

Agenda Item 3
860 S. Green Bay Road
Demolition & Replacement Structure

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Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
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Plat of Survey – Existing Conditions
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Existing Elevations
Proposed Demolition Plans
Proposed East (Front) and South Elevations
Existing and Proposed East and South Elevation Overlays
Proposed West (Rear) and North Elevations
Existing and Proposed West (Rear) and North Overlays
Color Rendering
Proposed Roof Plan
Building Sections
Proposed Basement Plan
Proposed First Floor Plan
Proposed Second Floor Plan
Preliminary Site Grading and Tree Removal Plan
Tree Inventory
Conceptual Landscape Plan
Streetscape Elevation
Streetscape Images

860 S. Green Bay Road

Consideration of a request for approval of significant demolition of the existing residence and construction of a replacement residence. Approval of the overall site plan and conceptual landscape plan is also requested.

Property Owner: 860 Green Bay LLC (Jamie Altounian, 100%)
Project Representative: Peter Witmer, architect

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of significant demolition of the existing residence and construction of a replacement residence. Because more than 50% of the existing residence will be removed and an addition of more than 25% of the existing square footage is proposed this petition is considered a replacement residence.

Description of Property and Existing Residence

This property is located on the west side of Green Bay Road, between Greenwood and Oakdale Avenues. The area is generally characterized by one and two story homes of varying ages and architectural styles. The property that is the subject of this request is 20,007 square feet and is rectangular in shape. The residence on the property was built in 1939 and is a one-and-a-half-story Cape Cod style home.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Proposed Demolition

The proposed demolition of the existing residence comprises more than 50% of the entirety of the house and therefore is considered a demolition. The demolition plans provided by the petitioner are included in the Board's packet. The demolition criteria are reviewed below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence does not have any special historical, architectural, aesthetic or cultural significance. The existing residence was built in 1939 and is typical of the surrounding neighborhood. The existing home does not possess any particular significance in relation to its surroundings.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. Extensive renovations and additions to the existing home would be required to meet the homeowner's needs, leaving little of the existing residence intact, with the end product likely being compromised as a result of trying to work within the limitations of the existing residence.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion has limited applicability to this request. The house is somewhat suitable for residential use in its existing condition however, enlarging the house is reasonable to update the home to meet standards of modern day living.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. The proposed replacement residence will likely enhance property values and contribute to the character of the neighborhood in a positive way.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed replacement residence is designed in a manner that is compatible with the character of the existing home and the surrounding neighborhood.

Staff finds that the criteria for demolition are satisfied.

Site Plan – This standard is generally met.

The footprint of the home will be expanded on the south and west sides. The existing single car garage on the north side of the residence will remain. A new two-car, side load garage is proposed on the southeast part of the home. The existing curb cut and asphalt driveway will remain. A new motor court is proposed at the front of the home. A paver patio is proposed on the rear of the replacement residence.

The information submitted by the petitioner shows that the amount of the impervious surface currently on the site totals 3,200 square feet, equal to 16% of the lot area. The existing building footprint totals 1,200 square feet and existing paved surfaces total 2,000 square feet.

The total amount of proposed impervious surface with the proposed construction is 7,017 square feet, equal to 35% of the lot area, more than double the amount of existing impervious surface on the site. The building footprint totals 3,232 square feet and other paved surfaces including the motor court and rear patio total 3,785 square feet. In an effort to reduce the total amount of impervious surface it is recommended that consideration be given to incorporating pervious materials in some manner for instance into the driveway or motor court.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,000 square feet is permitted on the site with an allowance of 600 square feet for a garage and 400 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- Based on the City's calculation methodology, the existing residence totals 787 square feet.
- The existing single car garage totals 207 square feet.
- The proposed replacement residence totals 2,876 square feet.

- The new two car garage totals 560 square feet. A total of 600 square feet of garage space is permitted for this property. Together the existing single car garage and proposed two car garage total 767, and exceeds the permitted square footage by 167 square feet. This overage is added to the square footage of the residence.
- In addition to the above square footage, a total of 33 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed replacement residence is 122 square feet below the maximum allowable square footage or 3% below the permitted square footage for this property.

At the maximum height, the residence is 30 feet and 3 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 35 feet. The residence as presented complies with the height limitation.

Elevations – This standard is generally met.

The proposed replacement residence is in keeping with existing architectural style of the home. The main gable roof form on the existing house will be raised and expanded. The existing dormers on the front elevation will be removed, and new dormers will be built that are more proportional to the proposed larger roof mass. The new garage is a single story mass with a gable roof form that projects from the front of the home on the south side. The openings around the home consist of double hung windows, consistent with the style of the home. The home presents a mostly regular pattern of openings across the elevations of the home. As currently proposed, the south elevation has areas of large unbroken solid walls and additional openings should be incorporated to break up the solid areas and to present a more regular rhythm of openings on the elevation.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials are consistent with those on the existing residence. The proposed façade material is wood clapboard siding; trim, fascia and soffit materials are wood, and aluminum-clad wood windows with interior and exterior muntins are proposed. The roof will be wood shingle. Aluminum gutters and downspouts are proposed.

The proposed color palette includes white siding, natural wood shingle roof and white windows and trim. The petitioner provided a color rendering which is included in the Board's packet.

Landscaping – This standard can be met.

As currently proposed, a total of five Oak trees are proposed to be removed. Four of the five trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter.

The submittal of a complete tree survey is pending. Once a tree survey is received, based on the size, species and condition, the required replacement inches for the trees removed will be determined. Because most of the trees are Heritage trees, double inch for inch replacement inches will likely be required subject to information on the condition of each tree.

The conceptual landscape plan submitted by the petitioner reflects proposed plantings around the front of the property and along the north and south sides of the house. The proposed plantings include a Hemlock tree, Dogwood trees, Arborvitae and a variety of shrubs and ornamental plantings.

The Code establishes a minimum criteria for landscaping for new residential construction in addition to any replacement inches required for trees that are removed from the site. As currently proposed, the minimum criteria for landscaping is not fully satisfied and additional shade trees and understory or evergreen plantings are needed to meet the minimum landscape requirements for new residences, fulfill the required replacement inches and to, over the long term, provide some limited replacement of the extensive tree canopy that will be lost on the site. As the landscape plan is further developed it will need to be detailed with additional plantings and will be subject to review and approval by the City. A payment in lieu of on site planting is likely to be necessary in order to fully meet the required replacement inches.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations. As of the date of this writing, two neighbors have submitted letters. The letters are included in the Board's packet. No other correspondence was received regarding this request.

Recommendation

Recommend approval of demolition of a significant portion of the existing residence, the replacement residence, overall site plan and conceptual landscape plan based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. Additional pervious materials shall be incorporated on the site.
2. Additional openings shall be incorporated on the south elevation to break up the solid wall areas and to present a more regular rhythm of openings on the elevation.
3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
4. Prior to submitting plans and an application for permit, a complete tree survey shall be prepared by a Certified Arborist for the existing trees to allow a determination of the total number of replacement inches to be planted on site based on the size, species and condition of the trees to be removed.
5. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code.
6. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and properly direct drainage. Careful attention shall be paid to avoiding off site negative impacts as a result of the increased impervious surface.

7. Details of any exterior lighting that is proposed shall be provided with the plans submitted for permit. Cut sheets of all light fixtures shall be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass. All exterior lights, except for motion detector lights for security purposes, shall be set on timers to turn off no later than 11 p.m.
8. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 860 S. Green Bay Road Owner(s) 860 Green Bay LLC

Architect Peter Witmer Reviewed by: Jen Baehr

Date 3/3/2021

Lot Area 20007 sq. ft.

Square Footage of Existing Residence:

1st floor 744 + 2nd floor 91 + 3rd floor 0 = 835 sq. ft.

Design Element Allowance = 400 sq. ft.

Total Actual Design Elements = 0 sq. ft. Excess = 0 sq. ft.

Garage 207 sf actual ; 600 sf allowance Excess = 0 sq. ft.

Garage Width 10 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 835 sq. ft.

Square Footage of Proposed Additions:

1st floor 1692 + 2nd floor 1184 + 3rd floor 0 = 2876 sq. ft.

New Garage Area 560 sq. ft. Excess = 167 sq. ft.

New Design Elements 33 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3878 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4000 sq. ft.

DIFFERENTIAL = 122 sq. ft. **NET RESULT:**
Under Maximum

122 sq. ft. is

3.0% under the
Max. allowed

Allowable Height: 35 ft. Actual Height 30'-3"

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 400 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

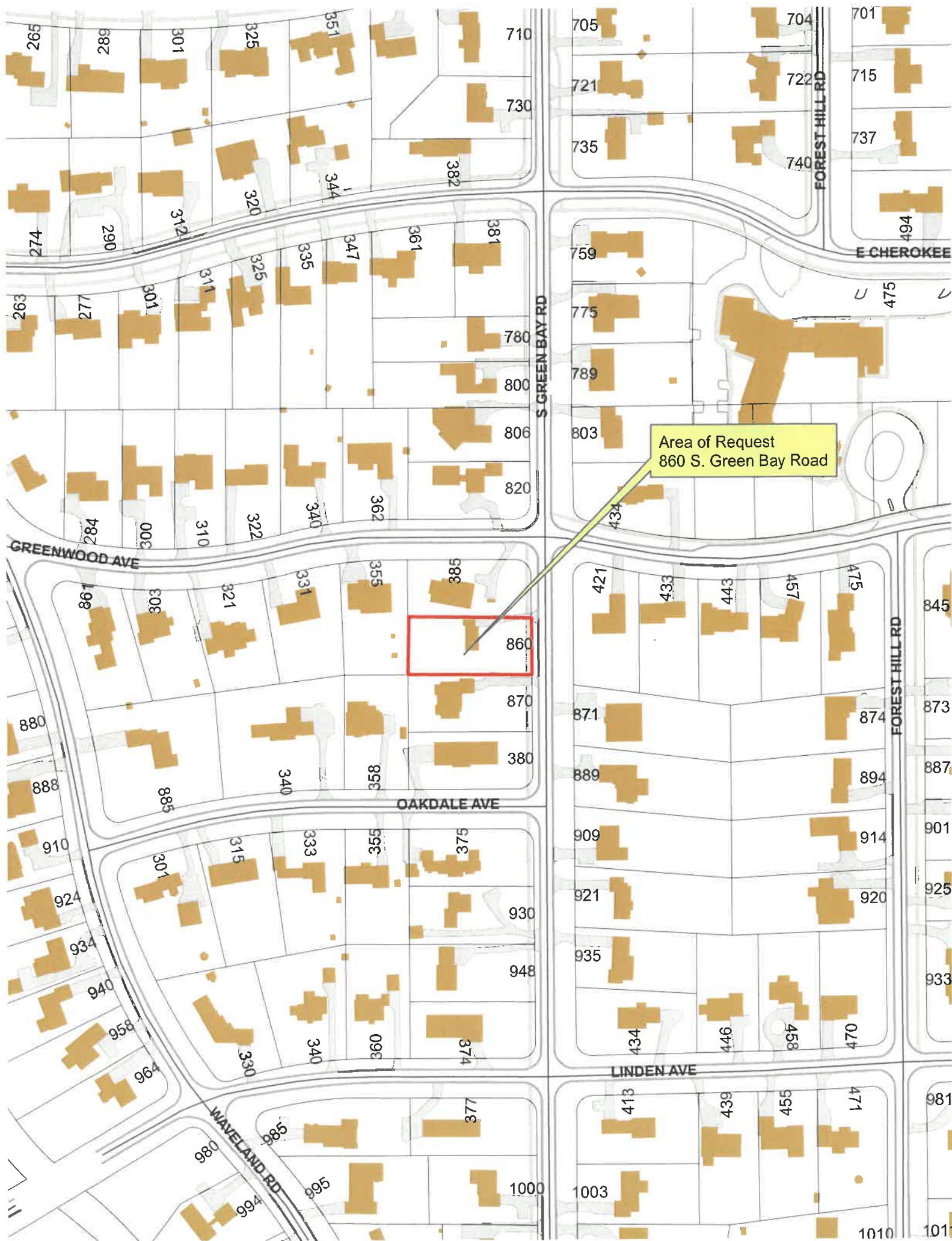
Pergolas = 0 sq. ft.

Individual Dormers = 33 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 33 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
860 S. Green Bay Road



Area of Request
860 S. Green Bay Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 860 S. Green Bay Rd

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

860 Greenbay, LLC.
Owner of Property

949 N. Sheridan Rd., L.F.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL. 60045
City, State and Zip Code

(847) 345-8862
Phone Number Fax Number

jamie@altouniv.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

PETER WITMER
Name and Title of Person Presenting Project

WITMER & ASSOCIATES
Name of Firm

1000 N. WESTERN AVE
Street Address

LAKE FOREST, IL 60045
City, State and Zip Code

847-234-5240
Phone Number Fax Number

PWITMER@WITMERANDASSOC.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>James Altounian II</u>	Name _____
Address <u>9419 N. Sheridan Rd.</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage <u>10</u> %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

860 S GREEN BAY ROAD

LAKE FOREST

January 22, 2021

Building Review Board
City of Lake Forest
800 North Field Drive
Lake Forest, Illinois 60045

Project: 860 S Green Bay Road
Statement of Intent

The existing home at 860 S Green Bay Rd is a 1,430 sq ft building with three bedrooms and two bathrooms. Built in 1939, the structure is clad with wood siding and features double hung windows and cedar shingle roof with a 12:12 pitch.

An addition will be built to give the house six bedrooms, five bathrooms, and one half bathroom. The new footprint of the building including the garages will be 3,200 sq ft. Because the existing single car garage is insufficient and the structure already sits on the side yard setback, a new two car garage has been added to the southern portion of the home.



The addition is designed to keep the simplicity of the existing structure's massing and to minimize changes to the front elevation from the street. The low eave height in the front is like that of the surrounding homes in the neighborhood, while the raised eave in the back allows for more useable space on the second floor. Like the existing home, roofs will be gabled, and the massing of the house will be compact. Exterior materials of the addition will match those of the existing building.

WITMER & ASSOCIATES

1000 N Western Ave, Lake Forest, Illinois 60045 847 234-5240

860 S GREEN BAY RD

LAKE FOREST

January 22, 2021

Building Review Board
City of Lake Forest
800 North Field Drive
Lake Forest, Illinois 60045

Project: 860 S Green Bay Rd
Impervious Surface Calculation

Existing Site Conditions (All areas given in sq.ft.)

Existing Building Footprint	1,200
<u>Existing Paved Surfaces</u>	<u>2,000</u>
Total Existing Impervious area	3,200
 Total Existing Site Area	 20,025

Existing Percentage of Site Area	16.0%
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Proposed Improvements (All areas given in sq.ft.)

Proposed Footprint	3,232
<u>Proposed Paved Surfaces</u>	<u>3,785</u>
Total Proposed Impervious Area	7,017

Total Proposed Site Area	20,025
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Proposed Percentage of Site Area	35.0%
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THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material White

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco

Roofing

Primary Roof Material

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Sheet Metal _____
- ☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

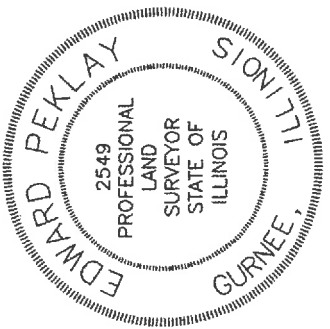
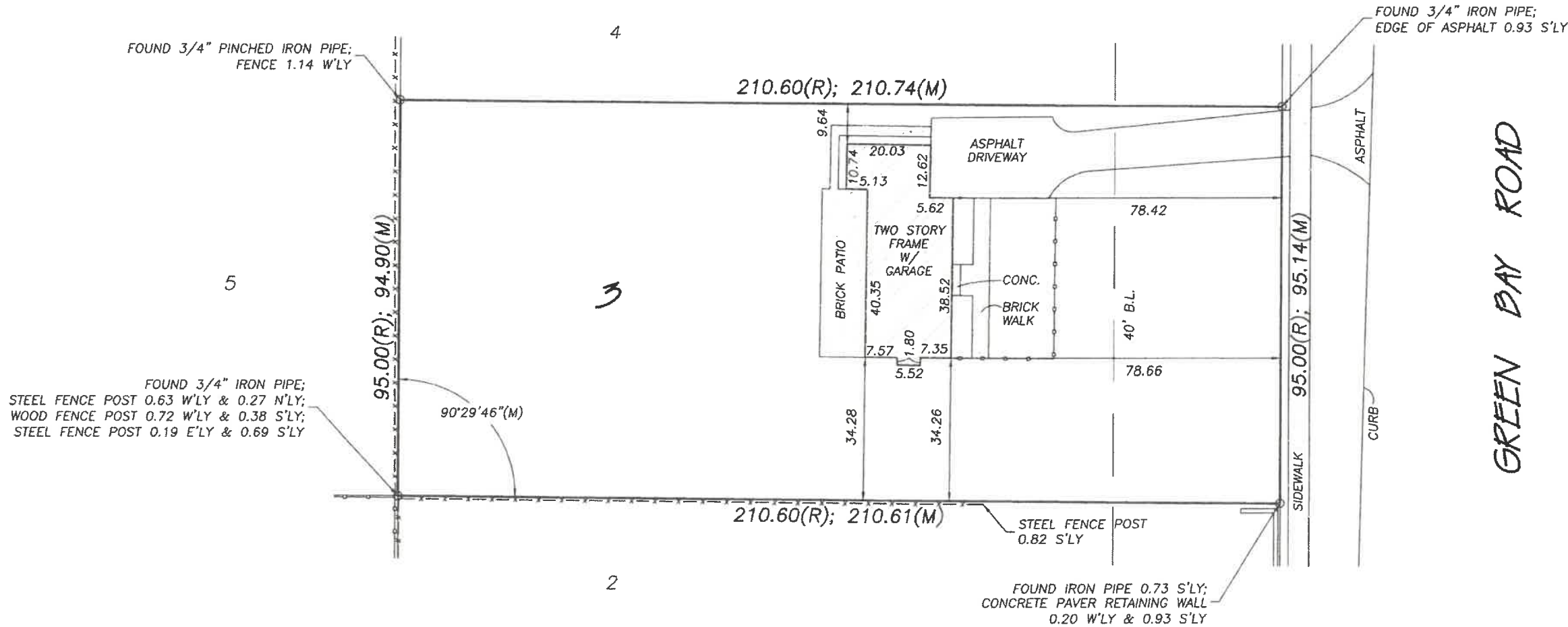
- ☒ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

(847) 336-0059 phone
(847) 336-8753 fax

163 N. GREENLEAF ST.
SUITE 1
GURNEE, IL. 60031-3344

PEKLAY SURVEYING CO., LTD.
PLAT OF SURVEY

LOT THREE (3) IN BLOCK TWO (2) IN H.O. STONE AND AND CO.'S LAKE FOREST ADDITION, A SUBDIVISION IN SECTIONS EIGHT (8) AND NINE (9), TOWNSHIP FORTY-THREE (43) NORTH, RANGE TWELVE (12), EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SUBDIVISION RECORDED NOVEMBER 28, 1924, AS DOCUMENT NUMBER 249300, IN BOOK "N" OF PLATS, PAGES 60 AND 61, IN LAKE COUNTY, ILLINOIS.



STATE OF ILLINOIS
COUNTY OF LAKE
S.S.
THIS PROFESSIONAL SERVICE CONFORMS
TO THE CURRENT ILLINOIS MINIMUM
STANDARDS OF PRACTICE APPLICABLE
TO BOUNDARY SURVEYS.

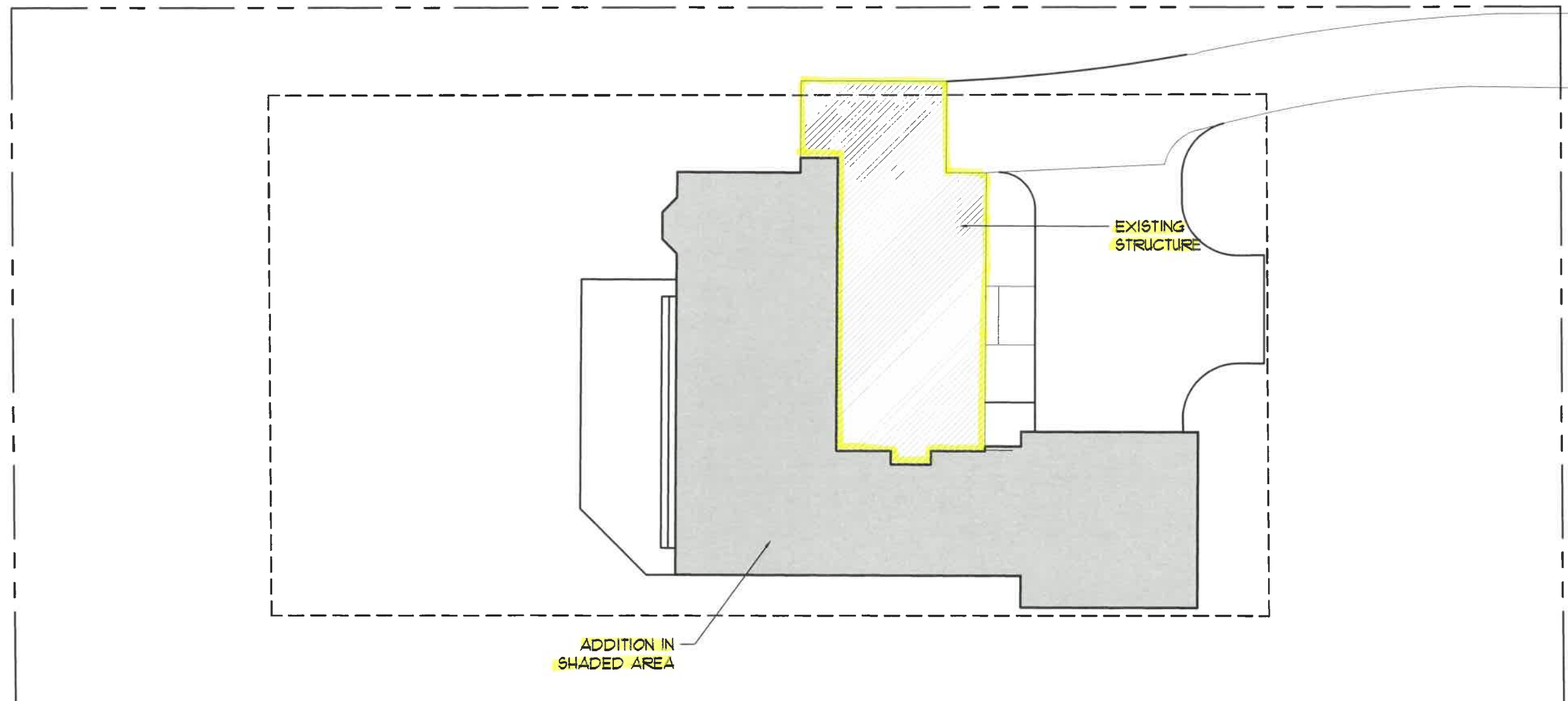
GURNEE, IL. 10/16 A.D. 20_20
PEKLAY SURVEYING CO., LTD.
PROFESSIONAL DESIGN FIRM NO. 2981

BY *Edward Peklay*
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2549. MY LICENSE EXPIRES 11/30/2022

ALL DISTANCES IN FEET AND DECIMAL
PARTS THEREOF. NO DIMENSIONS TO
BE ASSUMED BY SCALING.
DATE OF FIELD WORK: 10/12/20
SCALE: One inch = 30 feet
FILE NO. 20-362
ORDERED BY: T. BOND
PROPERTY ADDRESS: 860 S. GREEN
BAY RD., LAKE FOREST, ILLINOIS

Legend
(R)= Record
(M)= Measure
B.L.= Building Line
—o—o— = Wood Fence
—x—x— = Chain Link Fence
Area = 19,950 sq. ft. (R)

NOTE: Only those Building Line
Restrictions or Easements shown
on a Recorded Subdivision Plat
are shown hereon unless the des-
criptions ordered to be surveyed
contains a proper description of
the required building lines or
easements.
Compare your description and
site markings with this plat and
AT ONCE report any discrepancies
which you may find.







NORTH



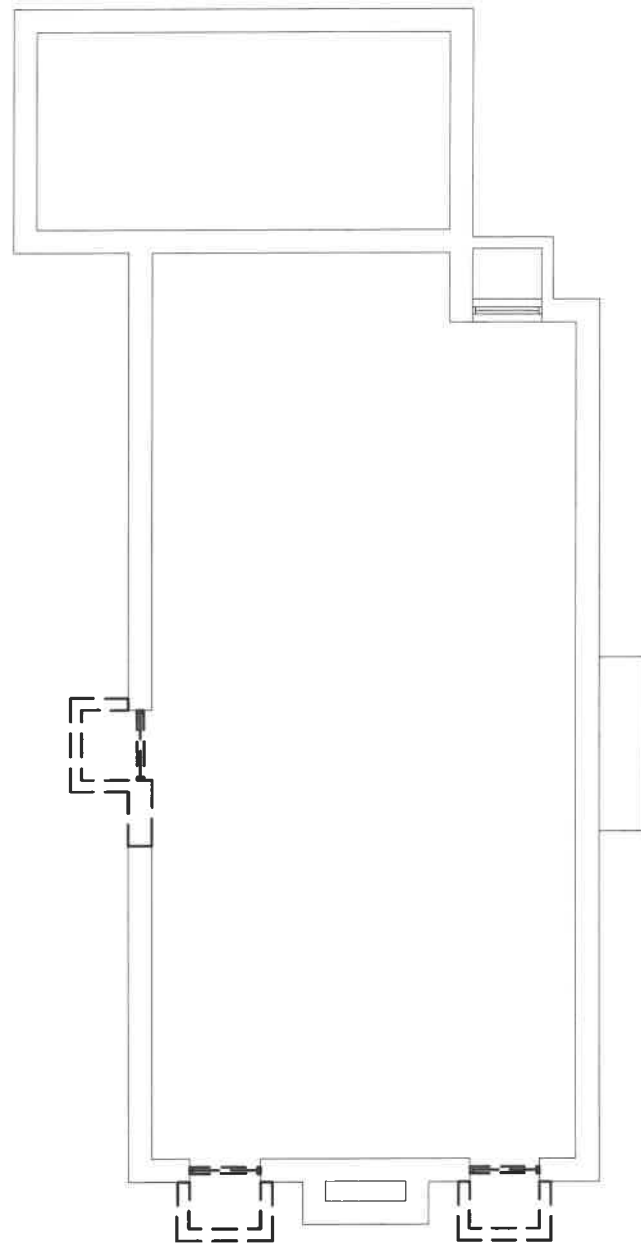
WEST



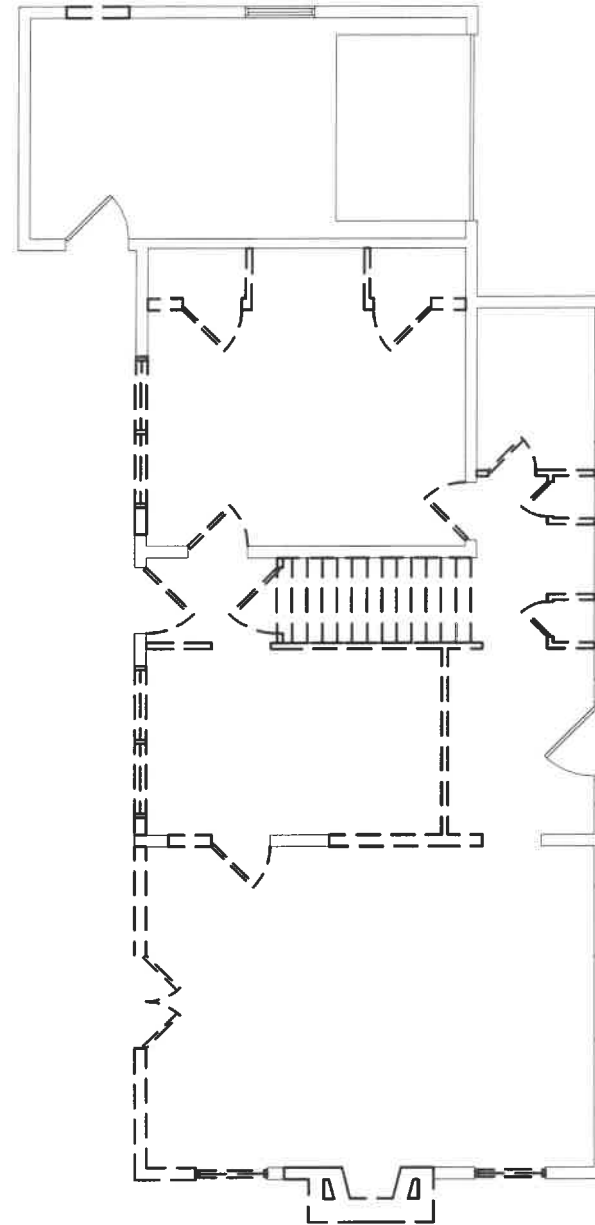
SOUTH



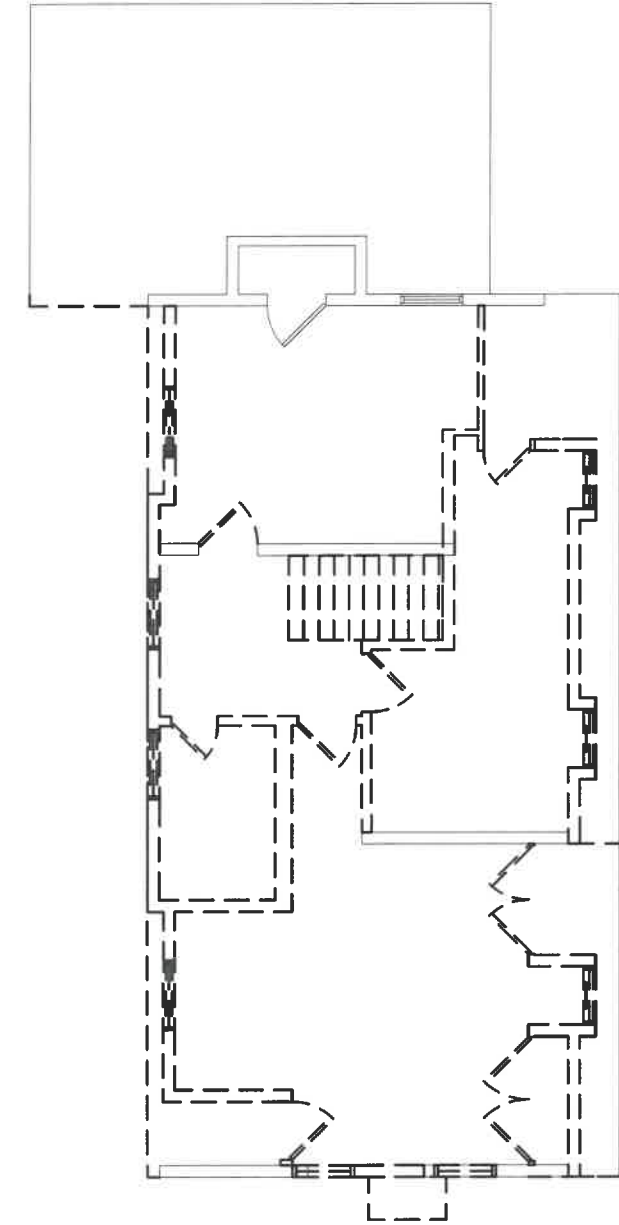
EAST



BASEMENT



FIRST FLOOR



SECOND FLOOR



- CEDAR SHINGLES
- ALUM CLAD DOUBLE HUNG WINDOWS
- WOOD SIDING & TRIM TO MATCH EXISTING
- WOOD SHUTTERS w/ HINGES & SHUTTER DOGS
- ALUM CLAD DOUBLE HUNG WINDOWS



SOUTH



EAST



Witmer & Associates
Architecture and Interior Design
witmerandassoc.com

860 S Green Bay Rd
ELEVATIONS

2021.02.08 SCALE: 1/8"= 1'-0"



SOUTH



EAST



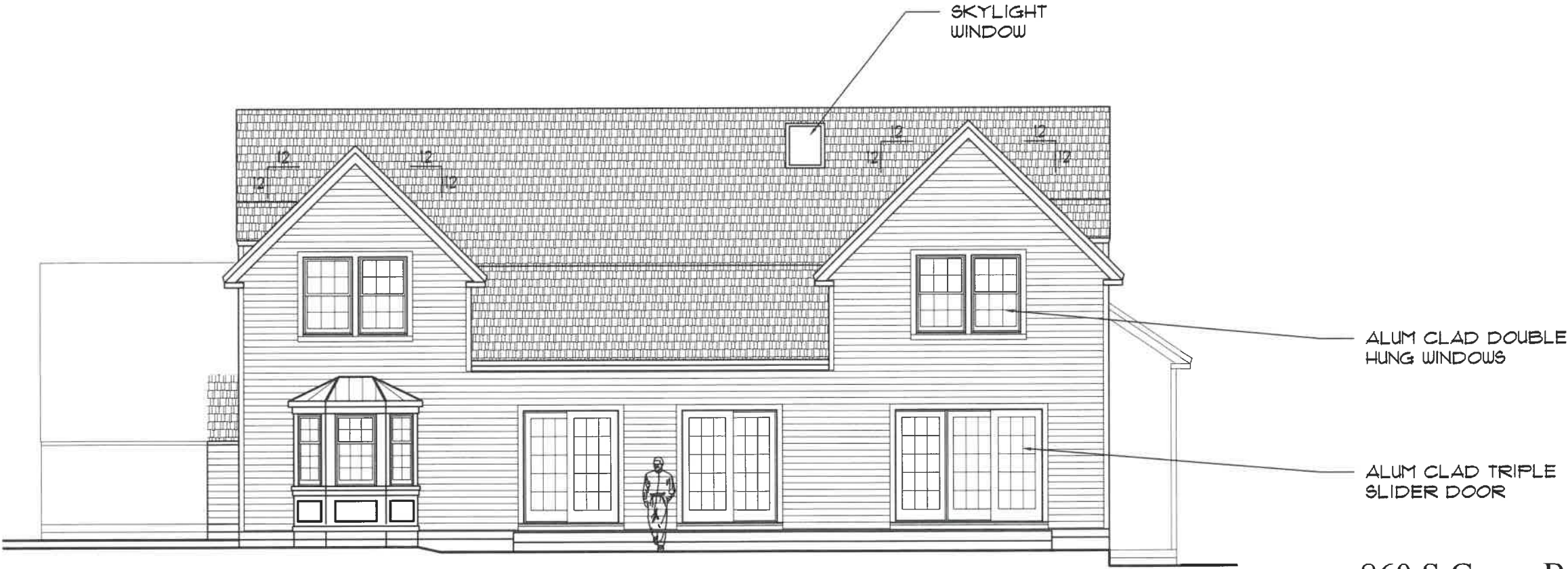
Witmer & Associates
Architecture and Interior Design
witmerandassoc.com

860 S Green Bay Rd
ELEVATION OVERLAYS

2021.02.08 SCALE: 1/8"= 1'-0"



NORTH



WEST

860 S Green Bay Rd
ELEVATIONS

2021.02.08 SCALE: 1/8"= 1'-0"



Witmer & Associates
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witmerandassoc.com



NORTH



WEST



Witmer & Associates
Architecture and Interior Design
witmerandassoc.com

860 S Green Bay Rd
ELEVATION OVERLAYS

2021.02.08 SCALE: 1/8"= 1'-0"



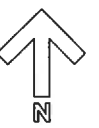
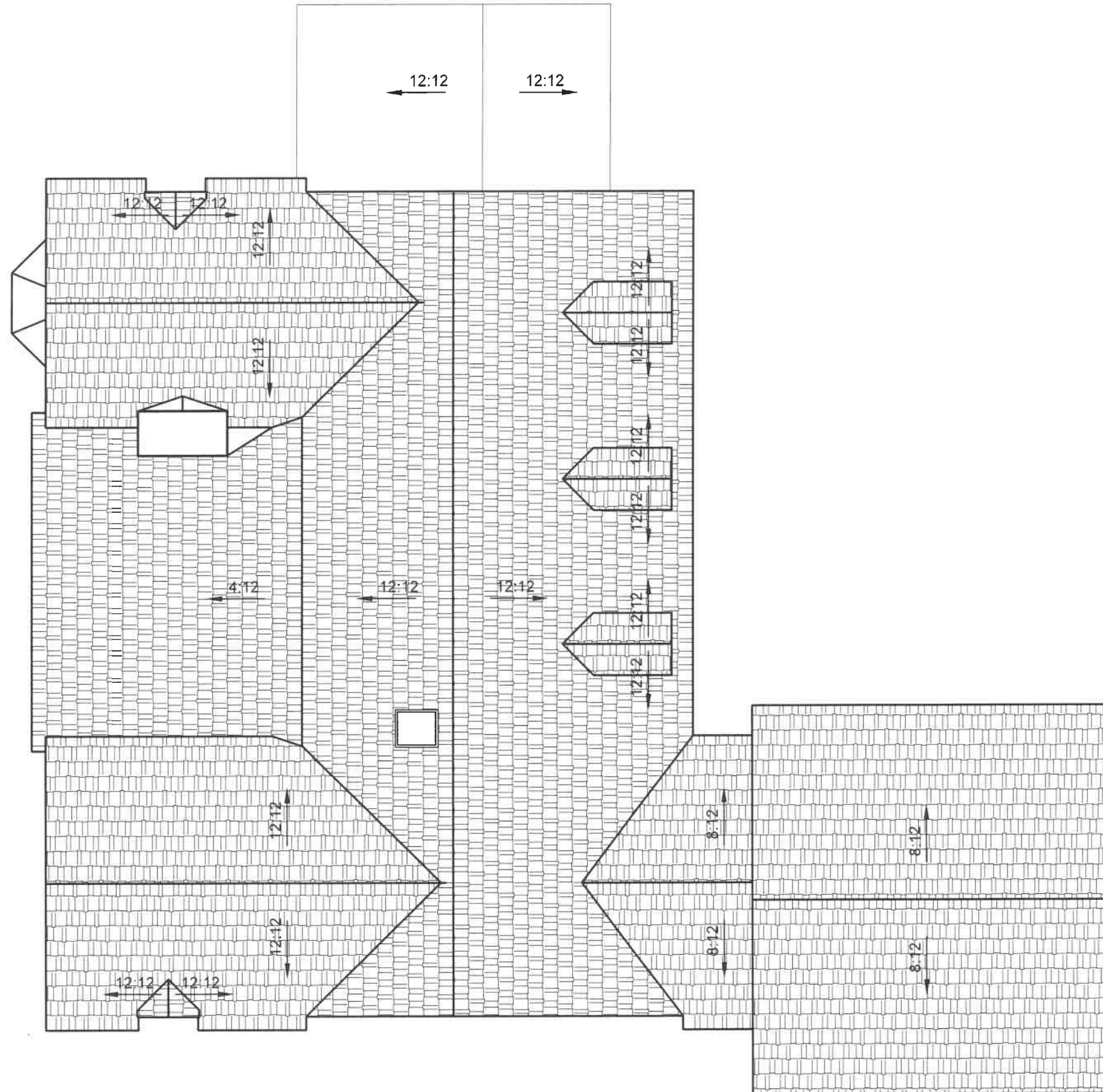
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Architecture and Interior Design
witmerandassoc.com

860 S GREEN BAY RD
RENDERING

February 8, 2021

SCALE: N.T.S.

PROPOSED ROOF PLAN

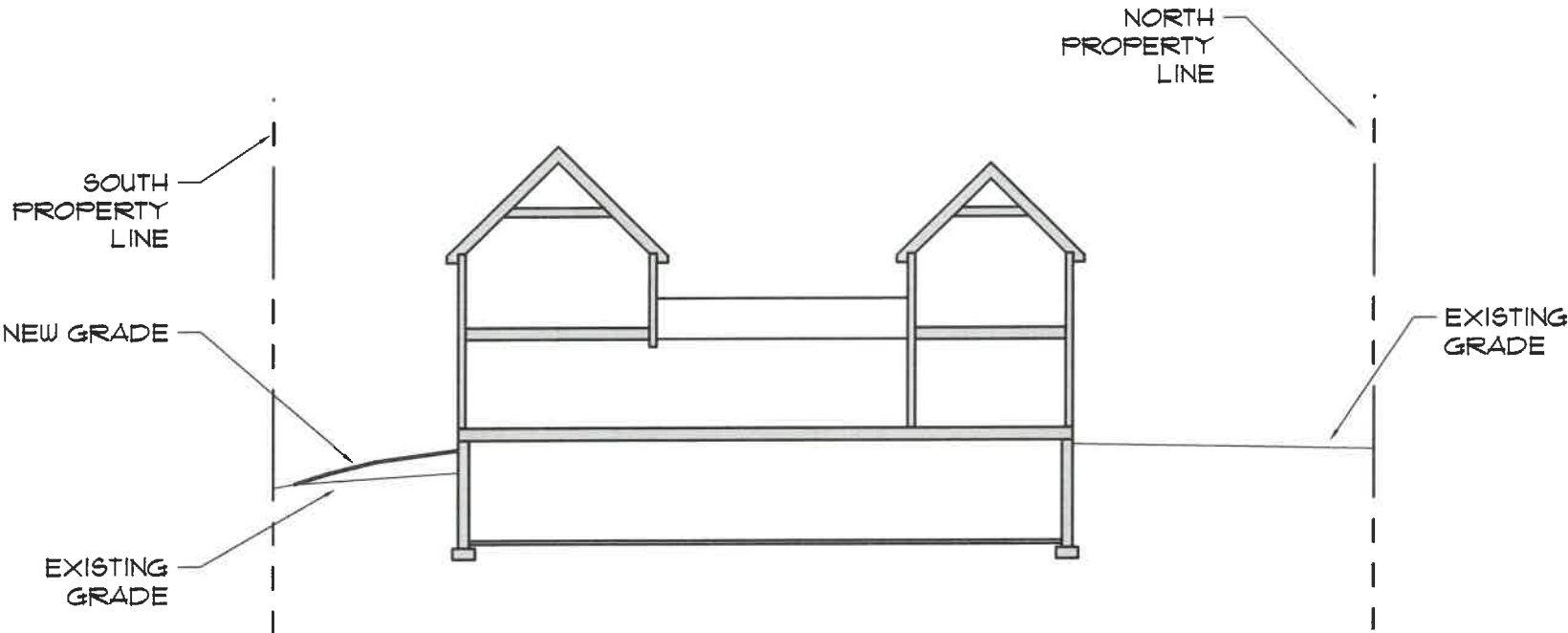


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Architecture and Interior Design
witmerandassoc.com

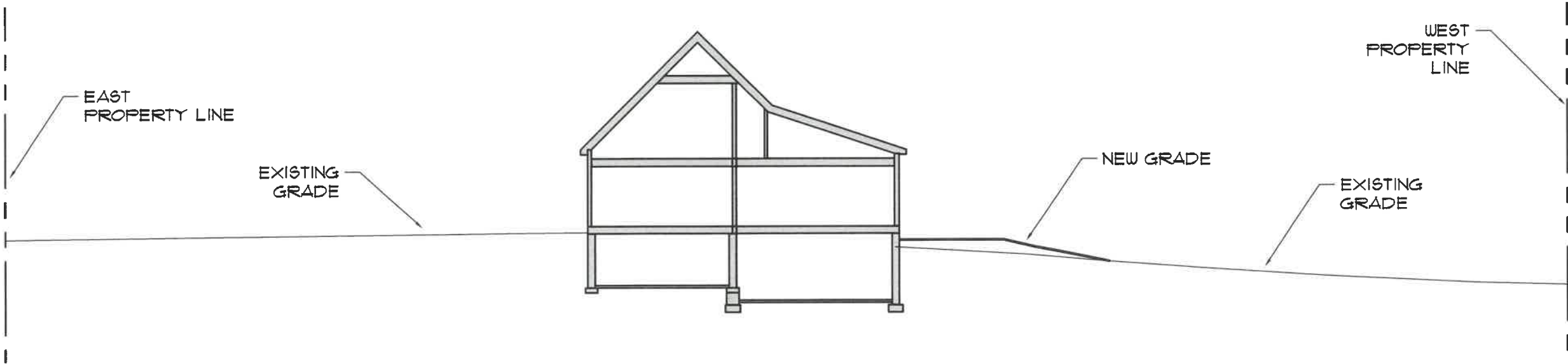
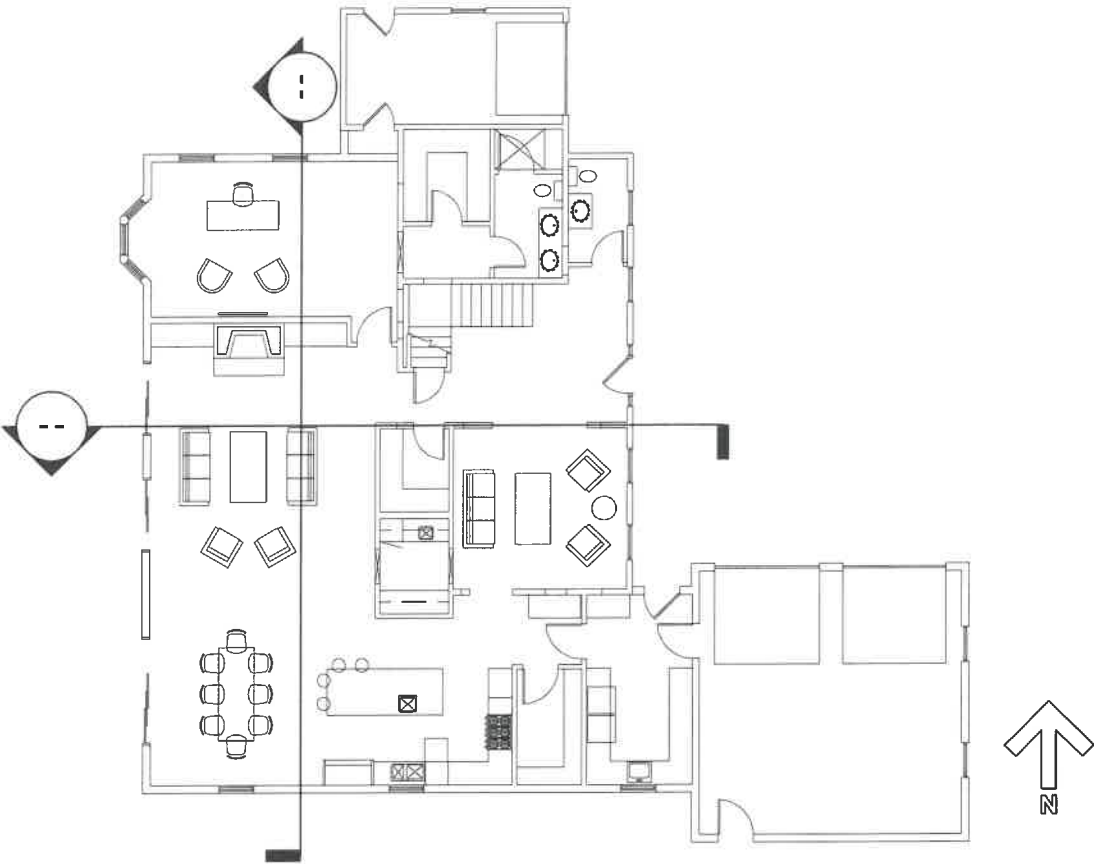
860 S GREEN BAY RD
ROOF FLOOR PLAN

2021.01.22

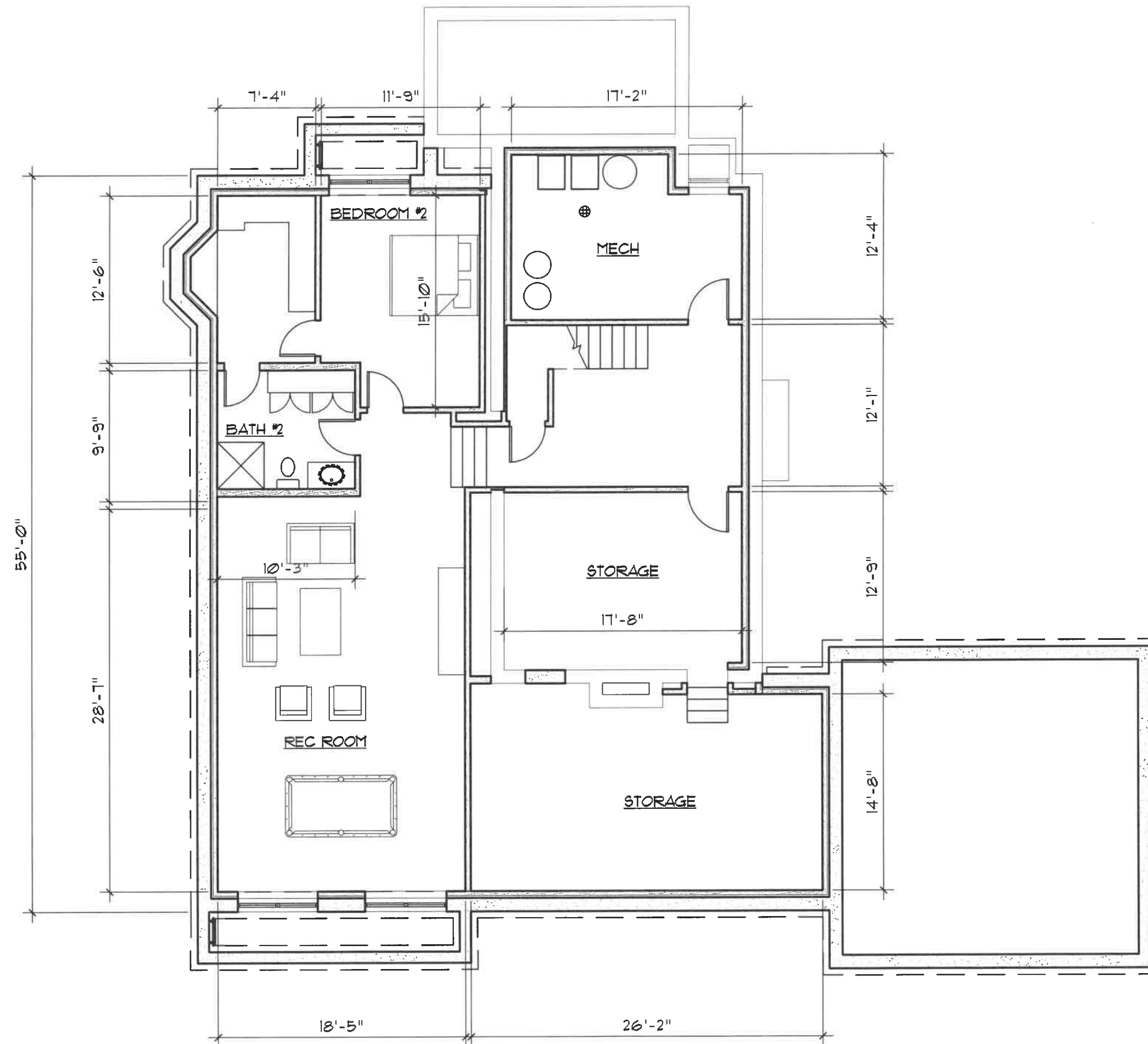
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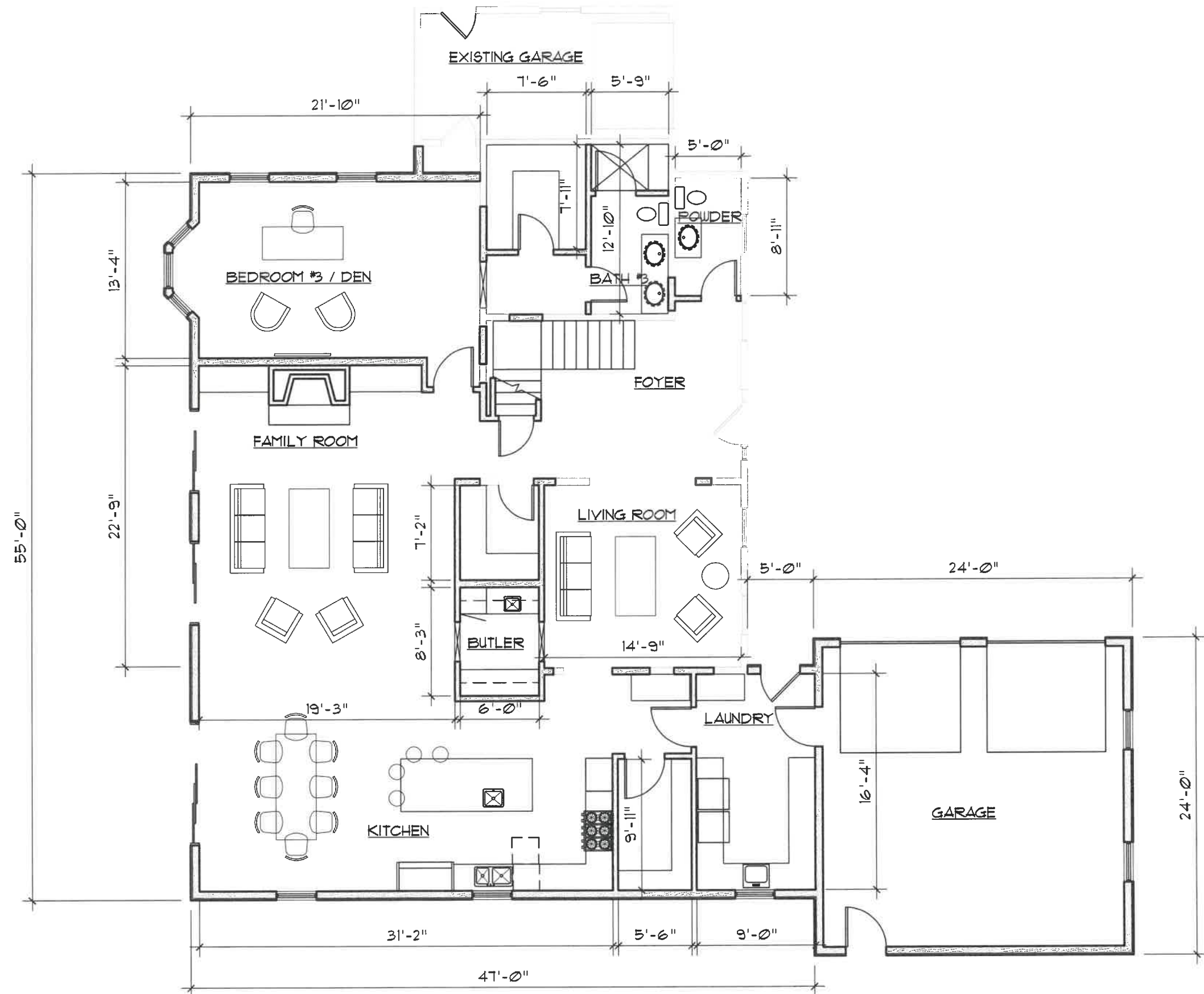
LOOKING WEST



LOOKING SOUTH

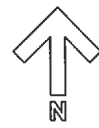
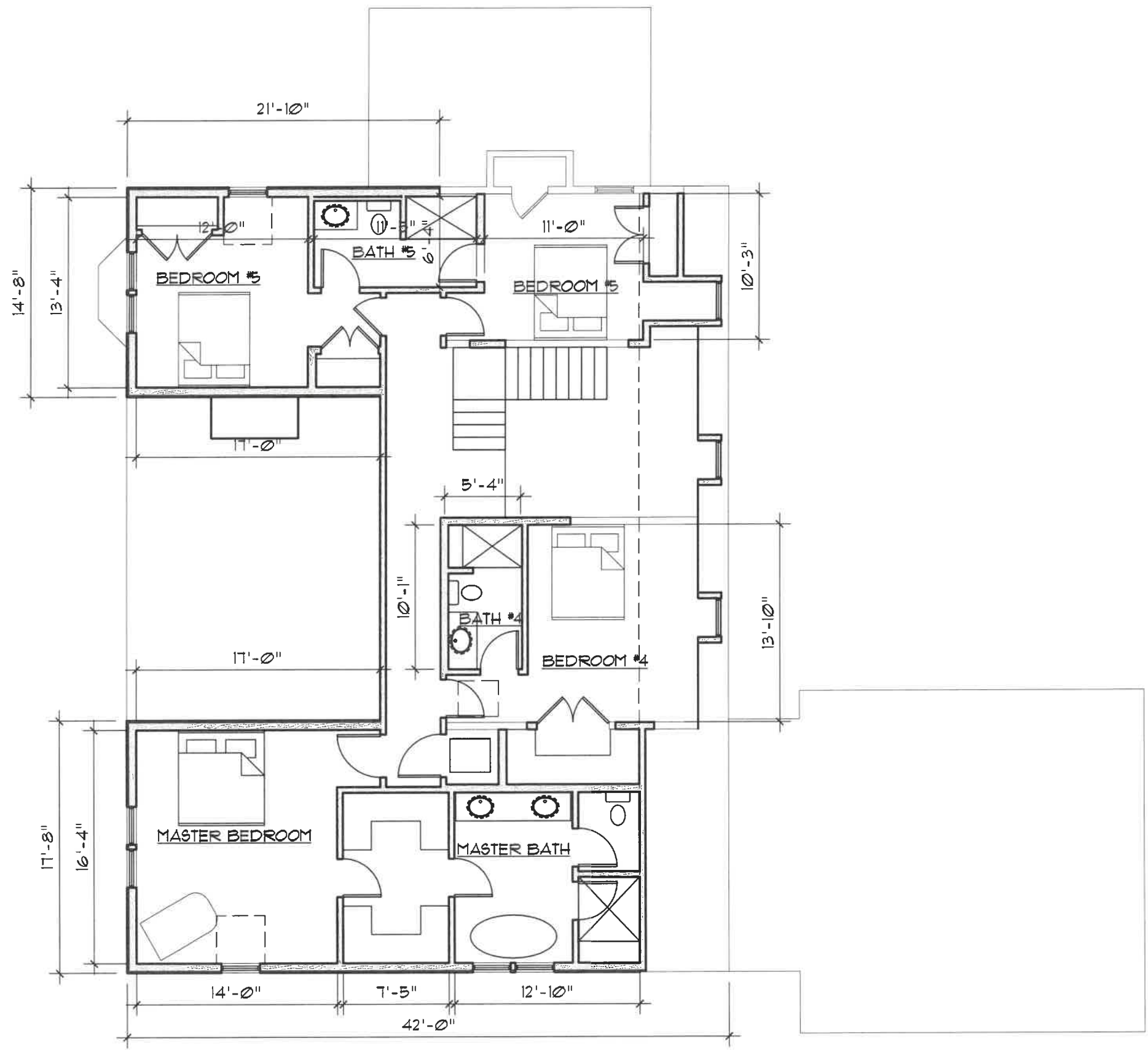


PROPOSED FIRST FLOOR PLAN



Witmer & Associates
Architecture and Interior Design
witmerandassoc.com

860 S GREEN BAY
FIRST FLOOR PLAN
2021.01.22 SCALE: 1/8" = 1'-0"



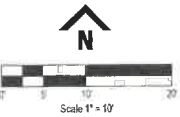
860 S Green Bay Road, Lake Forest, Illinois

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 W bleckeng.com

860 S Green Bay Rd
Lake Forest, IL



BENCHMARK:
ELEVATION =
ALL ELEVATIONS ON THESE PLANS ARE ON
CITY OF LAKE FOREST (USGS NAVD 88)
DATUM.

ISSUED DATE	ISSUED FOR
01.12.2021	REVIEW

PROFESSIONAL SEAL
"To the best of our knowledge and belief,
the drainage of the surface waters will
not be changed by the construction of
this project or any part thereof, or that if
such surface waters drainage will be
changed, reasonable provisions have
been made for the collection and
diversion of such surface waters into
public areas or drains which the
developer has a right to use, and that
such surface waters will be planned for
in accordance with generally accepted
engineering practices so as to reduce
the likelihood of the damage to the
adjoining property because of the
construction of the project."

Michael G. Bleck, PE 01.12.2021

License No. 002-046893 Expires 11/30/2021

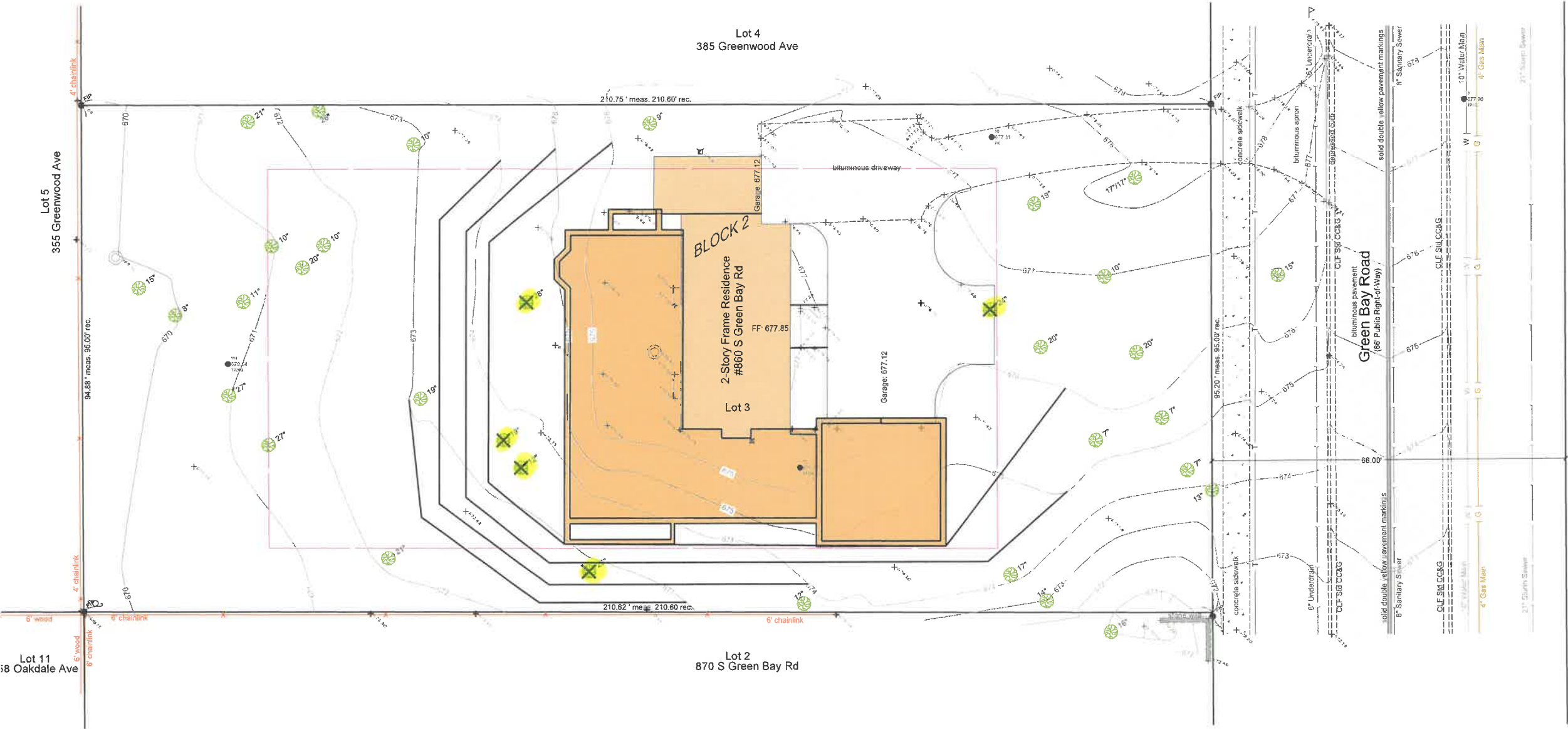
JAMIE ALTOUNIAN
Client Address
Lake Forest, Illinois 60045

70-1187	Project No.
MB	Drawn By
MGB	Checked By

Drawing No.

1

Drawing Name
Existing Topography





Tree Inventory

This is a heavily wooded site. All trees on the property have been measured at DBH and sited on survey. Of the (31) total 4"+ trees on site, (5) highlighted are proposed for removal.

Front Yard (measured DBH)

17"/17" Double trunk Oak
 19" Oak
 10" Oak
 24" White Oak – to be removed
 20" Oak
 20" Oak
 7" White Oak
 7" Oak
 7" Maple
 13" Maple

South Property Line

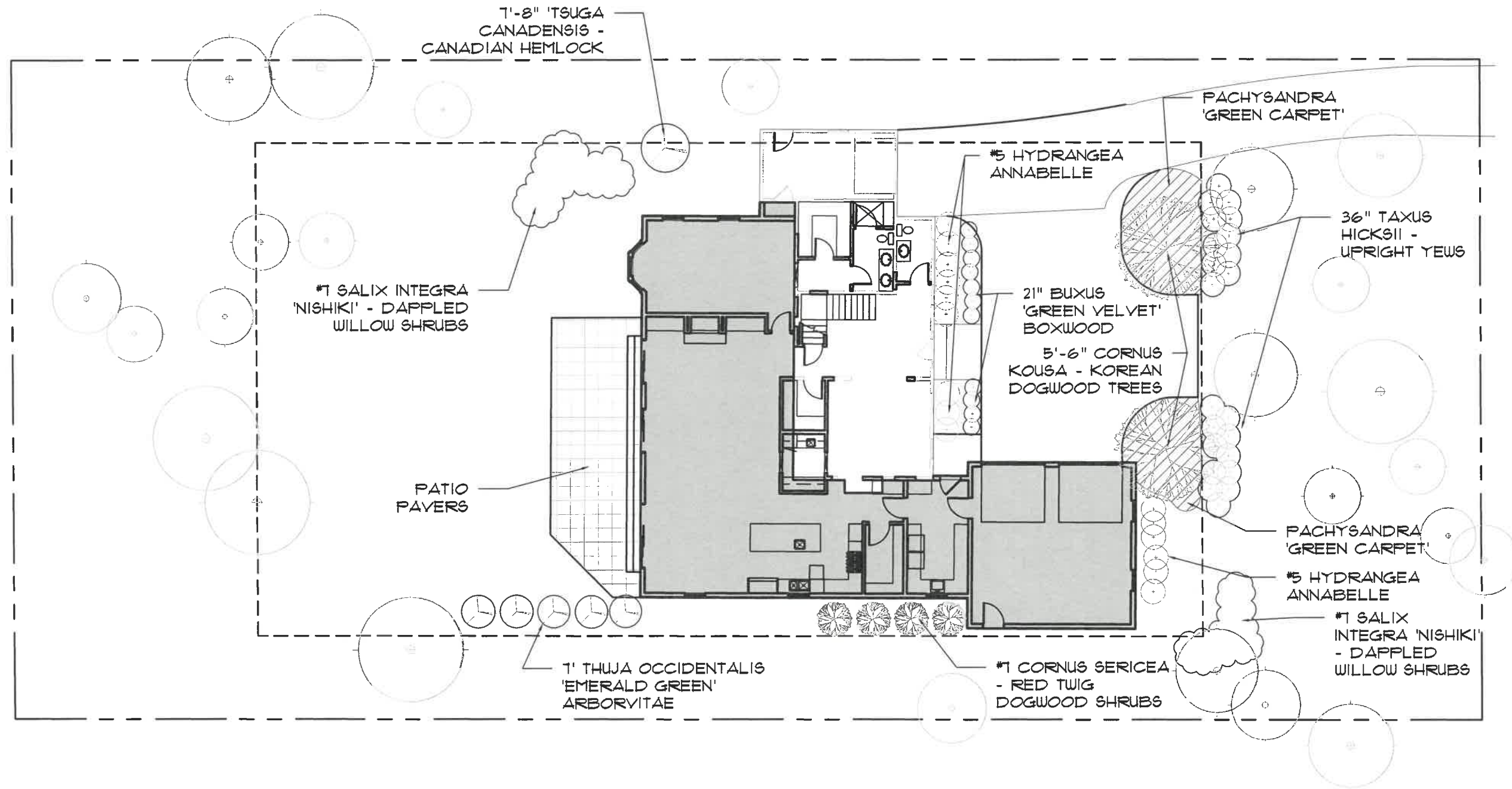
17" Maple
 14" Maple
 12" Undetermined
 25" White Oak – to be removed
 21" Oak

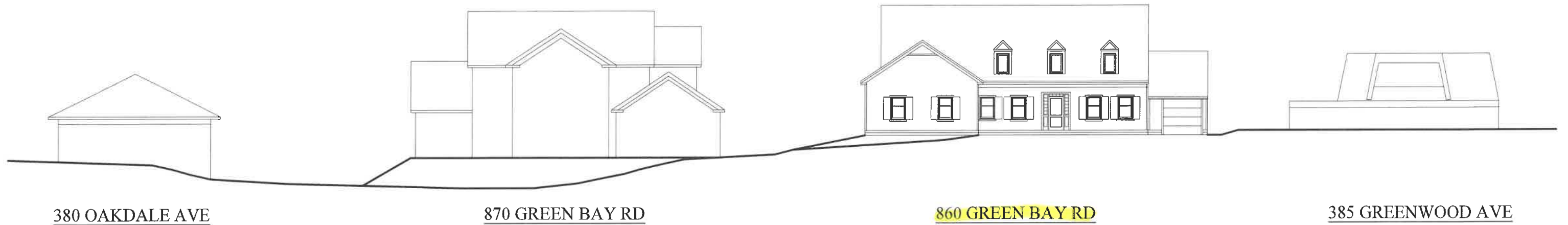
Rear Yard

12" Oak – to be removed
 19" Oak – to be removed
 28" Oak – to be removed
 19" Oak
 21" Oak
 10" Undetermined
 20" Oak
 10" Undetermined
 11" Undetermined
 27" White Oak
 27" Oak
 8" Maple
 15" Undetermined

North Property Line

9" Maple
 10" Maple
 26" Oak
 21" Oak

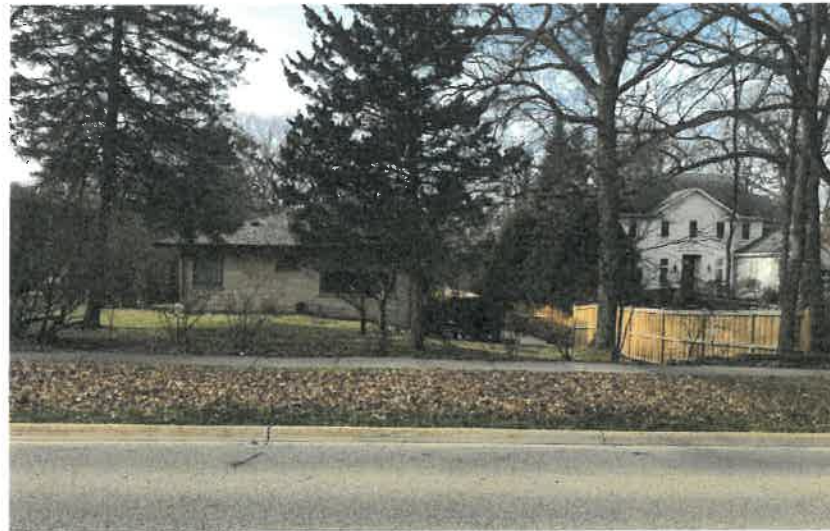




WEST



EAST



380 OAKDALE AVE



870 GREEN BAY RD



385 GREENWOOD AVE



421 GREENWOOD AVE



871 GREEN BAY RD



889 GREEN BAY RD



860 GREEN BAY RD

Agenda Item 4
1380 Oak Knoll Drive
New Residence

Staff Report
Building Scale Summary
Vicinity Map

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed East (Front) Elevation
Proposed South Elevation
Proposed West (Rear) Elevation
Proposed North Elevation
Color Rendering
Roof Plan
Building Section
First Floor Plan
Second Floor Plan
Preliminary Site Grading Plan & Tree Removal Plan
Tree Inventory
Preliminary Landscape Plan

1380 Oak Knoll Drive

Consideration of a request for approval of a new residence and attached garage, a conceptual landscape plan and overall site plan.

**Property Owner: Marlin Ventures LLC
(Paul Lopata, 33%, Steven Brown, 33% Ed Yawitz, 33%)
Contract Purchaser: Peter Childs, Childs Development
Project Representative: Jeff Letzter, Aspect Design Inc.**

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

Description of Property

The property is located on the west side of Oak Knoll Drive, between Old Mill Road and Estate Lane East. The property is Lot 2 of the Estate Lane subdivision. The subdivision consists of three lots and was recorded in 2016. New residences on Lots 1 and 3 were recently approved by the Board. The property that is the subject of this request totals 22,007 square feet and is rectangular in shape. As established by the subdivision approval, this property has a 30 foot tree preservation easement along the north property line, along Estate Lane East.

The surrounding neighborhood contains homes of varying architectural styles built mostly during the 1980s. The construction of three new homes in this established neighborhood is significant and should be considered carefully to ensure that the new homes fit quietly into the character of the neighborhood and generally offer the same quality of detail, construction and materials as the surrounding development.

Review and Evaluation of Applicable Standards

Site Plan – This standard is met.

The proposed residence faces east, toward Oak Knoll Drive, with the attached side-load garage facing south. The curb cut is proposed on Oak Knoll Drive. A paver walkway is proposed from the front porch to the driveway and a paver stoop and patio are proposed on the south side of the residence.

Based on information submitted by the petitioner, the amount of proposed impervious surface on the site totals 5,263 square feet, equal to 24% of the site. The building footprint totals 2,792 square feet and other paved surfaces including the driveway, patio and walkways total 2,471 square feet.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,100 square feet is permitted on the site along with 410 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and screen porches. A garage of up to 600 square feet is also permitted

- The proposed residence totals 4,070 square feet.

- In addition to the above square footage, a total of 334 square feet of design elements are incorporated into the design of the house.
- The proposed garage totals 688 square feet. The garage overage of 88 square feet must be added to the total square footage of the residence.
- In total, the residence is 30 square feet, equal to 0.75% under the maximum allowable square footage.

At the maximum height, the residence is 31 feet and 3 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 35 feet.

Elevations – This standard is met.

According to the petitioner's statement of intent, the proposed residence is designed in the Dutch Colonial Revival architectural style. The main residence presents a two and a half story massing and the garage is a one and half story mass. The home features elements common to the Dutch Colonial Revival style such as a gambrel roofs, single shed dormers, double hung windows, an open porch and flared eaves.

Type, color, and texture of materials – This standard is met.

Fiber cement shingle siding is proposed for the exterior wall material. The roof material is architectural asphalt shingle. Wood is proposed for the fascia, soffit and trim material. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The proposed chimney is brick veneer. Concrete pavers are proposed for the patio and walkways and the driveway is asphalt.

The proposed color palette includes beige shingle siding, black asphalt shingle for the roof, and white windows and trim. The petitioner provided a color rendering and is included in the Board's packet.

Landscaping – This standard can be met.

As currently proposed, a total of five trees are proposed to be removed. The trees proposed for removal consist of Elm, Maple, Spruce and Crabapple trees. The Elm trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter. Based on the species, size and condition of the trees proposed for removal, a total of 102 replacement inches will be required to be planted on site to the extent possible using good forestry practices. The total replacement inches required does not include replacement inches for low quality trees or trees in poor condition proposed for removal.

The conceptual landscape plan submitted by the petitioner reflects proposed plantings around the foundation of the house and plantings at the northwest corner of the site and along the south property line. The proposed plantings include Spruce, Tulip, Gingko, Pear and Redbud trees, Serviceberry, and a variety of shrubs, grasses and ornamental plantings. As reflected on the landscape plan, many existing trees are located on the north and east sides of the site.

Based on the preliminary landscape plan, the total number of replacement inches is not completely satisfied. Given the wooded character of the area, on site planting of trees that will mature and provide a canopy is encourage if possible given the limitations of the site. If the full amount of required replacement inches cannot be accommodated on site a payment in lieu of on site plantings

will be required before the issuance of a building permit. In addition to the required replacement inches, the Code establishes a minimum criteria for landscaping for new residential construction. As currently proposed, the minimum criteria for landscaping is satisfied.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. Any modifications to the plans including those made in response to Board direction and those made as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. The final grading and drainage plan shall demonstrate that the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices and provide for proper drainage and to minimize any off site impacts. The City is aware of drainage concerns on neighboring properties, the City Engineer shall be directed to look at the larger area and the potential for any off site negative impacts when reviewing the drainage and grading plan for this property.
3. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, the minimum landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. If the full amount of required replacement inches which totals 102 cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.
4. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.

5. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view.
6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1380 Oak Knoll Drive Owner(s) Marlin Ventures LLC
Jeff Letzter, Project Manager Reviewed by: Jen Baehr
 Date 3/3/2021
 Lot Area 22007 sq. ft.

Square Footage of New Residence:

1st floor 1772 + 2nd floor 1870 + 3rd floor 340 = 3982 sq. ft.

Design Element Allowance = 410 sq. ft.

Total Actual Design Elements = 334 sq. ft. Excess = 0 sq. ft.

Garage 688 sf actual ; 600 sf allowance Excess = 88 sq. ft.

Garage Width 23'-6" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 4070 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4100 sq. ft.

DIFFERENTIAL = -30 sq. ft.
Under Maximum

Allowable Height: 35 ft. Actual Height 31'-3" ft.

NET RESULT:

30 sq. ft. is

0.75% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 410 sq. ft.

Front & Side Porches = 258 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 37 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

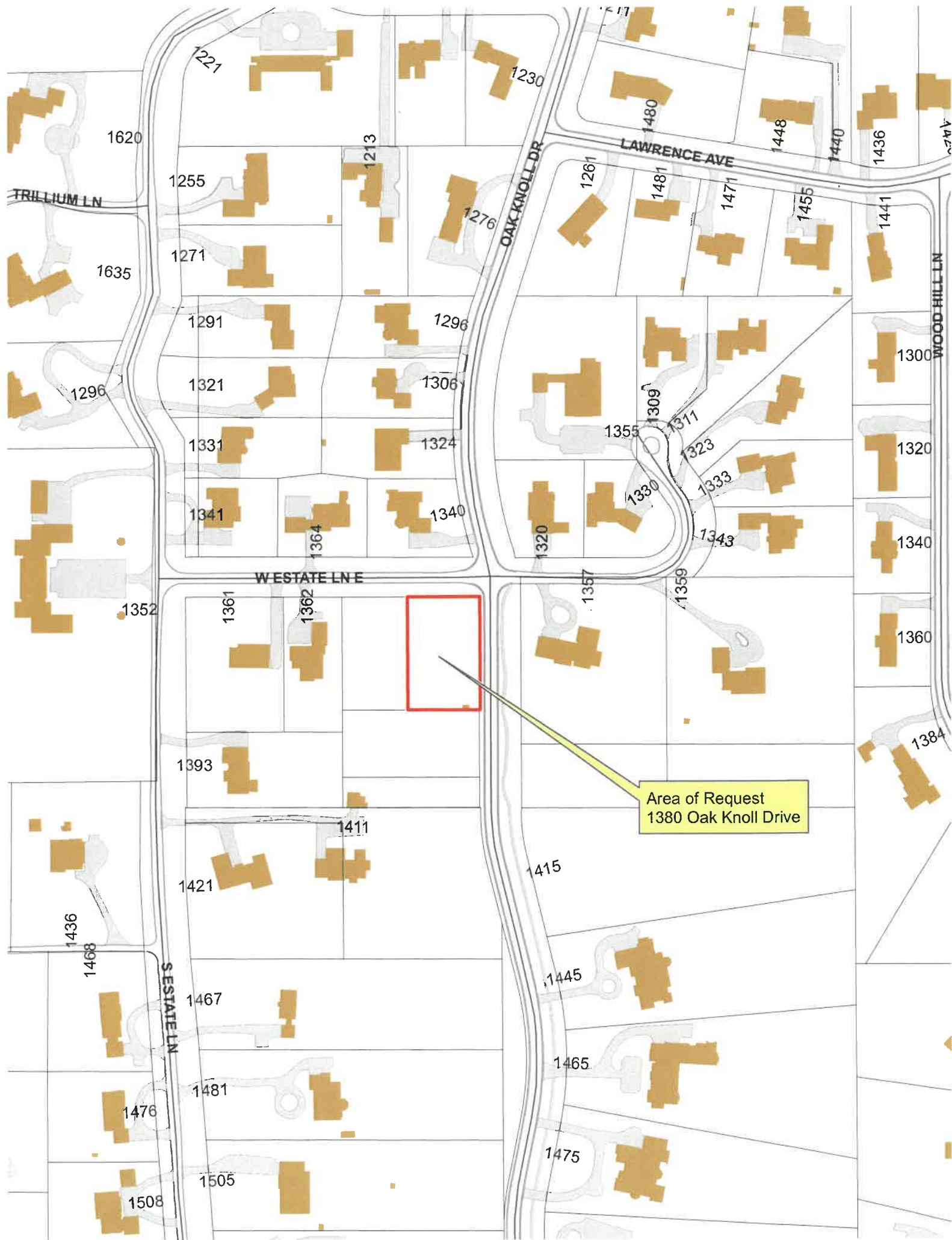
Pergolas = 0 sq. ft.

Individual Dormers = 24 sq. ft.

Bay Windows = 15 sq. ft.

Total Actual Design Elements = 334 sq. ft.

Excess Design Elements = 0 sq. ft.





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1380 OAK KNOLL DRIVE /
LOT Z ESTATE LANE, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Marlin Ventures LLC
Owner of Property

329 Kingston Terrace
Owner's Street Address (may be different from project address)

Deerfield, IL 60015
City, State and Zip Code

847.361.7577
Phone Number

lopata.paul@gmail.com
Email Address

Paul E. Zys, Manager
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZTER, PROJECT MANAGER
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26875 COMMERCE DRIVE #607
Street Address

Volo, IL 60073
City, State and Zip Code

847.457.2500
Phone Number

jeletzter@aspectdesigninc.com
Email Address

Jeff Letzter
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

EXHIBIT "A"**CORPORATE OWNERSHIP**

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

NAME Paul Lopata
ADDRESS 329 Kingston Terrace
Deerfield, IL 60016
OWNERSHIP PERCENTAGE 33 - 1/3 %

NAME Ed Yawitz
ADDRESS 3844 Atlantic Avenue
Long Beach, CA 90807
OWNERSHIP PERCENTAGE 33 - 1/3 %

NAME _____
ADDRESS _____
OWNERSHIP PERCENTAGE _____ %

NAME _____
ADDRESS _____
OWNERSHIP PERCENTAGE _____ %

NAME Steven Brown
ADDRESS 1870 Shelley Court
Highland Park, IL 60035
OWNERSHIP PERCENTAGE 33 - 1/3 %

NAME _____
ADDRESS _____
OWNERSHIP PERCENTAGE _____ %

NAME _____
ADDRESS _____
OWNERSHIP PERCENTAGE _____ %

NAME _____
ADDRESS _____
OWNERSHIP PERCENTAGE _____ %



Statement of Intent Lot 2 Estate Lane Subdivision / 1380 Oak Knoll Drive

1. Background—The home will be built by Childs Development in the Estate Lane Subdivision.
2. Initial Goal—The purpose of the project is to integrate a Dutch Colonial Revival style home into the Estate Lane neighborhood.
3. Design Strategy—The intent is to plan the home with garage facing to the South and have the front entry, front porch, and roof lines being the focal point as you view the home on the lot from Oak Knoll drive and a covered side porch with brick chimney as you view the home from Estate Lane, which works well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. Materials—Cobble Stone color shingle siding will be used on the exterior. The trim, soffit and fascia are to be white color, the roof will be black architectural asphalt shingles, entry door shall be stained wood, windows and overhead garage doors to be white.
5. Conclusion—Are intent is to build an attractive home that quietly fits into its current site. The restrained new quality of the home will be a wonderful addition to the neighborhood.
6. Variances— None are required for the proposed home in the R-2 zoning district.

26575 COMMERCIAL DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



1380 OAKKNOLL DR/
LOT 2 ESTATE LANE SUB.

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
- ☐ Brick
- ☐ Wood Clapboard Siding
- ☐ Stucco

- ☐ Wood Shingle
- ☐ Aluminum Siding
- ☐ Vinyl Siding
- ☐ Synthetic Stucco

☒ Other HARDIE SHINGLE

Color of Material COBBLE STONE

Window Treatment

Primary Window Type

- ☒ Double Hung
- ☐ Casement
- ☐ Sliding
- ☐ Other _____

Finish and Color of Windows

- ☐ Wood
- ☒ Aluminum Clad
- ☐ Vinyl Clad
- ☐ Other _____

Color of Finish WHITE

Window Muntins

- ☐ Not Provided
- ☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars
- ☐ Interior muntin bars only
- ☐ Exterior muntin bars only
- ☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Synthetic Material _____
- ☐ Other _____

Window Trim

- ☐ Limestone
- ☐ Brick
- ☒ Wood
- ☐ Synthetic Material _____
- ☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
- ☐ Other _____
- ☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☒ Other ARCHITECTURAL ASPHALT

Flashing Material

- ☐ Copper
- ☐ Sheet Metal _____
- ☒ Other ALUM.

Color of Material BLACK-COAL

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☒ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

THE PLAN



SQUARE FOOTAGE	
FIRST FLOOR:	1,783.73 S.F.
SECOND FLOOR:	1,829.69 S.F.
TOTAL:	3,613.42 S.F.
GARAGE:	688.25 S.F.

LOT 2

CUSTOM RESIDENCE
1380 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

--

REVIEW	11/05/2020
REVIEW	12/14/2020
REVIEW	01/14/2021
REVIEW	01/22/2021

ASPECT DESIGN INC.
ARCHITECTS

26575 COMMERCE DR.
SUITE 607
VOLUME, IL 60073
MAINE: 847-457-2500
WWW.ASPECTDESIGNINC.COM
TEL: 603-881-1400/01

PROJECT #	AD20175
DRAWN BY:	COM/M
<p>LOT 2 SITE PLAN</p> <p>AR 01</p>	
# 1 OF	TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS
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1 REAR ELEVATION (WEST)
AR 04

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER, (ARCH-D)

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LOT 2		CUSTOM RESIDENCE 1380 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
11/05/2020	REVIEW	12/14/2020	REVIEW
01/14/2021	REVIEW	01/22/2021	REVIEW
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE #1440421			
PROJECT # AD20175		DRAWN BY: COM / MB	
LOT 2		EXTERIOR ELEVATIONS	
AR 04		# 4 OF TOTAL SHEETS	

**CUSTOM RESIDENCE
1380 OAK KNOLL DRIVE
LAKE FOREST, IL 60045**

REVIEW	11/05/2020
REVIEW	12/14/2020
REVIEW	01/14/2021
REVIEW	01/22/2021

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IL LICENSE # 184-604354

INC.
ARCHITECTS



PROJECT #	AD20175
DRAWN BY:	COM / MB
<p align="center">LOT 2 EXTERIOR ELEVATIONS</p>	

AR 05

5 OF TOTAL SHEETS

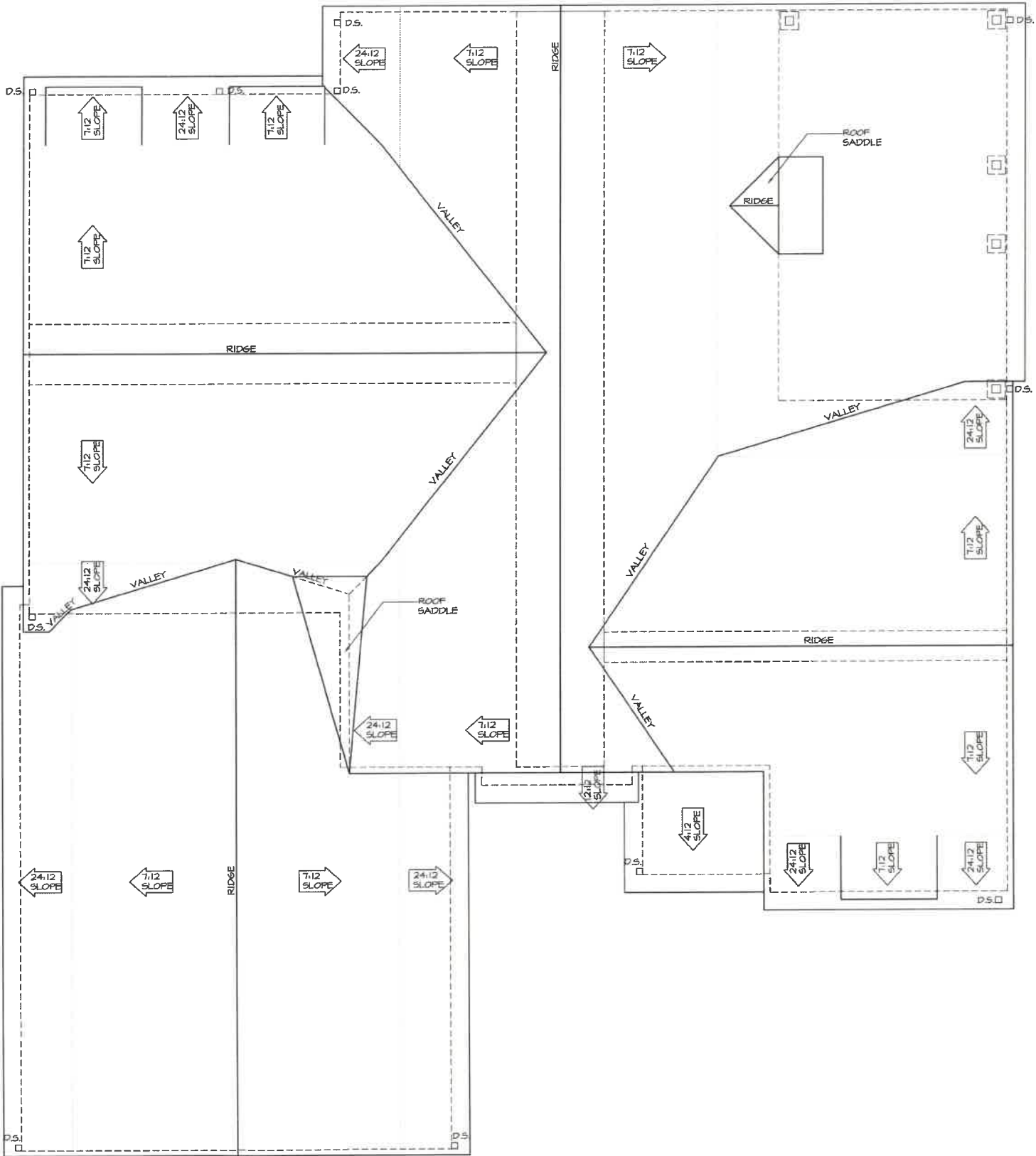


1 RIGHT ELEVATION (NORTH)

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1 ROOF PLAN
AR 08

SCALE: N.T.S.

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PROJECT # AD20175	
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LOT 2 ROOF PLAN	
AR 08	
# 8 OF TOTAL SHEETS	



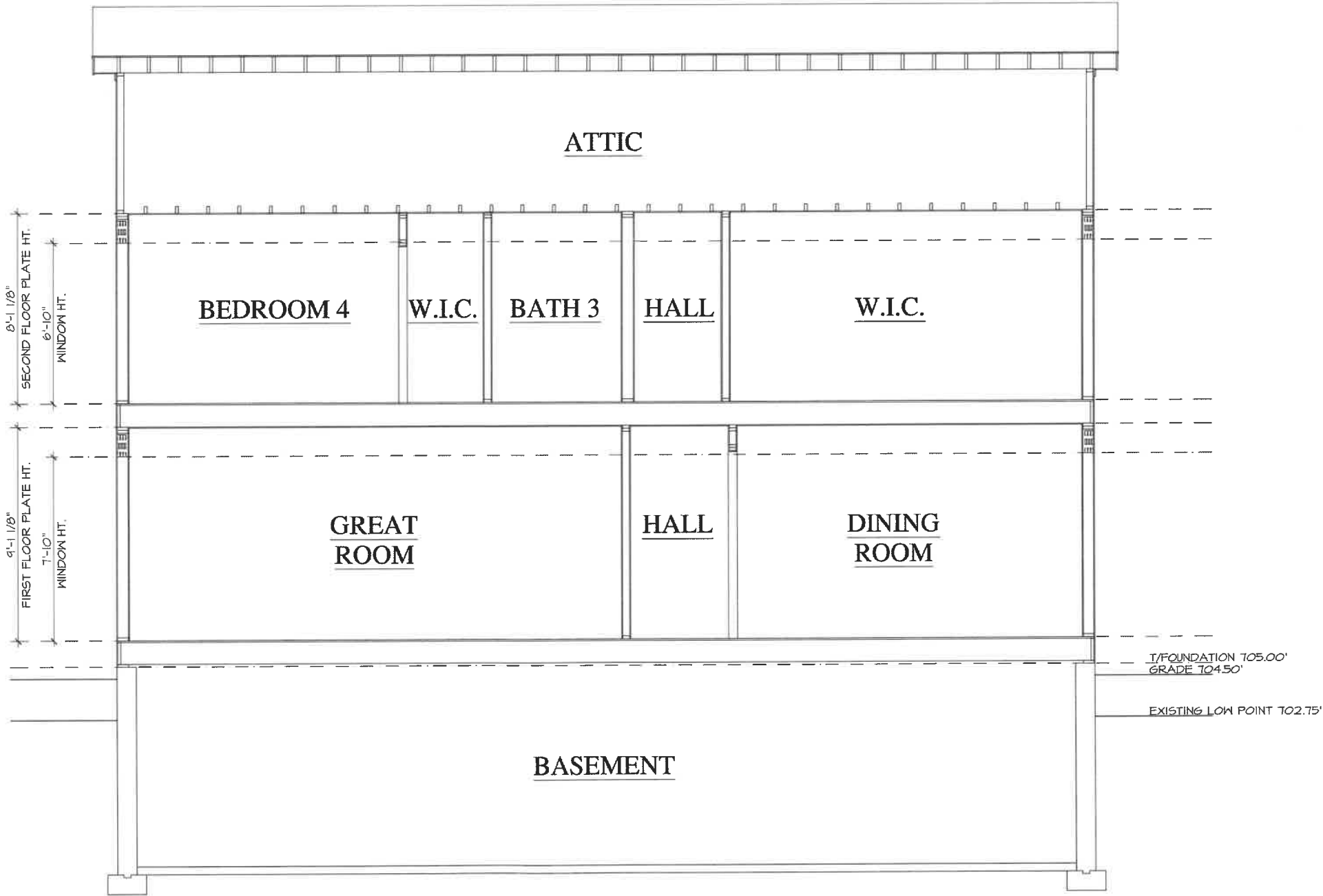
ASPECT DESIGN INC.
ARCHITECTS

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SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
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REVIEW	11/05/2020
REVIEW	12/14/2020
REVIEW	01/14/2021
REVIEW	01/22/2021

LOT 2

CUSTOM RESIDENCE
1380 OAK KNOLL DRIVE
LAKE FOREST, IL 60045



1
AR 09

BUILDING SECTION

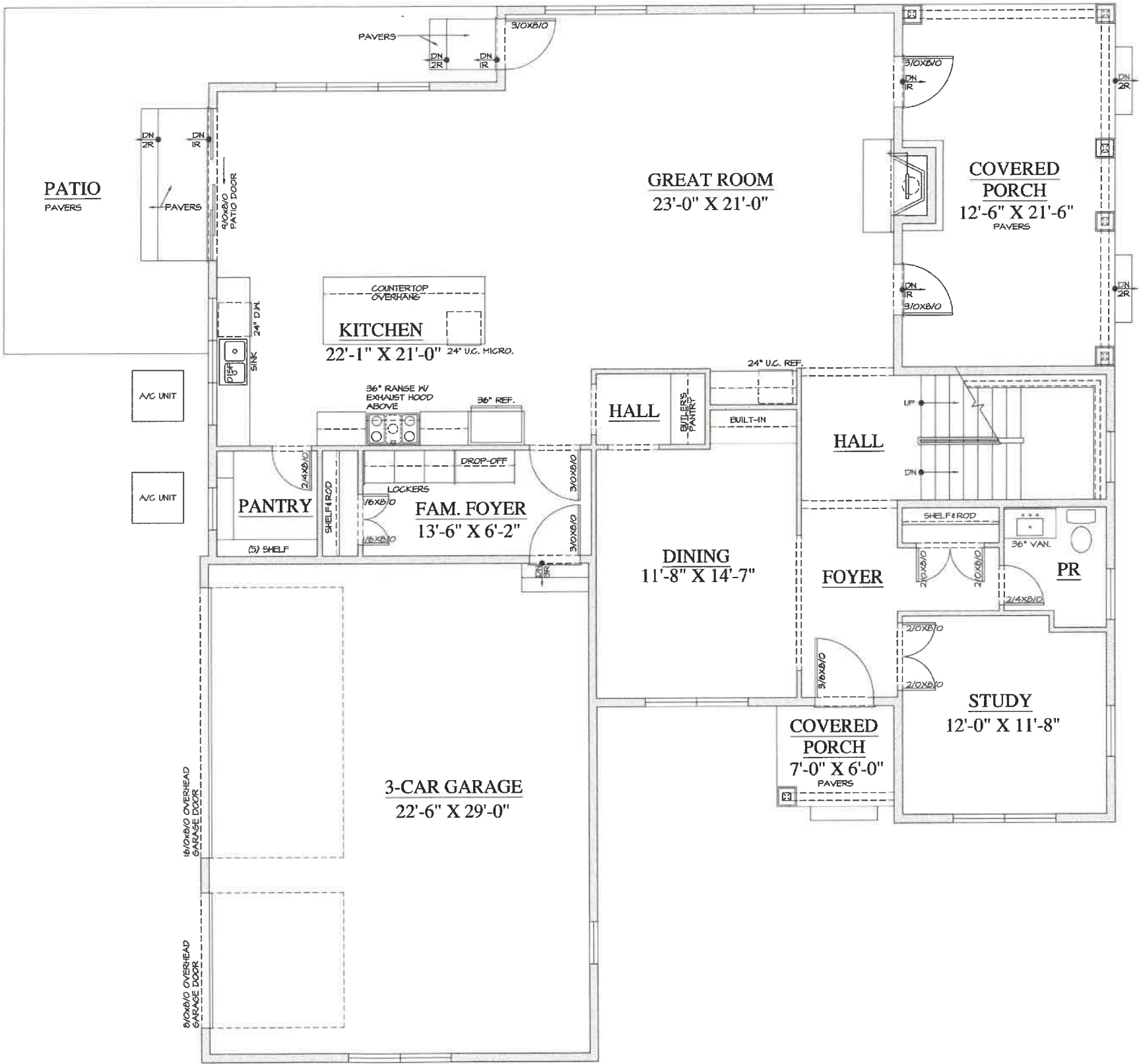
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LOT 2		CUSTOM RESIDENCE 1380 OAK KNOLL DRIVE LAKE FOREST, IL 60045									
<div>ASPECT DESIGN INC. ARCHITECTS</div> <div>26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM LIC. NO. 114-06024</div>											
PROJECT #	AD20175	LOT 2									
DRAWN BY:	COM / MB	BUILDING SECTION									
AR 09		# 9 OF TOTAL SHEETS									
<table><tr><td>REVIEW</td><td>11/05/2020</td></tr><tr><td>REVIEW</td><td>12/14/2020</td></tr><tr><td>REVIEW</td><td>01/14/2021</td></tr><tr><td>REVIEW</td><td>01/22/2021</td></tr></table>				REVIEW	11/05/2020	REVIEW	12/14/2020	REVIEW	01/14/2021	REVIEW	01/22/2021
REVIEW	11/05/2020										
REVIEW	12/14/2020										
REVIEW	01/14/2021										
REVIEW	01/22/2021										



1 FIRST FLOOR PLAN
AR 06

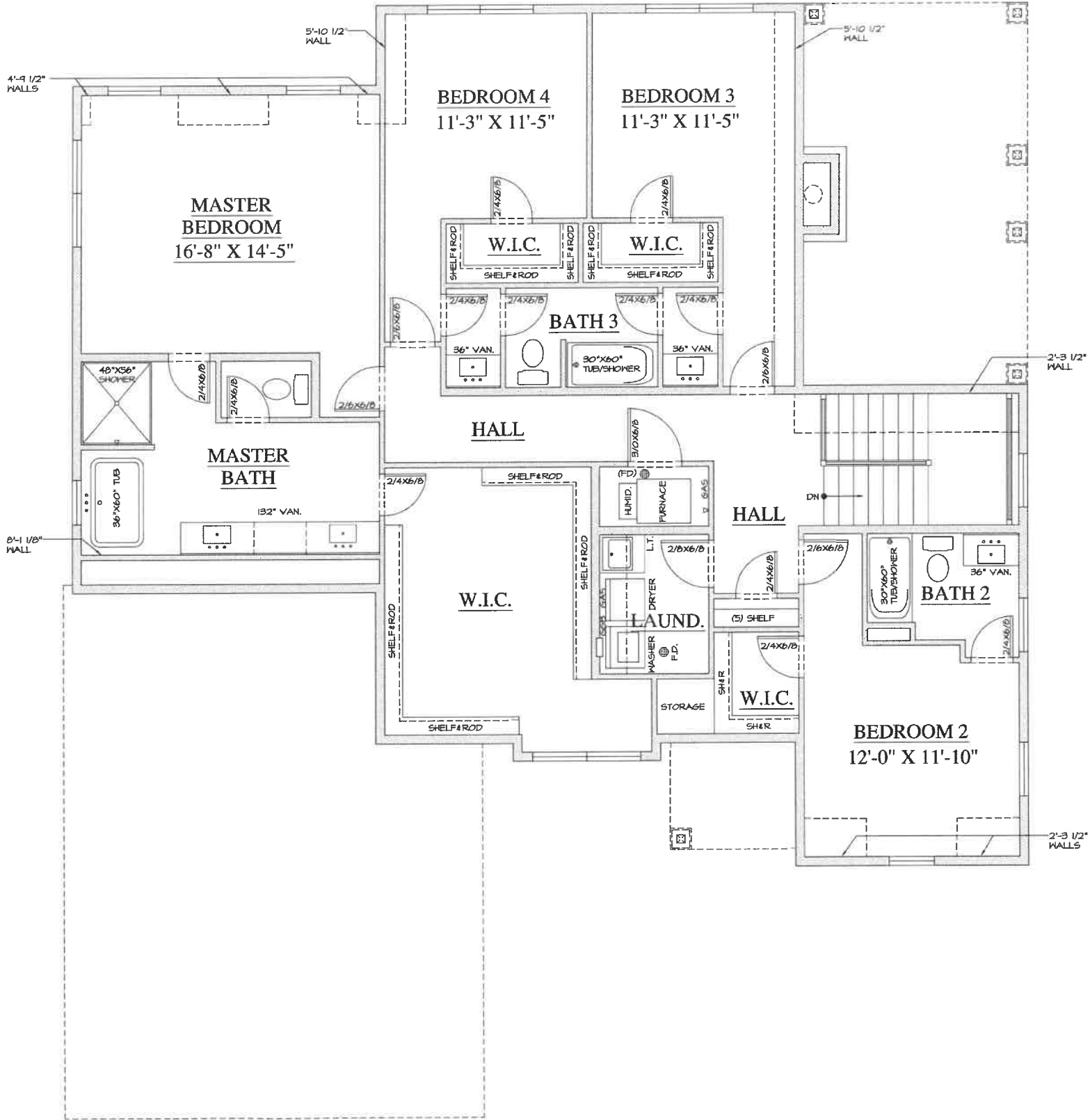
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REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 2		CUSTOM RESIDENCE 1380 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
<div>  <p>ASPECT DESIGN INC. ARCHITECTS</p> </div>			
PROJECT # AD20175		DRAWN BY: COM / MB	
LOT 2 FIRST FLOOR PLAN		AR 06	
# 6 OF		TOTAL SHEETS	

REVIEW	11/05/2020
REVIEW	12/14/2020
REVIEW	01/14/2021
REVIEW	01/22/2021

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VOLO, IL 60073
MAIN: 847-457-2500
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IL LICENSE #146-0034




1 SECOND FLOOR PLAN
AR 07

SCALE: N.T.S.

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REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 2		CUSTOM RESIDENCE 1380 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
REVIEW	11/05/2020	REVIEW	12/14/2020
REVIEW	01/14/2021	REVIEW	01/22/2021
<div>  ASPECT DESIGN INC. ARCHITECTS </div>			
PROJECT # AD20175 DRAWN BY: COM / MB		26575 COMMERCE DR. SUITE 607 VOLVO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 16-0004	
LOT 2 SECOND FLOOR PLAN AR 07		# 7 OF TOTAL SHEETS	

ESTATE LANE SUBDIVISION - LOT 2

LOT 2 IN ESTATE LANE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 2016 AS DOCUMENT 7339017 IN LAKE COUNTY, ILLINOIS

NO CONSTRUCTION ACCESS SHALL BE PERMITTED ON ESTATE LANE EAST PER ESTATE LANE SUBDIVISION NOTE 3

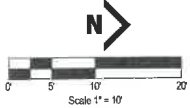
BLECK

engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
1.847.295.5200 w bleckeng.com

Single Family Residence

Lake Forest, IL



BENCHMARK: Arrow Nut on Fire Hydrant at SW Corner of Oak Knoll Drive and Estate Lane East Intersection
ELEVATION = 705.10
ALL ELEVATIONS ON THESE PLANS ARE ON CITY OF LAKE FOREST (USGS NAVD 85) DATUM

ISSUED DATE	ISSUED FOR
12.23.2020	BRB
01.22.2021	DRIVEWAY WIDTH

PROFESSIONAL SEAL
"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project"

Michael G. Bleck, PE 12.23.2020

License No. 002 000000 Expires 11/01/21
© 2021 Bleck Engineering Company, Inc. All Rights Reserved
Blacks Professional Co. Inc. Form 104-00001-1

CHILDS DEVELOPMENT
222 E. Wisconsin Ave, Suite 303A
Lake Forest, Illinois 60045

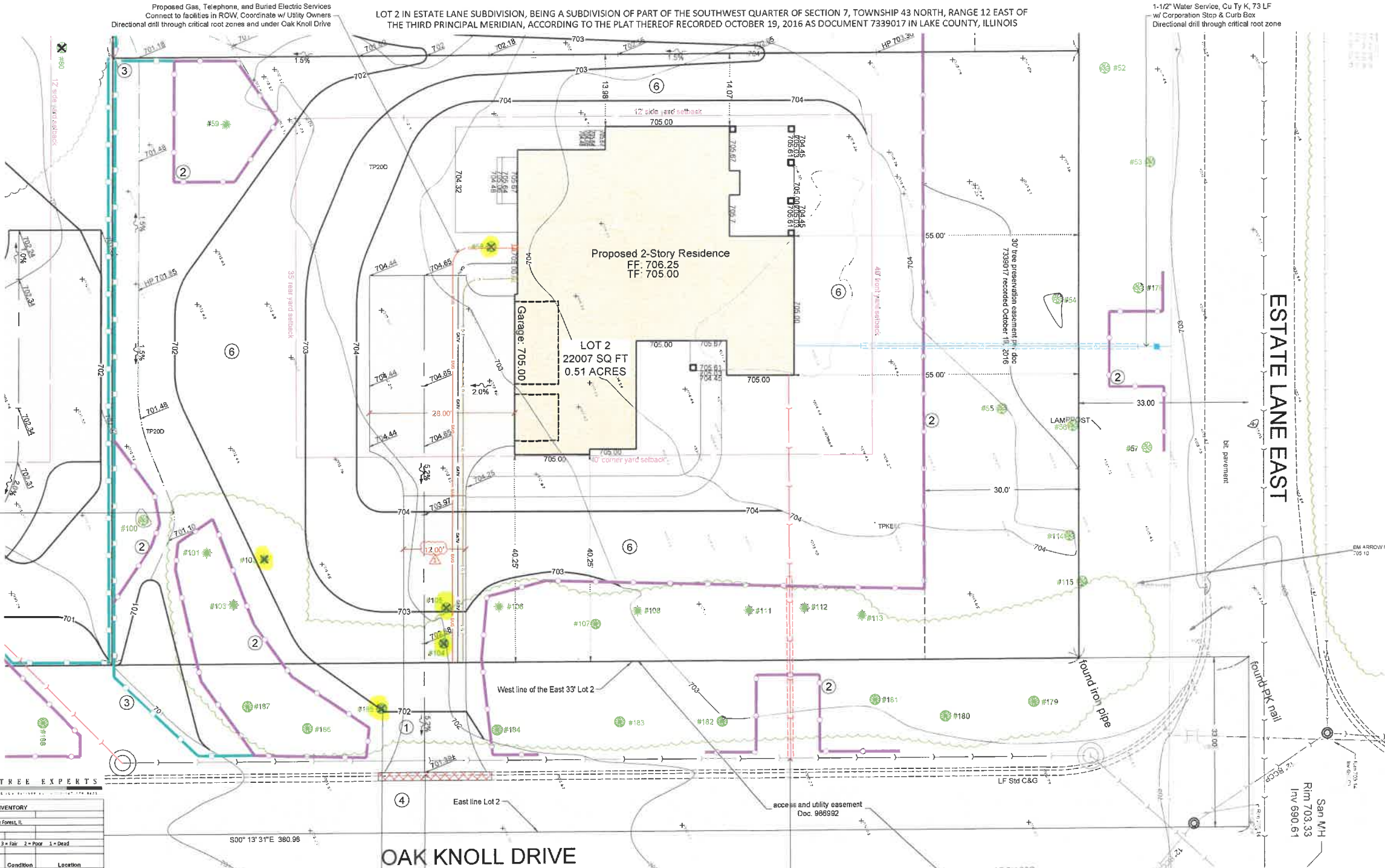
70-904-2	Project No.
MB	Drawn By
MGB	Checked By

Drawing No.

Drawing Name

Site Grading Plan

1



- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
 - For downspouts tying into sewer system, provide 2" air gap.

- STABILIZED CONSTRUCTION ENTRANCE
Use existing driveway
- TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts
- SILT FILTER FENCE
Shall comply with AASHTO Standard M 289-00
- MUD AND DUST CONTROL
- TEMPORARY INLET PROTECTION
All open lid structures to have Catch All Baskets or approved equal.
- EROSION CONTROL BLANKET
North American Green S75

TREE INVENTORY					
Host:	Childs Development				
Location:	1150 W. Erie Lane East, Lake Forest, IL				
Date:	1/15/02				
Condition	5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead				
Tag No.	Size (dbh)	Species	Condition	Location	
52	34.5"	White Oak	3	Front Yard	
53	27"	American Elm	3	Front Yard	
54	26.5"	Burr Oak	4	Front Yard	
55	21"	American Elm	2	Front Yard	
56	19.5"	Red Oak	3	Front Yard	
57	18"	American Elm	3	Front Yard	
58	33"	American Elm	4	Back Yard	
59	11.5"	American Elm	4	Backyard	
100	28"	American Elm	4	Southeast Border	
101	12.5"	Colorado Spruce	3	Southeast Border	
102	14"	Colorado Spruce	3	Southeast Border	
103	10.5"	Colorado Spruce	3	Southeast Border	
104	8.5"	Honey Locust	4	Southeast Border	
105	21.5"	American Elm	2	East Border	
106	18"	American Elm	1	East Border	
8", 7", 7", 6"					
107	13"	Buckhorn	2	East Border	
108	13"	Austrian Pine	2	East Border	
111	10"	Austrian Pine	1	North East Border	
112	12"	Austrian Pine	1	North East Border	
113	14"	Austrian Pine	2	North East Border	
114	18"	White Oak	4	North East Border	
115	15"	Red Oak	4	North East Border	
117	5"	Ash	4	North East Border	
118	AK	Cornus	3	East Parkway	
120	AK	Cornus	3	East Parkway	
181	MS	Cornu/Spice	3	East Parkway	
182	10"	Freemans Maple	4	East Parkway	
183	10"	Freemans Maple	4	East Parkway	
184	12"	Freemans Maple	4	East Parkway	
185	MS	Cornu/Spice	3	East Parkway	
186	MS	Cornu/Spice	3	East Parkway	
187	MS	Cornu/Spice	3	East Parkway	
188	10"	Freemans Maple	4	East Parkway	

TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL



BARTLETT TREE EXPERTS

1960 OLD WILLOW ROAD NORTHBROOK, IL • (847) 559-9124 • FAX (847) 559-9123

TREE INVENTORY				
Client:	Childs Development			
Location:	1363 W Estate Lane East, Lake Forest, IL			
Date:	10/30/2020			
Condition:	5 = Excellent	4 = Good	3 = Fair	2 = Poor 1 = Dead
Tag No.	Size (dbh)	Species	Condition	Location
52	34.5"	White Oak	3	Front Yard
53	27"	American Elm	3	Front Yard
54	26.5"	Burr Oak	4	Front Yard
55	21"	American Elm	2	Front Yard
56	19.5"	Red Oak	3	Front Yard
57	28"	American Elm	3	Front Yard
58	33"	American Elm	4	Back yard
59	8", 11", 15"	Austrian Pine	4	Backyard
100	28"	American Elm	4	Southeast Border
101	12.5"	Colorado Spruce	3	Southeast Border
102	14"	Colorado Spruce	3	Southeast Border
103	10.5"	Colorado Spruce	3	Southeast Border
104	8.5"	Norway Maple	4	Southeast Border
105	21.5"	American Elm	3	East Border
106	15"	Austrian Pine	1	East Border
107	8", 7", 7", 6", 5"	Buckthorn	2	East Border
108	13"	Austrian Pine	2	East Border
111	10"	Austrian Pine	1	North East Border
112	12"	Austrian Pine	1	North East Border
113	14"	Austrian Pine	2	North East Border
114	18"	White Oak	4	North East Border
115	15"	Red Oak	4	North East Border
178	5"	Ash	4	North Parkway
179	MS	Crabapple	3	East Parkway
180	MS	Crabapple	3	East Parkway
181	MS	Crabapple	3	East Parkway
182	10"	Freeman Maple	4	East Parkway
183	10"	Freeman Maple	4	East Parkway
184	12"	Freeman Maple	4	East Parkway
185	MS	Crabapple	3	East Parkway
186	MS	Crabapple	3	East Parkway
187	MS	Crabapple	3	East Parkway
188	10"	Freeman Maple	4	East Parkway

APEX LANDSCAPING
DESIGN • BUILD • MAINTENANCE

ATTENTION.

ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF APEY LANDSCAPING, INC. WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

[illegible]

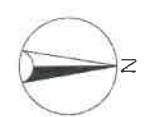
REVISIONS	
2	
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Customer Design and Layout Approval

I, _____, approve above drawing and its results to be executed at my property. After Landscaping, Inc. reserves the right to deviate from plan due to unknown and unmovable utilities or structural reasons. Any changes to plan during construction outside of these reasons require a change order form signed by After Landscaping, Inc. and client prior to changes being made.

Signature: _____

Date: _____



Agenda Item 6
365 Chiltern Drive
Partial Demolition & Additions

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Images of Existing Residence
Existing West and East Elevations
Proposed West and East Elevations
Existing South and North Elevations
Proposed South and North Elevations
Color Renderings
Proposed Roof Plan
Building Section
Existing Basement Plan
Proposed Basement Plan
Existing First Floor Plan
Proposed First Floor Plan
Proposed Second Floor Plan
Conceptual Landscape Plan
Images of Surrounding Neighborhood

365 Chiltern Drive

Consideration of a request for approval of partial demolition of the existing residence including removal of the existing roof and portions of exterior walls to accommodate a second story addition and various exterior alterations.

Property Owner: Albany Bk & Tr CO NA TTEE TR#11-6528

Project Representative: Wojtek Bialy, designer

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of partial demolition of the existing residence including complete removal of the existing roof and removal of portions of exterior walls to accommodate a reconfigured first floor plan and a second story addition. A covered porch is proposed at the rear of the house. Various other exterior alterations are also proposed including a new stucco exterior, and new window and door openings around the home.

The property owners purchased the property last year and based on the petitioner's statement of intent, the proposed style of the home with the extensive changes proposed is intended to be "Modern French Country." The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project.

The existing residence is partially located within the zoning setback and construction of the second floor addition will require setback variances. The petition will be considered by the Zoning Board of Appeals on March 29th.

Description of Property

This property is located on the northeast corner of Chiltern Drive and Kennington Terrace, south of W. Deerpath. The property is irregular in shape, following the curves of the adjacent streets and is 17,493 square feet in area. The existing residence on the property was constructed in 1954 and is a one-story ranch home with an attached two car garage. Based on City records, very few modifications have been made to the house since its construction. The surrounding neighborhood contains a mix of small ranch styles as well as larger multi-story homes of varying ages and architectural styles. This house is fairly prominent in the neighborhood given its location on a corner.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations. Staff offered direction to the petitioner encouraging further study of the architectural style and the City's Design Guidelines.

As of the date of this writing, a detailed demolition plan has not yet been submitted. Staff has requested a detailed demolition plan in advance of the Board's review to help more clearly show the extent of demolition proposed.

Site Plan – This standard is met.

The existing home is sited at an angle on the site and faces Chiltern Drive. The existing footprint of the house and garage will be generally be maintained. The existing screen porch on the rear of the home will be removed. Some expansion of the building footprint on the east and west sides is

proposed. On the west side, the footprint of the garage mass and the area of the existing front entrance will be expanded to align with the adjacent existing exterior wall. On the east side of the home, on the rear, the footprint will be expanded to align with the garage mass. The existing driveway will be slightly reduced as a result of the footprint of the garage being expanded. A new stone walkway is proposed from the front door to the existing driveway and a new covered porch is proposed on the rear of the house.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,749 square feet is permitted on the site with up to an additional 375 square feet in design elements and 576 square feet for a garage.

- The existing house totals 1,281 square feet.
- The existing garage totals 430 square feet.
- The expansion of the first floor totals 217 square feet.
- The existing garage will be expanded and total 513 square feet.
- The proposed second story addition totals 1,853 square feet.
- Given the height of the proposed second story addition, there is an additional 130 square feet of attic space that counts toward the overall square footage.
- The proposed covered porch and dormers total 640 square feet. There is an allowance of 375 square feet for design elements. The excess square footage of design elements must be added to the total square footage of the house.
- The square footage of the existing residence, with the proposed additions and design element overage is 3,746 square feet, and is 3 square feet, or 0.08% under the total allowable square footage.

The maximum height for this property is 30 feet. The house with the proposed second floor addition is 28 feet and 6 inches tall, when measured from the adjacent point of existing lowest grade to the highest roof peak.

Because the total square footage of the home and the total height of the home as proposed are very close to the maximum allowed for this property, during construction, as-built drawings will be required intermittently to confirm that the square footage and height does not exceed the maximum allowed.

Elevations – This standard is not fully met.

The proposed front elevation presents a two story massing. The front facing garage will be maintained. The front door is tucked into the southeast corner of the west elevation and is not visible on the front of the home potentially creating a lack of focus on the front elevation. The proposed roof is made up of a hip roof form between steeply pitched gable roof forms on the north and south ends of the home. Shed dormers are proposed on the front and rear of the home. As currently proposed, there does not appear to be a roof overhang. Incorporating a roof overhang could help to provide shadow and depth to the appearance of the home.

The proposed doors present vertical and narrow proportions while the windows appear very large and out of scale with other elements of the home. Consideration should be given to the use of windows with more vertical and narrow proportions to reflect a more human scale in line with the other elements of the home. The transom windows found above door and window openings around

the home present unusual proportions and transom windows that reflect more traditional proportions should be incorporated or alternatively, the transoms could be eliminated.

In some areas there are large expanses of unbroken solid wall, particularly on the north and east elevations. Additional openings should be incorporated in an effort to break up the large areas of solid wall and to present a more regular fenestration pattern across the elevations of the home.

Board input on the various aspects of the home noted above is requested including, but not limited to:

- The location of the front entrance.
- Incorporating a roof overhang.
- The proportions of the windows and transoms.
- Large expanses of unbroken solid walls.

Type, color, and texture of materials – This standard can be met.

The exterior of the home will be stucco with a six inch limestone base. Synthetic slate tile is proposed for the main roof forms and the dormers will have metal standing seam roofs. Aluminum gutters and downspouts are proposed. Aluminum clad windows with muntins between the glass are proposed. Window and door trim will be limestone.

- Staff recommends windows with muntin bars on the interior and exterior are used, consistent with the City's Residential Design Guidelines.
- Staff recommends the use of a true slate tile or consideration of an alternate roofing material in an effort to incorporate materials that have more depth and texture that will help to soften the appearance of the home. Synthetic roof products are not commonly found in this neighborhood.

The proposed color palette includes white stucco, a black roof and black windows. The petitioner provided color renderings that are included in the Board's packet. The white on black color palette presents a stark contrast and is currently a trend that may quickly appear out of date. Although there are homes with a similar color palette in this neighborhood, other homes in the neighborhood incorporate architectural detailing and more natural materials that soften the appearance of the home.

- Staff recommends softening of the color palette to avoid the stark appearance of the home. The starkness will be intensified due to the use of composite materials and the fact that those materials will not patina over time.

Landscaping – This standard is not met.

The existing landscaping will not be impacted by the proposed additions or exterior alterations. However, the height and overall the mass of the house is increasing. The petitioner provided a conceptual landscape plan that reflects the existing vegetation on the site that will remain along with the addition of a straight hedge of Arborvitae along the east property line and Spruce trees along the south property line and in the parkway on the south side of the property. Trees that are proposed in the parkway will be subject to review by the City Arborist. As currently proposed, the conceptual landscape plan does not include any plantings along the foundation of the home. Incorporating foundation plantings will help the home appear more established on the site and is required by the Code.

The landscape plan will need to be modified to match more closely to the character of the neighborhood and enhanced with a mix of native deciduous trees, evergreens and understory plantings, in a natural arrangement. A revised, detailed landscape plan will be required prior to the issuance of a building permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Indicate support for partial demolition of the residence subject to further refinement of the proposed additions and alterations. Provide the following direction to the petitioner.

1. The plans shall be refined as follows:
 - a. Consider placing the front entrance in a more visible location on the front façade in an effort to highlight the entrance to the home.
 - b. A roof overhang shall be incorporated to provide shadow and depth to the appearance of the home.
 - c. The proportions of the windows shall be modified to have vertical and narrow proportions to reflect a more human scale that is in line with the other elements of the home.
 - d. The proportions of the transom windows should be refined, or alternatively the transom windows shall be eliminated.
 - e. Additional openings on the north and east elevations should be incorporated in an effort to break up the large areas of solid wall and to present a more regular fenestration pattern across the elevations of the home.
 - f. Windows with muntin bars on the interior and exterior shall be used, consistent with the City's Residential Design Guidelines.
 - g. Consider incorporating true slate tile or an alternative roof material in place of synthetic slate tile.
 - h. Consider softening of the color palette to avoid a stark appearance of the home.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 365 Chiltern Drive Owner(s) Albany Bk & Tr CO NA TTEE TR#11-6528
 Architect Wojtek Bialy Reviewed by: Jen Baehr
 Date 3/3/2021
 Lot Area 17493 sq. ft.

Square Footage of Existing Residence:

1st floor 1281 + 2nd floor 0 + 3rd floor 0 = 1281 sq. ft.

Design Element Allowance = 375 sq. ft.

Total Actual Design Elements
(To Be Removed) = 115 sq. ft. Excess = 0 sq. ft.

Garage 430 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 20'- 6" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1281 sq. ft.

Square Footage of Proposed Additions:

1st floor 217 + 2nd floor 1853 + 3rd floor 130 = 2200 sq. ft.

New Garage Area 83 sq. ft. Excess = 0 sq. ft.

New Design Elements 640 sq. ft. Excess = 265 sq. ft.

TOTAL SQUARE FOOTAGE = 3746 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3749 sq. ft.

DIFFERENTIAL = 3 sq. ft. **NET RESULT:**
Under Maximum 3 sq. ft. is

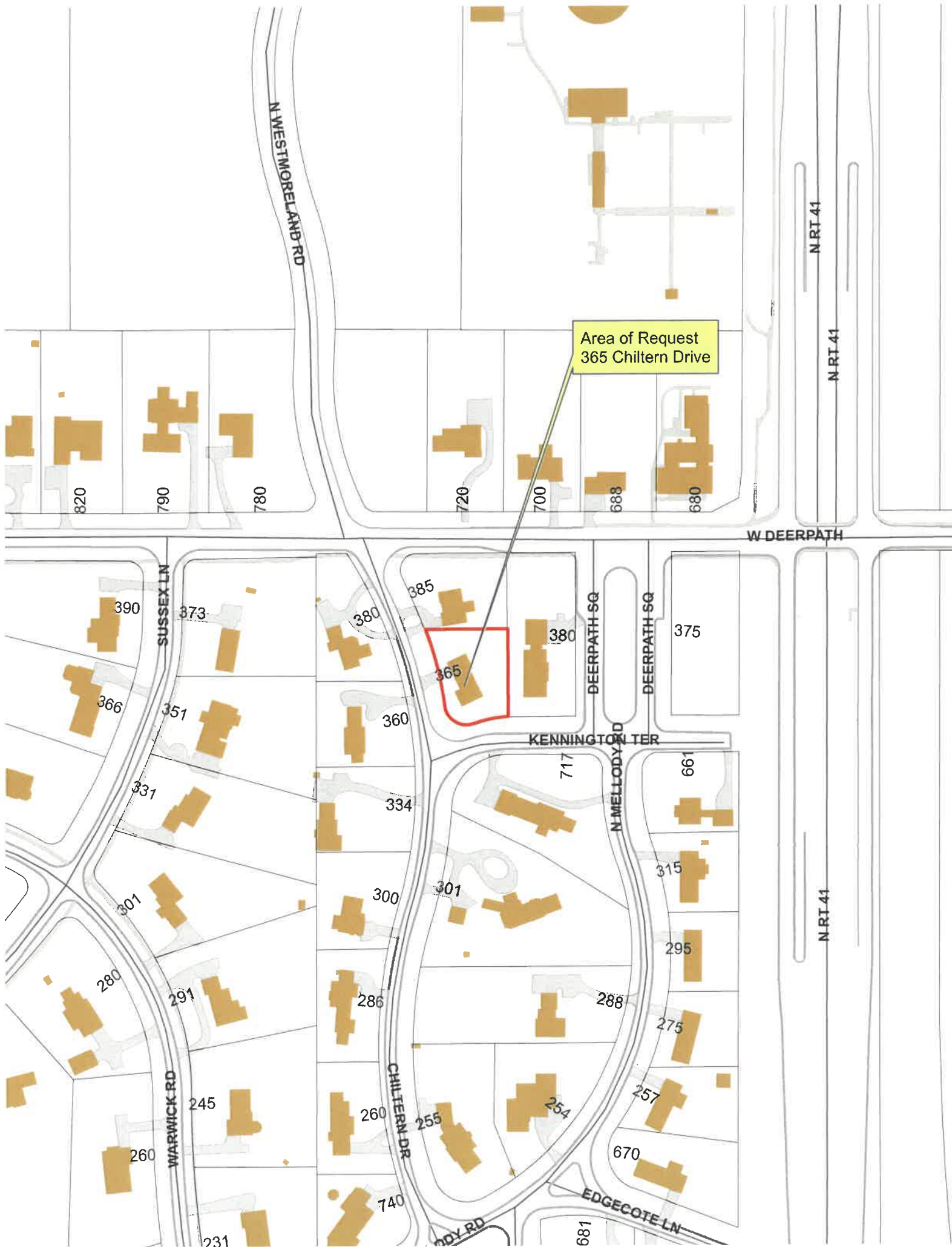
Allowable Height: 30 ft. Actual Height 28' - 6" 0.08% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 375 sq. ft.


Front & Side Porches = 615 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 25 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 640 sq. ft. **Excess Design Elements** = 265 sq. ft.



Area of Request
365 Chiltern Drive



An aerial photograph of a residential neighborhood. A red outline highlights a specific property located between a road and a wooded area. The property contains a house with a grey roof and a smaller structure. A yellow callout box points to the red outline with the text "Area of Request 365 Chiltern Drive". The surrounding area includes other houses, trees, and a road with a yellow center line and white lane markings.

Area of Request
365 Chiltern Drive



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 365 CHILTERN DR

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Albany Bk & Tr CO NA TTEE TR#11-6528

Owner of Property

1130 S. SEMINARY AVE

Owner's Street Address (may be different from project address)

PARK RIDGE IL. 60068

City, State and Zip Code

Phone Number

Fax Number

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

WOYTEK BULLY PRINCIPAL DESIGNER
Name and Title of Person Presenting Project

2MB DESIGN STUDIO, INC
Name of Firm

9601 RIVER ST.
Street Address

SCHILLER PARK IL. 60176
City, State and Zip Code

(847) 630-8006
Phone Number

Fax Number

WBYALYC2MBDESIGNSTUDIO.COM
Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☐ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

☐ OWNER ☐ REPRESENTATIVE

FEB 16 2021

STATEMENT OF INTENT

STANDARD 1:

Since the presented design is a straightforward second floor addition, all setbacks remain as is. The shape of the existing driveway will remain as is, however new concrete surface will be introduced. Existing fences will remain intact.

STANDARD 2:

The new second floor addition has been designed to integrate with the existing structure and be visually pleasing. The style of the new residence is considered “Modern French Country”. As some say, the reason why French Country and Modern work so well comes down to conflict and contrast. Where French Country is soft and rustic, Modern is fresh and sleek. Where French Country is warm, Modern is cool. Bring them together and that is when this concept works really well.

As French style icon Coco Chanel once famously said “Before you leave the house, look in the mirror and remove one accessory.” She was talking about clothing, but this advice works just as well for those wanting to achieve the Modern French country look.

We believe we did just that in the presented design. The scale and the height of the project complies with City of Lake Forest Code requirements.

The unique location of the property, as well as the placement of the existing house, creates a favorable situation where the relationship

to the neighboring residences is almost irrelevant, due to existing structures not being visible from the street.

This is the particularity of the neighborhood, residences being built in different styles and scales, scattered and isolated by the heavy landscaping, and in some cases situated at different angles on the respective properties.

STANDARD 3:

For most part the existing landscaping will remain as is. The existing trees will be trimmed as needed. A few new landscape elements will be added as shown on the attached landscape plan.

STANDARD 4:

All introduced materials (as shown on the renderings and described in material schedule) are natural materials and consistent with the chosen style. The only exception is the roofing material. We believe that the proposed synthetic slate is by far more advanced technically and a better-looking material than the natural slate. In addition, it helps with the structural integrity of the building, because it is a much lighter material.

Considering that such material has been allowed already on some of the residences in Lake Forest (see attached pictures) our hope is that this will not be an issue as far as approval of the Board.

STANDARD 5:

Considering that the proposed design follows the existing house footprint, the distances between the residences will not be affected, remaining exactly the same. As far as the size and scale of the building, please refer to the comments in STANDARD 2.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☐ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material WHITE

Window Treatment

Primary Window Type

- ☒ Double Hung
☒ Casement
☐ Sliding
☐ Other FRENCH DOOR

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____
Color of Finish BLACK

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☒ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Window Trim

- ☒ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other STUCCO

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____
☒ Synthetic Material STUCCO

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

N/A

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Composition Shingles DA VINCI/SLATE
- ☐ Sheet Metal _____
- ☐ Other _____

Flashing Material

- ☒ Copper
- ☒ Sheet Metal BLACK
- ☐ Other _____

Color of Material BLACK

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☒ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other _____

PROPOSED SITE PLAN



9801 RIVER ST., SCHILLER PARK, IL 60176
Telephone: (847) 830-8008
Email: info@2mbdesignstudio.com
www.2mbdesignstudio.com

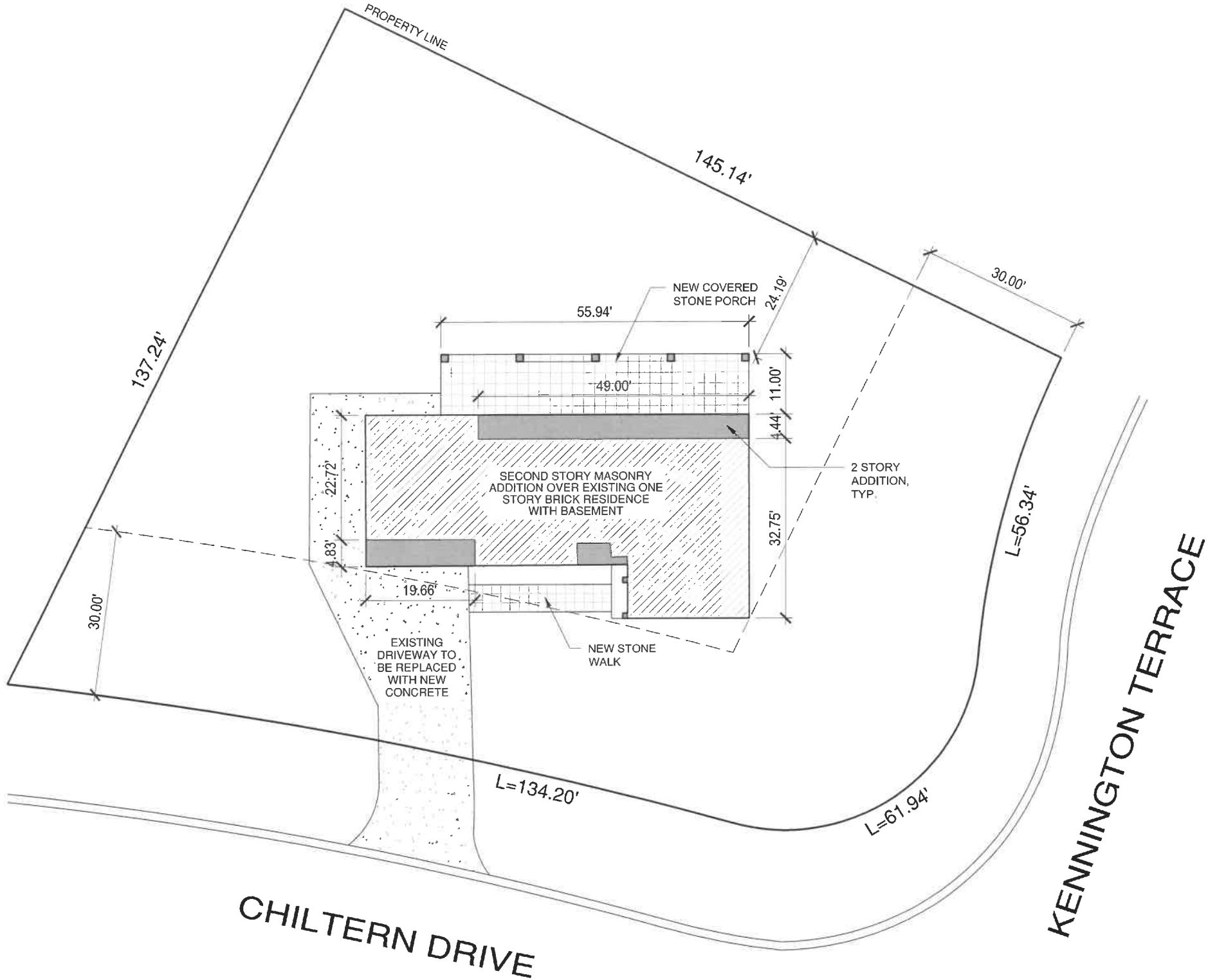
ALL CONCEPTS, DESIGNS AND PLANS DIRECTLY OR INDIRECTLY
ENCOMPASSED BY THIS DOCUMENT ARE THE PROPERTY OF 2MB
DESIGN STUDIO INC. AND ARE FOR USE ON AND IN CONNECTION
WITH THE PROJECT SPECIFIED IN THIS DOCUMENT. NONE OF
SUCH CONCEPTS, DESIGN OR PLANS SHALL BE USED BY OR
DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY
PURPOSE WITHOUT THE PRIOR WRITTEN PERMISSION OF 2MB
DESIGN STUDIO INC.

I HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS
WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE
BEST OF MY KNOWLEDGE, CONFORM WITH ALL PERTINENT CODES
AND ORDINANCES.

THE STRUCTURAL SHOP Ltd.
structural engineering

9801 River Street
Schiller Park, Illinois 60176
tel 847 349 1099
fax 847 349 1098

THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045



CHILTERN DRIVE

KENNINGTON TERRACE

1 SITE PLAN
SCALE: 1" = 10'

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	

TITLE:
SITE PLAN

SCALE:	1"=10'	SHEET NO. 1a
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

THE **RESIDENCE**
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045



REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
EXISTING HOUSE
PHOTOS

SCALE:	N/A	SHEET NO.
DRAWN BY:	BR	13
JOB No.:		
DATE:	02/15/2021	

EXISTING WEST & EAST ELEVATIONS



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structural engineering

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1 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

THE [REDACTED] RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
EXISTING WEST AND EAST ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO. 4
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

PROPOSED WEST & EAST ELEVATIONS



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THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
WEST AND EAST
ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO. 11
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

LEGEND:

STUCCO

STONE

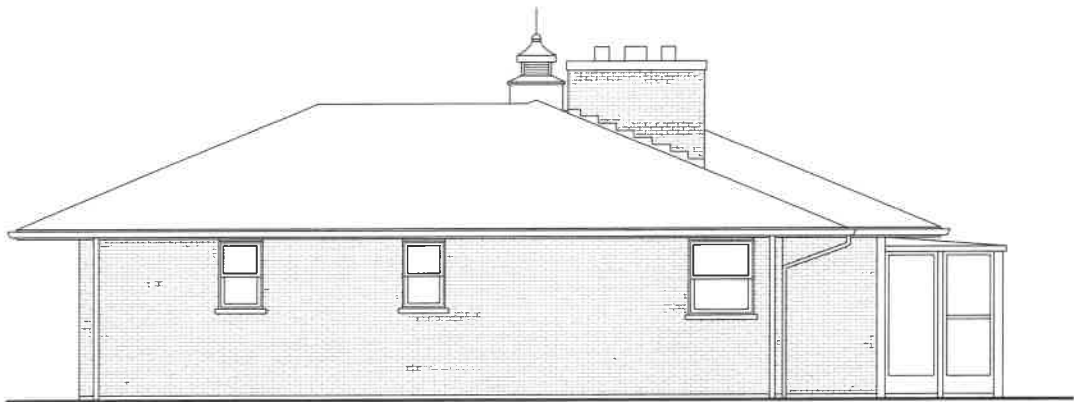


1 WEST ELEVATION
SCALE: 1/4"=1'-0"

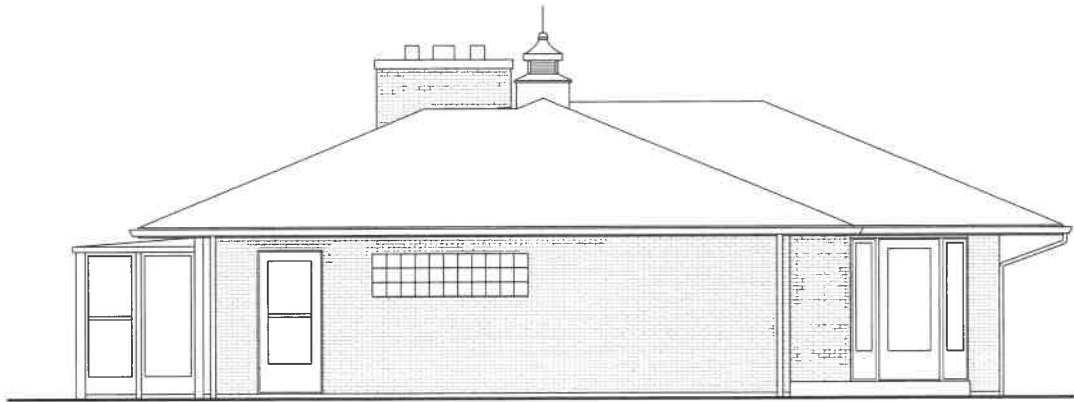


2 EAST ELEVATION
SCALE: 1/4"=1'-0"

EXISTING SOUTH & NORTH ELEVATIONS



1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"



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THE RESIDENCE
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365 CHILTERN DRIVE
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REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
EXISTING SOUTH AND
NORTH ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO. 5
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

PROPOSED SOUTH & NORTH ELEVATIONS



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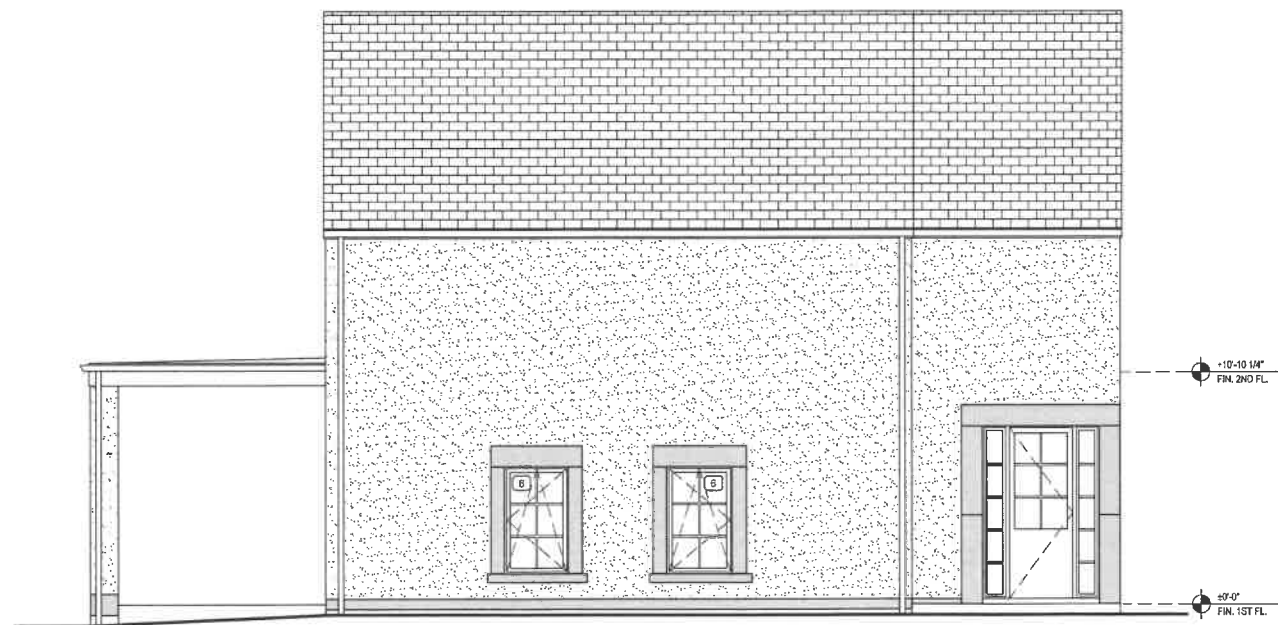
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THE **RESIDENCE**
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LAKE FOREST, IL 60045

- LEGEND:
- STUCCO
 - STONE



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
SOUTH AND NORTH
ELEVATIONS

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	12
JOB No.:		
DATE:	02/15/2021	



THE RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
LAKE FOREST, IL 60045

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:
**NEW HOUSE
RENDERINGS**

SCALE:	N/A	SHEET NO.
DRAWN BY:	BR	14
JOB No.:		
DATE:	02/15/2021	

PROPOSED ROOF PLAN



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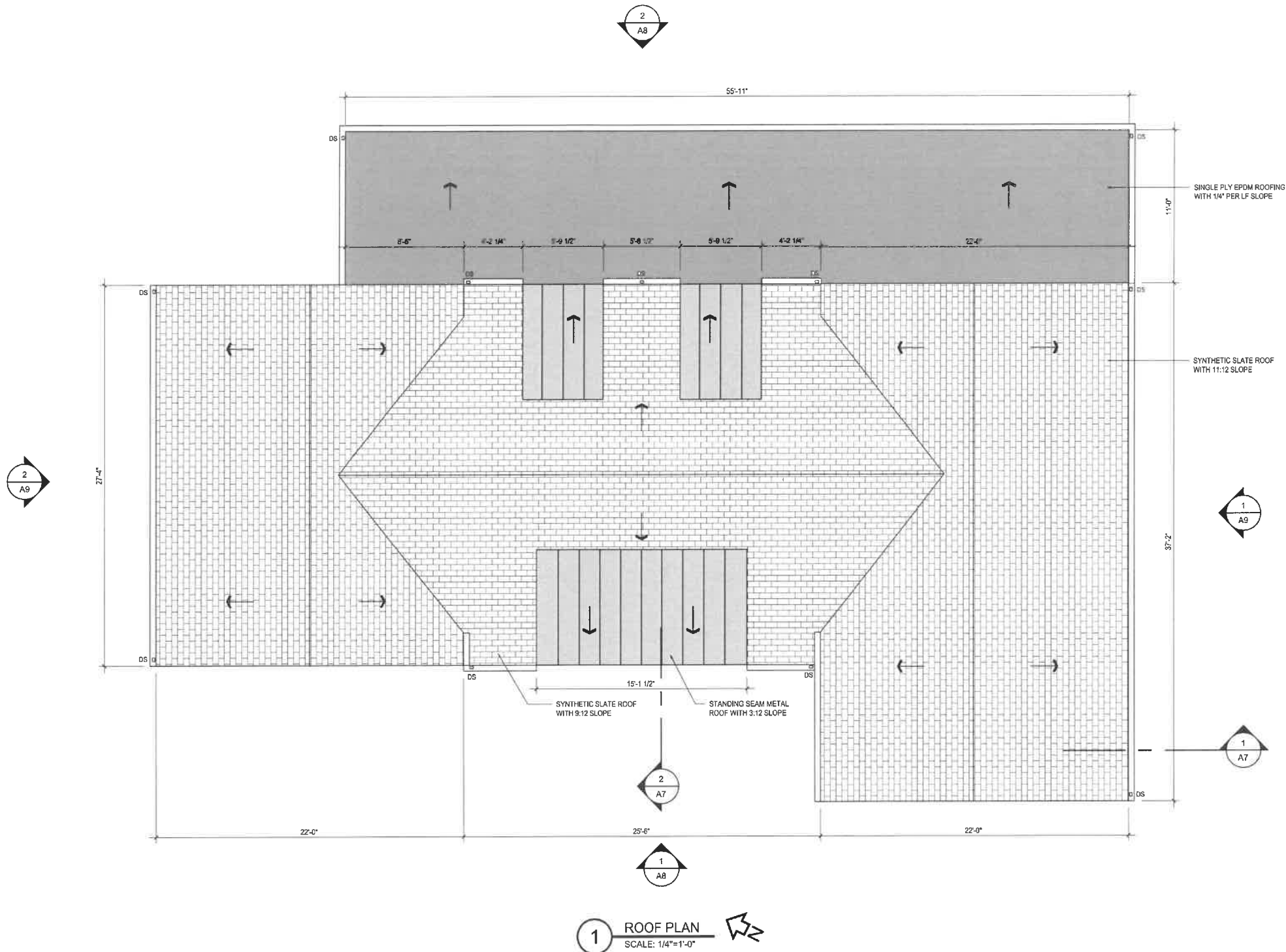
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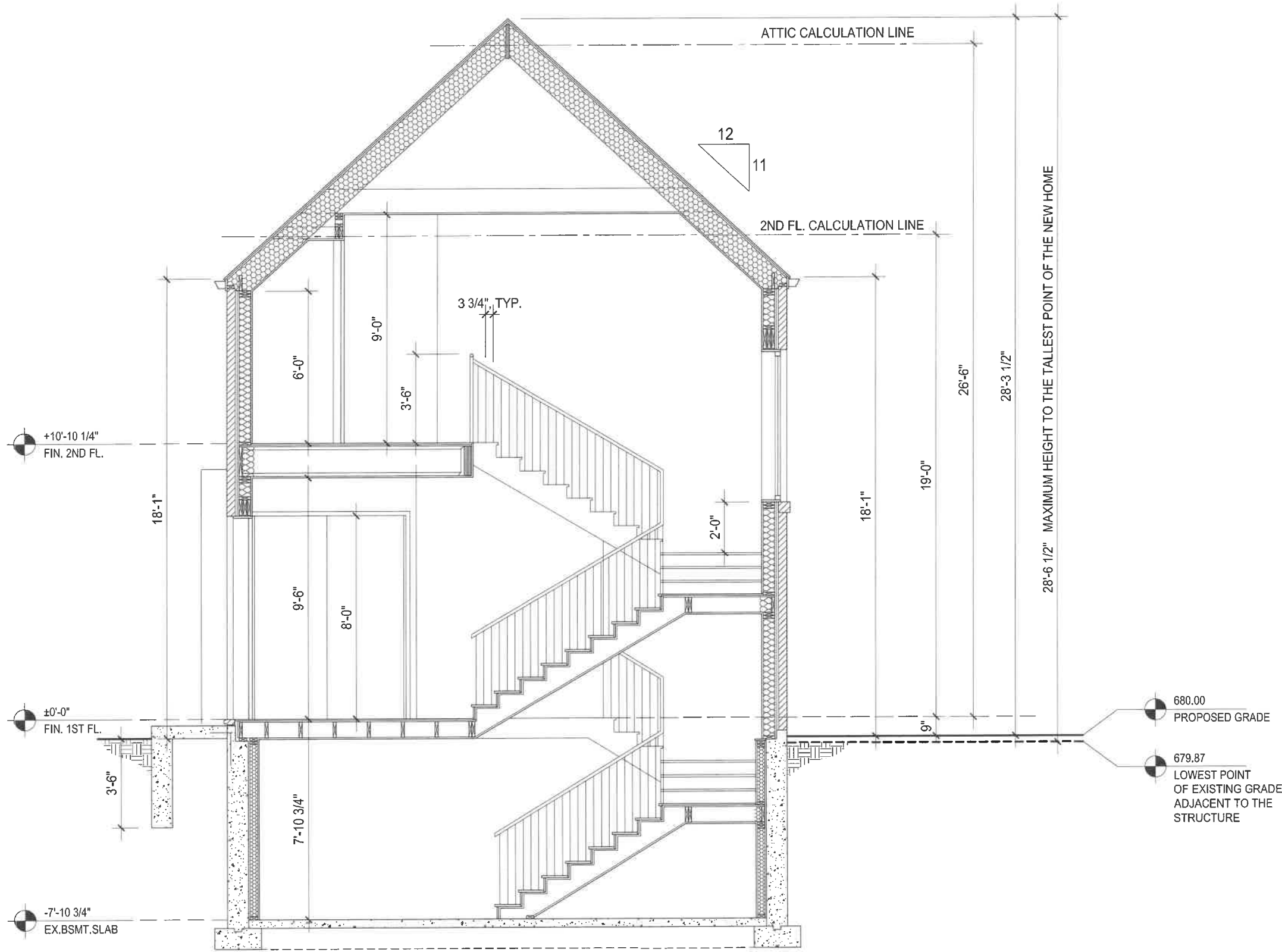


REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	

TITLE:
ROOF PLAN

SCALE:	1/4" = 1'-0"	SHEET NO.
DRAWN BY:	BR	9
JOB No.:		
DATE:	02/15/2021	

THE [REDACTED] RESIDENCE
ADDITION AND REMODELING
365 CHILTERN DRIVE
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1 SECTION
SCALE: 1/2"=1'-0"

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	

TITLE:
DETAILED SECTION

SCALE:	1/2" = 1'-0"	SHEET NO. 10a
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

CONCEPTUAL LANDSCAPE PLAN



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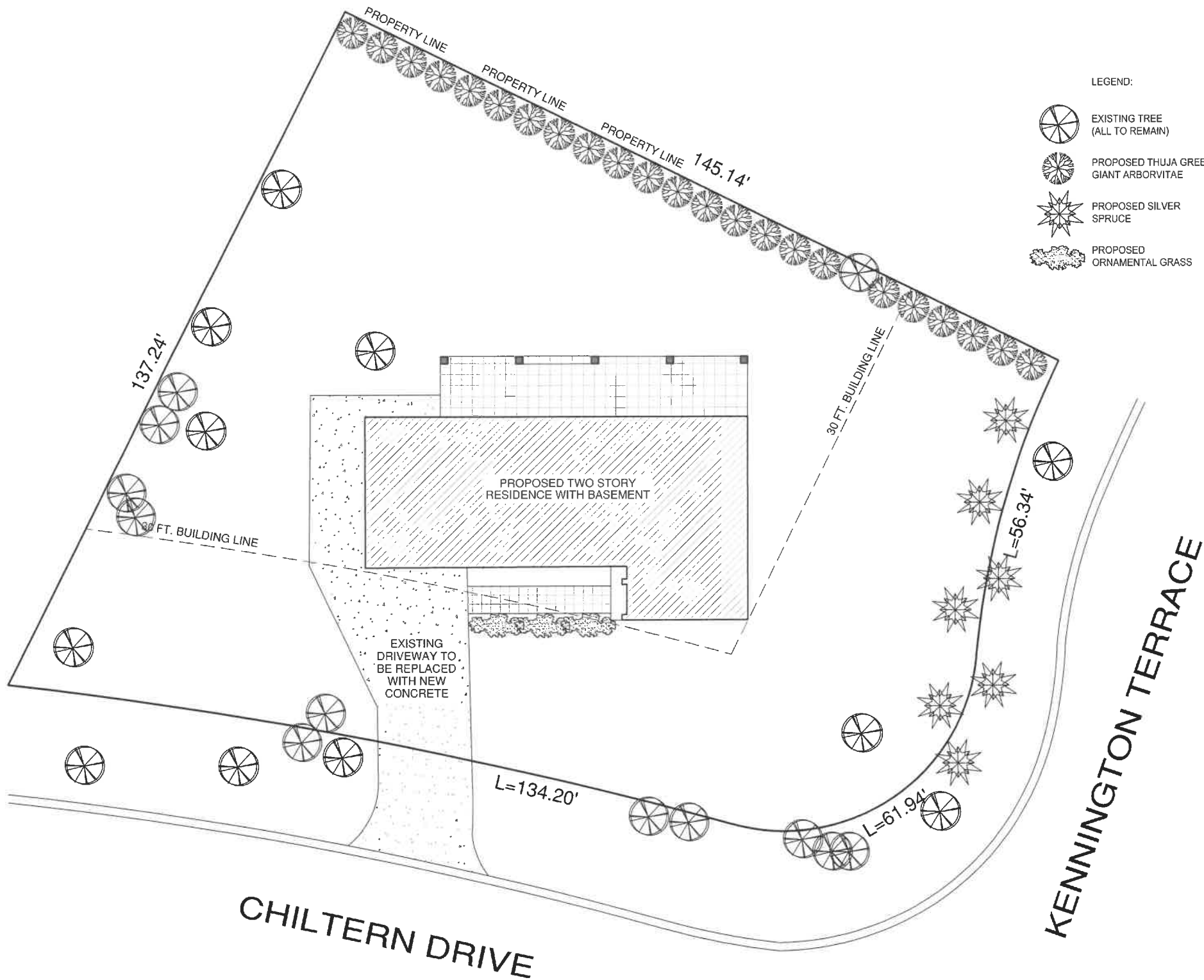
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KENNINGTON TERRACE

CHILTERN DRIVE

1 LANDSCAPING PLAN
SCALE: 1" = 10'



REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
1.	-	-	

TITLE:
LANDSCAPING PLAN

SCALE:	1"=10'	SHEET NO. 1b
DRAWN BY:	BR	
JOB No.:		
DATE:	02/15/2021	

IMAGES OF SURROUNDING NEIGHBORHOOD

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RESIDENCE ACROSS THE STREET FROM THE SUBJECT PROPERTY TO THE SOUTH



RESIDENCE SOUTH OF THE SUBJECT PROPERTY



ANOTHER RESIDENCE SOUTH OF THE SUBJECT PROPERTY



RESIDENCE NEIGHBORING NORTH OF THE SUBJECT PROPERTY

REVISIONS			
No.	DATE	DESCRIPTION	APPROVED
TITLE:			
NEIGHBORING HOUSES PHOTOS			
SCALE:	N/A	SHEET NO.	
DRAWN BY:	BR	15	
JOB No.:			
DATE:	02/15/2021		



RESIDENCE DIRECTLY ACROSS THE STREET FROM THE SUBJECT PROPERTY




SUBJECT PROPERTY VIEWED FROM THE CORNER OF CHILTERN DR. AND KENSINGTON TERR.



SIMILAR STYLE HOUSE IN THE CLOSE NEIGHBORHOOD



NEW RESIDENCE IN THE NEAR NEIGHBORHOOD WITH SYNTHETIC SLATE ROOF



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REVISIONS			
No.	DATE	DESCRIPTION	APPROVED

TITLE:

NEIGHBORING HOUSES
PHOTOS

SCALE:	N/A	SHEET NO.
DRAWN BY:	BR	16
JOB No.:		
DATE:	02/15/2021	