

**Agenda Item 3**  
**1000 Grandview Lane**  
**Demolition and Replacement Residence**

Staff Report  
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*Air Photos*

Materials Submitted by Petitioner

Application  
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*Existing/Proposed East and North Elevation Overlays*  
Proposed South and West Elevations  
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Color Renderings  
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*Basement Floor Plan*  
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*Existing Site Plan & Tree Removal Plan*  
*Tree Inventory*  
*Preliminary Site Grading Plan*  
*Preliminary Landscape Plan*  
*Proposed Plant List*  
*Images of Existing Property & Surrounding Neighborhood*  
*Alternative Concept Studies*  
*Correspondence*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## 1000 Grandview Lane

**Consideration of a request for approval of the demolition of a single family residence and construction of a replacement residence and attached garage. Approval of a conceptual landscape plan and overall site plan is also requested.**

**Property Owner: Steven and Nancy Hannick**  
**Project Representative: Diana Melichar, architect**

Staff Contact: Jen Baehr, Planner

### **Description of Property**

This property is located on the west side of Grandview Lane, south of Linden Avenue. The surrounding neighborhood contains homes of varying architectural styles that were mostly built in between the 1960s and 1980s.

The property that is the subject of this request totals 20,967 square feet and is a slightly irregular shaped lot, with the front property line following the curve of Grandview Lane. The existing residence on the property is a ranch home that was built in 1960.

### **Summary of Request**

The petitioner recently purchased the property and proposes to demolish the existing house and construct a replacement residence and an attached two car garage. The proposed residence, as presented by the petitioner, is described as a Modern style home.

The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project. An evaluation of the project based on the applicable standards and staff recommendations is offered below for the Board's consideration.

The Zoning Board of Appeals supported variances related to the location and width of the new driveway last month. The existing driveway is nonconforming to zoning setbacks, the proposed driveway is located in a manner that is less nonconforming.

### **Proposed Demolition**

The applicable criteria set forth in the Ordinance are reviewed by staff below.

***Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.***

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home is a modest ranch style home that was built in 1960 and does not contain historic or architectural integrity that would make it worthy of preservation.

***Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.***

This criterion is met. The petitioner explored alternatives to demolition, however based on the existing site and building conditions of the property preserving the existing residence is not desired by the owners. Extensive renovation and additions to the home would be necessary to meet the



homeowner's needs and update the home to modern living standards, leaving little of the existing residence intact, with the end product likely being compromised as a result of trying to work within the limitations of the existing residence. The Board's packet includes the petitioner's alternative concept studies.

***Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.***

This criterion is generally met. The house is suitable for residential use in its existing condition however, the home is lacking many amenities that today's homeowners desire, and significant reconfiguration and renovations to the home would be needed to update the home to meet standards of modern day living.

***Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.***

This criterion is met. There is no evidence to suggest that the proposed demolition or replacement residence will adversely impact the value of other properties in the neighborhood. The proposed replacement residence will likely enhance property values and contribute to the character of the neighborhood in a positive way.

***Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.***

This criterion is met. The proposed replacement residence is compatible with the homes in the surrounding neighborhood and maintains the character of the streetscape. The Board's review and direction are intended to assure that the new home will be consistent with the quality and character of the neighborhood.

Staff finds that the criteria for demolition are satisfied.

### **Replacement Residence**

*Site Plan - This standard is met.*

The proposed residence is sited generally in the area of the existing home and is oriented to face east, toward the street, as opposed to being sited on an angle like the existing residence. The attached two car garage faces north. The existing driveway will be removed and replaced with a new asphalt driveway and motor court that is located at the front of the home with access to the attached garage on the south side of the home. The existing curb cut will be removed and a new curb cut is proposed slightly south of the existing curb cut location. A concrete terrace is proposed at the rear of the home.

- Staff recommends consideration be given to an alternative to concrete for the rear terrace to offer a softer and natural appearance to complement the home and reduce the total amount of impervious surface on the site.

A site plan overlay showing the proposed replacement residence in relation to the existing home is included in the Board's packet.



The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will increase from coverage of 21 percent to 27 percent. The building footprint coverage increases from 2,420 square feet to 3,608 square feet. The paved surfaces, including the driveway, walkway and patio, increases from 1,867 square feet to 2,111 square feet.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,048 square feet is permitted on the site with an allowance of 600 square feet for a garage and 405 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The replacement residence totals 2,876 square feet.
- The proposed garage totals 572 square feet, and is below the allowance of 600 square feet and therefore, does not contribute to the overall square footage of the home.
- In addition to the above square footage, a total of 40 square feet of design elements are incorporated into the design of the house.
- In conclusion, the proposed replacement residence is 1,172 square feet, equal to 29 percent, below the maximum allowable square footage for this property.

At the maximum height, the residence is 16 feet and 8 inches tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 35 feet. The residence as presented complies with the height limitation. Staff acknowledges that from the streetscape view, the proposed home appears significantly lower than the two adjacent homes and some other nearby homes however, single story home can be found throughout the neighborhood interspersed with taller homes. The existing and proposed landscaping helps to mitigate visually the difference in height between the proposed home and the adjacent homes and will allow the proposed home to settle quietly into the site.

*Elevations – This standard is generally met.*

The proposed residence reflects a one story mass with shallow roof forms. The front elevation presents a central mass with flanking wings on the north and south sides. The front entry is highlighted by a cantilevered roof element. The front and rear elevations present large areas of openings while the north and south elevations have more solid areas. The north elevation of the home has a more solid appearance than the front and rear elevations given that the more private spaces are located on the north side. The south elevation also presents a more solid appearance in the area of the garage on the east end.

- Staff recommends that consideration be given to incorporating limited additional openings on the north and south sides of the home in an effort to present a more regular pattern of solid to open areas along the elevations.

As currently proposed the elevations present a metal fireplace vent on the back of the home. The vent is needed for the fireplace in the great room. The vent as shown on the elevations is minimally visible from the front of the home and will be painted to match the color of the roof to minimize its appearance.

A skylight is proposed in the master closet on the north side of the home. The skylight is located on a shallow roof form which reduces its visibility from the adjacent property and with its location at



the rear of the house, it will not be visible from the street. Care should be taken to assure that interior lights are located in a manner to avoid light spillover from the skylight in keeping with the dark sky and right to night goals of the City and the low level lighting character of the neighborhood.

*Type, color, and texture of materials – This standard is met.*

The exterior walls of the home are clad with composite horizontal siding with a natural stone along the base. Bituminous sheet roofing is proposed for the low slope roof forms. Aluminum clad windows are proposed. Fascia and soffits will be wood. Aluminum gutters and downspouts are proposed.

The proposed color palette consists of earth tones that are intended to blend into the natural setting of the home. Color renderings and images of the proposed exterior materials are included in the Board's packet.

*Landscape – This standard can be met.*

As currently proposed, a total of ten trees are proposed to be removed. Four of the trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter. One tree on the south side of the house and one tree on the south side of the driveway will be impacted by construction and the trees located in the southeast corner of the site are proposed for removal given their poor condition. Three trees are proposed for removal west of the rear terrace due to grading work and also to provide some open space in the yard given that the remainder of the rear yard will remain heavily wooded. In addition, the dead Ash trees on the site are proposed for removal. Based on the species, size and conditions of the trees proposed for removal, a total of 89 replacement inches are required to be planted on site.

The landscape plan reflects plantings around the foundation of the home and new deciduous, evergreen and ornamental plantings. Proposed plantings on the property include Maple, Spruce, Crabapple and Redbud trees and a variety of shrubs. Based on the landscape plan submitted, the total number of replacement inches is not yet fully satisfied. Considering the existing trees that will remain on the site, it is unlikely that the required replacement inches can be fully planted on the site without overcrowding, and a payment in lieu of the on site planting for the remaining replacement inches will be required before the issuance of a building permit. In addition to the required replacement inches, the Code establishes a minimum criteria for landscaping for new residential construction. As currently proposed, the minimum criteria for landscaping is satisfied.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. Staff received several form letters circulated by the petitioners to neighboring property owners and they are included in the Board's packet. The correspondence reflects support for the overall project with one neighbor noting the importance of preserving trees that serve as wildlife habitat.

### **Recommendations**

Recommend approval of demolition of the existing residence and garage based on the findings presented above.

*and*



Recommend approval of the replacement residence, garage, overall site plan and conceptual landscape plan based on the findings presented in this staff report and as further detailed during the Board's deliberations, subject to the following conditions of approval.

1. Consideration should be given to the following:
  - a. An alternative to concrete for the rear terrace to offer a softer and natural appearance to complement the home and reduce the amount of impervious surface.
  - b. Incorporating limited additional openings on the north and south sides of the home in an effort to present a more regular pattern of solid to open areas along the elevations.
2. If additional modifications are made beyond those detailed above, either in response to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices to properly direct drainage.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The final landscape shall include, but not be limited to, the minimum landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. If the full amount of required replacement inches which totals 89 inches cannot be accommodated on site, a payment in lieu of on site plantings will be required before the issuance of a building permit to support plantings in the parkways in the neighborhood.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees during construction must be submitted and will be subject to review and approval by the City.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets of all light fixtures shall be provided and all fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass. All exterior lighting, except for security lights with motion detectors, shall be on timers to turn off no later than 11 p.m.
  - a. Care should be taken to assure that interior lights are located in a manner to avoid light spillover from the skylight on the north side of the home in keeping with the dark sky and right to night goals of the City and the low level lighting character of the neighborhood.



7. Prior to the issuance of a building permit, a materials staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood.



# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1000 Grandview Lane Owner(s) Steven and Nancy Hannick

Architect Melichar Architects Reviewed by: Jen Baehr

Date 10/6/2021

Lot Area 20967 sq. ft.

## Square Footage of New Residence:

1st floor 2876 + 2nd floor 0 + 3rd floor 0 = 2876 sq. ft.

Design Element Allowance = 405 sq. ft.

Total Actual Design Elements = 40 sq. ft. Excess = 0 sq. ft.

Garage 572 sf actual ; 600 sf allowance Excess = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots  
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 2876 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4048 sq. ft.

**DIFFERENTIAL** = -1172 sq. ft.  
**Under Maximum**

Allowable Height: 35 ft. Actual Height 16'-8" ft.

## NET RESULT:

1172 sq. ft. is

29% under the  
Max. allowed

## DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 405 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 40 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

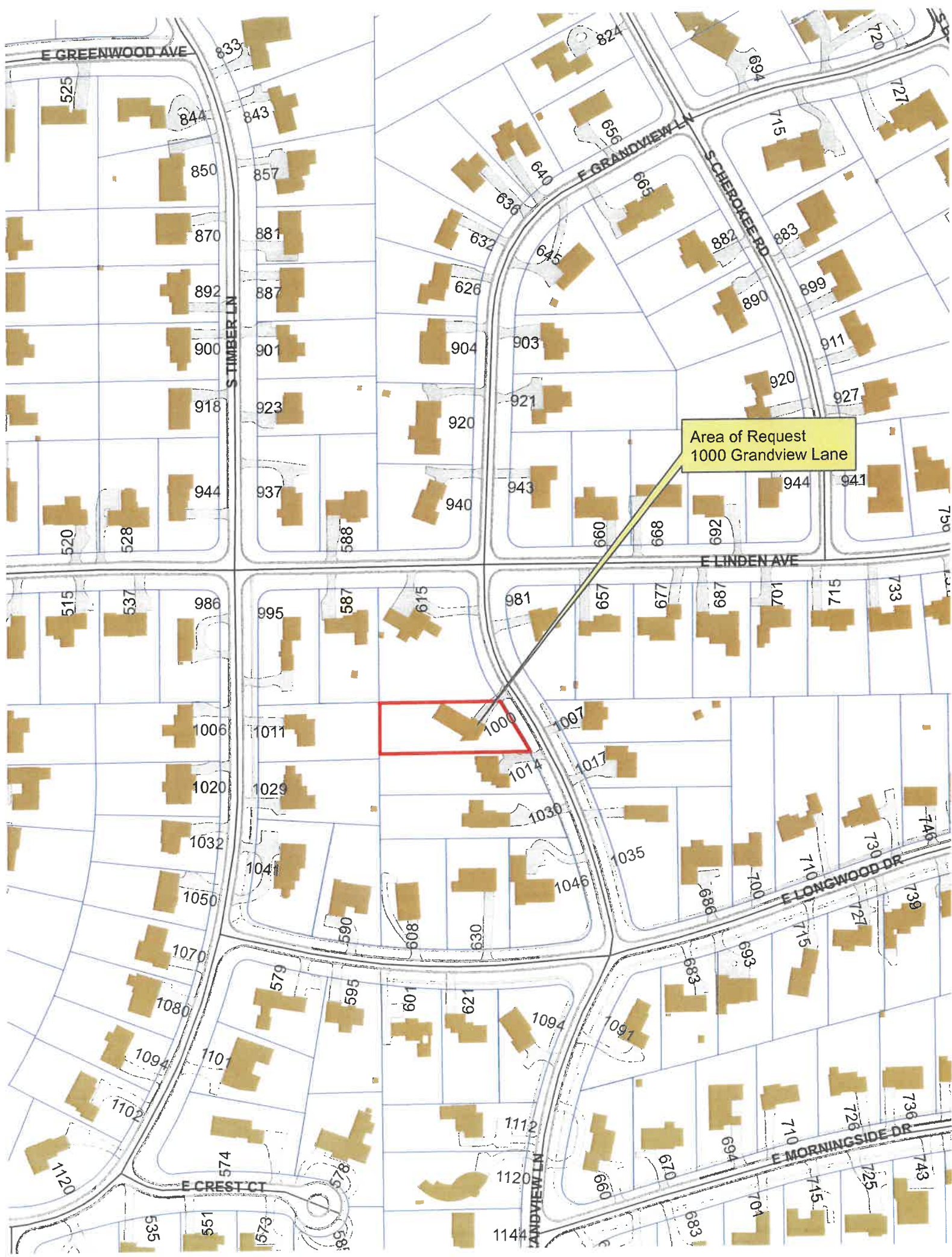
Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 40 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request  
1000 Grandview Lane





Area of Request  
1000 Grandview Lane





Area of Request  
1000 Grandview Lane





## THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1000 Grandview Lane

### APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input checked="" type="checkbox"/> New Residence <input type="checkbox"/> New Accessory Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Demolition Complete <input type="checkbox"/> Demolition Partial <input type="checkbox"/> Height Variance <input type="checkbox"/> Other
<input type="checkbox"/> New Building <input type="checkbox"/> Addition/Alteration <input type="checkbox"/> Height Variance <input type="checkbox"/> Other	<input type="checkbox"/> Landscape/Parking <input type="checkbox"/> Lighting <input type="checkbox"/> Signage or Awnings

### PROPERTY OWNER INFORMATION

Dr. Steven & Mrs. Nancy Hannick  
Owner of Property

2285 Linden Avenue  
Owner's Street Address (may be different from project address)

Highland Park, IL 60035  
City, State and Zip Code

(847) 977-7183  
Phone Number      Fax Number

nlh@post.harvard.edu  
Email Address

Nancy Lynn Hannick  
Owner's Signature

### ARCHITECT/BUILDER INFORMATION

Diana Melichar, President  
Name and Title of Person Presenting Project

Melichar Architects  
Name of Firm

207 E. Westminster  
Street Address

Lake Forest, IL 60045  
City, State and Zip Code

847.295.2440      847.295.2451  
Phone Number      Fax Number

Diana@MelicharArchitects.com  
Email Address

[Signature]  
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



## LAKE FOREST BUILDING REVIEW BOARD

Request for the demolition of an existing residence  
and construction of a replacement residence for

**Dr. Steven M. Hannick and Mrs. Nancy Lyons Hannick**  
**1000 Grandview Lane**  
**October 6, 2021**

Prepared by Melichar Architects

On behalf of Dr. Steven M. Hannick and Mrs. Nancy Lyons Hannick, Melichar Architects is requesting a recommendation for demolition of an existing single-family residence and approval of a replacement residence at 1000 Grandview Lane.

### **Background**

After initial review of possible renovations and additions to an existing home, the Hannicks determined that they should demolish the existing home and build a replacement structure on the property.

The following are Demolition Criteria with our accompanying assessments regarding this specific petition:

### **Criteria for Approval of Demolition**

**Criterion 1: The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.**

According to the Lake County Tax Assessor's records, the original home and two-car attached garage are 2,072 sf, and were built in 1960. The unassuming clapboard sided, one-story rectangular house is noted as in "fair condition". It is situated on the lot at a skewed angle to the street, and has very little street presence.

There is no known architect of record, and we are not aware of any past owner of significance. The existing home has no distinctive architectural features.

**Criterion 2: Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.**

Melichar Architects and the Hannicks reviewed the existing home, and determined that due to its age and condition, existing building configuration, and skewed siting on the property, the home did not lend itself easily to renovations and additions.



Alternative Concept Studies were undertaken which show that renovating/adding onto the existing building is undesirable because:

- Additions/renovations would result in a building footprint that is larger than the proposed replacement structure (due to added corridors to access rooms).
- More than 50% of the home would be demolished, while all living spaces would be necessarily reconfigured for modern living.
- Because of the existing home's skewed orientation on its narrower site, additions would further restrict views on-site, rear yard size, and connection to the back yard.
- Additions would further exacerbate the home's awkward orientation on the site.

Costs to improve the property, by way of renovations and additions to the existing home, would be considerable compared to any potential benefits to the property at the completion of the project. Therefore, the Hannicks chose to demolish the home and rebuild.

**Criterion 3: The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure an immediate health or safety hazard.**

The existing structure is suitable for residential use, and the structure is not a health or safety hazard. However, this modest 1960 home does not provide amenities that today's homeowners desire, such as room sizes and configurations that can accommodate modern family living. To fulfill that requirement, every room in the home would need to be modified, reconfigured, or expanded in size, resulting in more than 50% of the home (foundation/basement, first floor and roof) would be demolished.

**Criterion 4: The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.**

The replacement structure should improve the value of the property within the neighborhood. Not only will the replacement structure and landscape improve the streetscape and increase screening between properties, but the overall building construction and landscape will be of better quality than the current conditions on the property.

Refer to attached appraiser's report.

**Criterion 5: The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.**

The proposed replacement structure will be compatible with the existing neighborhood. The proposed home is one-story, and mid-century modern in style. The current neighborhood has a mixture of architectural styles, with numerous mid-century, one-story ranch and contemporary homes. (Refer to attached neighborhood diagram and sampling of nearby contemporary home images).



**Replacement Structure**

The replacement home and landscape improvements have been designed to complement the natural feeling of the site. The proposed replacement home will retain the existing rhythm of structures on the street; and the look of the home will fit-in with the established stylistic development of the neighborhood.

**Building Scale** – The building scale of the new home is modest, but not diminutive. Exterior wall heights range from 9' to 13-1/2 feet, and roof slopes are low.

**Building Style** – The architecture of the Hannick's new home is modern, with a mid-century feel. It has been consistently applied to all four elevations. This style is very appropriate for the streetscape, with existing examples throughout the Whispering Oaks neighborhood. (Refer to attached neighborhood diagram and images).

**Massing** – The building footprint is essentially "H" in shape. The massing is a simple assemblage of building volumes. A central, symmetrical building mass dominates the home's composition, with two subordinated wings. The central east-to-west axis in the main building mass is accentuated with larger fenestration facing the backyard.

**Roof Shapes** – Roof shapes are simple, sloping forms that are characteristic of mid-century modern style homes.

**Height** – A horizontal datum at 8' above the floor level demarcates the top of horizontal siding and typical fenestration, and the transition to the sloped roof/raised wall zone.

**Materials Selections** – The materials for the Hannick residence have been selected to reflect the natural setting of the home, and to complement the landscape. (Refer to the BRB materials checklist).

**Detailing and Fenestration** – Architectural stylistic integrity is maintained in the detailing of the Hannick residence. Mid-century modern features include:

- Expression of horizontality of building form and siding.
- Roofs are expressed as simple, floating planes.
- Wood/glass front door that allows for visual flow from front yard to backyard.
- Fixed and multiple-ganged windows are arranged to reflect the home's interior uses.
- Clerestory windows reflect the vaulted interior ceilings and bring added light and ventilation into volume spaces.
- Building detailing is streamlined and minimal, with materials, window placements, and building form taking precedent over decoration.
- Garage door window orientations are horizontal



**Landscape and Driveway Design** - The new property owners are excited to become the stewards of this wooded property with its canopy of majestic White, Burr and Swamp Oaks and stately Norway Spruce. While the landscape has suffered benign neglect over the years and was littered with buckthorn and poison ivy, the owners have already started the process of restoring the woodland. Pruning of dead wood in the canopy trees will progress during the winter months to ensure the trees' structural longevity throughout the coming years.

Currently the property is entered via an awkward driveway hugging the north property line. The front door and façade is not visible from the street. The new house's orientation on the East/West access with its façade and entry walk centered on the lot will strengthen the sense of arrival. Being a single story home, it is carefully nestled in amongst the tree canopy and requires that very few trees be removed to construct the house. A new asphalt driveway shifted slightly to the south will sweep gently off of Grandview Lane.

The new footprint creates an entrance forecourt that will be planted with low spreading juniper, boxwood, hydrangea, grasses, ground cover perennials and spring bulbs. A focal Japanese Maple tree sited to the right side of the entry walk will provide seasonal interest outside of the library and office windows. The Oak trees in the sloped front yard will remain and add scale to the composition. The massive Norway Spruce trees along the north lot line will remain undisturbed.

In the rear yard, the architecture is designed to bring the outdoors in. A clump Red Maple tree will be planted on axis with the center of the house so it can be seen straight through the foyer and great room. A curving line of existing White and Burr Oaks clearly mark the edge between the woodland and a proposed manicured lawn panel. A concrete terrace will provide entertaining space that flows easily from the sun room, great room and master bedroom suite. Low growing junipers, perennials and grasses along with a dogwood and redbud trees planted at the corners of the new house will provide seasonal interest close to the house.

In the rear of the lot, a dense screen of evergreen and deciduous understory trees and shrubs will be planted along the western lot line to reinforce the existing canopy and to maintain the existing privacy. The woodland will be planted with understory trees such as Serviceberry, Viburnum, and River Birch coupled with spring ephemerals and shade perennials to enhance the existing plant palette.

Along the south property line a new mixed planting of trees shrubs and perennials will be installed to continue the woodland theme. Close to the mudroom and garage a small vegetable garden will provide summer produce.





THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS*

**Façade Material**

- ☒ Stone  
☐ Brick  
☐ Wood Clapboard Siding  
☐ Stucco

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco  
☒ Other Horizontal Siding

Color of Material Refer to images

**Window Treatment**

**Primary Window Type**

- ☐ Double Hung  
☒ Casement (awnings and picture units)  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

Color of Finish Bronze (refer to image)

**Window Muntins**

- ☒ Not Provided  
☐ True Divided Lites

*Simulated Divided Lites*

- ☐ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☐ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☒ Other No trim

**Window Trim**

- ☐ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☒ Other No trim

**Fascias, Soffits, Rakeboards**

- ☒ Wood Painted  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_



**THE CITY OF LAKE FOREST**  
**BUILDING REVIEW BOARD APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material** N/A

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- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

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**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles \_\_\_\_\_
- ☐ Sheet Metal \_\_\_\_\_
- ☒ Other Bituminous sheet roofing for low slope

**Flashing Material**

- ☐ Copper
- ☐ Sheet Metal \_\_\_\_\_
- ☒ Other Aluminum

Color of Material Refer to images

**Gutters and Downspouts**

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- ☐ Copper
- ☒ Aluminum
- ☐ Other \_\_\_\_\_

**Driveway Material**

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- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

**Terraces and Patios**

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- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☒ Poured Concrete
- ☐ Other \_\_\_\_\_

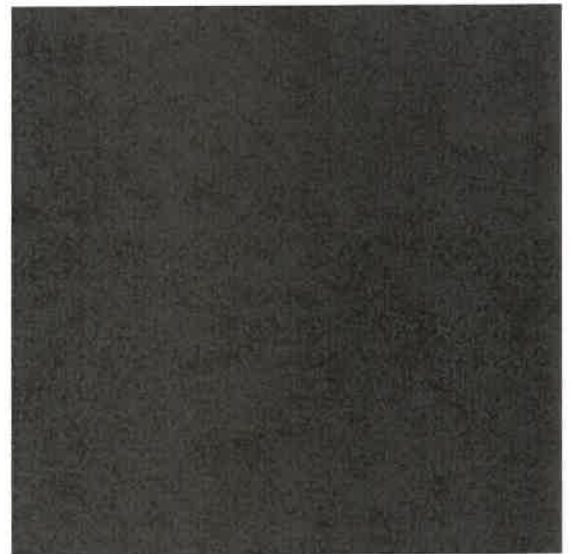




Roof (final color as indicated or similar)



Siding



Window, Flashing, Gutter, Fascia &  
Soffit – Finish Color



Natural Stone Veneer – Material Image





Natural Stone Veneer – Precedent Image



Natural Stone Veneer – Material Image





Synthetic Siding – Precedent Image  
(1199 Linden Ave, Highland Park)

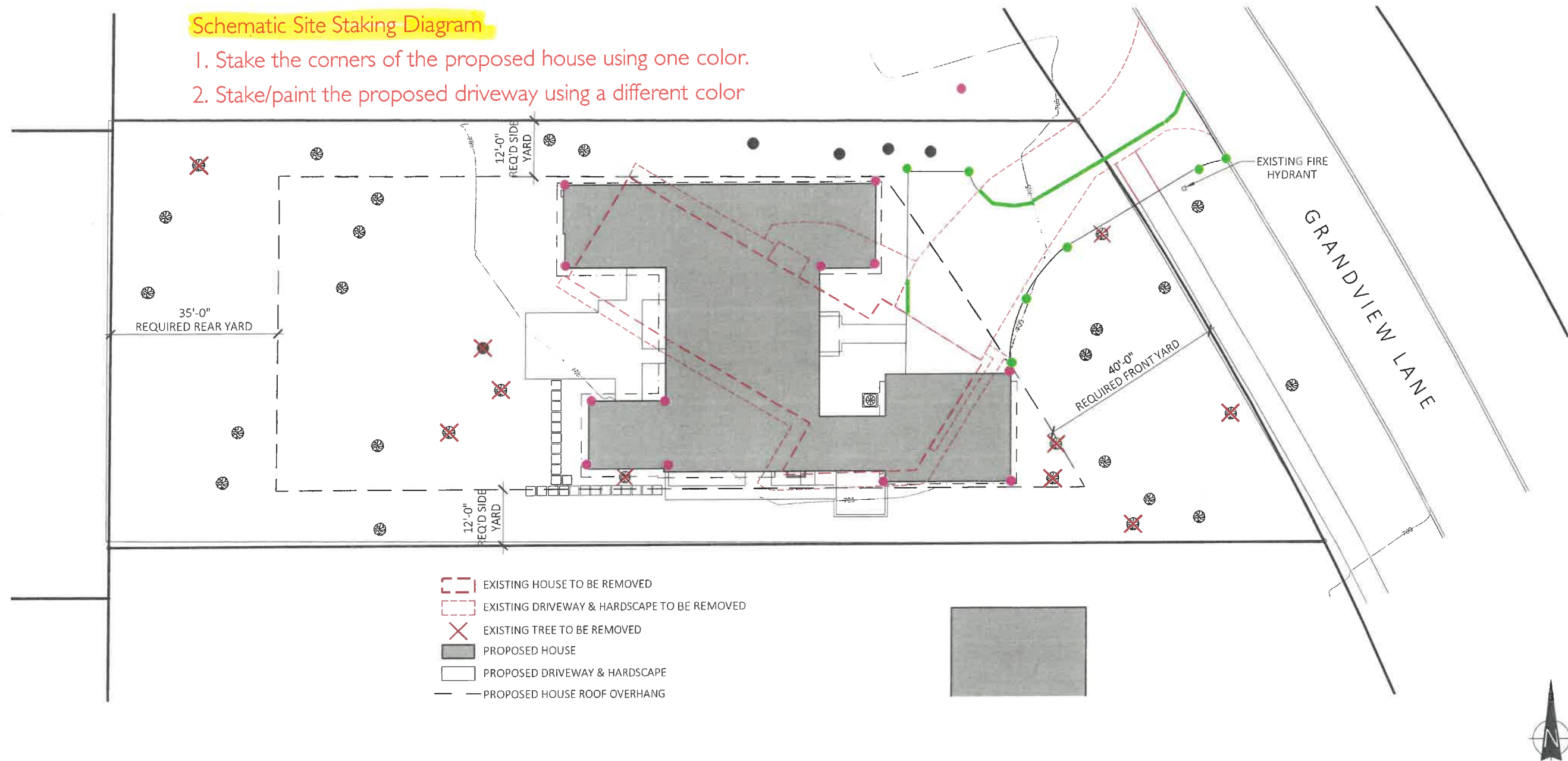


Siding Color – Material Image



## Schematic Site Staking Diagram

1. Stake the corners of the proposed house using one color.
2. Stake/paint the proposed driveway using a different color



SITE PLAN of PROPOSED IMPROVEMENTS

SCALE: 1" = 20'



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045  
P 847-295-2440 F 847-295-2451 © 2021 MELICHAR ARCHITECTS

HANNICK RESIDENCE  
NEW SINGLE-FAMILY HOME AT  
1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

DATE: AUG. 27, 2021 Submission

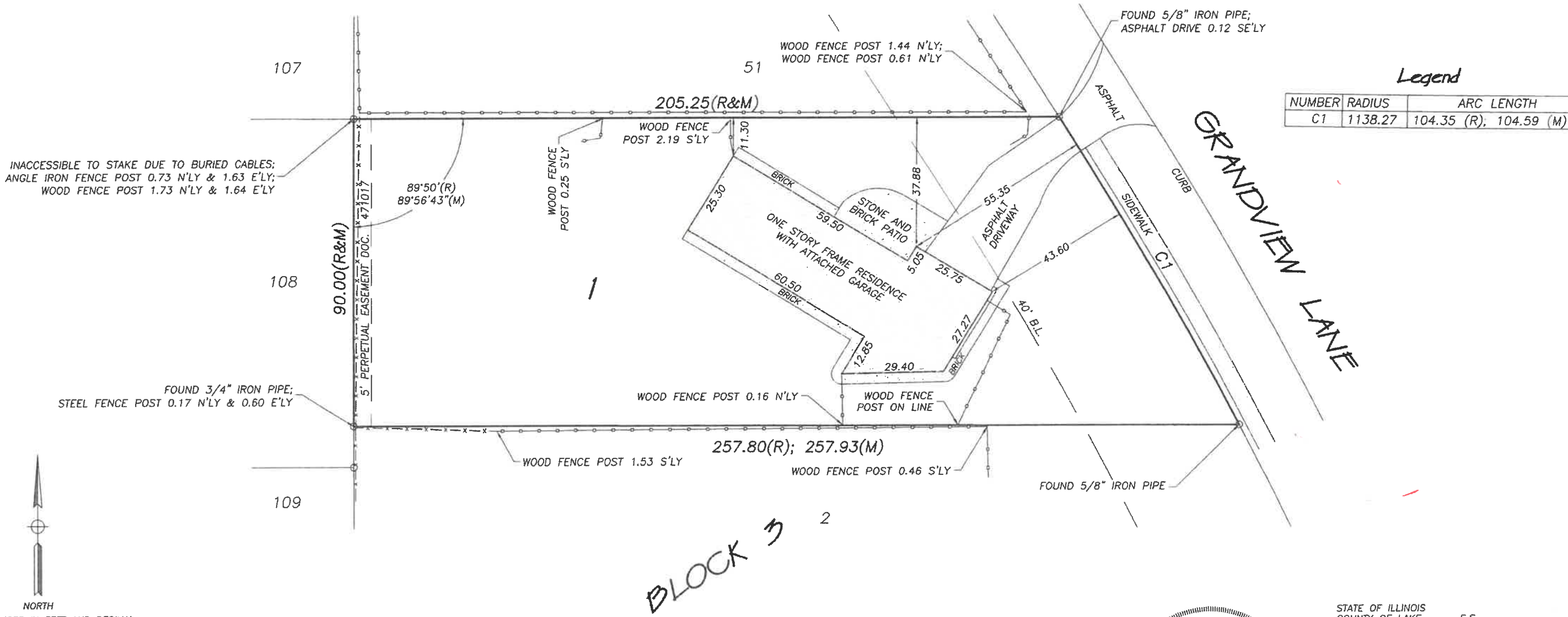


(847) 336-0059 phone  
(847) 336-8753 fax

PEKLAY SURVEYING CO., LTD.  
**PLAT OF SURVEY**

163 N. GREENLEAF ST  
SUITE 1  
GURNEE, IL. 60031-3344

LOT 1 IN BLOCK 3 IN SUNSET HILLS ESTATES, BEING A SUBDIVISION OF THE SOUTH EAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9 AND THAT PART OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 10, ALL IN TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 8, 1924 AS DOCUMENT 239464, IN BOOK "M" OF PLATS, PAGE 75, IN LAKE COUNTY, ILLINOIS.



*Legend*

NUMBER	RADIUS	ARC LENGTH
C1	1138.27	104.35 (R); 104.59 (M)

*Legend*

(R)= Record  
(M)= Measure  
B.L.= Building Line  
—o—o— = Wood Fence  
—x—x— = Wire Fence  
Area = 20,954 Sq. Ft. (M)

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the descriptions ordered to be surveyed contains a proper description of the required building lines or easements.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.



STATE OF ILLINOIS  
COUNTY OF LAKE S.S.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

GURNEE, IL. 4/5 A.D. 20 21  
PEKLAY SURVEYING CO., LTD.  
PROFESSIONAL DESIGN FIRM NO. 2981

BY *Edward Peklay*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2549. MY LICENSE EXPIRES 11/30/2022

ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF. NO DIMENSIONS TO BE ASSUMED BY SCALING.  
DATE OF FIELD WORK: 4/2/21  
SCALE: One inch = 30 feet  
FILE NO. 21-79  
ORDERED BY: G. Neddenriep, LLC  
PROPERTY ADDRESS: 1000 S. Grandview Lane, Lake Forest, IL.





SITE PLAN of PROPOSED IMPROVEMENTS

SCALE: 1" = 20'



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

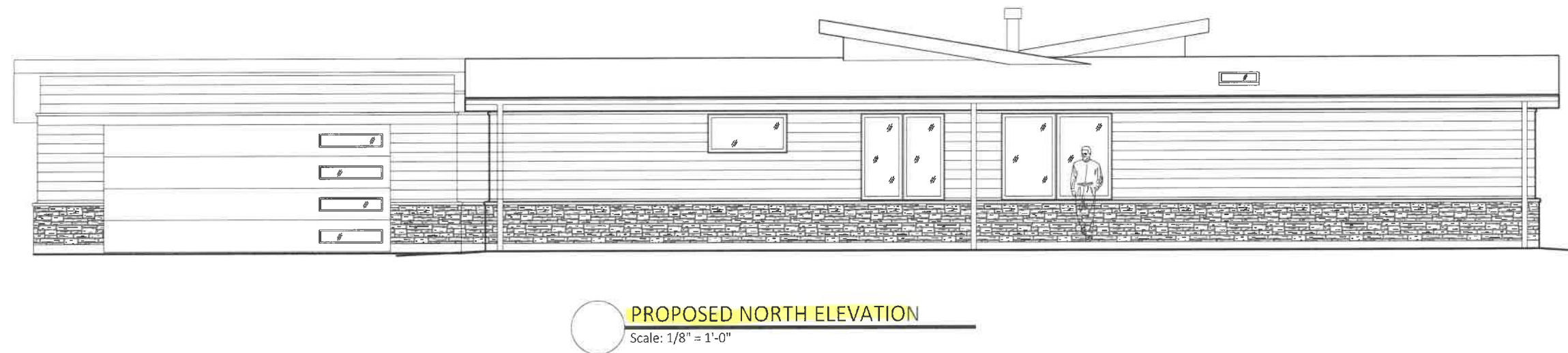
207 EAST WESTMINSTER LAKE FOREST, ILLINOIS 60045  
P 847-295-2440 F 847-295-2451 © 2021 MELICHAR ARCHITECTS

HANNICK RESIDENCE  
NEW SINGLE-FAMILY HOME AT  
1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

DATE: SEPT. 3, 2021





MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

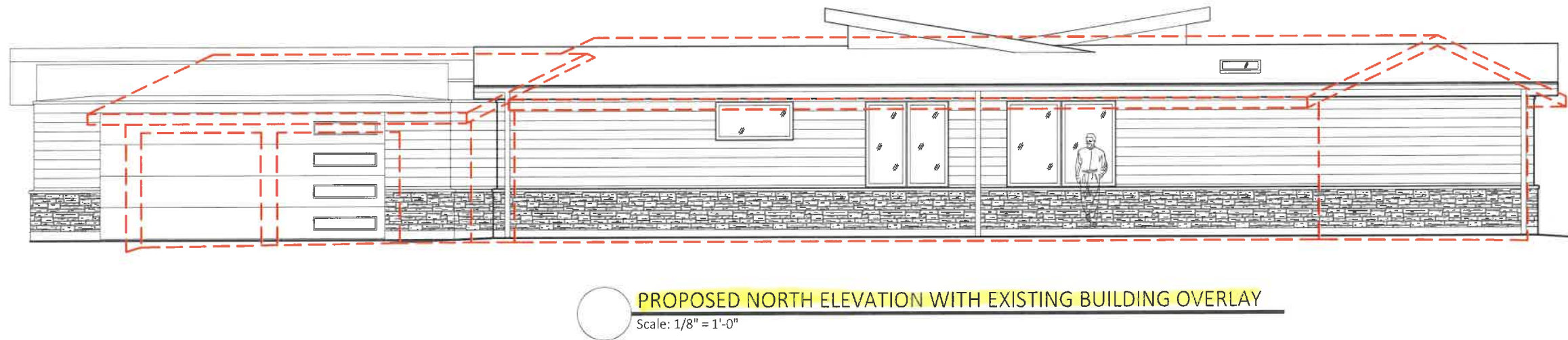
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HANNICK RESIDENCE  
NEW SINGLE-FAMILY HOME AT  
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LAKE FOREST, IL

JOB NO.: 1945

DATE: SEPT. 15, 2021





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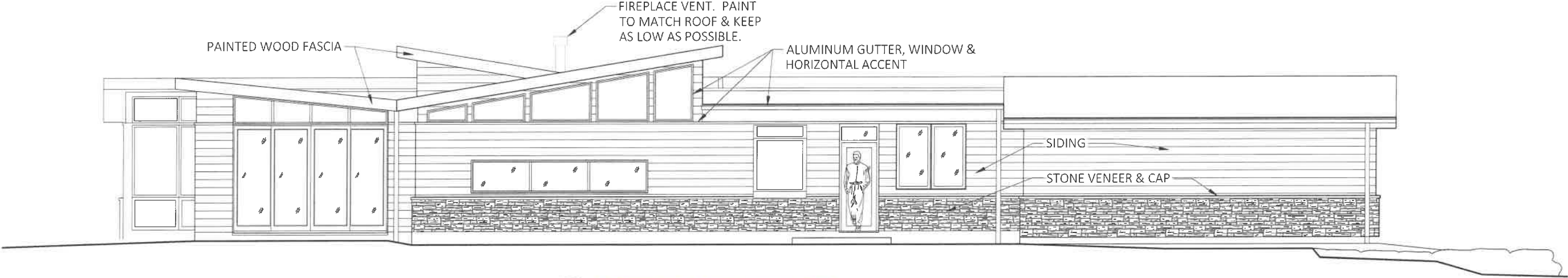
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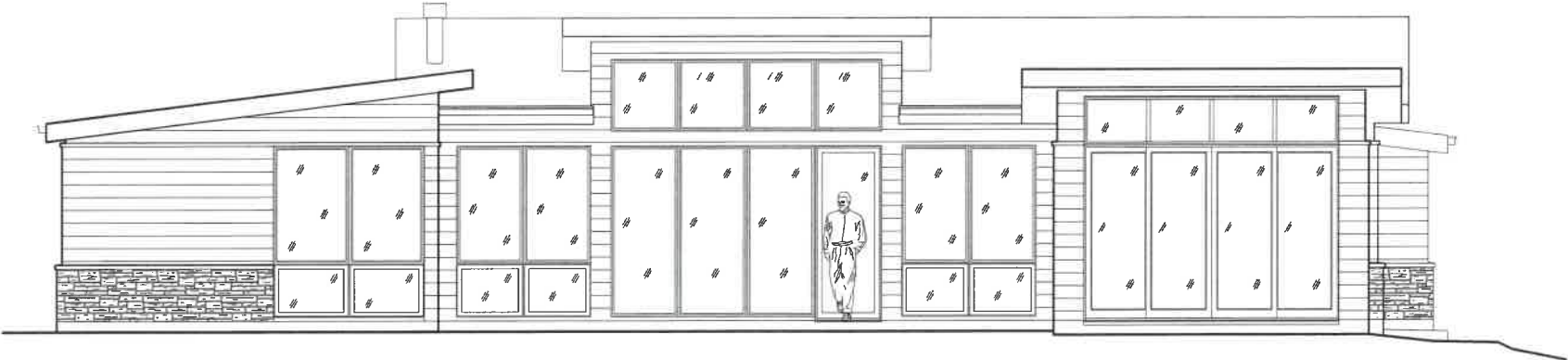
JOB NO.: 1945

DATE: SEPT. 3, 2021





PROPOSED SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



PROPOSED WEST ELEVATION  
Scale: 1/8" = 1'-0"



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

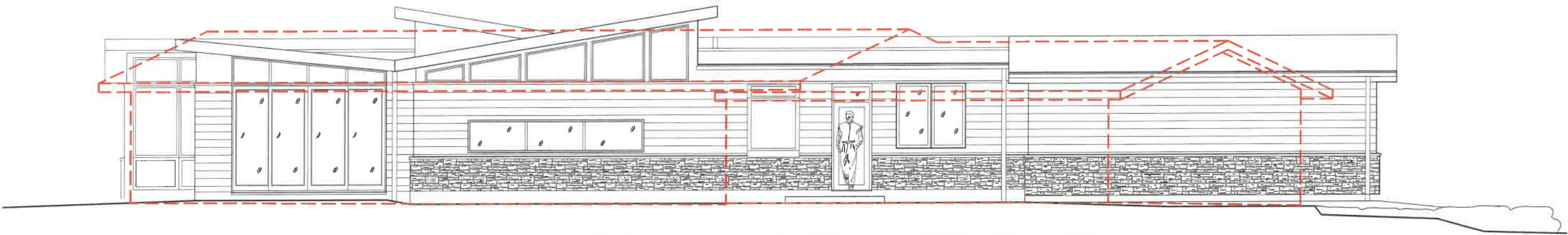
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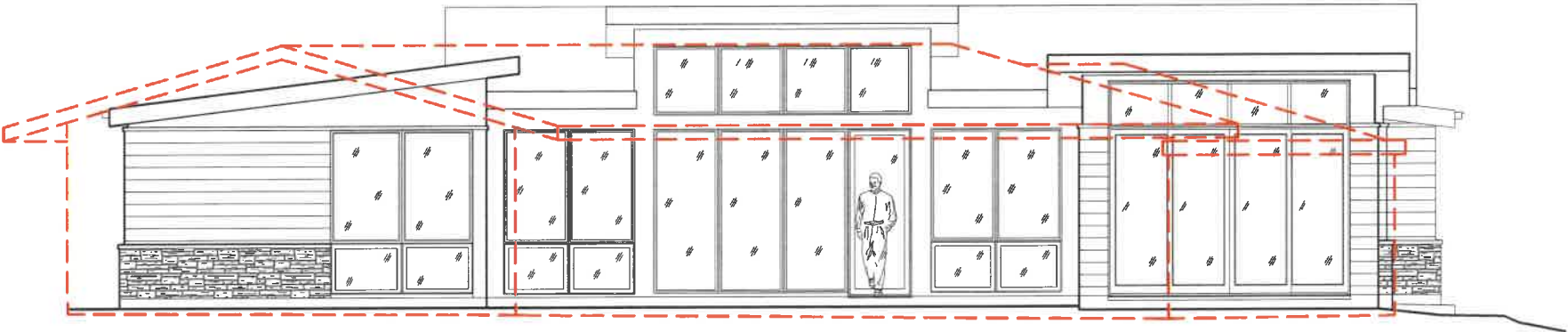
JOB NO.: 1945

DATE: SEPT. 15, 2021





PROPOSED SOUTH ELEVATION WITH EXISTING BUILDING OVERLAY  
Scale: 1/8" = 1'-0"



PROPOSED WEST ELEVATION WITH EXISTING BUILDING OVERLAY  
Scale: 1/8" = 1'-0"



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

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1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

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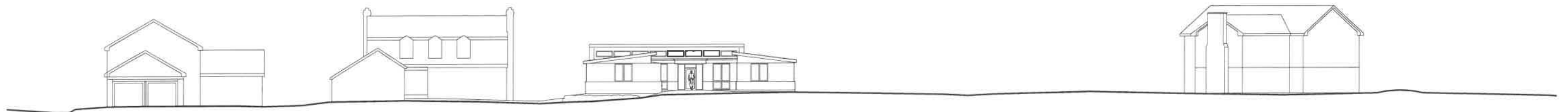
VIEW OF THE FRONT ELEVATION FROM THE NORTHEAST





VIEW OF THE WEST ELEVATION FROM THE BACK YARD





PROPOSED STREETSCAPE ELEVATION

Scale: 1/8" = 1'-0"



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

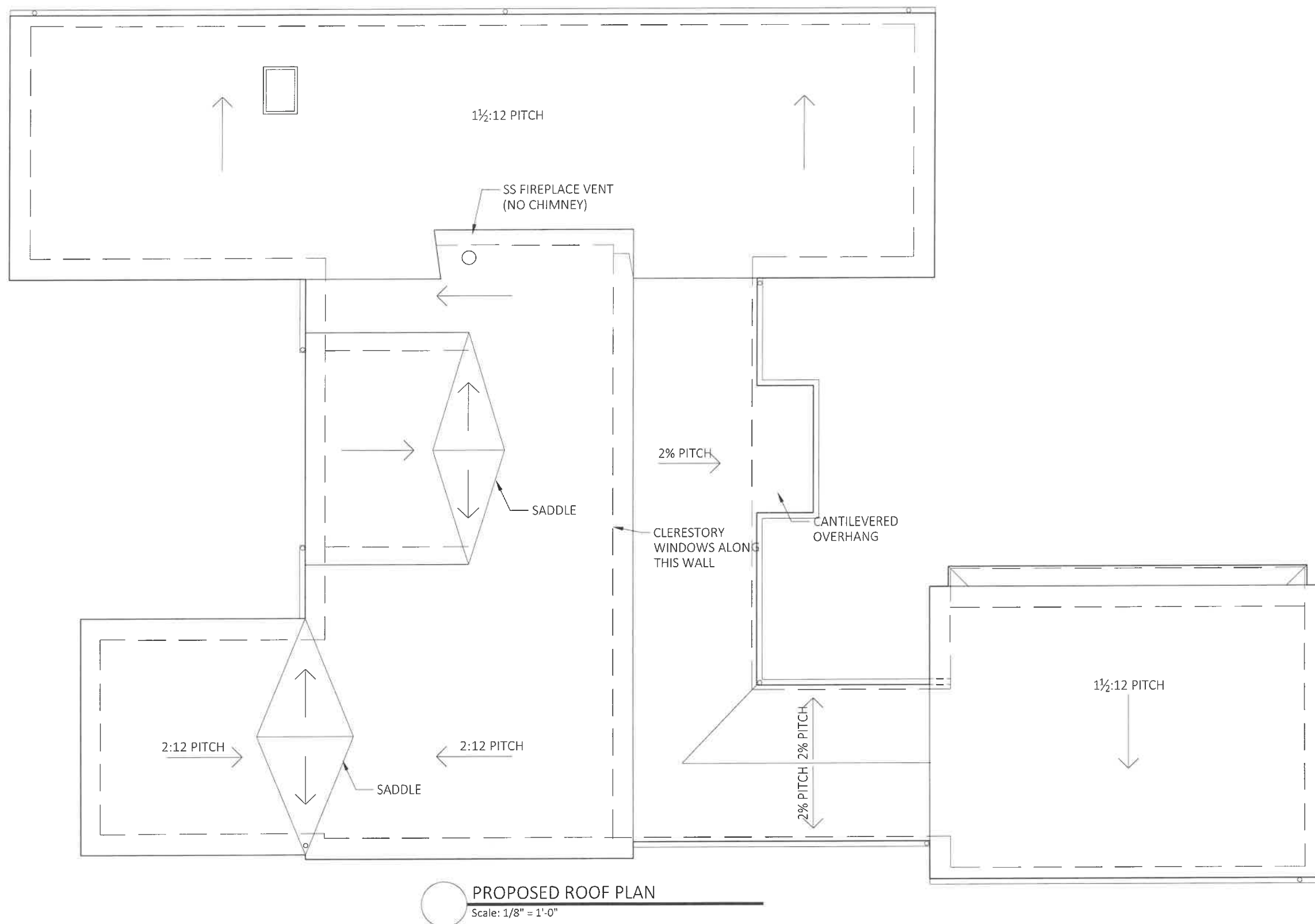
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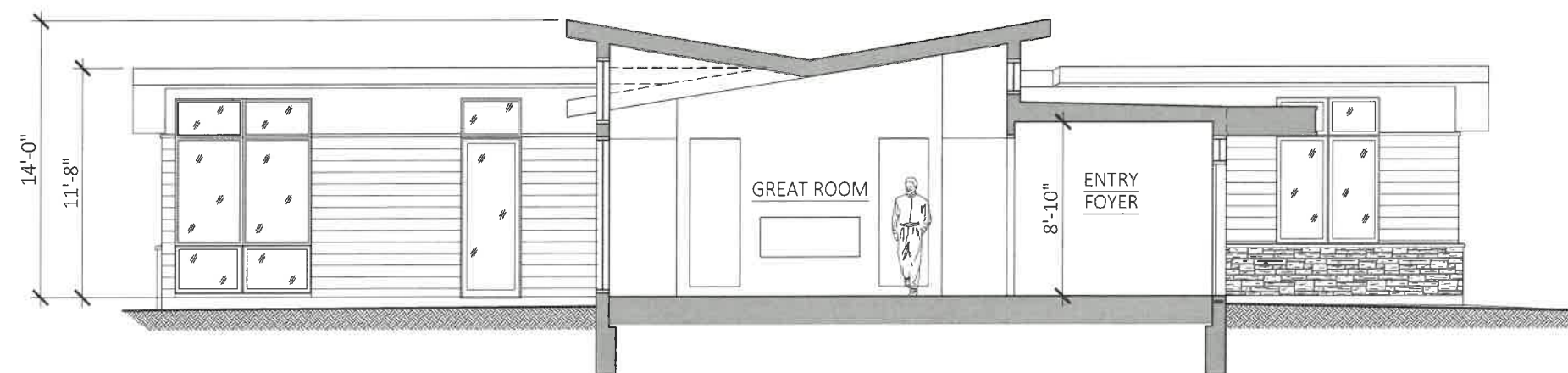
# HANNICK RESIDENCE

NEW SINGLE-FAMILY HOME AT  
1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

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PROPOSED BUILDING SECTION - WEST/EAST THROUGH ENTRY  
Scale: 1/8" = 1'-0"



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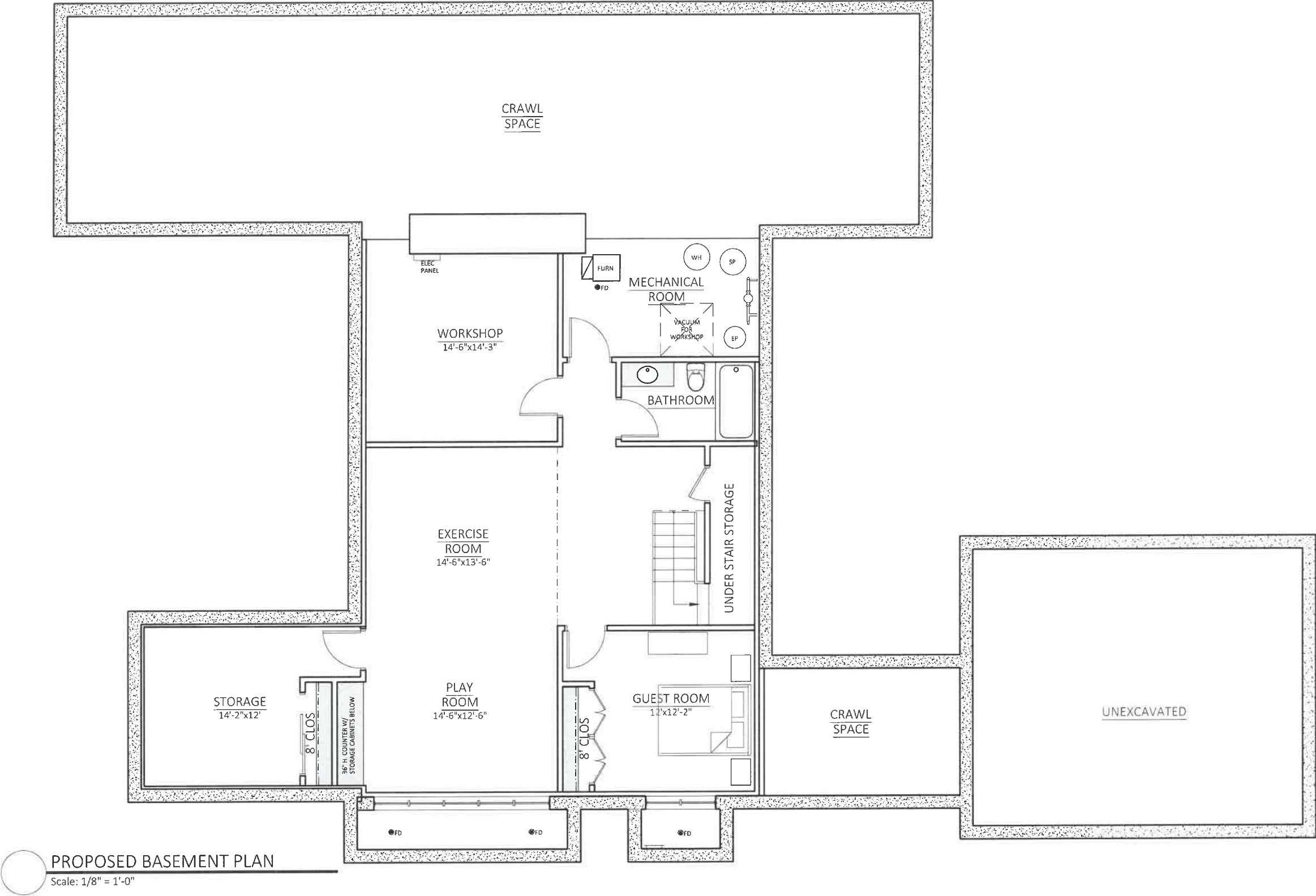
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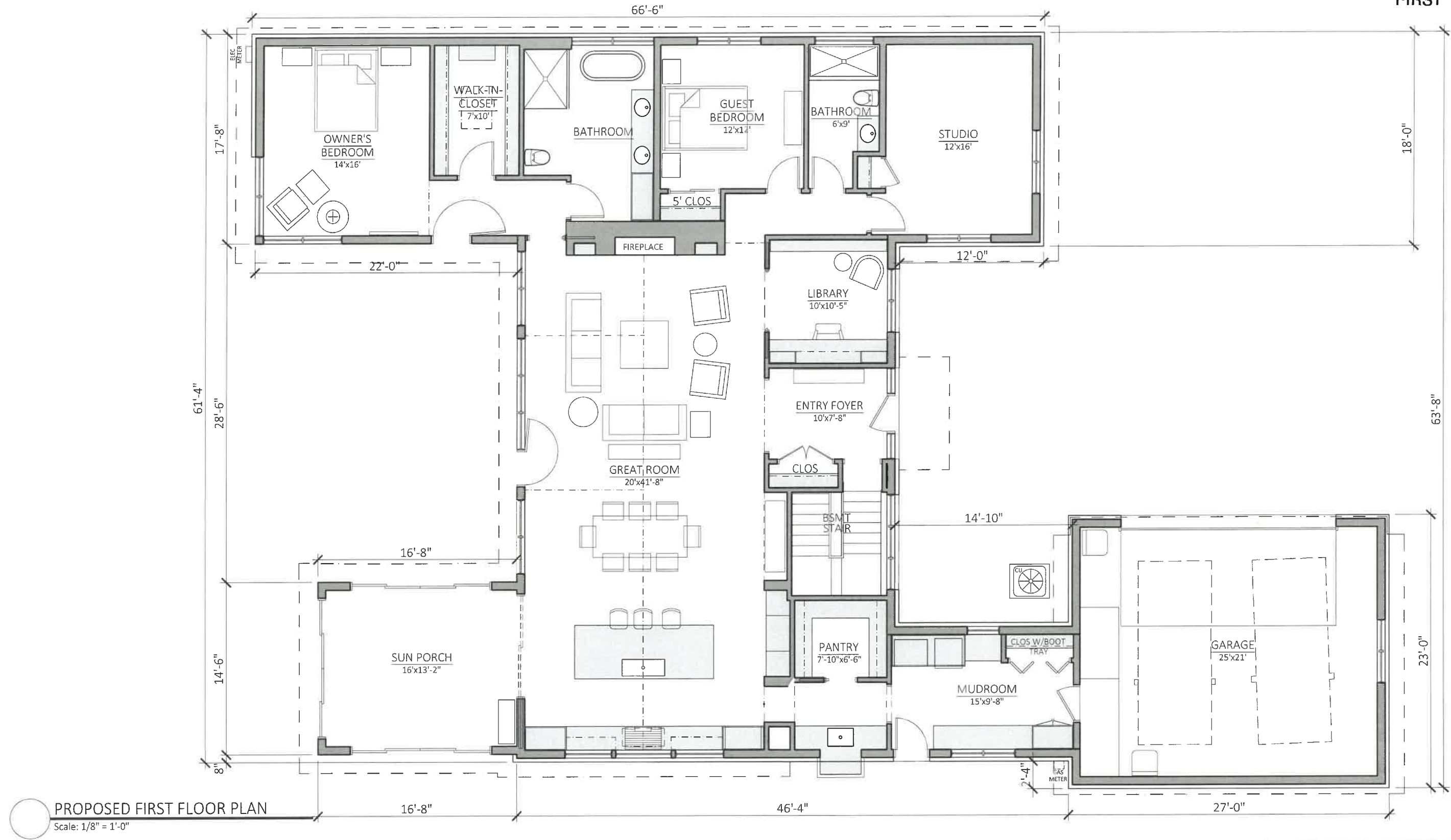
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1090 Grandview Avenue - Tree Removals					CONDITION (#BEST - #Worst)		NOTES
SURVIVE TAG#	BLACK TAG#	SIZE	Common Name	Botanical Name			
<b>FRONT YARD</b>							
15	1225	24	White Oak	Quercus alba	3	Remove	
18	1518	21	White Oak	Quercus alba	3		
17	1437	20	White Oak	Quercus alba	3		
24	1538	21	Star Oak	Quercus macrocarpa	3		
23	1528	20	White Oak	Quercus alba	3		
25	1548	15	White Oak	Quercus alba	3		
	red tag	8	Red Maple	Acer rubrum	3		
31	no Black tag	12	White Oak	Quercus alba	3		Remove by Sawyer
<b>BACK YARD</b>							
34	1548	27	Star Oak	Quercus macrocarpa	3	Remove	
45	1540	8	Star Oak	Quercus macrocarpa	3		
46	1070	20	White Oak	Quercus alba	3		
44	1811	8	Red Oak	Quercus rubra	3		
43	1882	10	Shining White Oak	Quercus bicolor	3		
42	1033	21	Star Oak	Quercus macrocarpa	3		
40	1554	15	White Oak	Quercus alba	3		
38	1850	21	Star Oak	Quercus macrocarpa	3		
30	1039	24	Star Oak	Quercus macrocarpa	3		
28	1452	11	Shining White Oak	Quercus bicolor	3		
40	1518	24	Shining White Oak	Quercus bicolor	3	Remove	
51	1393	17	Shining White Oak	Quercus bicolor	3		
52	1901	18	Juniper	Picea abies	3		
53	1892	15	Juniper	Picea abies	3		
54	1950	15	Juniper	Picea abies	3		
50	1984	21	Juniper	Picea abies	3	Remove	
	TRUNK	04	Tree Guard in Best Condition				
NOTE: Redwood trunks located across back yard 8' in front yard and west end 16' in rear yard. Rustling eastern Pines							

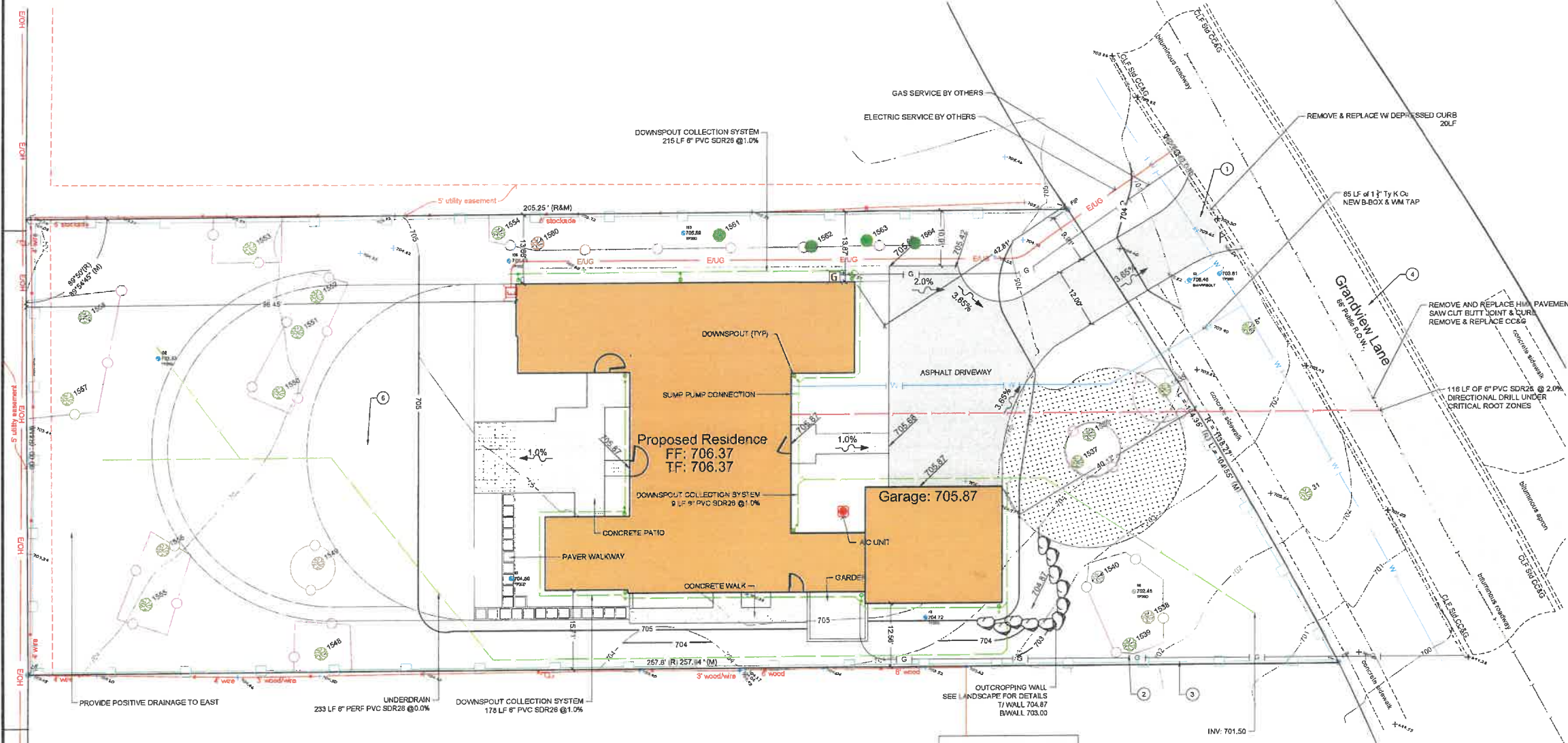


# TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL

1000 Grandview Avenue - Tree Removals						
SUNRISE TAG#	BLECK TAG#	SIZE	Common Name	Botanical Name	CONDITION (1=BEST - 6=DEAD)	NOTES
<b>FRONT YARD</b>						
14	1534	15	White Oak	Quercus alba	3	Driveway - REMOVE
15	1535	24	White Oak	Quercus alba	3	
16	1536	11	White Oak	Quercus alba	3	
17	1537	20	White Oak	Quercus alba	3	
24	1538	21	Bur Oak	Quercus macrocarpa	3	
23	1539	8	White Oak	Quercus alba	3	
25	1540	15	White Oak	Quercus alba	3	
19	1541	22	Red Oak	Quercus rubra	4	Poor/REMOVE
21	1542	18	Ash	Fraxinus pennsylvanica	6	DEAD/Remove
30	1543	8	Ash	Fraxinus pennsylvanica	6	DEAD
	no tag	8	Red Maple	Acer rubrum	3	Parkway
31	no Bleck tag	12	White Oak	Quercus alba	3	Parkway
26	no Bleck tag	16	Red Oak	Quercus rubra	4	Poor/REMOVE
<b>BACK YARD</b>						
32	1544	16	White Oak	Quercus alba	3	REMOVE-House Construction
47	1545	16	Swamp White Oak	Quercus bicolor	3	REMOVE-Grading
48	1546	19	Spruce	Picea abies	3	REMOVE-Grading
46	1547	20	Swamp White Oak	Quercus alba	3	REMOVE-Grading
34	1548	27	Bur Oak	Quercus macrocarpa	3	
45	1549	8	Burr Oak	Quercus macrocarpa	3	
56	1550	33	White Oak	Quercus alba	3	
44	1551	8	Red Oak	Quercus rubra	3	
43	1552	10	Swamp White Oak	Quercus bicolor	3	
42	1553	21	Bur Oak	Quercus macrocarpa	3	
50	1554	15	White Oak	Quercus alba	3	
35	1555	21	Burr Oak	Quercus macrocarpa	3	
36	1556	24	Bur Oak	Quercus macrocarpa	3	
39	1557	11	Swamp White Oak	Quercus bicolor	3	
40	1558	24	Swamp White Oak	Quercus bicolor	3	
41	1559	8	Ash	Fraxinus pennsylvanica	6	DEAD/Remove
51	1560	17	Swamp White Oak	Quercus bicolor	3	
52	1561	18	Spruce	Picea abies	3	
53	1562	18	Spruce	Picea abies	3	
54	1563	15	Spruce	Picea abies	3	
55	1564	21	Spruce	Picea abies	3	



1000 Grandview Lane, Lake Forest, Illinois



1000 Grandview - Existing Conditions

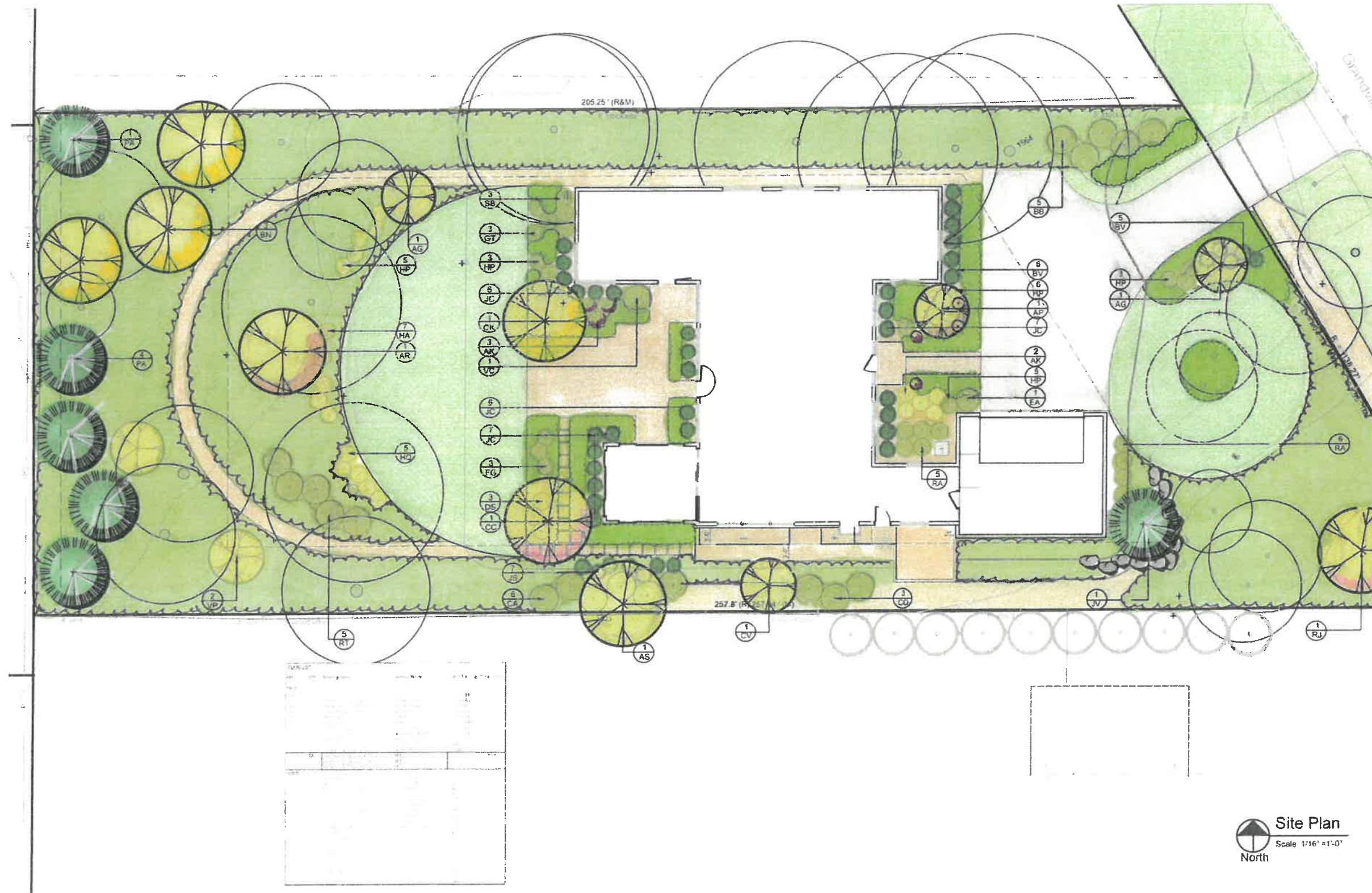
Area Description	Quantity	Type
Residence	1526	Wood frame
Garage	557	Wood frame
Unheated porch	337	Wood frame
Total Residence	2420	
Driveway (total)	1363	Asphalt
Driveway (on prop)	972	Asphalt
Entry walkway	383	Brick
North walk	109	Brick
South walk	391	Brick
Terrace	-	Brick
AC pad	12	
Total Hardscape on prop	1867	
Total Impervious area	4287	
Lot size	20,967	
Coverage %	21%	

1000 Grandview - Proposed Construction

Area Description	Quantity	Type
Residence	2987	Wood frame
Garage	621	Wood frame
Total Residence	3608	
Driveway (total)	1591	Asphalt
Driveway (on prop)	1281	Asphalt
Entry walk	92	Concrete
Terrace	486	Concrete
Side walkway 1	144	Concrete
Side walkway 2	96	2x2 concrete pads
AC Pad	12	Concrete
Total Hardscape on prop	2111	
Total Impervious area	5719	
Lot size	20,967	
Coverage %	27%	

1000 Grandview Avenue - Tree Removals						
SUNRISE TAG#	BLACK TAG#	SIZE	Common Name	Botanical Name	CONDITION (1"=85BT - 1"=10'0")	NOTES
FRONT YARD						
15	1536	24	White Oak	Quercus alba	3	
16	1530	11	White Oak	Quercus alba	3	
17	1537	20	White Oak	Quercus alba	3	
24	1538	21	Red Oak	Quercus macrocarpa	3	
25	1539	6	White Oak	Quercus alba	3	
26	1540	15	White Oak	Quercus alba	3	
27	1541	15	White Oak	Quercus alba	3	
28	1542	15	White Oak	Quercus alba	3	
29	1543	15	White Oak	Quercus alba	3	
30	1544	15	White Oak	Quercus alba	3	
31	no black tag	6	Red Maple	Acer rubrum	3	Partial Canopy
32	1545	12	White Oak	Quercus alba	3	
BACK YARD						
33	1546	15	White Oak	Quercus alba	3	
34	1548	27	Red Oak	Quercus macrocarpa	3	
35	1549	9	Red Oak	Quercus macrocarpa	3	
36	1550	33	White Oak	Quercus alba	3	
37	1551	8	Red Oak	Quercus macrocarpa	3	
38	1552	10	Swamp White Oak	Quercus bicolor	3	
39	1553	21	Red Oak	Quercus macrocarpa	3	
40	1554	15	White Oak	Quercus alba	3	
41	1555	21	Red Oak	Quercus macrocarpa	3	
42	1556	24	Red Oak	Quercus macrocarpa	3	
43	1557	11	Swamp White Oak	Quercus bicolor	3	
44	1558	24	Swamp White Oak	Quercus bicolor	3	
45	1559	24	Swamp White Oak	Quercus bicolor	3	
46	1560	17	Swamp White Oak	Quercus bicolor	3	
47	1561	18	Spruce	Picea canadensis	3	
48	1562	18	Juniper	Juniperus sp.	3	
49	1563	18	Juniper	Juniperus sp.	3	
50	1564	21	Spruce	Picea canadensis	3	
TOTAL					34	Trunk Good to Fair Condition
NOTE: Sunburning Insects dead & sunburn areas over 17" in tree stem and trees over 18" in trunk must be removed.						





**H**  
**N** LANDSCAPE ARCHITECTS

2000 10th Avenue, North  
St. Petersburg, FL 33704

**Hannick Residence**

1000 10th Avenue, North  
St. Petersburg, FL 33704

**Landscape Plan**

**Sheet**  
**L1**

Project	Client	Architect	Scale	Date	Drawn By	Checked By
Hannick Residence	Mr. & Mrs. Hannick	Hannick Landscape Architects	1/16" = 1'-0"	10/1/00	J. Hannick	J. Hannick

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Florida.



# PROPOSED PLANT LIST

PLANT LIST					
KEY	QTY	Botanical Name	Common Name	Size at Planting	Total Inches
TREES:					
AR	1	Acer rubrum	Red Maple	9' clump B&B	3.5"
AP	1	Acer palmatum 'Bloodgood'	Japanese Maple	8' clump B&B	3.0"
AS	1	Acer Saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	3" cal. B&B	3.0"
AG	2	Amelanchier grandiflora	Serviceberry	8' clump B&B	6.0"
BN	3	Betula nigra	River Birch	8' clump B&B	9.0"
CC	1	Cercis Canadensis 'Forest Pansy'	Redbud	8' clump B&B	3.0"
CV	1	Chionanthus virginicus	White Fringetree	8' clump B&B	3.0"
CF	1	Cornus kousa 'Samtomi'	Samaritan Dogwood	8' clump B&B	3.0"
RJ	1	Malus 'Red Jewel'	Red Jewel Crabapple	8' clump B&B	3.0"
PA	5	Picea abies	Norway Spruce	8' B&B	15.0"
JV	1	Juniperus virginiana 'Canaertii'	Eastern Red Cedar	10' B&B	4.0"
18	Total Replacement Caliper Inches		55.5"	55.5"	
	Caliper inches Deciduous Trees		36.5"		
	Caliper inches Evergreen Trees		19"		
SHRUBS:					
AK	5	Azalea Karens	Karen's Azalea	5 gal. cont.	
BB	5	Aesculus parviflora	Bottlebrush Buckeye	5 gal. cont.	
BV	11	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	5 gal. cont.	
CO	3	Cephalanthus occidentalis	Buttonbush	5 gal. cont.	
CA	6	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	24" B&B	
DS	3	Diervilla sessilifolia 'Butterfly'	Bush Heoneysuckle	5 gal. cont.	
EA	2	Euonymus alatus 'Compactus'	Dwarf Burning Bush	3' B&B	
GT	6	Forsythia x intermedia 'Gold Tide'	Gold Tide Forsythia	5 gal. cont.	
FG	3	Fothergilla gardenii	Dwarf Fothergilla	5 gal. cont.	
HA	7	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	24" B&B	
HP	19	Hydrangea paniculata 'Fire Light Tidbit'	Fire Light Tidbit Hydrangea	5 gal. cont.	
HQ	5	Hydrangea quercifolia 'Alice'	Oak Leaf Hydrangea	5 gal. cont.	
JC	26	Juniperus horizontalis compacta	Compact Andorra Juniper	5 gal. cont.	
JS	7	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal. cont.	
RA	8	Ribes alpinum 'Greenmound'	Alpine Currant	5 gal. cont.	
RT	5	Rhus typhina 'Tiger Eyes'	Cutleaf Staghorn Sumac	5 gal. cont.	
SB	3	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	5 gal. cont.	
SV	3	Syringa vulgaris	Lilac	3' B&B	
VC	1	Viburnum carlesii compactum	Dwarf Korean Spice Viburnum	3' B&B	
VP	2	Viburnum prunifolium	Blackhaw Viburnum	5' B&B	





View from Street



Front Elevation



Screened Porch



Side Elevation





615 Linden Avenue  
(as viewed from Grandview Lane)



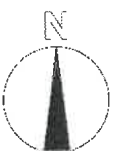
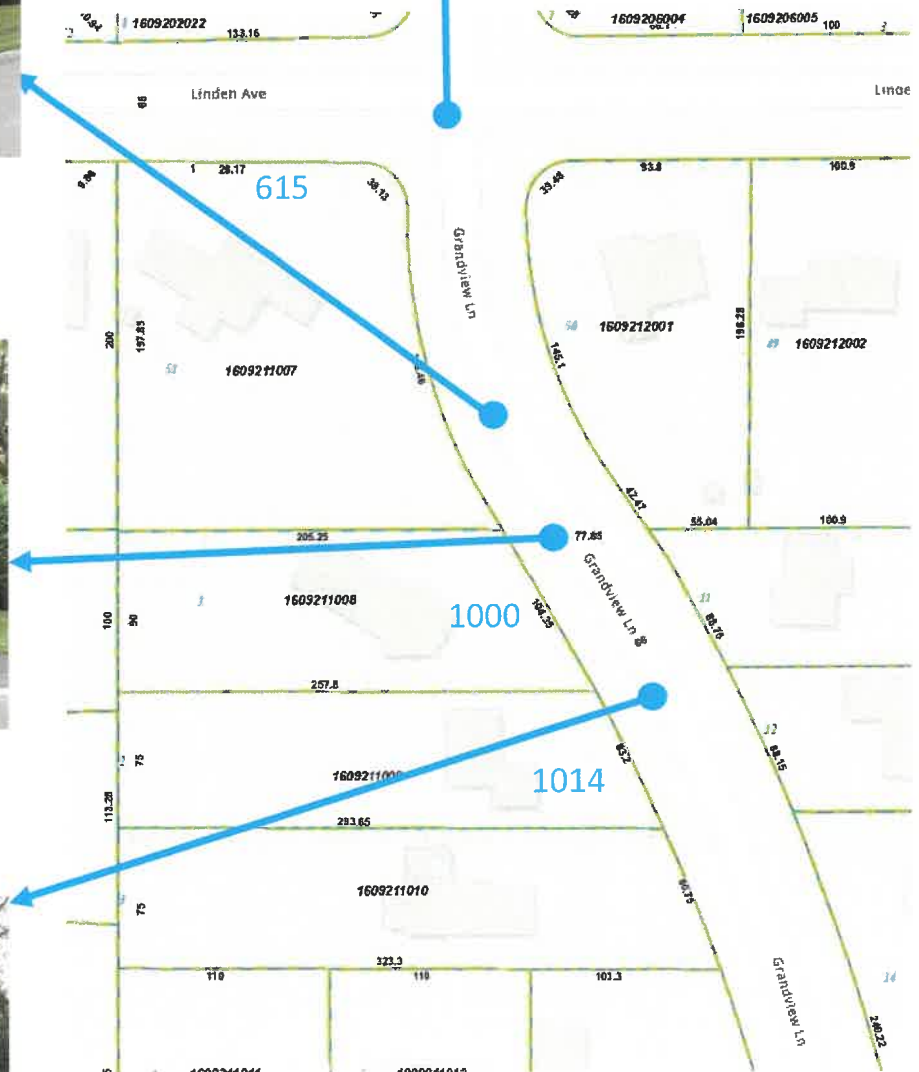
1000 Grandview Lane  
(Subject Property)



1014 Grandview Lane



615 Linden Avenue



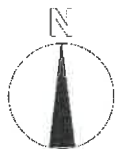




SUBJECT PROPERTY



Whispering Oaks Neighborhood Map  
MID-CENTURY / CONTEMPORARY HOMES







786 Longwood Drive



711 Timber Lane



824 Cherokee Road





491 Beverly Place



573 Timber Lane



1112 Grandview Lane





686 Longwood Drive



694 Grandview Lane



601 Longwood Drive





588 Cherokee Road

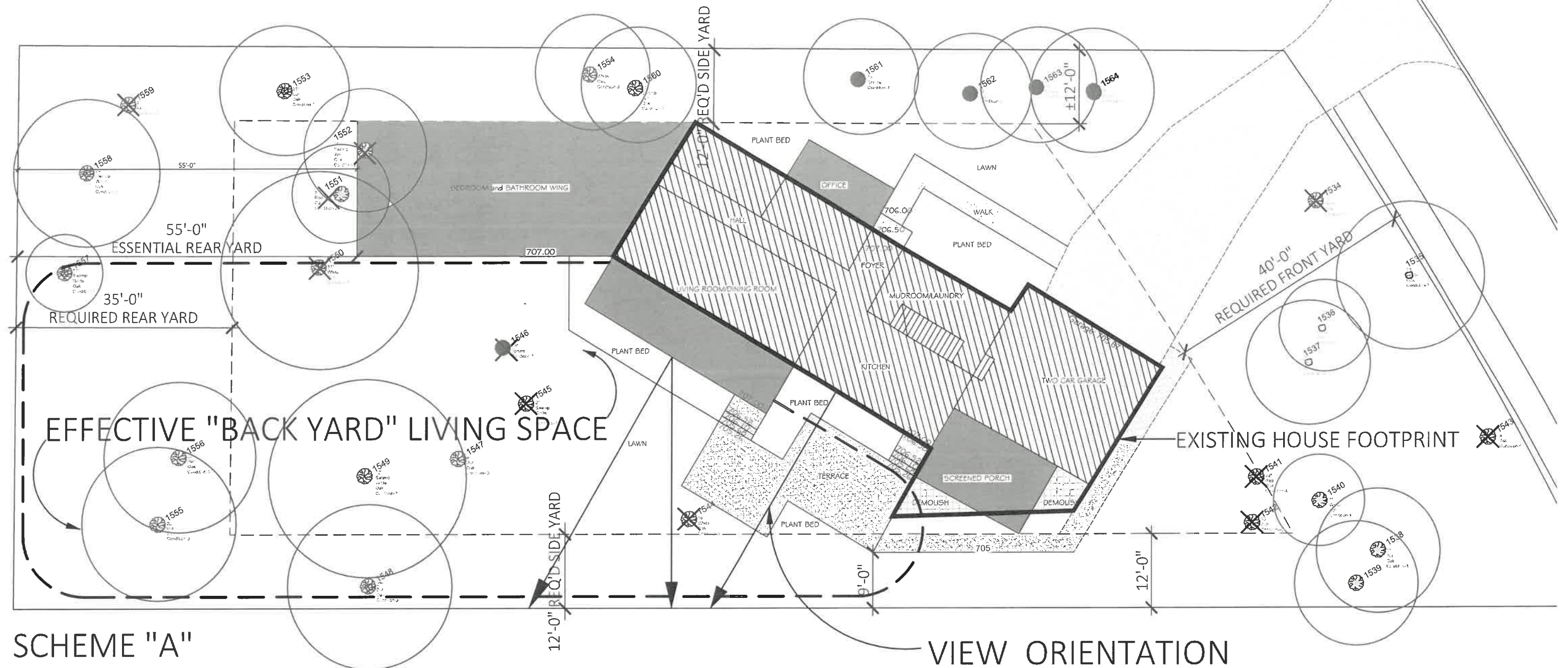


750 Morningside Drive



1101 Timber Lane





## ALTERNATE RENOVATION / ADDITION SCHEMES



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THE PRACTICE OF FINE ARCHITECTURE

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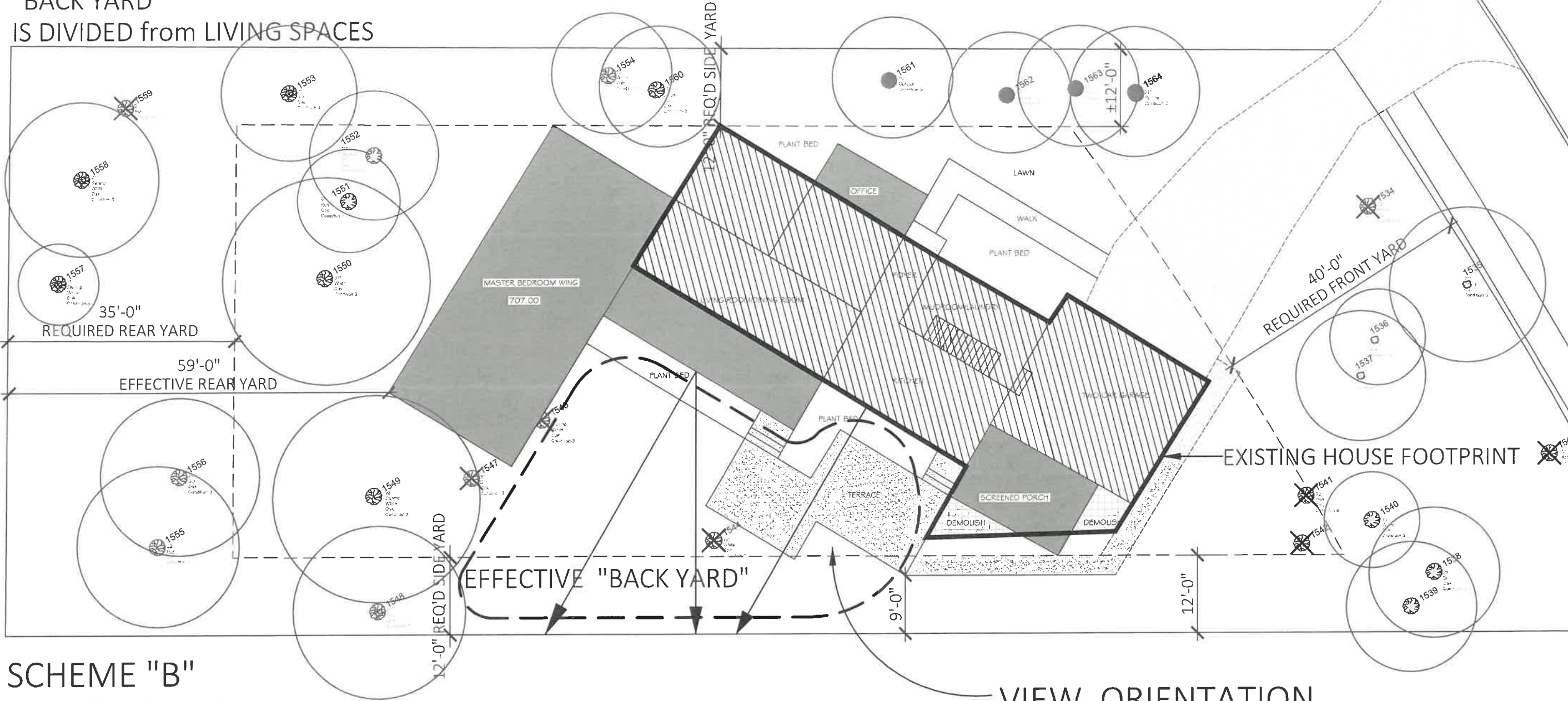
HANNICK RESIDENCE  
NEW SINGLE-FAMILY HOME AT  
1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

DATE: AUG. 27, 2021 Submission



"BACK YARD"  
IS DIVIDED from LIVING SPACES



SCHEME "B"

Drawbacks to Addition and Renovation Scheme "B"

- The size of the additions make the overall footprint of the renovated home larger than the replacement structure. The geometry and siting of the present house requires wasted space devoted to interior corridors to reach the additions.
- The renovated house keeps its current orientation without enhancing its street presence. Outdoor spaces are squeezed into the side yard focusing views into the neighbor's yard instead of to the extent of the property..
- The entire existing home must be reconfigured and renovated to accommodate a modern lifestyle.
- The location of the screened porch behind the garage is isolated from the rest of the house and therefore not an integral feature of the main living spaces.
- The siting of the new bedroom wing does not allow flow to the outdoor terrace and block access to the full rear yard.
- The effective size of the backyard is reduced from 96' to 59'.

KEY for 1000 Grandview Lane Addition Schemes	
Description	Pattern
Existing House to Remain	
Additions	
Demolition	
Hardscape	

ALTERNATE RENOVATION / ADDITION SCHEMES



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER  
P 847-295-2440 F 847-295-2451  
LAKE FOREST, ILLINOIS 60045  
© 2021 MELICHAR ARCHITECTS

HANNICK RESIDENCE  
NEW SINGLE-FAMILY HOME AT  
1000 GRANDVIEW LANE  
LAKE FOREST, IL

JOB NO.: 1945

DATE: AUG. 27, 2021 Submission



**Agenda Item 4**  
**1415 Oak Knoll Drive**  
**New Residence**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statement of Intent  
*Description of Exterior Materials*  
Proposed Site Plan  
Proposed West Elevation  
Proposed West Color Elevation  
Proposed South and North Elevations  
Proposed East Elevation  
Proposed East Color Elevation  
*Material and Color Palette Information*  
*Proposed Roof Plan*  
*Building Sections*  
*Proposed Basement Plan*  
*Proposed First Floor Plan*  
*Proposed Second Floor Plan*  
*Streetscape Elevation*  
*Preliminary Site Grading Plan*  
*Tree and Vegetation Removal Plan*  
*Preliminary Landscape Plan*  
*Proposed Fountain Detail*  
*Proposed Entry Piers Detail*  
*Proposed Rear Terrace Detail*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## **1415 Oak Knoll Drive**

**Consideration of a request for approval of a new residence, an attached garage, a conceptual landscape plan and the overall site plan.**

**Property Owners: Danit and Tom Voitik**

**Project Representative: David Aharoni, builder**

Staff Contact: Jen Baehr, Planner

### **Description of Property**

This property is located on the east side of Oak Knoll Drive, between Estate Lane East and Old Mill Road. The streetscape is generally characterized by expansive yards and significant landscaping along the street and between residences. There is a mixture of architectural styles in the surrounding neighborhood.

The property that is the subject of this request totals 2.14 acres and is irregular in shape, with the front property line following the curve of Oak Knoll Drive and the site narrowing toward the east end. The property is Lot 6 of the Biltmore subdivision which was recorded in August 2000. The five existing homes to the south are also in the Biltmore subdivision and were built between 2002 and 2005. As established by the Plat of Subdivision, there are various easements on the property, including a 30 foot drainage and conservation easement located on the east end of the site and a 20 foot conservation easement located along the north property line. As stated in the City Code, all existing vegetation within conservation easements shall be preserved for the purpose of retaining the natural character of the area and providing screening from adjacent properties or a public or private street. In addition, grading is not permitted within conservation easements.

### **Review and Evaluation of Applicable Standards from the City Code**

Below is a review of the standards outlined in the City Code for the Board's consideration.

*Site Plan – This standard can be met.*

The proposed residence is sited at a slight angle on the property and faces west, toward Oak Knoll Drive with the attached single and three car garages facing north. At its closest point, the home is approximately 128 feet from the front property line, and generally follows the setback pattern of the other homes in the Biltmore Subdivision, along Oak Knoll Drive.

A circular driveway with two curb cuts is proposed. The driveway is a combination of asphalt and pavers. Stone entry piers with gas lanterns are proposed on either side of the driveway at both curb cut locations. Entry piers are not unusual in this neighborhood. The gas lanterns that are proposed on the piers as currently presented do not fully comply with the City's Residential Lighting Guidelines which state that all light fixtures shall direct light downward and the source of the light shall be fully shielded from view. Modifications to the gas fixtures will be necessary to comply with the City's Residential Lighting Guidelines.

A fountain is proposed at the center of the circular drive in front of the house. A covered porch, bluestone terrace and outdoor kitchen are proposed on the rear of the home. Details of the entry piers, fountain, terrace and outdoor kitchen are included in the Board's packets.



The petitioner has indicated that an in ground pool and pool house are planned in the rear yard. Based on information provided by the petitioner, the pool and pool house are not part of the immediate project are planned at a later date.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will be 15%. The building footprint is 5,188 square feet and hardscape and driveway surfaces total 9,154 square feet.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 9,267 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 927 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 9,079 square feet.
- A single car and a three car garage are proposed. Together, the garages total 961 square feet. The garage overage of 161 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 451 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 9,240 square feet, and is 27 square feet, equal to 0.29 percent below the maximum allowable square footage.

Given that the house as proposed nearly reaches the maximum allowable square footage, as-built drawings will be required at various points in the construction process, to assure that the house, upon completion, does not exceed the allowable square footage.

At the maximum height, the residence is 35 feet and 8 inches tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

*Elevations – This standard is not fully met.*

According to the petitioner's statement of intent, the proposed residence is designed in a "Modern Provincial" style, with French Eclectic influences. On the front elevation, the residence presents a long, two story massing with steeply pitched hip roof forms. The front elevation reflects a balanced composition on the south end with the entrance serving as a central focal point and proportional massing, while the north end appears to stand out in relation to the well-balanced south portion of the home.

Staff worked with the petitioner to explore options to modify the roof forms on the south end in an effort to allow the front elevation to appear more cohesive and balanced. However, because the home nearly reaches the maximum allowable square footage, changes to the roof form resulted in additional square footage that exceeded what is permitted by Code.

The north elevation presents the single and three car garages and a side covered entry. The roof forms on the north elevation appear complex, with varying shallow and steep roof pitches. Again, staff worked with the petitioner to explore options that would simplify the roof forms on the north



elevation, and some refinement did occur and is reflected in the plans presented in the Board's packet.

*Type, color, and texture of materials – This standard is not fully met.*

The exterior wall materials include natural stone in a tumbled finish, cut limestone and wood paneling. The roof is proposed to be a solar roof system manufactured by Tesla. This type of roof system is relatively new in the market and has not been presented to the Board in past projects. Staff requested a sample of the solar roof system and to date, the sample is not available for review due to the fact that the vendor was not able to provide one. Images of the solar roof system and an informational brochure were provided by the petitioner and are included in the Board's packet.

Individual aluminum roof vents are proposed as reflected on the roof plan although the vents are not reflected on either the elevations or on the rendering. As a standard practice, the City requires ridge vents to avoid the appearance of many vents across the roof. Ridge vents, rather than individual vents, should be used. Wood is proposed for the fascia and soffits. Limestone is proposed for the door and window trim. Aluminum clad windows with exterior and interior muntin bars are proposed. Copper gutters and downspouts are proposed. The front door will be wood and the garage doors will be insulated steel. The chimney will be stone with a copper cap. The balconies will be wrought iron. The side entry and rear covered porch will have a wood parapet and columns. The wall mounted light fixtures are copper. Like the entry pier light fixtures, the wall mounted fixtures on the home do not fully comply with the City's Residential Lighting Guidelines, and modifications to the fixtures will be necessary to comply with the City's Residential Lighting Guidelines.

- Given that the solar roof system is a new product before the Board and the fact that a sample is not available at this time, staff recommends that approval of the solar roof system be subject to review of a mock up by a subcommittee of the Board as appointed by the Chairman.
- Consistent with the City's Residential Design Guidelines, staff recommends that no more than two different materials on the exterior walls. Currently, a natural stone, cut limestone and wood paneling are proposed. The dark wood serves as an accent on the house. Consideration should be given to using a single consistent stone for the façade to avoid distracting from the overall composition of the design and the architectural detailing.
- A continuous ridge vent should be used in place of multiple aluminum roof vents across the plane of the roof.
- All light fixtures must fully comply with the City's Residential Guidelines; the fixtures must direct light downward and the source of the light shall be fully shielded from view.

The proposed color palette includes dove white natural stone and cut limestone. The wood paneling proposed on the exterior walls will be black. The roof tiles, windows, balconies, front door and garage doors will be black. The petitioner provided color elevations to reflect the proposed color palette. The color elevations are included in the Board's packet.

*Landscaping - This standard can be met.*

No trees are proposed for removal as part of construction of the home and driveway. The petitioner is proposing to remove four dead Elm trees from the rear yard. Clearing of vegetation is proposed in the rear yard to create an open lawn space that aligns with the existing open space on the adjacent property to the south. This is most visible in the aerial photos in the Board's packet. No clearing is



permitted in the Conservation Area without a replanting plan approved by the City that restores the existing density of the vegetation.

The preliminary landscape plan submitted by the petitioner reflects a variety of plantings in the front and rear yards. The proposed plantings include, Horsechestnut, Oak, Hickory, Pine and Spruce trees as well as shrubs and grasses. The Code establishes a minimum criteria for landscaping for new residential construction. The criteria includes requirements for a number of shade, evergreen, and ornamental trees as well as foundation plantings that is based on the size of the home. The criteria also establishes a minimum size at the time of planting. As currently proposed, the minimum criteria for shade, evergreen and ornamental trees is fully satisfied, however the foundation plantings that are proposed do not meet the minimum size of 36 inches at the time of planting as established by the Code. As the landscape plan is further developed it must incorporate foundation plantings that satisfy the minimum size criteria.

#### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

#### **Recommendation**

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

#### **Conditions of Approval**

1. A mockup of the proposed solar roof system shall be subject to review and approval by a subcommittee of the Board as appointed by the Chairman.
2. No more than two different stone materials shall be used for the exterior walls, consistent with the City's Residential Design Guidelines.
3. A continuous ridge vent shall be used in place of multiple aluminum roof vents.
4. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
5. The final landscape shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site.
  - a. Removal of any vegetation or trees in the conservation easements is not permitted without prior approval by the City Arborist and a replanting plan



that restores the density of the existing plant material within a reasonable time.

6. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
  - a. Grading is not permitted in the conservation easements.
7. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.



# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1415 Oak Knoll Drive Owner(s) Danit and Tom Voitik

Representative: Sergio Estenssoro, architect Reviewed by: Jen Baehr

Date 10/6/2021

Lot Area 93337 sq. ft.

## Square Footage of New Residence:

1st floor 3756 + 2nd floor 4153 + 3rd floor 1170 = 9079 sq. ft.

Design Element Allowance = 927

Total Actual Design Elements = 451 Excess = 0 sq. ft.

Garage 961 sf actual ; 800 Excess = 161 sq. ft.

Garage Width 28'-6" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 9240 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 9267 sq. ft.

**DIFFERENTIAL** = -27 sq. ft.

**Under Maximum**

Allowable Height: 40 ft. Actual Height 35'-8" ft.

## NET RESULT:

27 sq. ft. is

0.29% under the  
Max. allowed

## DESIGN ELEMENT EXEMPTIONS

**Design Element Allowance:** 927 sq. ft.

Front & Side Porches = 355 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 96 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

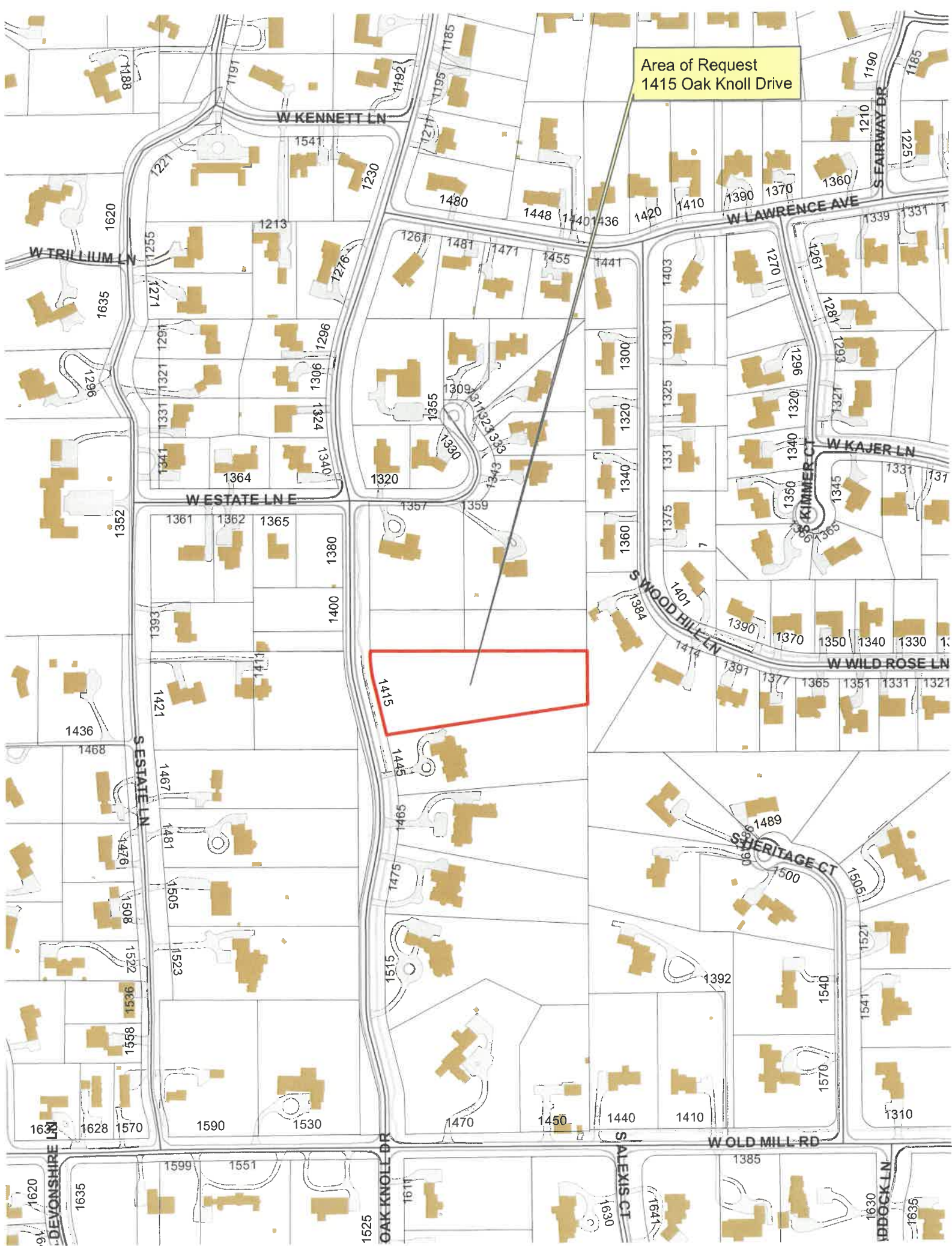
Bay Windows = 0 sq. ft.

**Total Actual Design Elements =** 451 sq. ft.

**Excess Design Elements =** 0 sq. ft.



Area of Request  
1415 Oak Knoll Drive





Area of Request  
1415 Oak Knoll Drive





Area of Request  
1415 Oak Knoll Drive







THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1415 Oak Knoll

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Tom Voitik and Danit Voitik  
Owner of Property

1633 Hermitage Ave  
Owner's Street Address (may be different from project address)

Chicago IL 60622  
City, State and Zip Code

847 868 5071  
Phone Number

Fax Number

Tom@ogmobl.com  
Email Address

[Signature]  
Owner's Signature

ARCHITECT/BUILDER INFORMATION

David Aharoni  
Name and Title of Person Presenting Project

Mizay Builders  
Name of Firm

1505 S. Estate Lane  
Street Address

Lake Forest 60045  
City, State and Zip Code

847 456 1971  
Phone Number

Fax Number

DAharoni62@gmail.com  
Email Address

[Signature]  
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER

☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER

☐ REPRESENTATIVE

I will pick up a copy of the staff report at  
the Community Development Department

☐ OWNER

☐ REPRESENTATIVE



September 14th 2021

Dear Lake Forest building review board,

We intend to build a new construction residential home on Lot 6 of the Biltmore subdivision, which is 1415 Oak Knoll Drive. We currently live in Chicago and are eager to build our dream home closer to our parents in Lake Forest. We are a growing family and chose Lake Forest for the school districts, the community, and our children can be closer to their grandparents.

### **Existing Site**

The one block that makes up the Biltmore subdivision was developed in 2002 and consisted of 6 lots. However, our lot (lot 6) never had a home built and has been sitting vacant ever since. The lot has already been graded and is patiently waiting for a family to make their dream home on it.

### **Design Rationale**

The design intent of 1415 Oak Knoll is to create a modern provincial home. The term provincial derives from the word province. Historically this referred to "an administrative district or division of a country" (Province, 2021). The provincial style, in essence, refers mostly to homes outside of a metropolis – so as in the French provincial style this refers to regions outside of Paris. In many cases this particular style reflected a smaller scale, simpler and oftentimes rustic façade compared to its counterparts in the city. These homes were "manor houses and chateaux homes built by French aristocrats" (Donnelly, 2020). This style is mostly characterized by the term French Eclectic defined in Lake Forest's Architectural Styles list. More specifically this would be considered an Asymmetrical subtype as noted in the 2015 version of *A Field Guide to American Houses*. This home takes the traditional characteristics of a provincial/French eclectic home with its "tall, steeply pitched hipped roof", its "eaves commonly flared up and roof wall junction" and its "stone" siding (combined with black accents and flat roofs to create a modern flare McAlester 2015). Lake Forest, historically, was a place of prosperity and growth. It could also be inferred from the historical character analysis that Lake Forest was a place that focused on its appearance – ensuring that it maintained classical architectural features, but strived to not be outdated. That is the goal of 1415 Oak Knoll – to combine classic architectural features while updating the overall look with modern accents.

### **Meeting City Code**

We have carefully studied Lake Forest's community guidelines when it comes to building new homes. We are confident our project will demonstrate our ability to adhere to the City Code and Guidelines. In addition, we have fantastic landscaping surrounding the home to provide privacy and beauty.

Sincerely,



Tom Voitik & Danit Voitik





THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS*

**Façade Material**

- ☒ Stone  
☒ Brick  
☐ Wood Clapboard Siding  
☐ Stucco

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco  
☐ Other \_\_\_\_\_

Color of Material Dove White Stone  
Dove White Lime Stone

**Window Treatment**

**Primary Window Type**

- ☐ Double Hung  
☒ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_  
Color of Finish \_\_\_\_\_

**Window Muntins**

- ☐ Not Provided  
☒ True Divided Lites

**Simulated Divided Lites**

- ☒ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☒ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Window Trim**

- ☒ Limestone  
☐ Brick  
☐ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☒ Wood  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED*

**Chimney Material**

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☐ Sheet Metal
- ☒ Other Tesla Solar Roof Tiles

**Flashing Material**

- ☐ Copper
- ☐ Sheet Metal
- ☐ Other \_\_\_\_\_

Color of Material Black

**Gutters and Downspouts**

- ☒ Copper
- ☐ Aluminum
- ☐ Other \_\_\_\_\_

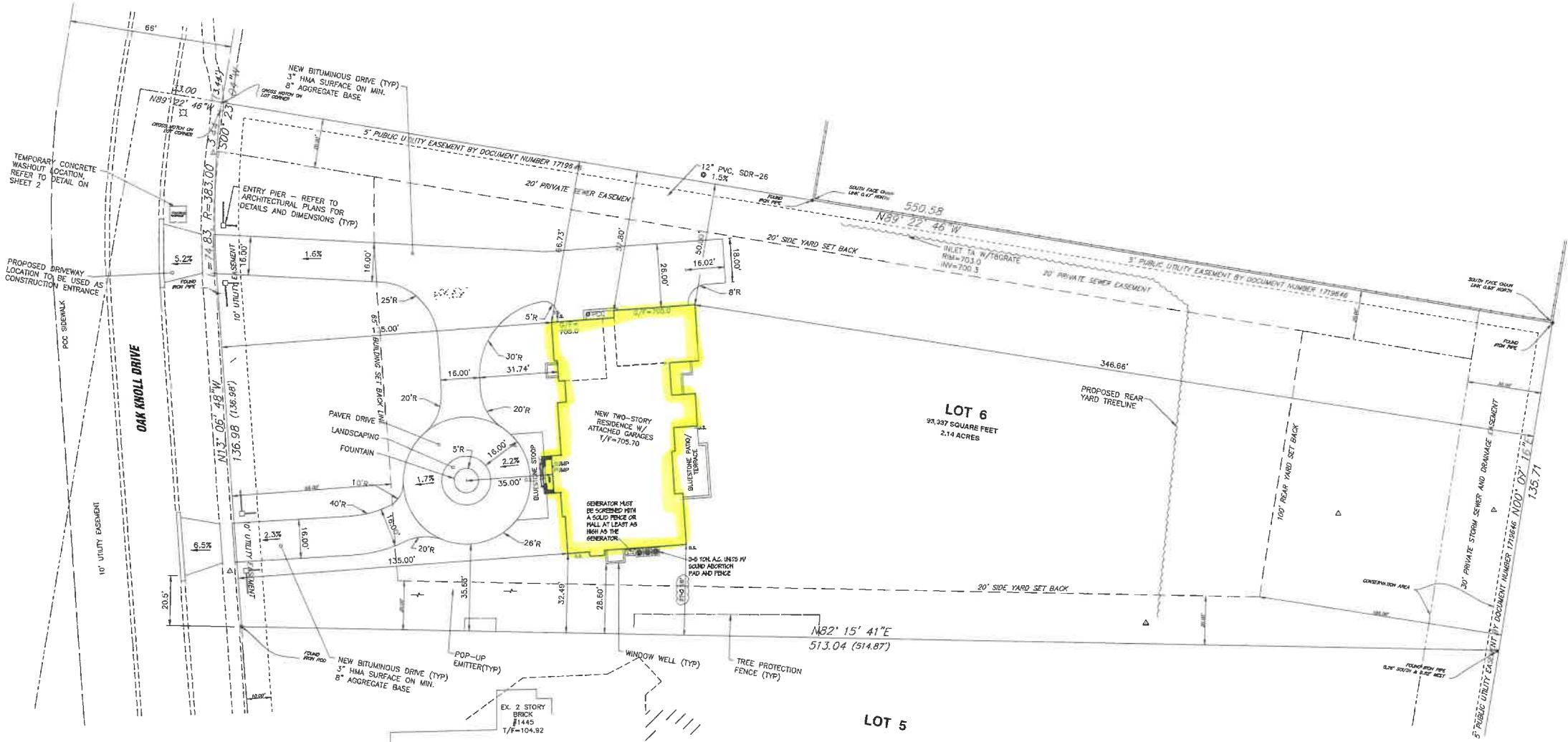
**Driveway Material**

- ☐ Asphalt
- ☐ Poured Concrete
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

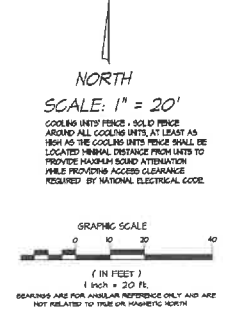
**Terraces and Patios**

- ☒ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other \_\_\_\_\_





LOT #6 OAKNOLL DR  
SITE PLAN  
SCALE: 1"=20'



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DESIGNED BY: SCS & Associates, Inc.  
PROJECT: RESIDENCE #14-00-000  
DATE: 08/21/21  
SHEET: 16 OF 16  
808 N. LEXINGTON ST. JANSVILLE, IL 60421 (630) 707-7074

VOITK RESIDENCE  
OAKNOLL DRIVE, LOT #6  
LAKE FOREST, IL  
MIZAY BUILDERS, LLC  
947-456-1671

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Original	08-21-21
Date	08-21-21
Issued for Permit	
Issued for Cost	

EXP. 11.30.22



Sheet No:  
16



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INTERIOR DESIGNERS ENVIRONMENTAL DESIGN GROUP

ARCHITECTS DESIGN FIRM REGISTRATION #164-001-0265

DESIGNER (S) C/O KENNEDY REGISTRATION #601-000653

665 W. HICKORY ST. HICKORY, L. 55562 (604) 707-7974



VOITK RESIDENCE  
OAKNOLL DRIVE, LOT #6  
LAKE FOREST, IL  
MIZAY BUILDERS, LLC  
LAKE FOREST, IL  
647-456-1971

[illegible]

04-17-21	07-25-21
Issued for Permit:	
Issued for Court:	

Sheet No:

2



# VOITIK RESIDENCE

MODERN FRENCH PROVINCIAL

S



## MODERN FRENCH PROVINCIAL CHARACTERISTICS

1. STONE WALLS
2. STEEPLY PITCHED ROOF
3. ARCH ON DOORS AND/OR WINDOWS
4. PROVINCIAL FEATURES TAKEN FROM  
RAMBLING FRENCH FARMHOUSES

5. COPPER ACCENTS
6. BLACK FINISHES TO  
CREATE A MODERN LOOK









01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Original	01-01-21		
Date	01-01-21		
Issued for Permit			
Issued for Cost			

EXP. 11.30.22





# VOITIK RESIDENCE

MODERN FRENCH PROVINCIAL

S





## **MATERIAL AND COLOR PALETTE INFORMATION**





# Natural Stone<sup>SO</sup>



Valders | Dimmensional Tumbled  
Stone

Dove white





# Limestone

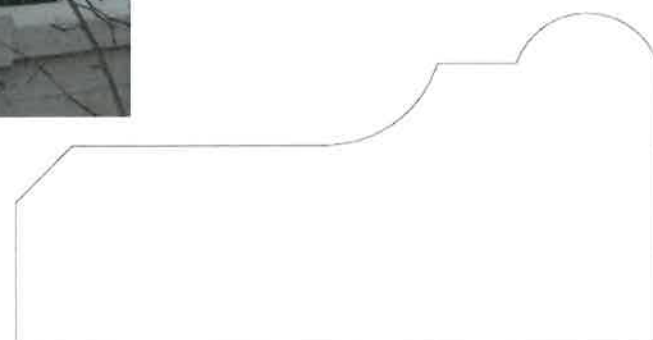
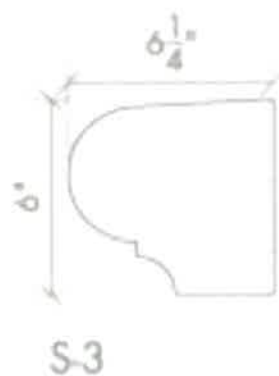
SO



Valders | Cut Stone

Dove White





# Limestone Profiles

SO



Valders | Surround and Sill

Dove White

\*Sizing will differ



TESLA

# SOLAR ROOF

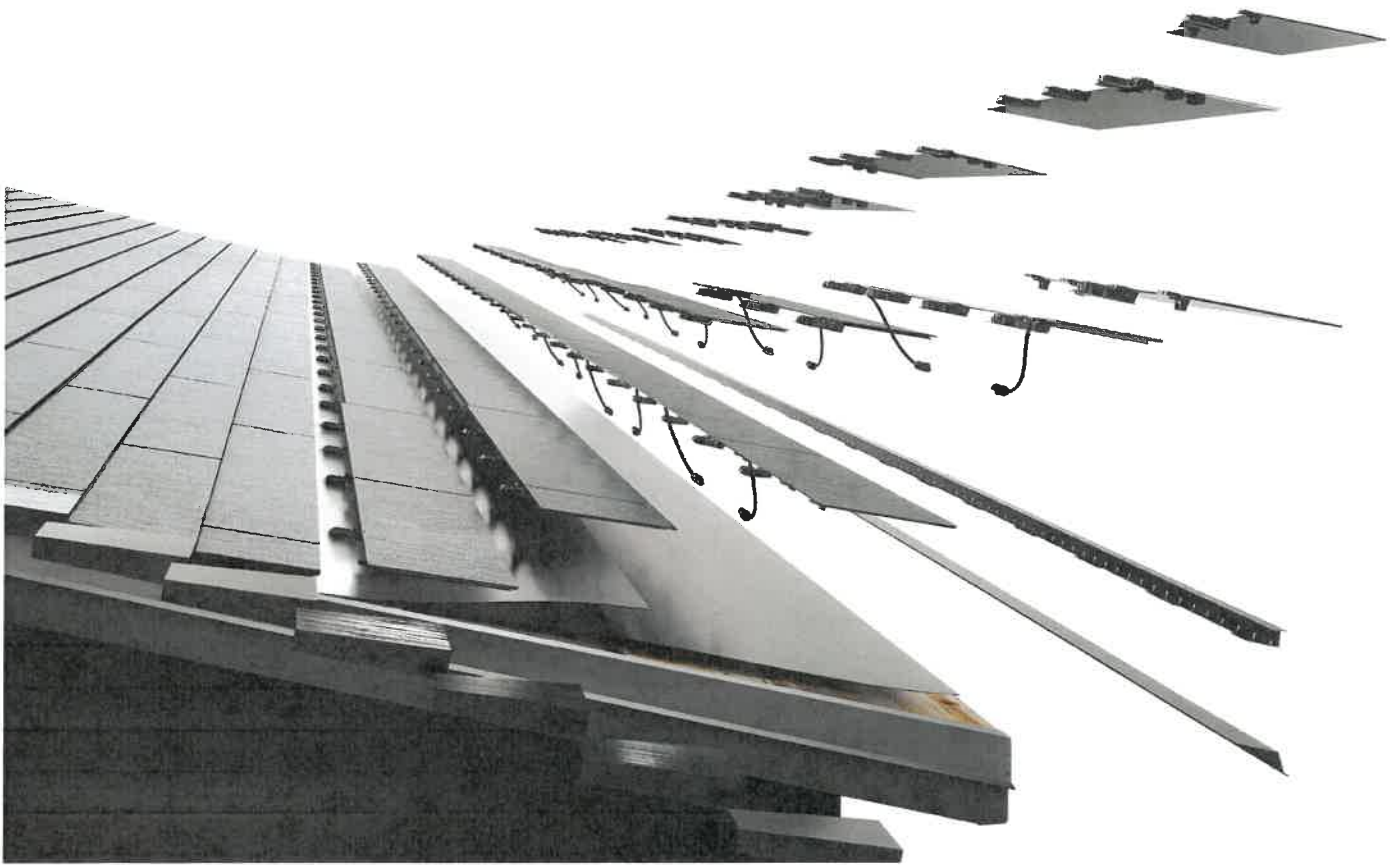
## OWNER'S DATASHEET



Tesla may update this document at its sole discretion and without notice.



# SOLAR ROOF SYSTEM



## ROOFING MODULES, FULL AND PARTIAL

Listed to UL 61730

Listed to UL 790 Class A

ASTM D3161 Class F

TAS100



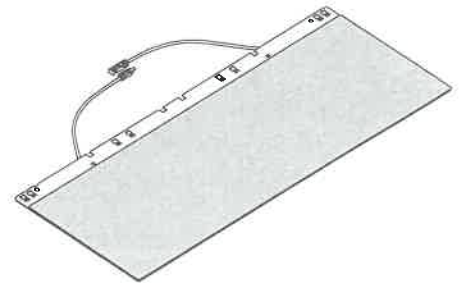
## PV MODULE

Listed to UL 61730

UL 790 Class A

ASTM D3161 Class F

TAS100



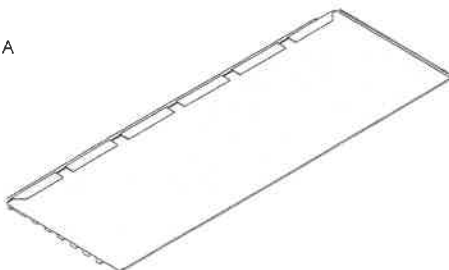
## STEEL TILES, FULL AND PARTIAL

Listed to UL 1897

Listed to UL 790 Class A

ASTM D3161 Class F

TAS100



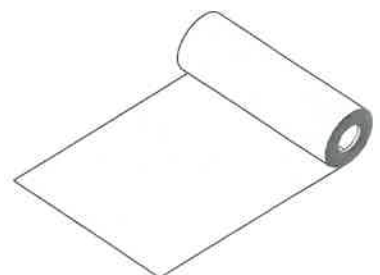
## UNDERLAYMENT

FT Cobalt FR

ASTM D1970/ICC AC48

ICC AC188

ASTM E108 Class -A





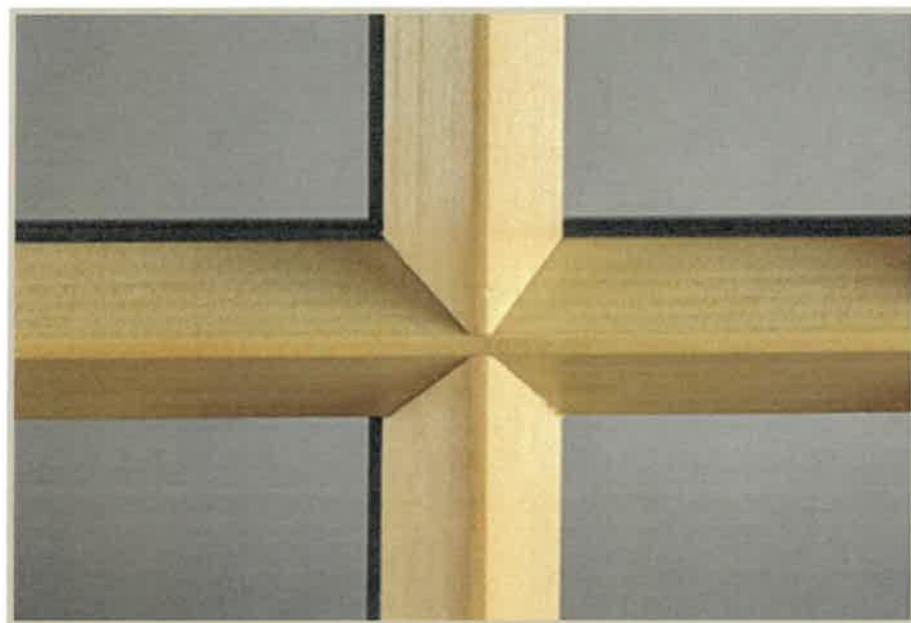
# Roof



Tesla Roof System

Black





Triangular Profile PDL Bars (shown with Clear Coat)



Onyx †

# Windows

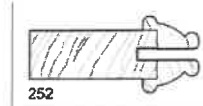
SO



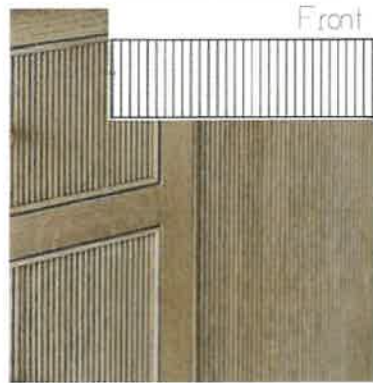
Kolbe | VistaLuxe WD LINE

Warm wood interiors & durable extruded  
aluminum exterior  
Black Exterior

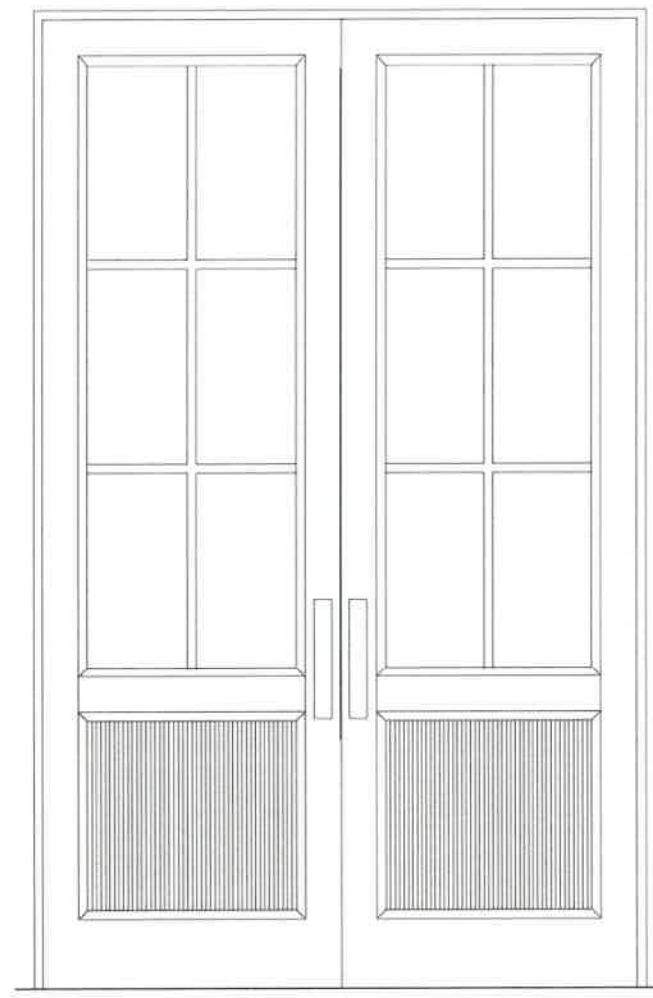




1/2" Beaded Front  
End View



Front View



# Front Door

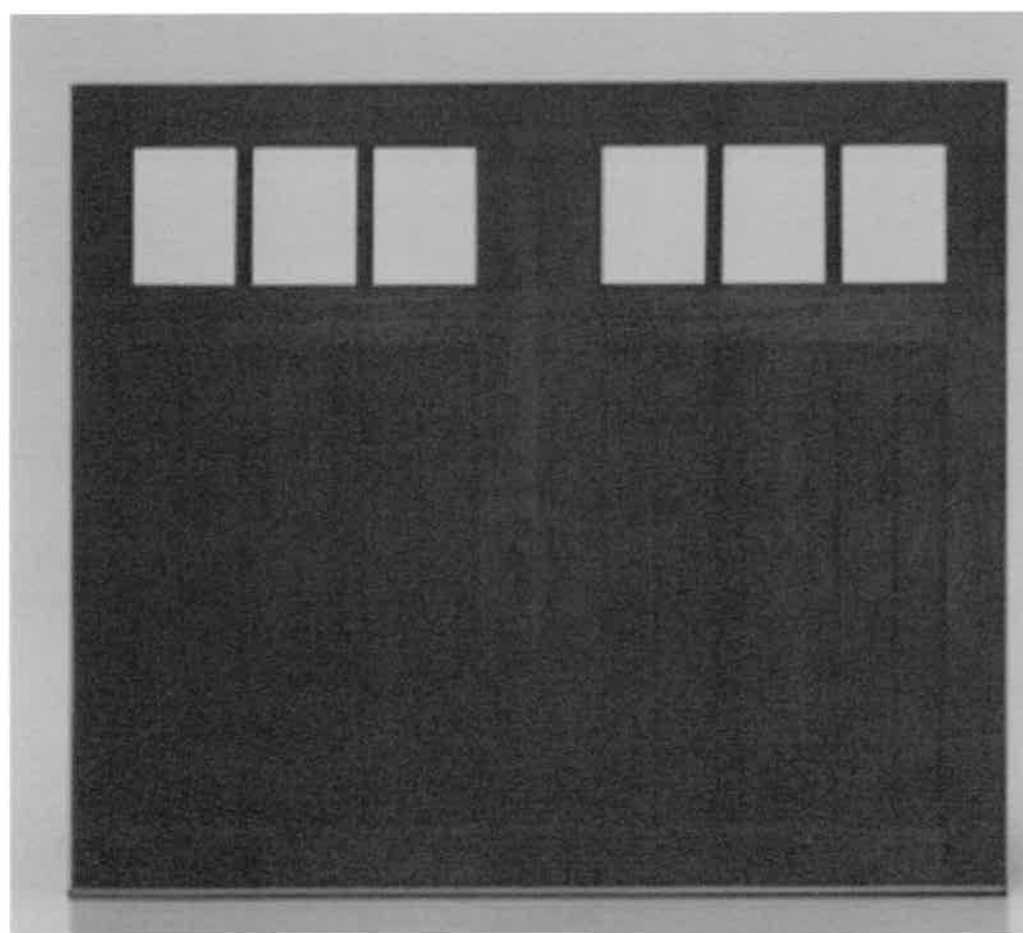
SO



Beaded Stained Front Door

Stained Black





# Garage Door

SO

## Clopay | Canyon Ridge



Clopay Canyon Ridge® Carriage House (5-Layer) garage doors take inspiration from the coach house designs of yesteryear and bring them to life with today's technology. These doors are constructed with steel for strength and durability, and molded composite materials for beauty and realism. These doors feature:

- 5-layer construction: steel + insulation + steel + composite cladding + composite overlay.
- Faux wood-look composite cladding and overlay materials are molded from actual wood pieces to reproduce the natural texture and intricate grain patterns of the species they emulate.
- 2" Intellicore® polyurethane insulation with a thermal break. R-Value of 20.4.



# Gutters and Accessories



Copper

1/2 Round Gutters - Single Bead  
Chimney cap - can customize size



X

SO

# Balconies



Wrought Iron

Straight turned balusters w/ a custom center scroll





# Lighting

SO



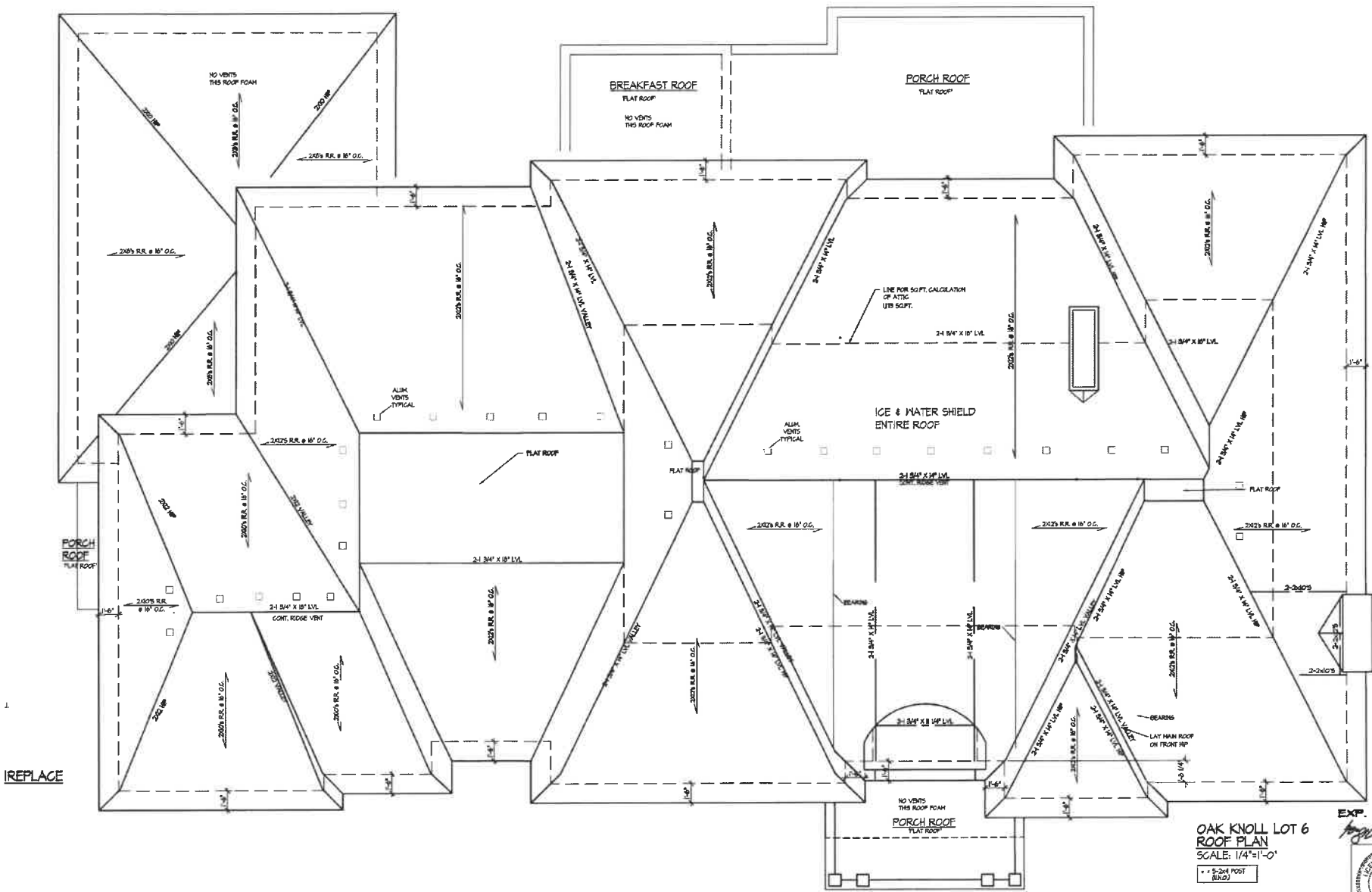
Copper Smith | Contempo

Black

Can be gas or electric



ROOF PLAN



EXP. 11. 30. 22

OAK KNOLL LOT 6  
ROOF PLAN  
SCALE: 1/4"=1'-0"



Sheet No:  
**9**

Original	07-20-21
Revised	08-20-21
Revised for Permit	
Revised for Count	

01	
02	08-20-21 STRUCTURAL REVISE
03	
04	
05	
06	
07	
08	
09	
10	

VOITIK  
OAKNOLL DRIVE, LOT 46  
LAKE FOREST, IL.

RESIDENCE  
LAKE FOREST, IL.

MIZAY BUILDERS, LLC

847-458-1971

Copyright: 2021 G-E-G & Associates, Inc.  
DESIGNED BY: G-E-G & ASSOCIATES, INC.  
ARCHITECTS: (LICENSED FROM REGISTRATION #154-001-1540)  
DESIGNER: (LICENSED EXTENSION REGISTRATION #161-01008)  
606 W. SECOND ST. JOLIET, IL. 60431 (815) 707-7274



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INTERIOR DESIGNER ENVIRONMENTAL DESIGN GROUP  
ARCHITECTS (DESIGN FOR REGISTRATION #184-001-264)  
DESIGNER (DESIGN EXTENSION REGISTRATION #001-01005)  
865 N. WILSON ST. LINCOLN, IL 62521 (618) 707-7774

VOITIK ESSENCE  
OAKKNOLL DRIVE, LOT #6  
LAKE FOREST, IL

MIZAY BUILDERS, LLC  
LAKE FOREST, IL  
847-456-1971

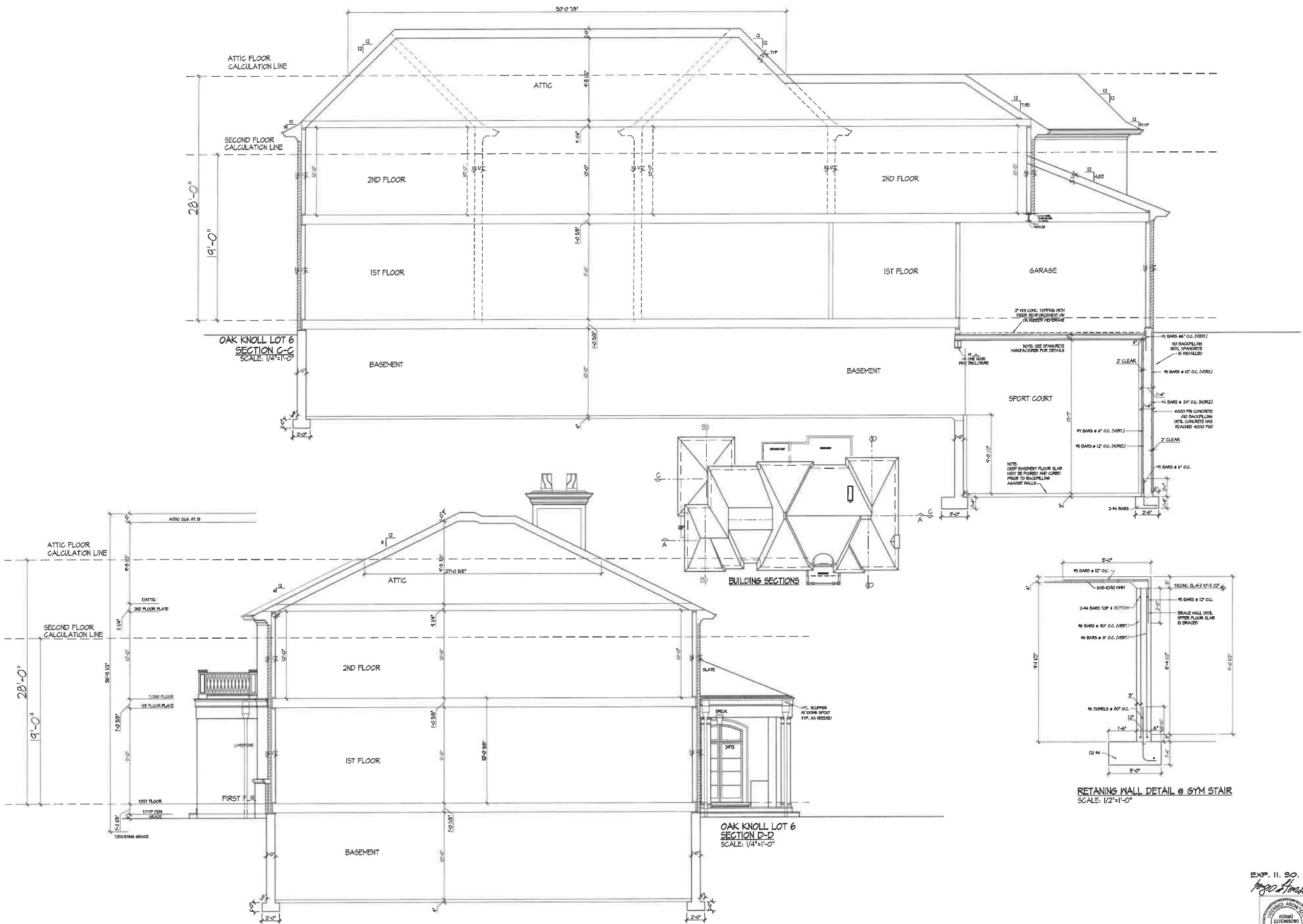
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Original	01-03
Date	01-03-21
Issued For Permit	
Issued For Cost	

Sheet No.	11
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EXP. 11.30.22

*Page 1 of 1*





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INTERIOR DESIGNERS ENVIRONMENTAL DESIGN GROUP  
ARCHITECTS (NCSA FIRM REGISTRATION #184-001-826)  
DESIGNER (S2S20 STATIONED REGISTRATION 1001-01063)  
805 W. HICKORY ST. HENSLOW, IL 60528 (cph) 767-7674

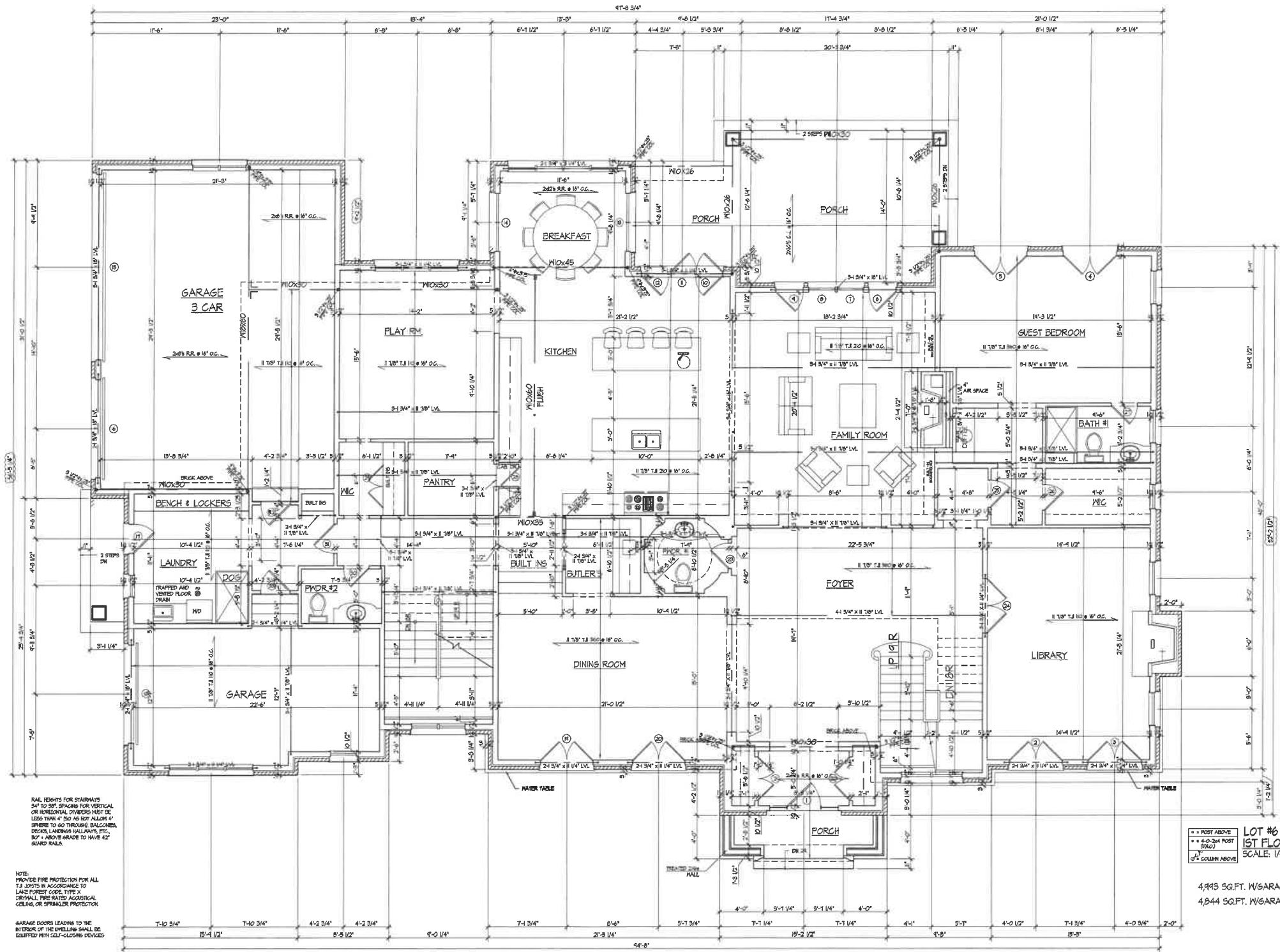
[illegible]



FIRST FLOOR PLAN

DOOR SCHEDULE		
	SIZE	REMARKS
1	3040	PER ELEVATION
2	2-2540	FRENCH
3	2-2540	FRENCH
4	2-2540	FRENCH
5	2-2540	FRENCH
6	2-2640	FRENCH
7	2640	FRENCH (FIXED)
8	2640	FRENCH (FIXED)
9	2-2640	FRENCH
10	2670	FRENCH
11	2670	FRENCH (FIXED)
12	2-2640	FRENCH (FIXED)
13	2-2640	FRENCH (FIXED)
14	1710	O.H. GARAGE DOOR
15	1600	O.H. GARAGE DOOR
16	2840	FRENCH
17	1710	O.H. GARAGE DOOR
18	2-2540	FRENCH
19	2-2540	FRENCH
20	2480	
21	2-2680	
22	2680	
23	2480	
24	2480	
25	2-2080	
26	2800	
27	2800	
28	2000	1 HOUR FIRE CODE IN REAR PORCH DOOR
29	2000	1 HOUR FIRE CODE IN REAR PORCH DOOR

A SOLID CORE 1-1/2" THICK OR 2" STEEL DOORS  
NOTES:  
ALL FIRE RATED DOORS SHALL BE  
EQUIPPED WITH A SELF-CLOSING DEVICE



LOT #6 OAKNOLL DR  
1ST FLOOR PLAN  
SCALE: 1/4\"/>

4,943 SQ.FT. W/GARAGES  
4,844 SQ.FT. W/GARAGES FOR ZONING

EXP. 11. 30. 22



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INTERIOR DESIGNERS  
ENVIRONMENTAL DESIGN GROUP  
ARCHITECTS (DESIGN FIRM REGISTRATION #14-001-000)  
DESIGNER (DESIGN FIRM REGISTRATION #14-001-000)  
800 W. LEXINGTON ST. CHICAGO, IL 60601 (800) 707-7074

VOITK  
OAKNOLL DRIVE, LOT #6  
RESIDENCE  
LAKE FOREST, IL

MIZAY BUILDERS, LLC  
LAKE FOREST, IL  
647-456-1471

Original	01-21	02-21	03-21	04-21	05-21	06-21	07-21	08-21	09-21	10-21	11-21	12-21	01-22	02-22	03-22	04-22	05-22	06-22	07-22	08-22	09-22	10-22	11-22	12-22	01-23	02-23	03-23	04-23	05-23	06-23	07-23	08-23	09-23	10-23	11-23	12-23	01-24	02-24	03-24	04-24	05-24	06-24	07-24	08-24	09-24	10-24	11-24	12-24	01-25	02-25	03-25	04-25	05-25	06-25	07-25	08-25	09-25	10-25	11-25	12-25	01-26	02-26	03-26	04-26	05-26	06-26	07-26	08-26	09-26	10-26	11-26	12-26	01-27	02-27	03-27	04-27	05-27	06-27	07-27	08-27	09-27	10-27	11-27	12-27	01-28	02-28	03-28	04-28	05-28	06-28	07-28	08-28	09-28	10-28	11-28	12-28	01-29	02-29	03-29	04-29	05-29	06-29	07-29	08-29	09-29	10-29	11-29	12-29	01-30	02-30	03-30	04-30	05-30	06-30	07-30	08-30	09-30	10-30	11-30	12-30	01-31	02-31	03-31	04-31	05-31	06-31	07-31	08-31	09-31	10-31	11-31	12-31	01-32	02-32	03-32	04-32	05-32	06-32	07-32	08-32	09-32	10-32	11-32	12-32	01-33	02-33	03-33	04-33	05-33	06-33	07-33	08-33	09-33	10-33	11-33	12-33	01-34	02-34	03-34	04-34	05-34	06-34	07-34	08-34	09-34	10-34	11-34	12-34	01-35	02-35	03-35	04-35	05-35	06-35	07-35	08-35	09-35	10-35	11-35	12-35	01-36	02-36	03-36	04-36	05-36	06-36	07-36	08-36	09-36	10-36	11-36	12-36	01-37	02-37	03-37	04-37	05-37	06-37	07-37	08-37	09-37	10-37	11-37	12-37	01-38	02-38	03-38	04-38	05-38	06-38	07-38	08-38	09-38	10-38	11-38	12-38	01-39	02-39	03-39	04-39	05-39	06-39	07-39	08-39	09-39	10-39	11-39	12-39	01-40	02-40	03-40	04-40	05-40	06-40	07-40	08-40	09-40	10-40	11-40	12-40	01-41	02-41	03-41	04-41	05-41	06-41	07-41	08-41	09-41	10-41	11-41	12-41	01-42	02-42	03-42	04-42	05-42	06-42	07-42	08-42	09-42	10-42	11-42	12-42	01-43	02-43	03-43	04-43	05-43	06-43	07-43	08-43	09-43	10-43	11-43	12-43	01-44	02-44	03-44	04-44	05-44	06-44	07-44	08-44	09-44	10-44	11-44	12-44	01-45	02-45	03-45	04-45	05-45	06-45	07-45	08-45	09-45	10-45	11-45	12-45	01-46	02-46	03-46	04-46	05-46	06-46	07-46	08-46	09-46	10-46	11-46	12-46	01-47	02-47	03-47	04-47	05-47	06-47	07-47	08-47	09-47	10-47	11-47	12-47	01-48	02-48	03-48	04-48	05-48	06-48	07-48	08-48	09-48	10-48	11-48	12-48	01-49	02-49	03-49	04-49	05-49	06-49	07-49	08-49	09-49	10-49	11-49	12-49	01-50	02-50	03-50	04-50	05-50	06-50	07-50	08-50	09-50	10-50	11-50	12-50	01-51	02-51	03-51	04-51	05-51	06-51	07-51	08-51	09-51	10-51	11-51	12-51	01-52	02-52	03-52	04-52	05-52	06-52	07-52	08-52	09-52	10-52	11-52	12-52	01-53	02-53	03-53	04-53	05-53	06-53	07-53	08-53	09-53	10-53	11-53	12-53	01-54	02-54	03-54	04-54	05-54	06-54	07-54	08-54	09-54	10-54	11-54	12-54	01-55	02-55	03-55	04-55	05-55	06-55	07-55	08-55	09-55	10-55	11-55	12-55	01-56	02-56	03-56	04-56	05-56	06-56	07-56	08-56	09-56	10-56	11-56	12-56	01-57	02-57	03-57	04-57	05-57	06-57	07-57	08-57	09-57	10-57	11-57	12-57	01-58	02-58	03-58	04-58	05-58	06-58	07-58	08-58	09-58	10-58	11-58	12-58	01-59	02-59	03-59	04-59	05-59	06-59	07-59	08-59	09-59	10-59	11-59	12-59	01-60	02-60	03-60	04-60	05-60	06-60	07-60	08-60	09-60	10-60	11-60	12-60	01-61	02-61	03-61	04-61	05-61	06-61	07-61	08-61	09-61	10-61	11-61	12-61	01-62	02-62	03-62	04-62	05-62	06-62	07-62	08-62	09-62	10-62	11-62	12-62	01-63	02-63	03-63	04-63	05-63	06-63	07-63	08-63	09-63	10-63	11-63	12-63	01-64	02-64	03-64	04-64	05-64	06-64	07-64	08-64	09-64	10-64	11-64	12-64	01-65	02-65	03-65	04-65	05-65	06-65	07-65	08-65	09-65	10-65	11-65	12-65	01-66	02-66	03-66	04-66	05-66	06-66	07-66	08-66	09-66	10-66	11-66	12-66	01-67	02-67	03-67	04-67	05-67	06-67	07-67	08-67	09-67	10-67	11-67	12-67	01-68	02-68	03-68	04-68	05-68	06-68	07-68	08-68	09-68	10-68	11-68	12-68	01-69	02-69	03-69	04-69	05-69	06-69	07-69	08-69	09-69	10-69	11-69	12-69	01-70	02-70	03-70	04-70	05-70	06-70	07-70	08-70	09-70	10-70	11-70	12-70	01-71	02-71	03-71	04-71	05-71	06-71	07-71	08-71	09-71	10-71	11-71	12-71	01-72	02-72	03-72	04-72	05-72	06-72	07-72	08-72	09-72	10-72	11-72	12-72	01-73	02-73	03-73	04-73	05-73	06-73	07-73	08-73	09-73	10-73	11-73	12-73	01-74	02-74	03-74	04-74	05-74	06-74	07-74	08-74	09-74	10-74	11-74	12-74	01-75	02-75	03-75	04-75	05-75	06-75	07-75	08-75	09-75	10-75	11-75	12-75	01-76	02-76	03-76	04-76	05-76	06-76	07-76	08-76	09-76	10-76	11-76	12-76	01-77	02-77	03-77	04-77	05-77	06-77	07-77	08-77	09-77	10-77	11-77	12-77	01-78	02-78	03-78	04-78	05-78	06-78	07-78	08-78	09-78	10-78	11-78	12-78	01-79	02-79	03-79	04-79	05-79	06-79	07-79	08-79	09-79	10-79	11-79	12-79	01-80	02-80	03-80	04-80	05-80	06-80	07-80	08-80	09-80	10-80	11-80	12-80	01-81	02-81	03-81	04-81	05-81	06-81	07-81	08-81	09-81	10-81	11-81	12-81	01-82	02-82	03-82	04-82	05-82	06-82	07-82	08-82	09-82	10-82	11-82	12-82	01-83	02-83	03-83	04-83	05-83	06-83	07-83	08-83	09-83	10-83	11-83	12-83	01-84	02-84	03-84	04-84	05-84	06-84	07-84	08-84	09-84	10-84	11-84	12-84	01-85	02-85	03-85	04-85	05-85	06-85	07-85	08-85	09-85	10-85	11-85	12-85	01-86	02-86	03-86	04-86	05-86	06-86	07-86	08-86	09-86	10-86	11-86	12-86	01-87	02-87	03-87	04-87	05-87	06-87	07-87	08-87	09-87	10-87	11-87	12-87	01-88	02-88	03-88	04-88	05-88	06-88	07-88	08-88	09-88	10-88	11-88	12-88	01-89	02-89	03-89	04-89	05-89	06-89	07-89	08-89	09-89	10-89	11-89	12-89	01-90	02-90	03-90	04-90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Sheet No:

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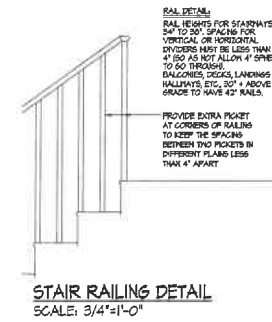
INTERIOR DESIGNERS    ENVIRONMENTAL DESIGN GROUP

ARCHITECTS    DESIGN FIRM REGISTRATION #184-001-4203  
DESIGNER    (SCHOOL ESTABLISHED INTERNATIONAL) #01-016035

605 W. JACKSON ST. CHICAGO, IL 60602 (630) 707-7274

9) ALL DOOR RATED 1 HOUR FIRE CODE SHOULD HAVE A SOLID CORE 1-3/4" THICK OR BE STEEL DOORS

NOTES:  
(ALL FIRE RATED DOORS SHALL BE EQUIPPED WITH A SELF-CLOSING DEVICE)



RAIL HEIGHTS FOR STAIRWAYS  
34" TO 36", SPACING FOR VERTICAL  
OR HORIZONTAL DIVIDERS MUST BE  
LESS THAN 4" (50 AS NOT ALLOW 4"  
SPHERE TO GO THROUGH), BALCONIES  
DECKS, LANDINGS HALLWAYS, ETC.,  
30" + ABOVE GRADE TO HAVE 42"  
GUARD RAILS.

MECHANICAL RM.  
ONE HOUR RATED ENCLOSURE, WALLS & CEILING 2 LAYERS 1/2"  
GYP BD REQUIRED CONDENSATE DRAIN LINE, PROVIDE 2'-6"  
PVC PIPES FOR COMBUSTION AIR. ONE THROUGH THE CLG. AND  
ROOF, OTHER THROUGH THE FLOOR SYSTEM AND UP THROUGH  
THE ROOF. PROVIDE REQUIRED CLEARANCE AROUND  
EQUIPMENT FOR SERVICE AS REQUIRED BY MANUFACTURER.

ALL INSULATED KNEE WALLS SHALL BE PROVIDED WITH RIGID INSULATION BOARD OR OTHER TYPE SHEATHING ON THE EXTERIOR SIDE OF THE WALL.

• POST ABOVE  
• 4-0-2x4 POST (XLO)  
• COLUMN ABOVE

LOT #6 OAKNOLL DR.  
2ND FLOOR PLAN  
SCALE: 1/4"=1'-0"

VOITK RESIDENCE  
OAKNOLL DRIVE, LOT 46  
LAKE FOREST, IL.

MIZAY BUILDERS, LLC	LAKE FOREST, IL	847-456-1971
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Date: 04-11-21	Original: 07-10-21
Issued For Permits:	
Issued for Const:	

Sheet No:

8

EXP. II. 90. 22  
Hogio Hersono







STREET MASSING ELEVATION  
SCALE: 3/32"=1'-0"



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INTERIM DESIGN GROUP ENVIRONMENTAL DESIGN GROUP  
ARCHITECTS (DESIGN FIRM REGISTRATION #184-001-293)  
DESIGNER (SCENIC EXTERIOR DESIGNATION #001-00005)  
606 W. HICKORY ST. HENSLEY, IL 60521 (630) 797-7374

VOITIK  
OAKNOLL DRIVE LOT #6  
MIZAY BUILDERS, LLC

RESIDENCE  
LAKE FOREST, IL

847-456-1971

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99	99-03-21	99-03-21
100	100-03-21	100-03-21

Sheet No:





- PROPOSED STRUCTURE: 5,026 SF  
 • WINDOW WELLS: 162 SF  
 • PROPOSED DRIVE: 8,349 SF  
 • PROPOSED STOOP/LANDING: 333 SF  
 • PROPOSED WALK/PAVER PATIO: 472 SF  


---

 • TOTAL IMPERVIOUS AREA: 14,342 SF (PROPOSED) 0 SF (EXISTING)  























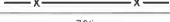
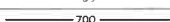




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 • NET NEW IMPERVIOUS AREA: 14,342 SF (14,342-0)  


---

 • PERCENTAGE OF LOT IMPERVIOUS AREA:  
     TOTAL LOT AREA = 93,337 SF  
     TOTAL EXISTING IMPERVIOUS AREA PERCENTAGE =  $0 / 93,337 = 0.0\%$   
     TOTAL PROPOSED IMPERVIOUS AREA PERCENTAGE =  $14,342 / 93,337 = 15.4\%$

### LEGEND

SYMBOL		DESCRIPTION
PROP.	EXIST.	
		MANHOLE
		CATCH BASIN
		INLET
		FIRE HYDRANT
		B-BOX
		WATER VALVE BOX
		VALVE IN VAULT
		UTILITY POLE
		LIGHT POLE
T/F	T/F	TOP OF FOUNDATION
G/F	G/F	GARAGE FLOOR
BL	BL	BRICK LEDGE
+700.0	+100.0	GRADE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		SILT FENCE
		FENCE LINE
		EXIST. CONTOUR
		PROP. CONTOUR
		PROPERTY LINE
		EX. R.O.W. LINE

NOTES:

1. CONFIRM PROPOSED TOP OF FOUNDATION ELEVATION WITH ARCHITECT PRIOR TO CONSTRUCTION.
2. BASED ON FIRM MAP NO. 17097C0259K PANEL NO. 259, EFFECTIVE DATE: SEPTEMBER 18, 2013, THE NEAREST SPECIAL FLOOD HAZARD ZONE A IS APPROXIMATELY 2,500 FEET TO THE WEST.
3. ALL PARKWAYS DISTURBED BY THE PROPOSED IMPROVEMENTS SHALL BE RESTORED WITH SOD OR SEED.
4. REFER TO ARCHITECTURAL PLANS FOR FOUNDATION DIMENSIONS.
5. USE BRICK LEDGES ON PROPOSED FOUNDATIONS TO LIMIT FOUNDATION EXPOSURE TO APPROXIMATELY SIX INCHES. REFER TO ARCHITECTURAL PLAN FOR BRICK LEDGES OR SIDING DETAILS.

### GENERAL NOTES

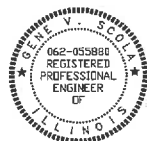
1. MAINTAIN EXISTING DRAINAGE PATTERN. IMPROVEMENTS SHALL NOT CAUSE STORMWATER RUNOFF TO RUN ON ADJACENT PROPERTY.
2. ALL EXCAVATED MATERIAL NOT USED TO BACKFILL AROUND FOUNDATION SHALL BE REMOVED FROM SITE.
3. ALL NEW SERVICE CONNECTIONS ARE REQUIRED AT MAINS. EXISTING UTILITY SERVICES SHALL BE DISCONNECTED AT THE MAIN.
4. ROUGH GRADING INSPECTION REQUIRED PRIOR TO TOPSOIL PLACEMENT
5. A STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED FOR THE SITE PRIOR TO ANY EXCAVATION. THE PROPOSED DRIVEWAY LOCATION WILL BE UTILIZED FOR THE STABILIZED CONSTRUCTION ENTRANCE FOR THIS PROJECT. A MINIMUM OF 3" ROCK SHALL BE USED TO CONSTRUCT ENTRANCE.
6. THE PROPOSED DRIVEWAY SECTION SHALL BE 3" HMA SURFACE IN TWO LIFTS ON AN 8" COMPACTED AGGREGATE BASE.
7. A STRUCTURAL ENGINEER IS REQUIRED TO SIGN AND SEAL FOR ANY RETAINING WALLS GREATER THAN 3' IN HEIGHT.
8. BUILDING SETBACK LINES ARE ESTABLISHED AS FOLLOWS:
  - FRONT BUILDING LINE = 650'
  - REAR BUILDING SETBACK LINE = 100'
  - SIDEYARD BUILDING SETBACK LINE = 20'

STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

I, GENE SCOLA, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS PLAN WAS PREPARED ON BEHALF OF DAVID AHARONI BY PYRAMID LAND SURVEYORS, INC. UNDER MY PERSONAL DIRECTION.

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE HANGED BY THE CONSTRUCTION OF THIS SITE OR ANY PART THEREOF, OR THAT SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, AND REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATER INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SITE.

DATED THIS 22TH DAY OF SEPTEMBER, A.D. 2021.



ILLINOIS PROFESSIONAL ENGINEER NO. 062-055880  
EXPIRATION DATE: NOVEMBER 30, 2021

SITE BENCHMARK:

NORTH TOP FLANGE BOLT ON FIRE HYDRANT. FIRE HYDRANT  
LOCATED ON THE EAST SIDE OF OAK KNOLL DRIVE NEAR THE  
NORTH PROPERTY LINE OF 1445 OAK KNOLL DRIVE.

ELEVATION = 702.93 (ASSUMED)



**Know what's below.  
Call before you dig.**

REV	DATE	DESCRIPTION	BY	SITE DEVELOPMENT PLAN
1	8/16/21	PER CLIENT COMMENTS	GVS	
2	9/11/21	PER CITY COMMENTS	GVS	
3	9/22/21	PER CITY COMMENTS	GVS	LOT 6 - OAK KNOLL DRIVE LAKE FOREST, ILLINOIS 60045

PREPARED FOR: DAVID AHARONI  
MIZAY BUILDERS, LLC  
1505 ESTATE LANE  
LAKE FOREST, IL 60045



**PYRAMID LAND SURVEYORS**  
*Land Surveyors Illinois and Wisconsin*  
 16 SOUTH LIBERTY DRIVE, SOUTH BARRINGTON ILLINOIS 60010  
 PHONE 830-497-1832 FAX 847-428-6419

JOB#	DATE: 07/02/21	SCALE: 1"=20'
SURV: 05/01/21	DRAWN: GVS	DESIGN: GVS
FILE: LOT6 OAK KNOLL-SITE.DWG	SHEET: 1 of 2	





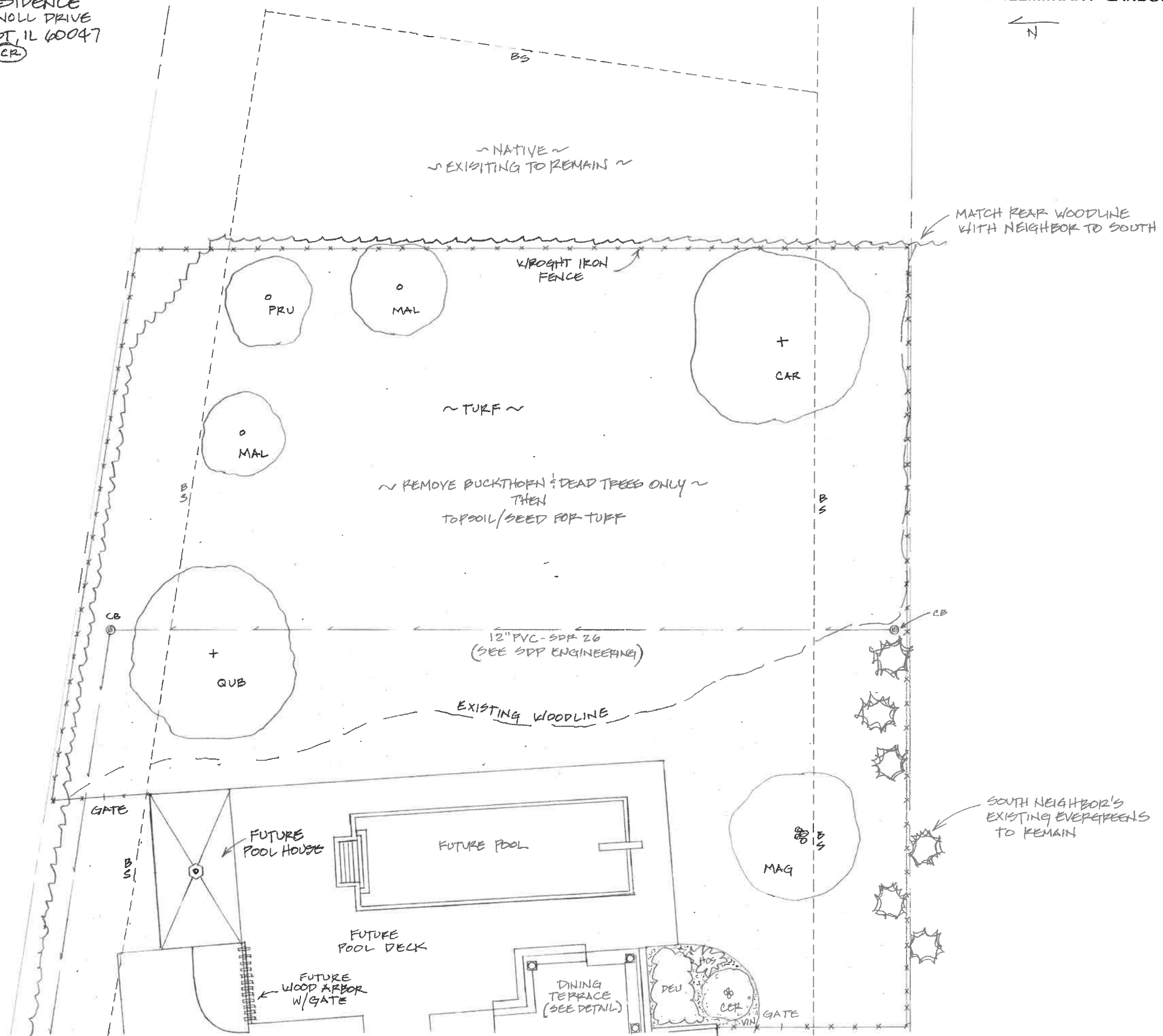






VOITIK RESIDENCE  
1415 OAK KNOLL DRIVE  
LAKE FOREST, IL 60047  
TNG/SEN (CR)  
1" = 13.1'  
08.25.21

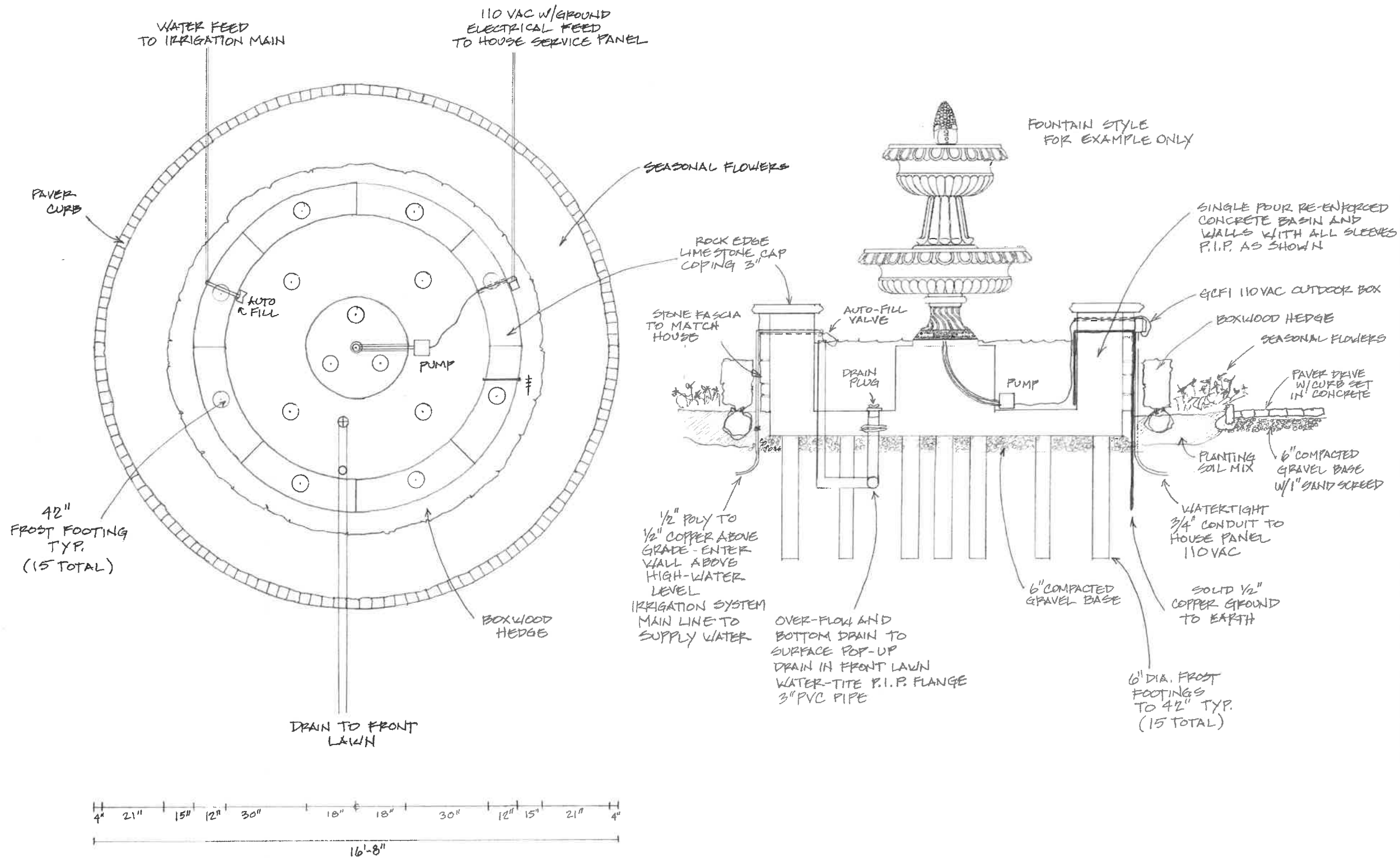
PRELIMINARY LANDSCAPE PLAN - EAST (REAR)





VOITIK RESIDENCE  
1415 OAK KNOLL DRIVE  
LAKE FOREST, IL 60047  
TNG/SEN CR  
1/2" = 1'  
08.25.21

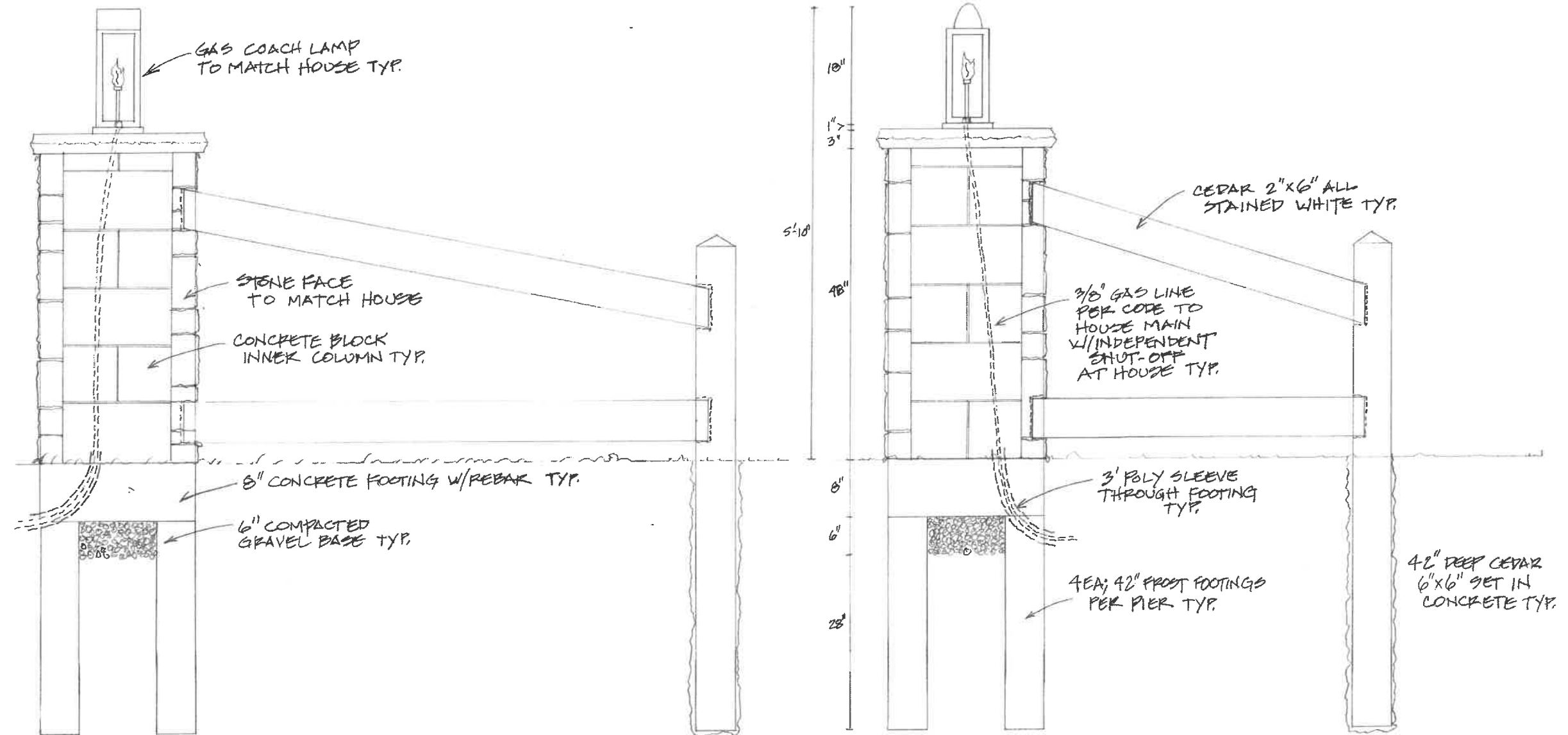
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VOITICK RESIDENCE  
1415 OAK KNOLL DRIVE  
LAKE FOREST, IL 60047  
TNG/SEN (SE)  
1"=1'  
08.25.21

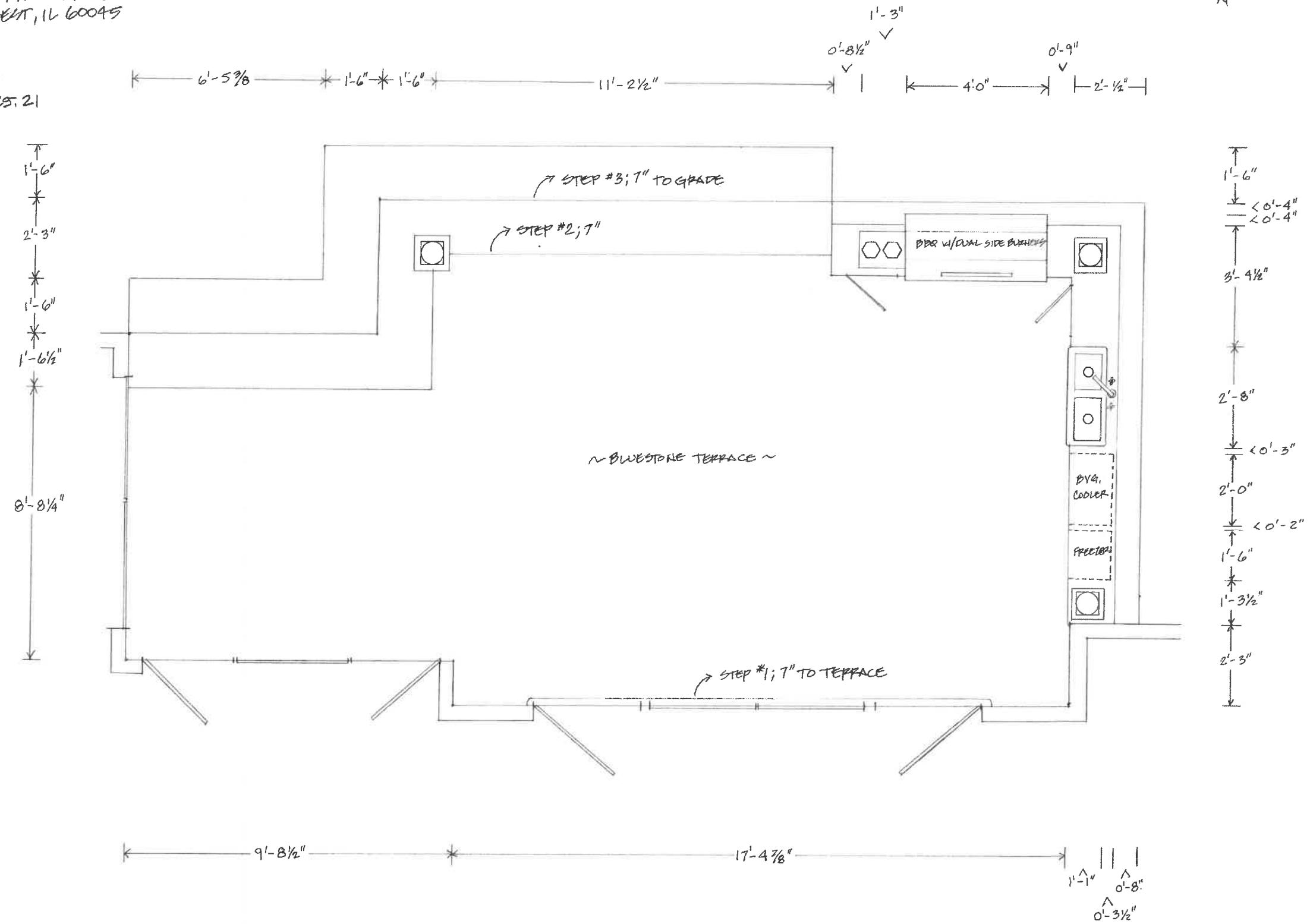
# PROPOSED ENTRY PIERS DETAIL





VOITIK RESIDENCE  
1415 OAK KNOLL DRIVE  
LAKE FOREST, IL 60045  
TNG/SEN  
1" = 2'-0"  
07.27.21  
REV. 08.25.21

PROPOSED REAR TERRACE DETAIL





**Agenda Item 5**  
**475 Oak Knoll Drive**  
**New Residence**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statement of Intent  
*Description of Exterior Materials*  
*Staking Diagram*  
Proposed Site Plan  
Proposed West Elevation  
Proposed North Elevation  
Proposed East Elevation  
Proposed South Elevation  
Color Rendering  
*Roof Plan*  
*Building Section*  
*Basement Floor Plan*  
*First Floor Plan*  
*Second Floor Plan*  
*Preliminary Site Grading Plan and Tree Removal Plan*  
*Tree Inventory*  
*Preliminary Landscape Plan*  
*Images of Hardscape Materials*

Supplemental Materials

*Vicinity Map*  
*Overall Subdivision Plan with Individual Site Plans*  
*Previous Board Approvals*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## 475 Oak Knoll Drive

**Consideration of a request for approval of a new residence, an attached garage, tree removal plan, a conceptual landscape plan and the overall site plan.**

**Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)**

**Contract Purchasers: Kiran Paruchuru and Prasanthi Chennareddy**

**Project Representative: Rick Swanson, architect**

Staff Contact: Jen Baehr, Planner

### **Summary of Request**

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

### **Description of Property**

The property is located on the east side of Oak Knoll Drive, at the entrance to the subdivision. The property is Lot 1 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 40,480 square feet. As established by the Plat of Subdivision there is a drainage and conservation easement that ranges from 140' to 50' along the rear of the property.

In December 2020, the developer presented a new residence on this property to serve as a model home for the subdivision. At that time, the Board voted to continue consideration of the residence that was presented with direction to the petitioner to conduct further study of the overall design of the home. The petition that is currently presented for this property is a new request that was submitted by the developer on behalf of the contract purchasers.

Note: The contract purchaser is hereby advised that critical infrastructure for the subdivision has not yet been completed by the developer. However, the City is willing to grant an exception to standard procedures and work with contract purchasers to advance review of the proposed residences and issue permits to allow construction of homes to begin subject to the homeowner and the developer signing an Acknowledgment that no Certificates of Occupancy can be issued until the critical infrastructure is completed, inspected and determined to be acceptable by the City.

### **Review and Evaluation of Applicable Standards from the City Code**

Below is a review of the standards outlined in the City Code for the Board's consideration.

#### *Site Plan – This standard can be met.*

The proposed residence faces west toward Oak Knoll Drive. The attached three car garage faces north. A single curb cut is proposed slightly north of the center of the front property line. The driveway curves through the front yard and wraps around to the north side of the site to access the garage. A walkway is proposed from the driveway to the front entrance and a patio is proposed on the rear of the home. A pergola structure is also proposed on the rear of the home. Images of the proposed hardscape materials are included in the Board's packet.

As currently presented, the driveway does not fully meet zoning regulations. A portion of the driveway extends into the 15 foot side yard setback within the front yard. Modifications will be necessary to comply with the setbacks.



The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site totals 7,942 square feet and is equal to 20 percent of the lot area. The building footprint is 3,986 square feet, equal to 10 percent of the lot area and other hardscape including the driveway, walkways and patio total 3,956 square feet.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 5,038 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 504 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 4,741 square feet.
- A total of 800 square feet is allowed for a garage on this property. The proposed garage totals 1,096 square feet. The garage overage of 296 square feet must be added to the total square footage of the residence.
- A total of 466 square feet of design elements are incorporated into the design of the house.
- In total, the residence totals 5,037 square feet and is 1 square foot below the maximum allowable square footage, equal to 0.02 percent.

Given that the house as proposed nearly reaches the maximum allowable square footage, as-built drawings will be required at various points in the construction process, to assure that the house, upon completion, does not exceed the allowable square footage.

At the maximum height, the residence is 38 feet and 3 inches tall as measured from the lowest point of existing grade adjacent to the home, to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

*Elevations – This standard is generally met.*

Based on information provided in the petitioner's statement of intent, the proposed residence is designed in a Shingle style. The residence presents a primary two-and-a-half story mass with a smaller one-and-a-half story garage mass on the north side of the home. The home features elements that are characteristic to the Shingle style such as a covered front porch, multiple steeply pitched gable roof forms and a variety of window sizes and shapes.

The rear elevation presents a large shed dormer with a covered balcony at the center. As currently proposed, the window openings on the dormer appear unbalanced, leaving a mostly solid wall on the south side of the dormer that appears to stand out in relation to the pattern of openings reflected on the rest of the home. The interior layout appears to limit the ability to add openings to the dormer, however there may be an opportunity to modify the floorplan to accommodate additional openings to break up the exterior wall of the dormer to appear more consistent with the rest of the home.

- Staff recommends further study of the rear shed dormer in an effort to incorporate additional openings that will present a more balanced appearance and follow the pattern of solid to open areas reflected on the rest of the home.



*Type, color, and texture of materials – This standard is met.*

The exterior walls of the home will be fiber cement shingle siding and stone. The main roof material is wood shingle and the roof above the front entrance is copper. Wood will be used for the trim, shutters, brackets, fascia, rakeboards and soffits. The window sills will be cut stone. The porch columns are fiberglass. The pergola on the rear of the home will be wood. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney is stone with a clay chimney pot. The front door is mahogany and the garage will have insulated steel overhead doors.

The proposed color palette includes blue shingle siding, white windows, trim, gutters and downspouts. The shutters will be black. The petitioner provided a color rendering to reflect the proposed color palette. The color rendering is included in the Board's packet.

*Landscaping - This standard can be met.*

As currently proposed, a total of 32 trees are proposed to be removed. The trees proposed for removal consist of Black Cherry, Elm, Bur Oak, White Oak, and Ash trees. 24 of the trees proposed for removal are dead Ash trees. Based on the size, species and condition of the trees proposed for removal a total of 69 replacement inches are required to be planted on site.

The landscape plan submitted by the petitioner reflects shrub and ornamental plantings around the foundation of the home as well as a number of shade trees across the site. A row of Spruce trees is proposed along a portion of the driveway to screen views of the driveway and garage doors from the adjacent property. The landscape plan as submitted meets the minimum landscaping requirements for new residential construction. As currently proposed, the landscape plan does not fully satisfy the required replacement inches for the healthy trees that are proposed for removal. Additional plantings will need to be incorporated on site to fully satisfy the required replacement inches as part of the final landscape plan and prior to the issuance of a Certificate of Occupancy.

**Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

**Recommendation**

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

**Conditions of Approval**

1. Conduct further study of the rear shed dormer in an effort to incorporate additional openings to present a more balanced appearance and follow the pattern of solid to open areas reflected on the rest of the home.
2. Modify the driveway as necessary to fully comply with the Code.
3. All modifications to the plans including the refinements noted above and any others made in response to Board direction or as the result of final design development, shall



be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

4. The final landscape shall include, but not be limited to all required 69 replacement tree inches to account for healthy trees removed from the site, plantings to meet the minimum landscape standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site, and substantial year round plantings shall be included along the property line to fully screen views of the garage and driveway from the adjacent property.
5. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
6. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts. Grading is not permitted in the conservation easement.
7. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist.
8. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
9. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.
10. If the petitioner desires the issuance of a building permit prior to the completion and approval of critical infrastructure in the development, an Acknowledgment prepared by the City will need to be signed, notarized and filed with the City.



# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 475 Oak Knoll Drive Owner(s) Fidelity Wes of Oak Knoll LLC

Representative: Rick Swanson, architect Reviewed by: Jen Baehr

Date 10/6/2021

Lot Area 40481 sq. ft.

## Square Footage of New Residence:

1st floor 2508 + 2nd floor 2042 + 3rd floor 191 = 4741 sq. ft.

Design Element Allowance = 504

Total Actual Design Elements = 466 Excess = 0 sq.ft.

Garage 1096 sf actual ; 800 Excess = 296 sq. ft.

Garage Width 28'-6" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 5037 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 5038 sq. ft.

**DIFFERENTIAL** = -1 sq. ft.

**Under Maximum**

Allowable Height: 40 ft. Actual Height 38'-3" ft.

## NET RESULT:

1 sq. ft. is

0.02% under the  
Max. allowed

## DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 504 sq. ft.

Front & Side Porches = 227 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 32 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 207 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 466 sq. ft.

Excess Design Elements = 0 sq. ft.



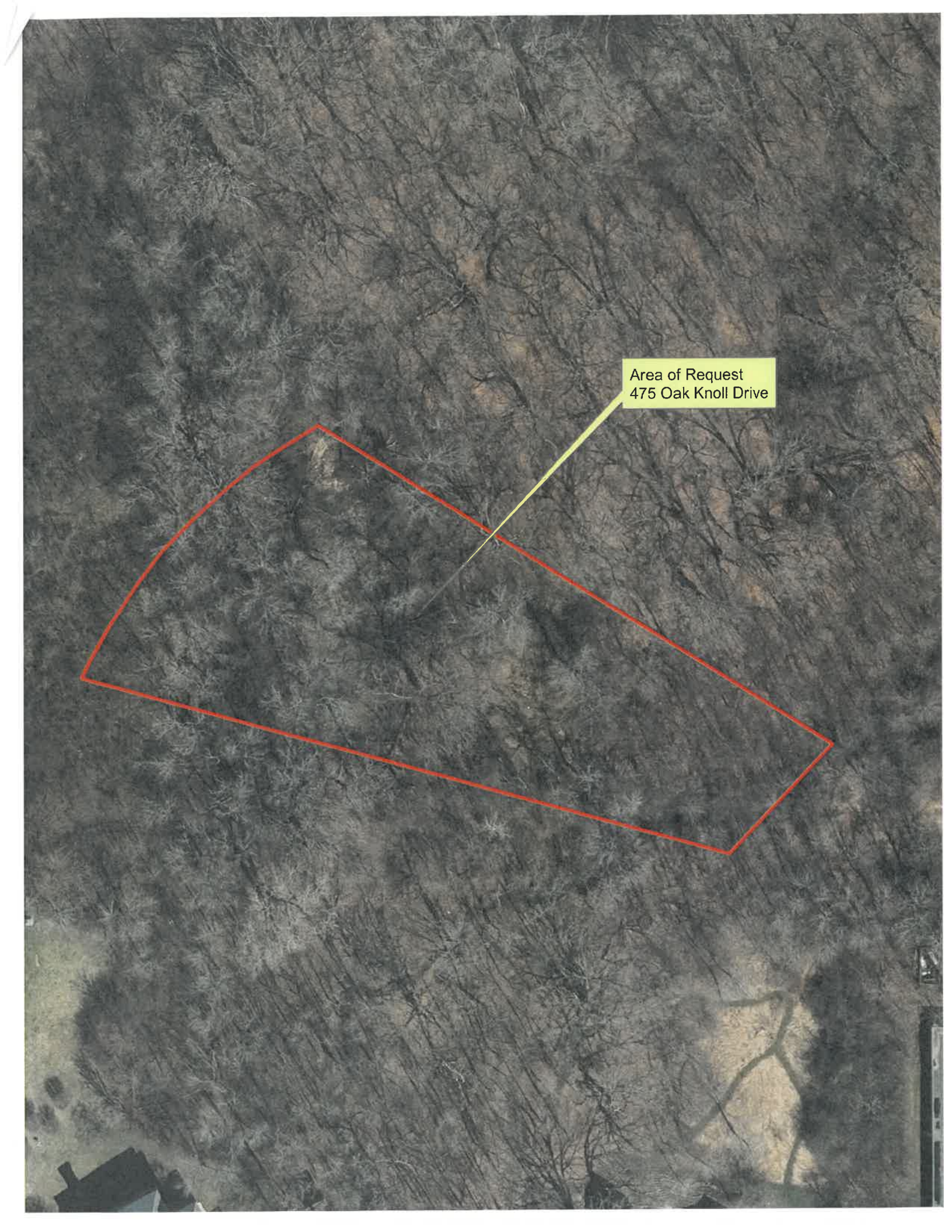
Area of Request  
475 Oak Knoll Drive



Area of Request  
475 Oak Knoll Drive







Area of Request  
475 Oak Knoll Drive





**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 475 Oak Knoll Drive (Chenneready & Paruchurli Residence)

**APPLICATION TYPE** New Single-family Residence

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

**Fidelity Wes of Oak Knoll LLC**

*Owner of Property*

**201 Robert Parker Coffin Road**

*Owner's Street Address (may be different from project address)*

**Long Grove, IL 60047**

*City, State and Zip Code*

**847 980-9686**

*Phone Number*

*Fax Number*

**mike@fidelitywes.com**

*Email Address*

  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

**Rick Swanson AIA, NCARB**

*Name and Title of Person Presenting Project*

**R M Swanson Architects PC**

*Name of Firm*

**11418 E Mission Ln**

*Street Address*

**Scottsdale, AZ 85259**

*City, State and Zip Code*

**847 757-3975**

*Phone Number*

*Fax Number*

**rick@rmswanson.com**

*Email Address*

  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

***Please email a copy of the staff report***

☐ OWNER

☐ REPRESENTATIVE

***Please fax a copy of the staff report***

☐ OWNER

☐ REPRESENTATIVE

***I will pick up a copy of the staff report at  
the Community Development Department***

☐ OWNER

☐ REPRESENTATIVE





## CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

<b>Name</b> Mike Demar	<b>Name</b> _____
<b>Address</b> 201 Robert Coffin Parker Road Long Grove, IL 60047	<b>Address</b> _____
<b>Ownership Percentage</b> 100 %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %





11418 E Mission Ln.  
Scottsdale, AZ 85259  
(847) 757-3975

Jennifer Baehr  
The City of Lake Forest  
Community Development Department  
800 N. Field Drive  
Lake Forest, IL 60045

August 26, 2021

Re: The Chennaready & Paruchurli Residence

Ms. Baehr,

We are respectfully requesting the Building Review Board's consideration and approval of the planned two-story residence for the Chennaready & Paruchurli's on Lot #1 Oak Knoll Lane in Oak Knoll Woodlands Subdivision.

The proposed home embraces the Shingle style, which is a design vernacular that rose to popularity during the late 19th century and borrows elements from architectural styles of the past, including Queen Anne and Colonial Revival. Shingle Style homes are distinguished by their wood cladding, sometimes asymmetrical façades, sweeping roofs, and welcoming covered porches. Windows are typically double hung with muntin patterns frequently articulated on the upper half of the window glazing.

The proposed exterior materials will be as follows:

Roof: Medium Cedar shingles

Porch Columns: Fiberglass smooth "Tuscan" (White)

Stone Veneer: Halquist Stone "Kensington" (see attached)

Windows: SDL aluminum clad casements (white)

Exterior Trim: White

Metal Roofs: PAC-CLAD (Zinc Metallic)

Gutters & Downspouts: Seamless aluminum (white)

Wall Shingles: Hardi Board smooth face with 5" reveal (Benjamin Moore, "Charlotte Slate") solid based stain

Porch and Steps: Stone pavers



Front Door: Oak with warm/dark stain

Garage Doors: White

We appreciate this opportunity to present the proposed Chennaready & Paruchurli's residence on October 6<sup>th</sup>. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "Rick Swanson", followed by a horizontal line that ends in an arrowhead.

Rick Swanson AIA, NCARB  
R.M. Swanson Architects PC





THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***

**Façade Material**

- ☒ Stone  
☐ Brick  
☐ Wood Clapboard Siding  
☐ Stucco

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco  
☐ Other Composite wood wall shingles

Color of Material \_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- ☒ Double Hung  
☐ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_  
Color of Finish White

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

***Simulated Divided Lites***

- ☒ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Window Trim**

- ☒ Limestone 411/5  
☐ Brick  
☒ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☒ Wood  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_



**THE CITY OF LAKE FOREST**  
**BUILDING REVIEW BOARD APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

---

- ☐ Brick
- ☒ Stone
- ☐ Stucco
- ☐ Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- ☒ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles \_\_\_\_\_
- ☐ Sheet Metal \_\_\_\_\_
- ☐ Other \_\_\_\_\_

**Flashing Material**

- ☒ Copper
- ☐ Sheet Metal \_\_\_\_\_
- ☐ Other \_\_\_\_\_

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

---

- ☐ Copper
- ☒ Aluminum
- ☐ Other \_\_\_\_\_

**Driveway Material**

---

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☐ Other \_\_\_\_\_

**Terraces and Patios**

---

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other \_\_\_\_\_







LOT 1 STAKING

(3) DRIVE - YELLOW RIBBON  
(15) HOUSE-ORANGE RIBBON

9.23.21

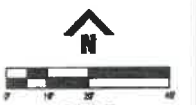
BLECK

engineers | surveyors

Bleck Engineering Company, Inc.  
1375 North Western Avenue  
Lake Forest, Illinois 60045  
T 847.295.5200 W bleckeng.com

475 OAK KNOLL DRIVE

Lake Forest, IL



Source Benchmark:  
City of Lake Forest Monument #10  
Brown Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 667.44 (NAVD 83)

Site Benchmark:  
Municipal Hut on Fire Hydrant at  
Existing Oak Knoll Drive Cut-deep  
Elev. 664.21 (NAVD 83)

ISSUED DATE	ISSUED FOR
07.21.2021	90%
08.16.2021	REMOVE DEAD TREES
08.17.2021	CITY REVIEW

PROFESSIONAL SEAL  
"To the best of our knowledge and belief,  
the drainage of the surface waters will  
not be changed by the construction of  
this project or any part thereof, or that  
each surface water's drainage will be  
changed, reasonable provisions have  
been made for the collection and  
diversion of such surface waters into  
public areas or drains which the  
developer has a right to use, and that  
such surface waters will be planned for  
in accordance with generally accepted  
engineering practices so as to reduce  
the likelihood of the damage to the  
adjoining property because of the  
construction of the project."



Michael G. Bleck, P.E. 07.21.2021  
License No. 000000000 (Expire 12/31/2024)  
2000 North Lincoln Highway, Suite 100, Lake Forest, Illinois 60045

FIDELITY WES  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

70-859-1 Project No.  
1458/CBS Drawn By  
MGB Checked By

Drawing No.

3

Drawing Name

Site Grading Plan

475 OAK KNOLL DRIVE  
LAKE FOREST, IL 60045

Impervious Surface Calculation

Lot Area 40490 0.929

Existing Conditions

House	0	0.000
Driveway	0	0.000
Patio	0	0.000
Walkways	0	0.000
Shed	0	0.000
Total	0	0.000

Percent Impervious

0.0%

Proposed Conditions

House	3773	0.087
Covered porch	213	0.005
Stoops	22	0.001
Driveway	2973	0.068
Patio	659	0.015
Walkways	304	0.007
Total	7942	0.182

TREE INVENTORY BY:  
URBAN FOREST MANAGEMENT  
UPDATED MAY 7, 2021  
CONDITION  
1-EXCELLENT  
2-GOOD-FAIR  
3-FAIR  
4-FAIR-POOR  
5-POOR  
6-DEAD

AMERICAN ELM  
RED OAK  
BUR OAK, SWAMP WHITE OAK  
BLACK WALNUT, BLACK CHERRY  
GREEN ASH

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insects/Diseases	Comments	Co-leaders at 4.5' DBH	Heritage Tree
125	Green Ash	Fraxinus pennsylvanica	20	6	4	double leader, woodpecker damage	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
126	Black Walnut	Juglans nigra	11	3	4	over-topped, vine infested, one sided	emerald ash borer	Dead.		
127	Green Ash	Fraxinus pennsylvanica	16	6	4	one sided, suckering	emerald ash borer	Dead.		
128	Green Ash	Fraxinus pennsylvanica	17	6	4	suckering, slight lean, twist in trunk, sparse foliage	emerald ash borer	Dead.		
129	Green Ash	Fraxinus pennsylvanica	15	6	4	suckering	emerald ash borer	Dead.		
130	Green Ash	Fraxinus pennsylvanica	14	6	4	weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with a 13" co-leader.	
131	Green Ash	Fraxinus pennsylvanica	9	6	4	suckering, thin crown, slight sweep, sparse foliage	emerald ash borer	Dead.		
132	Black Walnut	Juglans nigra	16	3	3	one sided, slight lean, multiple leaders, basal scar	emerald ash borer	Dead.	Forked at 4' with a 16" co-leader.	Heritage Tree (DQ Condition)
134	Green Ash	Fraxinus pennsylvanica	15	6	4	weak crotch, sweep, decay	emerald ash borer	Dead.		
135	Green Ash	Fraxinus pennsylvanica	18	6	4		emerald ash borer	Dead.		
215	Black Cherry	Prunus serotina	11	5	4	sparse foliage, decay, damaged leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
216	Green Ash	Fraxinus pennsylvanica	14	6	4	suckering, over-topped, twist in trunk, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
217	Green Ash	Fraxinus pennsylvanica	24	6	3	multiple leaders	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
218	American Elm	Ulmus americana	11	3	4	over-topped, slight sweep, minor deadwood, suckering	emerald ash borer	Dead.		
220	American Elm	Ulmus americana	13	3	4	one sided	emerald ash borer	Dead.		
221	Green Ash	Fraxinus pennsylvanica	23	6	4	one sided, slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
222	Green Ash	Fraxinus pennsylvanica	22	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
232	Green Ash	Fraxinus pennsylvanica	18	6	5		emerald ash borer	Dead. Fallen.		Heritage Tree (DQ Condition)
233	American Elm	Ulmus americana	11	3	3	over-topped	emerald ash borer	Dead.		
235	Green Ash	Fraxinus pennsylvanica	13	6	5	excessive lean, sweep	emerald ash borer	Dead.		
236	Green Ash	Fraxinus pennsylvanica	14	6	3	poison ivy, double leader	emerald ash borer	Dead.		
237	Green Ash	Fraxinus pennsylvanica	11	6	4	slight sweep	emerald ash borer	Dead.		
238	Green Ash	Fraxinus pennsylvanica	18	6	4	slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
239	Green Ash	Fraxinus pennsylvanica	18	6	4	suckering, twist in trunk	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
240	Green Ash	Fraxinus pennsylvanica	11	6	4	over-topped, damaged leader, slight sweep, suckering	emerald ash borer	Dead.		
241	Green Ash	Fraxinus pennsylvanica	9	6	4	sweep, over-topped	emerald ash borer	Dead.		
242	American Elm	Ulmus americana	11	3	4	excessive lean, over-topped, double leader	emerald ash borer	Dead.	Tag missing.	Heritage Tree (DQ Condition)
243	Green Ash	Fraxinus pennsylvanica	15	6	5	top broken off	emerald ash borer	Dead.		
245	Green Ash	Fraxinus pennsylvanica	16	5	6	suckering, hollow, basal decay	emerald ash borer	Dead. 7' snag.		Heritage Tree (DQ Condition)
267	Bur Oak	Quercus macrocarpa	18	4	4	heavy deadwood, trunk scar, one sided, decay, over-topped				Heritage Tree (DQ Condition)
288	American Elm	Ulmus americana	14	3	4	excessive lean		Growing at base of Tree		Heritage Tree
289	Swamp White Oak	Quercus bicolor	46	3	4	minor deadwood, trunk scar, slight lean, multiple leaders, broken limbs, vine infested, dieback, slight sweep		20' co-leaders split off at 30'		
295	Black Cherry	Prunus serotina	15	6	4	split trunk, basal decay, weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with an 11" co-leader.	
296	Green Ash	Fraxinus pennsylvanica	14	6	4	suckering, vine infested, slight sweep, multiple leaders	emerald ash borer	Dead.		
297	Green Ash	Fraxinus pennsylvanica	14	6	4	minor deadwood, weak crotch, suckering, vine infested, dieback, slight sweep	emerald ash borer	Dead.	Forked at 2.5' with a 12" co-leader.	
298	Black Walnut	Juglans nigra	23	3	4	vine infested, slight sweep, excessive lean, one sided	emerald ash borer	Dead.		Heritage Tree
299	Green Ash	Fraxinus pennsylvanica	28	6	3	suckering	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
300	Green Ash	Fraxinus pennsylvanica	23	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
303	Green Ash	Fraxinus pennsylvanica	15	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer			
352	Bur Oak	Quercus macrocarpa	15	3	4	minor deadwood, one sided, slight lean				
354	Red Oak	Quercus rubra	14	3	3	slight lean, trunk scar, minor deadwood				
361	Green Ash	Fraxinus pennsylvanica	10	6	4	weak crotch, vine infested, slight lean, double leader	emerald ash borer	Dead.		
362	Red Oak	Quercus rubra	12	3	4	minor deadwood, one sided				
364	Red Oak	Quercus rubra	14	2	3	minor deadwood, multiple leaders				
365	Red Oak	Quercus rubra	13.75	3	3	minor deadwood, epicormics, thin crown				
418	Green Ash	Fraxinus pennsylvanica	8	5	4	slight lean, suckering, sparse foliage				Dead.
419	Green Ash	Fraxinus pennsylvanica	9	5	4	suckering, slight sweep, sparse foliage				
1769	Red Oak	Quercus rubra	9	5	3	minor deadwood, sparse foliage				

STORM SEWER STRUCTURE TABLE

SS1	RD C3 TY-C 1C 3'
RUM	673.47
INV	669.37
SUMP	669.37
DEPTH	6.10
SS2	INLET TY-A 1P 2'
RUM	673.00
INV	669.42
DEPTH	2.58
SS3	INLET TY-A 1P 2'
RUM	672.5
INV	669.89
DEPTH	2.61

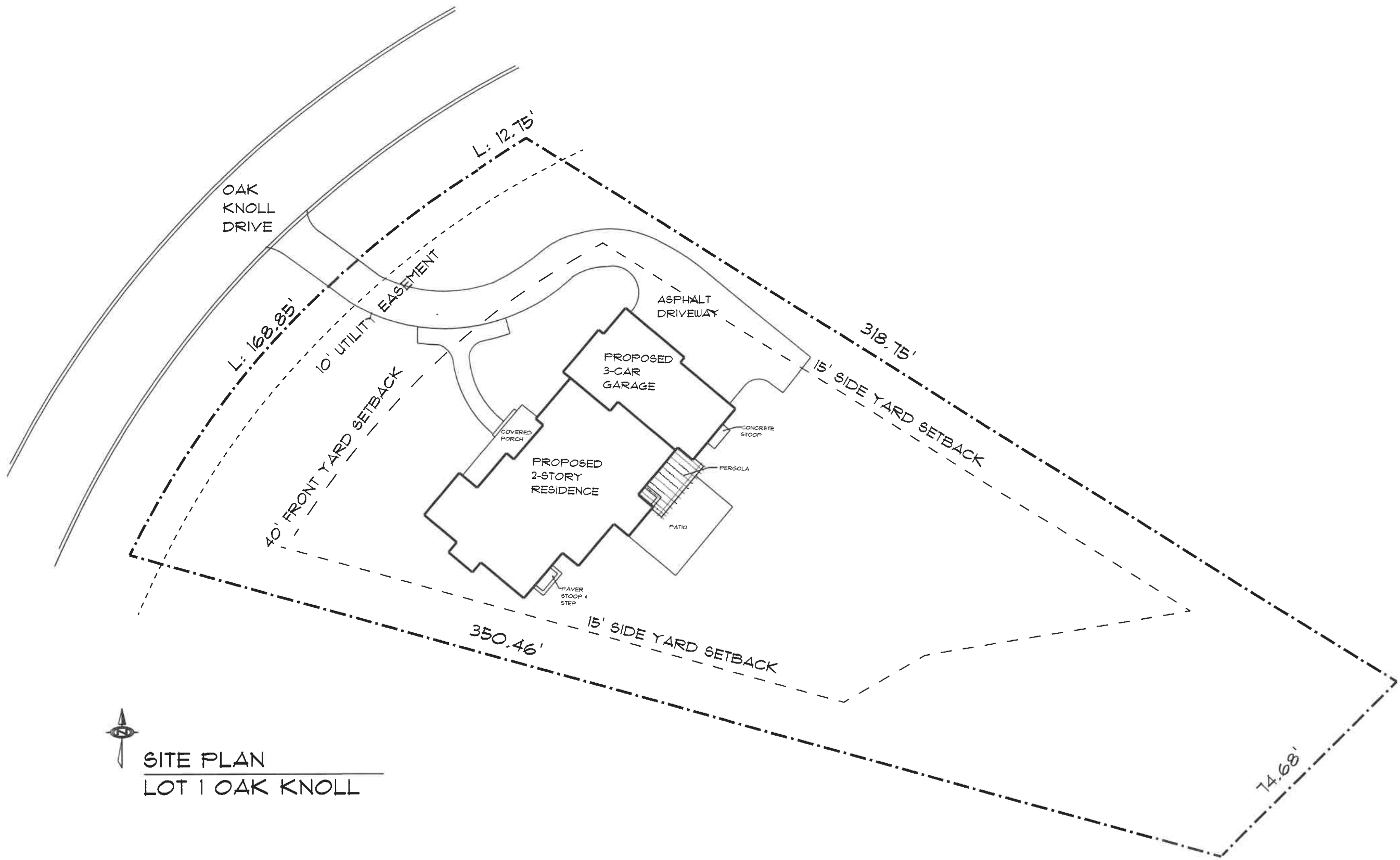
PIPE	SIZE	MATERIAL	LENGTH	SLOPE	CHANGE IN CLOSURE	DOWNSTREAM	UPSTREAM
P1	6"	PVC SDR 26	70	1.50%	1.05	669.37	670.42
P2	6"	PVC SDR 26	26	2.00%	0.52	669.37	669.89
P3	4"	PVC SDR 35 PERF	57	1.25%			
P4	4"	PVC SDR 35 PERF	175	1.25%			

- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
  - For downspouts tying into sewer system, provide 2" air gap.

- STABILIZED CONSTRUCTION ENTRANCE  
Use proposed driveway location
- TREE PRESERVATION & CONSTRUCTION LIMITS FENCE  
Temporary 4' Tall Green Plastic Fence w/ Steel Posts
- SILT FILTER FENCE  
Shall comply with ASHRAE Standard 11 200-00
- MUD AND DUST CONTROL
- TEMPORARY INLET PROTECTION  
All open lot structures to have Catch All Basins or approved equal.
- FINAL STABILIZATION - SEE LANDSCAPE PLAN

SILT FENCE  
TREE FENCE





SITE PLAN  
LOT 1 OAK KNOLL





1 FRONT ELEVATION  
1/4" = 1'-0"



PROPOSED ROOF



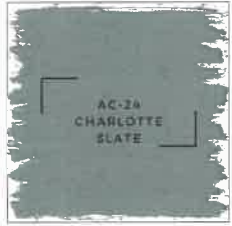
PROPOSED STONE



PROPOSED SHUTTER COLOR



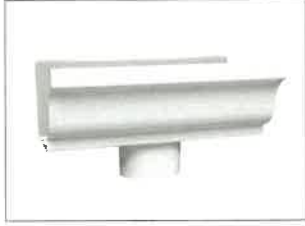
PROPOSED WINDOW COLOR



PROPOSED SIDING COLOR



TRIM COLOR



PROPOSED GUTTER & DOWNSPOUT COLOR

THE CHENNEREDDY & PARUCHULI RESIDENCE  
LOT I OAK KNOLL DR.  
LAKE FOREST, ILLINOIS





4 LEFT SIDE ELEVATION

1/4" = 1'-0"

THE CHENNEREDDY & PARUCHULI RESIDENCE  
LOT I OAK KNOLL DR.  
LAKE FOREST, ILLINOIS

July 12, 2021

RM  
SWANSON  
ARCHITECTS  
11418 E MISSION LN. 847.757.3975  
SCOTTSDALE, ARIZONA rick@rmswanson.com





3 REAR ELEVATION

3/8" = 1'-0"





2 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

July 12, 2021

THE CHENNEREDDY & PARUCHULI RESIDENCE

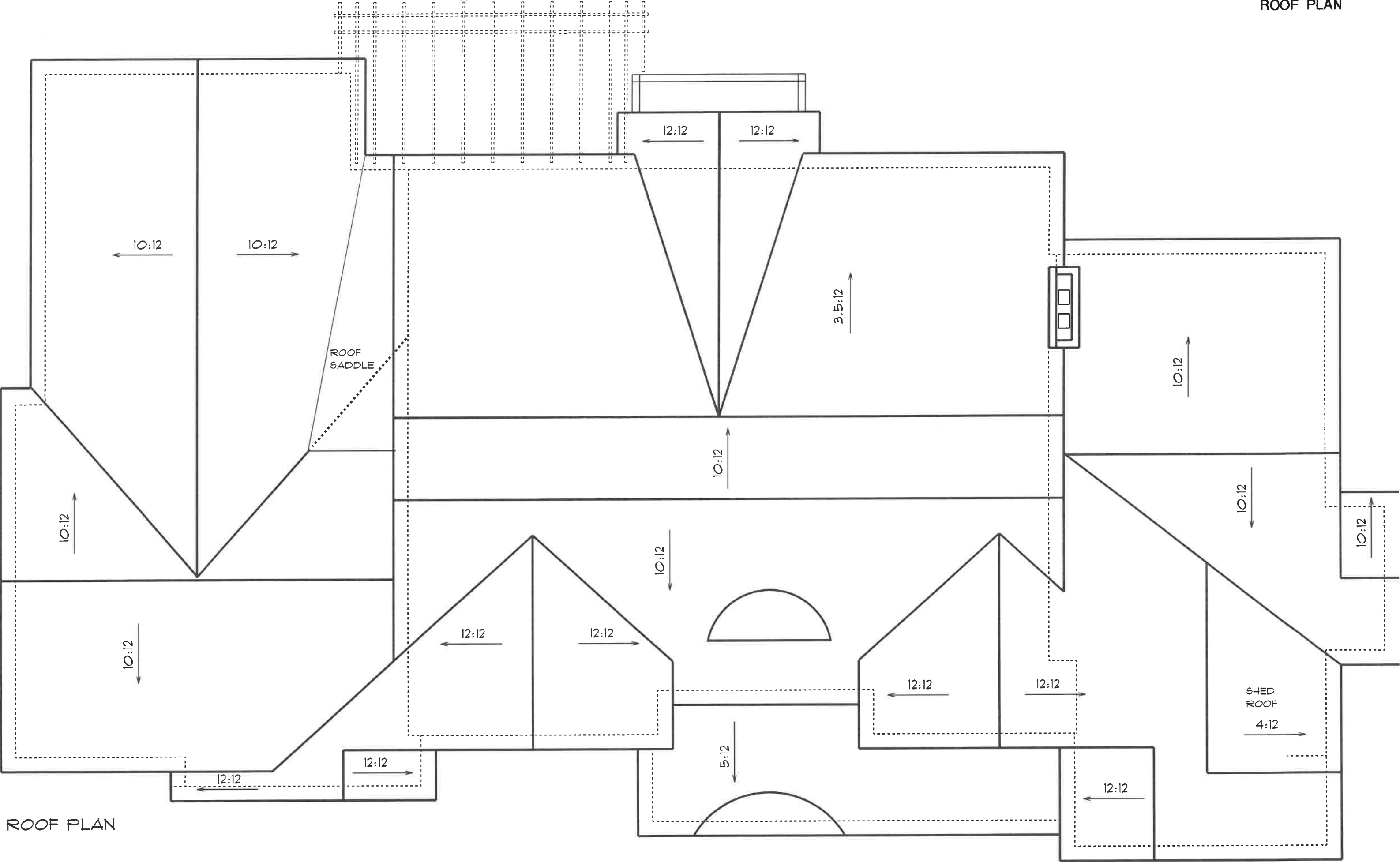
LOT 1 OAK KNOLL DR.  
LAKE FOREST, ILLINOIS

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**SWANSON**  
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11418 E MISSION LN. 847.757.3975  
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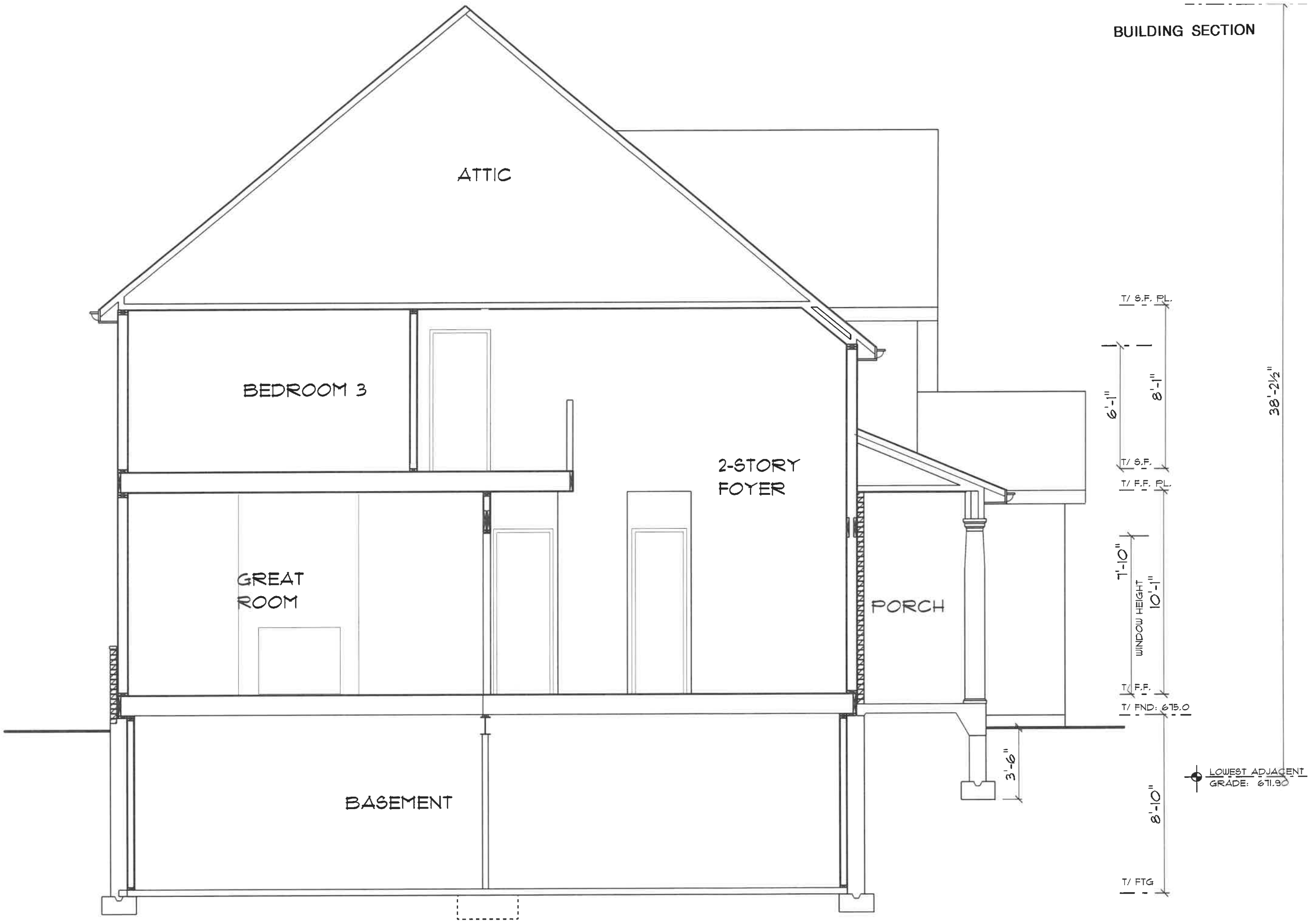






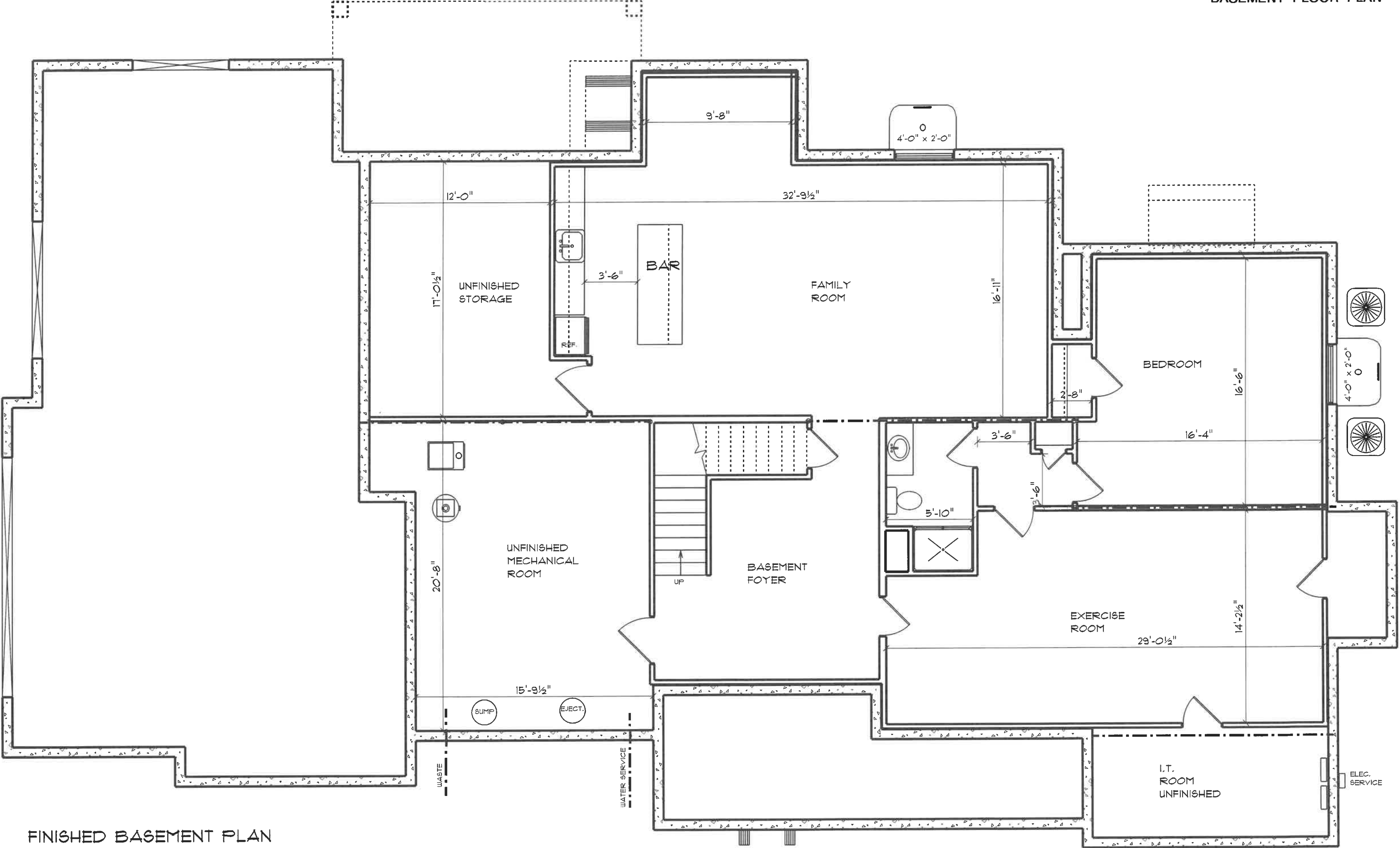


BUILDING SECTION



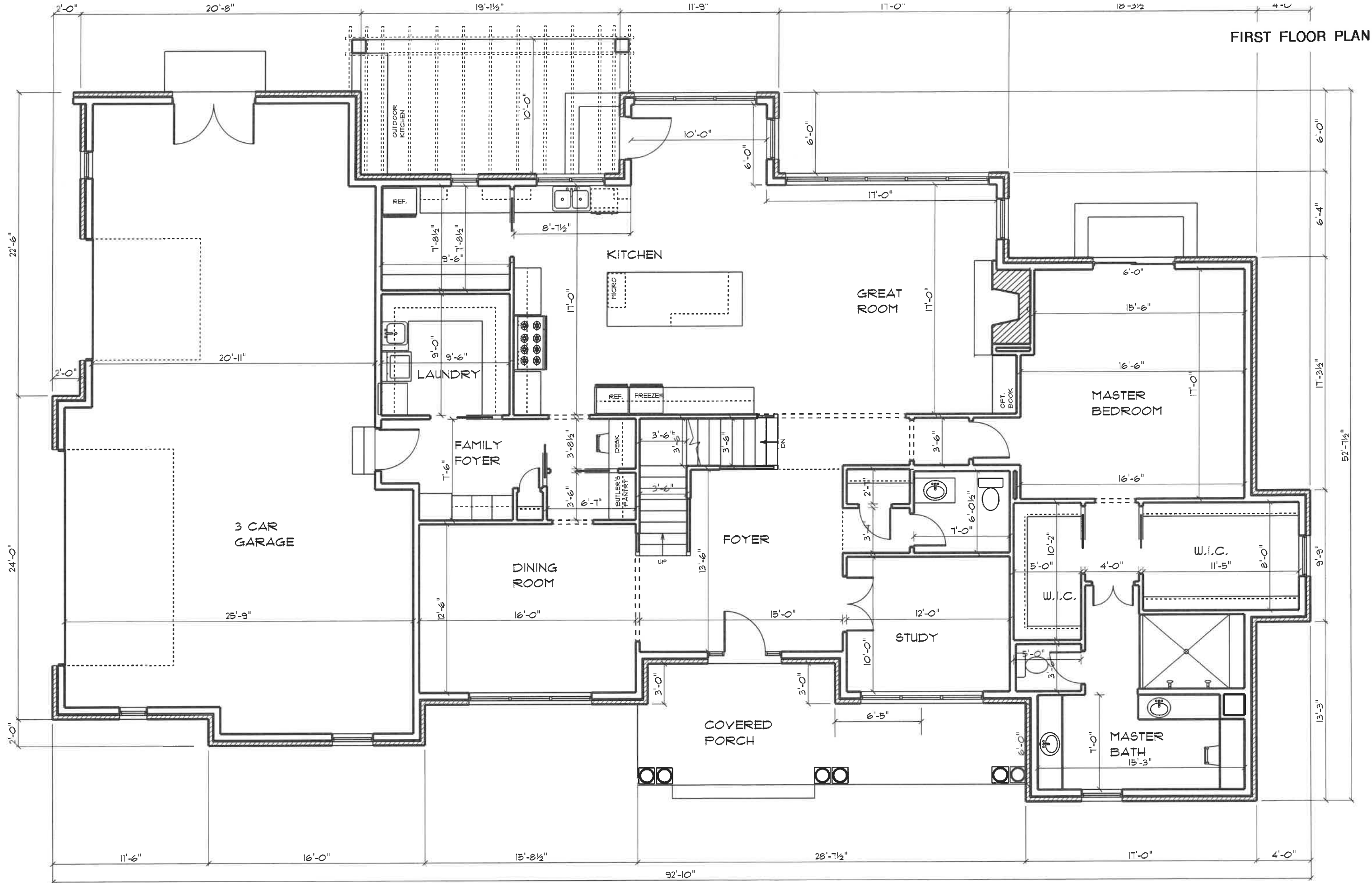
BUILDING SECTION





FINISHED BASEMENT PLAN

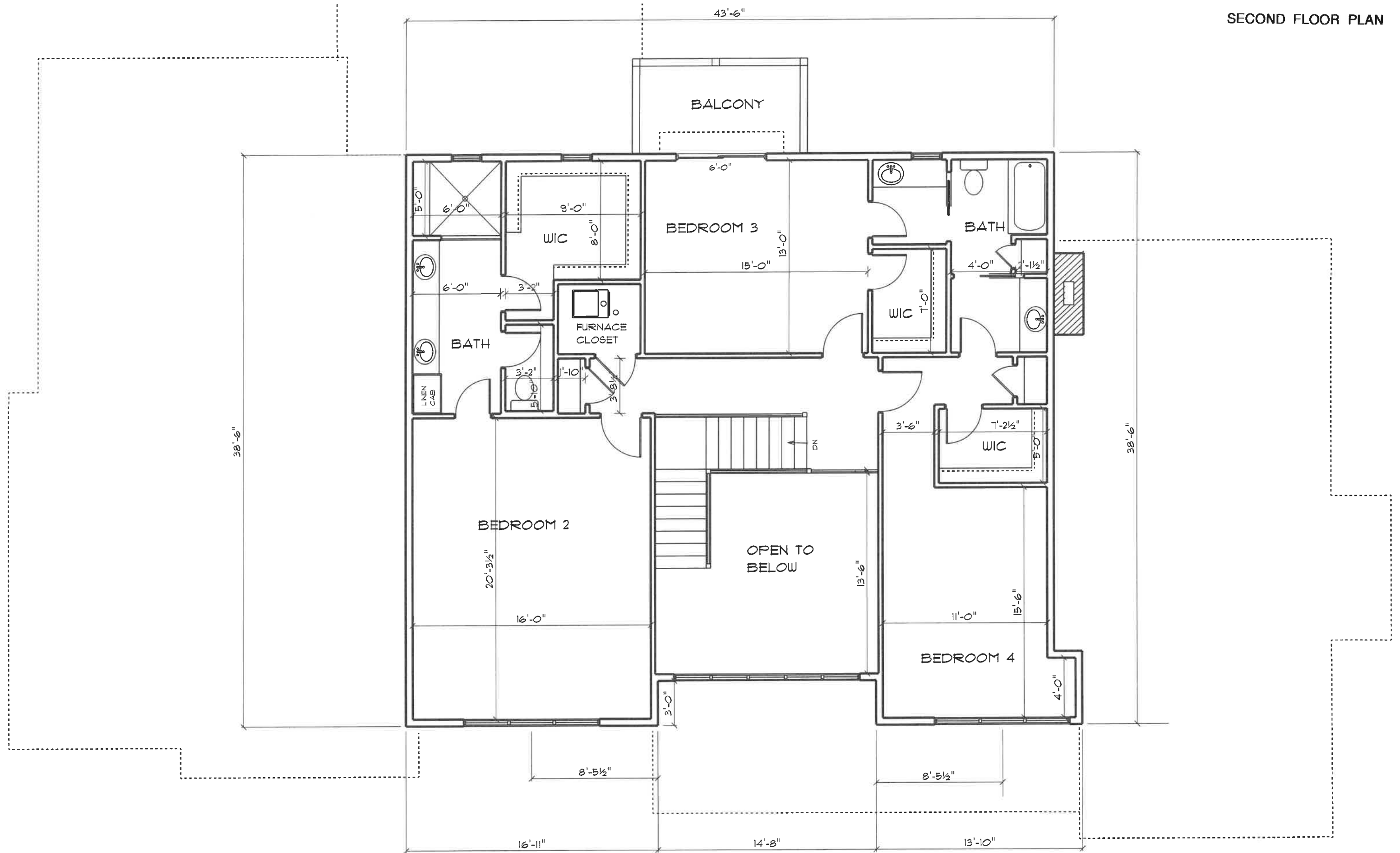




FIRST FLOOR PLAN

FIRST FLOOR PLAN







## PRELIMINARY SITE GRADING AND TREE REMOVAL PLAN

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.  
1375 North Western Avenue  
Lake Forest, Illinois 60045  
T 847.295.5200 W bleckeng.com

475 OAK KNOLL DRIVE

Lake Forest, IL



Source Benchmark:  
City of Lake Forest Monument #10  
Brass Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 697.44 (NAVD 88)

Site Benchmark:  
Muelier Nut on Fire Hydrant at  
Existing Oak Knoll Drive Cul-de-sac  
Elev. 694.21 (NAVD 88)

ISSUED DATE	ISSUED FOR
07.21.2021	BRB
08.16.2021	REMOVE DEAD TREES
09.17.2021	CITY REVIEW

## PROFESSIONAL SEAL

"To the best of our knowledge and belief,  
the drainage of the surface waters will  
not be changed by the construction of  
this project or any part thereof, or that if  
such surface waters drainage will be  
changed, reasonable provisions have  
been made for the collection and  
diversion of such surface waters into  
public areas or drains which the  
developer has a right to use, and that  
such surface waters will be planned for  
in accordance with generally accepted  
engineering practices so as to reduce  
the likelihood of the damage to the  
adjoining property because of the  
construction of the project."



Michael G. Bleck, PE 07.21.2021

License No. 002-0000000 Expires 12/31/2021  
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Illinois Professional Design Firm 164-000011

FIDELITY WES  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

70-859-1	Project No.
MGB/CBS	Drawn By
MGB	Checked By

Drawing No.

Drawing Name

Site Grading Plan

475 OAK KNOLL DRIVE  
LAKE FOREST, IL 60045

LOWEST ADJACENT GRADE AT NORTHERLY MOST CORNER - 671.90

## Impervious Surface Calculation

	sq ft	acre
Lot Area	40480	0.929

## Existing Conditions

	sq ft	acre
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	0.000
Total	0	0.000

Percent Impervious

0.0%

## Proposed Conditions

	sq ft	acre
House	3773	0.087
Covered porch	213	0.005
Stoops	22	0.001
Driveway	2971	0.068
Patio	659	0.015
Walkways	304	0.007
Total	7942	0.182

TREE INVENTORY BY:  
URBAN FOREST MANAGEMENT  
UPDATED MAY 7, 2021  
CONDITION  
1-EXCELLENT  
2-GOOD/FAIR  
3-FAIR  
4-FAIR/POOR  
5-POOR  
6-DEAD

- AMERICAN ELM
- RED OAK
- BUR OAK, SWAMP WHITE OAK
- BLACK WALNUT, BLACK CHERRY
- GREEN ASH

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
125	Green Ash	Fraxinus pennsylvanica	20	6	4	double leader, woodpecker damage	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
126	Black Walnut	Juglans nigra	11	3	4	over-topped, vine infested, one sided				
127	Green Ash	Fraxinus pennsylvanica	16	6	4	one sided, suckering	emerald ash borer	Dead.		
128	Green Ash	Fraxinus pennsylvanica	17	6	4	suckering, slight lean, twist in trunk, sparse foliage	emerald ash borer	Dead.		
129	Green Ash	Fraxinus pennsylvanica	15	6	4	suckering	emerald ash borer	Dead.		
130	Green Ash	Fraxinus pennsylvanica	14	6	4	weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with a 13" co-leader.	
131	Green Ash	Fraxinus pennsylvanica	9	6	4	suckering, thin crown, slight sweep, sparse foliage	emerald ash borer	Dead.		
132	Black Walnut	Juglans nigra	16	3	3	one sided, slight lean, multiple leaders, basal scar				
134	Green Ash	Fraxinus pennsylvanica	15	6	4	weak crotch, sweep, decay	emerald ash borer	Dead.	Forked at 4' with a 14" co-leader.	
135	Green Ash	Fraxinus pennsylvanica	18	6	4		emerald ash borer	Dead.		Heritage Tree (DQ Condition)
215	Black Cherry	Prunus serotina	11	5	4	sparse foliage, decay, damaged leader				
216	Green Ash	Fraxinus pennsylvanica	14	6	4	suckering, over-topped, twist in trunk, double leader	emerald ash borer	Dead.		
217	Green Ash	Fraxinus pennsylvanica	24	6	3	multiple leaders	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
218	American Elm	Ulmus americana	11	3	4	over-topped, slight sweep, minor deadwood, suckering				
220	American Elm	Ulmus americana	13	3	4	one sided				
221	Green Ash	Fraxinus pennsylvanica	23	6	4	one sided, slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
222	Green Ash	Fraxinus pennsylvanica	22	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
232	Green Ash	Fraxinus pennsylvanica	18	6	6		emerald ash borer	Dead. Fallen.		
233	American Elm	Ulmus americana	11	3	3	over-topped				
235	Green Ash	Fraxinus pennsylvanica	13	6	5	excessive lean, sweep	emerald ash borer	Dead.		
236	Green Ash	Fraxinus pennsylvanica	14	6	3	poison ivy, double leader	emerald ash borer	Dead.		
237	Green Ash	Fraxinus pennsylvanica	11	6	4	slight sweep	emerald ash borer	Dead.		
238	Green Ash	Fraxinus pennsylvanica	18	6	4	slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
239	Green Ash	Fraxinus pennsylvanica	18	6	4	suckering, twist in trunk	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
240	Green Ash	Fraxinus pennsylvanica	11	6	4	over-topped, damaged leader, slight sweep, suckering	emerald ash borer	Dead.		
241	Green Ash	Fraxinus pennsylvanica	9	6	4	sweep, over-topped	emerald ash borer	Dead.		
242	American Elm	Ulmus americana	11	3	4	excessive lean, over-topped, double leader		Tag missing.		Heritage Tree (DQ Condition)
243	Green Ash	Fraxinus pennsylvanica	18	6	5	top broken off	emerald ash borer	Dead.		
286	Green Ash	Fraxinus pennsylvanica	16	5	6	suckering, hollow, basal decay	emerald ash borer	Dead. 7' snag.		Heritage Tree (DQ Condition)
287	Bur Oak	Quercus macrocarpa	18	4	4	heavy deadwood, trunk scar, one sided, decay, over-topped				
288	American Elm	Ulmus americana	14	3	4	excessive lean		Growing at base of Tree		Heritage Tree
289	Swamp White Oak	Quercus bicolor	46	3	4	minor deadwood, trunk scar, slight lean, multiple leaders, broken limbs, vine infested, dieback, slight sweep		20' co-leaders split off at 20'		
295	Black Cherry	Prunus serotina	15	6	4	split trunk, basal decay, weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with an 11" co-leader.	
296	Green Ash	Fraxinus pennsylvanica	14	6	4	suckering, vine infested, slight sweep, multiple leaders	emerald ash borer	Dead.		
297	Green Ash	Fraxinus pennsylvanica	14	6	4	minor deadwood, weak crotch, suckering, vine infested, dieback, slight sweep	emerald ash borer	Dead.	Forked at 2.5' with a 12" co-leader.	
298	Black Walnut	Juglans nigra	23	3	4	vine infested, slight sweep, excessive lean, one sided				Heritage Tree
299	Green Ash	Fraxinus pennsylvanica	28	6	3	suckering	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
300	Green Ash	Fraxinus pennsylvanica	23	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
303	Green Ash	Fraxinus pennsylvanica	15	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer			
352	Bur Oak	Quercus macrocarpa	15	3	4	minor deadwood, one sided, slight lean				
354	Red Oak	Quercus rubra	14	3	3	slight lean, trunk scar, minor deadwood				
361	Green Ash	Fraxinus pennsylvanica	10	6	4	weak crotch, vine infested, slight lean, double leader	emerald ash borer	Dead.		
362	Red Oak	Quercus rubra	12	3	4	minor deadwood, one sided				
364	Red Oak	Quercus rubra	14	2	3	minor deadwood, multiple leaders				
365	Red Oak	Quercus rubra	11.75	3	3	minor deadwood, epicormics, thin crown				
418	Green Ash	Fraxinus pennsylvanica	8	6	4	slight lean, suckering, sparse foliage		Dead.		
419	Green Ash	Fraxinus pennsylvanica	9	5	4	suckering, slight sweep, sparse foliage				
1785	Shagbark Hickory	Carya ovata	8	2	2					
1786	Red Oak	Quercus rubra	9	5	3	minor deadwood, sparse foliage				

## STORM SEWER STRUCTURE TABLE

SS1

RD CB TY-C 1C 3'

RIM 673.47

INV 669.37

SUMP 667.37

DEPTH 6.10

## STORM SEWER PIPE TABLE

PIPE

SIZE

MATERIAL

LENGTH

SLOPE

CHANGE IN

GRADE

DOWNSTREAM

UPSTREAM

INV

INV

INV

INV

INV

INV

INV

INV

INV

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## Notes:

- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
- For downspouts tying into sewer system, provide 2" air gap.

1

## STABILIZED CONSTRUCTION ENTRANCE

Use proposed driveway location

2

## TREE PRESERVATION &amp; CONSTRUCTION LIMITS FENCE

Temporary 4' Tall Green Snow Fence w/ Steel Posts

3

## SILT FILTER FENCE

Shall comply with AASHTO Standard M 288-00

4

## MUD AND DUST CONTROL

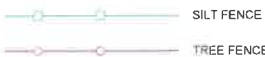
5

## TEMPORARY INLET PROTECTION

All open lid structures to have Catch All Baskets or approved equal.

6

## FINAL STABILIZATION - SEE LANDSCAPE PLAN





# TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL

Oak Knoll Subdivision - Lot 1  
Lake Forest, IL

Tree Inventory Listing  
Prepared by Urban Forest Management, Inc.  
5/7/2021

Tag No.	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-leaders at 4.5' DBH	Heritage Tree
125	Green Ash	20	6	4	double leader, woodpecker damage	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
126	Black Walnut	11	3	4	over-topped, vine infested, one sided				
127	Green Ash	16	6	4	one sided, suckering	emerald ash borer	Dead.		
128	Green Ash	17	6	4	suckering, slight lean, twist in trunk, sparse foliage	emerald ash borer	Dead.		
129	Green Ash	15	6	4	suckering,	emerald ash borer	Dead.		
130	Green Ash	14	6	4	weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with a 13" co-leaders.	
131	Green Ash	9	6	4	suckering, thin crown, slight sweep, sparse foliage	emerald ash borer	Dead.		
132	Black Walnut	16	3	3	one sided, slight lean, multiple leaders, basal scar				
134	Green Ash	15	6	4	weak crotch, sweep, decay	emerald ash borer	Dead.	Forked at 4' with a 14" co-leader.	
135	Green Ash	18	6	4		emerald ash borer	Dead.		Heritage Tree (DQ Condition)
215	Black Cherry	11	5	4	sparse foliage, decay, damaged leader				
216	Green Ash	14	6	4	suckering, over-topped, twist in trunk, double leader	emerald ash borer	Dead.		
217	Green Ash	24	6	3	multiple leaders	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
218	American Elm	11	3	4	over-topped, slight sweep, minor deadwood, suckering				
220	American Elm	13	3	4	one sided				
221	Green Ash	23	6	4	one sided, slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
222	Green Ash	22	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
232	Green Ash	18	6	6		emerald ash borer	Dead. Fallen.		Heritage Tree (DQ Condition)
233	American Elm	11	3	3	over-topped				
235	Green Ash	13	6	5	excessive lean, sweep	emerald ash borer	Dead.		
236	Green Ash	14	6	3	poison ivy, double leader	emerald ash borer	Dead.		
237	Green Ash	11	6	4	slight sweep	emerald ash borer	Dead.		
238	Green Ash	18	6	4	slight sweep, double leader	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
239	Green Ash	18	6	4	suckering, twist in trunk	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
240	Green Ash	11	6	4	over-topped, damaged leader, slight sweep, suckering	emerald ash borer	Dead.		
241	Green Ash	9	6	4	sweep, over-topped	emerald ash borer	Dead.		
242	American Elm	11	3	4	excessive lean, over-topped, double leader		Tag missing.		
243	Green Ash	18	6	5	top broken off	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
286	Green Ash	16	5	6	suckering, hollow, basal decay	emerald ash borer	Dead. 7' snag.		
287	Bur Oak	18	4	4	heavy deadwood, trunk scar, one sided, decay, over-topped				Heritage Tree (DQ Condition)
288	American Elm	14	3	4	excessive lean		Growing at base of Tree #289.		
289	Swamp White Oak	46	3	4	minor deadwood, trunk scar, slight lean, multiple leaders, broken limbs, vine infested, dieback, slight sweep		20" co-leaders split off at 20'.		Heritage Tree
295	Black Cherry	15	6	4	split trunk, basal decay, weak crotch, sweep	emerald ash borer	Dead.	Forked at 2' with an 11" co-leader.	
296	Green Ash	14	6	4	suckering, vine infested, slight sweep, multiple leaders	emerald ash borer	Dead.		
297	Green Ash	14	6	4	minor deadwood, weak crotch, suckering, vine infested, dieback, slight sweep	emerald ash borer	Dead.	Forked at 2.5' with a 12" co-leader.	
298	Black Walnut	23	3	4	vine infested, slight sweep, excessive lean, one sided				Heritage Tree
299	Green Ash	28	6	3	suckering	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
300	Green Ash	23	6	4	excessive lean	emerald ash borer	Dead.		Heritage Tree (DQ Condition)
303	Green Ash	15	5	5	minor deadwood, excessive lean, double leader, growing horizontally, sparse foliage	emerald ash borer			
352	Bur Oak	15	3	4	minor deadwood, one sided, slight lean				
354	Red Oak	14	3	3	slight lean, trunk scar, minor deadwood				
361	Green Ash	10	6	4	weak crotch, vine infested, slight lean, double leader	emerald ash borer	Dead.		
362	Red Oak	12	3	4	minor deadwood, one sided				
364	Red Oak	14	2	3	minor deadwood, multiple leaders				
365	Red Oak	11.75	3	3	minor deadwood, epicormics, thin crown				
418	Green Ash	8	6	4	slight lean, suckering, sparse foliage		Dead.		
419	Green Ash	9	5	4	suckering, slight sweep, sparse foliage				
1785	Shagbark Hickory	8	2	2					
1786	Red Oak	9	5	3	minor deadwood, sparse foliage				



LANDSCAPE  
DEVELOPMENT PLAN

FIDELITY WES  
RESIDENCE

475 OAK KNOLL DRIVE  
LAKE FOREST, IL

Qty	Common Name	Botanical Name
Flower, Grass		
6	Grass, 'Karl Foerster'	Calamagrostis x acutiflora 'Karl Foerster'
Flower, Perennial		
6	Aster, 'Wood's Pink'	Aster dumosus 'Wood's Pink'
7	Black Eyed Susan	Rudbeckia fulgida 'Vitte's Little Suzy'
29	Catmint, Walker's Low	Nepeta X F. Walker's Low
7	Lily Turf	Liriope muscari
7	Sage, Russian	Perovskia atriplicifolia
Shrub, Deciduous		
1	Buckeye, Bottlebrush	Aesculus parviflora
18	Hydrangea, Annabelle White	Hydrangea arborescens
5	Hydrangea, Limelight	Hydrangea p. 'Limelight'
11	Rose, Double Knockout	Rosa Double Knockout
6	Viburnum, Arrowwood	Viburnum dentatum
Shrub, Evergreen Broadleaf		
10	Boxwood, Micro Green Velvet	Buxus x 'Green Velvet'
12	Yew, Hicks	Taxus media 'hicksii'
Tree, Deciduous		
1	Crabapple, Royal Gem	Malus 'Royal Gem'
5	Linden, Littleleaf	Tilia cordata
4	Oak, Red	Quercus Rubra
4	Oak, Swamp White	Quercus bicolor
3	Ohio Buckeye	Aesculus glabra
4	Planetree, London, Liberty	Platanus x acerifolia 'Liberty'
Tree, Evergreen		
8	Spruce, Black Hills	Picea glauca 'Densata'

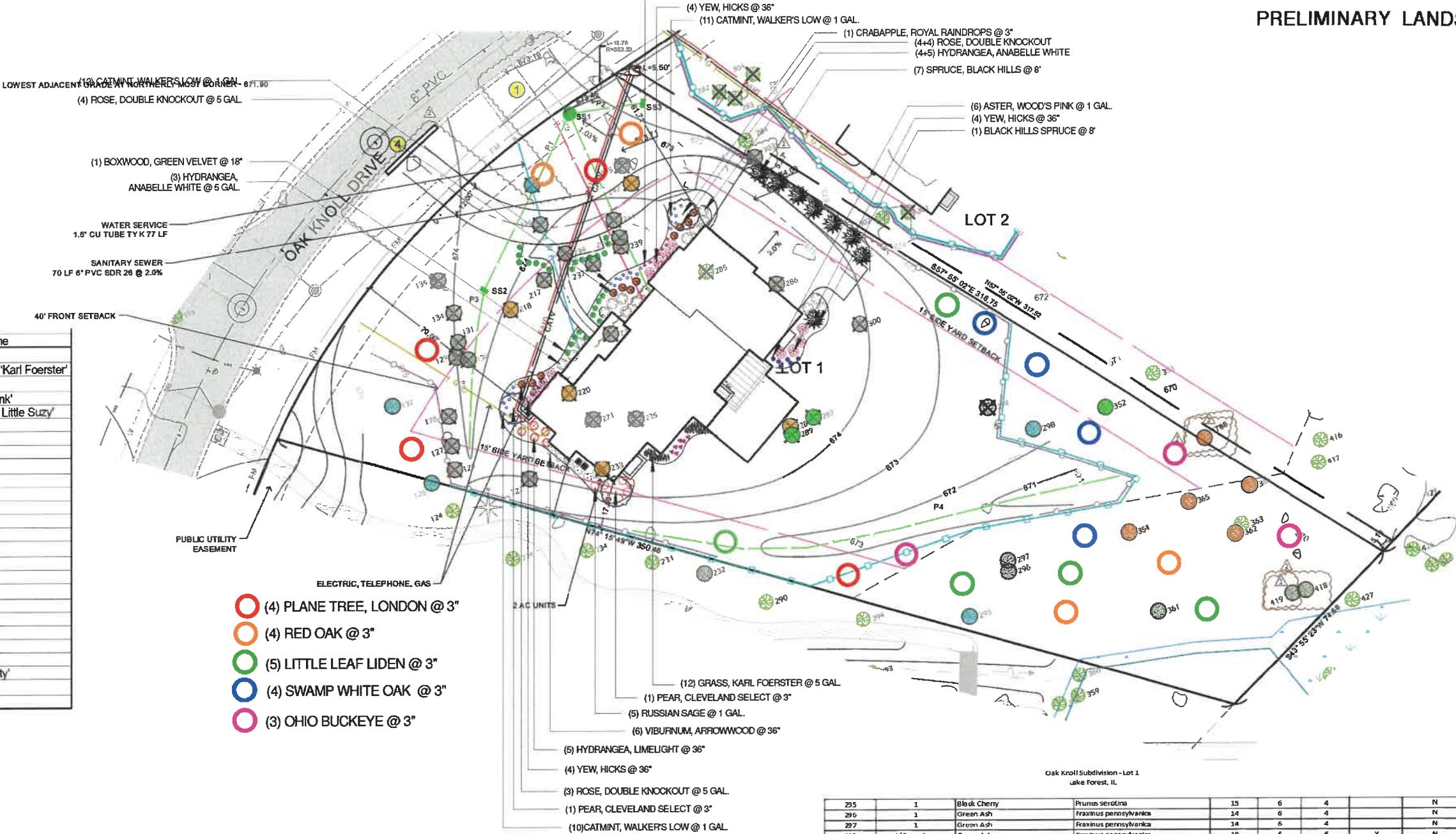


SCALE: 1" = 20'  
DATE: SEPTEMBER 15,  
2021

PREPARED BY:



PRELIMINARY LANDSCAPE PLAN



TOTAL REQUIRED REPLACEMENT INCHES: 60  
TOTAL REPLACEMENT INCHES IN LANDSCAPE PLAN: 60  
(20 TREES @ 3" DBH).

REPLACEMENT DEFICIT/SURPLUS: 0

Tax No.	LOT NUMBER	Common Name	Botanical Name	Size	Cond.	Form	Heritage?	Replace?	Inches
295	1	Black Cherry	Prunus serotina	15	6	4		N	
296	1	Green Ash	Fraxinus pennsylvanica	14	6	4		N	
297	1	Green Ash	Fraxinus pennsylvanica	14	6	4		N	
232	1/2 Open Area	Green Ash	Fraxinus pennsylvanica	18	6	6	Y	N	
361	1	Green Ash	Fraxinus pennsylvanica	10	6	4		N	
418	1	Green Ash	Fraxinus pennsylvanica	8	6	4		N	
419	1	Green Ash	Fraxinus pennsylvanica	9	5	4		N	
1786	1	Red Oak	Quercus rubra	9	5	3		N	
TREES TO BE REMOVED AS PART OF CONSTRUCTION									
125	1	Green Ash	Fraxinus pennsylvanica	20	6	4	Y	N	
127	1	Green Ash	Fraxinus pennsylvanica	16	6	4		N	
128	1	Green Ash	Fraxinus pennsylvanica	17	6	4		N	
129	1	Green Ash	Fraxinus pennsylvanica	15	6	4		N	
130	1	Green Ash	Fraxinus pennsylvanica	14	6	4		N	
131	1	Green Ash	Fraxinus pennsylvanica	9	6	4		N	
134	1	Green Ash	Fraxinus pennsylvanica	15	6	4		N	
135	1	Green Ash	Fraxinus pennsylvanica	18	6	4	Y	N	
215	1	Black Cherry	Prunus serotina	11	5	4		N	
216	1	Green Ash	Fraxinus pennsylvanica	14	6	4		N	
217	1	Green Ash	Fraxinus pennsylvanica	24	6	4	Y	N	
218	1	American Elm	Ulmus americana	11	3	4		Y	11
220	1	American Elm	Ulmus americana	13	3	4		Y	13
221	1	Green Ash	Fraxinus pennsylvanica	23	6	4	Y	N	
222	1/2 Open Area	Green Ash	Fraxinus pennsylvanica	22	6	4	Y	N	
233	1	American Elm	Ulmus americana	11	3	3		Y	11
235	1	Green Ash	Fraxinus pennsylvanica	13	6	5		N	
236	1	Green Ash	Fraxinus pennsylvanica	14	6	4		N	
237	1	Green Ash	Fraxinus pennsylvanica	11	6	4		N	
238	1	Green Ash	Fraxinus pennsylvanica	18	6	4	Y	N	
239	1	Green Ash	Fraxinus pennsylvanica	18	6	4	Y	N	
240	1	Green Ash	Fraxinus pennsylvanica	11	6	4		N	
241	1	Green Ash	Fraxinus pennsylvanica	9	6	4		N	
242	1	American Elm	Ulmus americana	11	3	4		Y	11
243	1	Green Ash	Fraxinus pennsylvanica	18	6	5	Y	N	
246	1	Green Ash	Fraxinus pennsylvanica	16	5	6		N	
247	1	Bur Oak	Quercus macrocarpa	18	4	4	Y	N	
248	1	American Elm	Ulmus americana	14	3	4		Y	14
249	1	Swamp White Oak	Quercus bicolor	46	3	4	Y	N	
249	1	Green Ash	Fraxinus pennsylvanica	28	6	4	Y	N	
300	1	Green Ash	Fraxinus pennsylvanica	23	6	4	Y	N	
303	1/2	Green Ash	Fraxinus pennsylvanica	15	5	5		N	
									60





Carlos Tapia  
Don Beto and Co, LLC  
888 Tower Road Unit C  
Mundelein, IL 60060

RE: Hardscape at 475 Oak Knoll Drive

To Whom It May Concern,

The sidewalk, stoops, and backyard patio at 475 Oak Knoll Drive in Lake Forest will be constructed using an Open Graded Base up to ICPI standards and built using the following materials:

Stoop and Sidewalk :

Techo Bloc Blu 60 Shale Grey  
Techo Bloc Squadra in Onyx Black  
Techo Bloc Rafinatto Cap  
Techo Bloc Patio



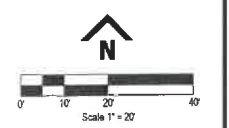


## **Supplemental Materials Provided by Staff**









Source Benchmark:  
City of Lake Forest Monument #10  
Brass Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 697.44 (NAVD 88)

Site Benchmark:  
Mueller Nut on Fire Hydrant at  
Existing Oak Knoll Drive Cul-de-sac  
Elev. 694.21 (NAVD 88)

ISSUED DATE	ISSUED FOR
09.17.2021	CITY REVIEW

PROFESSIONAL SEAL  
"To the best of our knowledge and belief,  
the drainage of the surface waters will  
not be changed by the construction of  
this project or any part thereof, or that if  
such surface waters drainage will be  
changed, reasonable provisions have  
been made for the collection and  
diversion of such surface waters into  
public areas or drains which the  
developer has a right to use, and that  
such surface waters will be planned for  
in accordance with generally accepted  
engineering practices so as to reduce  
the likelihood of the damage to the  
adjoining property because of the  
construction of the project."



*Michael G. Bleck*  
Michael G. Bleck, PE 09.17.2021

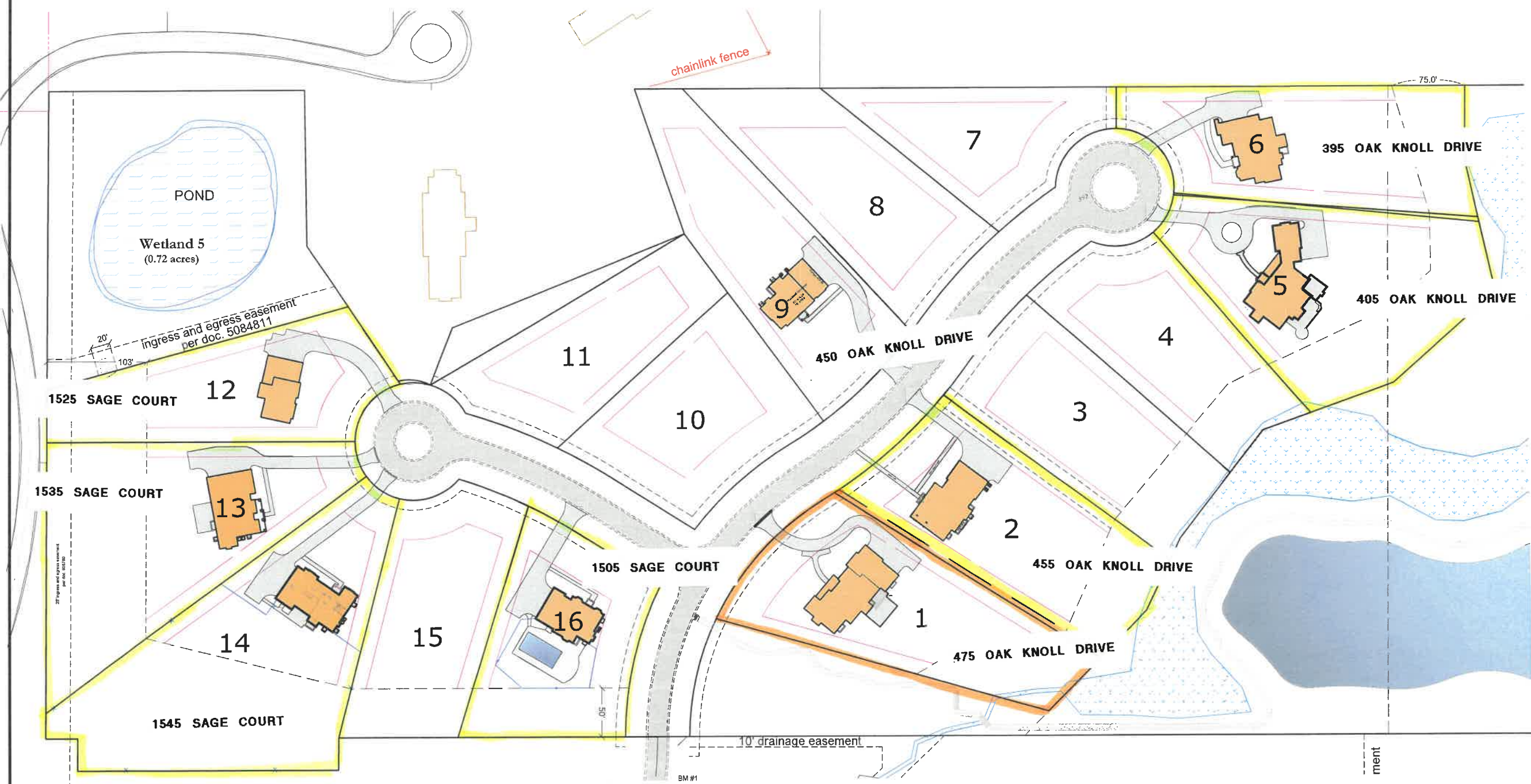
License No. 003-040403 Expires 12/31/2021  
© 2021 Bleck Engineering Company, Inc. All Rights Reserved.  
Blank Professional Design Form 104-02/2011

FIDELITY WES  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

70-859	Project No.
MGB/CBS	Drawn By
MGB	Checked By

Drawing No. **1**

Drawing Name  
Overall Subdivision  
Layout



- CURRENTLY PRESENTED FOR REVIEW
- PREVIOUSLY APPROVED





1 FRONT ELEVATION  
AR 02

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

© COPYRIGHT 2021

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 14 BAKAS RESIDENCE 1525 SAGE COURT OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
03/01/2021 REVIEW	03/09/2021 REVIEW
26575 COMMERCE DR. SUITE 607 Volo, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 184-00354	
PROJECT # AD20208 DRAWN BY: COM / MB	
LOT 14 EXTERIOR ELEVATIONS	
AR 02	
# 2 OF 9 TOTAL SHEETS	



REVIEW ONLY-NOT FOR CONSTRUCTION



1  
AR 01

FRONT ELEVATION

SCALE:N.T.S.

NOTE: ALL SCALE DESIGNATIONS  
ARE FOR SHEETS PRINTED ON  
24" x 36" SIZE PAPER. (ARCH-D)

LOT 12  
HAN / CHANG RESIDENCE  
1545 SAGE COURT  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	12/01/2020
REVIEW	01/12/2021
REVIEW	01/21/2021
REVIEW	01/26/2021
REVIEW	01/27/2021
REVIEW	02/04/2021
REVIEW	03/26/2021
REVIEW	03/29/2021

ASPECT DESIGN INC. ARCHITECTS

126575 COMMERCE DR.  
SUITE 607  
MADISON, IL 60138  
PHONE: 847.451.2500  
WWW.ASPECTDESIGNINC.COM  
IL LICENSE # 184-000354

PROJECT #	AD20202
DRAWN BY:	COM / MB
LOT 12 EXTERIOR ELEVATIONS	
AR 01	
# 1 OF 14 TOTAL SHEETS	























**Agenda Item 6**  
**450 Oak Knoll Drive**  
**New Residence**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Statements of Intent  
*Description of Exterior Materials*  
*Staking Diagram*  
Proposed Site Plan  
Proposed East Elevation  
Proposed East Color Elevation  
Proposed North Elevation  
Proposed West Elevation  
Proposed South Elevation  
*Roof Plan*  
*Building Section*  
*First Floor Plan*  
*Second Floor Plan*  
*Preliminary Site Grading Plan and Tree Removal Plan*  
*Tree Inventory*  
*Preliminary Landscape Plan*  
*Images of Hardscape Materials*

Supplemental Materials

*Vicinity Map*  
*Overall Subdivision Plan with Individual Site Plans*  
*Previous Board Approvals*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## 450 Oak Knoll Drive

**Consideration of a request for approval of a new residence, an attached garage, a conceptual landscape plan and the overall site plan.**

**Property Owner/Developer: Fidelity Wes of Oak Knoll LLC (Mike DeMar, 100%)**

**Contract Purchasers: Scott and Stephanie Bussan**

**Project Representative: Jeff Letzter, Aspect Design Inc.**

Staff Contact: Jen Baehr, Planner

### **Summary of Request**

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and landscape plan is also requested.

### **Description of Property**

The property is located on the west side of Oak Knoll Drive and is Lot 9 in the Oak Knoll Woodlands subdivision. The property that is the subject of this petition totals 35,928 square feet and is irregular in shape.

To date, the Board has approved petitions for new residences on a total of seven lots in the subdivision. The petition currently presented to the Board was submitted by the developer on behalf of the contract purchasers. A statement of intent from the contract purchasers is included in the Board's packet.

### **Review and Evaluation of Applicable Standards from the City Code**

Below is a review of the standards outlined in the City Code for the Board's consideration.

#### *Site Plan – This standard is met.*

The proposed residence faces east toward the street with the attached side-load garage facing north. A single curb cut is proposed on the north side of the property at the front of the site. A bluestone walkway is proposed from the front entrance to the driveway and bluestone stoops are proposed on the front and rear of the residence. A manufactured block retaining wall is proposed along a portion of the driveway on the north side. At its tallest point above grade, the retaining wall is 2 feet. Images of the proposed hardscape including the walkways, stoops and retaining wall are included in the Board's packet.

The site plan and information submitted by the petitioner shows that the amount of impervious surface on the site will be 16%. The building footprint is 2,440 square feet and hardscape and driveway surfaces total 3,458 square feet.

#### *Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,796 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 480 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and porches.

- The proposed residence totals 4,425 square feet.



- The proposed garage totals 791 square feet. The garage overage of 191 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 143 square feet of design elements are incorporated into the design of the house.
- In total, the residence is 4,616 square feet, and is 4 percent below the maximum allowable square footage.

At the maximum height, the residence is 35 feet and 2 inches tall as measured from the lowest point of existing adjacent grade to the tallest roof peak. The maximum height allowed for this lot is 40 feet.

*Elevations – This standard is met.*

According to the petitioner's statement of intent, the proposed residence is designed as a Colonial Revival style home, a traditional architectural style that is found throughout the community. The residence presents a primary two-and-a-half-story mass with a one and half-story garage mass on the north side. The residence features gable roof forms with a consistent 8:12 pitch. The home presents features common to the Colonial Revival style, such as portico at the front entrance that is centered on the front facade, double hung windows with shutters, and gable dormers.

*Type, color, and texture of materials – This standard is met.*

The exterior walls of the home have fiber cement horizontal siding. The roof material is wood shingle. Wood will be used for the window sills, shutters, trim, fascia, and soffits. The portico trim and railing will also be wood. It is unclear what material is proposed for the portico columns, the petitioner's representative should provide that information during the presentation. Aluminum clad wood windows with exterior and interior muntin bars are proposed. Aluminum gutters and downspouts are proposed. The chimney will be brick with clay chimney pots.

The proposed color palette includes white siding, trim, and windows. The shutters are black and the front door will be red. The roof will be natural cedar shingle. The petitioner provided a color elevation to reflect the proposed color palette. The color elevation is included in the Board's packet. As previously noted by the Board, homes in the subdivision presented to date are predominately white, or an off white, creating the potential for monotony within the subdivision. The Board has encouraged diversity in color palettes to allow homes to distinguish themselves from each other and add visual interest and character to the subdivision. Board input on the proposed color palette is requested.

*Landscaping - This standard can be met.*

As currently proposed, a total of 24 trees are proposed to be removed. The trees proposed for removal consist of Ash, Black Walnut, Black Cherry, Maple, and Oak trees. Fourteen of the trees proposed for removal are either dead or in poor condition. The trees at the rear of the site are all identified for preservation. Ten of the trees proposed for removal are identified as Heritage trees due to their size being greater than 18 inches in diameter. Based on the species, size and condition of these trees, a total of 211 replacement inches will be required to be planted on the site to the extent possible using good forestry practices.

Based on questions received from a neighboring property owner, staff is reviewing the approval of the subdivision to determine whether the rear of the property was intended, by the original developer, as a vegetation conservation area. Given the adjacency of the rear property line of the



subject lot to a private area of the home to the north, it will be critical to maintain dense vegetation at the rear of the property to provide privacy for both homeowners.

As shown on the plans submitted, four Heritage Oak trees (labeled #203,253,254, and 255 on the tree survey) that are currently proposed for protection are located close to the front walkway and driveway. Given the location of the walkway and driveway in relation to these trees, construction may negatively impact the root systems of the trees. The petitioner's Certified Arborist must provide a maintenance plan for these trees including pre and post construction treatment, to provide the best possible opportunity for these trees to survive and thrive long after construction is completed. If during construction, or as a result of construction, the Heritage Oak trees are negatively impacted, additional replacement inches will be required either through planting on site or with a payment in lieu of on site planting. The payment will be required prior to the issuance of a Certificate of Occupancy.

Foundation plantings and minimal plantings on the site are required by the Code separate and apart from replacement plantings for trees that are proposed for removal. Based on the landscape plan provided by the petitioner, the minimum landscaping requirements for new residential construction are satisfied. The landscape plan submitted by the petitioner reflects shrub and ornamental plantings around the foundation of the home as well as a number of shade and evergreen trees across the site. A row of arborvitae is proposed along the north side of the garage apron to screen views of the garage doors.

Based on the current landscape plan that was provided by the petitioner, the total number of replacement inches is not fully satisfied. Given the significant tree removal that is proposed to construct the new home, it is unlikely that the required replacement inches can be fully planted on site and a payment in lieu of the remaining replacement inches that cannot be accommodated on site will be required before the issuance of a building permit.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

### **Recommendation**

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and as they may be further detailed during the Board's deliberations. Staff recommends approval subject to the following conditions of approval.

### **Conditions of Approval**

1. All modifications to the plans in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.



2. The final landscape shall include, but not be limited to, all required replacement tree inches to account for trees removed and shall meet the minimum landscaping standards for new residences detailed in the Code, including ground cover, mid-level and canopy trees and evergreens across the site. The landscape plan shall demonstrate that dense landscaping will be maintained and enhanced at the rear of the property.
3. If determined to be necessary by the City's Certified Arborist, any declining or damaged parkway trees shall be removed and replaced by the developer prior to the issuance of a Certificate of Occupancy for this property.
4. The final grading and drainage plan shall demonstrate the project is consistent with the applicable Code requirements and will be subject to review and approval by the City Engineer. Grading or filling on the site should be kept to the absolute minimum necessary to meet good engineering practices, properly direct drainage and mitigate off site impacts.
5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect trees identified for preservation and to protect trees on neighboring properties during construction, must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, a maintenance plan, including pre and post construction treatment for trees to be preserved must be submitted.
6. Details of exterior lighting shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.
8. If the petitioner desires the issuance of a building permit prior to the completion and approval of critical infrastructure in the development, an Acknowledgment prepared by the City will need to be signed, notarized and filed with the City.



# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 450 Oak Knoll Drive Owner(s) Fidelity Wes of Oak Knoll LLC

Representative: Jeff Letzter, Project Manager Reviewed by: Jen Baehr

Date 10/6/2021

Lot Area 35928 sq. ft.

## Square Footage of New Residence:

1st floor 1626 + 2nd floor 2322 + 3rd floor 477 = 4425 sq. ft.

Design Element Allowance = 480

Total Actual Design Elements = 143 Excess = 0 sq. ft.

Garage 791 sf actual ; 600 Excess = 191 sq. ft.

Garage Width 20'- 6" *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 4616 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4796 sq. ft.

**DIFFERENTIAL** = -180 sq. ft.

**Under Maximum**

Allowable Height: 40 ft. Actual Height 35'-2" ft.

## NET RESULT:

180 sq. ft. is

4% under the  
**Max. allowed**

## DESIGN ELEMENT EXEMPTIONS

**Design Element Allowance:** 480 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 39 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

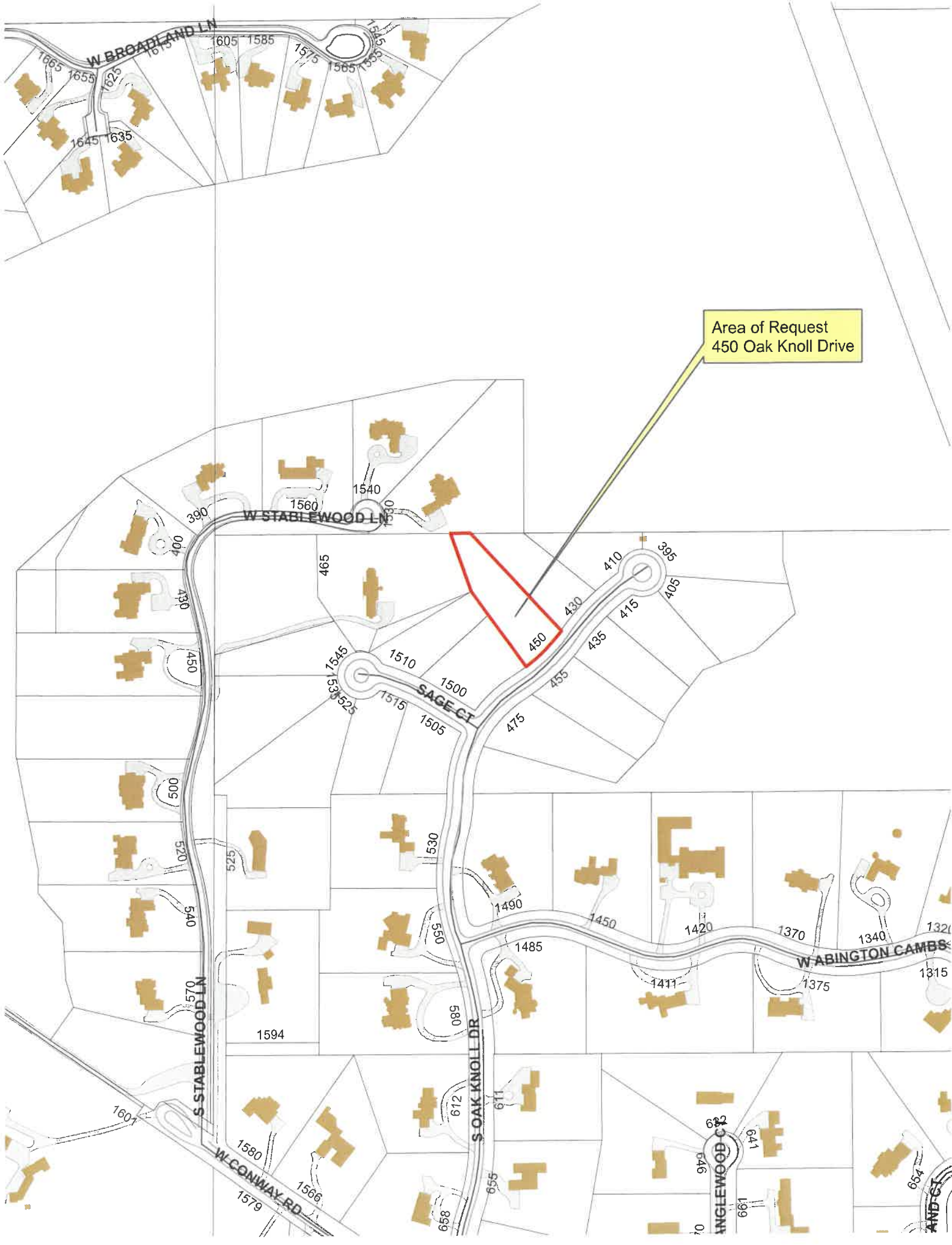
Individual Dormers = 92 sq. ft.

Bay Windows = 12 sq. ft.

**Total Actual Design Elements =** 143 sq. ft.

**Excess Design Elements =** 0 sq. ft.





Area of Request  
450 Oak Knoll Drive





Area of Request  
450 Oak Knoll Drive





Area of Request  
450 Oak Knoll Drive





# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS LOT 9 OAK KNOLL WOODLANDS  
APPLICATION TYPE 450 OAK KNOLL DRIVE LAKE FOREST, IL 60045

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

## PROPERTY OWNER INFORMATION

FIDELITY WES OF OAK KNOLL, LLC  
Owner of Property

201 ROBERT PARKER COFFIN CO  
Owner's Street Address (may be different from project address)

LOMA GROVE, IL 60047  
City, State and Zip Code

(847) 980-9686 (847) 983-6132  
Phone Number Fax Number

MIKE@FIDELITYWES.COM  
Email Address

[Signature]  
Owner's Signature

## ARCHITECT/BUILDER INFORMATION

JEFF LETZTER, PROJECT MANAGER  
Name and Title of Person Presenting Project

ASPECT DESIGN, INC  
Name of Firm

26575 COMMERCIAL DR. SUITE 607  
Street Address

VOLA, IL 60079  
City, State and Zip Code

(847) 457-2200 N/A  
Phone Number Fax Number

JLETZTER@ASPECTDESIGNINC.COM  
Email Address

[Signature]  
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE





## CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>MIKE DEMAR (PRES.)</u>	Name _____
<u>201 ROBERT PARKER COFFIN RD</u>	Address _____
Address <u>LOWE GROVE, IL</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



From: Scott and Stephanie Bussan  
June, 21 2021

Building Review Board  
City of Lake Forest  
220 East Deerpath Road  
Lake Forest, IL 60045

Subject: Proposed Residence – 450 Oak Knoll Drive – Oak Knoll Woodlands Lot 9

To Lake Forest Building Review Board,

We are writing to ask for your consideration and approval of our proposed residence at 450 Oak Knoll Drive, Lot 9 of Oak Knoll Woodlands.

We have lived in the greater-Chicago area for 6 years and have always had the desire to live in Lake Forest. We believe Lake Forest is the perfect place to raise our 2 young boys with the great schools, recreational parks, beach and beautiful woodlands. The proximity of Lake Forest to both of our professions as well as family in Wisconsin is also very attractive to us.

We immediately fell in love with Oak Knoll Woodlands with the lush greenery, private cul de sac and pond with walking path. It is a beautiful, peaceful retreat and yet very close to the Metra, schools and shopping. We feel that it is the perfect place to build our dream home and raise our two boys.

We chose Lot 9 because of the acreage and could envision our boys, who love the outdoors like us, playing sports and games in the large backyard. The long rectangular shape of the lot makes for a private oasis and is close to the entrance of the walking path along the pond.

We are excited to be working with Jeff Letzter and Fidelity Wes to create our dream home. We love the Colonial style home for its elegance and timelessness and believe it would fit nicely with the neighborhood. The open design on the first floor of our home will allow for us to spend quality time together and the design of the second floor will allow for our own separate space and a bonus room for study and play.

We thank the BRB commission for their review of this proposed new home and ask that the commission approves our request.

Best regards,  
Scott and Stephanie Bussan





**Statement of Intent** Lot 9 Oak Knoll Woodlands, 450 Oak Knoll Drive, Lake Forest, IL 60045

1. **Background**—The home will be built by Fidelity Wes of Oak Knoll, LLC as a home in the Oak Knoll Woodlands subdivision for the Scott and Stephanie Bussan family.
2. **Initial Goal**—The purpose of the project is to help further set the tone for the balance of the homes in the subdivision with a welcoming and comfortable Colonial Revival style home.
3. **Design Strategy**—Based upon the established Design Guidelines for Oak Knoll Woodlands Subdivision, our intent is to plan the home with garage to the East and have the front entry, front porch and roof lines being the focal point as you view the home on the lot from Oak Knoll Drive, which works very well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. **Materials**—White Hardie board siding will be used on the facade. The wood trim, soffit and fascia are to be white, the roof will be cedar shingles. The windows are to be white. The front door will be painted wood (red,) the shutters will be black and overhead garage doors to be a stained wood look.
5. **Conclusion**—Our intent is to build an attractive home that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.
6. **Variances**— None are required for the proposed home in the R-4 zoning district.

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
PHONE: 847.457.2500  
WWW.ASPECTDESIGNINC.COM





THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS*

**Façade Material**

- ☐ Stone  
☐ Brick  
☐ Wood Clapboard Siding  
☐ Stucco

- ☐ Wood Shingle  
☐ Aluminum Siding  
☐ Vinyl Siding  
☐ Synthetic Stucco

☒ Other HARDIE BOARD

Color of Material WHITE

**Window Treatment**

**Primary Window Type**

- ☒ Double Hung  
☐ Casement  
☐ Sliding  
☐ Other \_\_\_\_\_

**Finish and Color of Windows**

- ☐ Wood  
☒ Aluminum Clad  
☐ Vinyl Clad  
☐ Other \_\_\_\_\_

Color of Finish WHITE

**Window Muntins**

- ☐ Not Provided  
☐ True Divided Lites

*Simulated Divided Lites*

- ☒ Interior and Exterior muntin bars  
☐ Interior muntin bars only  
☐ Exterior muntin bars only  
☐ Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Window Trim**

- ☐ Limestone  
☐ Brick  
☒ Wood  
☐ Synthetic Material \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- ☒ Wood  
☐ Other \_\_\_\_\_  
☐ Synthetic Material \_\_\_\_\_



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

- ☒ Brick  
☐ Stone  
☐ Stucco  
☐ Other \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- ☒ Wood Shingles  
☐ Wood Shakes  
☐ Slate  
☐ Clay Tile  
☐ Composition Shingles \_\_\_\_\_  
☐ Sheet Metal \_\_\_\_\_  
☐ Other \_\_\_\_\_

**Flashing Material**

- ☒ Copper  
☐ Sheet Metal \_\_\_\_\_  
☐ Other \_\_\_\_\_

Color of Material: \_\_\_\_\_

**Gutters and Downspouts**

- ☐ Copper  
☒ Aluminum  
☐ Other \_\_\_\_\_

**Driveway Material**

- ☒ Asphalt  
☐ Poured Concrete  
☐ Brick Pavers  
☐ Concrete Pavers  
☐ Crushed Stone  
☐ Other \_\_\_\_\_

**Terraces and Patios**

- ☐ Bluestone  
☐ Brick Pavers  
☒ Concrete Pavers  
☐ Poured Concrete  
☐ Other \_\_\_\_\_





Source Benchmark:  
City of Lake Forest Monument #10  
Browns Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 687.44 (NAVD 88)

Site Benchmark:  
Municipal Water on Fire Hydrant at  
Existing Oak Knoll Drive Cul-de-sac  
Elev. 684.21 (NAVD 88)

ISSUED DATE	ISSUED FOR
08.27.2021	PERMIT
07.23.2021	LF REV 1
06.18.2021	Tree Fence

PROFESSIONAL SEAL

"To the best of our knowledge and belief,  
the drainage of the surface waters will  
not be changed by the construction of  
this project or any part thereof, or that if  
such surface waters drainage will be  
changed, reasonable provisions have  
been made for the collection and  
diversion of such surface waters into  
public areas or drains which the  
developer has a right to use, and that  
such surface waters will be planned for  
in accordance with generally accepted  
engineering practices so as to reduce  
the likelihood of the damage to the  
adjoining property because of the  
construction of the project."



Michael G. Bleck, PE 08.27.2021  
License No. 08.27.2021

FIDELITY WES  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

70-859-9 Project No.  
MB Drawn By  
MGE Checked By

Drawing No.

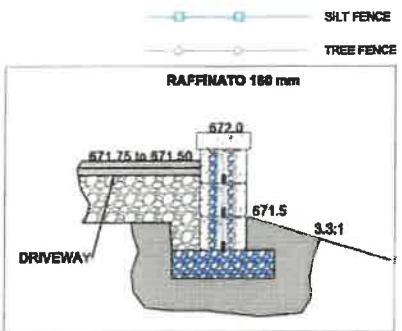
3

Drawing Name

Site Grading Plan

- Notes:
- Downspouts in to splash at grade unless otherwise shown. Provide concrete splash pad at discharge.
  - For downspouts tying into sewer system, provide 2" air gap.

- STABILIZED CONSTRUCTION ENTRANCE  
Use proposed driveway location
- TREE PRESERVATION & CONSTRUCTION LIMITS FENCE  
Temporary 4" Tall Green Draw Fence w/ Steel Posts
- SILT FILTER FENCE  
Shall comply with AASHTO Standard M 208-00
- MUD AND DUST CONTROL
- TEMPORARY INLET PROTECTION  
All open lot structures to have Catch All Basins or approved equal.
- FINAL STABILIZATION - SEE LANDSCAPE PLAN



TECHO BLOC RAFFINATO 180  
GREYED NICHOL RETAINING WALL  
SEE LANDSCAPE FOR DETAILS

CURB TO DIVERT RUNOFF FROM  
DRIVEWAY TO S83, S84 AND OAK  
KNOLL

SANITARY SEWER  
9" LF 6" PVC SDR 26 @ 2.0%  
DRILL THROUGH ROOT ZONE

TYC 672.00  
RIM 671.5  
B/W 670.5

TYC 672.00  
RIM 671.5  
B/W 670.5

TYC 672.00  
RIM 671.5  
B/W 670.5

STORM STRUCTURES

SS1 MH TYC-1C RIM INV DEPTH	672.5 668.03 4.47
SS2 INLET TYA-R4342 RIM INV DEPTH	670.75 669.32 1.43
SS3 INLET TYA-1P RIM INV DEPTH	671.50 669.13 2.37
SS4 INLET TYA-1P RIM INV DEPTH	671.50 668.51 2.99

STORM PIPE TABLE

PIPE	LENGTH FT	SIZE	MATERIAL	SLOPE	CHANGE IN GRADE	DOWNSIDE INV.	UPSIDE INV.
P1	89	6"	PVC SDR 26	2.00%	1.78	666.25	668.03
P2	86	6"	PVC SDR 26	1.50%	1.29	668.03	669.32
P3	55	6"	PVC SDR 26	2.00%	1.10	668.03	669.13
P4	24	6"	PVC SDR 26	2.00%	0.48	668.03	668.51

LOT 9 OAKKNOLL WOODLAND  
Lake Forest, IL 60045

Impervious Surface Calculation

Lot Area

Existing Conditions

House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	0.000
Total	0	0.000

Percent Impervious

Proposed Conditions

House	2440	0.056
Driveway	3141	0.072
Patio	42	0.001
Walkways	225	0.006
Total	5898	0.135

Percent Impervious

- WHITE OAK
- RED OAK
- BUR OAK
- BLACK WALNUT
- GREEN ASH, BOX ELDER
- SHAGBARK HICKORY, BITTERNUT HICKORY

TREE INVENTORY BY:  
URBAN FOREST MANAGEMENT  
UPDATED MAY 7, 2021  
CONDITION  
1-EXCELLENT  
2-GOOD-FAIR  
3-FAIR  
4-FAIR/POOR  
5-POOR  
6-DEAD

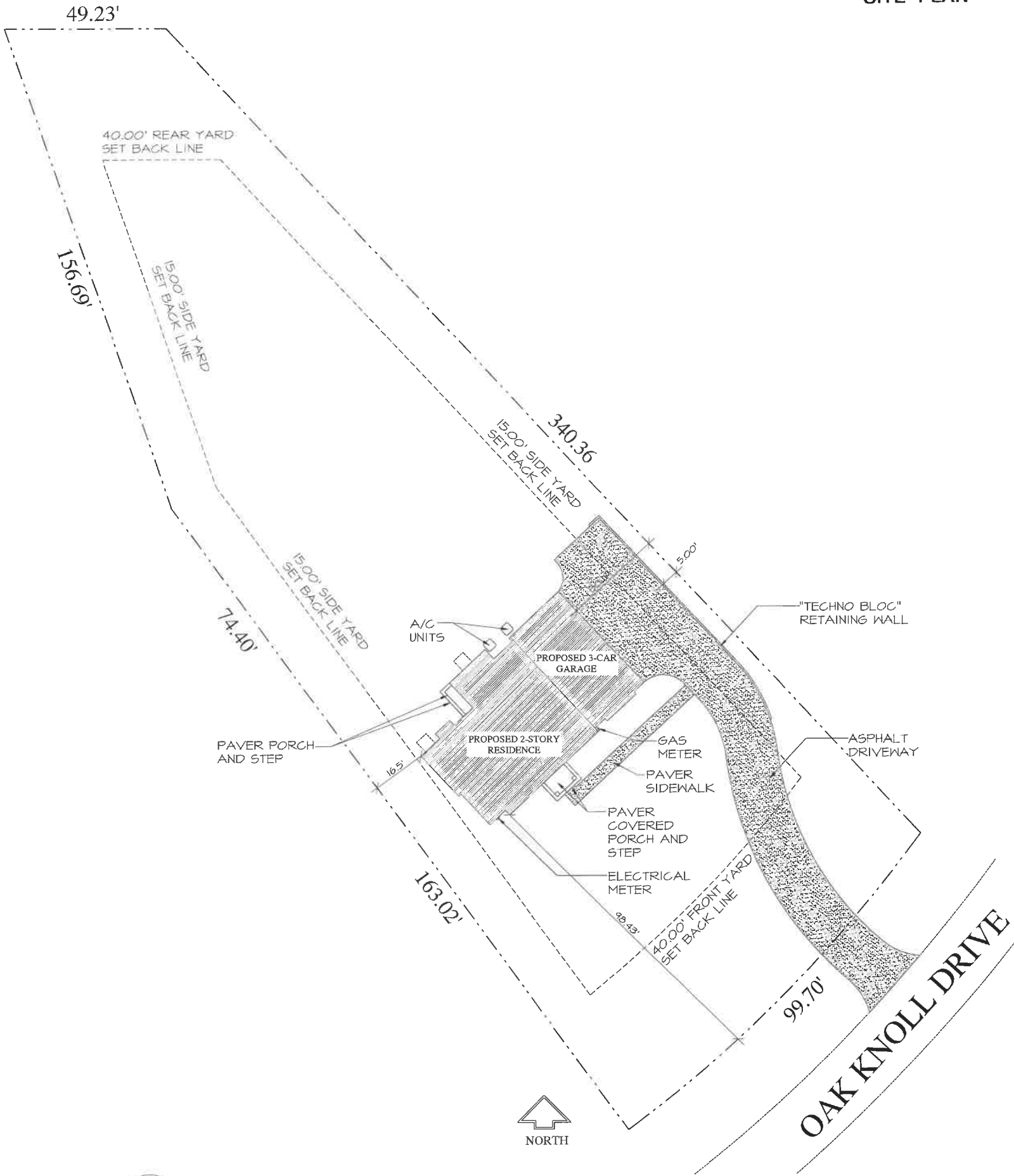
\* DENOTES TREE REMOVAL WITH NO REPLACEMENT REQUIRED

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Heritage Tree
150	Black Cherry	Prunus serotina	8	4	1	over-topped, stem infested, slight canopy, double leader, sparse foliage			
154	Bur Oak	Quercus macrocarpa	31	3	3	heavy deadwood, basal scar, weak crotch, multiple leaders			Heritage Tree
155	Bitternut Hickory	Carya cordiformis	17	3	4	over-topped, double leader, trunk swell, minor deadwood			
156	Bitternut Hickory	Carya cordiformis	16	3	3	multiple leaders			
157	Shagbark Hickory	Carya ovata	19	3	3	minor deadwood, weak crotch, double leader			Heritage Tree
158	Black Walnut	Juglans nigra	25	3	4	minor deadwood, one sided, twist in trunk, multiple leaders			Heritage Tree
159	Black Walnut	Juglans nigra	32	4	3	heavy deadwood, trunk scar, multiple leaders			Heritage Tree (OQ Condition)
170	Shagbark Hickory	Carya ovata	20	3	3	weak crotch, multiple leaders			Heritage Tree
171	Spencer Maple	Acer spicatum	8	5	3	minor deadwood, crotch scar, damaged leader, dieback			
172	Black Walnut	Juglans nigra	2	3	4	minor deadwood, twist in trunk, one sided			
173	Black Walnut	Juglans nigra	10	3	3	minor deadwood, double leader			
174	Black Walnut	Juglans nigra	11	3	3	minor deadwood, thin crown, one sided			
175	Black Walnut	Juglans nigra	0.75	3	4	minor deadwood, one sided, over-topped			
176	Black Walnut	Juglans nigra	14	3	2	minor deadwood, weak crotch, multiple leaders			
177	Black Walnut	Juglans nigra	9	3	4	over-topped, slight lean, minor deadwood, one sided			
178	Black Walnut	Juglans nigra	10.5	3	4	one sided, over-topped, slight sweep, double leader			
179	Green Ash	Fraxinus pennsylvanica	35	5	3	heavy deadwood, crotch scar, double leader, sparse foliage, decay			Heritage Tree (OQ Condition)
180	Green Ash	Fraxinus pennsylvanica	15	4	4	sweep, over-topped	emerald ash borer	Dead	
181	Green Ash	Fraxinus pennsylvanica	15	4	4	slight sweep, multiple leaders	emerald ash borer	Dead	
182	White Oak	Quercus alba	22	4	4	heavy deadwood, slight lean, basal swell, hollow, excessive lean, one sided			Heritage Tree (OQ Condition)
183	White Oak	Quercus alba	26	4	4	heavy deadwood, one sided, over-topped, slight lean, sparse foliage, dieback			Heritage Tree
184	White Oak	Quercus alba	26	3	3	heavy deadwood, weak crotch, one sided			Heritage Tree
185	Bur Oak	Quercus macrocarpa	32	3	4	sweep, over-topped, minor deadwood			Heritage Tree (OQ Condition)
186	Bur Oak	Quercus macrocarpa	30	4	4	heavy deadwood, weak crotch, epicormics, slight sweep, multiple leaders, dieback, one sided			Heritage Tree
187	Bur Oak	Quercus macrocarpa	42	5	4	heavy deadwood, trunk scar, one sided, decay, dieback, sparse foliage			Heritage Tree (OQ Condition)
188	Red Oak	Quercus rubra	25	4	2	heavy deadwood, over-topped, slight canopy, double leader, one sided, dieback			Heritage Tree (OQ Condition)
189	White Oak	Quercus alba	25	3	4	minor deadwood, basal scar, sweep, double leader, construction impact, broken limbs, mechanical damage			Heritage Tree
190	White Oak	Quercus alba	25	3	4	broken limbs, heavy deadwood, one sided, construction impact, mechanical damage			Heritage Tree
191	White Oak	Quercus alba	21	3	4	minor deadwood, weak crotch, over-topped, slight sweep, double leader			Heritage Tree
192	White Oak	Quercus alba	19	3	4	one sided, epicormics			Heritage Tree
193	Red Oak	Quercus rubra	32	3	4	heavy deadwood, weak crotch, double leader, construction impact, mechanical damage, basal scar, excessive lean			Heritage Tree
194	White Oak	Quercus alba	20	3	4	heavy deadwood, one sided, multiple leaders			Heritage Tree
195	White Oak	Quercus alba	21	3	4	one sided, over-topped, slight sweep, minor deadwood			Heritage Tree
196	Red Oak	Quercus rubra	18	3	4	minor deadwood, over-topped, slight sweep			Heritage Tree
197	White Oak	Quercus alba	13	4	4	minor deadwood, one sided, sweep, basal decay			
198	White Oak	Quercus alba	10	3	4	minor deadwood, over-topped, epicormics, slight sweep, one sided			Heritage Tree
199	White Oak	Quercus alba	15	3	4	minor deadwood, sweep, over-topped, construction impact, trunk scar			
200	Red Oak	Quercus rubra	38	4	4	heavy deadwood, over-topped, slight lean, hollow			Heritage Tree (OQ Condition)
201	White Oak	Quercus alba	19	4	4	heavy deadwood, basal scar, epicormics, slight sweep, construction impact, mechanical damage, one sided, sweep			Heritage Tree (OQ Condition)
202	Black Walnut	Juglans nigra	8	2	3	over-topped, twist in trunk, multiple leaders			Heritage Tree
203	Bur Oak	Quercus macrocarpa	32	3	3	minor deadwood, multiple leaders			
204	Boxelder Maple	Acer negundo	8	3	4	one sided thin crown, double leader			

Surveyed by: Michael G. Bleck, PE 08.27.2021  
Checked by: Michael G. Bleck, PE 08.27.2021  
Drawn by: Michael G. Bleck, PE 08.27.2021  
Scale: 1" = 20'

Lowest Adjacent Existing Grade to Foundation: 669.4





1  
AR 01

SITE PLAN

(SEE CIVIL PLAN FOR ALL SITE CONDITIONS AND DETAILS)

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

PROJECT #  
AD21144

DRAWN BY:  
COM/MB

LOT 9  
SITE PLAN

AR 01

# 1 OF 12 TOTAL SHEETS

ASPECT DESIGN INC.  
ARCHITECTS  
26575 COMMERCE DR.  
SUITE 607  
Volo, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGN.COM  
R. LARSEN & J. HANSEN

REVIEW  
06/01/2021  
REVIEW  
06/09/2021  
REVIEW  
06/11/2021  
REVIEW  
06/15/2021  
REVIEW  
06/24/2021  
REVIEW  
06/29/2021  
REVIEW  
08/05/2021  
REVIEW  
09/10/2021

FIDELITY WES

LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045



EAST ELEVATION

LOT AREA:	35,928 S.F.
PROPOSED BULK	
FIRST FLOOR:	1,624.54 S.F.
SECOND FLOOR:	2,460.46 S.F.
ATTIC:	484.18 S.F.
GARAGE:	791.58 S.F.
SUBTOTAL:	5,360.76 S.F.
GARAGE ALLOWANCE:	-600.00 S.F.
TOTAL:	4,760.76 S.F.
MAX. BULK ALLOWED:	4,746.40 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	1,624.54 S.F.
SECOND FLOOR:	2,273.96 S.F.
TOTAL:	3,898.50 S.F.
GARAGE:	803.58 S.F.



REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	04/01/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	08/25/2021
REVIEW	09/10/2021

26575 COMMERCE DR.  
SUITE 607  
Volo, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGNINC.COM  
11010 DUNDAS AVE. TORONTO

ASPECT DESIGN INC.  
ARCHITECTS

PROJECT # AD21144  
DRAWN BY: COM/MB  
LOT 9  
EXTERIOR ELEVATIONS

AR 02

# 2 OF 12 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS  
ARE FOR SHEETS PRINTED ON  
24" x 36" SIZE PAPER. (ARCH-D)

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SCALE: N.T.S.



LOT AREA:	35,928 S.F.
PROPOSED BULK	
FIRST FLOOR:	1,624.54 S.F.
SECOND FLOOR:	2,460.46 S.F.
ATTIC:	484.18 S.F.
GARAGE:	791.58 S.F.
SUBTOTAL:	5,360.76 S.F.
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TOTAL:	4,760.76 S.F.
MAX. BULK ALLOWED:	4,796.40 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	1,624.54 S.F.
SECOND FLOOR:	2,273.96 S.F.
TOTAL:	3,898.50 S.F.
GARAGE:	803.58 S.F.



LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	04/02/2021
REVIEW	04/09/2021
REVIEW	04/11/2021
REVIEW	04/13/2021
REVIEW	04/24/2021
REVIEW	04/29/2021
REVIEW	08/02/2021
REVIEW	08/22/2021

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-437-2500  
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ILLINOIS ARCHITECT NO. 0404

ASPECT DESIGN INC.  
ARCHITECTS

PROJECT # AD21144  
DRAWN BY: COM/MB  
LOT 9  
EXTERIOR ELEVATIONS

AR 02





1 RIGHT ELEVATION (NORTH)  
AR 03

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS  
ARE FOR SHEETS PRINTED ON  
24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	06/03/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	06/05/2021
REVIEW	09/10/2021

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-457-2500  
WWW.ASPECTDESIGNINC.COM  
J. LUTHERS / ARCHITECT

ASPECT DESIGN INC.  
ARCHITECTS

PROJECT # AD21144  
DRAWN BY: COM/MB

LOT 9  
EXTERIOR ELEVATIONS

AR 03

# 3 OF 12 TOTAL SHEETS





REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	06/07/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	06/05/2021
REVIEW	09/10/2021

26575 COMMERCE DR.  
SUITE 607  
VOLO, IL 60073  
MAIN: 847-457-2500  
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W. JAMES FARRINGTON

PROJECT # AD21144  
DRAWN BY: COM/MB  
LOT 9  
EXTERIOR ELEVATIONS  
AR 04  
# 4 OF 12 TOTAL SHEETS





1 LEFT ELEVATION (SOUTH)  
AR 05

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS  
ARE FOR SHEETS PRINTED ON  
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LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES



REVIEW	06/01/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	08/25/2021
REVIEW	09/10/2021

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11111 11111 11111

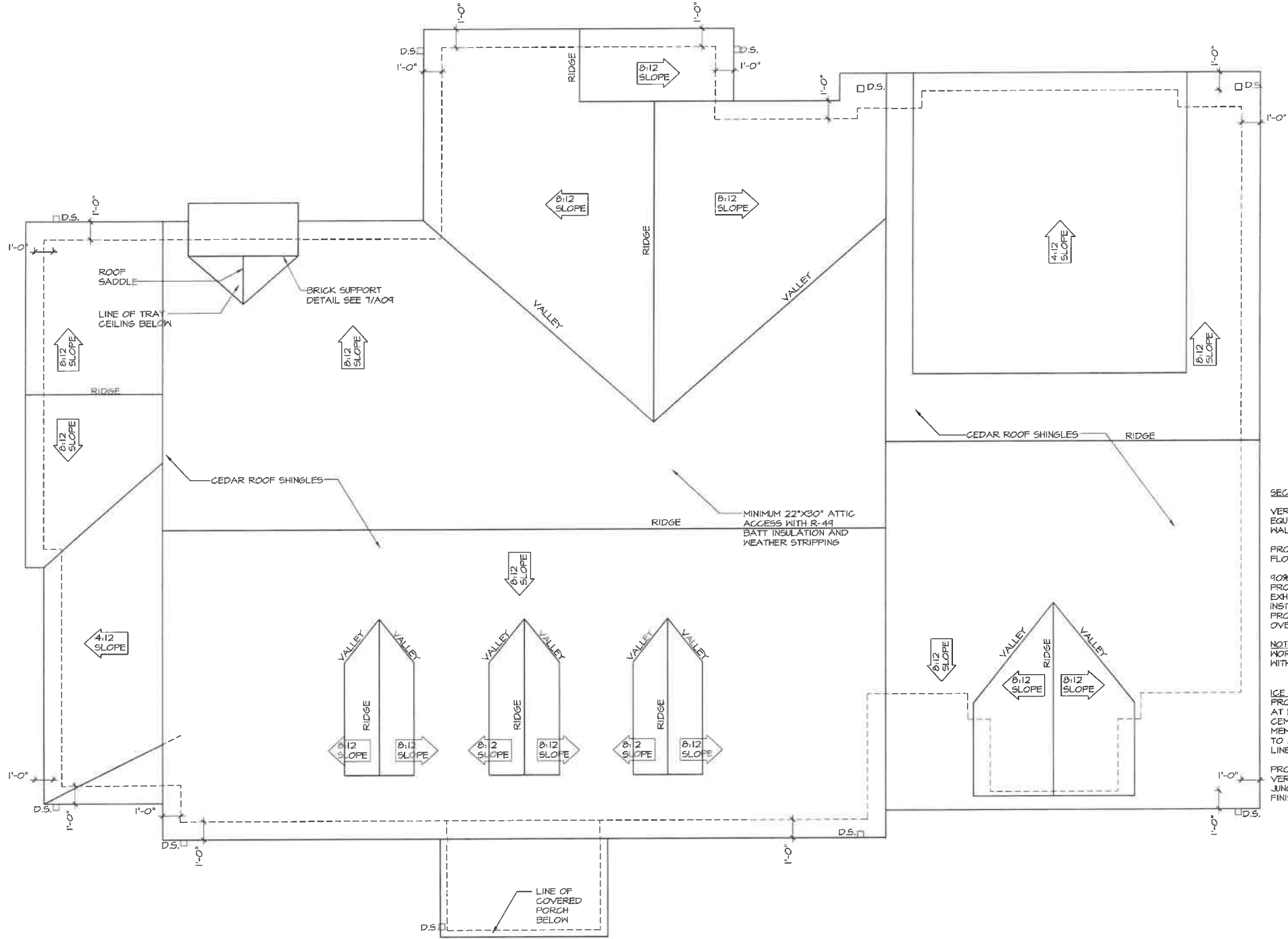
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PROJECT # AD21144  
DRAWN BY: COM/MB  
LOT 9  
EXTERIOR ELEVATIONS

AR 05

# 5 OF 12 TOTAL SHEETS





SECOND FLOOR MECHANICAL ROOM

VERIFY MECHANICAL ROOM SIZE WITH HVAC EQUIPMENT SPECIFICATIONS PRIOR TO FINISH WALL CONSTRUCTION.

PROVIDE MINIMUM 3" SOUND BATT INSULATION FLOOR AND WALLS.

90% HI EFFICIENCY FURNACE  
PROVIDE EXTERIOR COMBUSTION AIR AND EXHAUST VENTS PER FURNACE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. PROVIDE CONDENSATE PAN, DRAIN AND OVERFLOW SHUTOFF SWITCH UNDER FURNACE.

NOTE: MINIMUM R-8 INSULATION FOR ALL DUCTWORK IN UNCONDITIONED SPACE IN COMPLIANCE WITH IRC CHAPTER 11

ICE & WATER SHIELD NOTES:  
PROVIDE AN ICE AND WATER SHIELD THAT IS AT LEAST 2 LAYERS OF MINIMUM 15# UNDERLAMENTED TOGETHER OR OF A WATERPROOF MEMBRANE THAT SHALL EXTEND FROM TO A POINT AT LEAST 24" INSIDE THE EXTERIOR LINE OF THE BUILDING.

PROVIDE ICE AND WATER SHIELD UNDERLAMENT VERTICAL MIN. 30 INCHES ABOVE ROOF LINE AT JUNCTIONS BEHIND SIDING AND ALL EXTERIOR FINISHES

LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES



REVIEW	06/03/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	06/05/2021
REVIEW	09/10/2021

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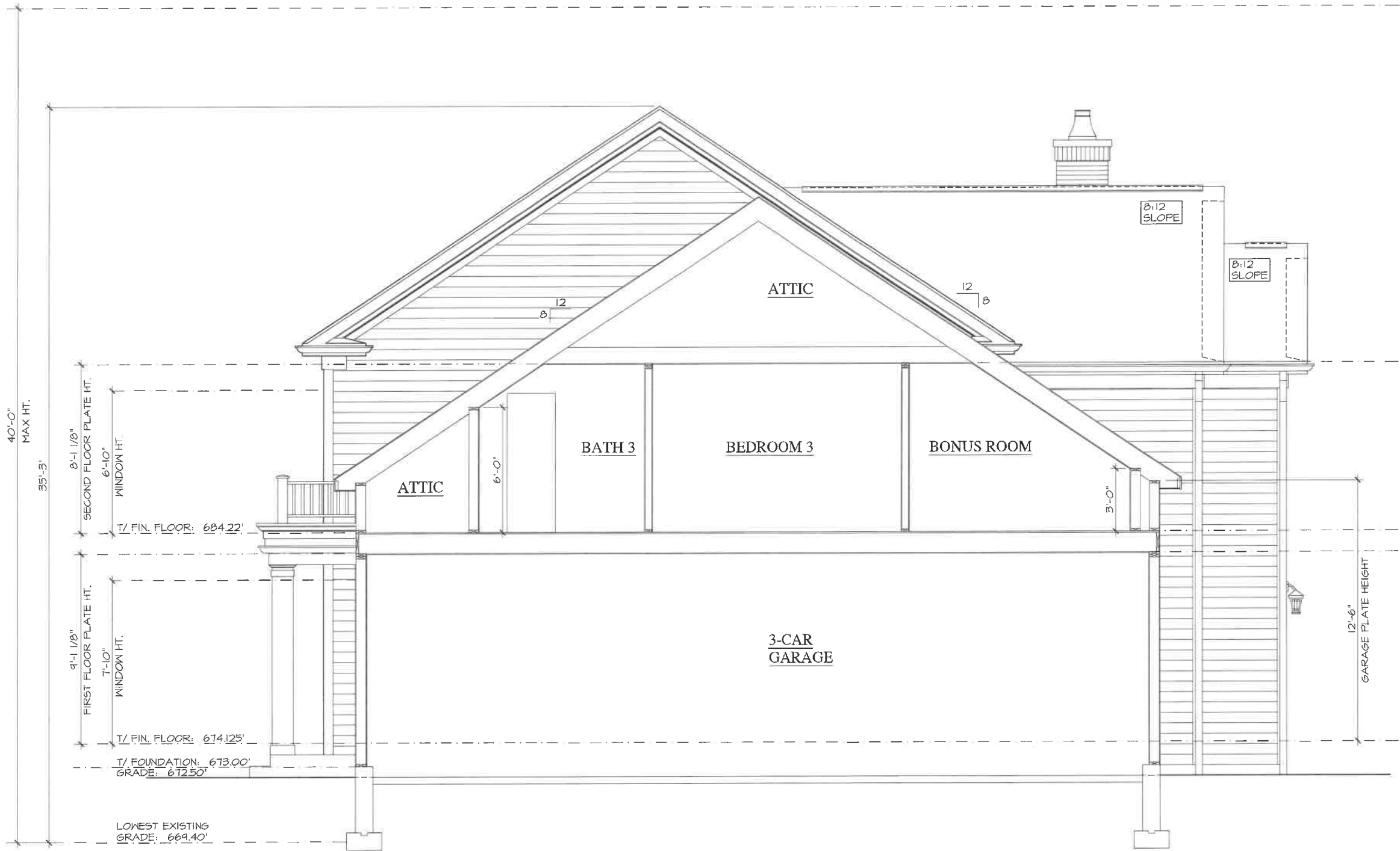
PROJECT # AD21144  
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LOT 9  
EXTERIOR ELEVATIONS

AR 08

# 8 OF 12 TOTAL SHEETS





1  
AR 09

BUILDING SECTION

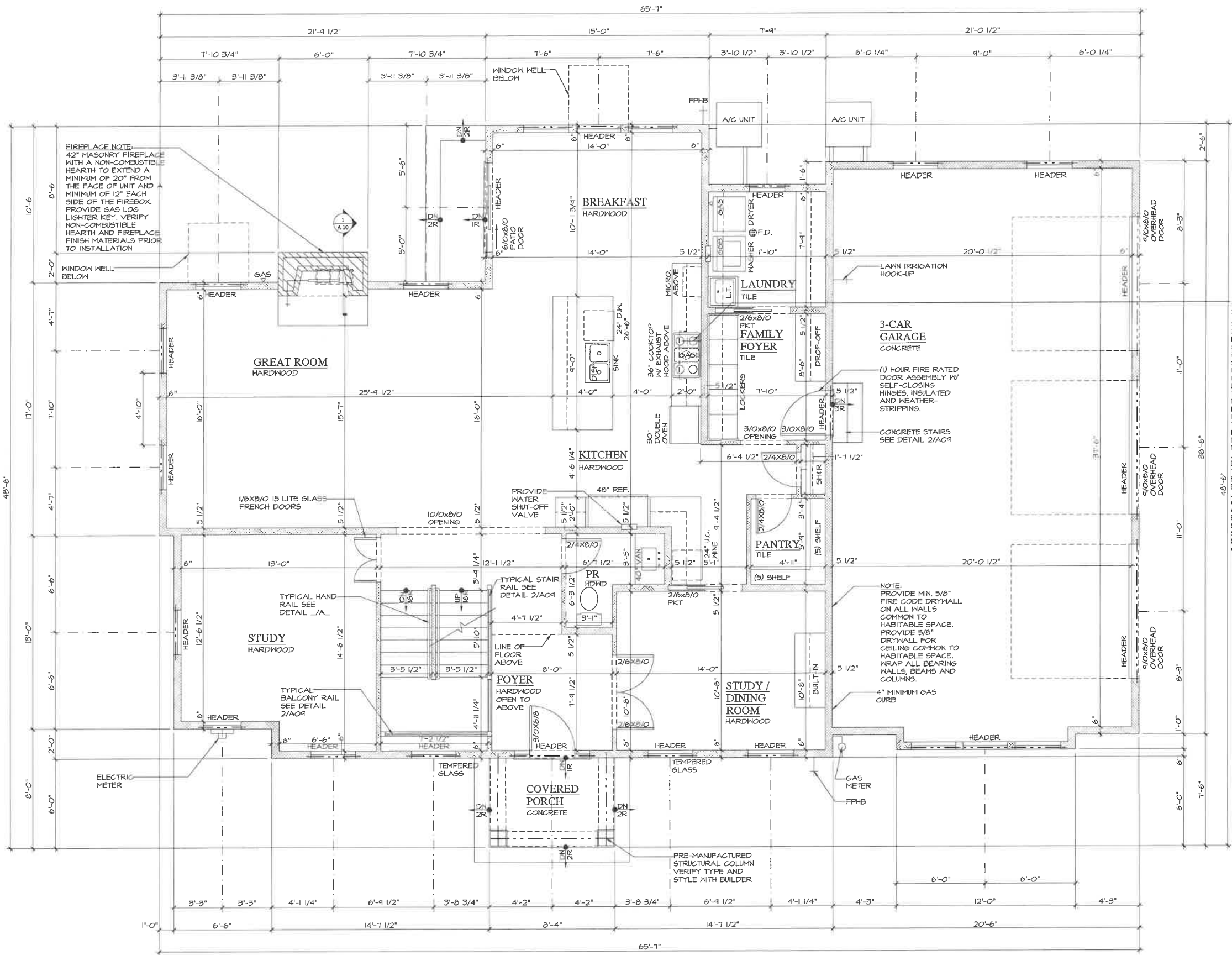
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LOT 9 BUSSAN RESIDENCE 450 OAK KNOLL DRIVE OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 FAX: 847-457-2501 WWW.ASPECTDESIGNINC.COM	
PROJECT #	AD21144
DRAWN BY:	COM / MB
LOT 9 EXTERIOR ELEVATIONS	
AR 09	
# 9 OF 12 TOTAL SHEETS	





**KITCHEN EXHAUST HOOD NOTE:**  
LOCATION OF SHEET METAL KITCHEN RANGE HOOD EXHAUST DUCT. DUCT SIZE BASED ON EXHAUST FAN. MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. PROVIDE FRAMED SOFFIT WITH 5/8" FIRECODE DRYWALL WRAP AND SOLID WOOD FIRE BLOCKING AS REQUIRED.  
PROVIDE A KITCHEN RANGE HOOD WITH EXHAUST FAN AS SPECIFIED BY THE COOKING APPLIANCE MANUFACTURERS INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. KITCHEN EXHAUST HOOD SYSTEMS THAT ARE CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. THE MAKE UP AIR SYSTEM SHALL BE EQUIPPED WITH A GRAVITY OR ELECTRICALLY OPERATED DAMPER AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITH OUT REMOVING ANY PERMANENT CONSTRUCTION.

**NOTE:**  
VERIFY EXACT METER LOCATIONS WITH UTILITY COMPANIES PRIOR TO START OF CONSTRUCTION.

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LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	06/03/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	06/25/2021
REVIEW	09/10/2021

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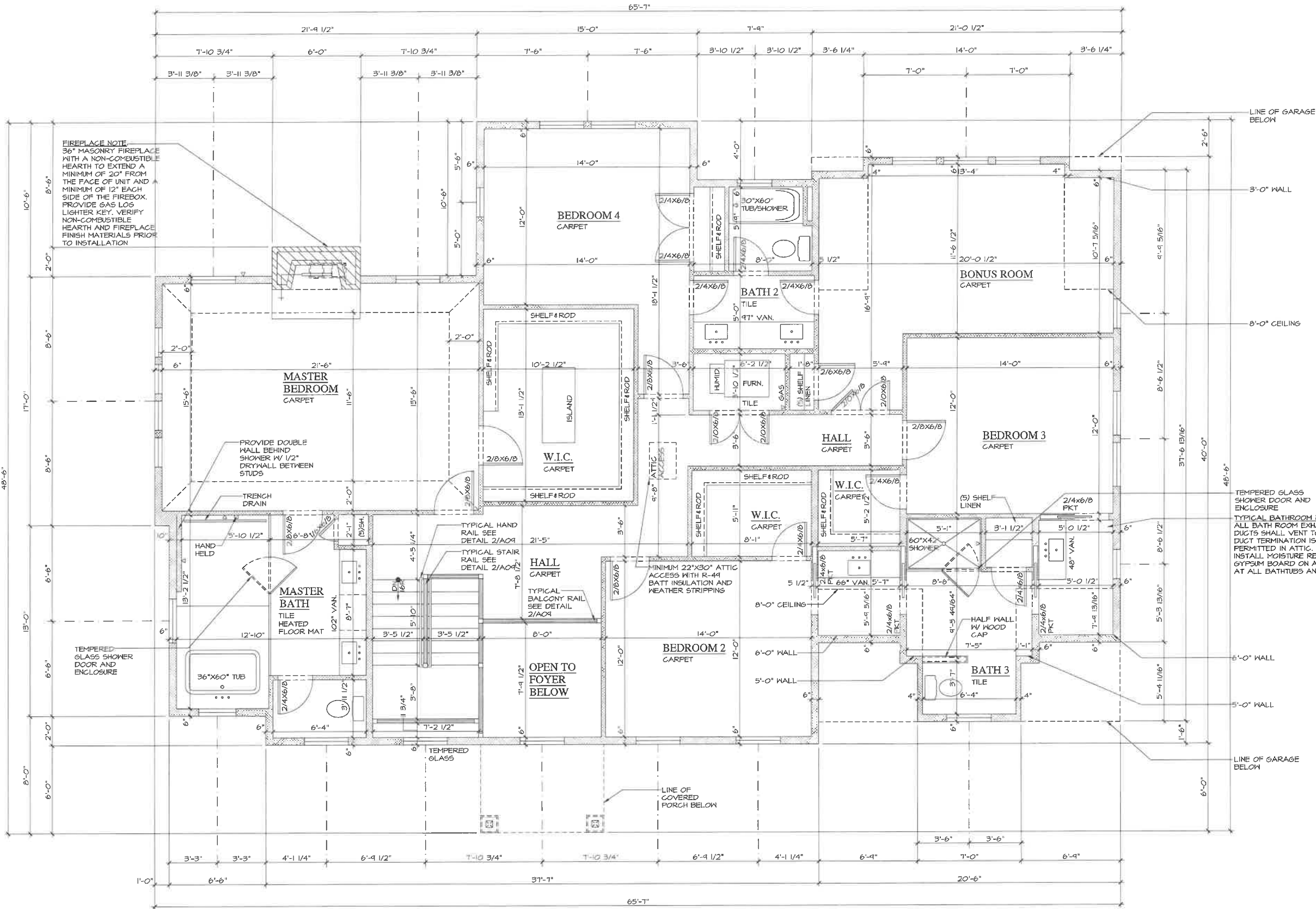
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LOT 9  
EXTERIOR ELEVATIONS

AR 06

# 6 OF 12 TOTAL SHEETS





1 SECOND FLOOR PLAN  
AR 07

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LOT 9  
BUSSAN RESIDENCE  
450 OAK KNOLL DRIVE  
OAK KNOLL WOODLANDS  
LAKE FOREST, IL 60045

FIDELITY WES

REVIEW	06/03/2021
REVIEW	06/09/2021
REVIEW	06/11/2021
REVIEW	06/15/2021
REVIEW	06/24/2021
REVIEW	06/29/2021
REVIEW	08/05/2021
REVIEW	09/10/2021

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PROJECT # AD211144  
DRAWN BY: COM/MB  
LOT 9  
EXTERIOR ELEVATIONS

AR 07

# 7 OF 12 TOTAL SHEETS



PRELIMINARY SITE GRADING AND TREE REMOVAL PLAN  
TREES PROPOSED FOR REMOVAL HIGHLIGHTED IN PINK

BLECK

engineers | surveyors

Bleck Engineering Company, Inc.  
1375 North Western Avenue  
Lake Forest, Illinois 60045  
T 847.295.5200 W bleckeng.com

450 OAK KNOLL DRIVE

Lake Forest, IL



Source Benchmark:  
City of Lake Forest Monument #10  
Brass Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 697.44 (NAVD 88)

Site Benchmark:  
Mueller Nut on Fire Hydrant at  
Existing Oak Knoll Drive Cul-de-sac  
Elev. 684.21 (NAVD 88)

ISSUED DATE	ISSUED FOR
08.27.2021	PERMIT
07.23.2021	LF RSV 1
09.16.2021	Tree Fence

PROFESSIONAL SEAL

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael G. Bleck, PE 08.27.2021  
License No. 002-048802 Expires 11/30/21  
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Official Professional Engineer Seal No. 002-048802

FIDELITY WES  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

70-859-9 Project No.  
MB Drawn By  
MGB Checked By

Drawing No.

3

Drawing Name

Site Grading Plan

5 STORM STRUCTURES

SS1	MH TYC-1C
RIM	672.5
INV	668.03
DEPTH	4.47

SS2	INLET TYA-R4342
RIM	670.75
INV	669.32
DEPTH	1.43

SS3	INLET TYA-1P
RIM	671.50
INV	669.13
DEPTH	2.37

SS4	INLET TYA-1P
RIM	671.50
INV	668.51
DEPTH	2.99

STORM PIPE TABLE

PIPE	LENGTH FT	SIZE	MATERIAL	SLOPE	CHANGE IN GRADE	DOWNSREAM INV	UPSTREAM INV
P1	89	6"	PVC SDR 26	2.00%	1.78	666.25	668.03
P2	86	6"	PVC SDR 26	1.50%	1.29	668.03	669.32
P3	55	6"	PVC SDR 26	2.00%	1.10	668.03	669.13
P4	24	6"	PVC SDR 26	2.00%	0.48	668.03	668.51

LOT 9 OAKKNOLL WOODLAND  
Lake Forest, IL 60045

Impervious Surface Calculation

	sq ft	acre
Lot Area	35928	0.825

Existing Conditions

	sq ft	acre
House	0	0.000
Driveway	0	0.000
Patio	0	0.000
walkways	0	0.000
shed	0	0.000
Total	0	0.000

Percent Impervious

0.0%

Proposed Conditions

	sq ft	acre
House	2440	0.056
Driveway	3341	0.072
Patio	42	0.001
Walkways	275	0.006
Total	5898	0.135

Percent Impervious

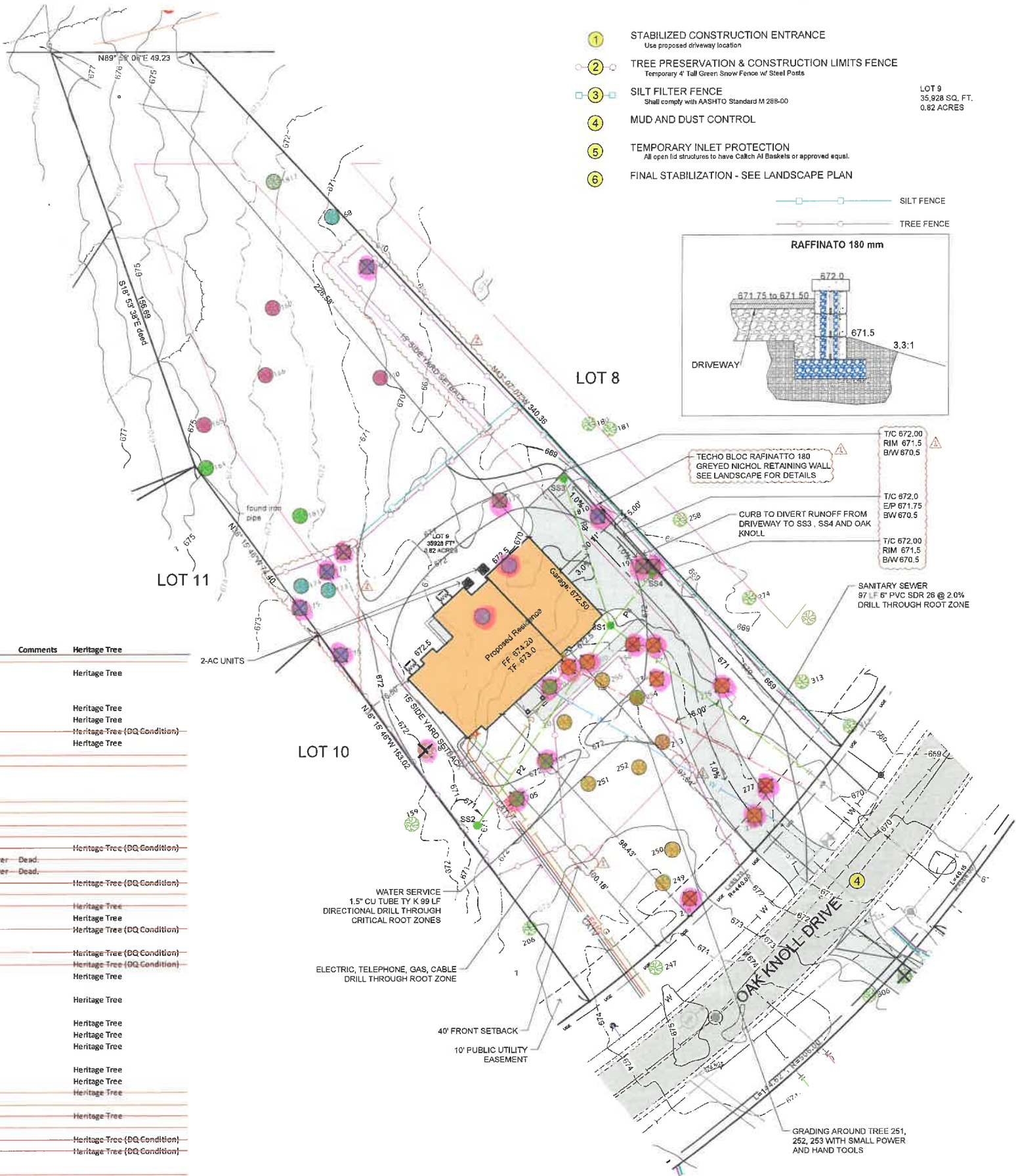
16.4%

TREE INVENTORY BY:  
URBAN FOREST MANAGEMENT  
UPDATED MAY 7, 2021  
CONDITION  
1-EXCELLENT  
2-GOOD-FAIR  
3-FAIR  
4-FAIR/POOR  
5-POOR  
6-DEAD

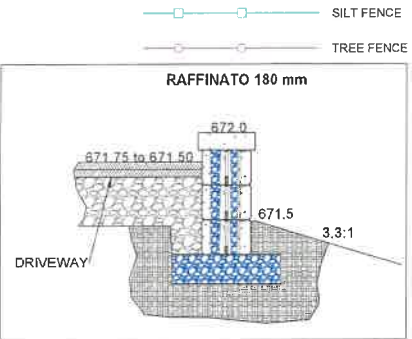
- WHITE OAK
- RED OAK
- BUR OAK
- BLACK WALNUT
- GREEN ASH, BOX ELDER
- SHAGBARK HICKORY, BITTERNUT HICKORY

\*DENOTES TREE REMOVAL WITH NO REPLACEMENT REQUIRED

Tag No.	Common Name	Botanical Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Heritage Tree
*150	Black Cherry	Prunus serotina	8	4	4	over-topped, vine infested, slight sweep, double leader, sparse foliage			
154	Bur Oak	Quercus macrocarpa	31	3	3	heavy deadwood, basal scar, weak crotch, multiple leaders			Heritage Tree
165	Bitternut Hickory	Carya cordiformis	17	3	4	over-topped, double leader, trunk swell, minor deadwood			
166	Bitternut Hickory	Carya cordiformis	16	3	3	multiple leaders			
167	Shagbark Hickory	Carya ovata	19	3	3	minor deadwood, weak crotch, double leader			Heritage Tree
168	Black Walnut	Juglans nigra	25	3	4	minor deadwood, one sided, twist in trunk, multiple leaders			Heritage Tree
*169	Black Walnut	Juglans nigra	32	4	3	heavy deadwood, trunk scar, multiple leaders			Heritage Tree (DQ Condition)
170	Shagbark Hickory	Carya ovata	20	3	3	weak crotch, multiple leaders			Heritage Tree
*171	Boxelder Maple	Acer negundo	9	5	3	minor deadwood, suckering, damaged leader, dieback			
172	Black Walnut	Juglans nigra	9	3	4	minor deadwood, twist in trunk, one sided			
173	Black Walnut	Juglans nigra	10	3	3	minor deadwood, double leader			
174	Black Walnut	Juglans nigra	11	3	3	minor deadwood, thin crown, one sided			
175	Black Walnut	Juglans nigra	9.75	3	4	minor deadwood, one sided, over-topped			
176	Black Walnut	Juglans nigra	14	3	3	minor deadwood, weak crotch, multiple leaders			
177	Black Walnut	Juglans nigra	9	3	4	over-topped, slight lean, minor deadwood, one sided			
178	Black Walnut	Juglans nigra	10.5	2	4	one sided, over-topped, slight sweep, double leader			
*179	Green Ash	Fraxinus pennsylvanica	35	5	3	heavy deadwood, suckering, double leader, sparse foliage, decay			Heritage Tree (DQ Condition)
*180	Green Ash	Fraxinus pennsylvanica	16	5	4	sweep, over-topped	emerald ash borer - Dead		
*189	Green Ash	Fraxinus pennsylvanica	15	6	4	slight sweep, multiple leaders	emerald ash borer - Dead		
*200	White Oak	Quercus alba	23	4	4	heavy deadwood, slight lean, basal swell, hollow, excessive lean, one sided			Heritage Tree (DQ Condition)
*201	White Oak	Quercus alba	16	4	4	heavy deadwood, one sided, over-topped, slight lean, sparse foliage, dieback			
202	Bur Oak	Quercus macrocarpa	35	3	4	heavy deadwood, weak crotch, one sided			Heritage Tree
203	White Oak	Quercus alba	18	3	4	sweep, over-topped, minor deadwood			Heritage Tree
*204	Bur Oak	Quercus macrocarpa	36	4	4	heavy deadwood, weak crotch, epicormics, slight sweep, multiple leaders, dieback, one sided			Heritage Tree (DQ Condition)
*205	Bur Oak	Quercus macrocarpa	41	5	4	heavy deadwood, trunk scar, one sided, decay, dieback, sparse foliage			Heritage Tree (DQ Condition)
*248	Red Oak	Quercus rubra	25	4	4	heavy deadwood, over-topped, slight sweep, double leader, one sided, dieback			Heritage Tree (DQ Condition)
249	White Oak	Quercus alba	25	3	4	minor deadwood, basal scar, sweep, double leader, construction impact, broken limbs, mechanical damage			Heritage Tree
250	White Oak	Quercus alba	25	3	4	broken limbs, heavy deadwood, one sided, construction impact, mechanical damage			Heritage Tree
251	White Oak	Quercus alba	21	3	4	minor deadwood, weak crotch, over-topped, slight sweep, double leader			Heritage Tree
252	White Oak	Quercus alba	19	3	4	one sided, epicormics			Heritage Tree
253	Red Oak	Quercus rubra	32	3	4	heavy deadwood, weak crotch, double leader, construction impact, mechanical damage, basal scar, excessive lean			Heritage Tree
254	White Oak	Quercus alba	20	3	4	heavy deadwood, one sided, multiple leaders			Heritage Tree
255	White Oak	Quercus alba	21	3	4	one sided, over-topped, slight sweep, minor deadwood			Heritage Tree
*256	Red Oak	Quercus rubra	18	3	4	minor deadwood, over-topped, slight sweep			Heritage Tree
*257	White Oak	Quercus alba	13	4	4	minor deadwood, one sided, sweep, basal decay			
275	White Oak	Quercus alba	19	3	4	minor deadwood, over-topped, epicormics, slight sweep, one sided			Heritage Tree
276	White Oak	Quercus alba	15	3	4	minor deadwood, sweep, over-topped, construction impact, trunk scar			
*277	Red Oak	Quercus rubra	28	4	4	heavy deadwood, over-topped, slight lean, hollow			Heritage Tree (DQ Condition)
*278	White Oak	Quercus alba	19	4	4	heavy deadwood, basal scar, epicormics, slight sweep, construction impact, mechanical damage, one sided, sweep			Heritage Tree (DQ Condition)
1810	Black Walnut	Juglans nigra	8	2	3	over-topped, twist in trunk, multiple leaders			
1811	Bur Oak	Quercus macrocarpa	32	3	3	minor deadwood, multiple leaders			Heritage Tree
1812	Boxelder Maple	Acer negundo	8	3	4	one sided, thin crown, double leader			



- 1 STABILIZED CONSTRUCTION ENTRANCE  
Use proposed driveway location
- 2 TREE PRESERVATION & CONSTRUCTION LIMITS FENCE  
Temporary 4' Tall Green Snow Fence w/ Steel Posts
- 3 SILT FILTER FENCE  
Shall comply with AASHTO Standard M 288-00
- 4 MUD AND DUST CONTROL
- 5 TEMPORARY INLET PROTECTION  
All open lid structures to have Catch All Baskets or approved equal.
- 6 FINAL STABILIZATION - SEE LANDSCAPE PLAN



TECHO BLOC RAFFINATO 180  
GREYED NICHOL RETAINING WALL  
SEE LANDSCAPE FOR DETAILS

T/C 672.00  
RIM 671.5  
B/W 670.5

T/C 672.0  
RIM 671.5  
B/W 670.5

T/C 672.00  
RIM 671.5  
B/W 670.5

SANITARY SEWER  
97 LF 6\"/>

WATER SERVICE  
1.5\"/>

ELECTRIC, TELEPHONE, GAS, CABLE  
DRILL THROUGH ROOT ZONE

40' FRONT SETBACK  
10' PUBLIC UTILITY EASEMENT

GRADING AROUND TREE 251,  
252, 253 WITH SMALL POWER  
AND HAND TOOLS

Lowest Adjacent Existing Grade to Foundation: 669.4



# TREE INVENTORY – HIGHLIGHTED TREES PROPOSED FOR REMOVAL

Oak Knoll Subdivision - LOT 3  
Lake Forest, IL

Tree Inventory Listing  
Prepared by Urban Forest Management, Inc.

5/7/2021

Tag No.	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Heritage Tree
160	Black Cherry	8	4	4	over-topped, vine infested, slight sweep, double leader, sparse foliage			
164	Bur Oak	31	3	3	heavy deadwood, basal scar, weak crotch, multiple leaders			Heritage Tree
165	Bitternut Hickory	17	3	4	over-topped, double leader, trunk swell, minor deadwood			
166	Bitternut Hickory	16	3	3	multiple leaders			
167	Shagbark Hickory	19	3	3	minor deadwood, weak crotch, double leader			Heritage Tree
168	Black Walnut	25	3	4	minor deadwood, one sided, twist in trunk, multiple leaders			Heritage Tree
169	Black Walnut	32	4	3	heavy deadwood, trunk scar, multiple leaders			Heritage Tree (DQ Condition)
170	Shagbark Hickory	20	3	3	weak crotch, multiple leaders			Heritage Tree
171	Boxelder Maple	9	5	3	minor deadwood, suckering, damaged leader, dieback			
172	Black Walnut	9	3	4	minor deadwood, twist in trunk, one sided			
173	Black Walnut	10	3	3	minor deadwood, double leader			
174	Black Walnut	11	3	3	minor deadwood, thin crown, one sided			
175	Black Walnut	9.75	3	4	minor deadwood, one sided, over-topped			
176	Black Walnut	14	3	3	minor deadwood, weak crotch, multiple leaders			
177	Black Walnut	9	3	4	over-topped, slight lean, minor deadwood, one sided			
178	Black Walnut	10.5	2	4	one sided, over-topped, slight sweep, double leader			
179	Green Ash	35	5	3	heavy deadwood, suckering, double leader, sparse foliage, decay			Heritage Tree (DQ Condition)
198	Green Ash	16	6	4	sweep, over-topped	emerald ash borer	Dead.	
199	Green Ash	15	6	4	slight sweep, multiple leaders	emerald ash borer	Dead.	
200	White Oak	23	4	4	heavy deadwood, slight lean, basal swell, hollow, excessive lean, one sided			Heritage Tree (DQ Condition)
201	White Oak	16	4	4	heavy deadwood, one sided, over-topped, slight lean, sparse foliage, dieback			
202	Bur Oak	35	3	4	heavy deadwood, weak crotch, one sided			Heritage Tree
203	White Oak	18	3	4	sweep, over-topped, minor deadwood			Heritage Tree
204	Bur Oak	36	4	4	heavy deadwood, weak crotch, epicormics, slight sweep, multiple leaders, dieback, one sided			Heritage Tree (DQ Condition)
205	Bur Oak	41	5	4	heavy deadwood, trunk scar, one sided, decay, dieback, sparse foliage			Heritage Tree (DQ Condition)
248	Red Oak	25	4	4	heavy deadwood, over-topped, slight sweep, double leader, one sided, dieback			Heritage Tree (DQ Condition)
249	White Oak	25	3	4	minor deadwood, basal scar, sweep, double leader, construction impact, broken limbs, mechanical damage			Heritage Tree
250	White Oak	25	3	4	broken limbs, heavy deadwood, one sided, construction impact, mechanical damage			Heritage Tree
251	White Oak	21	3	4	minor deadwood, weak crotch, over-topped, slight sweep, double leader			Heritage Tree
252	White Oak	19	3	4	one sided, epicormics			Heritage Tree
253	Red Oak	32	3	4	heavy deadwood, weak crotch, double leader, construction impact, mechanical damage, basal scar, excessive lean			Heritage Tree
254	White Oak	20	3	4	heavy deadwood, one sided, multiple leaders			Heritage Tree
255	White Oak	21	3	4	one sided, over-topped, slight sweep, minor deadwood			Heritage Tree
256	Red Oak	18	3	4	minor deadwood, over-topped, slight sweep			Heritage Tree
257	White Oak	13	4	4	minor deadwood, one sided, sweep, basal decay			
275	White Oak	19	3	4	minor deadwood, over-topped, epicormics, slight sweep, one sided			Heritage Tree
276	White Oak	15	3	4	minor deadwood, sweep, over-topped, construction impact, trunk scar			
277	Red Oak	28	4	4	heavy deadwood, over-topped, slight lean, hollow			Heritage Tree (DQ Condition)
278	White Oak	19	4	4	heavy deadwood, basal scar, epicormics, slight sweep, construction impact, mechanical damage, one sided, sweep			Heritage Tree (DQ Condition)
1810	Black Walnut	8	2	3	over-topped, twist in trunk, multiple leaders			
1811	Bur Oak	32	3	3	minor deadwood, multiple leaders			Heritage Tree
1812	Boxelder Maple	8	3	4	one sided, thin crown, double leader			



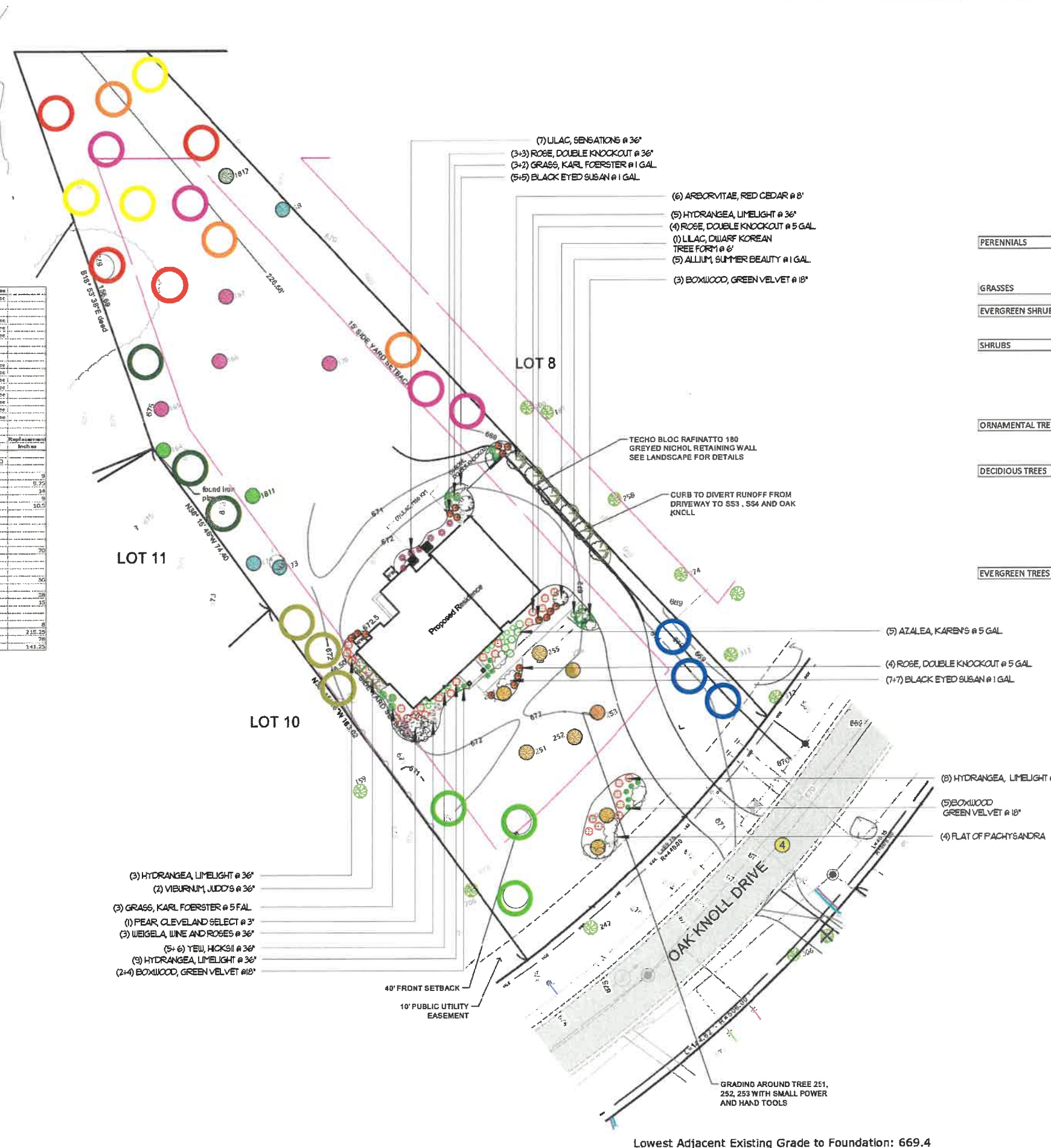
# Landscape Development Plan

## FIDELITY WES RESIDENCE

- (4) SWAMP WHITE OAK @ 3"
- (3) SHAGBARK HICKORY @ 3"
- (3) OHIO BUCKEYE @ 3"
- (3) BUR OAK @ 3"
- (3) PLANE TREE - LONDON @ 3"
- (4) CHINKAPIN OAK @ 3"
- (3) RED OAK @ 3"
- (3) BLACK HILLS SPRUCE @ 8"

Oak Knoll Subdivision - Lot 9  
Lake Forest, IL

Tag No.	Location	LOT NUMBER	Common Name	Botanical Name	Size	Cond.	Form	Heritage Tree
164		9	Bur Oak	Quercus macrocarpa	31	3	3	Heritage Tree
165		9	Bitternut Hickory	Carya cordiformis	17	3	4	
166		9	Bitternut Hickory	Carya cordiformis	18	3	3	
167		9	Shagbark Hickory	Carya ovata	39	3	3	Heritage Tree
168		9	Black Walnut	Juglans nigra	25	3	4	Heritage Tree
170		9	Shagbark Hickory	Carya ovata	20	3	3	Heritage Tree
173		9	Black Walnut	Juglans nigra	10	3	3	
174		9	Black Walnut	Juglans nigra	11	3	3	
203		9	White Oak	Quercus alba	38	3	N	Y
249		9	White Oak	Quercus alba	20	3	4	Heritage Tree
250		9	White Oak	Quercus alba	22	3	4	Heritage Tree
252		9	White Oak	Quercus alba	39	3	4	Heritage Tree
253		9	White Oak	Quercus alba	21	3	3	Heritage Tree
254		9	White Oak	Quercus alba	20	3	3	Heritage Tree
255		9	White Oak	Quercus alba	21	3	3	Heritage Tree
258		9	Red Oak	Quercus rubra	32	3	4	Heritage Tree
261		9	Bur Oak	Quercus macrocarpa	32	3	3	Heritage Tree
262		9	Bowlder Maple	Acer negundo	8	3	4	
TREES TO BE REMOVED AS PART OF CONSTRUCTION								
Tag No.	Location	LOT NUMBER	Common Name	Botanical Name	Size	Cond.	Replace?	Heritage?
160		9	Black Cherry	Prunus serotina	8	4	N	
162		9	Black Walnut	Juglans nigra	39	4	N	Heritage Tree
171		9	Bowlder Maple	Acer negundo	9	3	N	
172		9	Black Walnut	Juglans nigra	9	3	Y	
175		9	Black Walnut	Juglans nigra	9.75	3	Y	
176		9	Black Walnut	Juglans nigra	34	3	Y	
177		9	Black Walnut	Juglans nigra	9	3	N	
178		9	Black Walnut	Juglans nigra	10.5	2	Y	
179		9	Green Ash	Fraxinus pennsylvanica	35	3	N	Y
180		9	Green Ash	Fraxinus pennsylvanica	35	3	N	Y
189		9	Green Ash	Fraxinus pennsylvanica	35	3	N	Y
200		9	White Oak	Quercus alba	23	4	N	Y
201		9	White Oak	Quercus alba	19	4	N	Y
202		9	Bur Oak	Quercus macrocarpa	35	3	Y	Y
204		9	Bur Oak	Quercus macrocarpa	30	4	N	Y
205		9	Bur Oak	Quercus macrocarpa	41	3	N	Y
248		9	Red Oak	Quercus rubra	28	4	N	Y
249		9	Red Oak	Quercus rubra	18	3	Y	Y
257		9	White Oak	Quercus alba	13	4	N	
275		9	White Oak	Quercus alba	29	3	Y	Y
276		9	White Oak	Quercus alba	35	3	Y	Y
277		9	Red Oak	Quercus rubra	28	4	N	Y
278		9	White Oak	Quercus alba	39	4	N	Y
280		9	Black Walnut	Juglans nigra	8	2	Y	
Total Required Replacements Index								
Total Replacements Index								
Total Replacement Deficit								



PERENNIALS	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	6	Pachysandra	Pachysandra Terninallis	flat
	22	Summer Beauty Allium	Allium 'Summer Beauty'	1 gal.
	10	Little Suzy Black Eyed Susan	Rudbeckia Fulgida 'Little Suzy'	1 gal.
GRASSES	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	11	Karl Foerster Grass	Calamagrostis acutiflora	1 gal.
EVERGREEN SHRUBS	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	15	Green Velvet Boxwood	Buxus 'Green Velvet'	18"
	11	Hickill Yew	Taxus x media 'Hickill'	36"
SHRUBS	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	5	Karen's Azalea	Azalea x 'Karen'	5 gal.
	28	Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	5 gal.
	17	Double Knockout Rose	Rosa x 'Radtke'	5 gal.
	4	Judd Viburnum	Viburnum x Juddii	36"
	6	Fine Wine Weigela	Weigela Florida 'Bramwell'	5 gal.
	4	Gro-Low Sumac	Rhus aromatica 'Gro-Low'	5 gal.
ORNAMENTAL TREES	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	1	Treeform Hydrangea	Hydrangea paniculata 'Little Lamb'	8 gal.
	1	Royal Raindrops Crabapple	Malus 'Royal Raindrops'	3"
	1	Chanticleer Pear	Pyrus calleryana 'Glen's Form'	3"
DECIDUOUS TREES	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	4	Swamp White Oak	Quercus bicolor	3"
	3	Ohio Buckeye	Aesculus spp. Buckeye	3"
	3	Bur Oak	Quercus macrocarpa	3"
	3	Shagbark Hickory	Carya spp. Shagbark	3"
	4	Chinkapin Oak	Quercus muehlenbergii	3"
	3	Red Oak	Quercus rubra	3"
	3	London Plane Tree	Platanus x acerifolia	3"
	6	Heritage River Birch	Betula nigra	3"
EVERGREEN TREES	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
	3	Black Hills Spruce	Picea glauca	8"

450 Oak Knoll Drive  
Lake Forest, IL

Scale 1" = 20'



Date: September 15, 2021  
Page 2 of 2





Carlos Tapia  
Don Beto and Co, LLC  
888 Tower Road Unit C  
Mundelein, IL 60060

RE: Hardscape at 450 Oak Knoll Drive

To Whom It May Concern,

The proposed front walkway, stoops, and retaining wall at 450 Oak Knoll drive will be built using an open graded based (ICPI) and a combination of manufactured wall block and natural stone. . The proposed materials are as follows:

#### Front Walkway and Stoops

- Natural Cleft Bluestone
- Thermal Bluestone Threads
- Blue/Blue Color





## Retaining Wall

- Unilock U-Cara Wall
- Color – Granite





## **Supplemental Materials Provided by Staff**

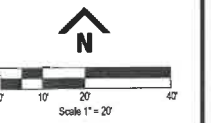






475 OAK KNOLL  
DRIVE

Lake Forest, IL



Source Benchmark:  
City of Lake Forest Monument #10  
Grass Disk in Concrete at NE Corner  
Oak Knoll Dr. & Conway Rd. Intersection  
Elev. 697.44 (NAVD 88)

Site Benchmark:  
Mueller Nut on Fire Hydrant at  
Existing Oak Knoll Drive Cul-de-sac  
Elev. 684.21 (NAVD 88)

[illegible]

## PROFESSIONAL SEAL

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project."



Michael S. Bleck

Michael G. Bleck, PE 09.17.2021  
 License No. PEZ 048193 Expires 11/30/21

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Illinois Professional Design Firm 104.000811

**FIDELITY WES**  
201 Robert Parker Coffin Rd.  
Long Grove, Illinois 60045

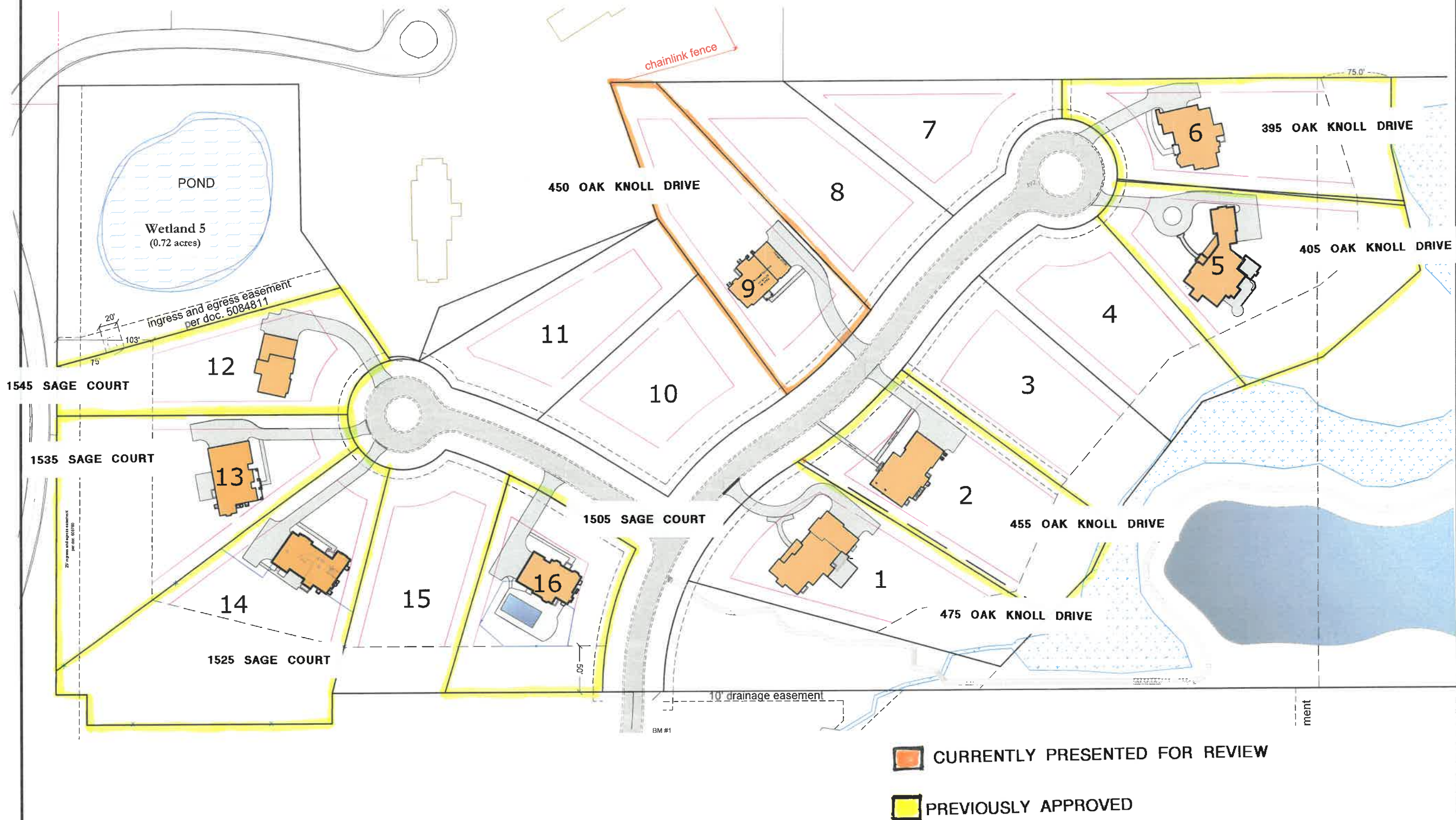
70-859	Project No.
MGB/CBS	Drawn By
MGB	Checked By

Drawing No.

1

Drawing Name

Overall Subdivision  
Layout







1 FRONT ELEVATION  
AR 02

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 14 BAKAS RESIDENCE 1525 SAGE COURT OAK KNOLL WOODLANDS SUBDIV. LAKE FOREST, IL 60045	
FIDELITY WES	
03/01/2021 REVIEW	03/09/2021 REVIEW
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-457-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 1840034	
PROJECT # AD20208 DRAWN BY: COM / MB	
LOT 14 EXTERIOR ELEVATIONS	
AR 02	
# 2 OF 9 TOTAL SHEETS	





1  
AR 01

FRONT ELEVATION

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS  
ARE FOR SHEETS PRINTED ON  
24" x 36" SIZE PAPER (ARCH-D)

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REVIEW ONLY-NOT FOR CONSTRUCTION

LOT 12 HAN / CHANG RESIDENCE 1545 SAGE COURT OAK KNOLL WOODLANDS LAKE FOREST, IL 60045	
FIDELITY WES	
12/01/2020 REVIEW	01/12/2021 REVIEW
01/12/2021 REVIEW	01/26/2021 REVIEW
01/26/2021 REVIEW	01/27/2021 REVIEW
02/04/2021 REVIEW	03/26/2021 REVIEW
03/29/2021 REVIEW	
26575 COMMERCE DR. SUITE 607 VOLO, IL 60073 MAIN: 847-437-2500 WWW.ASPECTDESIGNINC.COM IL LICENSE # 184-06034	
ASPECT DESIGN INC. ARCHITECTS	
PROJECT # AD20202	LOT 12 EXTERIOR ELEVATIONS
DRAWN BY: COM / MB	AR 01
# 1 OF 14 TOTAL SHEETS	

























## MEMORANDUM

**To:** Chairman Diamond and members of the Building Review Board

**From:** Jennifer Baehr, Planner

**Date:** October 6, 2021

**Subject:** **Manufactured Stone in Lieu of Natural Stone – Oak Knoll Woodlands**

---

Two new homes in the Oak Knoll Woodlands subdivision, 455 Oak Knoll Drive and 1505 Sage Court, were recently presented to the Building Review Board proposing the use of manufactured cast stone for the front entry surrounds, door and window trim, and window sills. The use of manufactured stone was recommended for approval by the Board however, the manufactured cast stone prompted questions from the Board about the visual characteristics of the product in comparison to the high quality, natural products proposed for use on other homes in the subdivision.

In response, the petitioners' representative provided a statement that details the qualities of the particular manufactured cast stone product that is proposed for use on the two homes. The statement discussed why and how the product will be used for various design elements. The petitioners' representative also provided an informational brochure from the selected manufacturer and it is included in the Board's packet.

Although City standards cannot specify a certain manufacturer or vendor for a product, in this case, the petitioners' representative has specified the manufacturer of the stone product and the manufacturer, provided a sample of the man-made product as well as a sample of natural limestone for the Board's review. The samples are available at the City's Municipal Services building, at 800 Field Drive, on the lower level patio, on the west side of the building. Board members are encouraged to visit the Municipal Services building and inspect the samples.

Based on review of the specific manufactured cast stone sample produced by the vendor specified for these two homes, it appears that visually, the cast stone product has a slightly different texture and appearance than natural limestone largely due to the visible aggregate in the cast stone product. Also, the cast stone does not present the same veining that is a characteristic feature of natural limestone. Staff recognizes that matching the texture and appearance of natural stone with a manufactured product is difficult, and because this is a new construction project, and the intent is not to match an existing natural stone with the manufactured cast stone product, an exact visual match may not be as critical in this particular case. However, these observations are offered for the Board's consideration in the future.

The homes that have been approved to date in the subdivision that incorporate the manufactured cast stone product are setback from the street approximately 70'-80' and as viewed from the streetscape, the differences in texture and appearance between the manufactured cast stone and



natural limestone will not be very prominent and likely identifiable only to those with a discerning and trained eye for quality.

The use of the manufactured stone on the homes in Oak Knoll Woodlands to date is limited to decorative features like entry surrounds and columns, and window and door trim. If the Board chooses to allow the petitioner to continue use of the manufactured cast stone product in other homes, it may be appropriate to specify that the use of the manufactured product is limited to certain design elements and to assure that a specific manufacturer is identified and samples offered to assure that the Board has a good understanding of the appearance and overall quality of the specific manufactured product that is proposed for use.

The use of the manufactured cast stone product in the two cases to date is balanced with the use of natural materials on the homes to assure some softening and patina over time. For example, 455 Oak Knoll Drive is a brick home with a natural cedar shingle roof, and the home at 1505 Sage Court has a stucco exterior with a natural cedar shingle roof.

A discussion about the use of manufactured cast stone in lieu of natural stone is scheduled on the October 6, 2021 meeting agenda, the petitioner and their representative from the cast stone product manufacturer will be available during the meeting for questions from the Board members.





11418 E Mission Ln.  
Scottsdale, AZ 85259  
(847) 757-3975

Jim Diamond  
Building Review Board Chairman  
The City of Lake Forest  
800 N. Field Drive  
Lake Forest, IL 60045

September 29, 2021

**Re: Relevant Characteristics of Cast Stone vs Cut Limestone**

Mr. Diamond,

As you know, the Building Review Board has been seeing a number of manufactured construction products that are meant to offer alternatives to conventional natural materials including wood, stone, and stucco. While these artificial substitutes do offer some advantages, the technology continues to evolve to address a number of concerns both aesthetic and structural. For purposes of this exercise, I will limit the discussion to just cast stone and how it compares to natural cut limestone. My objective is to establish a better understanding of cast stone and the unique characteristics that might distinguish one product from another.

I will begin with the basic definition of each:

**Natural Stone** has been formed in nature over millions of years and only in nature. The geographic location and a combination of heat and pressure affect the composition, density and color of the stone. No two stones are alike, which sometimes creates a challenge in matching vein structure and color. Until recently, it has been one of the primary choices for exterior masonry veneers.

**Cast Stone** is a time-tested alternative to natural cut stone and has been in existence for hundreds of years. Through the product's history, technical and performance standards have been established to assure long-term durability and resistance to freeze-thaw, water absorption, abrasion, and dirt. United States Cast Stone standards are designed to provide a product of "infinite life" which, in concrete terminology, means exceeding 100 years. There are a number of cast stone manufacturers each offering their own "recipe" of ingredients and process meant to replicate the characteristics of natural stone. Not all are created equal with variations in quality, appearance, and price. However, all do have the ability to fabricate consistent dye lots to assure a more harmonic result. The difference in this regard, is potential changes in coloring due to exposure to weather and sunlight.

We researched a number of cast stone manufacturers and settled on three that offered products that best suited our objectives and followed the American Society of Testing Materials (ASTM) standards. These three companies were:



**Reading Rock Inc:** [readingrock.com](http://readingrock.com)

**Cast Stone Systems Inc:** [caststonesystems.com](http://caststonesystems.com)

**Architectural Cast Stone Inc:** [architecturalcaststone.com](http://architecturalcaststone.com)

One of the key characteristics we felt relevant was the ability to replicate Indiana cut limestone, which is commonly used for most residential applications, particularly in the Midwest. All of the companies we explored offered a number of color variations, but it was important we limit the selection process to only those that closely replicated the texture and coloring of cut limestone. Each had their respective contribution and for the most part, they were relatively similar. From an architectural perspective, it is important that there be a consistency of composition that is sustainable and historically correct. The homes that used the complimenting option to cut limestone met these conditions but still lacked somewhat, the varying color structure of real limestone created by nature over millions of years.

While cost has not been a defining factor in the design review process, it is almost always the case for the client. For homes that propose more intricate detailing of cut stone design elements, it can make all the difference. This is particularly so for entrance/window surrounds, columns, and customized accent elements. With limestone, there is a significant cost to cut the shape and a longer wait period. For cast stone, the shape can be molded using computer generated plans to any shape with no upcharge and in a shorter period of time. We explored the possibility of using cut limestone for the more simplistic applications like windowsills and using the cast stone for the more complicated details. The inability to match the two products only made it worse.

Cast Stone is an architectural concrete building stone product. It combines the strength and durability of reinforced precast concrete with the appearance of natural stone. It consists of Portland cement, fine and coarse aggregates usually of granite, quartz, or limestone, natural or manufactured sands and high performance chemical admixtures. Many ASTM Standards exist for Cast Stone and all of the raw materials it comprises. Additional standards for design, performance, sampling and testing of Cast Stone concrete products are published by [AIA](#), [CSI](#), [ACI](#), [APA](#), [PCI](#) and [UKCSA](#).

Of prime importance in selecting an enduring masonry product to be used as an architectural trim, feature or ornament for buildings and other structures should be the following, as measured by an ASTM Standard Test Method specifically designated for the particular product:

- Relatively high compressive strength.
- Relative low absorption.
- Enduring freeze thaw resistance.
- Inclusion of steel reinforcement to provide tensile and or flexure strength.

Physical Properties Comparison Chart Cast Stone Requirements of the American Society of Testing Materials\* & the Construction Specification Institute. The chart below points out the physical features as compared to other types of building products.



<b>Product Type</b>	<b>Number</b>	<b>PSI Minimum</b>	<b>Absorption Maximum</b>	<b>Freeze-thaw Maximum loss</b>
Cast Stone	ASTM C 1364	6,500	6%	5% @300 cycles
Limestone	ASTM C 568	Grade II 4,000	7.5%	NOT REQUIRED

The key characteristics that should be considered when using cast stone are:

- Selecting a color and texture that is most closely resembles Indiana cut limestone.
- Composition of the product that assures sustainability and protection from the elements to reduce discoloration and deterioration from longtime exposure.
- The manufacturer's warranty program for intended applications of the product and how issues are cured.

I have also attached a brochure from the company we will be using for the homes in Oak Knoll Woodlands for your review. While we considered several qualified manufacturer's we selected this company based on there ability to meet all attributes offered above. However, it should be noted that this narrative is not meant to in anyway endorse a specific manufacturer.

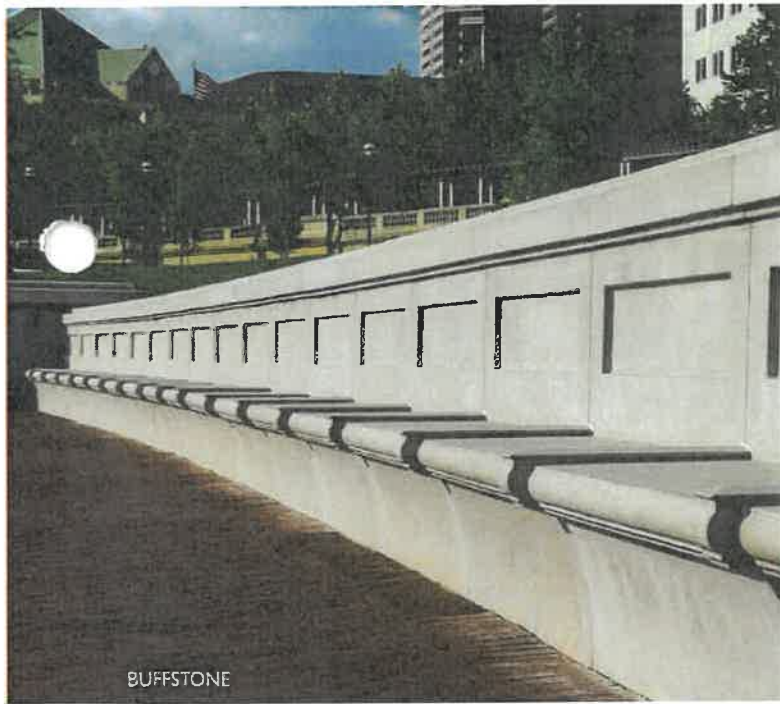
I am hopeful that this information has provided a better insight of cast stone and a means to identify the unique characteristics required to meet the aesthetic standards of the Building Review Board.

Respectfully Submitted,



Rick Swanson AIA, NCARB  
R.M. Swanson Architects PC





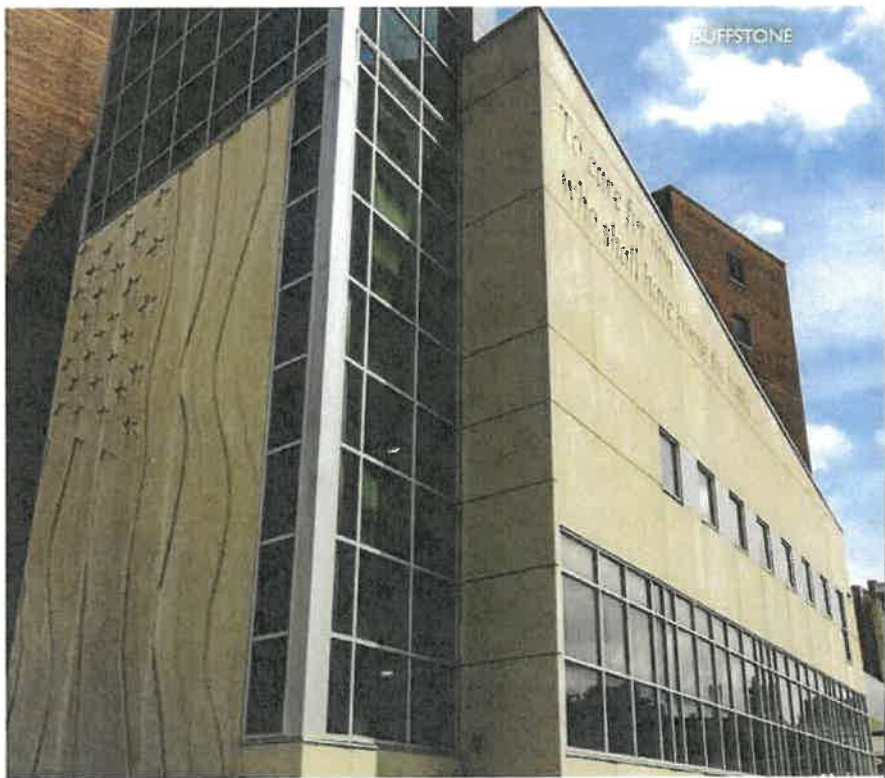
BUFFSTONE



DESERT SAND (CUSTOM)



BUFFSTONE



BUFFSTONE

# ARCHITECTURAL CAST STONE

WET METHOD

MANUFACTURED BY READING ROCK, INC.





# ARCHITECTURAL CAST STONE

Since 1947, Reading Rock, Inc.® has manufactured innovative and high-quality masonry products. Our RockCast Architectural Cast Stone (wet method) Series, produced to ASTM C1364, provides the advantage of load bearing compressive strength while controlling tensile challenges with well-designed and placed reinforcement using rebar and connectors.

This Series satisfies specifications for a product with high durability; and, is ideal for Universities and areas that have excessive surface wear such as in Site Solution applications. All produced to meet the highest quality standards set forth by the National Precast Concrete Association (NPCA) and the Cast Stone Institute (CSI).

## STRUCTURAL

- Arches
- Entablatures
- Lintels

## OVERSIZED

- Sills
- Soffits
- Surrounds
- Veneer Panels
- Watertables

## SITE SOLUTIONS

- Benches
- Bollards
- Columns
- Copings
- Parking Curbs
- Pavers
- Step Treads
- Sign Panels

Our in-house engineer specializes in making recommendations for anchoring, tie backs, weld plates and other installation requirements. Simplify your project and experience the RockCast advantage as all our RockCast series products are produced with a similar mix design providing color uniformity and consistency regardless of how the RockCast is used in the design.

## ADVANTAGES

All RockCast products are manufactured to the highest quality and testing standards in the industry.

- **Continuity** in your design is easily achieved by combining with RockCast Architectural Masonry Veneer and Custom Cast Stone profiles in matching or complementing colors throughout the project. Reference our Standard Color Selection for monotone and blends.
- **Durability** – Can be used at grade and hardware added for skateboard prevention.
- **Experience** – Backed by industry experience and professionals who've been producing masonry products since 1947. Consistently produced to ASTM standards, ensuring product performance.
- **Moisture Control** – Manufactured with an integral water repellent for enhanced long-term performance, per ACI530.
- **NPCA Plant Certification** – Reading Rock is certified by the NPCA for meeting the highest standards for plant facilities, production and quality control procedures.
- **Cast Stone Institute** – All cast stone products by Reading Rock meet the rigorous examination of product quality, safety, testing and meticulous record keeping certified by CSI

## SPECIFICATIONS/INSTALLATION

### ARCHITECTURAL CAST STONE (WET METHOD) SPECIFICATIONS

PARAMETER	ASTM TEST METHOD	ARCHITECTURAL CAST STONE SERIES
Density (lbs. per cu. ft.)	C140	>120 pcf
Compressive Strength	C1194	>6500 psi
Absorption	C1195	<6%
Linear Shrinkage	C426	<0.65%
Freeze-Thaw	C666	<5%
Air Content	C173/C231	4 - 8%



### LIFETIME WARRANTY

All of our RockCast products go through the same rigorous product testing and are backed with warranties to support our guarantees for quality.



### LEADERS IN LEED®

Many Reading Rock products contribute to the achievement of LEED credits on projects. We proudly support the development of green product innovations and are committed to developing and improving our entire product line with respect to the environment. In fact, Reading Rock was one of the first cast stone manufacturers to devote resources to products with supplementary cementitious materials (SCM).





LANTERN (CUSTOM)



DESERT SAND (CUSTOM)



DESERT SAND (CUSTOM)



CRYSTAL WHITE



CUSTOM BLEND



BUFFSTONE





## NATIONAL DISTRIBUTION

RockCast Architectural Stone products are distributed nationally. We have an extensive network of sales and distributor partners that are ready to assist with your next project. Find an expert in your market by contacting us at 800.482.6466.

## ABOUT READING ROCK

Since 1947, Reading Rock has had a passion for manufacturing quality building material products and providing exceptional services. While our level of dedication began on a small scale as a block manufacturer, today Reading Rock is recognized for solutions and services including: hardscapes, tile, architectural stone, brick, thin veneer, CMU and hearth. From the plant floor to the job site, we are committed to enhancing our customer partnerships through quick product turnaround, on-time delivery and our resolute focus on continuous improvement. At Reading Rock, we never relent on ways to improve our processes to ensure we exceed expectations. With state-of-the-art technology, certified technicians, in-house LEED<sup>®</sup> APs and GAs and engineers, we're confident you'll experience the Reading Rock difference by receiving the right products, on time, every time.



Reading Rock's purpose is to help support and finance the initiatives of Rettsyndrome.org. Every one of our associates helps to contribute to help those who can't help themselves. For more information, visit [Rettsyndrome.org](http://Rettsyndrome.org).

Rettsyndrome.org's mission is to fund research for treatments and a cure for Rett syndrome while enhancing the overall quality of life for those living with Rett syndrome by providing information, programs, and services.

A PRODUCT OF  
**READING ROCK**  
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