLISHED USING SEED AND BLANKET UNLESS OTHERWISE NOTED. BLANKET TO BE 575 OR APPROVED EQUAL.
17. THIS LANDSCAPE PLAN ASSUMES THE SITE WILL BE PREPARED WITH TOP SOIL SUITABLE FOR THE ESTABLISHMENT OF THE LANDSCAPE MATERIAL PRESENTED ON THIS PLAN. IF ADDITIONAL TOP SOIL IS REQUIRED IT IS UP TO THE LANDSCAPE CONTRACTOR ON THE PROJECT TO PROVIDE, SPREAD AND PREPARE THE SITE AS NEEDED FOR THE IMPLEMENTATION OF THIS LANDSCAPE PLAN.
18. CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
19. ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
20. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
21. ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACK FILLED WITH AMENDED PLANTING SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED, AND HAVE ALL TAGS AND ROPES REMOVED.
22. TREES SHALL BE STAKED AND GUYED, AND HAVE A WATERING SAUCER AT BASE.

PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
ACE XFM	ACER X FREEMANNII / FREEMAN MAPLE	B & B	2.5" CAL.	6
EVERGREEN TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
THU GR2	THUJA STANDISHII X PUGATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE	B & B	6" HT.	8
UNDERSTORY TREES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CER CAN	CERCIS CANADENSIS / EASTERN REDBUD	B & B	8" CLUMP	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
PHY NIN	PHYSOCARPUS OPULIFOLIUS 'SUMMER WINE' / SUMMER WINE NINEBARK	B & B	30" HT.	6
SPI SPI	SPIRAEA JAPONICA 'LITTLE PRINCESS' / LITTLE PRINCESS JAPANESE SPIREA	B & B	24" HT.	12
STR MEY	SYRINGA MEYER 'PALIBIN' / DWARF KOREAN LILAC	B & B	24" HT.	6
VIB MUF	VERBONUM DENTATUM 'BLUE MUFFIN' / SOUTHERN ARROWWOOD	B & B	30" HT.	8
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
JUN PFI	JUNIPERUS CHINENSIS 'KALLAYS COMPACT' / KALLAY COMPACT PRITZER JUNIPER	B & B	24" SPREAD	12
TAX DEN	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	B & B	30" HT.	9
GRASSES	BOTANICAL / COMMON NAME	COND	SIZE	QTY
CAL KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	CONT.	#1	16
GROUND COVERS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
HEM OR2	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	CONT.	#1	20
NEP WAL	NEPETA X 'PAASSENII' 'WALKERS LOW' / WALKERS LOW CATMINT	CONT.	QUART	21
RUD GL2	RUBISCOXIA FULGIDA 'GLODSTRUM' / BLACK-EYED SUSAN	CONT.	QUART	28
SYM PUS	SYMPHYOTRICHUM NOVAE-ANGLOE 'PURPLE DOME' / NEW ENGLAND ASTER	CONT.	#1	35
TURF GRASS	BOTANICAL / COMMON NAME	COND	SIZE	QTY
TUR BLU	TURF GRASS / BLUEGRASS TURF BLEND	SEED	S.F.	68,760 SF

SITE MATERIALS SCHEDULE

	MULCH	1,165 SF
	NATIVE SEED MIX	4,073 SF



SURVEY PROVIDED BY:

Plot of Survey and Topography Provided By R.E. Allen and Associates For Eriksson Engineering Associates, Ltd. on November 17, 2020. File No. 165-20

PROJECT BENCHMARKS

1. Source Benchmark
Benchmark Recovery Sheet
Lake County, Illinois
Benchmark Designation: 5-618
Oriented Square on Sidewalk At the Northwest Corner of Old Mill Road and White Oak Drive
NAVD88 Elevation = 689.07
2. Site Benchmark
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1825 TELEGRAPH ROAD
LAKE FOREST, ILLINOIS

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Expires: 08/31/2021

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DESIGN BY: JC APPROVED BY: MR DATE: 03/05/21

Sheet Title:

LANDSCAPE PLAN

Sheet No:

L100