

Agenda Item 3
365 Chiltern Drive
Partial Demolition & Additions

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Existing West and East Elevations
Previously Proposed West and East Elevations
Currently Proposed West and East Elevations
Existing South and North Elevations
Previously Proposed South and North Elevations
Currently Proposed South and North Elevations
Color Renderings
Proposed Roof Plan
Existing First Floor Plan
Proposed First Floor Plan
Proposed Second Floor Plan
Conceptual Landscape Plan
Correspondence

365 Chiltern Drive

Continued consideration of a request for approval of partial demolition of the existing residence including removal of the existing roof and portions of exterior walls to accommodate a second story addition and various exterior alterations.

Property Owner: Albany Bk & Tr CO NA TTEE TR#11-6528

Project Representative: Wojtek Bialy, designer

Staff Contact: Jen Baehr, Assistant Planner

Activity on this Petition to Date

The Board considered this petition at the March 3, 2021 meeting and after discussion about various design aspects of the project, the Board voted unanimously to continue the petition. The Board asked that the petitioner conduct further study of the aspects of the project discussed by the Board and consider refinements to some of the design elements. Elevations identified as “Currently Proposed” as well as the elevations presented at the March meeting are included in the Board’s packet. A site plan and elevations reflecting the existing conditions are also included in the Board’s packet.

The changes made since the last meeting are reflected on the revised plans and renderings. In summary, the following changes are reflected on the revised plans.

- A larger limestone surround was added around the front door to highlight the front entrance to the home.
- The transom windows were removed.
- The thick limestone surrounds around the windows were removed and replaced with stucco trim.
- A five inch roof overhang was added.
- Crown molding was added at the roof eaves.
- Some of the windows were modified to reflect more vertical and narrow proportions.
- A trellis was added to the north elevation to soften the appearance of the large area of solid wall.
- Copper gutters and downspouts are proposed to replace the previously proposed aluminum gutters and downspouts.
- The landscape plan was modified to include additional plantings at the front of the home.

Portions of the following information is repeated from the March staff report.

Summary of Request

This is a request for approval of partial demolition of the existing residence including complete removal of the existing roof and removal of portions of exterior walls to accommodate a reconfigured first floor plan and a second story addition. A covered porch is proposed at the rear of the house. Various other exterior alterations are also proposed including a new stucco exterior, and new window and door openings around the home.

The property owners purchased the property last year and based on the petitioner's statement of intent, the proposed style of the home with the extensive changes proposed is intended to be "Modern French Country."

The existing residence is partially located within the zoning setbacks and construction of the second floor addition will require setback variances. The Zoning Board of Appeals considered the variance requests on March 29th and recommended approval of the variances.

Description of Property

This property is located on the northeast corner of Chiltern Drive and Kennington Terrace, south of W. Deerpath. The property is irregular in shape, following the curves of the adjacent streets and is 17,493 square feet in area. The existing residence on the property was constructed in 1954 and is a one-story ranch home with an attached two car garage. Based on City records, very few modifications have been made to the house since its construction. The surrounding neighborhood contains a mix of small ranch styles as well as larger multi-story homes of varying ages and architectural styles. This house is fairly prominent in the neighborhood given its location on a corner.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations. Staff offered direction to the petitioner encouraging study of the architectural style and the City's Design Guidelines.

Site Plan – This standard is met.

The existing home is sited at an angle on the site and faces Chiltern Drive. The existing footprint of the house and garage will be generally maintained. The existing screen porch on the rear of the home will be removed. Some expansion of the building footprint on the east and west sides is proposed. On the west side, the footprint of the garage mass and the area of the existing front entrance will be expanded to align with the adjacent existing exterior wall. On the east side of the home, on the rear, the footprint will be expanded to align with the garage mass. The existing driveway will be slightly reduced as a result of the footprint of the garage being expanded. A new concrete paver walkway is proposed from the front door to the driveway and a new covered patio is proposed on the rear of the house.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,749 square feet is permitted on the site with up to an additional 375 square feet in design elements and 576 square feet for a garage.

- The existing house totals 1,281 square feet.
- The existing garage totals 430 square feet.
- The expansion of the first floor totals 217 square feet.
- The existing garage will be expanded and total 513 square feet.
- The proposed second story addition totals 1,853 square feet.
- Given the height of the proposed second story addition, there is an additional 130 square feet of attic space that counts toward the overall square footage.
- The proposed covered porch and dormers total 640 square feet. There is an allowance of 375 square feet for design elements. The excess square footage of design elements must be added to the total square footage of the house.

- The square footage of the existing residence, with the proposed additions and design element coverage is 3,746 square feet, and is 3 square feet, or 0.08% under the total allowable square footage.

The maximum allowable building height for this property is 30 feet. The house with the proposed second floor addition is 28 feet and 6 inches tall, when measured from the adjacent point of existing lowest grade to the highest roof peak.

Because the total square footage of the home and the total height of the home as proposed are very close to the maximum allowed for this property, during construction, as-built drawings will be required intermittently to confirm that the square footage and height does not exceed the maximum allowed.

Elevations – This standard is generally met.

The proposed front elevation presents a two story massing. The front facing garage will be maintained. The front door is tucked into the southeast corner of the west elevation. As discussed during the last meeting, the location of the front entrance is somewhat unusual given that it is minimally visible on the front of the home. To enhance and highlight the front entrance, the petitioner added a larger limestone surround and introduced landscaping along the front walkway.

The proposed roof is made up of a hip roof form between steeply pitched gable roof forms on the north and south ends of the home. Shed dormers are proposed on the front and rear of the home. Since the last meeting, the petitioner added a five inch overhang and crown molding at the roof eave to help provide depth and shadow to the appearance of the home.

Since the last meeting, the petitioner replaced some of the previously proposed large single casement windows with double casement windows. The double casement windows that are currently proposed reflect more narrow and vertical proportions that are more in keeping with the style of the home and also help to reflect a more human scale that is in line with the other elements of the home. In some areas, the large single casement windows remain as previously proposed. Consideration should be given to replacing the remaining single casement windows with double casement windows to the extent possible in an effort to present consistent style and proportions of openings across all elevations of the home.

As previously proposed, some areas of the home presented large expanses of unbroken solid wall. The petitioner introduced a trellis on the north side of the home to soften the appearance of the large solid wall and break up the appearance of mass. Some elevations of the home still appear to present large areas of solid wall, particularly on the east and south elevations. Consideration should be given to incorporating trellis elements or additional openings in these areas to break up the large expanses of solid walls and soften the appearance of these areas.

Type, color, and texture of materials – This standard is generally met.

The exterior of the home will be stucco with a six inch limestone base. Synthetic slate tile is proposed for the main roof forms and the dormers will have metal standing seam roofs. Copper gutters and downspouts are proposed. Aluminum clad windows with muntins on the interior and exterior are proposed. Window and door sills will be limestone. Most window and door trim will be stucco, the front door and garage door will have limestone trim.

- Board input is requested on the use of the synthetic slate tile for the main roof material. A sample of the synthetic slate tile is available on site, at the home, for the Board's review.

The proposed color palette includes an off-white stucco, a gray roof and dark gray doors and windows. The petitioner provided color renderings that are included in the Board's packet. Samples of the stucco and door and window colors are available on site.

Landscaping – This standard can be met.

The petitioner has indicated that all existing landscaping on the site will remain including the existing foundation plantings on the south side of the home. The petitioner provided a conceptual landscape plan that reflects the addition of ornamental plantings at the front of the home, a straight hedge of *Arborvitae* along the east property line and Spruce trees along the south property line and in the parkway on the south side of the property. Trees that are proposed in the parkway will be subject to review by the City Arborist. To mitigate the increased appearance of mass and height of the home as viewed from the street and adjacent properties, the landscape plan will need to be modified to match more closely to the character of the neighborhood and enhanced with a mix of native deciduous trees, evergreens and understory plantings, in a natural arrangement. A revised, detailed landscape plan will be required prior to the issuance of a building permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, one letter from a neighboring property owner was received regarding this request and is included in the Board's packet.

Recommendation

Recommend approval of a partial demolition of the existing residence, a second story addition and various exterior alterations as reflected in the revised plans presented to the Board. The recommendation is based on the findings in the staff report, and the testimony presented by the petitioner and the Board's deliberations are incorporated as additional findings. Approval is recommended subject to the following conditions:

1. The single casement windows shall be replaced with double casement windows in an effort to present a consistent style and proportions of openings across all elevations of the home.
2. Consideration should be given to incorporating trellis elements or additional openings on the east and south elevations to break up the large expanses of solid wall and soften the appearance of these elevations.
3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

4. Details of exterior lighting, if any is proposed, shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view from off of the site.
5. A revised, detailed landscape plan shall be submitted at time plans are submitted for a building permit. The landscape plan shall incorporate additional plantings to soften the appearance of the increased height and mass of the home and reflect plantings that match closely to the character of the neighborhood, with a mix of native deciduous trees, evergreens and understory plantings, in a natural arrangement. The landscape plan will be subject to review and approval by the City's Arborist.
6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. On street parking is limited to two cars immediately in front of this property due to the narrowness of the street.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 365 Chiltern Drive Owner(s) Albany Bk & Tr CO NA TTEE TR#11-65 28
 Architect Wojtek Bialy Reviewed by: Jen Baehr
 Date 3/3/2021
 Lot Area 17493 sq. ft.

Square Footage of Existing Residence:

1st floor 1281 + 2nd floor 0 + 3rd floor 0 = 1281 sq. ft.

Design Element Allowance = 375 sq. ft.

Total Actual Design Elements
(To Be Removed) = 115 sq. ft. Excess = 0 sq. ft.

Garage 430 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 20'- 6" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1281 sq. ft.

Square Footage of Proposed Additions:

1st floor 217 + 2nd floor 1853 + 3rd floor 130 = 2200 sq. ft.

New Garage Area 83 sq. ft. Excess = 0 sq. ft.

New Design Elements 640 sq. ft. Excess = 265 sq. ft.

TOTAL SQUARE FOOTAGE = 3746 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3749 sq. ft.

DIFFERENTIAL = 3 sq. ft. **NET RESULT:**
Under Maximum

3 sq. ft. is

Allowable Height: 30 ft. Actual Height 28' - 6" **0.08% under the
Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 375 sq. ft.

Front & Side Porches = 615 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

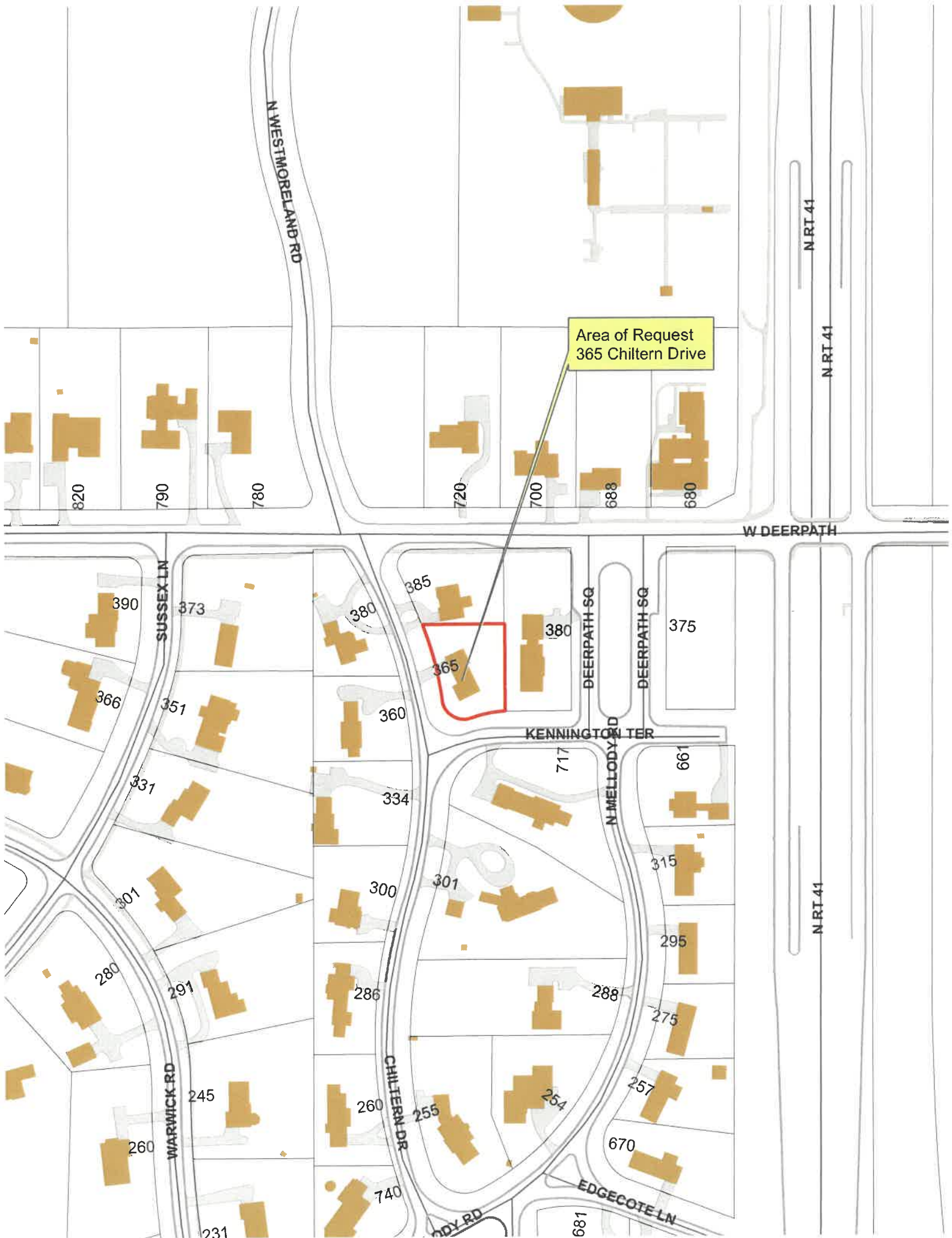
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 25 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 640 sq. ft. **Excess Design Elements** = 265 sq. ft.



Area of Request
365 Chiltern Drive

Area of Request
365 Chiltern Drive





Area of Request
365 Chiltern Drive



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 365 CHILTEEN DR

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Albany Bk & Tr CO NA TTEE TR#11-6528

Owner of Property

1130 S. SEMINARY AVE

Owner's Street Address (may be different from project address)

PARK RIDGE IL. 60068

City, State and Zip Code

Phone Number 7

Fax Number

Owner's Signature

ARCHITECT/BUILDER INFORMATION

WOTTEK BULLY PRINCIPAL DESIGNER
Name and Title of Person Presenting Project

2MB DESIGN STUDIO, INC
Name of Firm

960 RIVER ST.
Street Address

SCHILLER PARK IL. 60176
City, State and Zip Code

(847) 630-8006
Phone Number Fax Number

WBAALYC2MBDESIGNSTUDIO.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

FEB 16 2021



STATEMENT OF INTENT (REVISIONS)

STANDARD 1:

Since the presented design is a straightforward second floor addition, all setbacks remain as is. The shape of existing driveway will remain as is, however new concrete surface will be introduced. Existing fences will remain intact.

New walkway has been introduced to emphasize the main entrance to the house situated on the south side of the proposed house.

STANDARD 2: (no change)

The new second floor addition has been designed to integrate with the existing structure and be visually pleasing. The style of the new residence is considered "Modern French Country". As some say, the reason why French Country and Modern work so well comes down to conflict and contrast. Where French Country is soft and rustic, Modern is fresh and sleek. Where French Country is warm, Modern is cool. Bring them together and that is when this concept works really well. As French style icon Coco Chanel once famously said "Before you leave the house, look in the mirror and remove one accessory." She was talking about clothing, but this advice works just as well for those wanting to achieve the Modern French country look.

We believe we did just that in the presented design. The scale and the height of the project complies with City of Lake Forest Code requirements.

The unique location of the property, as well as the placement of the existing house, creates a favorable situation where the relationship to the neighboring residences is almost irrelevant, due to existing structures not being visible from the street.

This is the particularity of the neighborhood, residences being built in different styles and scales, scattered and isolated by the heavy landscaping, and in some cases situated at different angles on the respective properties.

STANDARD 3:

New landscape plan has been submitted and reflected in the presented renderings.



STANDARD 4:

All introduced materials (as shown on the renderings and described in material schedule) are natural materials and consistent with the chosen style.

As per last board meeting material samples have been submitted for the review. All the specifics have been detailed on the new renderings and shown on the new Description of Exterior Materials Form. Limestone details around the windows have been eliminated and substituted with stucco trims. Small overhang has been introduced, downspouts and gutters have been changed to copper.

STANDARD 5:

Considering that the proposed design follows the existing house footprint, the distances between the residences will not be affected, remaining exactly the same. As far as the size and scale of the building, please refer to the comments in STANDARD 2.

2)

JENNIFER BARTLE



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS**

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material DUNE WHITE

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other FRENCH DOOR

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish IRON ORE
ALUMINUM COATING

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other STUCCO

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other STUCCO

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

①

JENNIFER BAHR

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney MaterialN/A

- ☐ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing**Primary Roof Material**

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☒ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material DEVINCI SLATE GRAY

Gutters and Downspouts


- ☒ Copper
☐ Aluminum
☐ Other _____

Driveway Material

- ☐ Asphalt
☒ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☐ Concrete Pavers
☒ Poured Concrete
☐ Other _____



DESIGN STUDIO, INC.

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SHOP Ltd.

structural engineering

9501 River Street
Schiller Park, Illinois 60176
Tel 847 349 1099
fax 847 349 1098

THE  RESIDENCE

ADDITION AND REMODELING

365 CHILTERN DRIVE

LAKE FOREST, IL 60045


REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	
TITLE:			
SITE PLAN			
SCALE:	1"=10'	SHEET NO.	
DRAWN BY:	BR	1a	
JOB No.:			
DATE:	02/15/2021		

1

SITE PLAN

SCALE: 1" = 10'

EXISTING WEST & EAST ELEVATIONS



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fax 847 349 1098

1 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

2 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

THE **CHILTERN** RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
TITLE:			
EXISTING WEST AND EAST ELEVATIONS			
SCALE:	1/4" = 1'-0"	SHEET NO.	
DRAWN BY:	BR	4	
JOB No.:			
DATE:	02/15/2021		

PREVIOUSLY PROPOSED WEST & EAST ELEVATIONS



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THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
**WEST AND EAST
ELEVATIONS**

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	11
JOB No.:		
DATE:	02/15/2021	

CURRENTLY PROPOSED WEST & EAST ELEVATIONS



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THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
WEST AND EAST
ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO. A8
DRAWN BY:	BR	
DATE:	01/18/2021	

LEGEND:

STUCCO

STONE



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

EXISTING SOUTH & NORTH ELEVATIONS

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WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE
BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CODES
AND ORDINANCES

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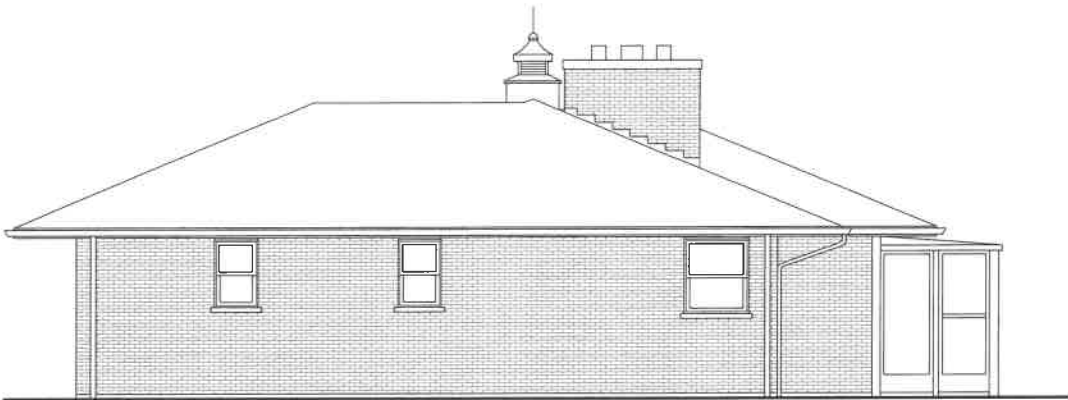
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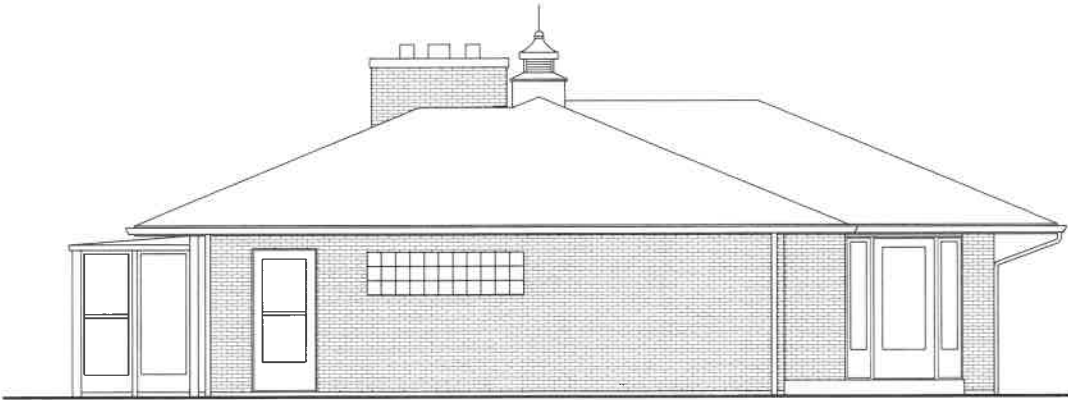
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fax 847 349 1098



1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"

THE **RESIDENCE**
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
TITLE:			
EXISTING SOUTH AND NORTH ELEVATIONS			
SCALE:	1/4" = 1'-0"	SHEET NO.	
DRAWN BY:	BR	5	
JOB No.:			
DATE:	02/15/2021		

PREVIOUSLY PROPOSED SOUTH & NORTH ELEVATIONS



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AND ORDINANCES

T S THE
STRUCTURAL
SHOP Ltd.
structural engineering

9801 River Street
Schiller Park, Illinois 60176
tel 847.349.1099
fax 847.349.1098

THE **RESIDENCE**
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

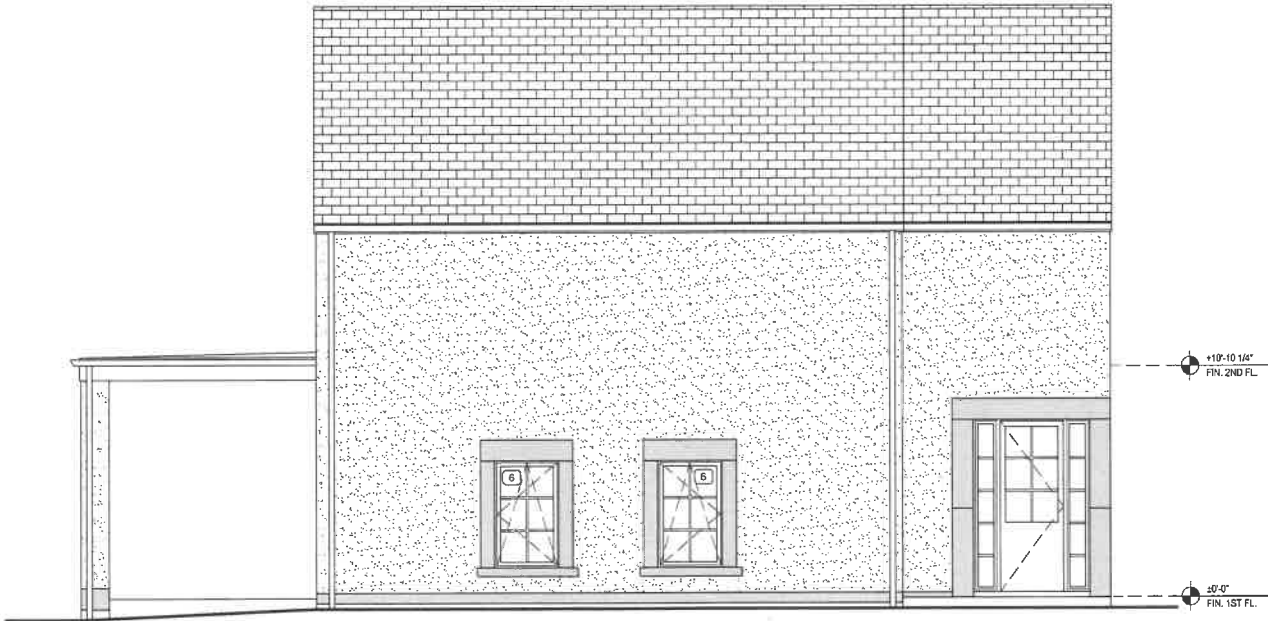
LEGEND:

STUCCO

STONE



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS

No.	DATE	DESCRIPTION	APPROVED

TITLE:
SOUTH AND NORTH
ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	12
JOB No.:		
DATE:	02/15/2021	

CURRENTLY PROPOSED SOUTH & NORTH ELEVATIONS



9601 RIVER ST., SCHILLER PARK, IL 60176
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Email: info@2mbdesignstudio.com
www.2mbdesignstudio.com

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structural engineering

9601 River Street
Schiller Park, Illinois 60176
tel 847 349 1098
fax 847 349 1098

THE **MILLEWORT** RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

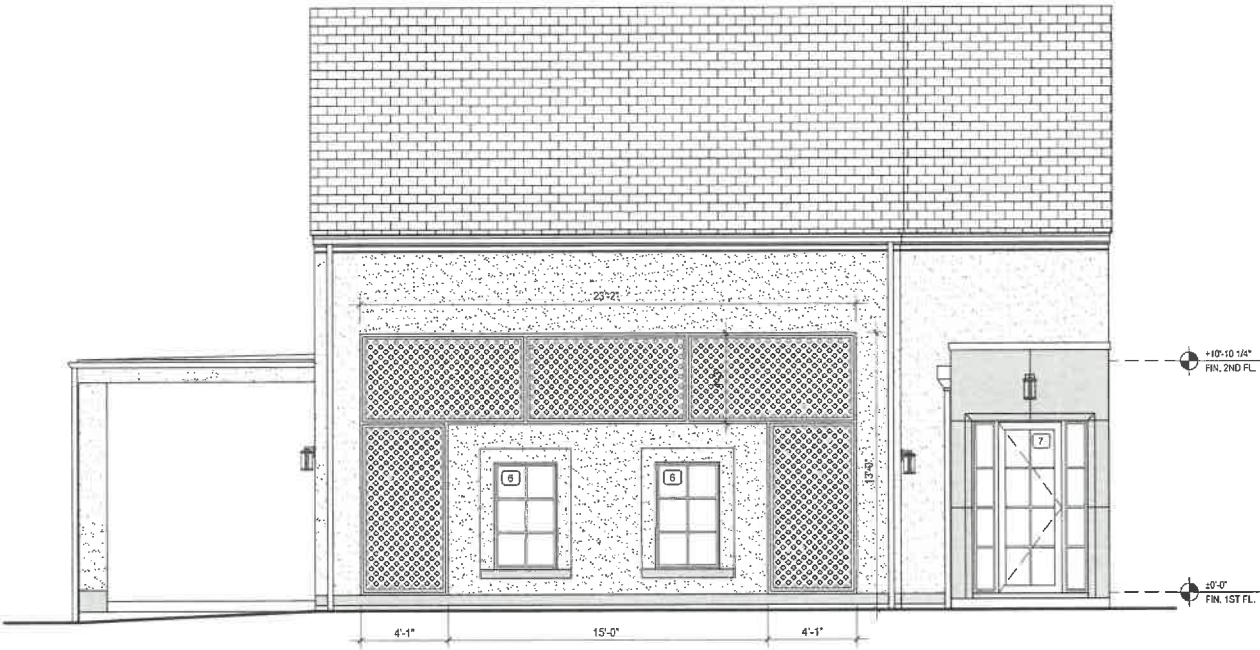
TITLE:
SOUTH AND NORTH
ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	A9
JOS No.:		
DATE:	01/18/2021	

- LEGEND
- STUCCO
 - STONE



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

WINDOW AND PATIO DOOR SCHEDULE				
MARK	TYPE	SIZE	QUANTITY	DESCRIPTION
1	2-WIDE CASEMENT	50" x 71"	8	EGRESS WINDOW
2	2-WIDE DIRECT SET	72" x 94.75"	9	TEMPERED GLASS
3	DIRECT SET FIXED FRAME	48" x 84"	2	TEMPERED GLASS
4	DOUBLE INSWING DOOR	72" x 96"	2	TEMPERED GLASS
5	DIRECT SET FIXED FRAME	48" x 71"	1	TEMPERED GLASS
6	DIRECT SET FIXED FRAME	35" x 59"	2	
7	ENTRY DOOR, DIRECT SET	65.875" x 95.5"	1	

NOTES:
ALL WINDOWS AND PATIO DOORS TO HAVE A GLASS OF MAX. U FACTOR OF 0.32.
AT LEAST ONE WINDOW IN EACH BEDROOM AND BASEMENT TO COMPLY WITH IBC FOR EMERGENCY EGRESS.
THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS OR SPECIAL KNOWLEDGE. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE NET CLEAR OPENING DIMENSION REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE WINDOW FROM THE INSIDE. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS AND BASEMENT MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES, THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20 INCHES.

VERIFY IN FIELD ALL EXISTING ROUGH OPENINGS PRIOR ORDERING WINDOWS AND DOORS.









PROPOSED ROOF PLAN



9801 RIVER ST., SCHILLER PARK, IL 60176
Telephone: (847) 830 6000,
Email: wbiel@zmbdesignstudio.com
www.zmbdesignstudio.com

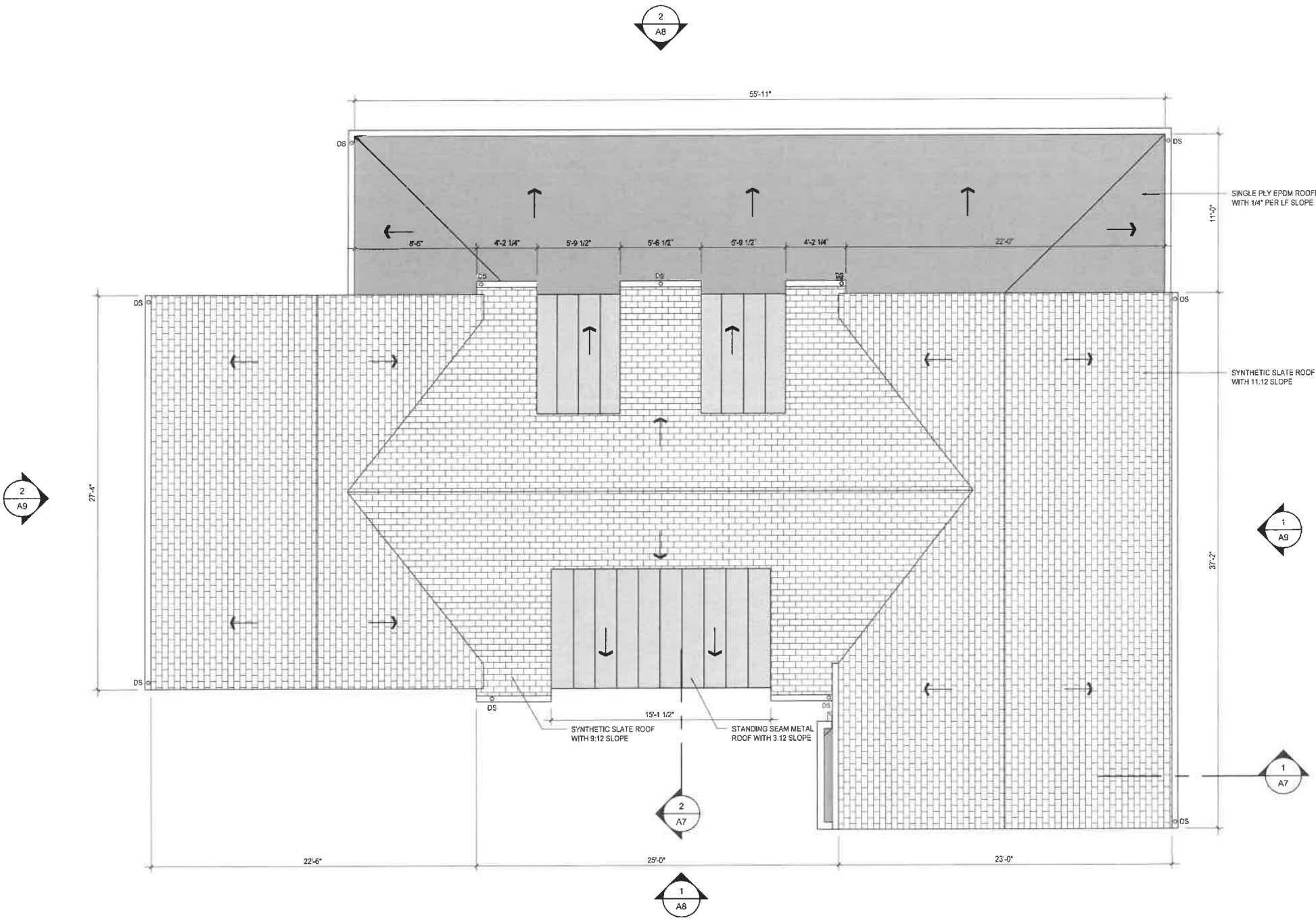
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SHOP Ltd.
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Schiller Park, Illinois 60176
Tel 847 349 1099
Fax 847 349 1098

THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045



1 ROOF PLAN
SCALE: 1/4"=1'-0"

REVISIONS

No.	DATE	DESCRIPTION	APPROVED
1.	-	-	

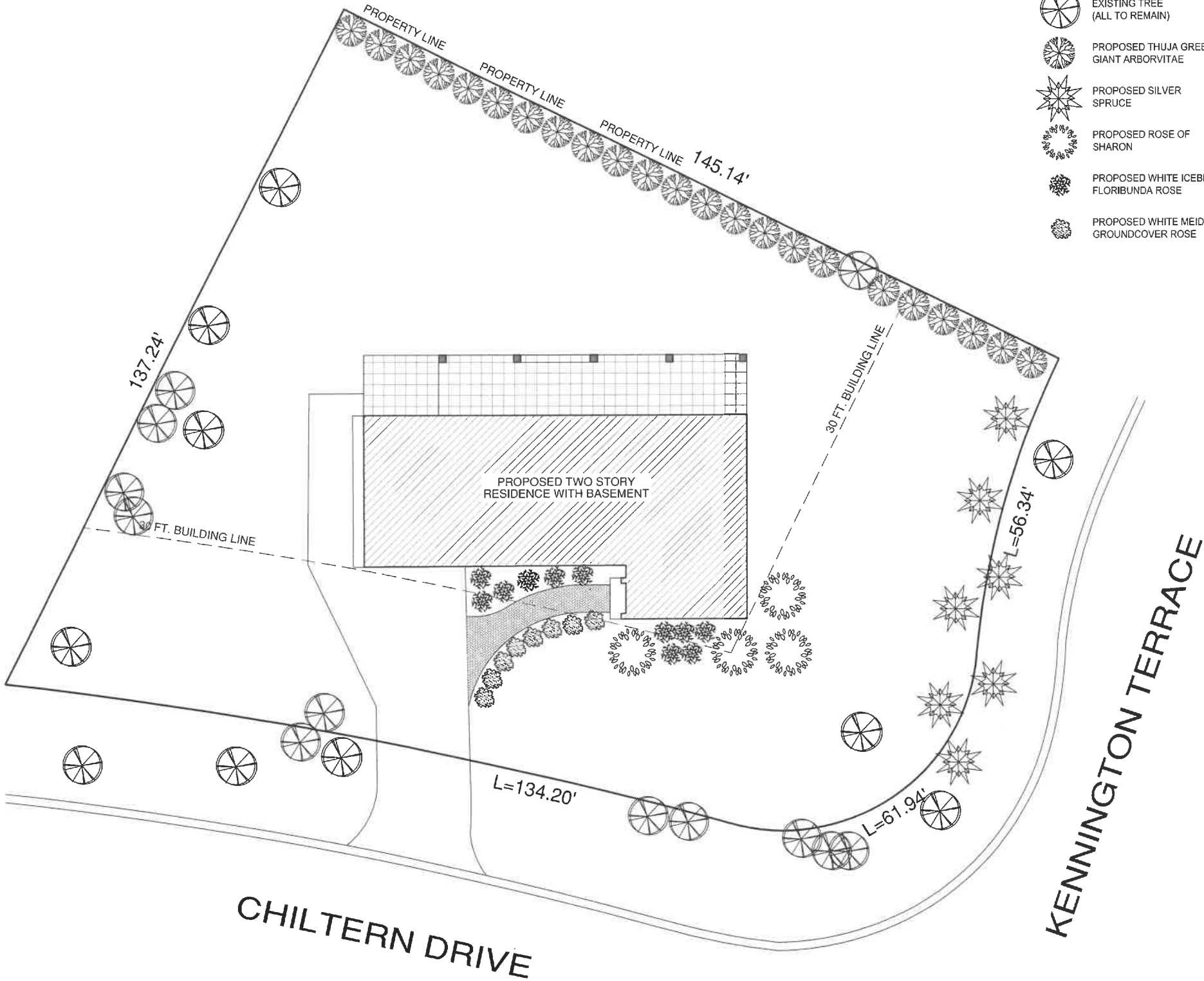
TITLE:
ROOF PLAN

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	A6
JOB No.:		
DATE:	01/18/2021	


CONCEPTUAL LANDSCAPE PLAN

LEGEND:

- EXISTING TREE (ALL TO REMAIN)
- PROPOSED THUJA GREEN GIANT ARBORVITAE
- PROPOSED SILVER SPRUCE
- PROPOSED ROSE OF SHARON
- PROPOSED WHITE ICEBERG FLORIBUNDA ROSE
- PROPOSED WHITE MEIDILAND GROUNDCOVER ROSE



1 LANDSCAPING PLAN
SCALE: 1" = 10'



8501 RIVER ST., SCHILLER PARK, IL 60176
Telephone: (847) 830-8000
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www.zmbdesignstudio.com

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THE STRUCTURAL SHOP Ltd.
structural engineering

9801 River Street
Schiller Park, Illinois 60176
Tel 847 349 1099
Fax 847 349 1098

THE MEADOW RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	
TITLE: LANDSCAPING PLAN			
SCALE:	1"=10'	SHEET NO.	
DRAWN BY:	BR	1b	
JOB No.:			
DATE:	02/15/2021		

Agenda Item 4
674 Oakwood Avenue
Partial Demolition, Additions, Exterior Alterations,
Building Scale & Height Variances

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Existing Site Plan
Proposed Site Plan
Existing East (Front) Elevation
Proposed East (Front) Elevation
Existing North Elevation
Proposed North Elevation
Existing West Elevation
Proposed West Elevation
Existing South Elevation
Proposed South Elevation
Color Rendering
Existing Roof Plan
Proposed Roof Plan
Building Section
First Floor Demolition Plan
Proposed First Floor Plan
Second Floor Demolition Plan
Proposed Second Floor Plan
Streetscape Elevation

674 Oakwood Avenue

Consideration of a request for approval of a partial demolition of the existing residence and construction of a replacement front porch, a two-story rear addition, and various associated exterior alterations. Building scale and height variances are also requested.

Property Owners: Michael and Ashley Yakes
Project Representative: Troy Mock, architect

Staff Contact: Jen Baehr, Assistant Planner

Description of Property and Existing Residence

This property is located at the west side of Oakwood Avenue between Deerpath and Westminster. The area is generally characterized by two and two-and-a-half story homes of varying ages and architectural styles. The property is across the street from surface public parking lots and the City's Central Business District and is bordered to the south by a private driveway for the homes to the west and another City owned public parking lot. The property that is the subject of this request is 5,625 square feet and is rectangular in shape. The residence on the property was built in 1903 and is a two-and-a-half story single family home with a detached garage on the west side of the property. As noted in the petitioner's statement, the home has been in the Yakes family for generations and was built by Mr. Yakes great grandfather.

Summary of Request

This is a request for approval of the demolition of the existing single story mass on the front of the home, essentially an enclosed front porch, and the two story mass on the rear of the home. Approval is also requested for replacement additions; an open front porch and an addition on the rear of the home. Various exterior alterations including siding and window replacement are also proposed.

The proposed porch and rear addition are intended to make the home more suitable and functional for the current homeowners. The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project and offer some historical information on the property.

The existing single story mass on the front of the home appears to have been an open porch that was later enclosed. The rear two-story mass was constructed in the 1940's and is not original to the home. The proposed open front porch is centered on the east elevation and is 23 feet long and 5 feet and 4 inches deep. The proposed two-story addition located on the west side of the existing house, at the rear of the house, will provide space to expand the existing kitchen and add a new family room, office and mudroom on the first floor and a master suite on the second floor. The driveway will be slightly reconfigured as shown on the site plans to accommodate the footprint of the rear addition. No changes are proposed to the existing garage.

Front yard and side yard setback variances are needed to allow construction of the proposed porch and rear addition. The Zoning Board of Appeals considered the variance requests on March 29th and recommended approval of the variances.

Staff Evaluation

An evaluation of the project based on the applicable standards along with staff recommendations are offered below for the Board's considerations.

Proposed Demolition

The extent of the demolition work that is proposed comprises less than 50% of the entirety of the existing house and therefore is considered a partial demolition. The demolition plans provided by the petitioner are included in the Board's packet. The demolition criteria are reviewed below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The original residence is over 100 years old and the majority of the existing home will remain. The single story mass on the front of the home and the two-story later addition on the rear of the home do not have any special historical, architectural, aesthetic or cultural significance. It appears that the single story mass on the front elevation may have originally been an open porch however, it has undergone alterations over time. As noted above the existing two-story mass at the rear of the home was built in the 1940's.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The demolition that is proposed will leave most of the existing residence intact. Based on the petitioner's statement of intent, alternate designs were explored before deciding to demolish the front and rear masses. The petitioner's statement explains that to utilize the existing front and rear masses significant alterations would be required including foundation work, that could result in the end product being compromised. Therefore, given the lack of architectural or historic significance, it was determined that demolition of these areas and reconstruction was the prudent course of action.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not applicable to this request. Much of the residence will be preserved and will continue to be used as a single family home.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. No evidence has been presented that the demolition and proposed additions will adversely impact the values of the properties in the neighborhood.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed replacement front porch and rear addition are designed in a manner that is compatible with the overall massing and style of the home. The front porch is a common feature found in the neighborhood and the rear addition, being entirely behind the existing residence, will not be visible from the street.

Staff finds that the criteria for demolition are satisfied.

Site Plan – This standard is met.

As noted above, the front porch is centered on the east elevation, the front façade, and the two-story addition is on the west elevation and aligns with the north and south exterior walls of the existing home. A deck on the west side of the addition and a small covered entry on the northwest corner are also proposed. New paver walkways are proposed on the front and rear of the home.

The information submitted by the petitioner shows that the amount of the impervious surface currently on the site totals 3,154 square feet, equal to 56% of the lot area. With the proposed improvements, the total amount of impervious surface on the site totals 3,366 square feet, equal to 59.8% of the lot area. The footprint of the home and garage totals 1,660 square feet and is equal to 29.5% and the driveway, deck, and walkways total 1,706 square feet and is equal to 30.3%. Paver bricks are proposed for the new walkway rather than a fully impervious surface. It is not unusual for the percentage of impervious surface to be higher on smaller lots than on larger lots in order to accommodate a house, garage and driveway.

Building Massing and Height – Building scale and height variances are requested.

Based on the lot size, a residence of up to 2,088 square feet is permitted on the site with an allowance of 576 square feet for a garage and 209 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries and screen porches.

- The existing residence totals 1,811 square feet and complies with the allowable square footage. It is important to note that the lot was created and the house built prior to the City's adoption of a Zoning and Building Code.
- After the demolition of the front and rear areas as proposed, the existing square footage to remain totals 1,512 square feet.
- A total of 576 square feet is allowed for a garage on this property. The existing garage totals 372 square feet.
- The proposed rear addition totals 932 square feet.
- The proposed front porch and covered entry on the rear of the home total 145 square feet and are considered design elements and are exempt from the total square footage calculation of the home.
- In total, the square footage of the existing residence with the proposed additions, is 2,536 square feet. The total square footage exceeds the allowable by 448 square feet, equal to 21% of the allowable square footage.

Review of Building Scale Variance Standards and Staff Recommendation

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The proposed front porch and rear addition features simple massing and roof forms, consistent with the City's Design Guidelines. The proposed exterior materials and architectural detailing are also compatible with the style of the residence and with the surrounding neighborhood.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard can be met. The rear addition is located completely behind the mass of the existing home and is not visible from the street. Currently there are no trees on the property itself, however there are mature trees that border the property at the east, west and south sides. Given the small size

of the lot and location of the driveway directly adjacent to the house the opportunity to provide plantings on the north and south sides of the home to mitigate the appearance of mass is limited. Landscaping should be added in the front and rear yards to soften the appearance of the additions to help mitigate the increased mass from the surrounding homes.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. As noted above, the two-story addition is proposed on the west side of the house, and is behind the mass of the existing residence, minimizing its appearance from the streetscape. The siting of the addition is in line with the existing north and south walls of the residence and appears to offer appropriate spacing from the neighboring homes to avoid impact on the light and views.

Standard 4 – The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is generally met. The massing of the residence with the proposed two-story rear addition is consistent with the massing of surrounding homes in the neighborhood. The maximum allowable height for a property of this size is 30 feet. The existing height of the home as measured from the lowest point of existing grade is 33 feet and 8 inches. The existing residence was built before the any height limitations were established. A portion of the proposed two-story addition will match the existing height of the home and therefore requires a variance from the maximum allowable height. Although the height of the existing residence and a portion of the addition exceeds the maximum allowable height for this size property, the streetscape elevation provided by the petitioner shows that the eave height and window height of the residence are generally in line with the adjacent homes.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not applicable to this petition. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not applicable to this petition. The property is not located adjacent to land designated as permanent open space.

In summary, the first criteria for demolitions and two additional criteria are satisfied as detailed in the findings presented above.

Elevations – This standard is met.

According to the petitioner's statement of intent, the proposed modifications to the existing residence and porch and rear additions are designed to reflect the Farmhouse architectural style. The home presents

elements common to the Farmhouse style such as an open porch, bracket detailing, square columns, and board and batten siding. The elevations present modifications to the window proportions and sizes as well as the window placement that reflect a more regular pattern around the home and an overall more cohesive appearance.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials consist of horizontal and board and batten fiber cement siding. Architectural asphalt shingle is proposed for the main roof material and standing metal seam roofs are proposed for the front porch and rear covered entry. Aluminum clad windows with exterior and interior muntins are proposed. Cedar is proposed for the porch columns, porch brackets, trim, and fascia boards. Aluminum gutters and downspouts are proposed. The type of materials and application are compatible with the proposed Farmhouse style of home and the character of the surrounding neighborhood.

The petitioner provided a color rendering that reflects the proposed color palette. The rendering is included in the Board's packet.

Landscaping – This standard can be met.

As noted above, currently there are no trees on the property itself, however there are mature trees that border the property at the east, west and south sides. Given the small size of the lot and location of the driveway adjacent to the home, the opportunity to incorporate plantings on the north and south sides of the home is limited. However, given that the mass of the home is increasing and building scale and height variances are requested, landscaping should be added to the extent possible in the front and rear yards that will over time, help to soften the additional height and mass of the home.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the partial demolition of the residence; the one story mass at the front of the house and the 1940's addition, approval of a building scale variance and approval of the design aspects of the one and two-story additions based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. If any modifications are made to the plans that were presented to the Board, either in response to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. A landscape plan reflecting plantings in the front and rear yards shall be submitted and will be subject to staff review and approval.
3. Details of any exterior lighting that is proposed shall be provided with the plans submitted for permit. Cut sheets of all light fixtures shall be provided and all fixtures shall direct light

downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass. All exterior lights, except for motion detector lights for security purposes, shall be set on timers to turn off no later than 11 p.m.

4. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No construction parking is permitted on Oakwood Avenue due to the narrowness of the street and the volume of traffic. Offsite parking in the public parking lots nearby may be necessary. Permits can be obtained for parking in the public lot across the street.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 674 Oakwood Avenue Owner(s) Michael and Ashley Yakes
 Architect Troy Mock, architect Reviewed by: Jen Baehr
 Date 4/7/2021
 Lot Area 5625 sq. ft.

Square Footage of Existing Residence:

1st floor 693 + 2nd floor 740 + 3rd floor 79 = 1512 sq. ft.
 (After Demolition of Front & Rear Areas)

Design Element Allowance = 209 sq. ft.

Total Actual Design Elements = 0 sq. ft. Excess = 0 sq. ft.

Garage 372 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 18'-5" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1512 sq. ft.

Square Footage of Proposed Additions:

1st floor 464 + 2nd floor 468 + 3rd floor 92 = 1024 sq. ft.

New Garage Area 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 145 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 2536 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2088 sq. ft.

DIFFERENTIAL = 448 sq. ft. **NET RESULT:**
Over Maximum

448 sq. ft. is

Allowable Height: 30 ft. Actual Height 33'-8" (existing house and proposed rear addition) 21% over the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 209 sq. ft.

Front & Side Porches = 113 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 32 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

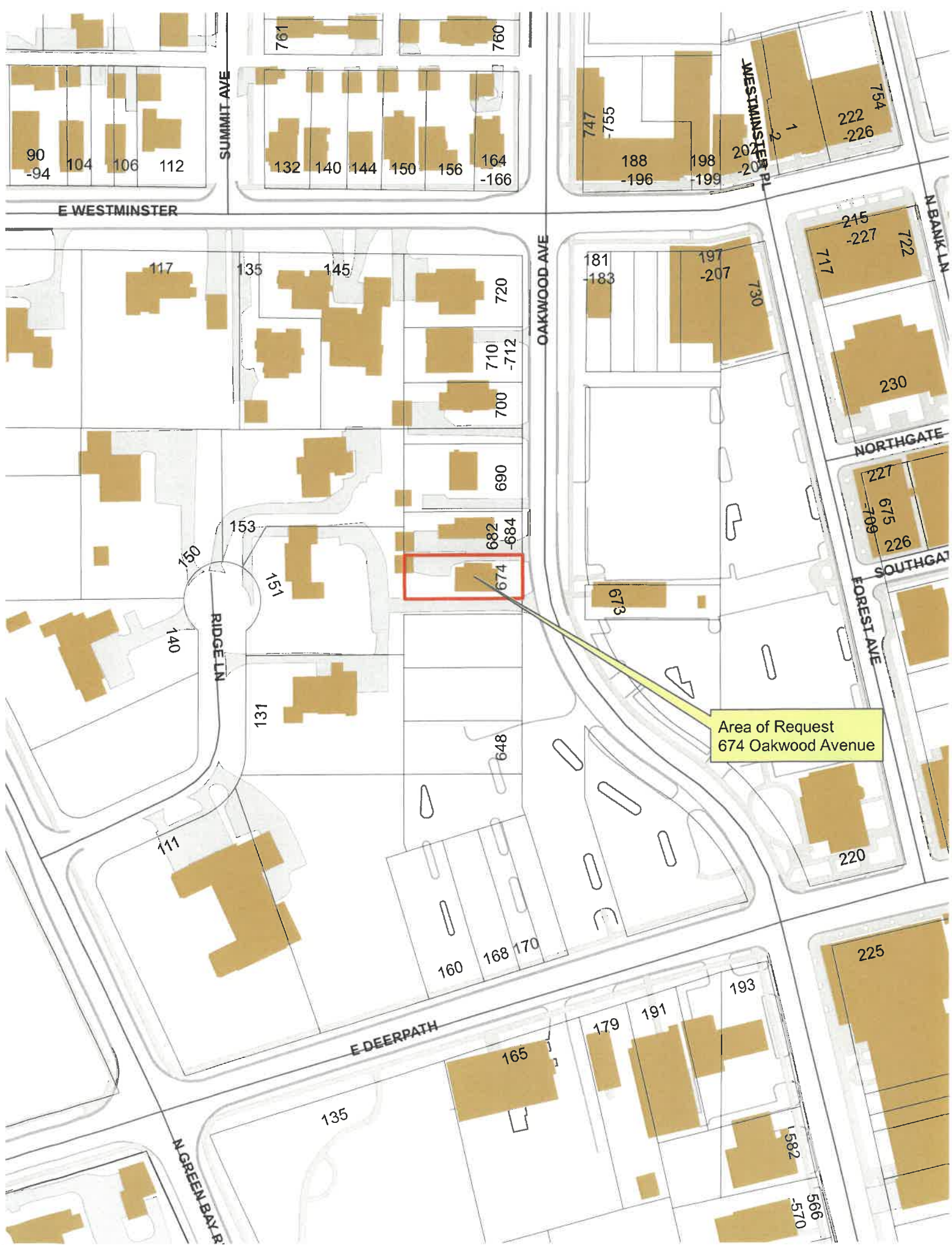
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 145 sq. ft. **Excess Design Elements** = 0 sq. ft.





Area of Request
674 Oakwood Avenue



Area of Request
674 Oakwood Avenue



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 674 Oakwood Avenue

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence <input type="checkbox"/> New Accessory Building <input checked="" type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Demolition Complete <input checked="" type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input type="checkbox"/> Landscape/Parking <input type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

PROPERTY OWNER INFORMATION

Michael and Ashley Yakes

Owner of Property

674 Oakwood Avenue

Owner's Street Address (may be different from project address)

Lake Forest, Illinois 60025

City, State and Zip Code

847.735.0399

Phone Number

Fax Number

michael.yakes@gmail.com

Email Address

Owner's Signature

 Ashley Yakes 3/15/21

ARCHITECT/BUILDER INFORMATION

Troy Mock

Name and Title of Person Presenting Project

Troy Mock - Architect

Name of Firm

930 - A Ivy Lane

Street Address

930-A Ivy Lane

Deerfield, Illinois 60015

City, State and Zip Code

847.514.3103

Phone Number

Fax Number

troy@troymockarchitects.com

Email Address

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER

☐ REPRESENTATIVE

Statement of Intent
674 Oakwood Ave.

The following is a "Statement of Intent" in response to the City of Lake Forest's Building Review Application Requirement for the partial demolition, renovation and addition to the structure at 674 Oakwood Ave, Lake Forest, IL.

674 Oakwood Ave was built in 1903 by the great grandfather of Michael Yakes. Since then, the home has been the past down to three generations and is currently owned and lived in by Michael, his wife Ashley and their three children. We are proposing the partial demolition of the existing structure. Please refer to the, "The Written Statement," addressing demolition criteria. We are also proposing an addition that will provide for a kitchen and will allow the family a place to eat as currently, in addition to being woefully lacking in space and function, there is not an eating area within the kitchen itself. The addition will also remedy the lack of a mud room, family room, master bedroom and will relieve the current plan of a tandem bedroom. In short, the Yake's simply want to provide the house with the accommodations that it has been lacking for years and will allow them to use the home comfortably in lieu of just overcoming the homes current significant space, design and functional issues. Simultaneously, we hope to design the home in a way to have a better contextual relationship with the existing surrounding community and housing types.



Existing Front Elevation

Currently the home has a non-descript architecture that most closely associates with the American Four-Square style of architecture in the 1900's. It has undistinguished details and awkward massings on the rear elevation which is an addition built in the 1940's. There is also a front entry that is believed to have been a partially open and covered porch of some kind as most American Four-Square home would have that was enclosed between the time the home was built in 1903 and when the rear addition was constructed. Our desire in renovating and adding to this home is to capitalize, to the greatest extent possible, on the existing features of the home and to build a home with a simple elegance. To achieve this, we believe that using the farmhouse or folk vernacular allows us to build onto the home organically providing only the minimal amount of space required for the Yakes Family as they intend to keep this generational house in the

family for years to come. It will also provide for a more substantive architecture and allows us to give it the details it currently lacks. We believe by keeping the additional space and height to a minimum, it will have the least amount of impact on the neighborhood, but at the same time create a home with a distinguished architecture.

Farmhouse or folk architecture is an architectural style of necessity. It was easy to construct and was modest in size. Typically, the first floor was just a room to gather, a room to eat and a room to cook with stairs that lead to the from the kitchen to the second floor. The current house, sans the rear addition, provides space in just this way so adding to the farmhouse aesthetic with better defined details seems like a natural progression. One of the great attributes of the style was the ability for a home to be added on to with relative ease. The tall two-story home that was typically narrow in one direction would be added onto with "wings" that could flank either side of the home. In this case, and because of the narrowness of the property, we have added to the house by simply extending it to the rear of the home where the majority of available space to build is located. Adding towards the rear of the home allows us as well, to rectify the issues presented by the addition in the 1940's. Well minded people who loved this home have added ill-suited spaces in an effort to rectify its short comings. We made several attempts in design to try and keep this addition and renovate it as well. However, the space is built on a suspect foundation and has three different floor elevations on two floors and it became quickly apparent that removing this portion of the home was the best decision in every capacity.



Existing Rear Elevation

Our proposed addition off the back uses the homes existing conditions of exterior wall location, eave height, and roof pitch and therefore will be the same height as the existing house. This is important as the existing height of the house is 33'-4" as measured from average grade. whereas the allowable building height is 30'-0". This is one of four variations we are requesting. The variation that is being presented to the Building Review Board is one of size and would allow, if granted, the Yakes to build over the allowed building size by 457.9 square feet. Please refer to the standards for building scale variance for

additional information. None-the-less, the design does narrow as we move towards the back of the addition and therefore allows the home to be under the maximum building height for a majority of the addition.

We are also requesting from the ZBA a reduction in south side yard setback. Currently, the exterior wall on the south side of the house is 6'-1" away from the property line. The minimum side yard setback is 6'-0". However, within the GR-3 zoning district, overhangs and eaves are included need to be within the buildable area. Consequently, the existing wall with its 24" overhang is non-conforming by 23". Our proposed design has a wall that is flush with the existing and therefore it too, will be non-conforming by 23" due to wanting the addition to be contextual with the existing and have matching roof pitches and overhangs. Of interest is that the portion of the house we are demolishing in the rear also is non-conforming by 23". We are removing 9'-11" of that wall. The addition we are proposing is only 7'-4" long. In the end, our addition is reducing the existing non-conformity by 2'-7". Continually, the south facing façade where this encroachment occurs faces a private street that is a secondary access lots behind the subject property. Therefore, there or no neighbors to the south who would be directly affected by the encroachment.

Finally, are also proposing to remove a portion of the house at the front entry. Again, we made several attempts at repurposing at the very least, the existing foundation to create the covered porch. However, time and time again the design lead us back to wanting to provide a centered front porch and the logistics of manipulating the existing foundation became more time consuming and costly then pouring new. We are keeping the size of the footprint and the front yard setback the same as the existing. However, since we are removing the structure, we are seeking a variation from the ZBA to reconstruct the front porch as the existing is currently non-conforming.

The new covered front porch is a staple of the farmhouse vernacular. Curiously, the porch was created on these homes were not just for a place to sit sheltered from the sun, but it was also used as a mud room of sorts. A place where the farmers could take of their boots, jackets and hats before entering the home. The porch we are providing is centered on the home to be more contextual with the homes to the north which also have covered porches.



682 Oakwood



690 Oakwood

The proposed front porch will have a low-pitched hipped roof and will be supported by carpenter build 12" x 12" columns. The stairs and flooring will be ipe wood, and the handrails and beadboard ceiling will be opaque stained cedar. The roof, however, due to the low pitch will be standing metal seem which is a material used extensively in the recreation of the farmhouse as it can perform when installed at low pitches. Also, we have added some corbels to the eave as sometimes can be found in the more colonial versions of the farmhouse aesthetic.

The home will be clad in 5" exposed hardi-board and hardi-board and batten. However, the trim of the exterior including that of the columns, corner boards, window trim, door trim, soffit, fascia and frieze boards will all be opaque stained cedar. Currently the window sizes and configurations of the home are lacking in composition and proportions. We have some adjustments to window sizes and locations to remedy this current issue and are using Marvin "elevate" window in white. We had wanted to use black windows, but the neighbor to the North used a white pallet with black windows so we decided that a little diversity would be better than two houses with the same color pallet. Farmhouse architecture at its very nature is about simplicity and we have kept that in mind when detailing the home as the only ornamentation are the corbels on the front entry porch and the brackets holding up the covered entry at the rear of the home. A proper aesthetic for the farmhouse is appropriately placed and sized windows and doors that create a sensible rhythm. We also are removing the existing poorly sized shutters. Given that

this is a renovation and addition, we did our best in dealing with the existing to make the proportions of solids and void work appropriately.

The roof will be a simple architectural asphalt shake and it will be a dark charcoal grey, not pure black to reduce the contrast between the white façade and white gutters.

Below are some pictures of other houses in the neighborhood and we show them here because we feel it shows that our new proposed home works quite well and assimilates even better into the neighborhood and pictures show this better than words ever could.

Pictures of home in the neighborhood



710 Oakwood



720 Oakwood



760 Oakwood



776 Oakwood

Pictures of the Subject Property



Standards for Approval of Building Scale Variance
674 Oakwood Ave.

In partial fulfillment of the Building Review Board Application Submittal

Criteria One: The project is consistent with the design standards in Section 9-86 of the City of Lake Forest

Yes, despite requesting an additional 458 square feet of space, we feel the completed design will feel very compatible with the surrounding house in their neighborhood. A quick look at the aerial photograph below and again printed in the drawing set will demonstrate that currently the home at 674 Oakwood is quite a bit smaller in terms of its footprint than its neighbors. A great majority of which are also full two-story homes. The fact is now, the home seems out of place given its architecture and size. The proposed design will allow this home to feel much more contextual within its neighborhood. Continually, the home will be no taller or wider than it currently is so from the front elevation the home will appear no bigger in any way.

→
Subject
property



Criteria Two: Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

As pointed about above the height and mass of the home from the streetscape will appear no bigger than it currently is and therefore does not change the street scape in any way. As this question references mature trees, it makes sense to point out that all mature trees, of which there are 4, sit just off the Yake's property and away from the areas of construction. In fact, after construction, the house will be further away from any mature tree.

Criteria Three: New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

Not to belabor the point, but below I have included a drawing of the front elevation of the house as it is now and how it would be if the proposed addition is approved for construction to show the only change to the front elevation is architectural detailing and not size. It is true that the house will become longer with in the 45' lot, but again, I refer to the aerial photograph that shows the tree line to the south. I believe the tree line will have much more to with any blockage of sun for the neighbor to the North than the addition of 674.



Criteria Four: The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, building on the street and on adjacent streets, and other residences and garages in the same subdivision.

Yes, the home will be compatible with the height and mass of the other residences. I would further suggest that the house will feel smaller in terms of mass as we are replacing an enclosed entry with an open and covered porch which is the same size. The open porch does not create as much mass and therefore it will feel smaller. From the side elevation, the home will look more closely related in size to its neighbors than it does now. The image below can also be found in the drawing set and shows the subject property in relation to its two neighbors. I will also add that to the left, or south, of the subject property is a secondary access to lots behind Oakwood so there is not neighbor directly to the south. Further south is overflow parking for downtown and city hall.



Criteria Five: The property is located in a local historic district or is designated as a local landmark and the addition is consistent with the standards in the historic preservation ordinance and approval of a variance would further the purpose of the ordinance.
N/A

Criteria Six: The property is adjacent to land use and zoned as permanent open space, a conservation easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the building from the streetscape and from neighboring properties.
The property is adjacent on the South to a secondary access for lots behind Oakwood. These lots have their main access off Greenbay. There is no permanently zoned open space adjacent to this lot.



Written Statement (Criteria for Demolition)
647 Oakwood Avenue

The following is a "Written Statement" in response to the City of Lake Forest's Building Review Application Requirement for the partial demolition.

Criteria One: The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

We plan on only removing two portions of the house that are not original to the American Four Square home that was built in 1903. The first is a 5.5' x 16.5' front entry. It is believed was at least partially open but was fully enclosed at some point after completion of the structure. The second is a 10' x 22.5' addition that was added to the rear of the home. Previous dialogue has discussed this addition, however well meaning by the Michael Yakes grandfather and father, was ill conceived. Neither of these spaces have any historical or aesthetic significance. In fact, it became apparent early in the design phase of this project that removing them was the best course of action to be able to design a home that meets all of Lake Forest's design guidelines.

Criteria Two: Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.

Yes. Many, many alternatives were explored before deciding to demolish the structures. The front porch's foundation would have to saw cut and manipulated to a great extent to have it be able to provide structure for an open porch. In the end, a much more reasonable solution is to remove this part of the house fully so an open and covered front porch which works very well with the farmhouse vernacular we are providing for this home was a less costly and allowed us to create the porch to the size we feel is visually compatible with the existing structure. The rear addition has 3 different floor elevations on two floors. We made an attempt at repurposing this space, but it is nearly impossible. We would have to first remove the roof, then build a knee wall on the existing exterior walls so bearing height would be the same as the existing home. Currently the rear of the house requires 2 steps down to enter it. Then we would have to cut out the floor joist of the second floor and raise them up to be flush with the existing home. Without moving the second floor up any addition on the first floor would have a ceiling height of less than 8'-0". From there the complexities grew so in the interest of the design as a whole, we feel strongly that removing this part of the house is in the best interest of an end result.

Criteria Three: The structure, in its present or restored condition, is unsuitable for residential or compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health hazard.

The current structure is not unsuitable for residential use. There are no health hazards that are known at the present time. There are, however, major maintenance items such as lacking insulation, electrical wiring, HVAC replacement, window replacement and the like. The existing structure is also woefully lacking in amenities found in any home built today, but at the present time, it is not unsuitable for habitation. The best and easiest way for us to proceed is to be able to remove the portions of the home that are the most neglected and structurally insignificant so that we can update the utility systems of the house and provide for an efficient building envelope.

Criteria Four: The demolition and/or the replacement structure will not adversely impact the value of the property within the neighborhood.

The partial demolition of the current home and the construction of the proposed addition will not adversely impact the value of the property within the neighborhood. In fact, the reverse is true. The replacement structure can only contribute to the value of the surrounding given the current condition and amenities of the existing home.

Criteria Five: The demolition and /or the replacement structure will be compatible with and not adversely impact the neighborhood character.

The addition and renovation of this home will be compatible with the neighborhood character. As written in the Statement of Intent, one of the reasons we chose to design the replacement structure in the Farmhouse style is because it is similar in massing and roof lines as some of the newer homes built in this area. Please see the Pictures of the surrounding neighborhood provided.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☒ Other

Color of Material White

5" exposure hardiboard lap siding
& hardiboard board and batten siding

Window Treatment

Primary Window Type

- ☒ Double Hung
☒ Casement
☐ Sliding
☐ Other

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other

Color of Finish White

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material
☐ Other

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material
☐ Other

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other
☐ Synthetic Material

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other n/a

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles CertainTeed
- ☐ Sheet Metal
- ☐ Other

Flashing Material

- ☐ Copper
- ☐ Sheet Metal
- ☒ Other woven to match roof

Color of Material Country Gray

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum - White
- ☐ Other

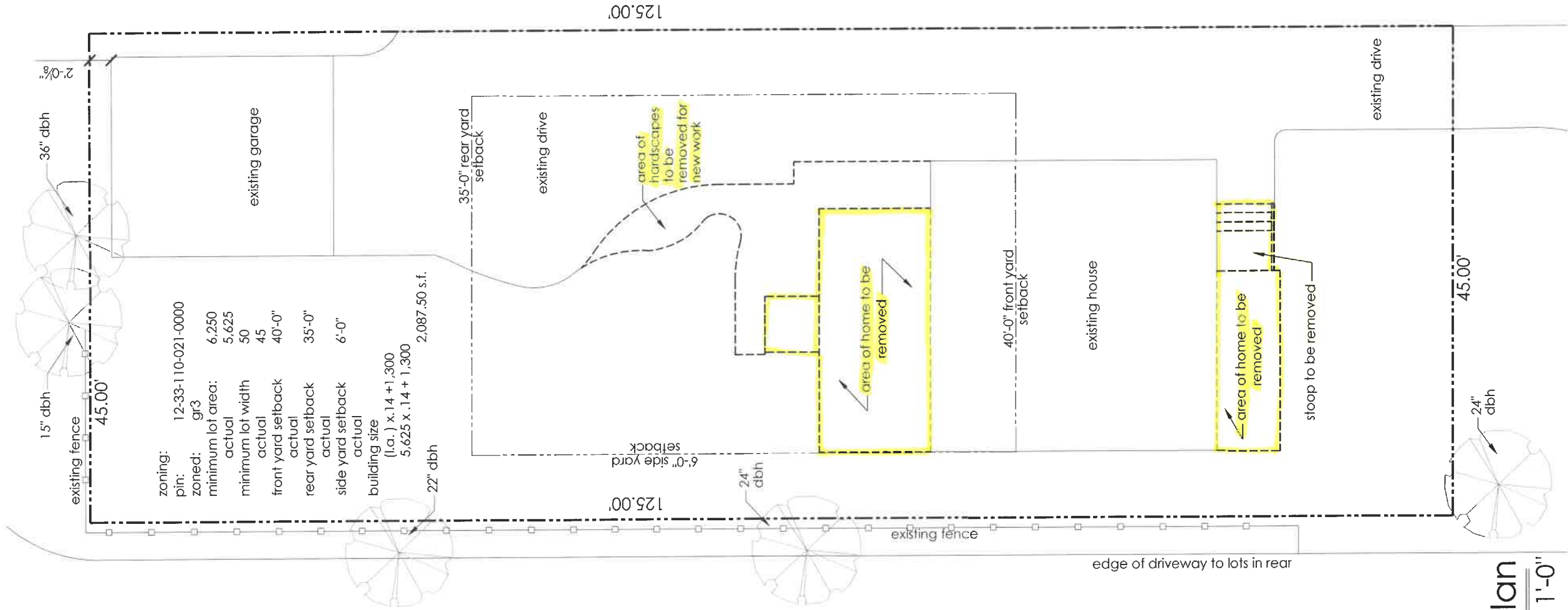
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other

Terraces and Patios

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other

Legal Description:
the south 45 feet of the
north 361 feet of the east
125 feet of block "a" (in holt's
subdivision of part of the
west half of section 33,
township 44 north, range 12,
east of the third principal
meridian, according to the
plat thereof recorded april 1,
1889, as document 39415, in
book "b" of plats, page 5, in
lake county, illinois



01 exist. site plan

scale: 3/32" = 1'-0"

PROJECT NAME:
The Yakes Residence
DESCRIPTION:
whole house remodel & addition
ADDRESS:
674 oakwood ave.
lake forest, IL 60025

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21

SHEET NUMBER:

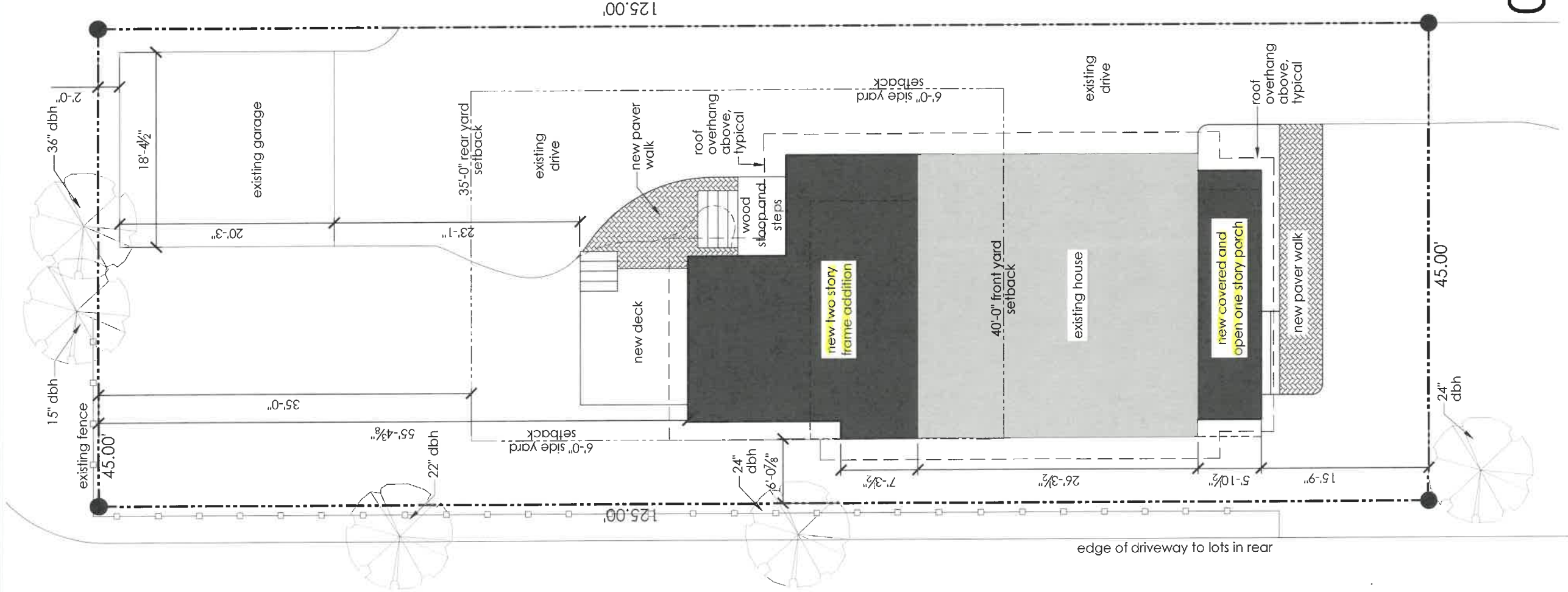
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OF 20

PROJECT NUMBER
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zoning:	12-33-110-021-0000
pin:	gr3
zoned:	6,250
minimum lot area:	5,625
actual	50
minimum lot width	45
actual	40'-0"
front yard setback	actual
rear yard setback	35'-0"
actual	actual
side yard setback	6'-0"
actual	actual
building coverage	30%
5,625 x .3=	1,687.50
actual	actual
existing house	703.00
new house	471.00
covered entry	138.00
garage	373.00
total	1,685.00

lot coverage	1,089.00
existing house	existing garage
existing garage	existing driveway
existing driveway	and walk
and walk	sub total
sub total	new house
new house	73.00
new cvrd. porch	125.00
new walk	14.00
sub total	212.00
total	3,366.00

building size
refer to building scale
workbook and building scale
drawings

01 architectural site plan
scale: 3/32" = 1'-0"

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01 existing front elevation
scale: 3/16" = 1'-0"

PROJECT NAME:

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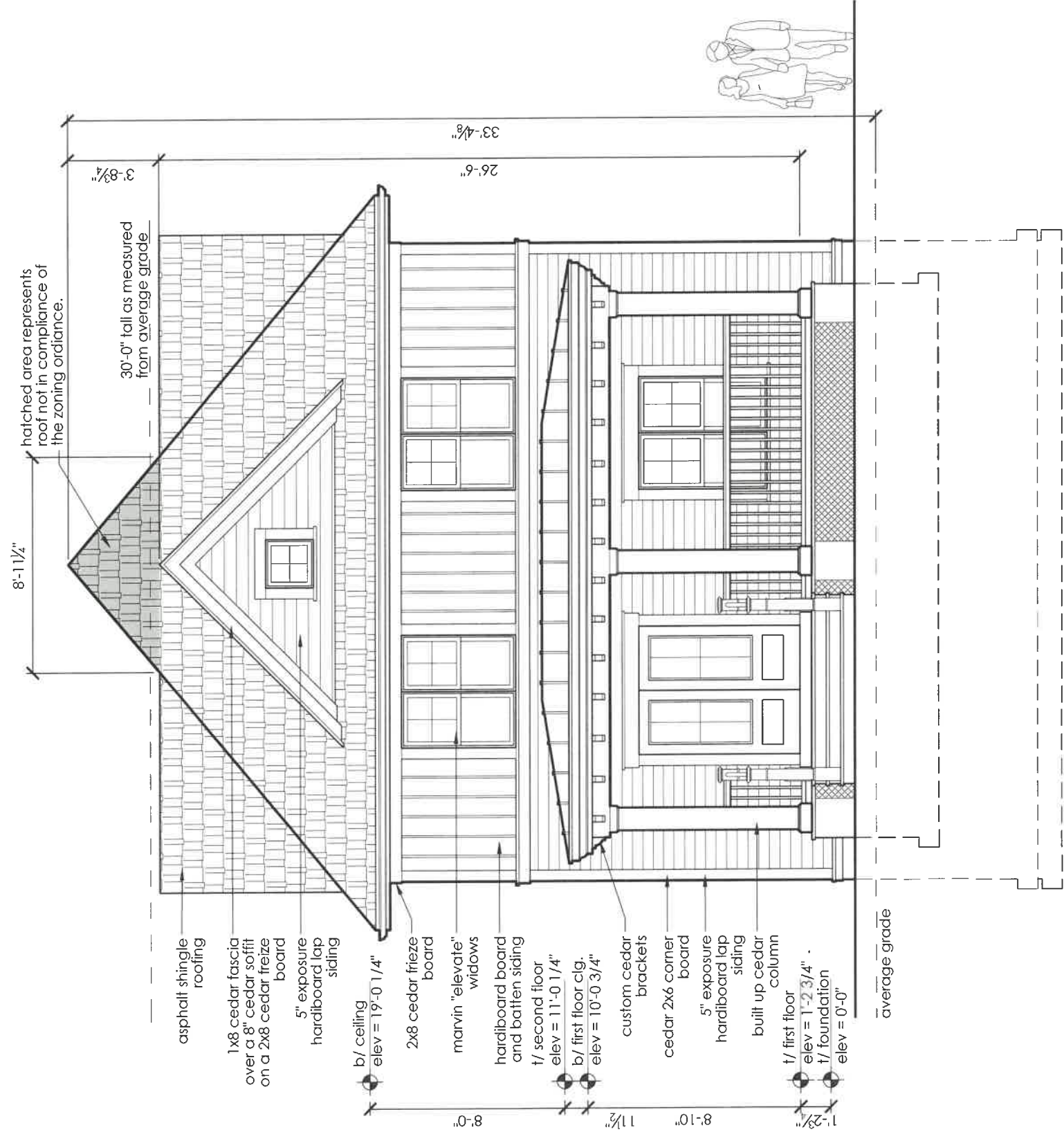


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01 proposed front elevation
scale: 3/16" = 1'-0"

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01 existing right elevation
scale: 3/16" = 1'-0"

PROJECT NAME:

The Yakes Residence
DESCRIPTION: whole house remodel & addition
ADDRESS: 674 oakwood ave.
lake forest, IL 60025

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ARCHITECT

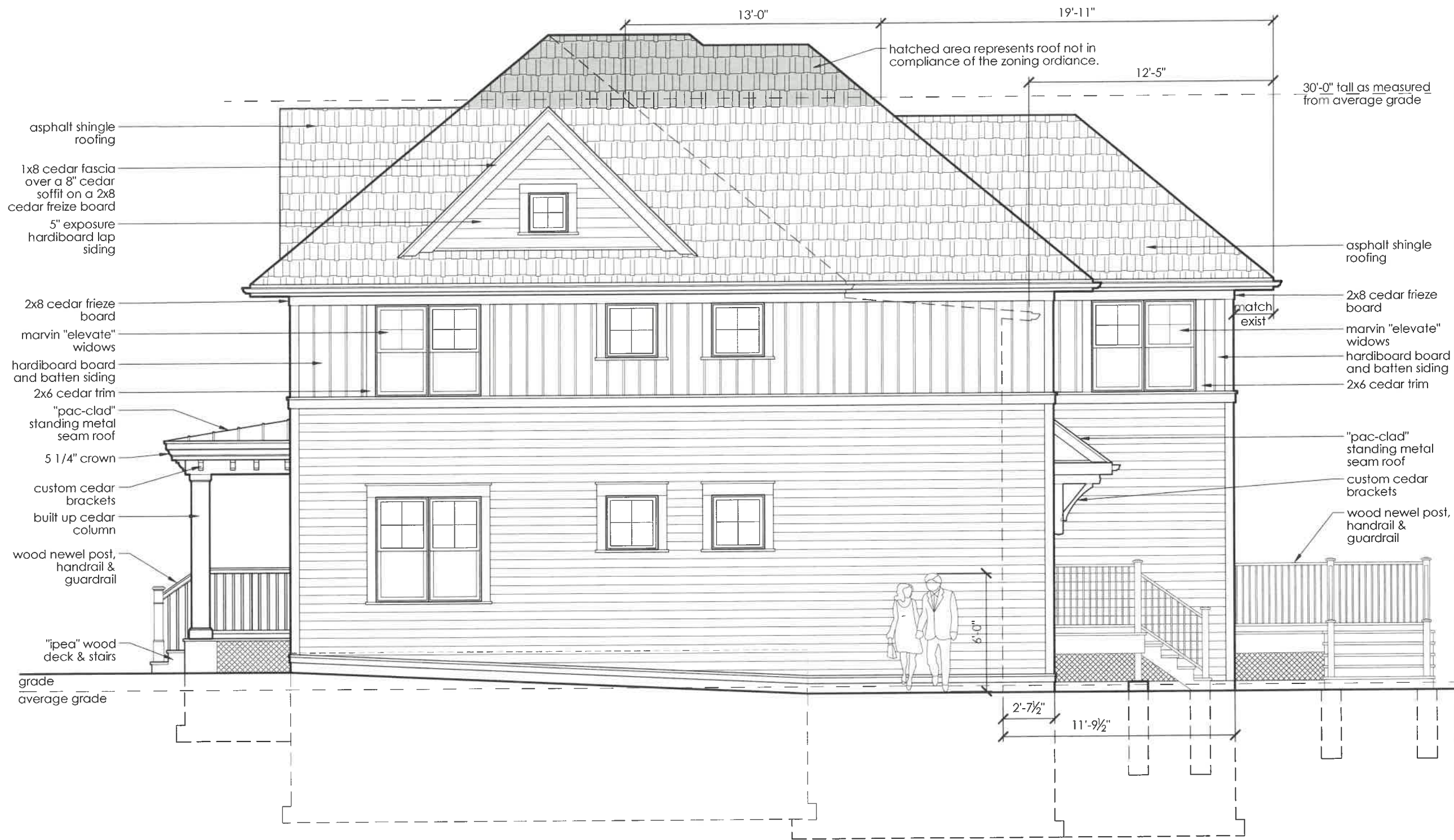
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01 proposed right elevation
scale: 3/16" = 1'-0"

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ADDRESS: 674 oakwood ave.
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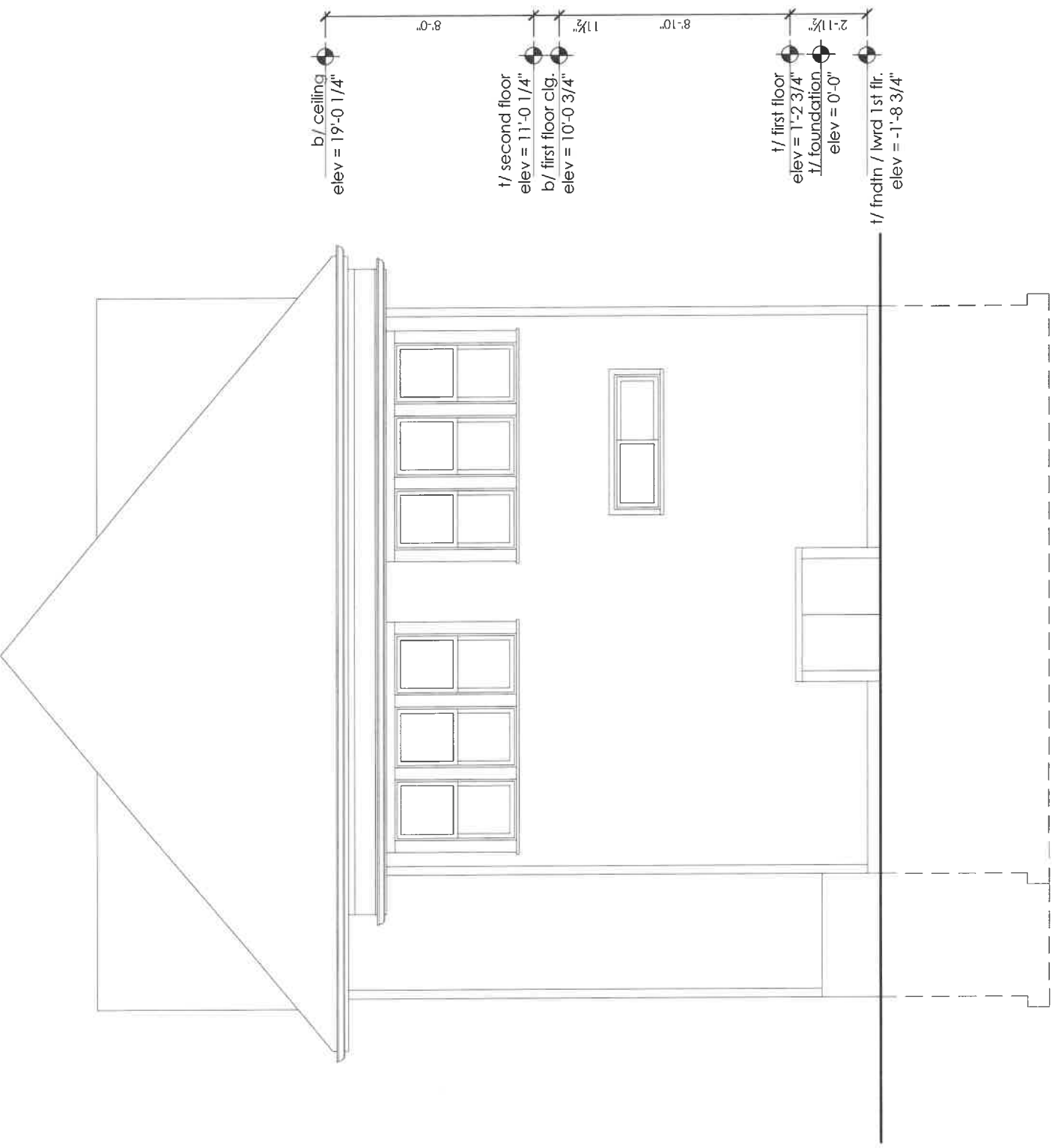
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01 existing rear elevation
scale: 3/16" = 1'-0"

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The Yakes Residence

DESCRIPTION:
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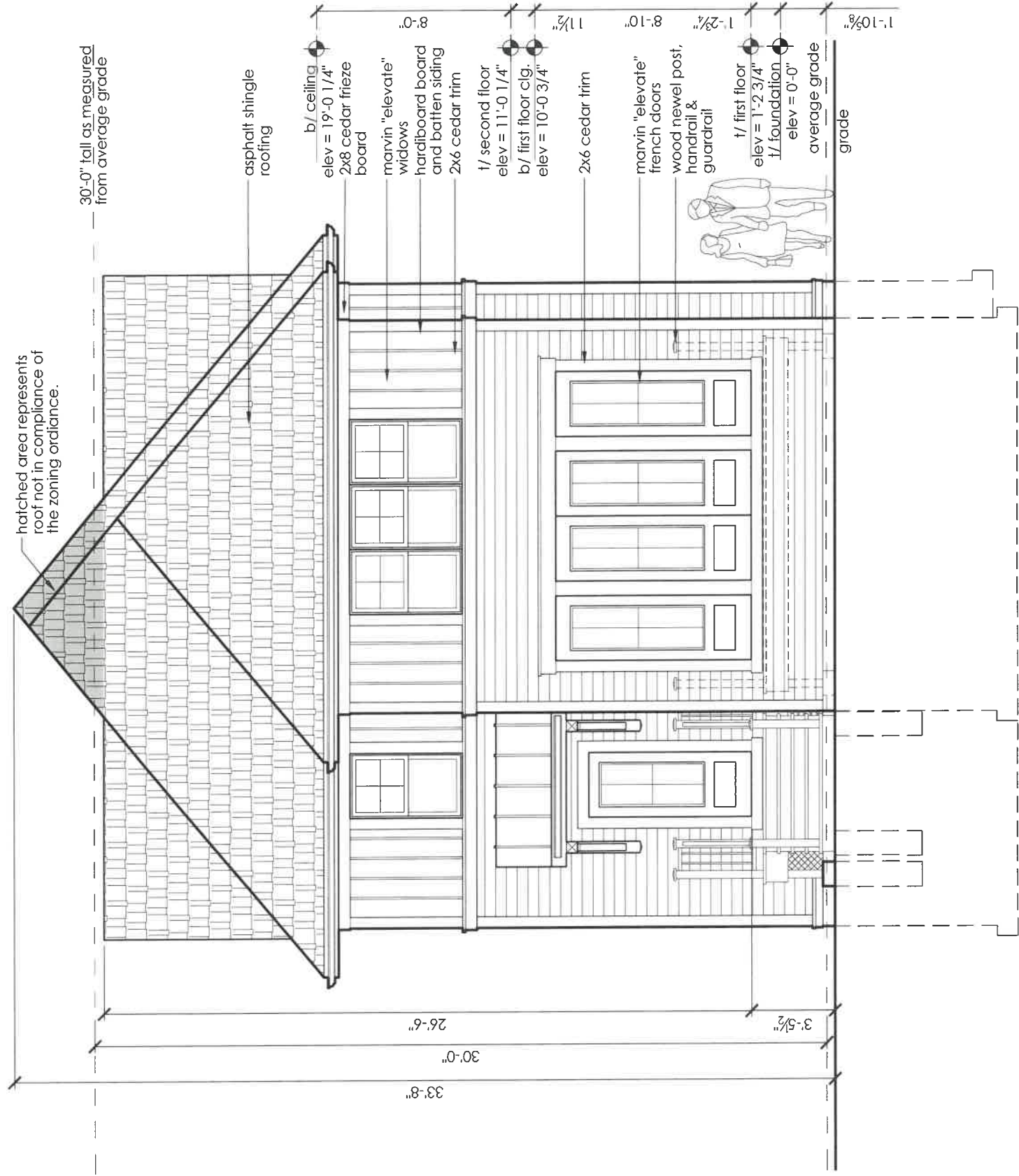
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01 proposed rear elevation

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01 existing left elevation
scale: 3/16" = 1'-0"

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The Yakes Residence

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ADDRESS:

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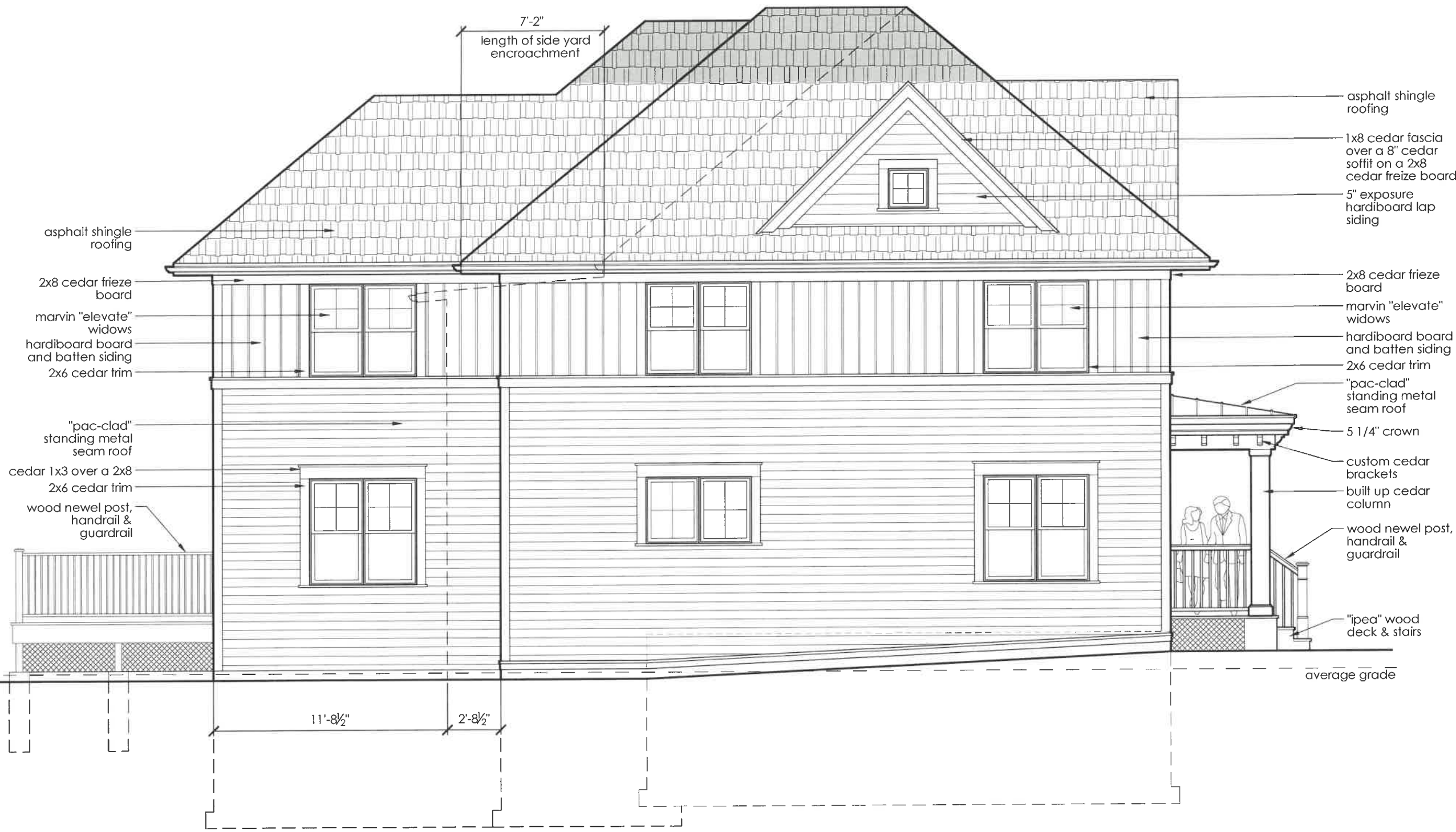
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01 proposed left elevation
scale: 3/16" = 1'-0"

ARCHITECT

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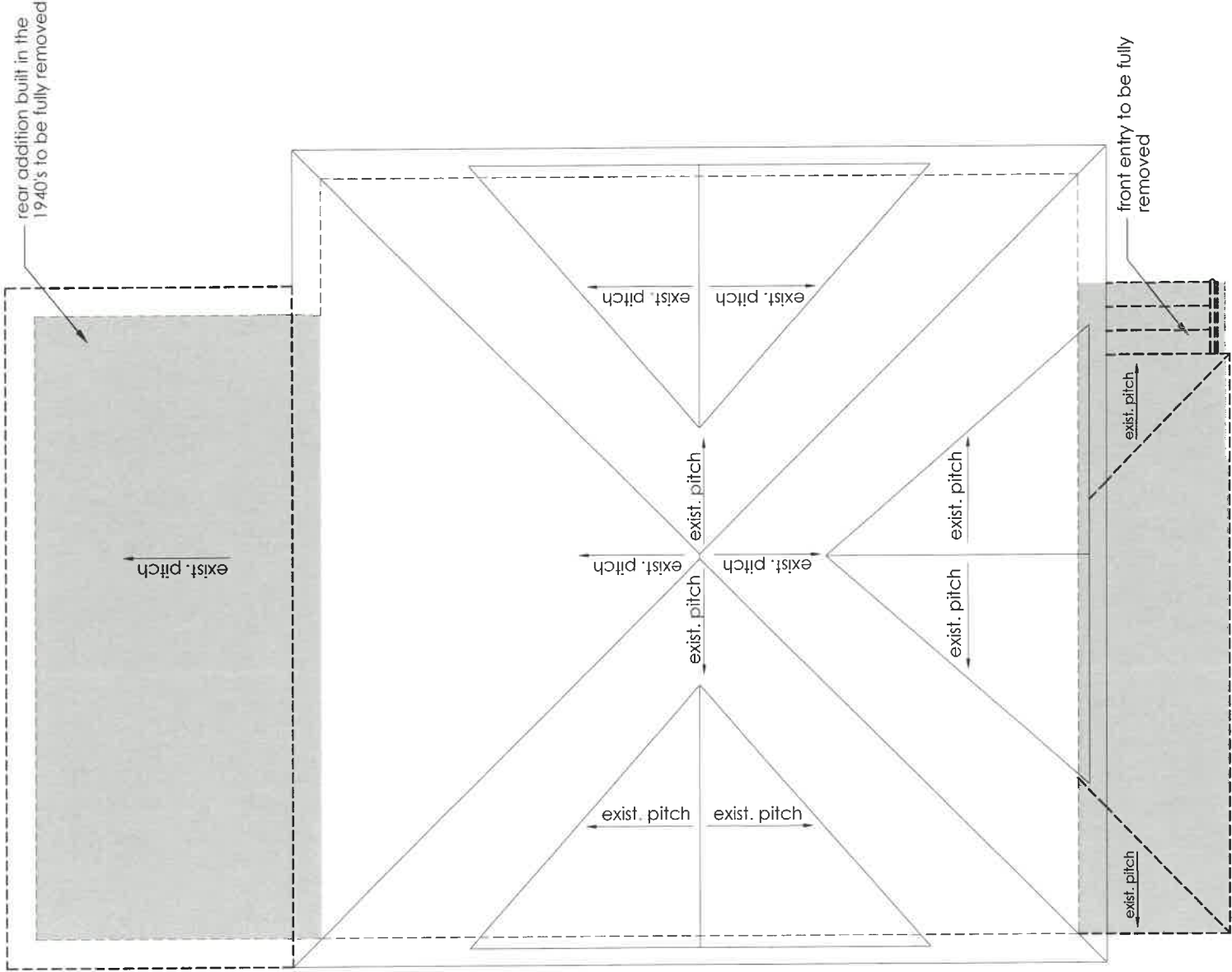


wall symbol legend

interior walls:

existing interior wall

wall to be removed fully or partially



01 existing roof plan

scale: 3/16" = 1'-0"

PROJECT NAME:
TheYakes Residence

DESCRIPTION:
whole house remodel & addition

ADDRESS:
674 oakwood ave.
lake forest, IL 60025

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ARCHITECT

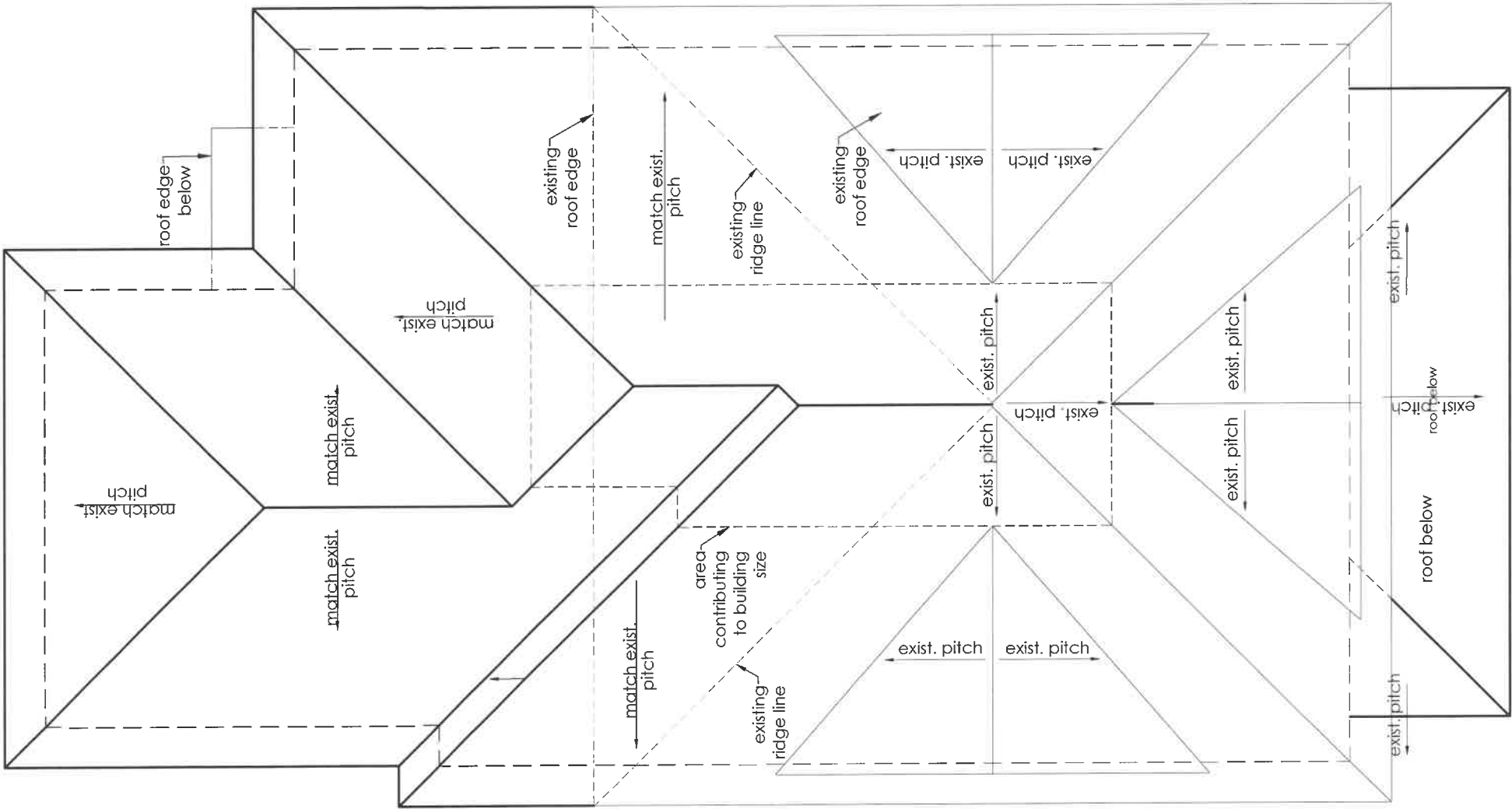
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01 proposed roof plan
scale: 3/16" = 1'-0"

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SHEET NUMBER:

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OF 20

PROJECT NUMBER

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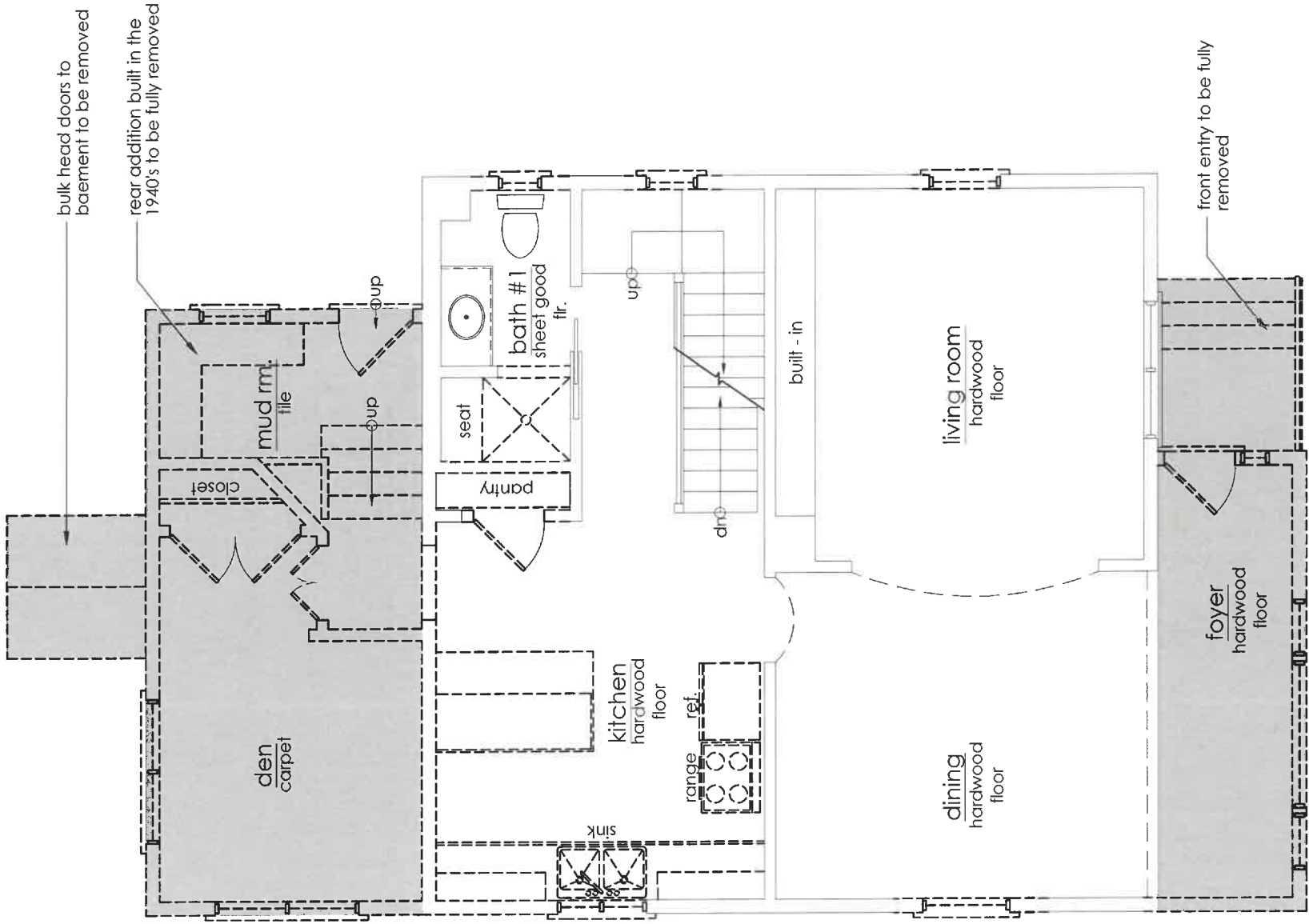
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wall symbol legend

interior walls:

existing interior wall

wall to be removed fully or partially



01

1st floor demolition plan

scale: 3/16" = 1'-0"

PROJECT NAME:
The Yakes Residence

DESCRIPTION:
whole house remodel & addition

ADDRESS:
674 oakwood ave.
lake forest, IL 60025

SHEET NUMBER:
4
OF 20

PROJECT NUMBER
yat.lak.20

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21

ARCHITECT

MOCK

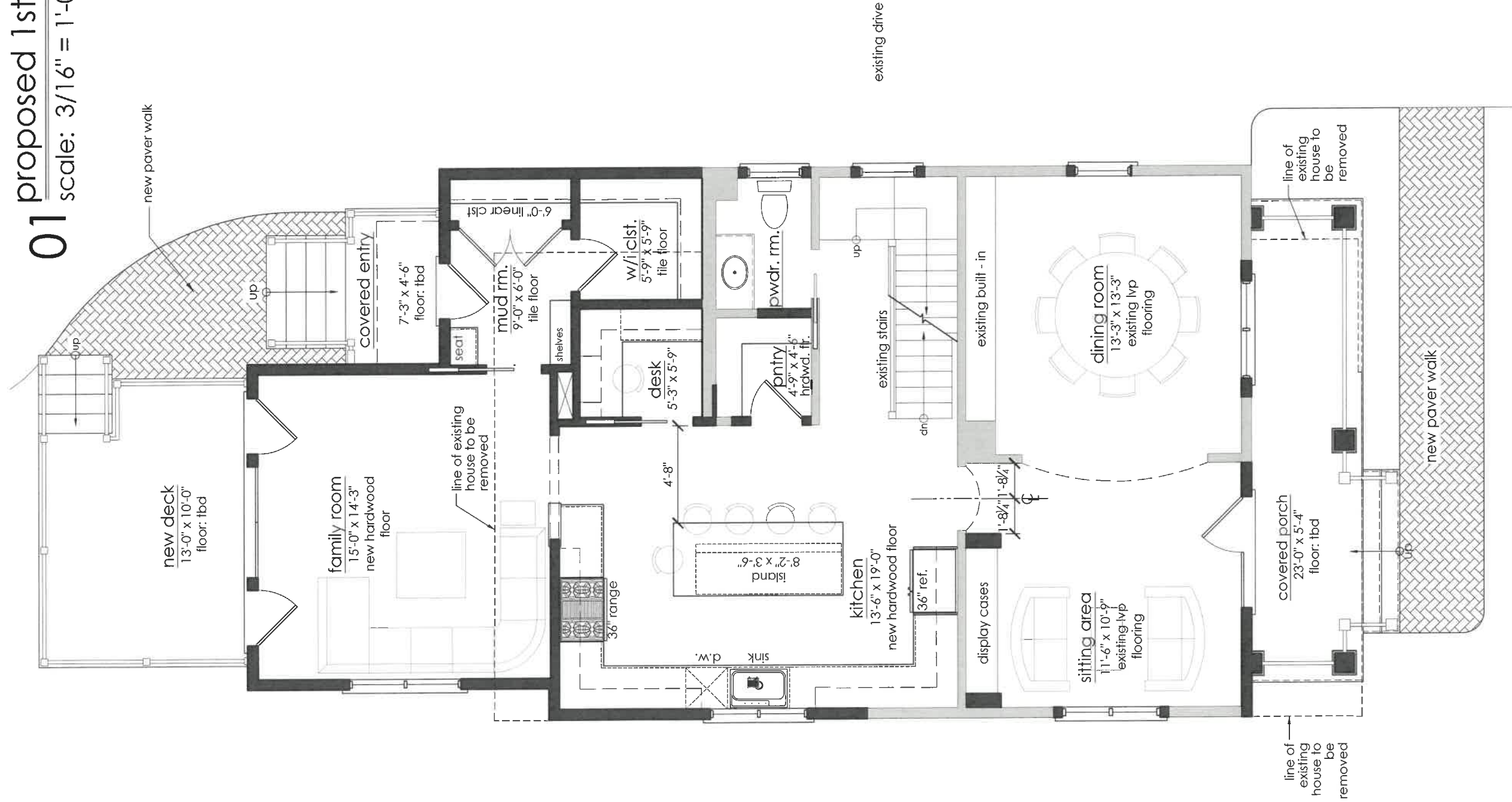
TROY

930 - A Ivy Lane
Deerfield, IL 60015

847.514.3103
troy@troymockarchitects.com

© troy mock - architect 2021

01 proposed 1st flr. plan
scale: 3/16" = 1'-0"



PROJECT NAME:
TheYakes Residence

DESCRIPTION:
whole house remodel & addition

ADDRESS:
674 oakwood ave.
lake forest, IL 60025

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21

SHEET NUMBER:

5

OF 20
PROJECT NUMBER
yat.lak.20

MOCK ARCHITECT

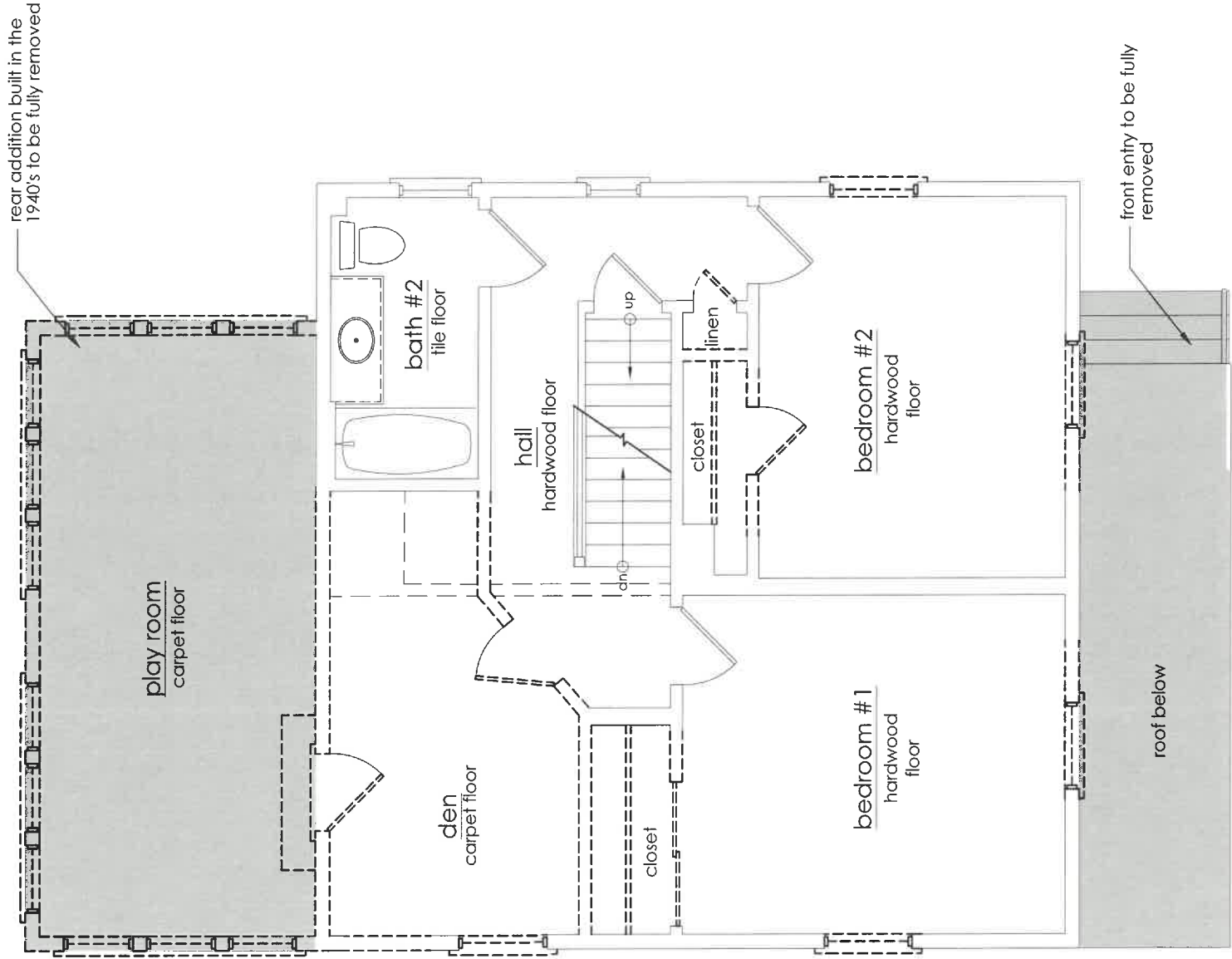
930 - A Ivy Lane
Deerfield, IL 60015
847.514.3103
troy@troymockarchitects.com
© troy mock - architect 2021

wall symbol legend

interior walls:

existing interior wall

wall to be removed fully or partially



01

2nd floor demolition plan

scale: 3/16" = 1'-0"

PROJECT NAME:
The Yakes Residence

DESCRIPTION:
whole house remodel & addition

ADDRESS:
674 oakwood ave.
lake forest, IL 60025

SHEET NUMBER:

4

OF 20
PROJECT NUMBER
yat.lak.20

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21

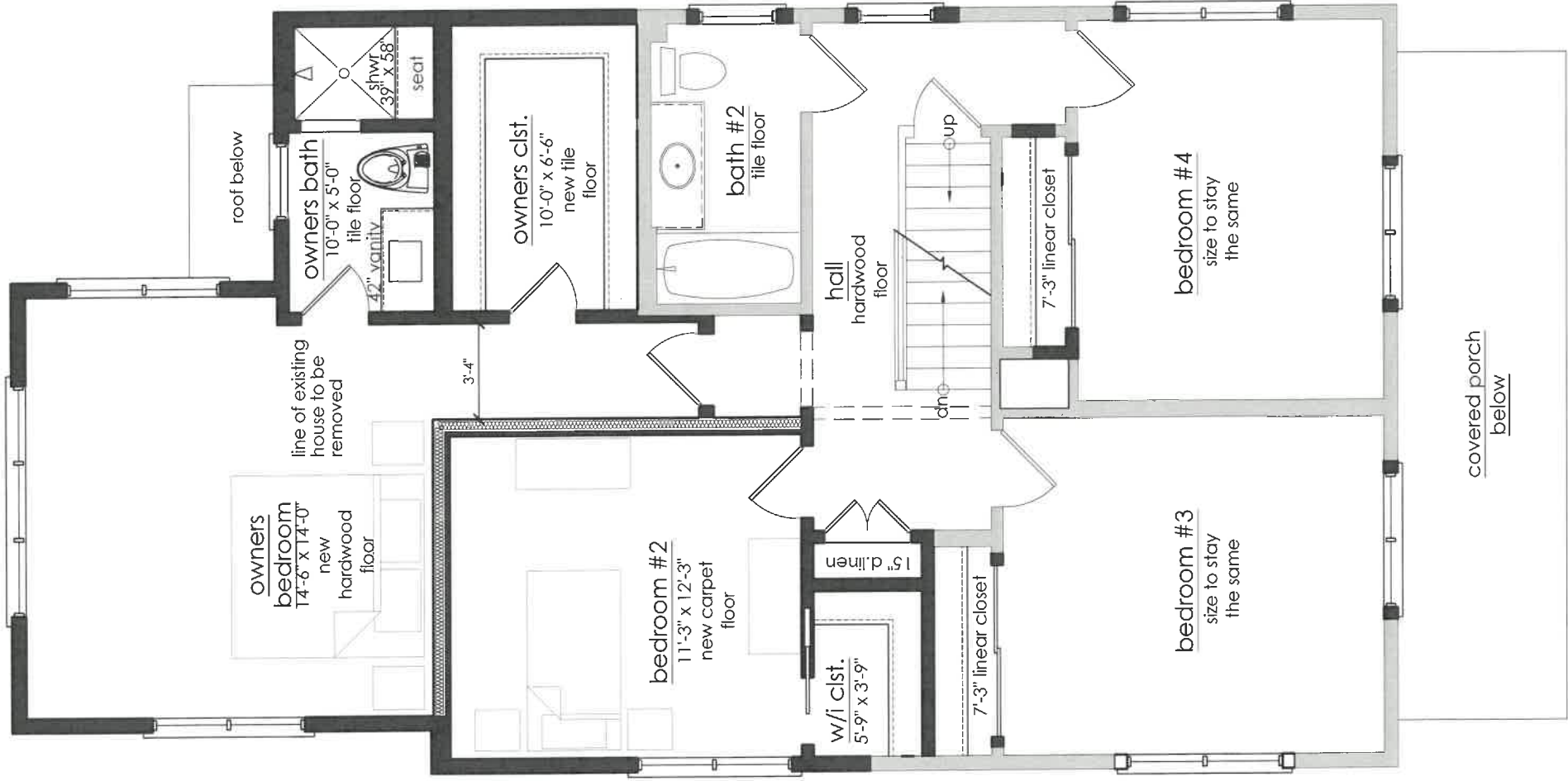
MOCK

ARCHITECT

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Deerfield, IL 60015

847.514.3103
troy@troymockarchitects.com

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01 proposed 2nd floor plan
scale: 3/16" = 1'-0"

PROJECT NAME:
The Yakes Residence

DESCRIPTION:
whole house remodel & addition

ADDRESS:
674 oakwood ave.
lake forest, IL 60025

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21

SHEET NUMBER:
7

PROJECT NUMBER
yat.lak.20

OF 20

MOCK

TROY

ARCHITECT

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01 street scape elevation
scale: 3/16" = 1'-0"

PROJECT NAME:

TheYakes Residence

DESCRIPTION:

whole house remodel & addition

ADDRESS:

674 oakwood ave.
lake forest, IL 60025

SHEET NUMBER:

19

OF 20

PROJECT NUMBER

yat.lak.20

building review board	02.26.21
zoning board of appeals	02.24.21
progress set	02.18.21
revised preliminary design	02.05.21
revised preliminary design	01.27.21
preliminary presentation	01.20.21



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Agenda Item 5
Amberley Woods Courtyard Homes – New Building Plans

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Bostonian Model – French Country Elevations
Bostonian Model – French Country Color Rendering
Bostonian Model – Shingle Elevations
Bostonian Model – Tudor Elevations
Brunswick Model – French Country Elevations
Brunswick Model – French Country Color Rendering
Brunswick Model – Shingle Elevations
Brunswick Model – Shingle Color Rendering
Brunswick Model – Tudor Elevations
Carlisle Model – French Country Elevations
Carlisle Model – Shingle Elevations
Carlisle Model – Shingle Color Rendering
Carlisle Model – Tudor Elevations
Carlisle Model – Tudor Color Rendering
Fenwick Model – French Country Elevations
Fenwick Model – Shingle Elevations
Fenwick Model – Shingle Color Rendering
Fenwick Model – Tudor Elevations
Fenwick Model – Tudor Color Rendering
Typical Landscape Plans
Correspondence

Supplemental Materials

Previous Submittal – February 2021

Amberley Woods Courtyard Homes

Continued consideration of a request for approval of model homes for the remaining 19 lots in the Amberley Woods Courtyard Homes development located on the south side of Amberley Court, between Saunders Road and Conway Farms Drive, south of Route 60.

Property Owner: McNaughton Development (Paul R. McNaughton 100%)

**Project Representative: John Barry, McNaughton Development
Brian Fergon, Fergon Architects**

Staff Contact: Jen Baehr, Assistant Planner

The petitioner recently purchased the remaining lots in the Amberley Courtyard Homes Development. Plans for homes in this developer were previously approved first, as part of the original Amberley Woods Subdivision and later again, with modifications, when the remaining lots were purchased by a subsequent developer. Throughout the review process for homes in this development, the goal has been to remain generally consistent with the design parameters and commitments made by the original developer.

Activity on this Petition to Date

The Board considered this petition at the February 3, 2021 meeting and after discussion about the proposed architectural style and other various design aspects of the plans, the Board continued the petition. The Board asked that the petitioner conduct further study of the exterior materials, design elements and the proposed architectural style, particularly as the style relates to the context of the overall development, including the existing single courtyard homes and the condominium building.

In response to the Board's requests, the petitioner provided revised plans. The changes made since the last meeting are reflected on the revised plans and renderings, and the changes are also described in the petitioners' updated statement of intent. The previous plans are also included in the Board's packet for reference. In summary, the following changes are reflected on the revised plans.

- The previously proposed "Transitional Coastal" architectural style was eliminated. Three new architectural styles are currently proposed; French Country, Shingle and Tudor.
- The roof forms and roof heights were modified in an effort to simplify the roof plan and reduce the appearance of mass.
- The exterior materials were modified to reflect material types and applications that are more consistent with the overall development.
- The number of different types of exterior materials and applications was reduced to simplify the elevations of the home and avoid a busy appearance.
- Projecting bays were added to the side elevations to add depth and articulation to the appearance of the home.
- The window sizes and proportions were modified in an effort to present a more cohesive appearance across the elevations.
- Asphalt driveways and brick paver walkways and patios are now proposed instead of concrete.

Portions of the following information is repeated from the February staff report.

Background Information

The Amberley Woods mixed use development received final approvals from the City Council on April 20, 2006. The 24 Courtyard Homes are part of the larger development, a 39 acre wooded site located at

the western gateway to the City of Lake Forest, just east of the office buildings on Saunders Road and west of Conway Farms Drive. The development, as originally approved, includes a mix of uses single family residential, multi-family residential and commercial uses. Since approval in 2006, one of two condominium buildings and five of the 24 single family homes have been constructed, sold and occupied. The overall development site also includes preserved woodlands and wetlands, a vegetated buffer along Route 60, detention ponds and a historic residence. The remaining 19 single family home lots are the subject of this petition.

As noted above, five of the courtyard homes are complete. Two are located at the easternmost end of the development and were constructed by the original developer consistent with the plans as originally approved by the Board in 2006. Three other homes were constructed in the development by another developer based on modified plans which were approved by the Board in 2013. As noted above, the current plans are presented by a new developer who recently acquired the remaining 19 lots.

Summary of the Request

This is a request for approval of various plans that the new owner of the development plans to offer to buyers for the buildout of the remaining 19 single family homes. The elevations and exterior materials as now proposed will replace the plans for the courtyard homes that were previously approved by the Building Review Board. The petitioner is presenting four different plans, each with options for façade treatments that correspond to three different architectural styles; French Country, Shingle and Tudor. No changes are proposed to the overall site plan, configuration of the lots or density of the development.

The Building Review Board's role in reviewing the newly proposed plans for the courtyard homes is to evaluate the plans based on the adopted Design Guidelines and consider the proposed plans in the context of the existing surrounding development styles, quality and materials as is done with any new residence that is proposed. The Board should focus on the architectural design of the residences, the detailing, exterior materials, and typical landscaping as now proposed.

The approvals granted to date for the overall development provide for high quality architectural design, relatively simple forms, detailing consistent with the chosen architectural style and high quality materials for all buildings in the development. The Board's role in reviewing the proposed new plans is to assure that this intent is met in the plans currently presented.

Review and Evaluation of Applicable Standards

Building Designs

As noted above, the petitioner is requesting approval of four different plans with three different façade treatments to add variety to the development and address current market demands. The building designs as presented provide for a combination of one-and-a-half, two, and two-and-a-half-story massing. Elevations for each plan and façade treatment are included with the Board's packet. Color renderings of some of the proposed façade treatments are also included in the Board's packet. The petitioner has provided a detailed statement of intent describing the architectural styles and exterior materials of the proposed building designs. In general, the proposed French Country, Shingle and Tudor architectural styles are compatible with the styles of the existing homes in the development and the condominium building.

The City's Design Guidelines and the Board's Standards must be applied to this development. Both the City's Design Guidelines and the Board's standards emphasize that the elements of a design should be consistent with the chosen architectural style, including elements such as the massing, roof forms,

fenestration pattern, exterior materials, and architectural detailing should all be consistent with a chosen architectural style.

The revisions made to the building designs since the last meeting overall have been positive and address some of the Board's previous concerns. The massing, types of materials and applications and architectural detailing are generally consistent with each selected style, although some further refinement particularly on the roof styles/pitches, window styles and muntin patterns is recommended to more closely align with each specific architectural style and present a more cohesive appearance across all elevations of each design. For example, traditionally a Shingle style home features steeply pitched, often cross gable roof forms and large double hung windows, with a 9 over 1 or 6 over 1 muntin pattern, however the proposed Shingle style elevations present a combination of gable and hip roof styles, steep and low roof pitches, and narrow casement and double hung windows with muntin patterns that do not appear consistent with the Shingle style.

As currently proposed the front elevations of each building design presents a balanced composition that reflects a regular and aligned fenestration pattern and relatively simple roof lines with consistent roof pitches. This same level of attention and balance does not appear to be carried through to the side elevations of the building designs. The side elevations may not be as visible in this particular development given the small size of the lots and the proximity of the homes to each other however, it is still important that the design of the homes present a cohesive appearance across all elevations of the home, consistent with the City's Design Guidelines and past Board approvals.

At the previous meeting, the Board discussed incorporating more building designs that offer a side load garage. Based on the currently proposed plans 9 out of the 12 different building designs have front facing garages. In an effort to offer a more even balance between front facing and side load garages in the development, the building designs should be modified to offer additional side load garages.

Materials and Detailing

The proposed exterior materials as currently proposed are in keeping with each of the architectural styles. The proposed exterior materials vary between the designs proposed so assuming an appropriate mix of designs is required through a non-monotony restriction. Façade materials include stucco, engineered wood shake siding, stone and brick. Architectural asphalt shingle roofs are proposed for the French Country and Tudor designs. The Shingle style design has a wood shingle roof. All building designs have fiberglass windows with simulated divided lites and engineered wood fascia and soffits, steel garage doors and wood front doors. The French Country design has stucco chimneys, the Shingle design has stone chimneys, and the Tudor design has brick chimneys. All building designs have clay chimney pots. All gutters and downspouts are proposed as aluminum. Asphalt is proposed for all driveways and brick pavers are proposed for walkways and patios.

Samples of the stucco, engineered wood shake, engineered wood trim, fascia and soffit, and architectural asphalt shingle were provided by the petitioner. The samples are available for the Board's review at the City's Municipal Services building, on the lower level patio located to the right of the main entrance to the building.

In an effort to match more closely to the high quality exterior materials of the existing courtyard homes and consistent with past Board approvals, use of natural wood for the trim, fascia and soffits, is recommended. Additionally, use of stone instead of stucco for chimneys in the French Country designs is recommended, consistent with the use of masonry chimneys found on the existing courtyard homes.

Landscape Plans

The currently proposed landscape plans are generally consistent with the previously approved landscape plans for the single family homes. As described in the petitioner's statement of intent, the landscape plans are designed to reflect plantings primarily along the foundation at the front and rear of the home. Based on the petitioner's statement of intent limited amount of landscaping is proposed on the side of the homes to preserve side yard drainage.

It is recommended that the landscape plans incorporate limited plantings along the sides of the home where possible without impacting required drainage swales and along the driveway to provide some softening of the home and hardscape as viewed from the street and adjacent homes as space permits.

As each lot comes forward for development, an updated tree survey will be required to determine which trees are worthy of preservation and explore siting shifts that may allow that to happen. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need to be removed to allow development of the lots.

Anti-Monotony Guidelines

The petitioner provided a set of standards in the statement of intent that are intended to assure appropriate diversity of styles and exterior materials within the development. The approach of maintaining a matrix of approved homes and their locations has worked well in the past with these types of developments. Staff will work closely with the developer to assure an appropriate mix of unit types and architectural style types throughout the development. Careful attention to assuring a mix of garage orientations as the development builds out is important to avoid an abundance of front facing garages along the streetscape and it is recommended that the developer submit parameters that assure an appropriate balance.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. Staff has received letters from neighboring property owners on this petition. The letters are included in the Board's packet.

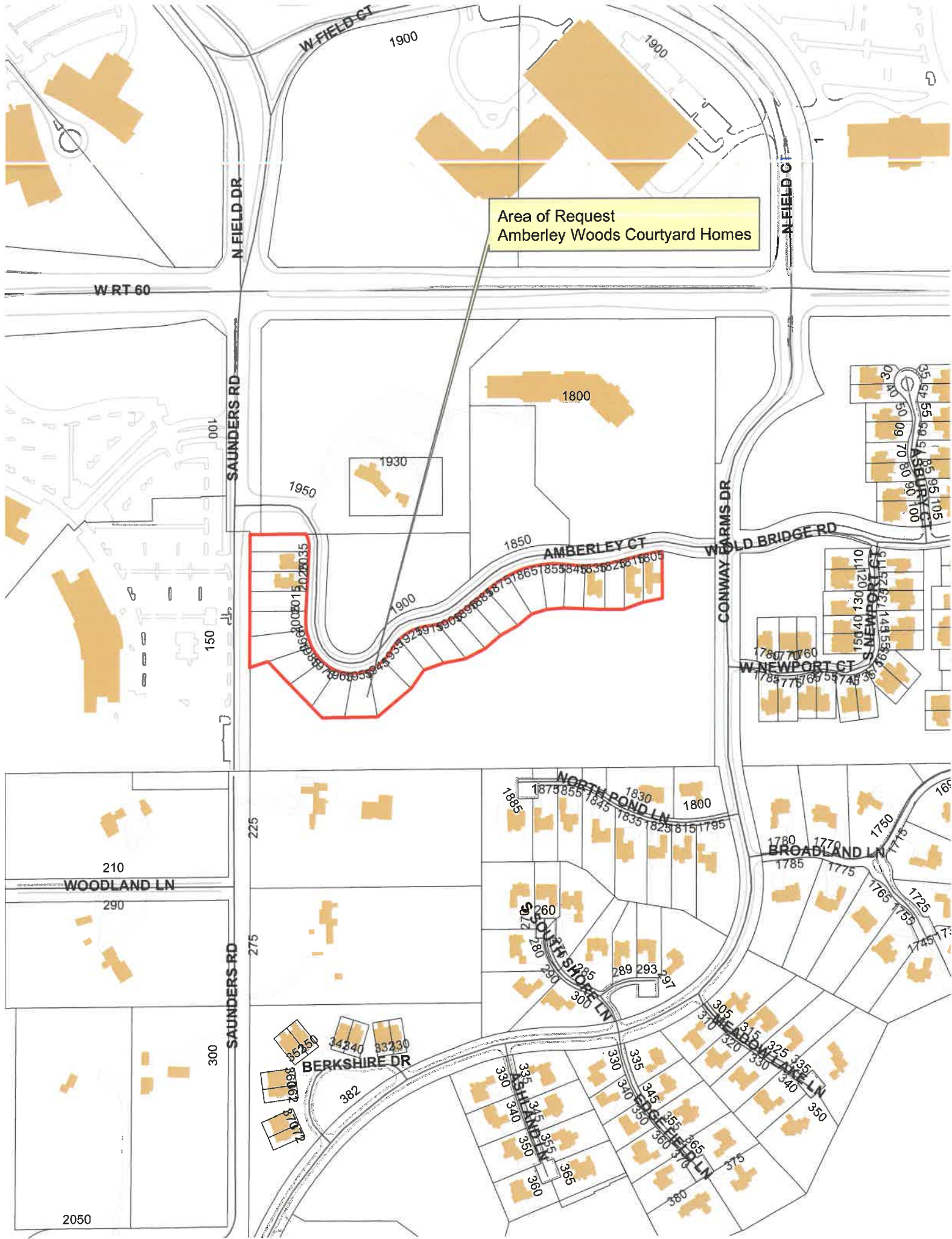
Recommendation

Board input on the consistency of the building designs with the chosen architectural styles, the City's Residential Design Guidelines and the development parameters established for the overall development is requested as well as direction on whether further study should be given to the building designs in an effort to present an appearance that is cohesive across all elevations and more in keeping with the chosen architectural styles and the character of the existing courtyard homes.

If the Board is generally comfortable with the building designs as presented, recommend approval of the building designs based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions.

1. The building designs shall be further refined and will be subject to final approval by a subcommittee of the Building Review Board appointed by the Chairman in an effort to more closely align the final product with the City's Residential Design Guidelines and the character and quality of the overall development. The subcommittee is authorized to return one or more of the designs to the Board for review if acceptable solutions are not achieved through the subcommittee process.

2. The plans shall be refined as follows:
 - a. Natural wood shall be used for the trim, fascia and soffits
 - b. Chimneys shall be stone instead of stucco for the French Country designs.
 - c. A consistent level of detailing shall be provided on all elevations.
 - d. Roof types and roof pitches shall be refined to relate more closely to the chosen architectural style and to present a more cohesive appearance.
 - e. The window types and proportions shall be refined to follow the chosen architectural style.
 - f. The locations and alignment of windows shall be refined to present a more regular and balanced appearance.
 - g. Designs shall be developed to offer more options with side load garages.
 - h. The landscape plans shall incorporate plantings along the sides of the house and the driveway to the extent possible.
3. All changes and refinements made to the plans after the subcommittee's approval shall be highlighted on the plans submitted for permit. A copy of the plans submitted to the subcommittee shall accompany the plans submitted for permit. Staff is directed to review the plans and all refinements, in consultation with the subcommittee as appropriate, to confirm that the plans are in conformance with the Board's and subcommittee's direction and decisions.
4. The developer shall submit detailed anti-monotony standards that assure a mix of architectural styles, materials and colors and that prevent a majority of front facing garages. The developer shall maintain a matrix throughout the buildout of the development and submit said matrix updated, with each building permit submittal.
5. An updated tree survey will be required for each lot at the time plans are submitted for permit to determine which trees are worthy of preservation and require protection during construction. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need to be removed to allow development of the lots.
6. Landscape plans for each residence shall be submitted prior to the issuance of a building permit for each building.





Area of Request
Amberley Woods Courtyard Homes

An aerial photograph of a residential area. A red line outlines a specific region, which includes a winding road, a large wooded area, and a cluster of houses on the right. A yellow callout box with a pointer indicates the 'Area of Request' for 'Amberley Woods Courtyard Homes'. The surrounding area includes other houses, a parking lot, and a body of water on the right.

Area of Request
Amberley Woods Courtyard Homes



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS COURTYARD HOMES OF AMBRLEY WOODS

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

McNAUGHON DEVELOPMENT
Owner of Property

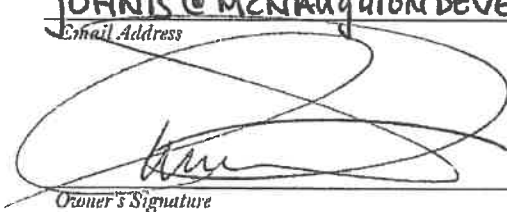
115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE PL. 60527
City, State and Zip Code

630-325-3400
Phone Number

Fax Number

JOHN.B@MCNAUGHONDEVELOPMENT.COM
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BARRY
Name and Title of Person Presenting Project

MCNAUGHON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE PL. 60527
City, State and Zip Code

630-352-3400
Phone Number

Fax Number

JOHN.B@MCNAUGHONDEVELOPMENT.COM
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL R. McNAUGHTON</u>	Name _____
Address <u>115220 JACKSON Street</u>	Address _____
Address <u>Burn Ridge IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Site Narrative &
Request for Nineteen New Single-Family Residence
Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC & Fergon Architects LLC is returning to the Building Review Board requesting approval for their revisions to previously proposed single family home designs for remaining nineteen home sites at Amberley Court in the Amberley Woods Subdivision.

Architectural Theme Changes

Since our previous presentation we have decided to move away from the Transitional Coastal design. Our initial revisions centered around the Tudor style. We based this decision on the characteristic built into the last three homes constructed by KHovnanian Homes, KHovnanian's subsequent 2018 approvals, the existing condo building and the existing manor home. We reviewed the initial revisions with City Staff at which time revisions were recommended. We incorporated a number of those recommendations and presented those revised plans to the five existing residents along Amberley Court. There were wide ranging discussions with the residents with the main objection being the lack of diversity in the Tudor design. As a result, for this resubmittal, in addition to the Tudor design, we are introducing architecture with elements of French Country and Shingle styles.

Overall Design Elements

Though we are presenting three different architectural styles, all three currently exist along the present streetscape. We believe that by offering these three revised styles we will be upholding the character of the neighborhood. The proposed designs are of high quality, use high quality materials and are rooted in the historic characteristics of each style. We believe that while different, they are all compatible styles. The proposal provides for a consistency in design, patterns and materials yet it will not be monotonous. The designs provide for a unique and creative neighborhood. All the plans and their alternate elevations are appropriate in proportion and in scale. They will complement the existing homes in this manner. None of the proposed homes, like the existing, are overly ornate. Their designs are simple and restrained. The architectural features throughout the elevations all have purposeful uses. When complete the streetscape will provide for a very positive image in Amberley Woods and Lake Forest overall. The streetscape will not detract from the open areas to the south of the homesites or on the northside of Amberley Court. The homes will enhance the historic character of the City of Lake Forest.

In each instance we have limited the dominate wall features to two types of materials per style. The French Country is proposed as stone and stucco, the Shingle is stone and LP prefinished wood shake siding and the Tudor is brick with stucco. These materials are used strategically and consistently throughout the elevations. We have incorporated stucco, stone and brick fireplaces all with clay pots.

Window arrangements have been altered to provide for a more uniformity on all elevations. This includes the placement of windows in an orderly and even fashion and in a uniform length to the greatest extent possible. Dormer windows and windows in the gables of unfinished and finished areas have been appropriately sized and placed to complement the individual and overall elevations. All windows and patio doors incorporate the use of simulated divided light.

Entry doors along the front elevations are placed appropriately on the elevation. The doors utilize simulated divided light glass and raised panels. They provide for simple design and are appropriate across all three architectural styles

Bay windows have been added to the side elevations to break expansive runs of wall. The bays include gable roof forms to assist in breaking the walls and making for more interesting architectural features.

Roof designs remain simplistic and not overwhelming in relationship to the existing homes and future streetscape. Roof pitches are consistent across all three designs. The primary roof structure theme in most cases is one of hip fronts and rears and side gables. In some instances, the use of hips is included on side elevations. The secondary roof structures on the front of the homes are gables and dormers to give the homes architecturally appealing elements. Roof forms are limited and in line with the selected architectural styles. Front porches of varying degrees are mixed in amongst the optional styles and elevations. These porches in all instances provide for both utility and architectural interest.

Garage orientation options will be offered to the home purchasers. The existing homes provide for a near equal mix of frontload and internal or side garages. We expect the front load option to be the preferred option for an age targeted demographic that will appreciate the ease of use of that front load garage. In light of that belief and in an attempt to deemphasize the garages they have been designed to be even or set back from the main façade. We have designed the garages with two proportionately sized doors versus expansive single doors. The overall quality designs and materials plus professional landscaping and hardscape will also deemphasize the garage.



Architectural Finishes

- French Country Architectural Elements
 - *Architectural grade asphalt shingle* with ridge vent
 - *Aluminum gutter & downspout*
 - *LP prefinished low maintenance wood fascia & soffit*
 - Stucco with stucco trim boards
 - Stone veneer – 4” bed depth
 - Stucco fireplace w/ clay pot
 - Fiberglass SDL windows and patio doors
 - Prefinished steel garage doors with glass panels, raised panels, handles and spears
 - Wood fir doors with SDL windows and raised panels
- Shingle Architectural Elements
 - Cedar shake shingle with ridge vent
 - *Aluminum gutter & downspout*
 - *LP prefinished low maintenance wood fascia & soffit*
 - *LP prefinished low maintenance wood shake & trim boards*
 - Stone veneer – 4” bed depth
 - Stone fireplace w/ clay pot
 - Fiberglass SDL windows and patio doors
 - Prefinished steel garage doors with glass panels, raised panels, handles and spears
 - Wood fir doors with SDL windows and raised panels
- Tudor Architectural Elements
 - *Architectural grade asphalt shingle* with ridge vent
 - *Aluminum gutter & downspout*
 - *LP prefinished low maintenance wood fascia & soffit*
 - Stucco with *simulated textured cedar band boards* in stucco with stucco trim boards (sample provided)
 - Brick veneer – 4” bed depth
 - Brick fireplace w/ clay pot
 - Fiberglass SDL windows and patio doors
 - Prefinished steel garage doors with glass panels, raised panels, handles and spears
 - Wood fir doors with SDL windows and raised panels

**Items of relief per Design Guidelines*

We have chosen and are committed to use these specific materials because we believe that they are high quality materials that best complement our interpretation of the architectural design theme. However, in the event that a purchaser would prefer a material that might be deemed to some an upgraded material i.e., a shake roof, that option will be made available to the purchaser at an additional cost. In addition, it is not our intention to offer predetermined color schemes. As a custom home builder, we believe in the importance of the client having the flexibility to customize their color scheme within an acceptable range as dictated by the architecture. We can, through our experience, assure strong and building specific color schemes.



Age Targeted Design Product

Our anticipation is that the market need in this location is for master bedroom first floor living. To address that demand we are proposing two ranch homes and two two-story homes which have the master bedroom on the first floor.

Brunswick Plan:

- Ranch home with two bedrooms and 2 ½ bathrooms
- 2,350 square feet
- Front load garage

Fenwick Plan:

- Ranch home with two bedrooms and 2 ½ bathrooms
- 2,475 square feet
- Front load garage

Bostonian Plan:

- Two-story home with a first-floor master bedroom and two additional second floor bedrooms and a total of 2 ½ bathroom
- 3,100 square feet
- Front load garage

Carlisle Plan:

- Two-story home with a first-floor master bedroom and two additional second floor bedrooms and a total of 2 ½ bathroom
- 3,000 square feet
- Courtyard (side load) garage

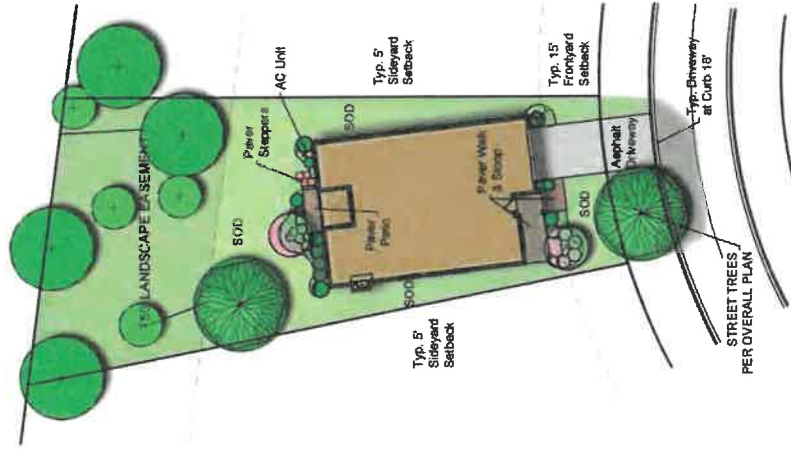
Anti-Monotony Guidelines

- To assist in anti-monotony, we would propose the following standards...
- Adjacent lots shall not utilize the same floor plan and elevation
- Adjacent lots may utilize the same floor plan but would require a different elevation
- Adjacent lots that utilize the same building style shall be required to:
 - Change the colors of the following building materials:
 - Brick or stone
 - Stucco or siding.
 - Shingle roof.
 - Front door.
 - Overhead door(s), and;
- In no event shall the same floor plan and elevation be used on three adjacent lots (irrespective of color scheme).

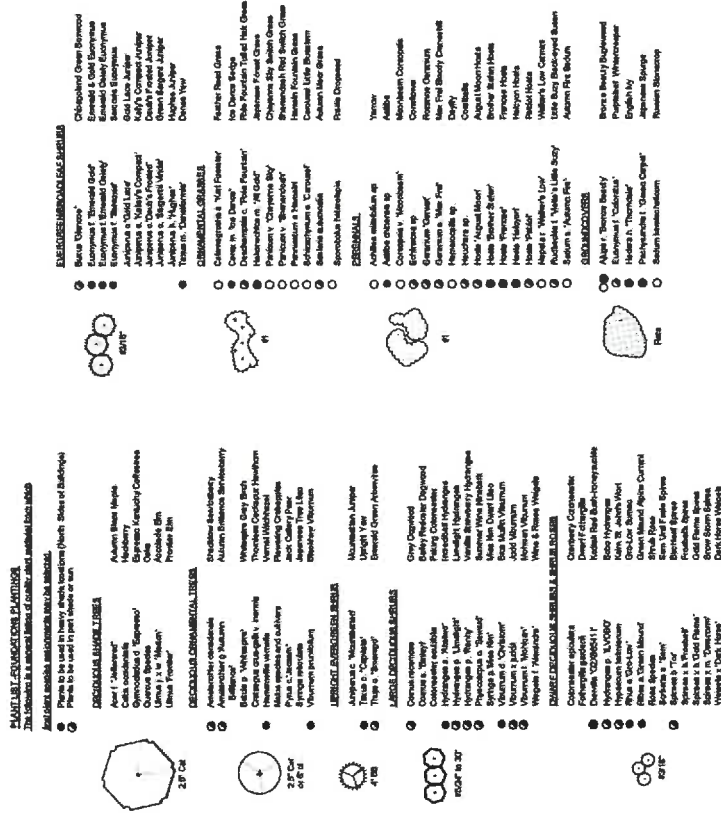


Landscape Design & Hardscape

Additional homesite landscaping will be concentrated in the front and rear yards with minimum sideyard landscaping to preserve sideyard drainage and but provide for mechanical screening. New landscaping will be predominately located along the foundation in the front yards and rear yards. Front yard landscaping will be supplemented with appropriate canopy street trees and an ornamental style tree between the curb line and foundation. Foundation landscaping will be used along the rear of the home and patio. Additional canopy or ornamental trees in the rear yard will be limited so not to detract from the existing preserved woodland in the open space south of the site. Home sites will be fully sodded and have irrigation systems. Driveways will be asphalt and walks, stoops and patios will be pavers.



PROTOTYPICAL FOUNDATION PLANTING



AMBERLEY WOODS

LAKE FOREST, ILLINOIS



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

FRENCH COUNTRY DESIGNS - ALL MODELS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material TBD

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☒ Other FIBERGLASS
 Color of Finish TBD

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone Sill
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Window Trim

- ☒ Limestone S.U
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other LP PREFINISH WOOD SHIMKTSIDE
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☐ Stone
☒ Stucco
☒ Other CLAY FLUE CAP

Roofing**Primary Roof Material**

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles
☐ Sheet Metal
☒ Other Asphalt High Definition

Flashing Material

- ☐ Copper
☒ Sheet Metal
☐ Other

Color of Material TBD

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Shingle Designs - All Models

Facade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☐ Stucco

Color of Material TBD

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco

☒ Other LP PREFINISHED WOOD
SMARTSIDE STAGGERED
SHAKE

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad

☒ Other FIBERGLASS
 Color of Finish TBD

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone Sills
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other LP TRIM

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other LP TRIM

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other LP PREFINISHED WOOD SMARTSIDE
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☒ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Tudor Designs - All models

Façade Material

- ☐ Stone
☒ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material TBD

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☐ Aluminum Clad
☐ Vinyl Clad
☒ Other Fiberglass
Color of Finish TBD

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone SU
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Window Trim

- ☒ Limestone SU
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other LP PREFINISHED WOOD SHAKESIDE
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal
☒ Other Asphalt High DEFINITION

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material TRD

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____



TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
BOSTONIAN - FRENCH COUNTRY

McNAUGHTON
DEVELOPMENT

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JOB NO.
01820

MARCH 29, 2020



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AMBERLEY COURT - LAKE FOREST

BOSTONIAN 1ST FLOOR MASTER - **FRENCH COUNTRY**

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TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

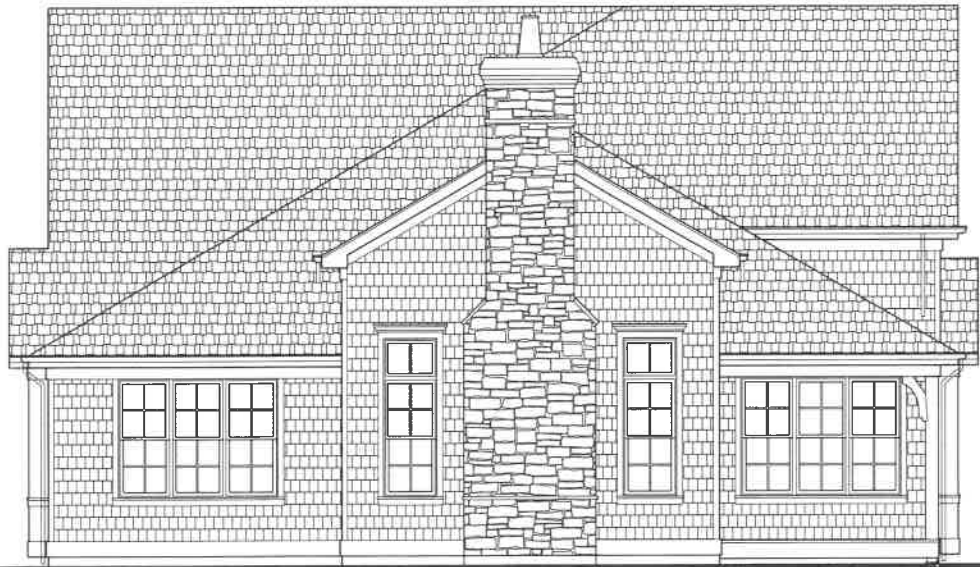
TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING AND TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
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FRONT ELEVATION

TOP/ RIDGE
29'-8" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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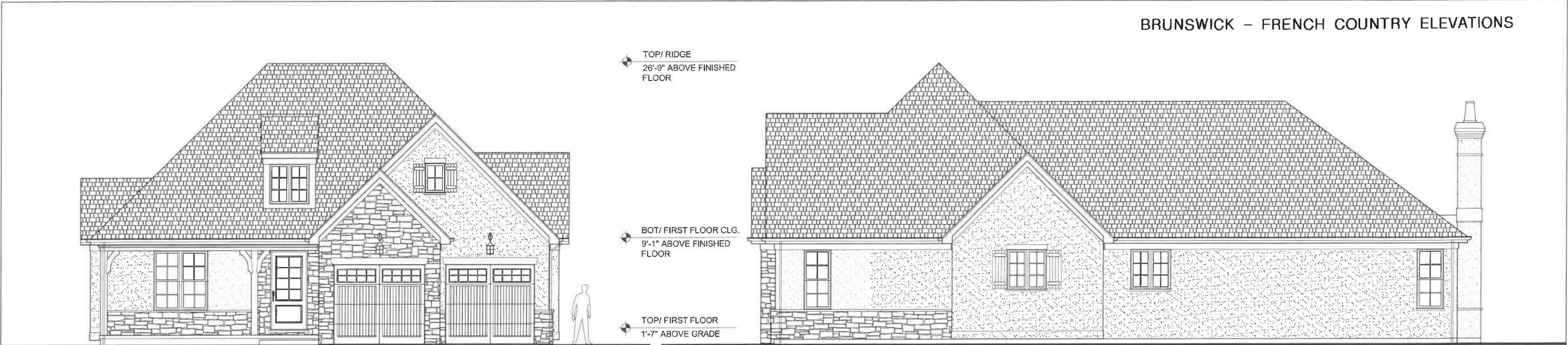
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FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
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- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
BRUNSWICK - FRENCH COUNTRY

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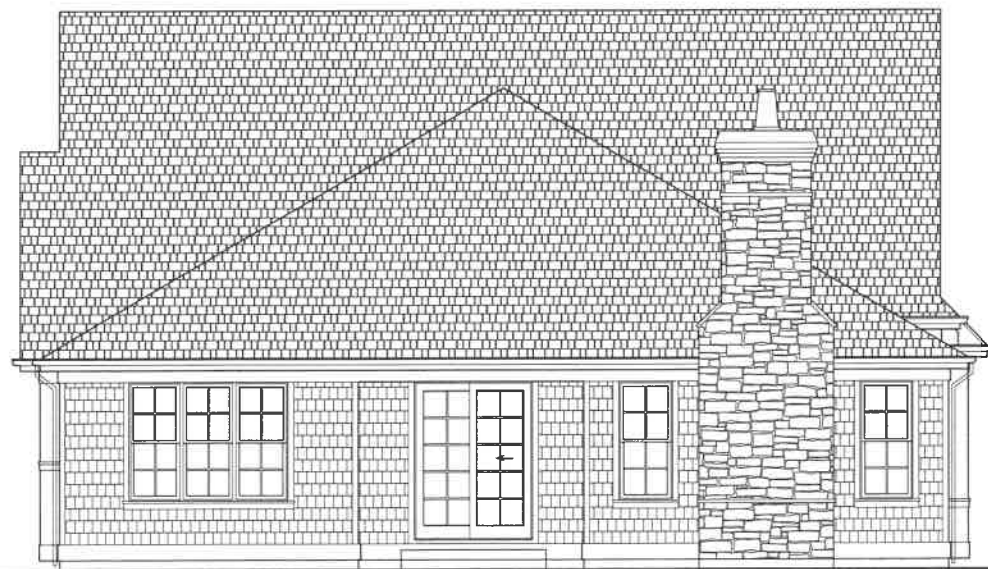
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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING AND L.P. TRIM BOARDS W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
BRUNSWICK - SHINGLE

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AMBERLEY COURT - LAKE FOREST
BRUNSWICK RANCH - SHINGLE

FERGON
ARCHITECTS LLC

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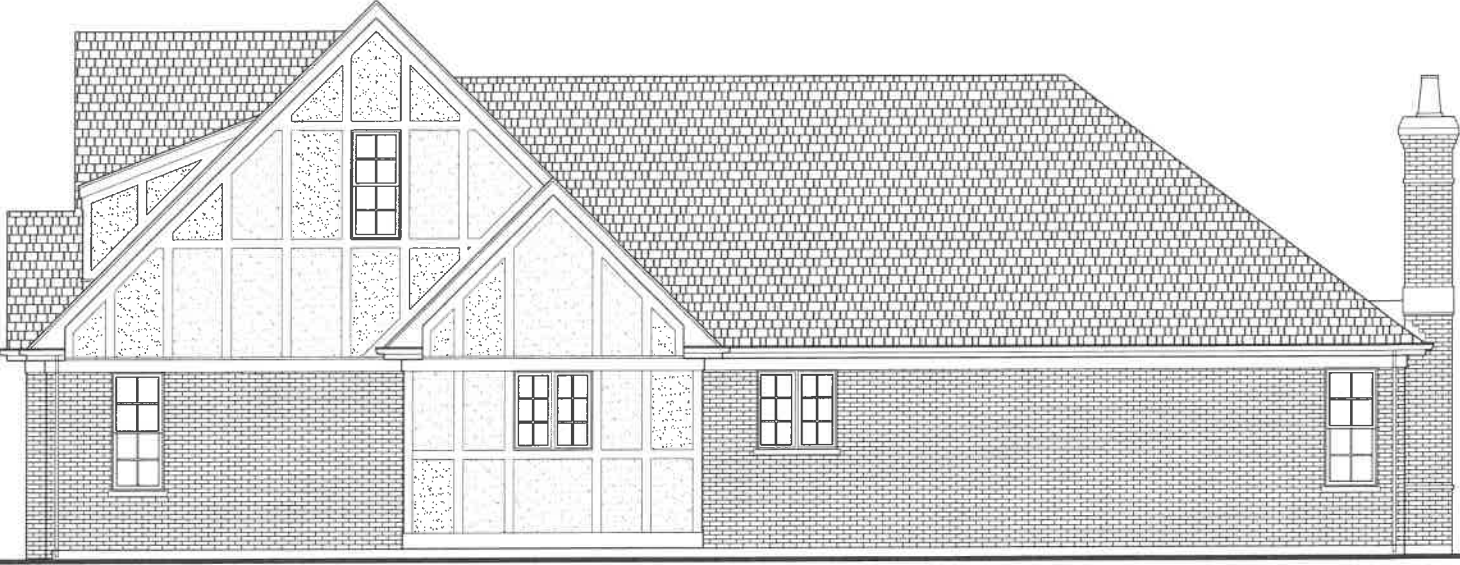
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TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

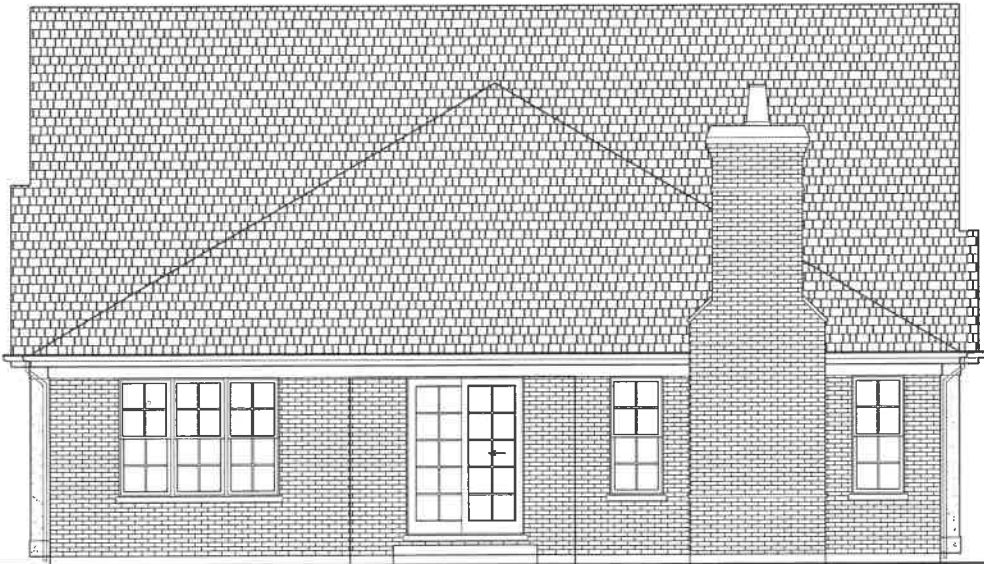
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
BRUNSWICK - TUDOR

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MARCH 29, 2021



FRONT ELEVATION

TOP/ RIDGE
29'-11" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
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AMBERLEY COURT - LAKE FOREST
CARLISLE - FRENCH COUNTRY

McNAUGHTON
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MARCH 29, 2020



TOP/ RIDGE
31'-2" ABOVE FINISHED
FLOOR

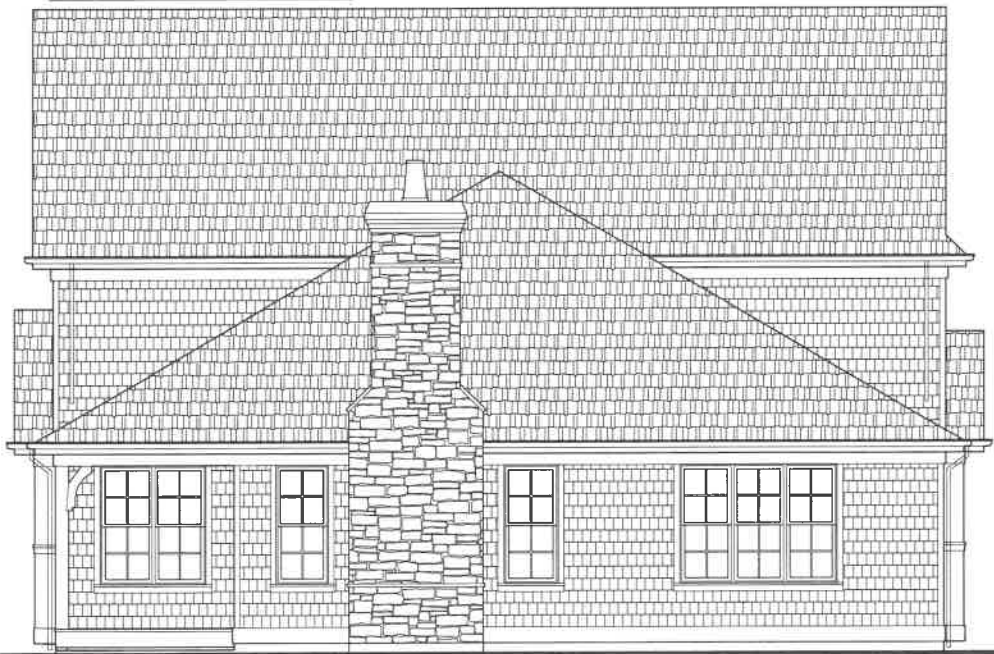
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION

FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING & TRIM BOARDS W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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CARLISLE - SHINGLE

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AMBERLEY COURT - LAKE FOREST
CARLISLE 1ST FLOOR MASTER - SHINGLE

**McNAUGHTON
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MARCH 5, 2020



FRONT ELEVATION

TOP/ RIDGE
31'-2" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
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- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
CARLISLE - TUDOR

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MARCH 29, 2020



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AMBERLEY COURT - LAKE FOREST
CARLISLE 1ST FLOOR MASTER - TUDOR

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JOB NO.
01820

MARCH 5, 2020



FRONT ELEVATION

TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
FENWICK - FRENCH COUNTRY

McNAUGHTON
DEVELOPMENT

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JOB NO.
01820

MARCH 29, 2021



TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

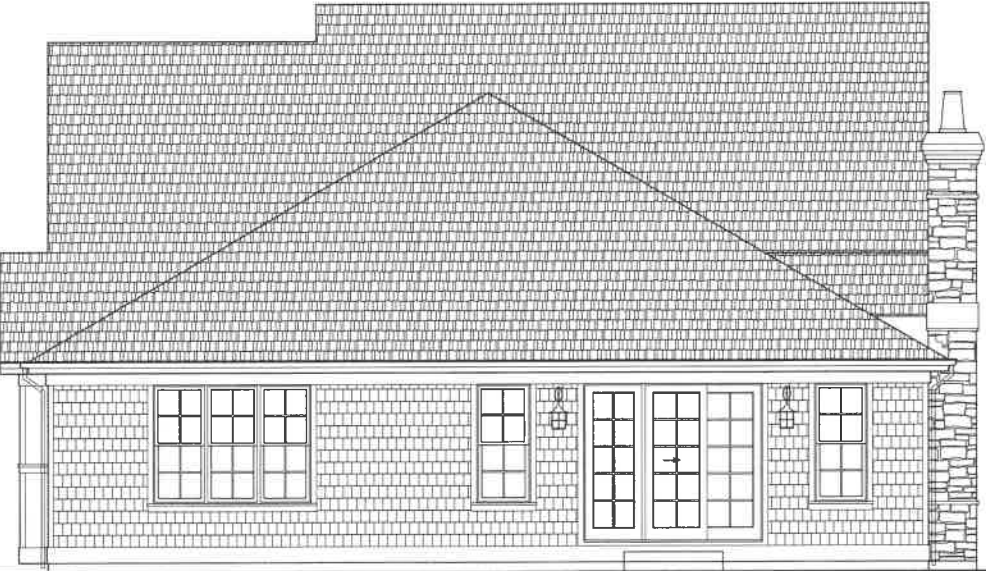
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- CEDAR SHAKE SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" STONE FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. SHAKE SIDING AND TRIM BOARDS
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- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



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AMBERLEY COURT - LAKE FOREST
FENWICK - SHINGLE

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AMBERLEY COURT - LAKE FOREST
FENWICK RANCH - SHINGLE



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MARCH 5, 2020



TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

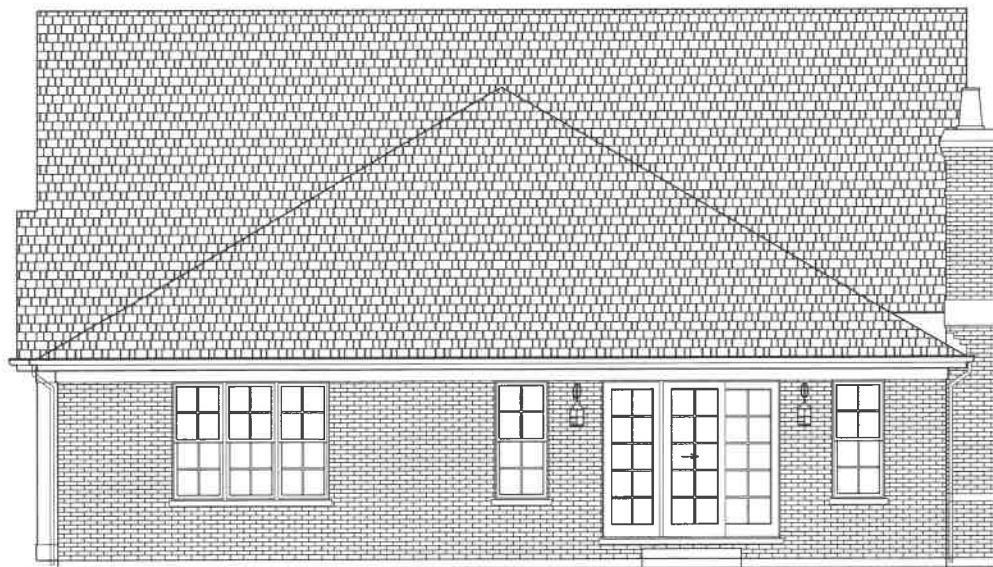
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES WITH CONTINUOUS RIDGE VENTS
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
FENWICK - TUDOR

McNAUGHTON
DEVELOPMENT

118220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MARCH 29, 2021



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLEY COURT - LAKE FOREST
FENWICK RANCH - TUDOR

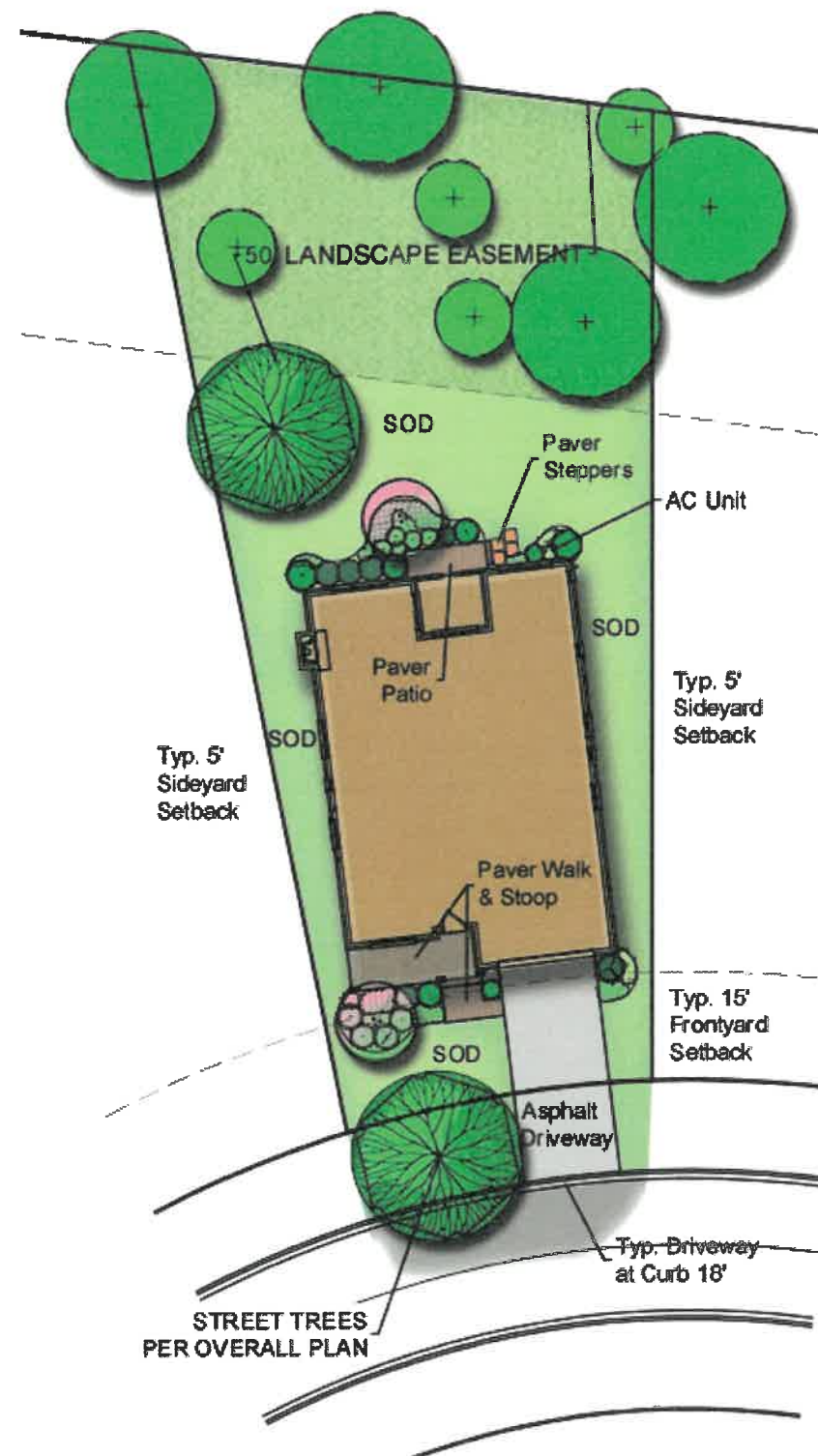
**McNAUGHTON
DEVELOPMENT**

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MARCH 5, 2020

PROTOTYPICAL FOUNDATION PLANTING



PLANT LIST - FOUNDATIONS PLANTINGS

The following is a general listing of quality plant material from which

final plant species assignments may be selected.

- Plants to be used in heavy shade locations (North Sides of Buildings)
- Plants to be used in part shade or sun

DECIDUOUS SHADE TREES

Acer f. 'Jefferson'	Autumn Blaze Maple
Celtis occidentalis	Hackberry
Gymnocladus d. 'Espresso'	Espresso Kentucky Coffeetree
Quercus Species	Oaks
Ulmus j. x w. 'Morton'	Accolade Elm
Ulmus 'Frontier'	Frontier Elm

DECIDUOUS ORNAMENTAL TREES

Amelanchier canadensis	Shadblow Serviceberry
Amelanchier g. 'Autumn Brilliance'	Autumn Brilliance Serviceberry
Betula p. 'Whitespire'	Whitespire Gray Birch
Crataegus crus-galli v. hermia	Thornless Cockspur Hawthorn
Hamamelis vernalis	Vernal Witchhazel
Malus species and cultivars	Flowering Crabapples
Pyrus c. 'Jazzman'	Jack Callery Pear
Syringa reticulata	Japanese Tree Lilac
Viburnum prunifolium	Blackhaw Viburnum

UPRIGHT EVERGREEN SHRUBS

Juniperus c. 'Moundbatten'	Moundbatten Juniper
Taxus c. 'Capitata'	Upright Yew
Thuja c. 'Emerald'	Emerald Green Arborvitae

LARGE DECIDUOUS SHRUBS

Cornus racemosa	Gray Dogwood
Cornus a. 'Bailey'	Bailey Redosier Dogwood
Cotoneaster scutifolia	Peking Cotoneaster
Hydrangea s. 'Abelwo'	Incrediball Hydrangeas
Hydrangea p. 'Limelight'	Limelight Hydrangeas
Hydrangea p. 'Renee'	Vanilla Strawberry Hydrangeas
Physocarpus o. 'Seward'	Summer Wine Ninebark
Syringa p. 'Miss Kim'	Miss Kim Dwarf Lilac
Viburnum d. 'Christina'	Blue Muffin Viburnum
Viburnum x juddii	Judd Viburnum
Viburnum l. 'Mohican'	Mohican Viburnum
Weigela f. 'Alexandra'	Wine & Roses Weigela

DWARF DECIDUOUS SHRUBS & SHRUB ROSES

Cotoneaster epiculata	Cranberry Cotoneaster
Fothergilla gardenii	Dwarf Fothergilla
Dicentra 'G2X885411'	Kodak Red Bush-honeysuckle
Hydrangea p. 'LVOBO'	Bobo Hydrangeas
Hypericum kalmianum	Kalm St. John's Wort
Rhus a. 'Gro-Low'	Gro-Low Sumac
Ribes s. 'Green Mound'	Green Mound Alpine Currant
Rosa Species	Shrub Rose
Sorbaria s. 'Sem'	Sem Ural Feste Spirea
Spiraea b. 'Tor'	Bichleif Spirea
Spiraea x b. 'Frederick'	Frederick Spirea
Spiraea x b. 'Gold Flame'	Gold Flame Spirea
Spiraea x m. 'Dawnrom'	Snow Storm Spirea
Weigela x 'Dark Horse'	Dark Horse Weigela

EVERGREEN BROAD LEAF SHRUBS

Buxus 'Glencoe'	Chicago Land Green Boxwood
Euonymus f. 'Emerald Gold'	Emerald & Gold Euonymus
Euonymus f. 'Emerald Gaiety'	Emerald Gaiety Euonymus
Euonymus f. 'Sarcocoe'	Sarcocoe Euonymus
Juniperus c. 'Gold Lace'	Gold Lace Juniper
Juniperus c. 'Kali's Compact'	Kali's Compact Juniper
Juniperus c. 'Daub's Frosted'	Daub's Frosted Juniper
Juniperus c. 'Sargentii Virens'	Green Sargent Juniper
Juniperus h. 'Hughes'	Hughes Juniper
Taxus m. 'Densiformis'	Dense Yew

ORNAMENTAL GRASSES

Calamagrostis a. 'Karl Foerster'	Feather Reed Grass
Carex m. 'Ice Dance'	Ice Dance Sedge
Deechampsia c. 'Pride Fountain'	Pride Fountain Tufted Hair Grass
Hakonechloa m. 'All Gold'	Japanese Forest Grass
Panicum v. 'Cheyenne Sky'	Cheyenne Sky Switch Grass
Panicum v. 'Shenandoah'	Shenandoah Red Switch Grass
Pennisetum a. 'Hemlock'	Hemlock Fountain Grass
Schizachyrium a. 'Carousel'	Carousel Little Bluestem
Seeleria autumnalis	Autumn Moor Grass
Sporobolus heterolepis	Prairie Dropseed

PERENNIALS

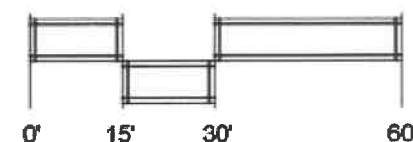
Achillea millefolium sp.	Yarrow
Astilbe chinensis sp.	Astilbe
Coreopsis v. 'Moonbeam'	Moonbeam Coreopsis
Echinacea sp.	Coneflower
Geranium 'Gerwin'	Rozanne Geranium
Geranium s. 'Max Frei'	Max Frei Bloody Cranesbill
Hemerocallis sp.	Daylily
Heuchera sp.	Corallbelle
Hosta 'August Moon'	August Moon Hosta
Hosta 'Brother Stefan'	Brother Stefan Hosta
Hosta 'Frances'	Frances Hosta
Hosta 'Heliogor'	Heliogor Hosta
Hosta 'Patriot'	Patriot Hosta
Nepeta x 'Walker's Low'	Walker's Low Catmint
Rudbeckia f. 'Vette's Little Suzy'	Little Suzy Black-eyed Susan
Sedum s. 'Autumn Fire'	Autumn Fire Sedum

GROUNDCOVERS

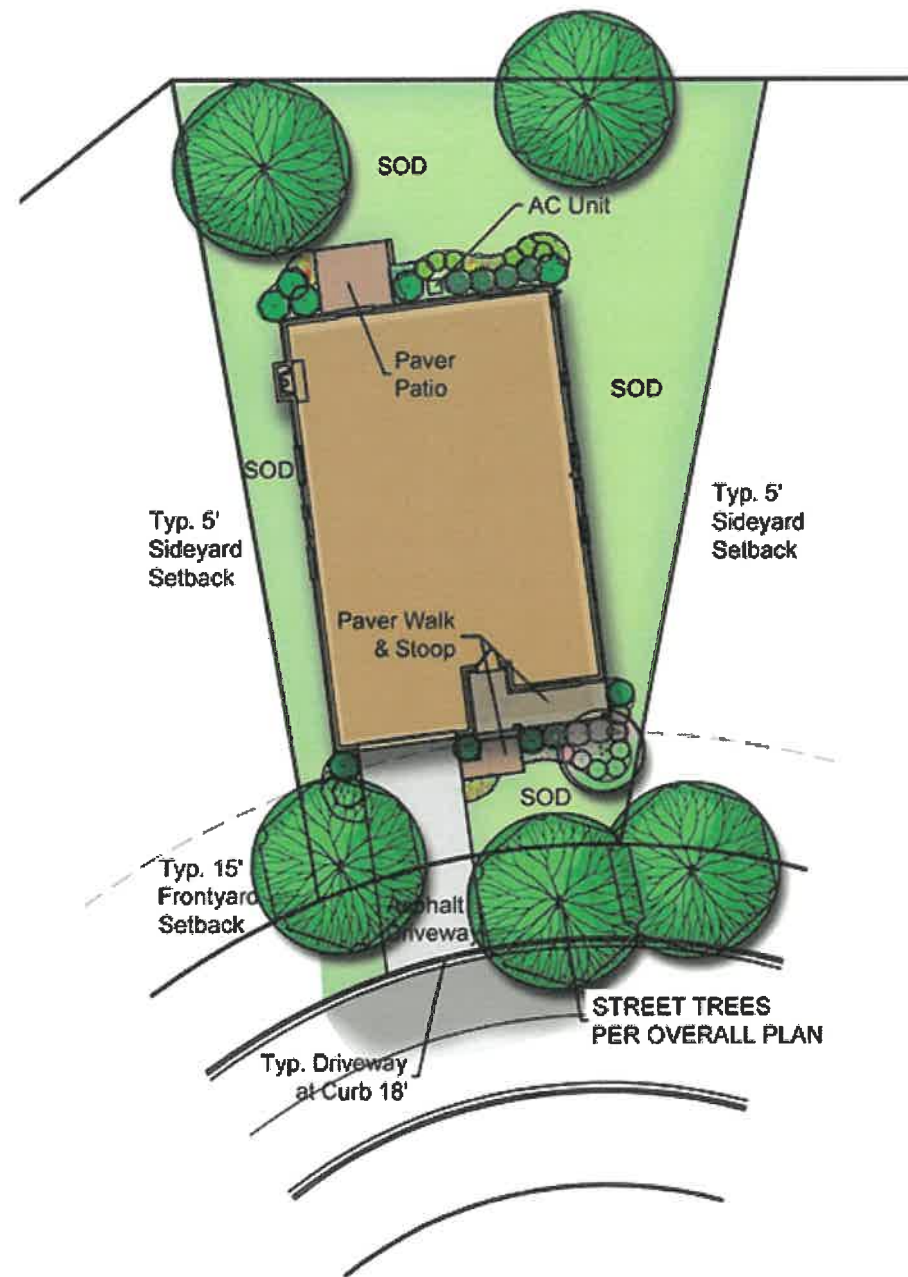
Ajuga r. 'Bronze Beauty'	Bronze Beauty Bugleweed
Euonymus f. 'Coloratus'	Purpleleaf Wintercreeper
Hedera h. 'Thomdale'	English Ivy
Pachysandra l. 'Green Carpet'	Japanese Spurge
Sedum kamtschaticum	Russian Stonecrop

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



PROTOTYPICAL FOUNDATION PLANTING



PLANT LIST - FOUNDATIONS PLANTINGS

The following is a general listing of quality plant material from which

final plant species assignments may be selected.

- Plants to be used in heavy shade locations (North Sides of Buildings)
- Plants to be used in part shade or sun

DECIDUOUS SHADE TREES

- | | |
|---------------------------|------------------------------|
| Acer f. 'Jeffersred' | Autumn Blaze Maple |
| Celtis occidentalis | Hackberry |
| Gymnocladus d. 'Espresso' | Espresso Kentucky Coffeetree |
| Quercus Species | Oaks |
| Ulmus j. x w. 'Morton' | Accolade Elm |
| Ulmus 'Frontier' | Frontier Elm |

DECIDUOUS ORNAMENTAL TREES

- | | |
|------------------------------------|--------------------------------|
| Amelanchier canadensis | Shadblow Serviceberry |
| Amelanchier g. 'Autumn Brilliance' | Autumn Brilliance Serviceberry |
| Betula p. 'Whitespire' | Whitespire Gray Birch |
| Crataegus crus-galli v. inermis | Thornless Cockspur Hawthorn |
| Hamelia vernalis | Vernal Witchhazel |
| Malus species and cultivars | Flowering Crabapples |
| Pyrus c. 'Jazzman' | Jack Gallery Pear |
| Syringa reticulata | Japanese Tree Lilac |
| Viburnum prunifolium | Blackhaw Viburnum |

UPRIGHT EVERGREEN SHRUB

- | | |
|-------------------------|--------------------------|
| Juniperus c. 'Mountain' | Mountain Juniper |
| Taxus c. 'Capitata' | Upright Yew |
| Thuja o. 'Emerald' | Emerald Green Arborvitae |

LARGE DECIDUOUS SHRUBS

- | | |
|--------------------------|------------------------------|
| Cornus racemosa | Gray Dogwood |
| Cornus s. 'Bailey' | Bailey Redosier Dogwood |
| Coloneaster acutifolia | Peking Coloneaster |
| Hydrangea a. 'Abetwo' | Incrediball Hydrangea |
| Hydrangea p. 'Limelight' | Limelight Hydrangea |
| Hydrangea p. 'Ranhy' | Vanilla Strawberry Hydrangea |
| Physocarpus o. 'Seward' | Summer Wine Ninebark |
| Syringa p. 'Miss Kim' | Miss Kim Dwarf Lilac |
| Viburnum d. 'Christom' | Blue Muffin Viburnum |
| Viburnum x juddii | Judd Viburnum |
| Viburnum l. 'Mohican' | Mohican Viburnum |
| Weigela f. 'Alexandra' | Wine & Roses Weigela |

DWARF DECIDUOUS SHRUBS & SHRUB ROSES

- | | |
|---------------------------|-----------------------------|
| Coloneaster apiculata | Cranberry Coloneaster |
| Fothergilla gardenii | Dwarf Fothergilla |
| Dierilla 'G2X885411' | Kodiak Red Bush-honeysuckle |
| Hydrangea p. 'LVOBO' | Bobo Hydrangea |
| Hypericum kalmianum | Kalm St. John's Wort |
| Rhus a. 'Gro-Low' | Gro-Low Sumac |
| Ribes a. 'Green Mound' | Green Mound Alpine Currant |
| Rosa Species | Shrub Rose |
| Sorbaria o. 'Sem' | Sem Ural False Spirea |
| Spiraea b. 'Tor' | Birchleaf Spirea |
| Spiraea x b. 'Freibell' | Freibell's Spirea |
| Spiraea x b. 'Gold Flame' | Gold Flame Spirea |
| Spiraea x m. 'Darsnom' | Snow Storm Spirea |
| Weigela x 'Dark Horse' | Dark Horse Weigela |

EVERGREEN/BROADLEAF SHRUBS

- | | |
|----------------------------------|---------------------------|
| Buxus 'Glencoe' | Chicagoland Green Boxwood |
| Euonymus f. 'Emerald Gold' | Emerald & Gold Euonymus |
| Euonymus f. 'Emerald Gaiety' | Emerald Gaiety Euonymus |
| Euonymus f. 'Sarcocoe' | Sarcocoe Euonymus |
| Juniperus c. 'Gold Lace' | Gold Lace Juniper |
| Juniperus c. 'Kallay's Compact' | Kallay's Compact Juniper |
| Juniperus c. 'Daub's Frosted' | Daub's Frosted Juniper |
| Juniperus c. 'Sargentii Viridis' | Green Sargent Juniper |
| Juniperus h. 'Hughes' | Hughes Juniper |
| Taxus m. 'Densiformis' | Dense Yew |

ORNAMENTAL GRASSES

- | | |
|----------------------------------|----------------------------------|
| Calamagrostis a. 'Karl Foerster' | Feather Reed Grass |
| Carex m. 'Ice Dance' | Ice Dance Sedge |
| Deschampsia c. 'Poe's Fountain' | Poe's Fountain Tufted Hair Grass |
| Hakonechloa m. 'All Gold' | Japanese Forest Grass |
| Panicum v. 'Cheyenne Sky' | Cheyenne Sky Switch Grass |
| Panicum v. 'Shenandoah' | Shenandoah Red Switch Grass |
| Pennisetum a. 'Hamel' | Hamel Fountain Grass |
| Schizachyrium s. 'Carousel' | Carousel Little Bluestem |
| Sesleria autumnalis | Autumn Moor Grass |
| Sporobolus heterolopis | Prairie Dropseed |

PERENNIALS

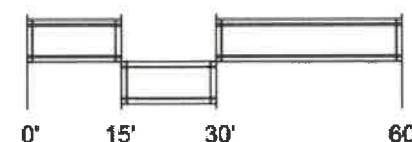
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|------------------------------------|------------------------------|
| Achillea millefolium sp. | Yarrow |
| Astilbe chinensis sp. | Astilbe |
| Coreopsis v. 'Moonbeam' | Moonbeam Coreopsis |
| Echinacea sp. | Coneflower |
| Geranium 'Gerwat' | Rozanne Geranium |
| Geranium s. 'Max Frei' | Max Frei Bloody Cranesbill |
| Hemerocallis sp. | Daylily |
| Heuchera sp. | Coralbells |
| Hosta 'August Moon' | August Moon Hosta |
| Hosta 'Brother Stefan' | Brother Stefan Hosta |
| Hosta 'Frances' | Frances Hosta |
| Hosta 'Halcyon' | Halcyon Hosta |
| Hosta 'Patriot' | Patriot Hosta |
| Nepeta r. 'Walker's Low' | Walker's Low Catmint |
| Rudbeckia f. 'Vette's Little Suzy' | Little Suzy Black-eyed Susan |
| Sedum s. 'Autumn Fire' | Autumn Fire Sedum |

GROUNDCOVERS

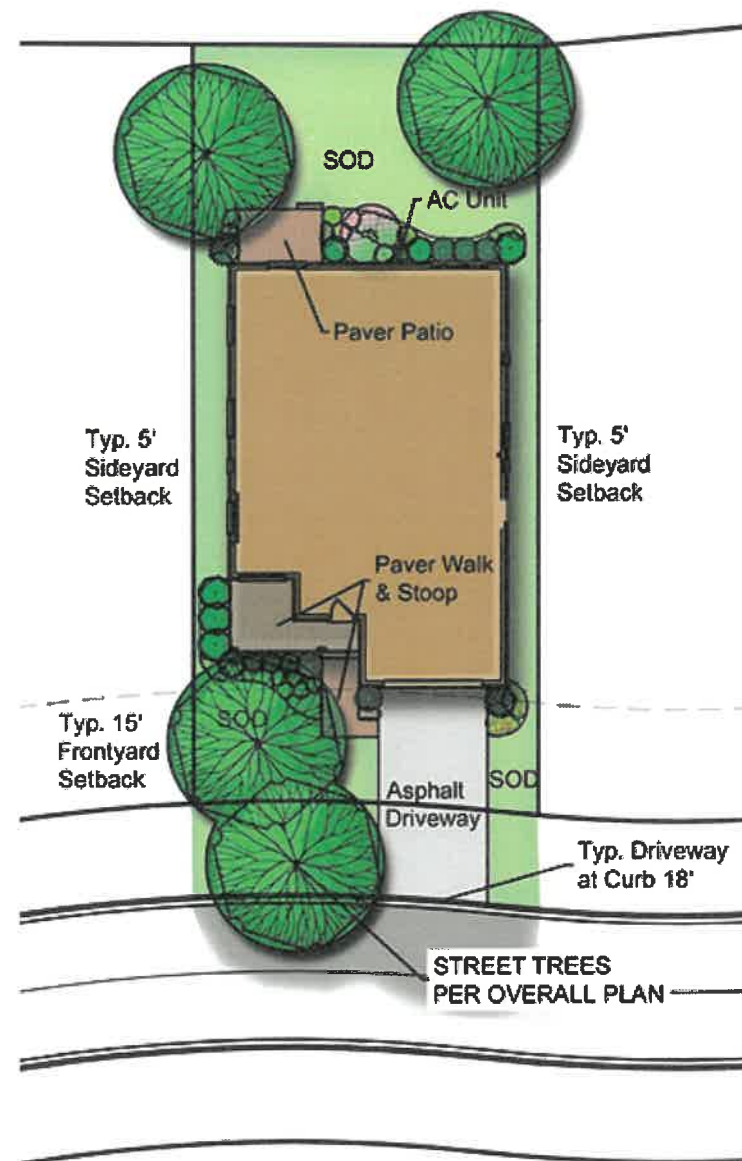
- | | |
|-------------------------------|--------------------------|
| Ajuga r. 'Bronze Beauty' | Bronze Beauty Bugleweed |
| Euonymus f. 'Coloratus' | Purpleleaf Wintercreeper |
| Hedera h. 'Thorndale' | English Ivy |
| Pachysandra l. 'Green Carpet' | Japanese Spurge |
| Sedum kamtschaticum | Russian Stonecrop |

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



PROTOTYPICAL FOUNDATION PLANTING



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Malus species and cultivars	Flowering Crabapples
Pyrus c. 'Jazzman'	Jack Gallery Pear
Syringa rebaudiana	Japanese Tree Lilac
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UPRIGHT EVERGREEN SHRUB

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Thuja o. 'Smaragd'	Emerald Green Arborvitae

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Hydrangea p. 'Limelight'	Limelight Hydrangea
Hydrangea p. 'Rental'	Vanilla Strawberry Hydrangea
Physocarpus o. 'Seward'	Summer Wine Ninebark
Syringa p. 'Miss Kim'	Miss Kim Dwarf Lilac
Viburnum d. 'Christom'	Blue Muffin Viburnum
Viburnum x juddae	Judd Viburnum
Viburnum l. 'Mohican'	Mohican Viburnum
Weigela f. 'Alexandra'	Wine & Roses Weigela

DWARF DECIDUOUS SHRUBS & SHRUB ROSES

Coloneaster apiculata	Cranberry Coloneaster
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Hydrangea p. 'ILVOBO'	Bobo Hydrangea
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Rhus a. 'Gro-Low'	Gro-Low Sumac
Ribes a. 'Green Mound'	Green Mound Alpine Currant
Rosa Species	Shrub Rose
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Spiraea b. 'Tor'	Birchleaf Spirea
Spiraea x b. 'Frederick'	Frederick's Spirea
Spiraea x b. 'Gold Flame'	Gold Flame Spirea
Spiraea x m. 'Darsnom'	Snow Storm Spirea
Weigela x 'Dark Horse'	Dark Horse Weigela

EVERGREEN/BROADLEAF SHRUBS

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Juniperus c. 'Gold Lace'	Gold Lace Juniper
Juniperus c. 'Kallay's Compact'	Kallay's Compact Juniper
Juniperus c. 'Daub's Frosted'	Daub's Frosted Juniper
Juniperus c. 'Sargentii Viridis'	Green Sargent Juniper
Juniperus h. 'Hughes'	Hughes Juniper
Taxus m. 'Densiformis'	Dense Yew

ORNAMENTAL GRASSES

Calamagrostis a. 'Karl Foerster'	Feather Reed Grass
Carex m. 'Ice Dance'	Ice Dance Sedge
Deschampsia c. 'Pace Fountain'	Pace Fountain Tufted Hair Grass
Hakonechloa m. 'All Gold'	Japanese Forest Grass
Panicum v. 'Cheyenne Sky'	Cheyenne Sky Switch Grass
Panicum v. 'Shenandoah'	Shenandoah Red Switch Grass
Pennisetum a. 'Hamel'	Hamel Fountain Grass
Schizachyrium s. 'Carousel'	Carousel Little Bluestem
Sesleria autumnalis	Autumn Moor Grass
Sporobolus heterolepis	Prairie Dropseed

PERENNIALS

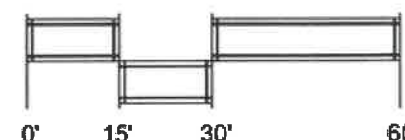
Achillea millefolium sp.	Yarrow
Astilbe chinensis sp.	Astilbe
Coreopsis v. 'Moonbeam'	Moonbeam Coreopsis
Echinacea sp.	Coneflower
Geranium 'Gerwat'	Rozanne Geranium
Geranium s. 'Max Frei'	Max Frei Bloody Cranesbill
Hemerocallis sp.	Daylily
Heuchera sp.	Corallbells
Hosta 'August Moon'	August Moon Hosta
Hosta 'Brother Stefan'	Brother Stefan Hosta
Hosta 'Frances'	Frances Hosta
Hosta 'Halcyon'	Halcyon Hosta
Hosta 'Patnot'	Patnot Hosta
Nepeta r. 'Walker's Low'	Walker's Low Catmint
Rudbeckia f. 'Vitto's Little Suzy'	Little Suzy Black-eyed Susan
Sedum s. 'Autumn Fire'	Autumn Fire Sedum

GROUNDCOVERS

Auge r. 'Bronze Beauty'	Bronze Beauty Bugleweed
Euonymus f. 'Coloratus'	Purpleleaf Wintercreeper
Hedera h. 'Thomdale'	English Ivy
Pachysandra l. 'Green Carpet'	Japanese Spurge
Sedum kamtschaticum	Russian Stonecrop

AMBERLEY WOODS

LAKE FOREST, ILLINOIS



FEBRUARY 2021 SUBMITTAL



ELEVATION A



ELEVATION B

3 BEDROOM & 2 1/2 BATHROOMS: 3,100 SQ. FT.
TWO-STORY W/ FIRST FLOOR MASTER BEDROOM
OPTIONAL SECOND FLOOR MASTER BEDROOM
FRONT ENTRY GARAGE



434 North Dover Avenue
La Grange Park, Illinois 60526
708.392.0446 phone

AMBERLY COURT - LAKE FOREST
BOSTONIAN MODEL

McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.

JANUARY 12, 2020



TOP/ RIDGE
30'-10" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. WOOD FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. WOOD SIDING & TRIM W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.

BOXED OUT
WINDOW FOR
WALL BREAK

AMBERLY COURT - LAKE FOREST
BOSTONIAN - ELEVATION A

FERGON
ARCHITECTS LLC
434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

**McNAUGHTON
DEVELOPMENT**

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JANUARY 12, 2020



TOP/ RIDGE
29'-10" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE

FRONT ELEVATION



BOXED OUT
WINDOW FOR
WALL BREAK RIGHT ELEVATION



REAR ELEVATION



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. WOOD FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. WOOD SIDING & TRIM W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
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708.352.0446 phone

AMBERLY COURT - LAKE FOREST
BOSTONIAN - ELEVATION B

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JANUARY 12, 2020



ELEVATION A



ELEVATION B

2 BEDROOM & 2 1/2 BATHROOMS: 2,350 SQ. FT.

RANCH

FRONT ENTRY GARAGE

AMBERLY COURT - LAKE FOREST

BRUNSWICK MODEL



434 North Dover Avenue
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McNAUGHTON
DEVELOPMENT

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BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.

JANUARY 12, 2020



FRONT ELEVATION

TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



BOXED OUT
WINDOW FOR
WALL BREAK

RIGHT ELEVATION



REAR ELEVATION



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. WOOD FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. WOOD SIDING & TRIM W/ FACTORY FINISH
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AMBERLY COURT - LAKE FOREST
BRUNSWICK - ELEVATION A

**McNAUGHTON
DEVELOPMENT**

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JOB NO.
01820

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FRONT ELEVATION

TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



BOXED OUT
WINDOW FOR
WALL BREAK

RIGHT ELEVATION



REAR ELEVATION

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- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
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- L.P. WOOD SIDING & TRIM W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

AMBERLY COURT - LAKE FOREST

BRUNSWICK - ELEVATION B

McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JANUARY 12, 2020



ELEVATION A



ELEVATION B

3 BEDROOM & 2 1/2 BATHROOMS: 3,000 SQ. FT.

TWO-STORY W/ FIRST FLOOR MASTER BEDROOM

INTERIOR LOAD GARAGE

AMBERLY COURT - LAKE FOREST

CARLISLE MODEL



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708.352.0446 phone

McNAUGHTON
DEVELOPMENT

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FAX: 630.325.3402

JOB NO.

JANUARY 12, 2020



TOP/ RIDGE
31'-4" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



BOXED OUT
WINDOW FOR
WALL BREAK

RIGHT ELEVATION



REAR ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- L.P. WOOD FASCIA & SOFFIT W/ FACTORY FINISH
- L.P. WOOD SIDING & TRIM W/ FACTORY FINISH
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

ARCHITECTS LLC

AMBERLY COURT - LAKE FOREST
CARLISLE - ELEVATION A

McNAUGHTON
DEVELOPMENT

11S220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

JANUARY 12, 2020



FRONT ELEVATION

TOP/ RIDGE
31'-4" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



BOXED OUT
WINDOW FOR
WALL BREAK

RIGHT ELEVATION



REAR ELEVATION



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION

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La Grange Park, Illinois 60526
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AMBERLY COURT - LAKE FOREST

CARLISLE - ELEVATION B

McNAUGHTON
DEVELOPMENT

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BURR RIDGE, IL 60527
PHONE: 630.325.3400
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JOB NO.
01820

JANUARY 12, 2020

**ELEVATION A****ELEVATION B**

2 BEDROOM & 2 1/2 BATHROOMS: 2,475 SQ. FT.

RANCH

FRONT ENTRY GARAGE

AMBERLY COURT - LAKE FOREST

FENWICK MODEL



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La Grange Park, Illinois 60526
708.352.0446 phone

McNAUGHTON
DEVELOPMENT

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BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.

JANUARY 12, 2020



FRONT ELEVATION

TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION

BOXED OUT
WINDOW FOR
WALL BREAK



REAR ELEVATION



LEFT ELEVATION

BOXED OUT
WINDOW FOR
WALL BREAK

TYPICAL EXTERIOR FACADE DETAILS:

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AMBERLY COURT - LAKE FOREST
FENWICK - ELEVATION A

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01820

JANUARY 12, 2020



FRONT ELEVATION

TOP/ RIDGE
26'-9" ABOVE FINISHED
FLOOR

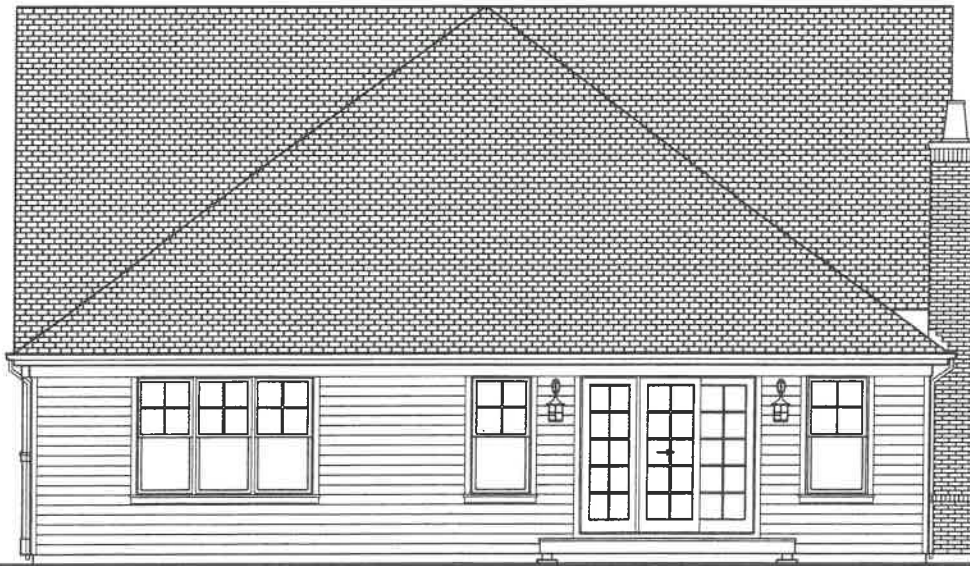
BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED
FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



BOXED OUT
WINDOW FOR
WALL BREAK

RIGHT ELEVATION



REAR ELEVATION



BOXED OUT
WINDOW FOR
WALL BREAK

LEFT ELEVATION

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JOB NO.
01820

JANUARY 12, 2020

Agenda Item 6
1525 Sage Court
New Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statements of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed North Elevation
Proposed North Color Elevation
Proposed West Elevation
Proposed South Elevation
Proposed East Elevation
Color Rendering
Proposed Roof Plan
Building Section
Proposed First Floor Plan
Proposed Second Floor Plan
Site Grading Plan
Proposed Tree Removal Plan
Tree Inventory
Conceptual Landscape Plan

1525 Sage Court

Consideration of a request for approval of a new residence, an attached garage, a conceptual landscape plan and the overall site plan.

Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)

Contract Purchasers: Samantha and Tom Bakas

Project Representative: Jeff Letzter, Aspect Design Inc.

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

Description of Property

The property is located on the south side of the cul-de-sac at the west end of Sage Court. The property is Lot 14 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 57,475 square feet and is irregular in shape. The street frontage of the property along the cul-de-sac is 60 feet. As established by the Plat of Subdivision, there is a drainage and conservation easement on the south side of the property.

The Board recently reviewed a petition for another new residence in the Oak Knoll Subdivision at the December, 2020 meeting. The developer intended to build that residence as a model home, the first home in the subdivision, on Lot 1, at the entrance to the new subdivision. The Board continued consideration of that petition pending refinements to more closely align the home and landscaping with the design standards that were presented by the original developer concurrent with the public review and approval of the subdivision. This earlier petition has not yet been resubmitted for Board review.

The petition currently presented to the Board was submitted by the developer on behalf of the contract purchasers for Lot 14 of the Oak Knoll Subdivision. A statement of intent from the contract purchasers is included in the Board's packet.

As noted above, Design Guidelines for the Oak Knoll Woodlands development were established by the original developer as part of the subdivision process and were reviewed by the Board during the December 2020 meeting. Although the City does not have the obligation to enforce Design Guidelines established by a developer that go over and above the City's Design Guidelines, it is important for the Board to be aware of the guidelines and the requests raised by neighboring property owners that the sixteen new homes in the Oak Knoll Woodlands Subdivision be consistent in character, quality and exterior materials with the representations of the original developer. For reference, the Design Guidelines as established by the original developer are included at the end of this staff report for the Board's information.

Review and Evaluation of Applicable Standards from the City Code

Below is a review of the standards outlined in the City Code for the Board's consideration.

Site Plan – This standard is met.

The proposed residence is sited at an angle on the property and faces north, toward Sage Court with the attached side-load garage facing west. A curb cut is proposed generally in the center of the

property. A concrete paver walkway is proposed from the front entrance to the driveway and a concrete paver patio is proposed on the south side of the residence.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will be 11%. The building footprint is 2,893 square feet and hardscape and driveway surfaces total 3,710 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 6,398 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 640 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 5,053 square feet.
- The proposed garage totals 983 square feet. The garage overage of 183 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 118 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 1,345 square feet, 21%, below the maximum allowable square footage.

At the maximum height, the residence is 36 feet and 11 inches tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

Elevations – This standard is generally met.

According to the petitioner's statement of intent, the proposed residence is designed as a Tudor style home, an architectural style that is compatible with the larger surrounding neighborhood. The residence presents a two story massing with steeply pitched gable and hip roof forms. The home presents features common to the Tudor style, such as an arched front doorway, tall, narrow casement style windows, and decorative half timbering and brickwork.

The roof forms as presented are largely consistent with the Tudor architectural style, although the roof massing on the side elevations appears somewhat large in relation to the overall scale of the home. Based on discussions with the petitioner, alternate roof forms were explored in an effort to minimize the appearance of mass created by the large roof forms on the side elevations, however those alternate designs led to a more complex roof plan. In an effort to keep the overall roof plan relatively simple, the petitioner introduced dormers and projecting bays on the side elevations to help break up the large roof forms on the side elevations.

Type, color, and texture of materials – This standard is met.

The main façade materials include brick and stucco. The roof material is wood shingle. Wood will be used for the fascia, soffit and decorative half timbering detailing. Limestone window and door trim is proposed. Aluminum clad windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney will be brick with a clay chimney pot.

The proposed color palette includes dark red brick, off-white stucco, and charcoal color trim. The roof will be natural cedar shingle and the windows are black. The front door and garage doors will be stained wood. The petitioner provided a color elevation and perspective rendering to reflect the proposed color palette. The color elevation and rendering are included in the Board's packet.

Landscaping - This standard requires further due diligence.

As currently proposed, a total of 10 trees are proposed to be removed. The trees proposed for removal consist of Black Walnut, Silver Maple, and Boxelder trees. The City Arborist recommends that the healthy Black Walnut trees located in the rear yard be protected and preserved. These trees are high quality, native shade trees and do not appear to be impacted by any site grading work or construction and they should be preserved to maintain the wooded character of the site.

Eight of the ten trees proposed for removal are located within the conservation easement on the south side of the property. As stated in the City Code, all existing vegetation within conservation easements shall be preserved for the purpose of retaining the natural character of the area and providing screening from adjacent properties or a public or private street. Replacement plantings will be required in the Conservation Easement to achieve, over time, a reasonably dense buffer.

The petitioner provided a tree survey from a Certified Arborist that includes the species, size and condition of each tree proposed for removal, however there appears to be some discrepancies on the condition rating of the trees as shown on the current tree survey. A detailed report from a Certified Arborist will be required to allow the City's Certified Arborist to determine the required replacement inches required in addition to the required replacement plantings in the Conservation Easement.

The preliminary landscape plan reflects plantings around the foundation of the home. Foundation plantings and minimal plantings on the site are required by the Code separate and apart from replacement plantings for trees that are proposed for removal. The preliminary landscape plan also indicates plantings on the north side of the property. Proposed plantings on the property include Oak, Spruce, Pear and Redbud trees and a variety of shrub and ornamental plantings.

This subdivision was created as a conservation subdivision with open space, woodlands and wetlands, and the landscape plans for the homes should reflect that natural theme with substantial plantings to, over time, create a well landscaped subdivision and replace the trees lost due to construction of the infrastructure and the individual homes. As the landscape plan for this property is further developed, additional plantings will need to be incorporated across the site, including in the rear yard, to enhance the wooded character of the site.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. All modifications to the plans including those made in response to Board direction and changes made as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Prior to submitting plans and an application for permit, a detailed tree evaluation report shall be prepared by a Certified Arborist for the trees on the site to allow a determination of the replacement plantings that will be required in the Conservation Easement and of the total number of replacement inches to be planted on site, outside of the Conservation Easement, based on the size, species and condition of the trees proposed for removal. The Black Walnut trees shall be evaluated and if, in the determination of the City's Certified Arborist, these trees can be protected and preserved, appropriate steps should be taken to do so.
3. The final landscape shall include, but not be limited to, replacement plantings within the Conservation Easement and all required replacement tree inches to account for trees removed outside of the easement. In addition, the plan shall reflect plantings to meet the minimum landscape standards for new residences detailed in the Code, including ground cover, mid level and canopy trees and evergreens across the site.
4. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
5. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
6. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
7. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
8. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1525 Sage Court Owner(s) Fidelity Wes of Oak Knoll LLC
 Architect Jeff Letzter, Project Manager Reviewed by: Jen Baehr
 Date 4/7/2021
 Lot Area 57475 sq. ft.

Square Footage of New Residence:

1st floor 1799 + 2nd floor 2459 + 3rd floor 612 = 4870 sq. ft.

Design Element Allowance = 640

Total Actual Design Elements = 118 Excess = 0 sq.ft.

Garage 983 sf actual ; 800 Excess = 183 sq. ft.

Garage Width 29'-2" ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 5053 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 6398 sq. ft.

DIFFERENTIAL = -1345 sq. ft.
Under Maximum

Allowable Height: 40 ft. Actual Height 36' - 11" ft.

NET RESULT:

1345 sq. ft. is

21% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 640 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 56 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 58 sq. ft.

Bay Windows = 4 sq. ft.

Total Actual Design Elements = 118 sq. ft.

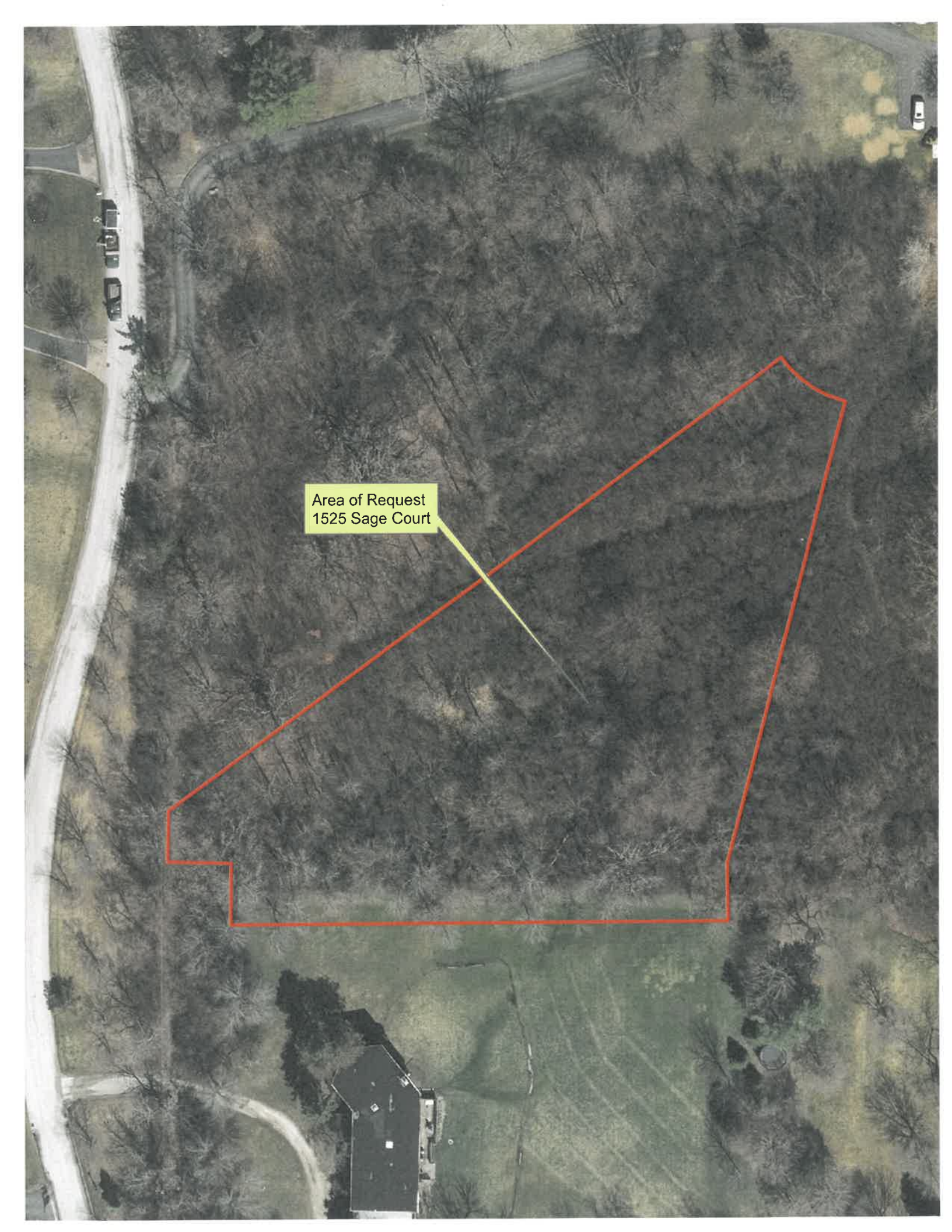
Excess Design Elements = 0 sq. ft.



Area of Request
1525 Sage Court



Area of Request
1525 Sage Court

An aerial photograph showing a large, irregularly shaped area of dense, leafless trees. A red line outlines this area. A yellow callout box with a pointer indicates a specific location within the wooded area. To the left of the wooded area is a light-colored road or path with several vehicles parked along it. At the bottom of the image, there is a grassy field with a house and some trees.

Area of Request
1525 Sage Court



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS LOT 14 OAK KNOLL WOODLANDS LAKE FOREST, IL
1525 SAGE COURT

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

FIDELITY WES OF OAK KNOLL, LLC
Owner of Property

201 ROBERT FAYLER COFFIN RD
Owner's Street Address (may be different from project address)

LONG GROVE, IL 60047
City, State and Zip Code

(847) 980-9686 (947) 883-6132
Phone Number Fax Number

MILEC.FIDELITYWES.COM
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZTER, PROJECT MANAGER
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26575 COMMERCE DR SUITE 607
Street Address

WOLF, IL 60073
City, State and Zip Code

(847) 457-2500 N/A
Phone Number Fax Number

LETZTER@ASPECTDESIGNINC.COM
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MIKE DEMAR (PRES.)</u>	Name _____
Address <u>201 ROBERT PARKER COFFIN RD</u>	Address _____
Address <u>LOUGH GROVE, IL</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

March 4, 2021

To: City of Lake Forest

From: Samantha and Tom Bakas

Subject: 1525 Sage Court – Oak Knoll Woodlands Lot 14

My husband, Tom, and I currently live in Lincolnshire with our three small children. After having our third boy in 2020, we knew we would need to get more space and began to think about where we would like to raise our kids as they get to school age. Lake Forest was at the top of the list. The excellent public schools in Lake Forest are also hugely important to our family, as is the proximity to Tom's work. We were starting to casually look when we found the opportunity to build in the Oak Knoll Woodlands. The location appeals to us as it is embedded in a developed neighborhood and on a quiet cul du sac. We love the mature trees and proximity to the train station.

We chose Lot 14 because of its location on the Sage Court cul du sac and the Southern exposure to the back of the house. We imagine our boys spending many hours in the sunny backyard and playing basketball in the driveway.

We started working with Jeff Letzter and Fidelity Wes to create our dream home. Our style is transitional, but we always preferred traditional exteriors and we have dreamed of a brick home. The floor plan was also very important to us. We want to make sure it can function at a high level as we raise our three boy for years to come. To make it our own, we decided on a tudor style home with mostly brick exterior as well as half timbers and stucco. In collaborating with Jeff, we created this home with beautiful tudor style and details. We believe it will immediately fit in the neighborhood as if it has been there for years.

We thank the BRB commission for their review of this proposed new home and ask that the commission approves our request.



Statement of Intent Lot 14 Oak Knoll Woodlands, 1525 Sage Court, Lake Forest, IL 60045

1. Background—The home will be built by Fidelity Wes of Oak Knoll, LLC as a home in the Oak Knoll Woodlands subdivision for the Tom and Samantha Bakas family.
2. Initial Goal—The purpose of the project is to help further set the tone for the balance of the homes in the subdivision with a welcoming and comfortable Tudor style home.
3. Design Strategy—Based upon the established Design Guidelines for Oak Knoll Woodlands Subdivision, our intent is to plan the home with garage to the West and have the front entry, front porch, bay windows and roof lines being the focal point as you view the home on the lot from Sage Court, which works very well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. Materials—Dark red brick with brown highlights will be used on the exterior, with off white stucco and charcoal colored cedar trim boards above. The wood trim, soffit and fascia are to be a charcoal color, the roof will be cedar shingles. The windows are to be black. The front door will be stained wood, and overhead garage doors to be a stained wood look to match front door.
5. Conclusion—Our intent is to build an attractive home that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.
6. Variances— None are required for the proposed home in the R-4 zoning district.

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other _____ |

Color of Material BRICK: DARK RED W/ BROWN HIGHLIGHTS

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish BLACK

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☒ Brick
☐ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone
☒ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☒ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☒ Copper
☐ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

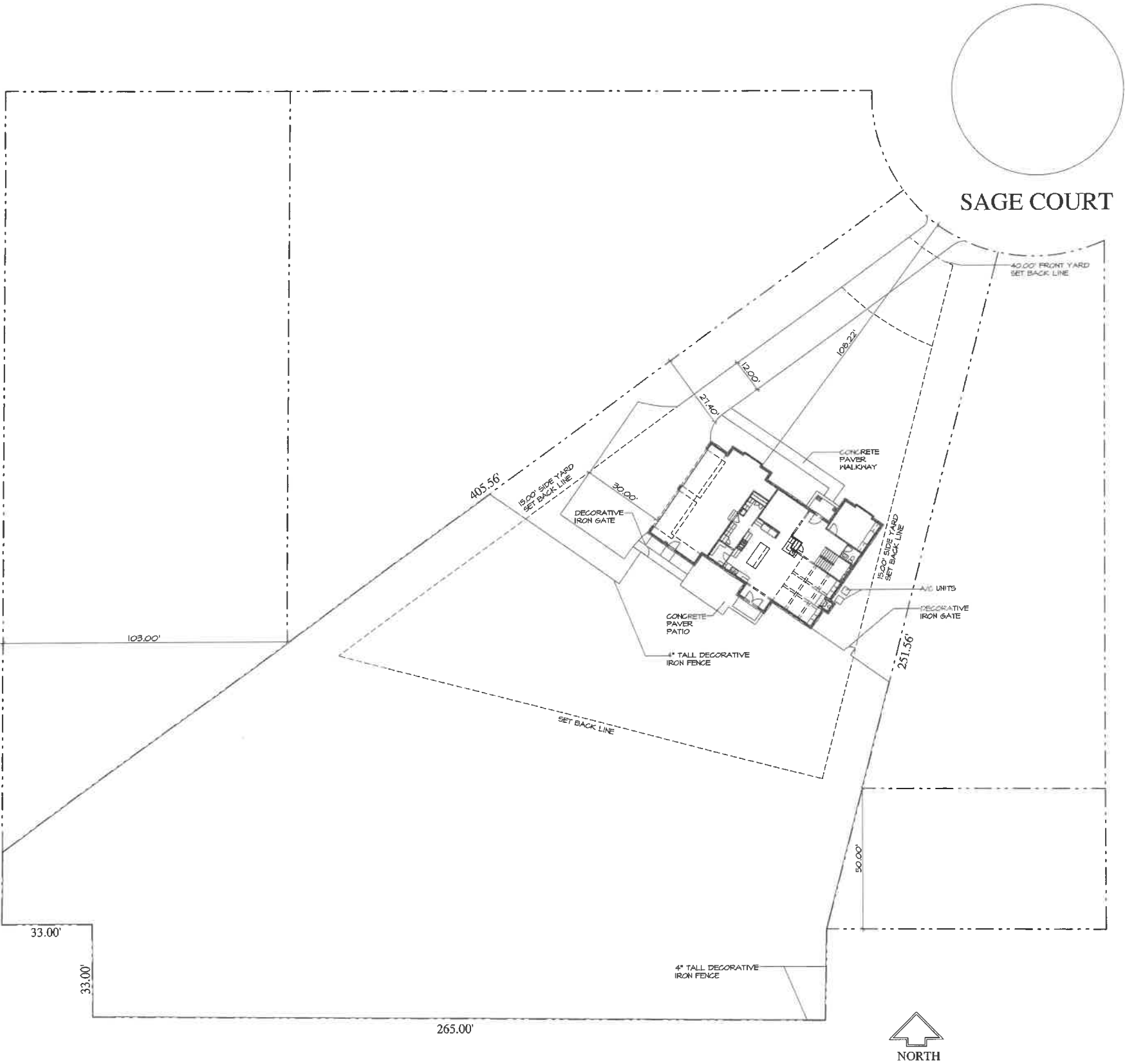
- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____



1
AR 01

SITE PLAN

NORTH
SCALE: 1" = 20'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
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LOT 14 BAKAS RESIDENCE 1525 SAGE COURT OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045		FIDELITY WES		03/01/2021 03/11/2021		16515 COMMERCE DR. SUITE 607 VILLAGE, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 1640054	
REVIEW		REVIEW		REVIEW		PROJECT # AD20208	
REVIEW		REVIEW		REVIEW		DRAWN BY: COM/MB	
REVIEW		REVIEW		REVIEW		LOT 14 SITE PLAN	
REVIEW		REVIEW		REVIEW		AR 01	
REVIEW		REVIEW		REVIEW		# 1 OF 9 TOTAL SHEETS	

REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 14
BAKAS RESIDENCE

1525 SAGE COURT
OAK KNOLL WOODLANDS SUBDIV.
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	03/01/2021
REVIEW	03/11/2021

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 148048

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD20208
DRAWN BY: COM/MB

LOT 14
EXTERIOR ELEVATIONS

AR 02

2 OF 9 TOTAL SHEETS

LOT AREA:	57,475 S.F.
PROPOSED BULK	
FIRST FLOOR:	1,807.54 S.F.
SECOND FLOOR:	2,540.58 S.F.
ATTIC:	128.56 S.F.
GARAGE:	484.38 S.F.
SUBTOTAL:	5,461.06 S.F.
GARAGE ALLOWANCE:	-600.00 S.F.
TOTAL:	4,861.06 S.F.
MAX. BULK ALLOWED:	6,398.00 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	1,807.54 S.F.
SECOND FLOOR:	2,540.58 S.F.
TOTAL:	4,348.12 S.F.
GARAGE:	484.38 S.F.



1 FRONT ELEVATION
AR 02

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1 FRONT ELEVATION
AR 02

SCALE: 1/4" = 1'-0"

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LOT 14 BAKAS RESIDENCE 1525 SAGE COURT OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
03/01/2021 REVIEW	03/09/2021 REVIEW
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE #1440451	
PROJECT # AD20208 DRAWN BY: COM / MB LOT 14 EXTERIOR ELEVATIONS	
AR 02	
# 2 OF 9 TOTAL SHEETS	



1 RIGHT ELEVATION
AR 03

SCALE: 1/4" = 1'-0"

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FIDELITY WES	
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REVIEW REVIEW	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 1640054	
PROJECT # AD20208 DRAWN BY: COM / MB	
LOT 14 EXTERIOR ELEVATIONS	
AR 03	
# 3 OF 9 TOTAL SHEETS	



1 LEFT ELEVATION
AR 05

SCALE: 1/4"=1'-0"

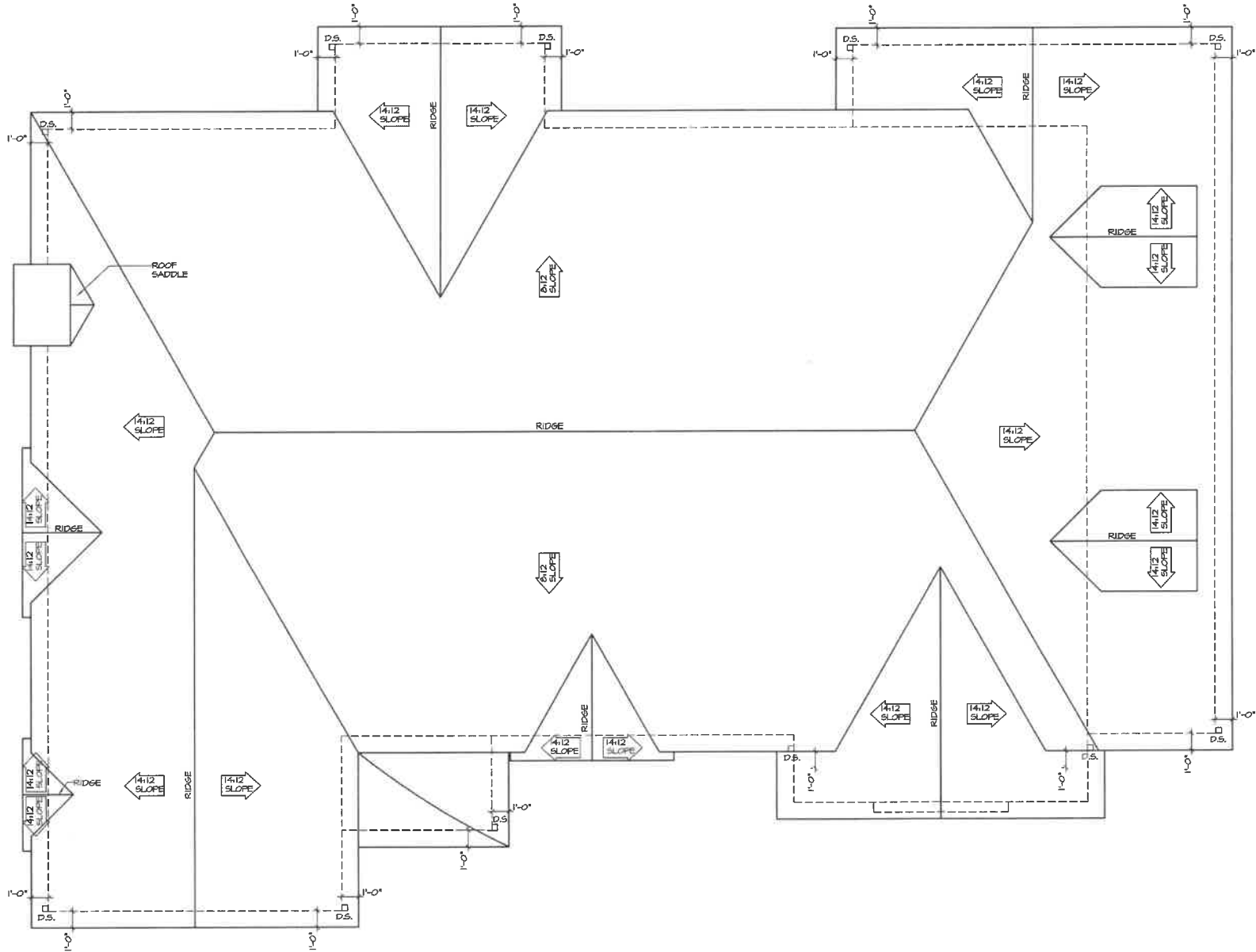
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FIDELITY WES	
03/01/2021 03/11/2021	REVIEW REVIEW
126575 COMMERCE DR. SUITE 407 VOLO, IL 60073 MAIN: 847.457.2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 18400054	
PROJECT # AD20208 DRAWN BY: COM/MB LOT 14 EXTERIOR ELEVATIONS	
AR 05	
# 5 OF 9 TOTAL SHEETS	





1 ROOF PLAN
AR 08

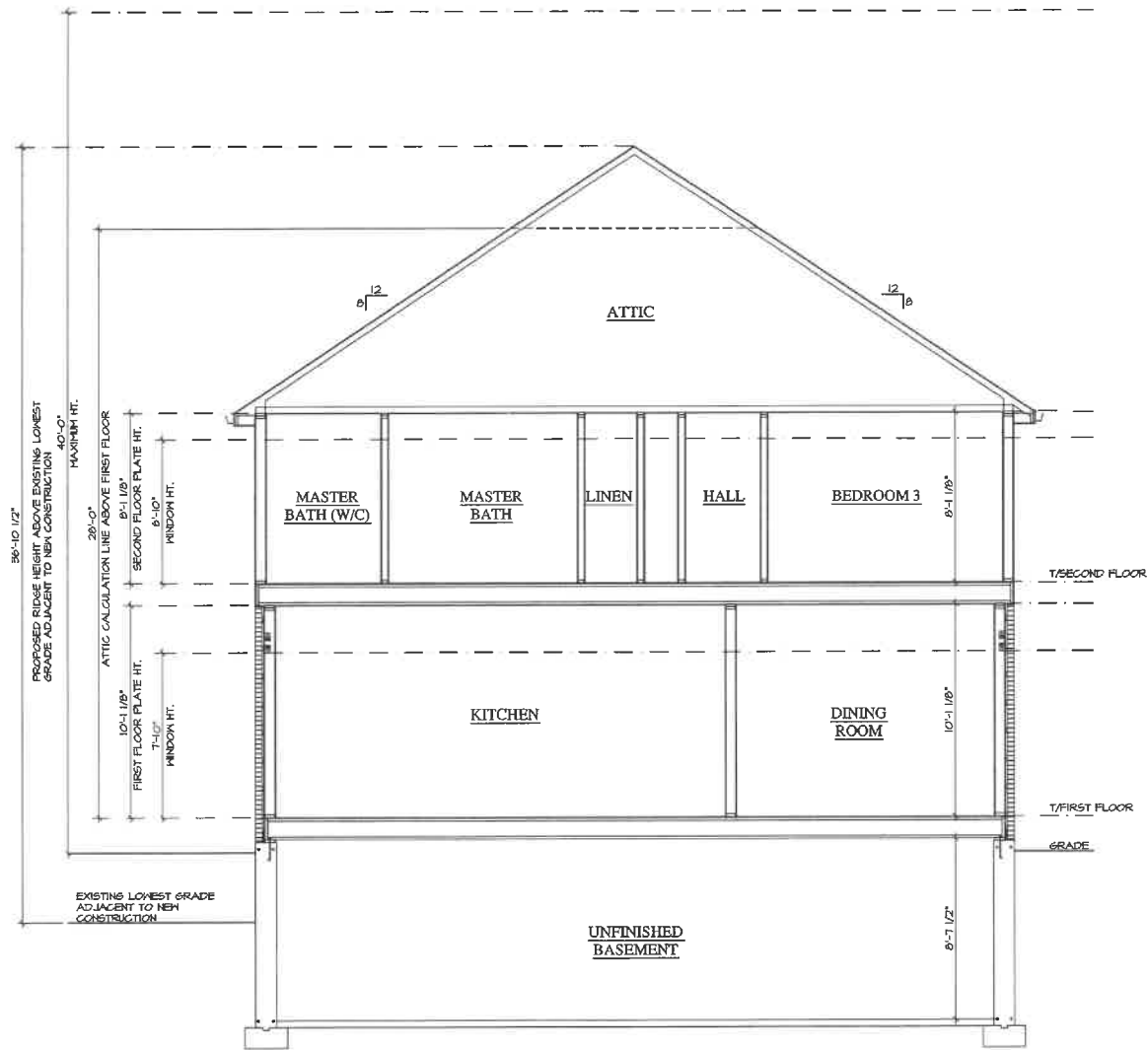
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PROJECT # AD20208	
DRAWN BY: COM / MB	
LOT 14 ROOF PLAN	
AR 08	
# 8 OF 9 TOTAL SHEETS	
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03/01/2021 03/11/2021	
REVIEW REVIEW	



1 BUILDING SECTION
AR 09

SCALE: 1/4"=1'-0"

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PROJECT # AD20208	
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LOT 14 BUILDING SECTION	
AR 09	
# 9 OF 9 TOTAL SHEETS	
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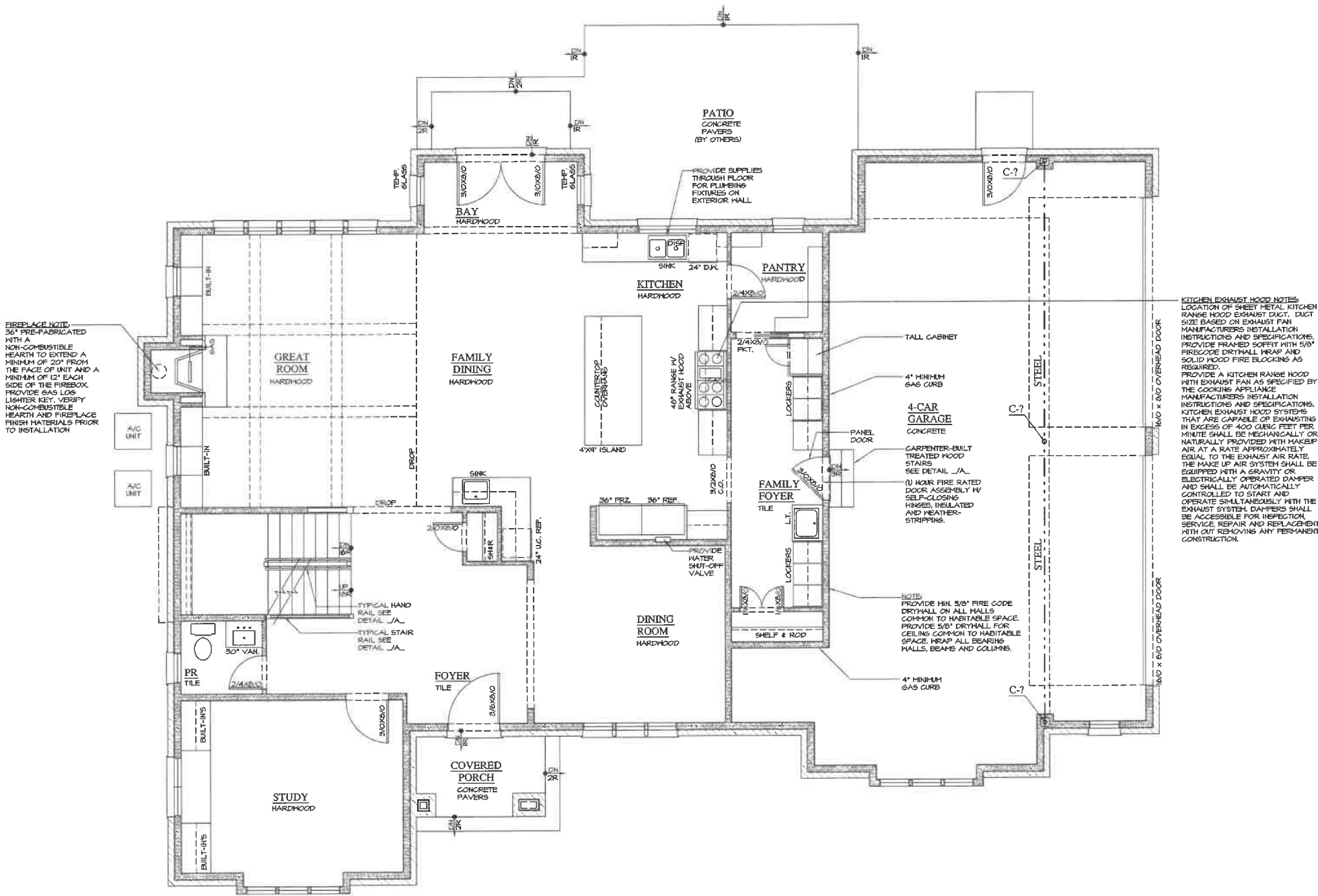
LOT 14
BAKAS RESIDENCE
1525 SAGE COURT
OAK KNOLL WOODLANDS SUBDIV.
LAKE FOREST, IL 60045

FIDELITY WES

03/01/2021
03/11/2021
REVIEW
REVIEW

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VOLO, IL 60073
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IL LICENSE # 184-00034

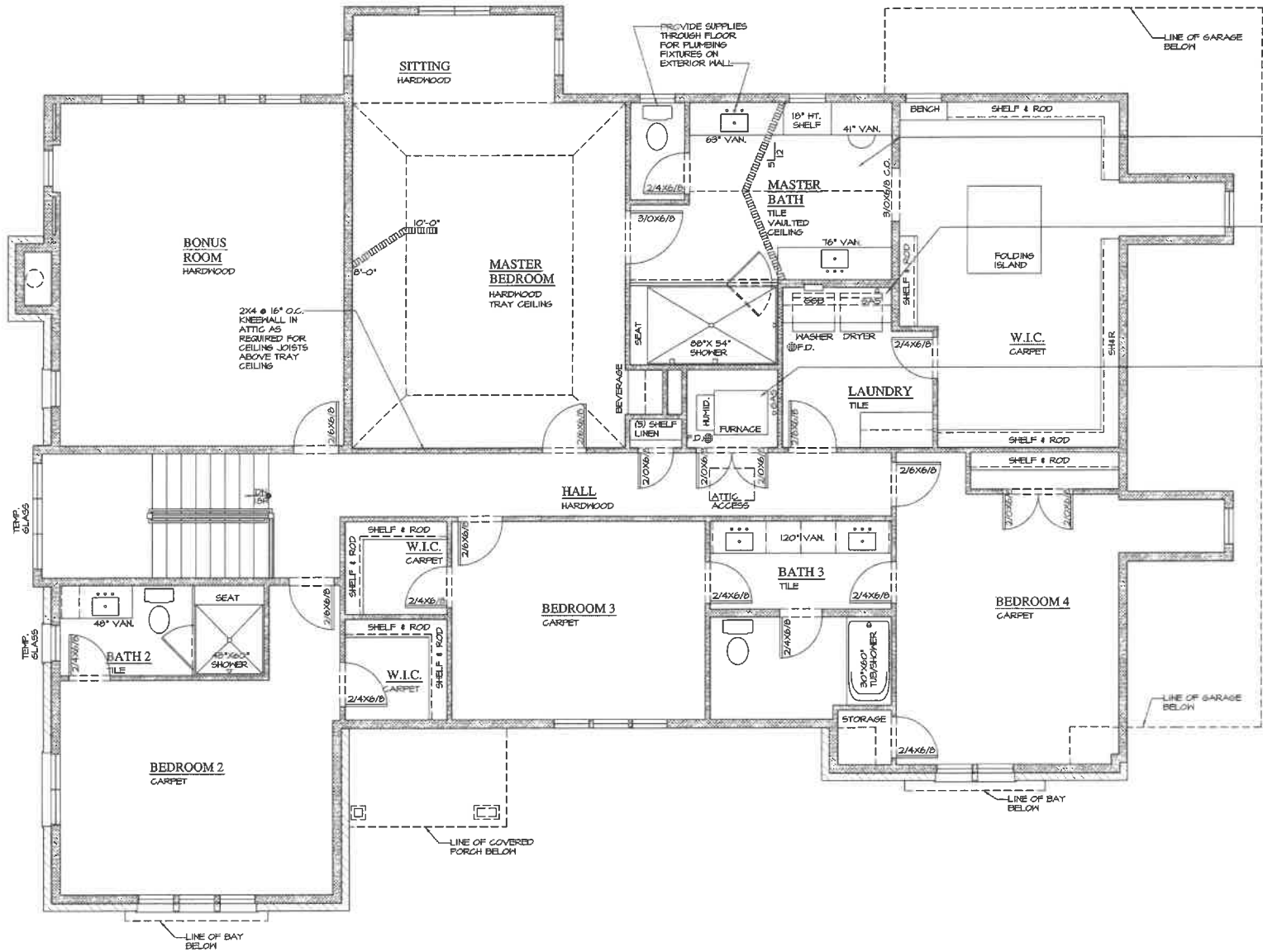
PROJECT # AD20208
DRAWN BY: COM/MB
LOT 14
FIRST FLOOR PLAN
AR 06
6 OF 9 TOTAL SHEETS



1 FIRST FLOOR PLAN
AR 06

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS
ARE FOR SHEETS PRINTED ON
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TYPICAL BATHROOM NOTES:
ALL BATH ROOM EXHAUST FAN DUCTS SHALL VENT TO EXTERIOR. DUCT TERMINATION IS NOT PERMITTED IN ATTIC. INSTALL MOISTURE RESISTANT GYPSUM BOARD ON ALL WALLS AT ALL BATHROOMS AND SHOWERS.

LAUNDRY ROOM NOTES:
PROVIDE DRYER VENT PER DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PER CODE. PROVIDE SELF CLOSING DAMPER AT MINIMUM 125 SQ. IN. TERMINATION GAP.

PROVIDE PAN BELOW WASHER APPLIANCE AND CONNECT TO FLOOR DRAIN (FD). CONNECT (FD) TO SANITARY PER CODE.

SECOND FLOOR MECHANICAL ROOM:
VERIFY MECHANICAL ROOM SIZE WITH HVAC EQUIPMENT SPECIFICATIONS PRIOR TO FRAMING WALL CONSTRUCTION.

PROVIDE MINIMUM 3" SOUND BATT INSULATION IN FLOOR AND WALLS.

40% HI EFFICIENCY FURNACE PROVIDE EXTERIOR CONVERSION AIR AND EXHAUST VENTS PER FURNACE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. PROVIDE CONDENSATE PAN, DRAIN AND AN OVERFLOW SHUTOFF SWITCH UNDER FURNACE.

NOTE: MINIMUM R-8 INSULATION FOR ALL DUCT WORK IN UNCONDITIONED SPACE IN COMPLIANCE WITH IRC CHAPTER 11

1 SECOND FLOOR PLAN
AR 07

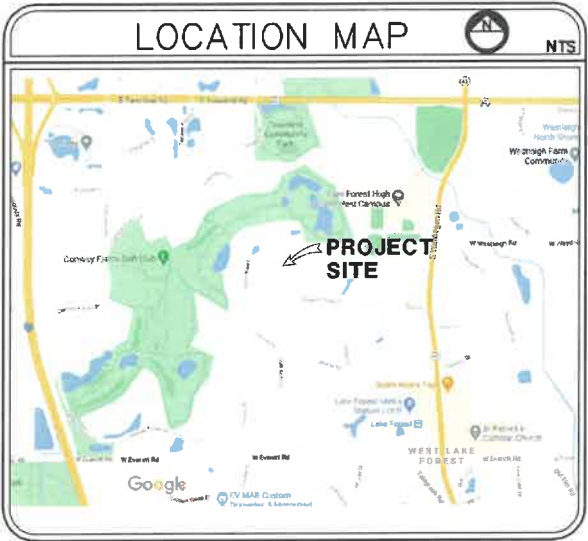
SCALE: 1/4" = 1'-0"

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LOT 14 BAKAS RESIDENCE 1525 SAGE COURT OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
03/01/2021 REVIEW	03/11/2021 REVIEW
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 184-0004	
PROJECT # AD20208 DRAWN BY: COM / MB LOT 14 SECOND FLOOR PLAN	
AR 07	
# 7 OF 9 TOTAL SHEETS	



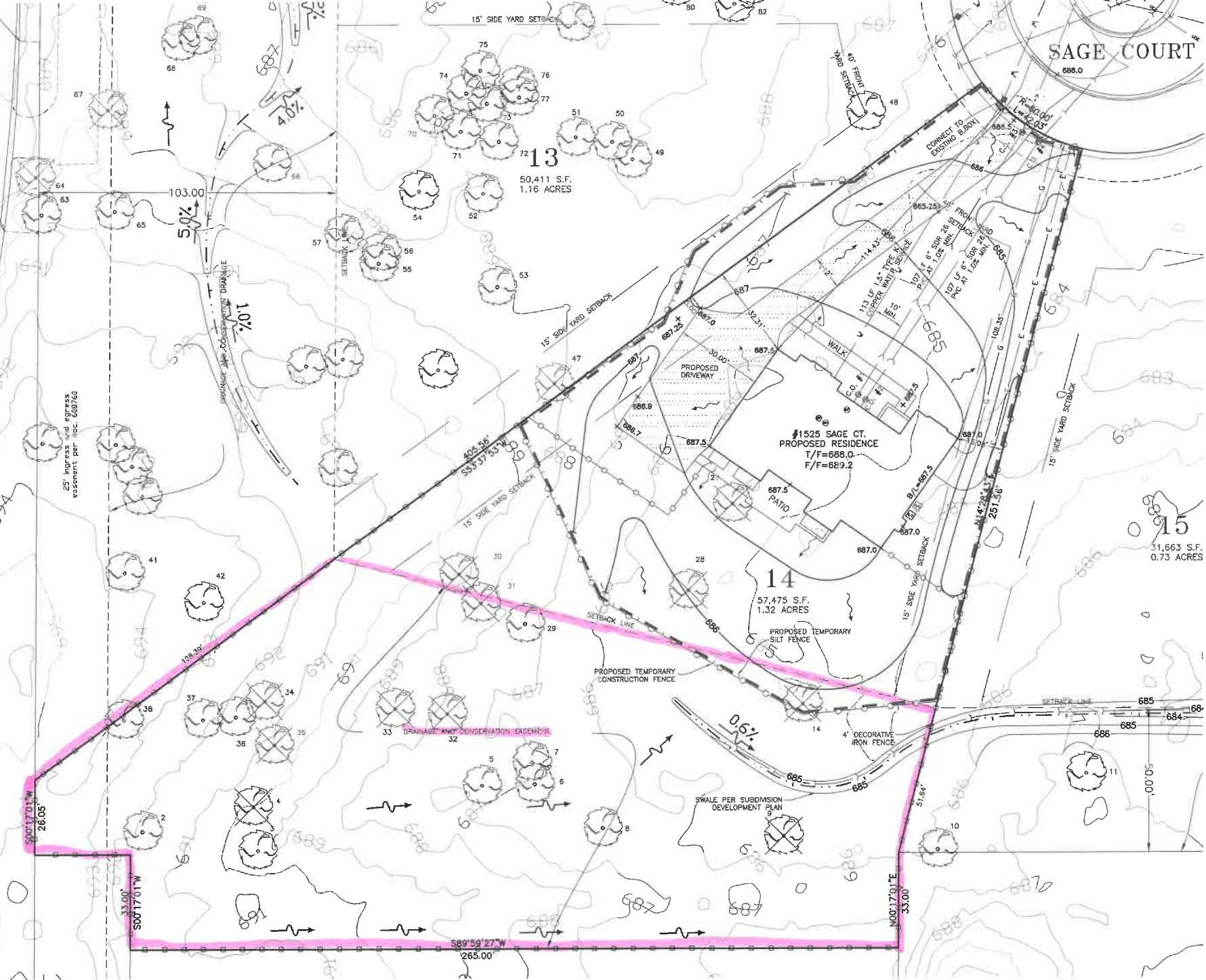
LEGEND

EXISTING	PROPOSED
—	SANITARY SEWER
—	STORM SEWER
—	WATER MAIN
—	YARD DRAIN
—	STORM MANHOLE
—	SANITARY MANHOLE
—	CLEAN OUT
—	B.BOX
—	DOWNSPOUT
—	PAVEMENT
—	FENCE
—	DRAINAGE FLOW
—	PAVEMENT • GROUND ELEVATION
—	CONTOURS
—	TOP OF FOUNDATION ELEVATION
—	FIRST FLOOR ELEVATION
—	GARAGE FLOOR ELEVATION
—	EXISTING TREE
—	TREE TO BE REMOVED
—	SILT FENCE
—	TREE PROTECTION FENCE

THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

SITE DEVELOPMENT PLAN

- TOPOGRAPHY INFORMATION PROVIDED BY CLIENT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATION. ASPECT DESIGNS ARCHITECTS INC. 26575 COMMERCE DRIVE SUITE 607, Volo, IL 60073 847-457-2500



IMPERVIOUS AREA CALCULATIONS

	EXISTING	PROPOSED
RESIDENCE	0 SQ. FT.	2,893 SQ. FT.
DRIVEWAY	0 SQ. FT.	3,020 SQ. FT.
WALK, PORCH, PATIO & STEPS	0 SQ. FT.	690 SQ. FT.
TOTAL AREA	0 SQ. FT.	6,603 SQ. FT.
TOTAL LOT AREA	57,475 SQ. FT. (1.32 AC)	

BENCHMARK:
CITY OF LAKE FOREST MONUMENT #10
BRASS DISK IN CONCRETE AT NORTHEAST CORNER OF OAK KNOLL DRIVE & CONWAY ROAD INTERSECTION.
ELEVATION = 697.44 (NAVD 88)

SITE BENCHMARK:
MUELLER NUT ON FIRE HYDRANT AT #530 OAK KNOLL DRIVE.
ELEVATION = 684.21 (NAVD 88)

THE CITY OF LAKE FOREST GENERAL NOTES:
ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE FOREST CITY CODE AND THE ENGINEERING AND CONSTRUCTION STANDARDS, CURRENT EDITION.

EROSION CONTROL NOTES:
A SYNTHETIC SILT FENCE SHALL BE CONSTRUCTED ALONG THE PERIMETER OF THE DISTURBED AREA WHEREVER OVERLAND FLOWS ARE TRIBUTARY TO THE DETENTION POND OR STORM SEWER STRUCTURE.
THIS SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE MANUAL "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL (ILLINOIS)".
THIS SILT FENCE SHALL BE CONSTRUCTED AT THE OUTSET OF THE WORK AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK UNTIL ACCEPTABLE VEGETATION IS ESTABLISHED ON THE SITE.

LAWN RESTORATION NOTE:
ALL DISTURBED AREAS MUST BE SEEDED, SOODED OR PLANTED WITH APPROVED GROUND COVER WITHIN THIRTY (30) DAYS OF SUBSTANTIAL COMPLETION OF STRUCTURE EXTERIOR. THE PUBLIC PARKWAY DAWN MUST BE ESTABLISHED PRIOR TO ISSUANCE OF A CONDITIONAL OCCUPANCY PERMIT.

PER LAKE FOREST TREE PRESERVATION ORDINANCE (CHAPTER 42, SECTION 38-A):
UTILITY SERVICES (WATER, SANITARY, STORM, GAS, ELECTRIC, AMERITECH AND U.S. CABLE) SHOULD BE LOCATED IN DRIVEWAY AREAS WHENEVER POSSIBLE TO PREVENT ANY DESTRUCTION OF TREES IN THE SITE. IF CONFLICTS ARE UNAVOIDABLE, THEN SERVICES MUST BE AUGERED.

EACH UTILITY SERVICE ROUTE MUST BE FIELD STAKED WITH LATH AND IDENTIFIED WITH RIBBON IN ACCORDANCE WITH THE FOLLOWING COLOR CODE:

BLUE —> WATER
GREEN —> STORM
RED —> SANITARY
YELLOW —> GAS
ORANGE —> ELECTRIC, TELEPHONE & CABLE

NO TREES 12" OR LARGER SHALL NOT BE REMOVED WITHOUT A PERMIT FROM THE DIRECTOR OF PARKS, FORESTRY AND PUBLIC WORKS.

TREE PRESERVATION FENCING MUST BE ERECTED AT A 20' PERIMETER OF THE PROPOSED STRUCTURE'S FOUNDATION AND AT A 5' OFFSET OF THE PROPOSED DRIVEWAY EDGES. THE FENCE SHALL CONSIST OF EITHER WOOD OR PLASTIC FENCE MATERIALS, FOUR (4) FEET HIGH WITH STEEL SUPPORTING POSTS 12 FEET ON CENTER. FENCING MUST BE INSTALLED PRIOR TO PRELIMINARY SITE INSPECTION AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION.

NO VEGETATION IS PERMITTED FOR REMOVAL FOR THE FENCE INSTALLATION.

ig CONSULTING, INC.
CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 FAX (847) 215-1177
1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 I: ig@consulting.net

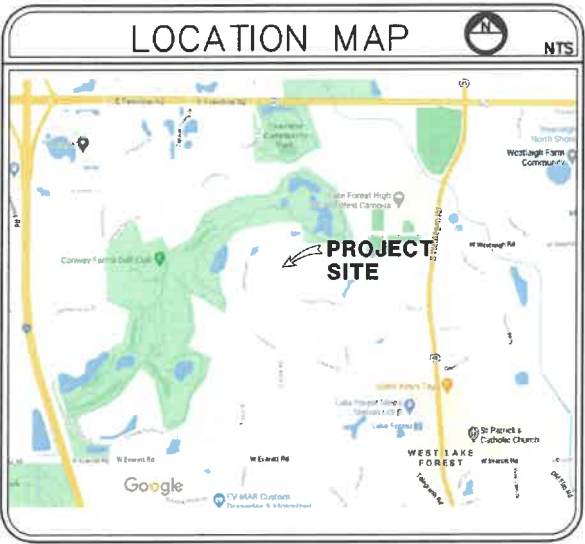
LOT 14 OAK KNOLL WOODLANDS
1525 SAGE COURT
LAKE FOREST, ILLINOIS

REVISIONS

DATE	DESCRIPTION	DRAWN BY	PER ARCHITECT	PER ARCHITECT
03/02/21				
03/17/21				

SITE DEVELOPMENT PLAN
DESIGN: K.C.L.
SCALE: 1"=20'
DATE: 02/25/21

PROJECT No.
20830



LEGEND		
EXISTING		PROPOSED
—	SANITARY SEWER	—
—	STORM SEWER	—
—	WATER MAIN	—
○	YARD DRAIN	●
⊙	STORM MANHOLE	⊙
⊙	SANITARY MANHOLE	⊙
○	CLEAN OUT	○ C.O.
○	B.BOX	●
—	DOWNSPOUT	—
—	PAVEMENT	—
—	FENCE	—
— XXX.XX	DRAINAGE FLOW	— XXX.XX
— XXX.XX	PAVEMENT & GROUND ELEVATION	— XXX.XX
— XXX.XX	CONTOURS	— XXX.XX
T/F=XXX.XX	TOP OF FOUNDATION ELEVATION	T/F=XXX.XX
F/F=XXX.XX	FIRST FLOOR ELEVATION	F/F=XXX.XX
G/F=XXX.XX	GARAGE FLOOR ELEVATION	G/F=XXX.XX
○ 352	EXISTING TREE	○ 352
—	TREE TO BE REMOVED	—
—	SILT FENCE	—
—	TREE PROTECTION FENCE	—

THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

TREE REMOVAL PLAN

- TOPOGRAPHY INFORMATION PROVIDED BY CLIENT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATION. ASPECT DESIGNS ARCHITECTS INC. 26575 COMMERCE DRIVE SUITE 607, Volo, IL 60073 847-457-2500

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1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 978-6200 info@igconsulting.net

REVISIONS

DATE	DESCRIPTION	PER ARCHITECT	PER ARCHITECT
03/02/21			
03/12/21			

TREE REMOVAL PLAN

DESIGN: K.C.L.

SCALE: 1"=20'

DRAFTING: A.W.

DATE: 02/25/21

FIRM NO. 184-001330

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LOT 14 OAK KNOLL WOODLANDS
1525 SAGE COURT
LAKE FOREST, ILLINOIS

PROJECT No.
20830

2 of 3

CONDITION:

- 1 — EXCELLENT
- 2 — GOOD
- 3 — FAIR
- 4 — POOR
- 5 — BAD
- 6 — DEAD

Tag	Common Name	Size	Cond.	Form	Removal(2015)	Problems	2020(cond)	Removal(2020)	LOT
2	Bur Oak	22	3	4		minor deadwood, over-topped, multiple leaders			14
3	Green Ash	15	4	3		minor deadwood, suckering			14
4	Black Walnut	8	2	3		minor deadwood, twist in trunk	dead/dying	X	14
5	Black Walnut	10	3	3		minor deadwood, twist in trunk, double leader			14
6	Black Walnut	8	3	4		one sided, over-topped, double leader			14
7	Silver Maple	7	3	3		minor deadwood, suckering, double leader			14
8	Green Ash	13	4	4		excessive lean, vine infested, slight sweep, multiple leaders			14
9	Boxelder Maple	12	5	4		minor deadwood, sparse foliage, decay, dieback, double leader		X	14
14	Silver Maple	36	4	3		trunk scar, decay, multiple leaders	fallen	X	14
27	Silver Maple	27	3	3		weak crotch, multiple leaders		X	14
28	Black Walnut	10	2	3		minor deadwood, multiple leaders		X	14
29	Black Walnut	14	3	3		suckering, vine infested			14
30	Silver Maple	17	5	4		minor deadwood, sparse foliage, decay, dieback, multiple leaders	dead/dying	X	14
31	Black Walnut	12	3	4		over-topped, slight lean	dead/dying	X	14
32	Black Walnut	8	2	3		minor deadwood, twist in trunk	dead/dying	X	14
33	Black Walnut	8	3	3		minor deadwood, slight sweep	dead/dying	X	14
34	Black Walnut	9	2	3		vine infested, multiple leaders		X	14
35	Black Walnut	8	2	3		one sided, double leader	dead/dying	X	14
36	Black Walnut	10	2	3		minor deadwood, double leader			14
37	Black Walnut	10	2	3		one sided			14
38	Apple	9	4	4		minor deadwood, decay, slight lean			14

TREE INVENTORY PERFORMED BY DERRICK JENNER, ISA CERTIFICATION NUMBER IL-9131A ON SEPTEMBER 23, 2020

LANDSCAPE DEVELOPMENT PLAN

BAKAS RESIDENCE

1525 SAGE COURT
LAKE FOREST, IL

SCALE: 1/16" = 1'



PREPARED BY:

DON BETO AND COMPANY
888 TOWER ROAD
MUNDELEIN, IL 60060

REVISIONS:

NOTES:

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Quantity	Common Name	Botanical Name	Size
	<u>Flower, Perennial</u>		
14	Hosta, Guacamole	Hosta, 'Guacamole'	1 gal.
36	Black Eyed Susan, Little Suzy	Viette's Little Suzy Black Eyed Susan	1 gal.
14	Allium, Summer Beauty	Allium lusitanicum 'Summer Beauty'	1 gal.
48	Liriope 'Big Blue Lily-turf'	Liriope muscari 'Big Blue'	1 gal.
	<u>Grass, Perennial</u>		
27	Karl Foerster	Calamagrostis acutiflora 'Karl Foerster'	1 gal.
	<u>Shrub, Deciduous</u>		
5	Burning Bush	Eunomys Alata	36"
20	Hydrangea, Little Lime	Hydrangea paniculata 'Jane'	5 gal.
29	Rose, Double Knockout	Rosa 'Double Knockout'	5 gal.
5	Viburnum Chicago Lustre	Viburnum dentatum 'Sunnestvedt'	36"
1	Viburnum, Judd's	Viburnum x Juddii	36"
2	Lilac, Dwarf Korean Tree Form	Syringa meyeri 'Palabin'	10 gal.
4	Hydrangea, Limelight Tree Form	Hydrangea paniculata 'Limelight'	10 gal.
	<u>Shrub, Evergreen</u>		
25	Boxwood, Green Velvet	Buxus x 'Green Velvet'	
15	Yew, Hicks	Taxus media 'Hicksii'	
	<u>Tree, Deciduous</u>		
5	Oak, Red	Quercus coccinea	3"
3	Oak, Heritage	Quercus robur 'Clemons'	3"
1	Pear, Cleveland Select	Pyrus calleryana 'Glen's Form'	3"
1	Redbud, Eastern	Cercis canadensis	3"
	<u>Tree, Evergreen</u>		
8	Spruce, Black Hills	Picea glauca 'Densata'	8 ft

