

Agenda Item 3
885 Valley Road
New Residence

Staff Report
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Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
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Plat of Survey
Topography
Proposed Site Plan
Site Context Study
Proposed West Elevation
Proposed South Elevation
Proposed East Elevation
Proposed North Elevation
Proposed Roof Plan
Proposed Basement Plan
Proposed First Floor Plan
Proposed Second Floor Plan
Proposed Building Section
Streetscape Elevation
Site Grading Plan & Tree Removal Plan
Tree Inventory
Preliminary Landscape Plan
Proposed Plantings

Supplemental Materials Submitted by Petitioner

Preliminary Site Studies
Preliminary Design Studies

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.

885 Valley Road

Consideration of a request for approval of a new residence, attached garage, overall site plan and conceptual landscape plan.

Property Owner: Michael Bertucci

Project Representative: Adam Lyons, architect

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a new single family residence and attached garage on a vacant lot. Board consideration of the overall site plan and conceptual landscape plan is also requested.

This petition was scheduled to be presented to the Board in April, however because of the cancellation of meetings due to the COVID-19 Pandemic, this project has been delayed.

Description of Property

This property is located on the east side of Valley Road, at its intersection with Stone Avenue. The surrounding neighborhood contains homes of varying architectural styles built mostly between the 1960's and the 1980's. The parcel that is the subject of this request totals 20,538 square feet and is somewhat irregular in shape with the east property line following the East Skokie Drainage Ditch. The property also has a significant grade change from west to east presenting some unique development challenges. Based on the information submitted by the petitioner, the property area includes 3,392 square feet of non-table land, that is, land on which the change in grade is greater than 10%.

Review and Evaluation of Applicable Standards

Site Plan – This standard is met.

The proposed residence is sited generally in the center of the lot, following the established set back along the street. The petitioner has provided a study of the footprint of the proposed residence in relation to the siting of the surrounding homes, the study is included in the Board's packet. The proposed residence faces west, toward Valley Road, with the attached side-load garage projecting toward the street from the main mass of the residence on the south side of the house. The driveway is located along the north property line, leading to a motor court at the front of the house.

As proposed, the impervious surface on the site totals 30% of the total lot area. The building footprint totals 3,360 square feet, the driveway, motor court and other paved surfaces including the terraces, total 2,818 square feet.

Building Massing and Square Footage – This standard is met.

Based on the lot size, a residence of up to 3,952 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 395 square feet of design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as single dormers and screen porches.

- The proposed residence totals 3,856 square feet.
- A total of 600 square feet is allowed for a garage on this property. The proposed garage totals 712 square feet. The garage overage of 112 square feet must be added to the total square footage of the residence.
- In addition to the above square footage, a total of 317 square feet of design elements are incorporated into the design of the house.
- The total square footage as proposed is 97 square feet, equal to 2.45%, under the maximum allowable square footage for site.

The maximum building height for this lot is 35 feet. The highest point of the house, when measured from the lowest point of the existing grade is approximately 31'-6" feet tall.

Elevations – This standard is generally met.

According to the petitioner's statement of intent, the architectural style of the proposed residence is Prairie style. The residence is comprised of a one and a half story mass in the center with a two story mass on the north and the single story garage mass on the south. The home has many features common to the Prairie style, such as low-pitch hipped roofs, wide overhangs, horizontal bands, and open porches.

The proposed front entry features low stone walls and square wood posts that support a small hip roof above the front door. As proposed, the posts appear undersized in relation to the roof above. Also, the height of the covered entry appears tall compared to other elements of the home.

Staff Recommendation:

- Study and refine the proportions of the posts at the entrance to achieve an appearance that is more substantial and in proper proportion to the roof above.
- Lower and elongate the hip roof at the entrance to present a more horizontal element, consistent with Prairie style detailing and massing.

Type, color, and texture of materials – This standard is met.

The exterior of the house is a combination of stone and stucco. Asphalt shingle is proposed for the primary roof forms. Standing seam metal roofs are proposed on the mudroom, connecting the garage mass to the main house and for the front and rear porches. Aluminum clad casement windows are proposed. Stucco soffits and wood fascia and trim is proposed. Aluminum gutters and downspouts are proposed. The chimney is stone to match the exterior of the home.

Tree Removal and Landscape Plan – This standard is not fully met.

As currently proposed, a total of nine trees are proposed to be removed. Six of the trees proposed for removal are over 18 inches, and defined as Heritage trees in the Code. As required by the City code, inch for inch replacement, up to double inch for inch replacement for Heritage trees depending on the condition, will be required for the trees lost. To the extent possible, replacement trees are required to be planted on the site and should reflected on the landscape plan with the species and size at time of planting subject to review and approval by the City's Certified Arborist. If all of the required replacement tree inches cannot be fully accommodated on the site using good forestry practices, a payment in lieu of on-site plantings will be required to support tree planting to enhance the streetscape in the general area.

The petitioner submitted a preliminary landscape plan that reflects a variety of proposed plantings on the site. The trees proposed for planting include: Eight Hemlock trees, seven Cypress trees, six maple trees, and Beech and Spruce trees. Many ornamental type plantings are also proposed on the site, including varieties of hydrangea, Dogwood trees, boxwoods and ornamental grasses. As construction activity on the site gets underway, the impacts on any trees identified for protection and presentation will be re-evaluated.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendations

Recommend approval of the residence, attached garage, conceptual landscape and overall site plan based on the findings presented in this staff report and incorporating the Board's deliberations as additional findings. Staff recommends approval subject to the following conditions of approval.

Conditions of Approval

1. Study and refine the front entry element in an effort to reflect proportions consistent with the rest of the home and selected architectural style.
2. Plans submitted for permit must reflect the project as presented to the Board. All modifications made to the plans in response to direction from the Board or as the result of final design development shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. The final landscape plan shall be subject to review and approval by the City Arborist. The plan must reflect the 107 required replacement inches or, a payment in lieu of on-site planting must be made to the City prior to the issuance of a Certificate of Occupancy.
4. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan for protection, including pre and post construction treatments as may be appropriate, must be prepared by an independent Certified Arborist and submitted with the building permit application. The tree protection plan shall be subject to review and approval by the City's Certified Arborist.
5. Details of exterior lighting, if any is proposed, shall be included with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view by the fixture or by sight obscuring glass to preserve the dark sky character of the community and avoid light impacts on neighboring residences.

6. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 885 Valley Road Owner(s) Michael Bertucci
 Architect Adam Lyons Reviewed by: Jen Baehr
 Date 7/1/2020
 Lot Area 19047 sq. ft.

Square Footage of New Residence:

1st floor 2390 + 2nd floor 1047 + 3rd floor 0 = 3437 sq. ft.

Design Element Allowance = 395 sq. ft.

Total Actual Design Elements = 317 sq. ft. Excess = 0 sq. ft.

Garage 712 sf actual ; 600 sf allowance Excess = 112 sq. ft.

Garage Width 23'-8" ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 306 sq. ft.

Accessory buildings = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 3856 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3952 sq. ft.

DIFFERENTIAL = -97 sq. ft.
Under Maximum

Allowable Height: 35 ft. Actual Height 31'-6" ft.

NET RESULT:

97 sq. ft. is

2.45% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 395 sq. ft.

Front & Side Porches = 317 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

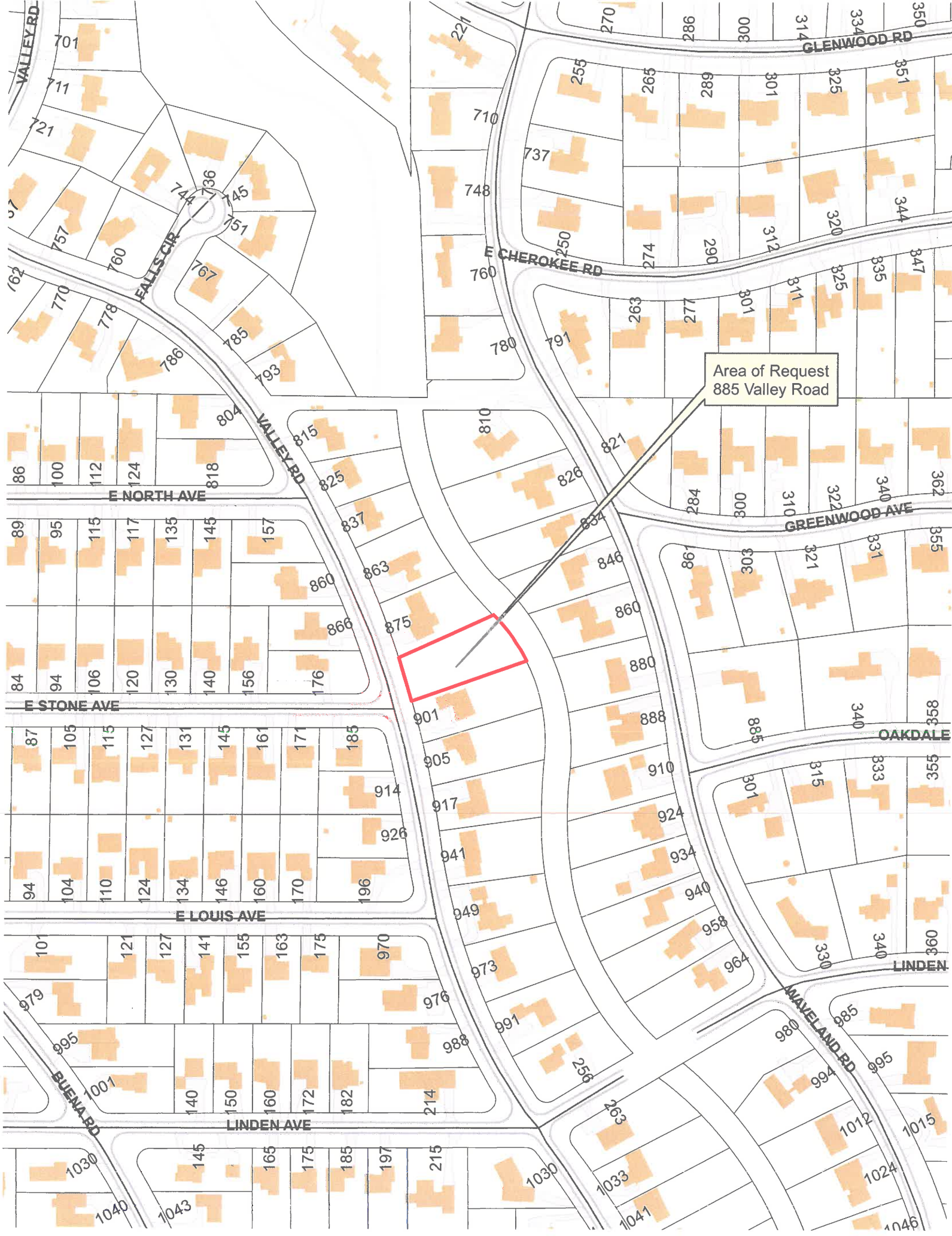
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.


Bay Windows = 0 sq. ft.

Total Actual Design Elements = 317 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
885 Valley Road



Area of Request
885 Valley Road

Area of Request
885 Valley Road





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 885 Valley Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Michael Bertucci

Owner of Property

991 Chandler Avenue
Owner's Street Address (may be different from project address)

Gurnee, IL 60031
City, State and Zip Code

847-205-8448
Phone Number

Fax Number

mbertucci@earthlink.net
Email Address

Michael Bertucci
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Adam Lyons, Architect

Name and Title of Person Presenting Project

The Lyons Design Group, LLC

Name of Firm

894 Mettawa Lane

Street Address

Mettawa, IL 60045

City, State and Zip Code

847-791-3251

Phone Number

Fax Number

lyonsdesigngroup@aol.com

Email Address

Adam Lyons
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Project: 885 Valley Road
Bertucci Residence, Proposed Single Family Private Residence

Project Narrative / Statement of Intent

A request is made to the Building Review Board for a certificate of appropriateness to allow the construction of new single-family residence on the vacant parcel located at 885 Valley Road. The property is owned by Mr. and Mrs. Mike Bertucci and his family. The Bertucci's purchased the property in 2018 and plan to construct and occupy the new home. We have been working closely both with the Bertucci's and with staff, designing the home in a 'modernist / prairie' style. The design complies with all limitations of the Zoning Ordinance.

NEIGHBORHOOD

The site located in the H.O. Stone Subdivision, which extends from the Skokie Creek west and extends between Old Elm and the more recent Ponds subdivision. Single-family homes were developed here from the 1950's to the 1980's. Styles are mostly 'traditional' in vocabulary, consistent with 'Builder' homes of the period. Some redevelopment has also begun in the area.

VALLEY ROAD CHARACTERISTICS

A unique characteristic of Valley Rd. is the strong presence of a "modern" architectural vocabulary. This modernism includes numerous examples from the "California Ranch," popular during the early period of the subdivision, to examples of modernist/arts & crafts features, integrated into the traditional "builder" homes of the period. A number of very unique example of the more 'Purist' Modernism of the 1950 and 1960's also exist along Valley Road.

This integration of modernist styles is also found in homes along Waveland Road, east of the creek, in the Campbells subdivision, which was developed in roughly the same period.

THE LOT

The property at 885 Valley Road is located in R-4 zoning district. Highly significant influences on the site include

- The 'creek' to the east
- A naturally heavily-wooded buffer to the east – which mitigates the visual impact of homes across the creek from each other
- Topography: a drop of approx. 7 feet from the front of the lot on the west, then eastwards towards the creek
- 100- and 500-year flood plains, established along the creek

POSITIONING

While we evaluated a number of alternatives to positioning and massing of the home. Early studies of the residence including a south-side-loaded garage wing, a straight driveway approach, then also a circular drive. The former would have also created a retaining wall being 'forced' along the south property line, potentially undesirable. Through critiquing these other options, more 'negatives'

became apparent, thus prompting further studying of the design. The ‘pad’ and final placement we’ve found to be the most ideal positioning of the home, and moreover is almost a direct result and ‘best’ response to the ‘strong’ site influences mentioned.

We have located the home, towards the west of the lot and near the building line, for a more effective building platform. A ‘flat’ area of topography supports the location of garage and drive-court. The front of the 1-story garage, near the 40’ building setback line, contributes to a consistent streetscape, relative to home locations to the north and south.

The utilization of the interior side-loaded garage, accessed from a center drive and ‘in front’ of the home, mitigates the impact of a front-facing garage-door house façade. While significantly lower in height than neighboring homes, placing the taller 1-1/2 and 2-story massing of the home further back on the lot further reduces a ‘mass’ appearance.

BUILDING ENVELOPE: MASSING / DEVELOPMENT

The staggering of elements of the home in 1, 1-1/2 and 2-story massing is very appropriate and a common feature of ‘Prairie’ styling design. We earlier explored variations of the front-façade as being ‘flat,’ with a continuous front-facing covered porch and the front entry door as being the ‘focal’ element with various roofs above. In the development of the rear patio space also explored different terracing, depths, steps, etc., but learned these early studies contributed more to the Bulk than we wanted. We found the proposed componentry of the home works best, given the Program and site. The integration and intersections of masses and a strong emphasis of horizontal features is themed on all façades. The home presents itself only as a 2-story structure from the front, though development of the rear facades – which we focused on a lot and worked through various components with staff – presents more of a 2-1/2 story façade, with above-grade basement windows. Note, however, that the ‘rear’ of the home is nearly imperceptible from its rear neighbors.

Development of section-studies of the home was critical, most desiring the home to ‘mimic’ the natural sloped topography. The final articulation of the rear of the home, interior space out onto landing, then stepped down to the Patio, then stepped down again to grade, best replicates the natural contours, at the same time not adding to bulk. The rear patio itself is designed as an integral part of the home’s functioning. While a more ‘grand’ window and door composition is created at the rear, both the existing dense wooded area behind the home and the Open Porch feature will both help address light spill-over.

TEXTURE AND DETAILING / MATERIALS

The Prairie style is characterized by the relationship of windows to facades, with ‘upper’ windows held tight to deep soffits. Broad ‘bands’ of higher ‘clerestory’ fenestration on is placed on frame exteriors. Continuous ‘bands’ of stone/sill material wrap the home. Low-pitched hip roofs, then interspersed ‘vertical’ elements (i.e. chimney, façade reliefs) being secondary, though intentionally placed.

Principal building materials are stone and stucco, the former being utilized at the bottoms of the massing, creating a more solid foundation appearance, then transitioning to 'frame' stucco-finished walls above. Windows are either aluminum clad or fiberglass exteriors with painted wood trim. Soffits are stucco-finished, with aluminum gutters and downspouts applied to wood fascia boards.

OPENINGS

Through the design process and working with staff, the home now exhibits a simplified and more orderly arrangement of sizing and placement. A relative uniformity of openings is present across first floor and second floor facades, keeping window themes (height and width) more 'regular' for the function of interior spaces served. The front entry doors and single-garage doors – are in keeping with the Style. Throughout, windows are proposed with no grills.

BULK ORDINANCE AND ZONING COMPLIANCE

In order to utilize the broad overhangs of the roof, building setbacks were essentially increased by an additional 3 feet, all around. This essentially creates an additional separation of 3-feet from the neighbors, in addition to the code-required 12-feet, versus a more common 1-foot overhang. This feature of the design and style of massing, as related to neighbors and the streetscape – further makes this design 'appropriate' for its location.

NEIGHBORS CONTACT

We have met with neighbors and communicated the home to them and has been received with much support. Support letters to be provided.

SUMMARY

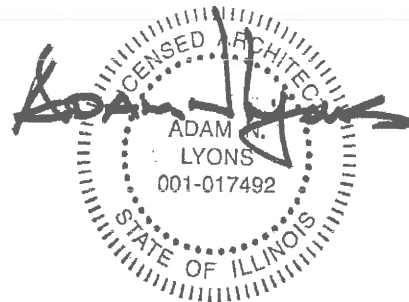
The design of the home at 885 Valley is consistent with the tradition of the neighborhood and Valley Road. It is sensitive to the site, to light, air and topography, and to neighboring homes. At over 100 s.f. under bulk, it is well within scale for the lot.

We hope you view information and material in the light it being presented and find yourselves in favor of the Bertucci's new home.



Adam Lyons, Architect

IL License 001-017492





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco

- ☐ Wood Shingle
☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material sand, beige, brown

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other fixed

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish dark bronze

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Synthetic Material _____
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood (fascia)
☒ Other stucco (soffits)
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles _____
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal _____
☐ Other _____

Color of Material _____

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☐ Asphalt
☒ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other pavers accent/border

Terraces and Patios

- ☐ Bluestone
☐ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Plat of Survey

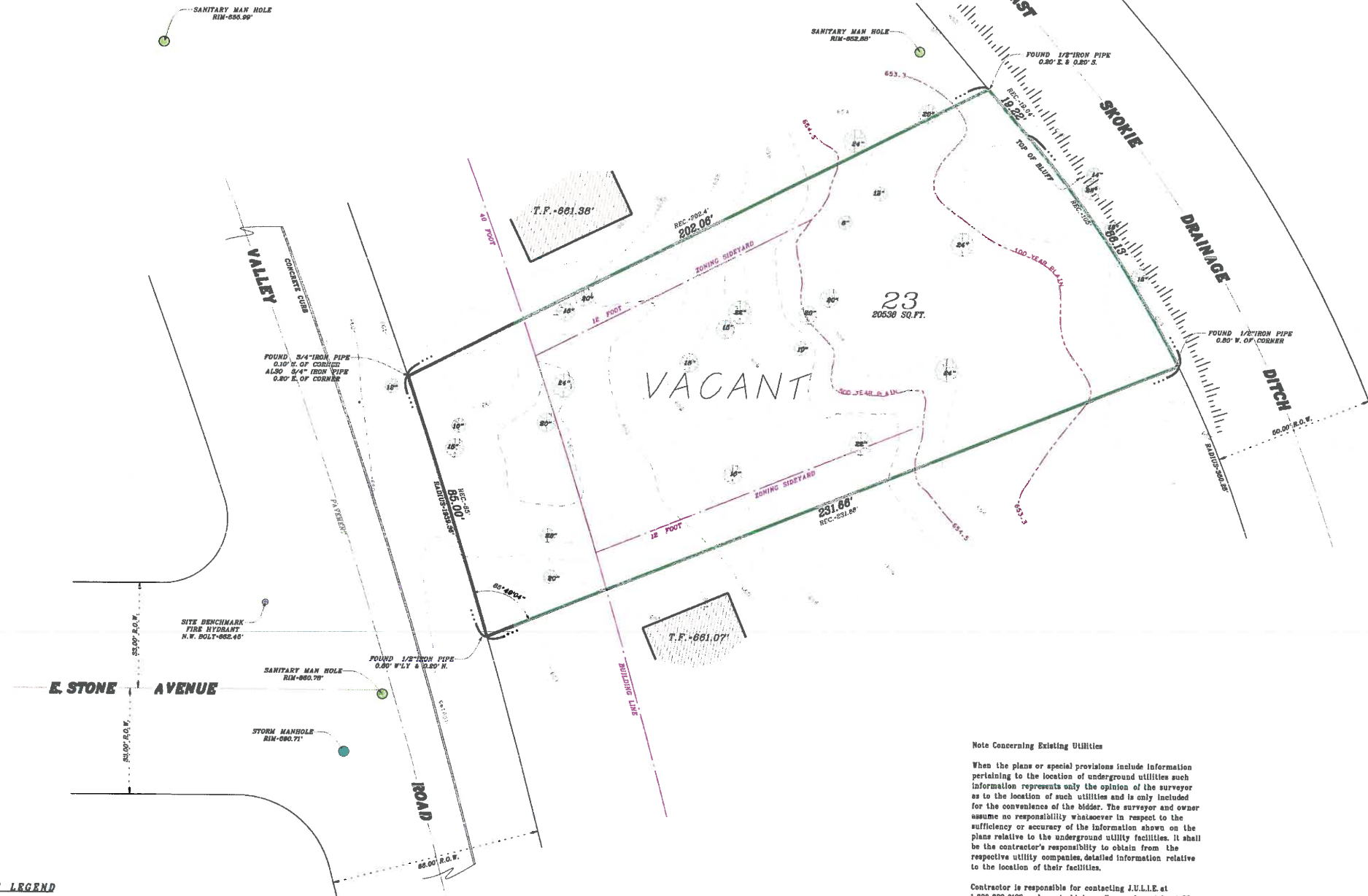
R.G. PAVLETIC
P.L.S. 035-3261

Commonly known as: VALLEY ROAD, LAKE FOREST, ILLINOIS


The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale, 1" = 10 ft.

Project Benchmark
FIRE HYDRANT LOCATED ACROSS THE
STREET FROM LOT 23
BOLT-662.45' NAVD '88



N. - North
S. - South
E. - East
W. - West
N.W. - Northwest
N.E. - Northeast
S.E. - Southeast
S.W. - Southwest
P.O.B. - Point of Beginning
SQ.FT. - Square Feet
R.O.W. - Right of Way
Doc. - Document
Rec. - Recorded as
Meas. - Measured
T.F. - Top of Foundation
Inv. - Invert
PVC - Polyvinyl Chloride
CMP - Corrugated Metal Pipe
MIN. - Minimum
MAX. - Maximum



PROFESSIONAL DESIGN FIRM
R.E. DECKER, P.C.
184-3098
Libertyville, IL
STATE OF ILLINOIS
expires 4-30-17



R E DECKER
PROFESSIONAL LAND SURVEYORS PC
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



By: _____
Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title; also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.

885 Valley Road, Lake Forest, IL

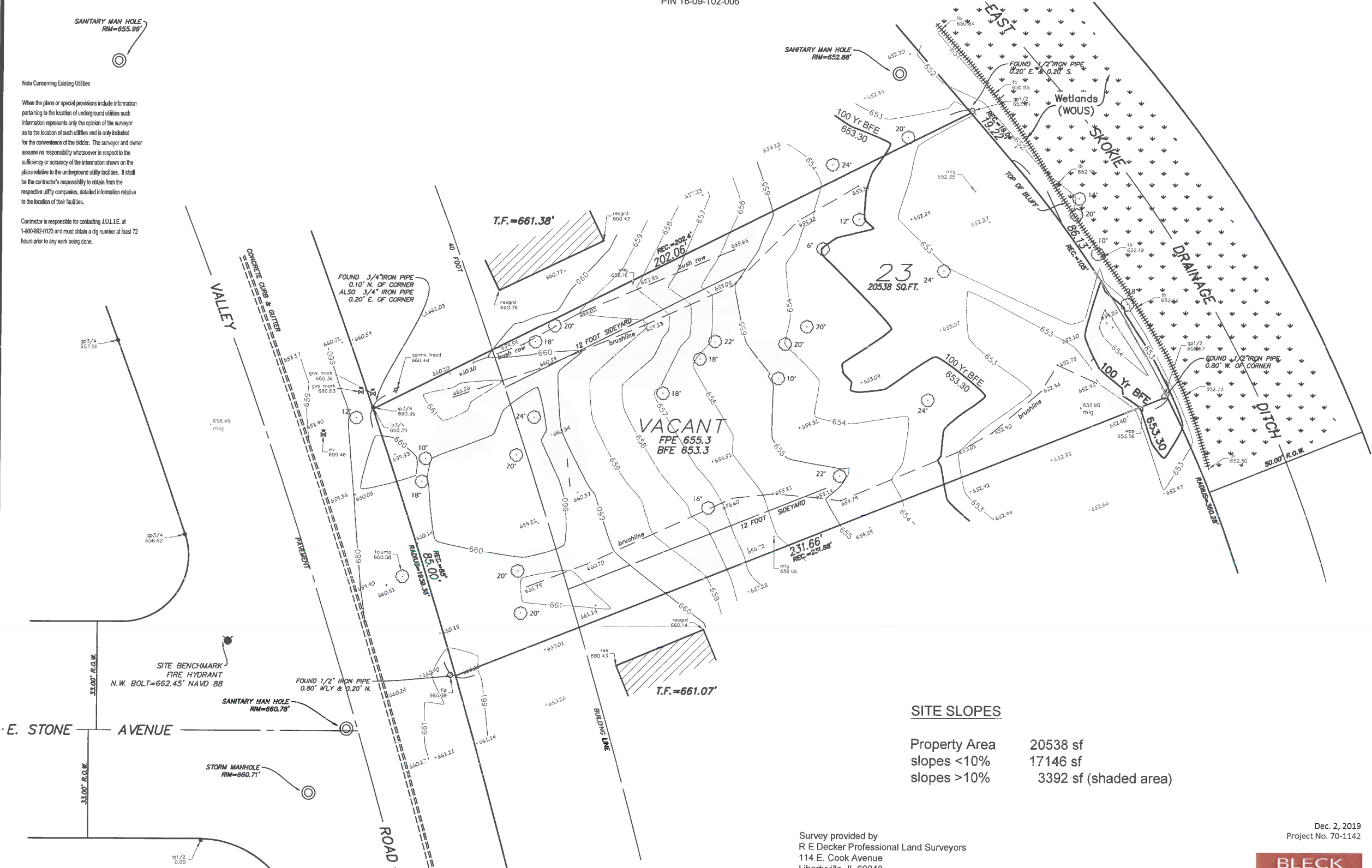
LOT 23 IN BLOCK 6 IN H.O. STONE AND COMPANYS LAKE FOREST ADDITION, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 9 AND OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1924 AS DOCUMENT 249300, IN BOOK N OF PLATS, PAGES 60 AND 61, IN LAKE COUNTY, ILLINOIS.
PIN 16-09-102-006

SANITARY MAN HOLE
RIM=655.99'

Note Concerning Existing Utilities

When the plans or special provisions include information pertaining to the location of underground utilities such information represents only the opinion of the surveyor as to the location of such utilities and is only included for the convenience of the bidder. The surveyor and owner assume no responsibility whatsoever in respect to the sufficiency or accuracy of the information shown on the plans relative to the underground utility facilities. It shall be the contractor's responsibility to obtain from the respective utility companies, detailed information relative to the location of their facilities.

Contractor is responsible for contacting J.U.L.I.E. at 1-800-892-0123 and must obtain a dig number at least 72 hours prior to any work being done.

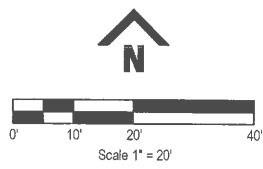


SITE SLOPES

Property Area	20538 sf
slopes <10%	17146 sf
slopes >10%	3392 sf (shaded area)

Survey provided by
R E Decker Professional Land Surveyors
114 E. Cook Avenue
Libertyville, IL 60048
847-362-0091
Field Work Completed Jan. 26, 2017

Wetland Delineation by
DK Environmental Services, Inc.
110 Woodland Road
Libertyville, IL 60048
dkenvserv@sbcglobal.net
Survey Dated Nov. 9, 2019



Dec. 2, 2019
Project No. 70-1142



Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com

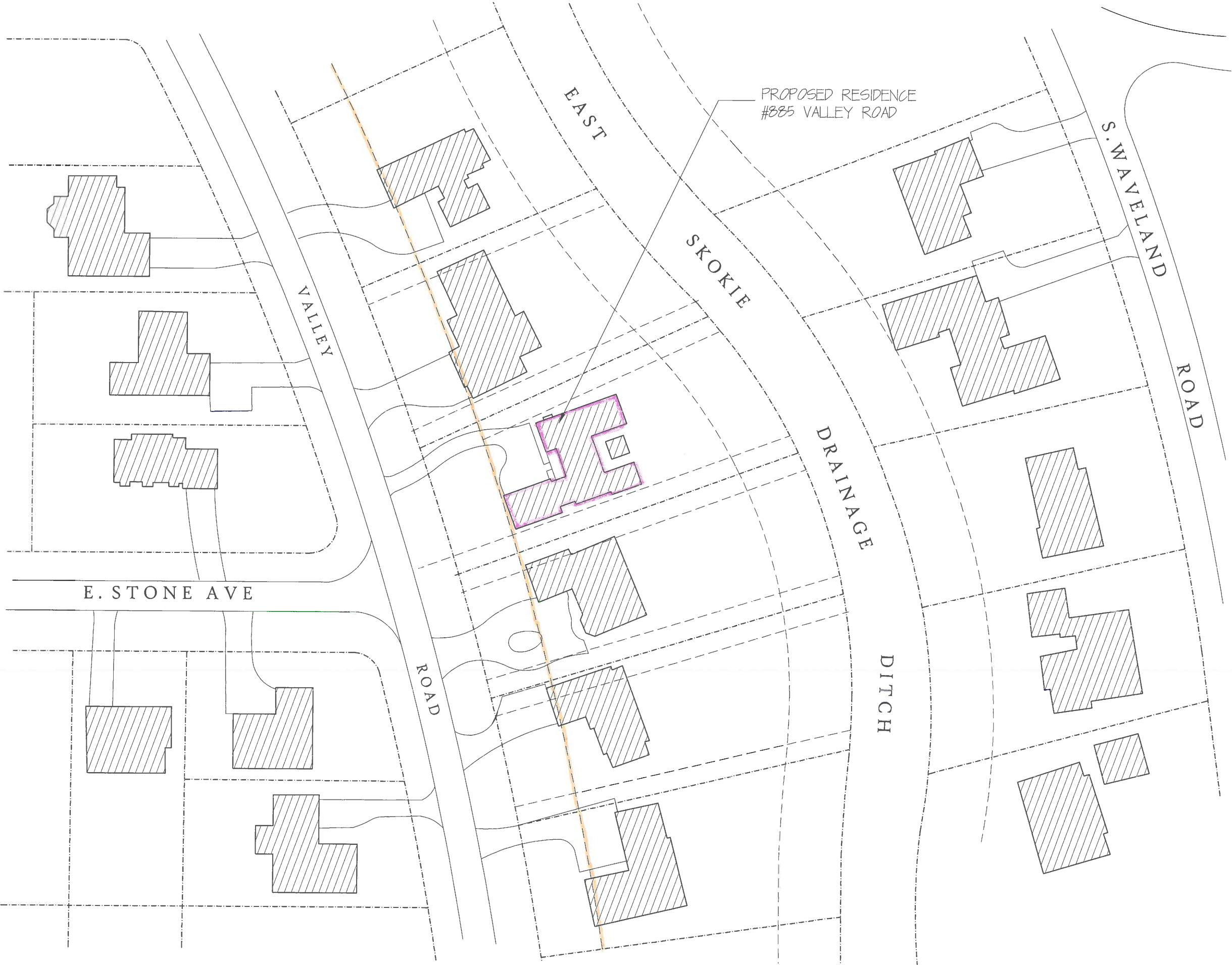


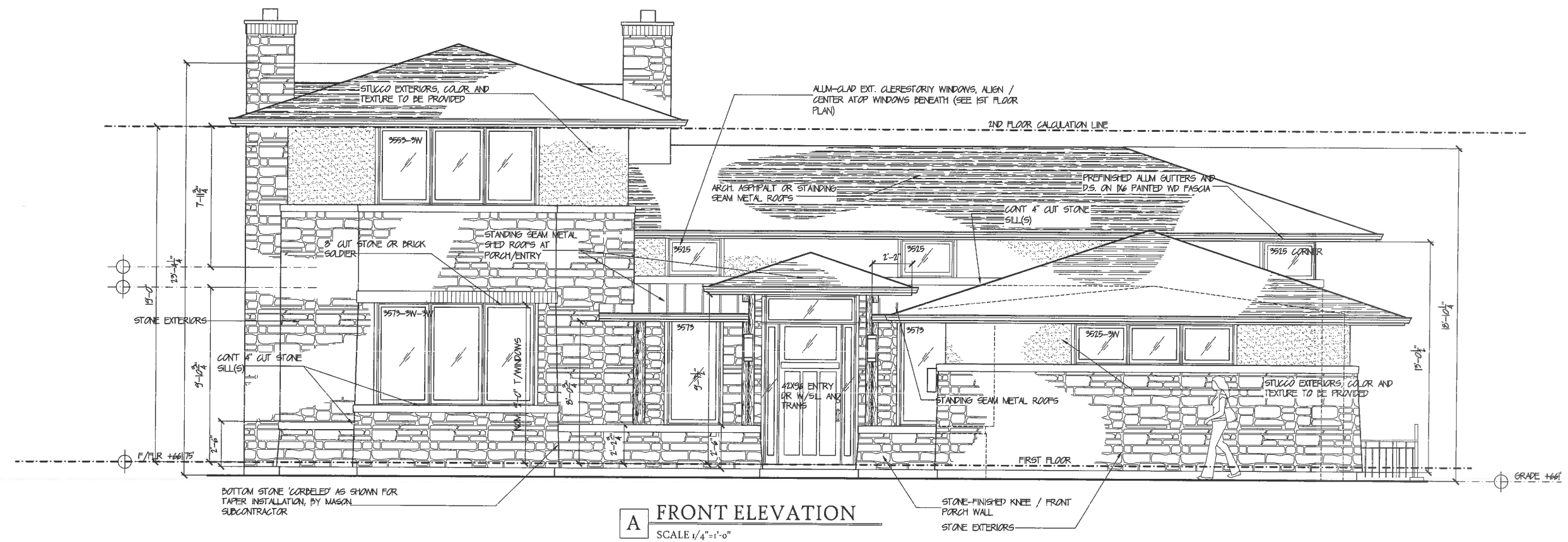
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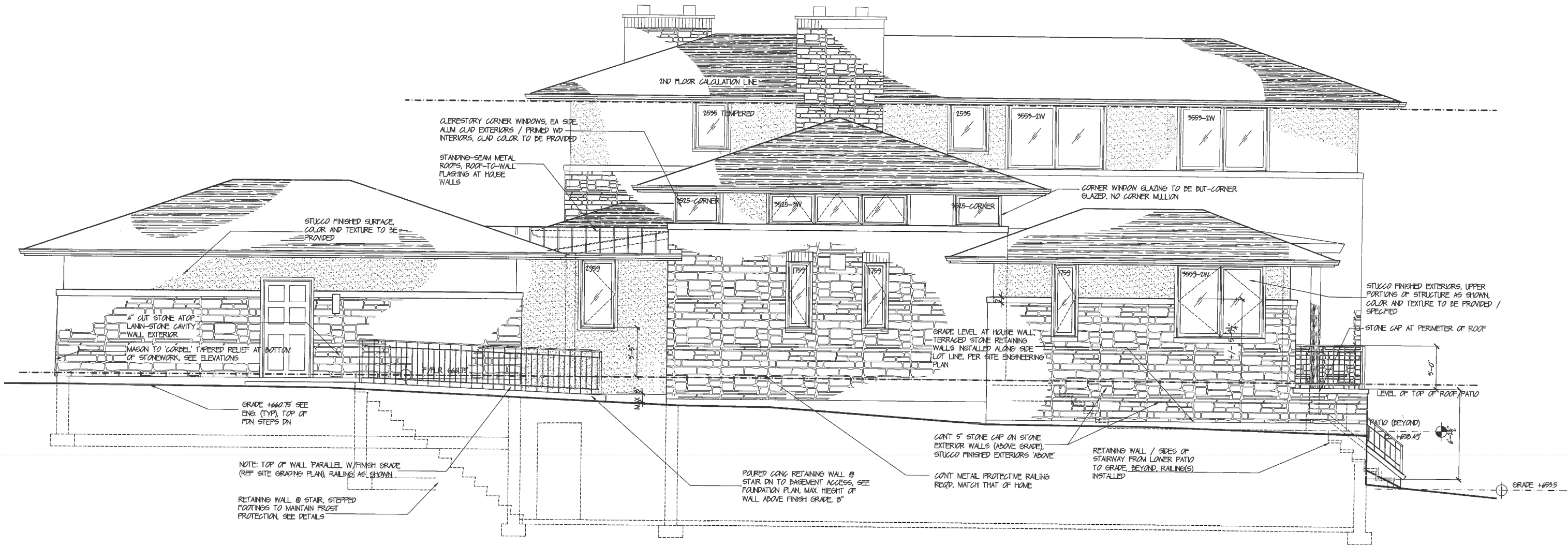
$$I = 20'$$

REFER ALSO TO SITE ENGINEERING AND GRADING DESIGN, PLAN AND

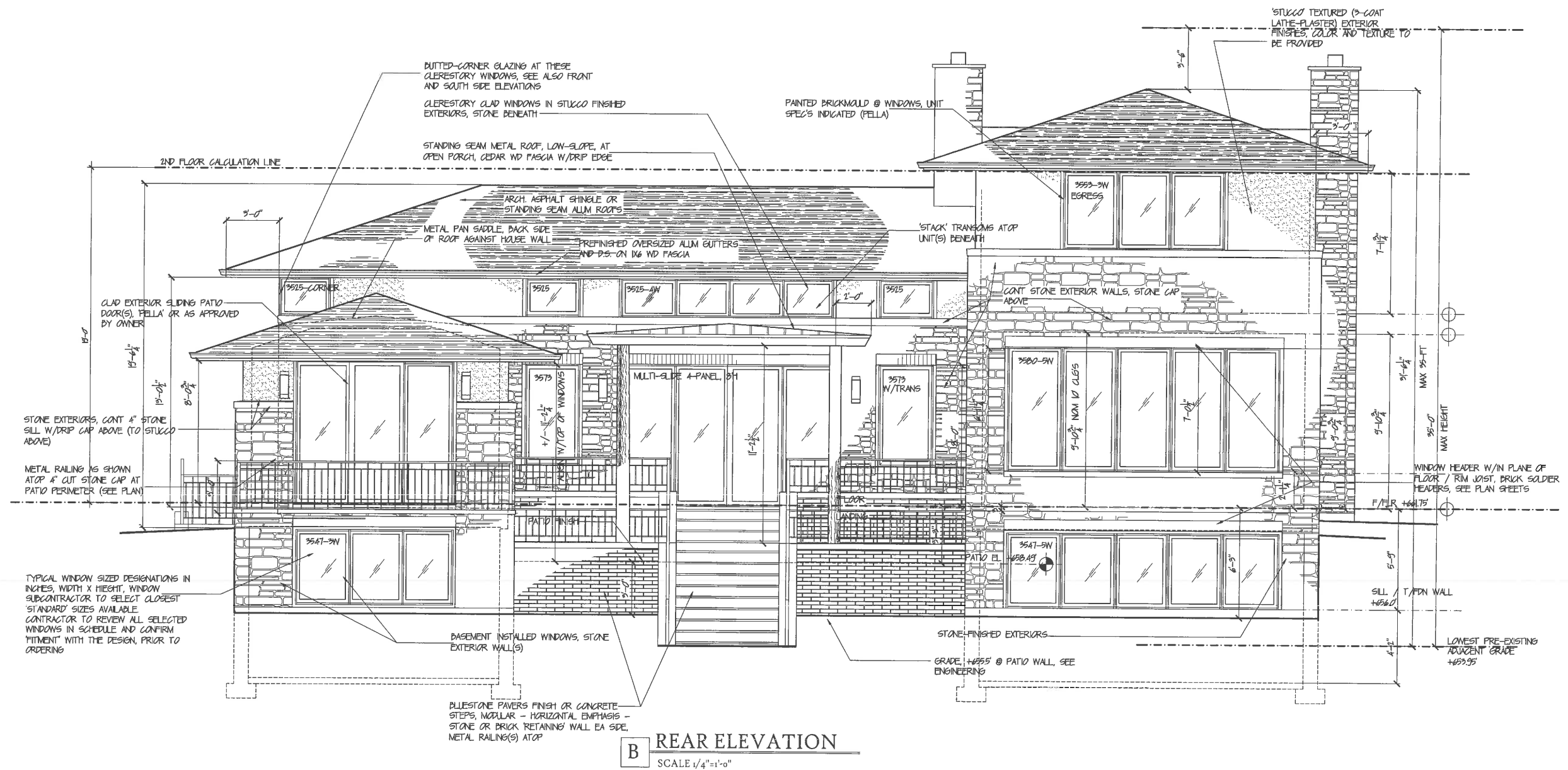
NOTE: NO BASEMENT OPENINGS
PERMITTED IN EXT. WALLS
BELOW +655.3 (FPE) / LOWEST
GRADE AT THE RESIDENCE (FILL)
REQD TO BE UP TO FPE



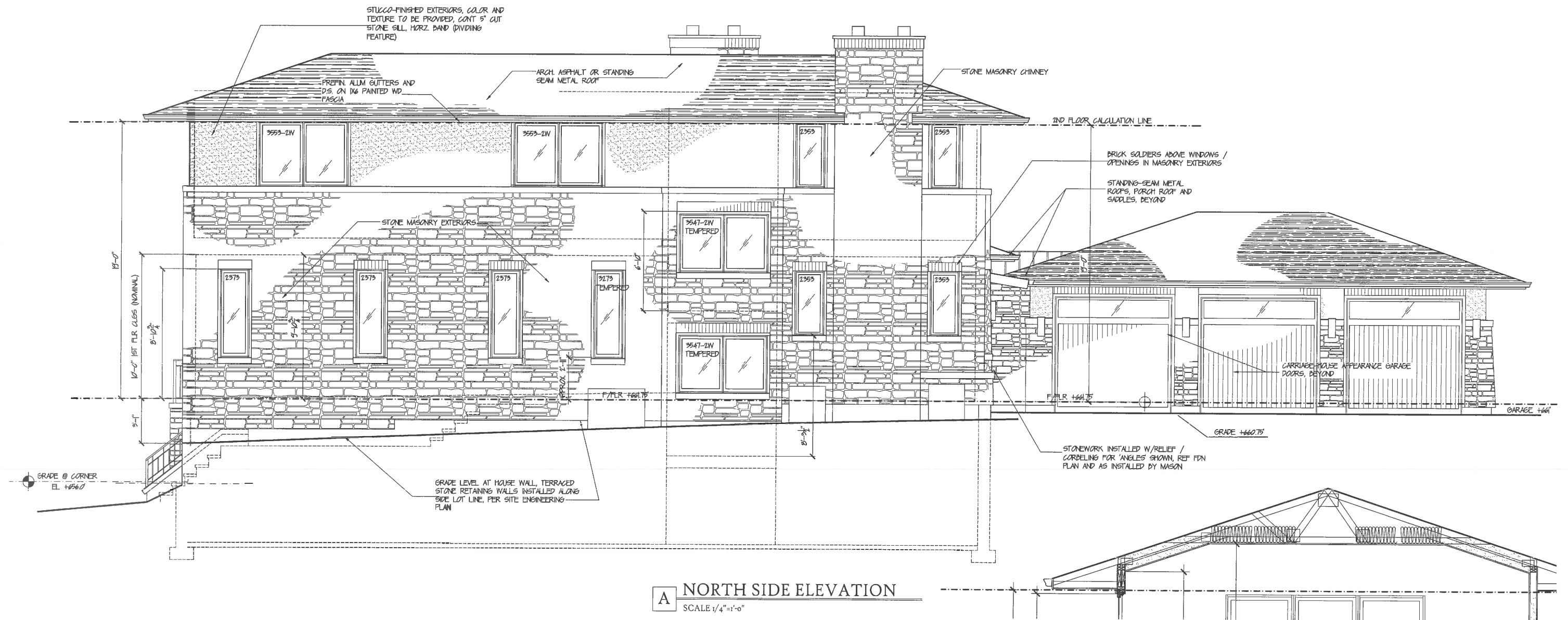


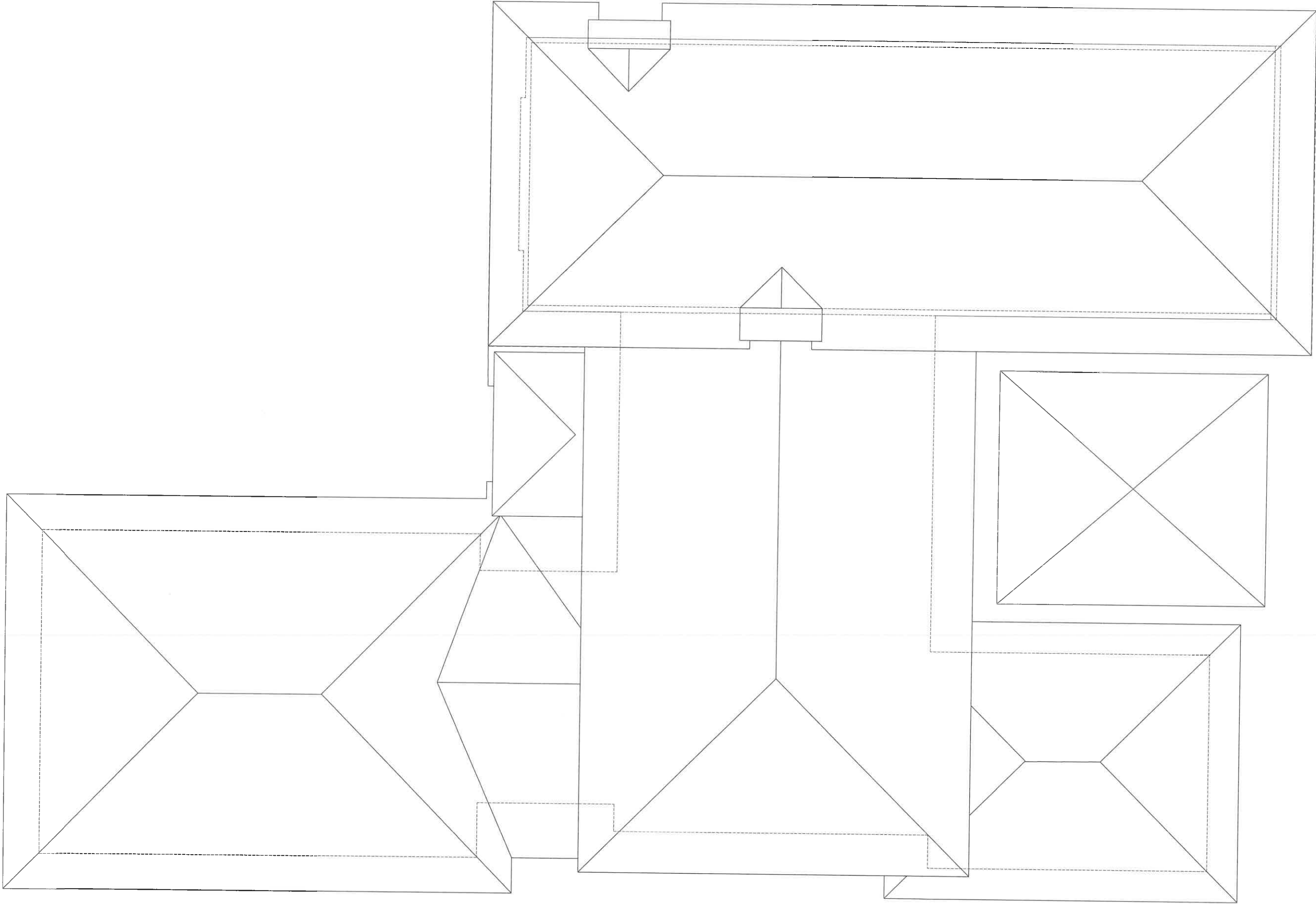


B SOUTH SIDE ELEVATION
SCALE 1/4"=1'-0"



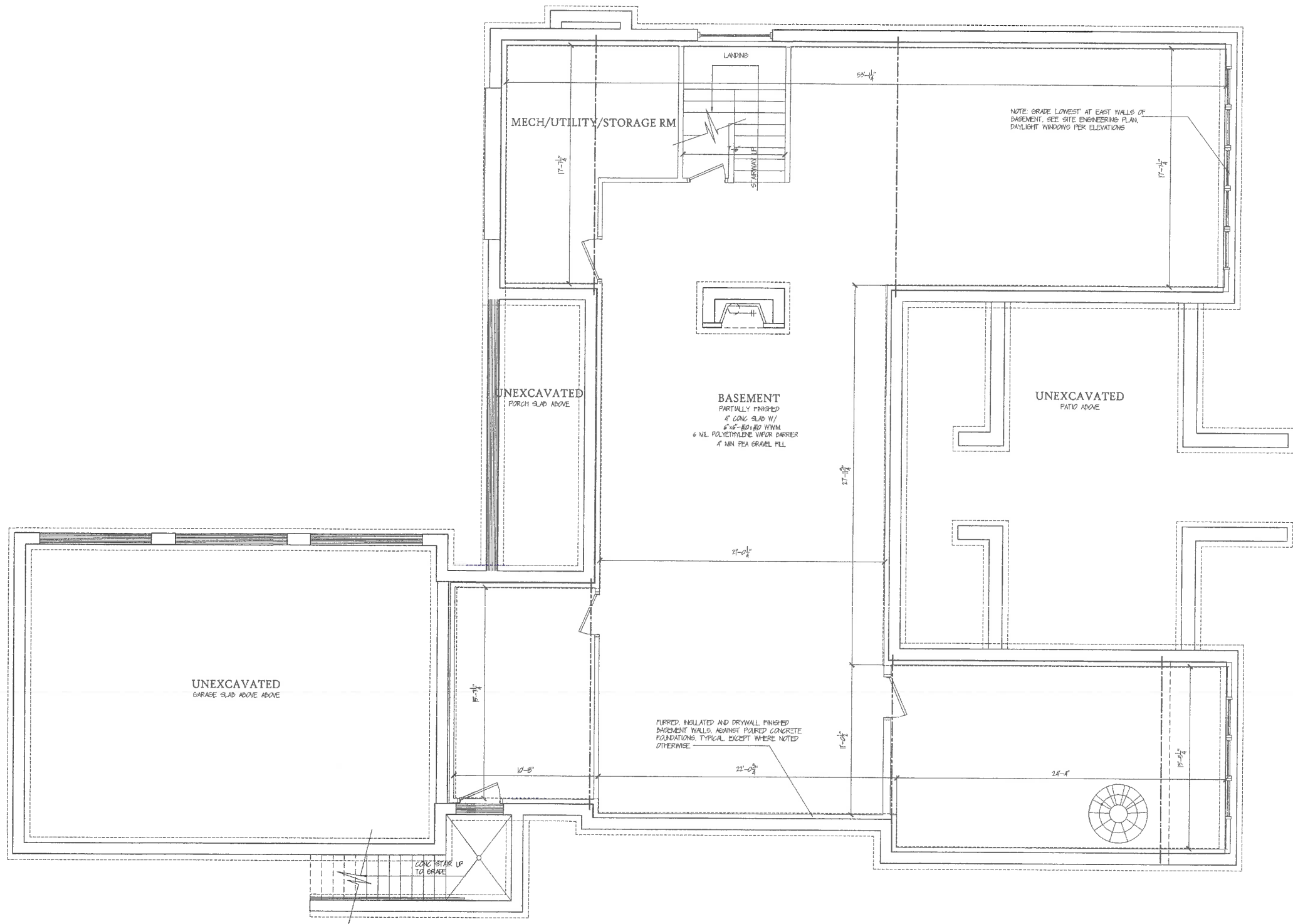
PROPOSED NORTH ELEVATION





A ROOF PLAN
SCALE 1/4" = 1'-0"

PROPOSED BASEMENT PLAN



A BASEMENT / FOUNDATION PLAN
SCALE 1/4"=1'-0"

Plans and Specifications for the
BERTUCCI RESIDENCE
885 Valley Road
in the City of Lake Forest, IL

- REVISED
- ☐ "BUBBLED" ☐ "HIGHLIGHTED"
- ☐
- ☐
- ☐
- ☐
- ☐
- ☐

- PHASE
- ☐ SCHEMATIC DESIGN
- ☒ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION DOCUMENTS

- RELEASED FOR
- ☒ INFORMATION
- ☒ ESTIMATING/BIDDING
- ☐ CONSTRUCTION

DESIGNER:	ALYONS
DRAWN BY:	ALYONS
ISSUE DATE	FOR
01/12/20	REVIEW
03/22/20	REVIEW
01/12/20	DRD

SCALE: AS SHOWN
PROJECT #: BERTUCCI

A2.0

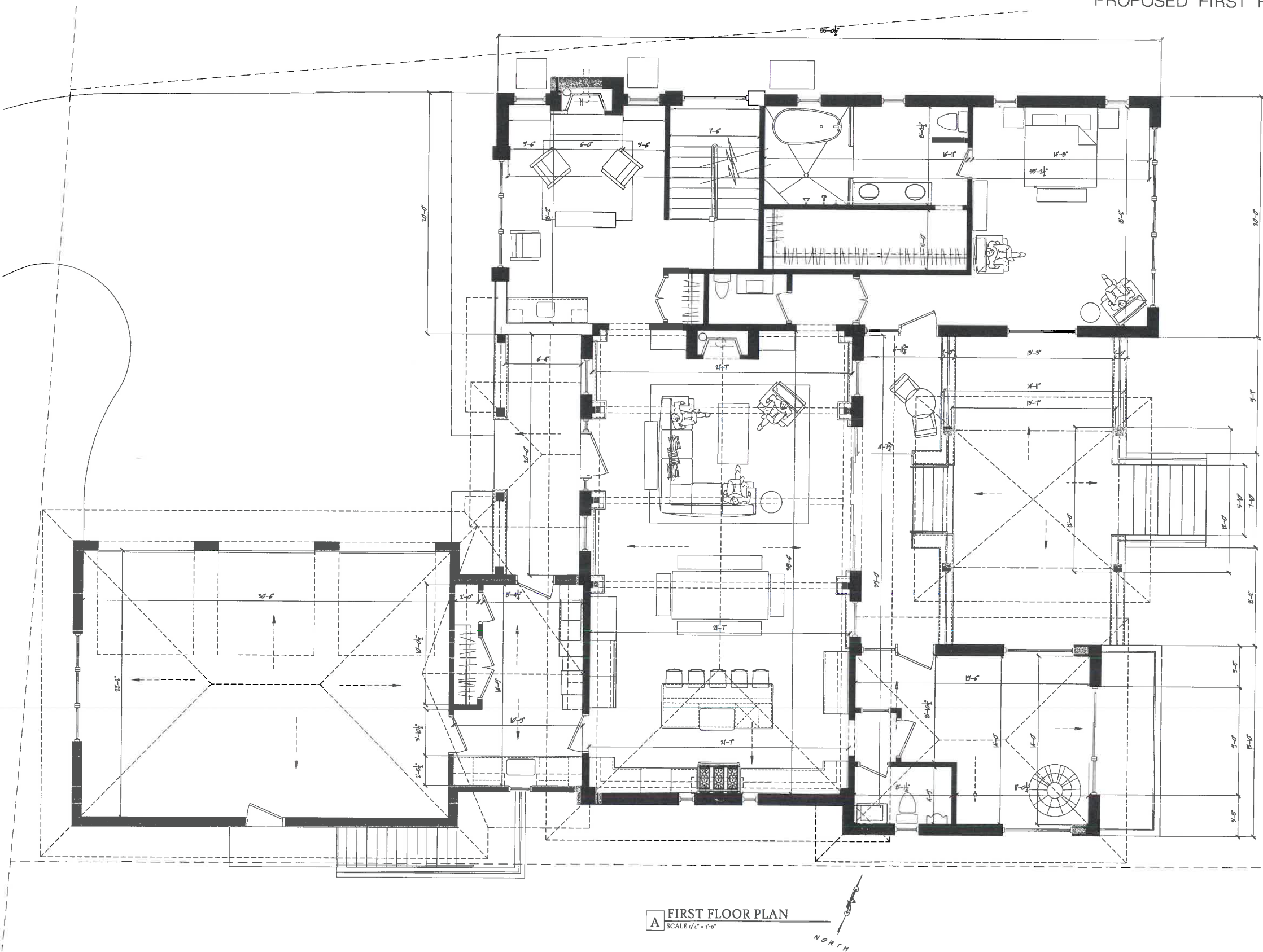
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DESIGN GROUP, LLC

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LEED AP NCARB, AIA, AIA
885 Valley Road, Lake Forest, IL 60045
(847) 291-1351
adam@lyonsdesigngroup.com
www.lyonsdesigngroup.com

LEED
AP
BD+C

AIA



A FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

THE LYONS
DESIGN GROUP, LLC

ADAM N. LYONS, Architect
LEED AP, NCARB, AIA, AIA

994 Mortara Lane, Mettawa, IL 60045
Tel: 847.791.3251
Email: lyonsdesigngroup@aol.com
Web: lyonsdesigngroup.com

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Plans and Specifications for the
BERTUCCI RESIDENCE
885 Valley Road
in the City of Lake Forest, IL

REVISED

☐ 'BUBBLED'

☐ 'HIGHLIGHTED'

☐

☐

☐

☐

☐

PHASE

☐ SCHEMATIC DESIGN

☒ DESIGN DEVELOPMENT

☐ CONSTRUCTION DOCUMENTS

RELEASED FOR

☒ INFORMATION

☒ ESTIMATING/BIDDING

☐ CONSTRUCTION

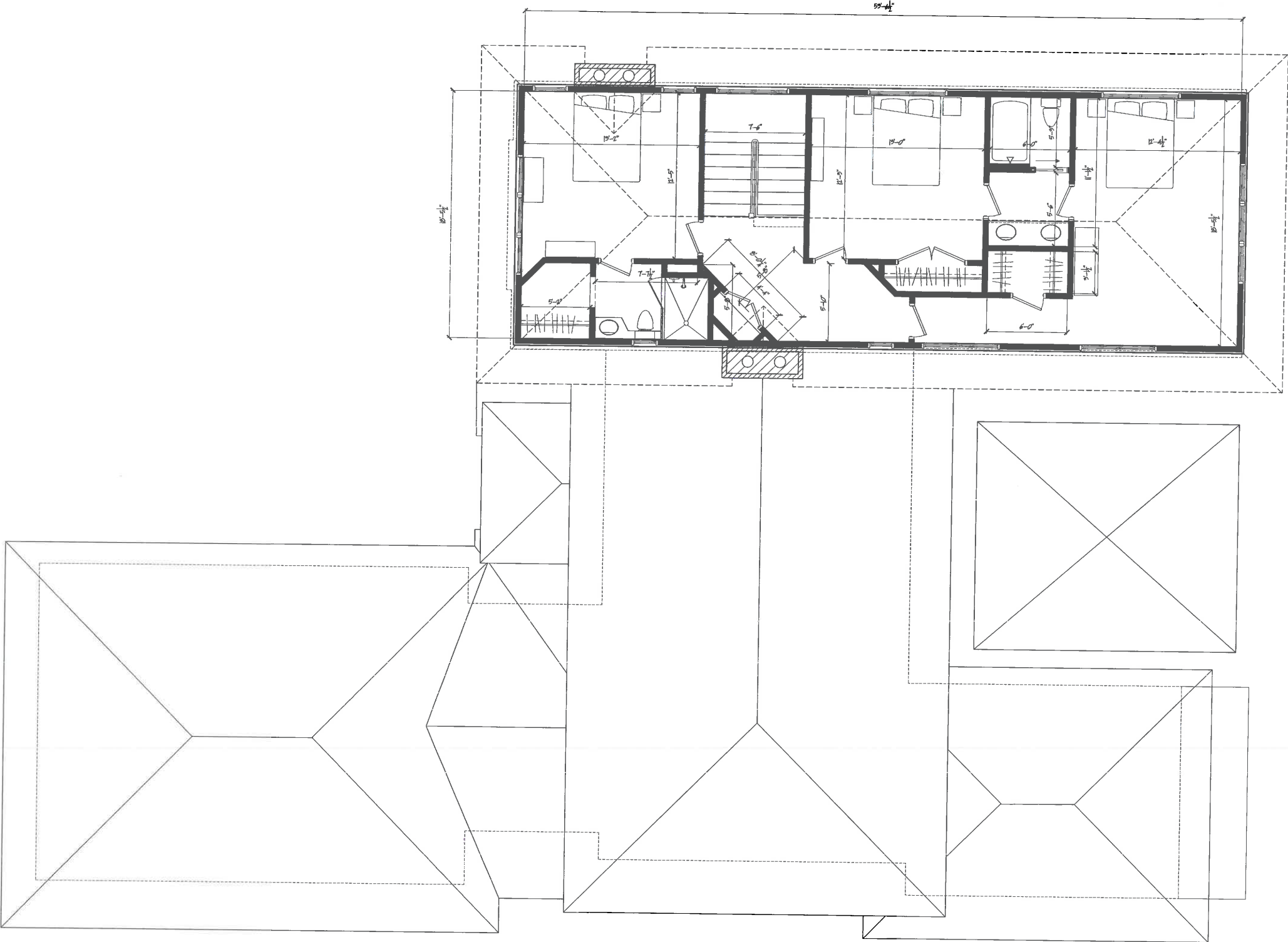
DESIGNER: ALYONS

DRAWN BY: ALYONS

ISSUE DATE	FOR	ISSUE DATE	FOR
122219	REVIEW	081120	BRD
122919	REVIEW	081820	BRD
010920	REVIEW		
010620	REVIEW		
011720	REVIEW		
010320	REVIEW		
011720	REVIEW		

SCALE: AS SHOWN
PROJECT #: BERTUCCI

A3.0



A SECOND FLOOR AND ROOF PLAN
SCALE 1/4" = 1'-0"

PROPOSED SECOND FLOOR PLAN

ISSUE DATE	FOR	ISSUE DATE	FOR
122319	REVIEW		
010320	REVIEW		
010620	REVIEW		
011720	REVIEW		
012320	REVIEW		
021220	REVIEW		
021920	PRD		

SCALE: AS SHOWN
PROJECT #: BERTUCCI

A4.0

Plans and Specifications for the
BERTUCCI RESIDENCE
885 Valley Road
in the City of Lake Forest, IL

REVISED
☐ 'BUBBLED' ☐ 'HIGHLIGHTED'

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PHASE
☐ SCHEMATIC DESIGN
☒ DESIGN DEVELOPMENT
☐ CONSTRUCTION DOCUMENTS

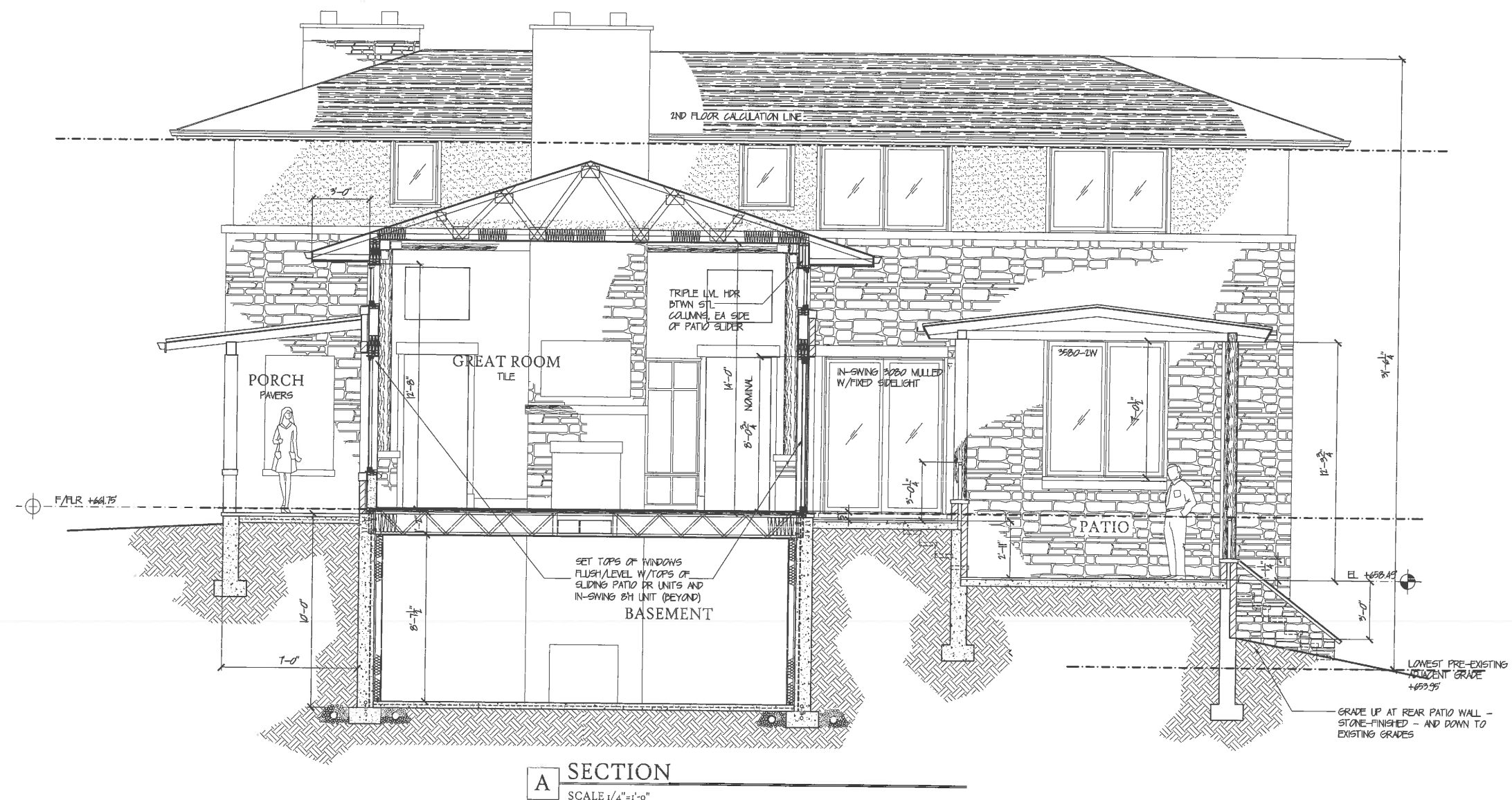
RELEASED FOR
☒ INFORMATION
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☐ CONSTRUCTION

DESIGNER: ALYONS
DRAWN BY: ALYONS

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PROPOSED BUILDING SECTION





C VALLEY ROAD
STREETSCAPE ELEVATION STUDY
SCALE 1"=30'

Survey provided by
R E Decker Professional Land Surveyors
114 E. Cook Avenue
Libertyville, IL 60048
847-362-0091
Field Work Completed Jan. 26, 2017

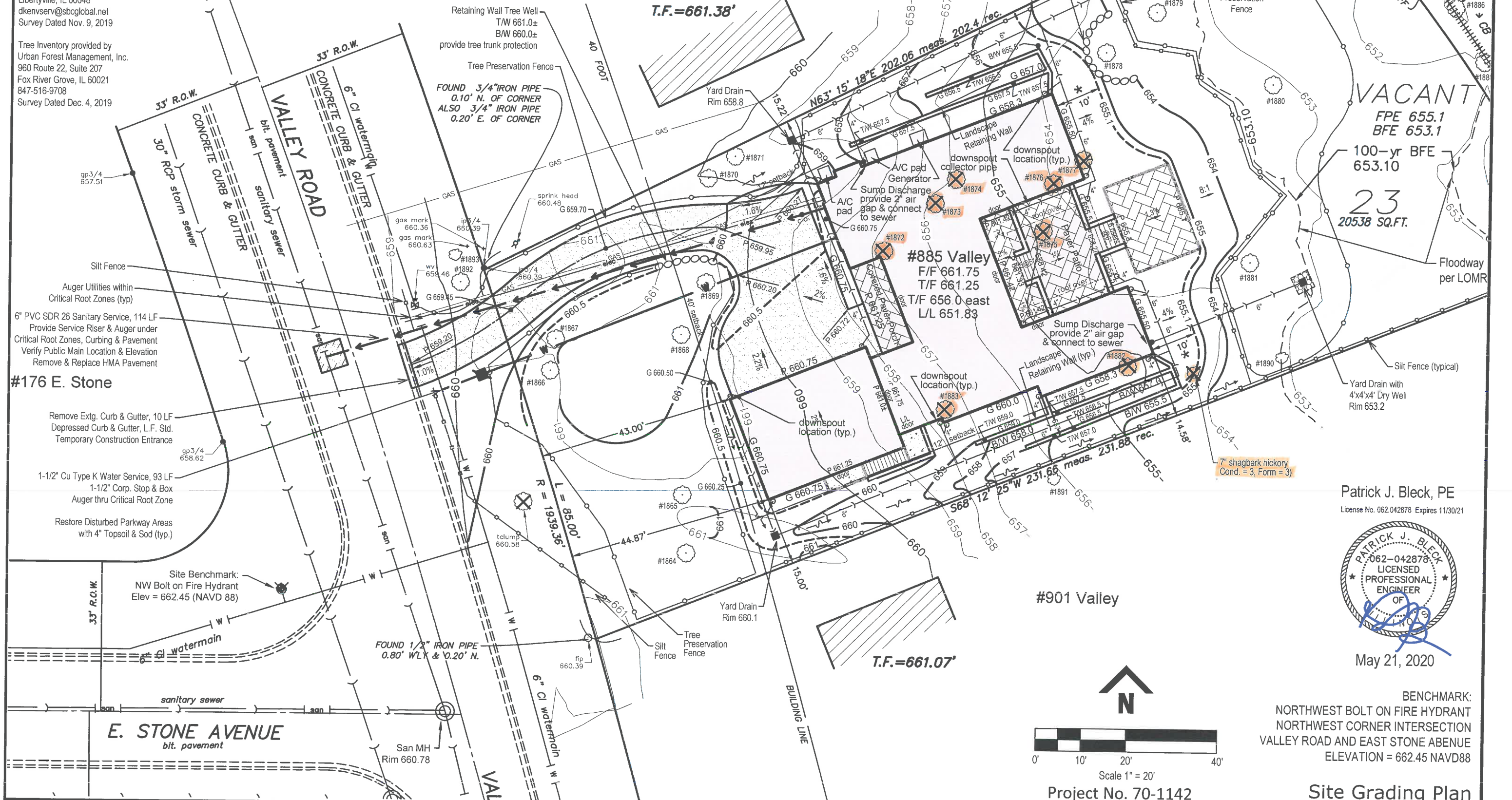
Wetland Delineation by
DK Environmental Services, Inc.
110 Woodland Road
Libertyville, IL 60048
dkenserv@sbcglobal.net
Survey Dated Nov. 9, 2019

Tree Inventory provided by
Urban Forest Management, Inc.
960 Route 22, Suite 207
Fox River Grove, IL 60021
847-516-9708
Survey Dated Dec. 4, 2019

885 Valley Road, Lake Forest, IL

LOT 23 IN BLOCK 6 IN H.O. STONE AND COMPANYS LAKE FOREST ADDITION, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 9 AND OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 28, 1924 AS DOCUMENT 249300, IN BOOK N OF PLATS, PAGES 60 AND 61, IN LAKE COUNTY, ILLINOIS. PIN 16-09-102-006

#875 Valley



TREE INVENTORY

Tree Inventory provided by
Urban Forest Management, Inc.
960 Route 22, Suite 207
Fox River Grove, IL 60021
847-516-9708
Survey Dated Dec. 4, 2019

TREE CONDITIONS

- 1 - excellent
- 2 - good/fair
- 3 - fair
- 4 - fair/poor
- 5 - poor
- 6 - dead

Tag No.	Botanical Name	Common Name	Size	Cond.	Form	Problems	Insect/Disease	Comments	Co-Leaders at DBH	Heritage Tree
1864	Quercus macrocarpa	Bur Oak	22	3	4	one sided, epicormics, slight sweep			Forked at 2' with a 15" co-leader.	
1865	Quercus alba	White Oak	20	3	3	minor deadwood, one sided, slight sweep, (10" co-leader also has trunk scar, decay, damaged leader)			Forked at 2' and 3.5' with 15", 10" co-leaders.	
1866	Quercus macrocarpa	Bur Oak	25	3	3	minor deadwood, weak crotch, double leader				Heritage Tree
1867	Quercus rubra	Northern Red Oak	12	3	4	minor deadwood, one sided, over-topped, slight sweep				
1868	Quercus macrocarpa	Bur Oak	19	3	4	minor deadwood, one sided, over-topped				Heritage Tree
1869	Quercus alba	White Oak	28	3	3	minor deadwood, basal scar				
1870	Quercus macrocarpa	Bur Oak	20	3	4	one sided, over-topped, epicormics, slight sweep				
1871	Quercus macrocarpa	Bur Oak	25	3	3	weak crotch, epicormics, multiple leaders				Heritage Tree
1872	Quercus macrocarpa	Bur Oak	22	3	3	minor deadwood				
1873	Quercus macrocarpa	Bur Oak	16	3	3	minor deadwood, thin crown, epicormics, double leader				
1874	Quercus macrocarpa	Bur Oak	23	4	4	basal decay, trunk scar, one sided, decay				
1875	Quercus macrocarpa	Bur Oak	15	6	4			Dead.		
1876	Quercus alba	White Oak	22	3	4	minor deadwood, trunk scar, one sided				
1877	Quercus macrocarpa	Bur Oak	20	3	4	minor deadwood, over-topped, slight sweep				
1878	Quercus macrocarpa	Bur Oak	12	3	4	minor deadwood, basal scar, one sided, sweep, metal in trunk, slight sweep				
1879	Quercus macrocarpa	Bur Oak	15	3	4	minor deadwood, one sided			Forked at .5' with a 7" co-leader.	Heritage Tree
1880	Quercus macrocarpa	Bur Oak	26	3	3	broken limbs, minor deadwood, multiple leaders				
1881	Quercus macrocarpa	Bur Oak	23	3	4	broken limbs, minor deadwood, one sided, damaged leader (21" co-leader), slight sweep				
1882	Quercus alba	White Oak	27	3	2	minor deadwood, multiple leaders			Forked at 3.5' with a 21" co-leader.	Heritage Tree
1883	Carya ovata	Shagbark Hickory	20	3	3	weak crotch, trunk scar, decay, multiple leaders				
1884	Quercus macrocarpa	Bur Oak	27	3	3	minor deadwood, slight sweep		Not tagged in field - located on adjacent neighbor property.		
1885	Quercus macrocarpa	Bur Oak	22	3	4	slight sweep, multiple leaders		Not tagged in field - located on adjacent neighbor property.		
1886	Populus deltoides	Eastern Cottonwood	21	3	3	minor deadwood, thin crown, double leader		Not tagged in field - located on Skokie Drainage Ditch property. Old tag #8225		
1887	Populus deltoides	Eastern Cottonwood	19	3	4	over-topped, erosion, slight sweep		Not tagged in field - located on Skokie Drainage Ditch property. Old tag #8226		
1888	Quercus rubra	Northern Red Oak	10	3	4	one sided, epicormics, slight lean, twist in trunk		Not tagged in field - located on Skokie Drainage Ditch property. Old tag #8224		
1889	Populus deltoides	Eastern Cottonwood	19	3	4	one sided, decay, multiple leaders		Not tagged in field - located on Skokie Drainage Ditch property. Old tag #8221		
1890	Quercus macrocarpa	Bur Oak	9	3	4	thin crown, epicormics, slight sweep				
1891	Quercus macrocarpa	Bur Oak	18	3	3	weak crotch, epicormics, basal swell, multiple leaders		Not tagged in field - located on adjacent neighbor property.		
1892	Ulmus americana	American Elm	11	2	4	one sided, over-topped, slight sweep		Not tagged in field - located in right-of-way.		
1893	Ulmus americana	American Elm	16	3	4	weak crotch, one sided, sapsucker damage, multiple leaders		Not tagged in field - located in right-of-way.		

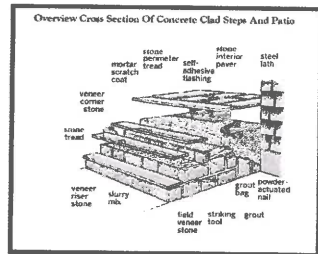


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20200 W. Winchester Rd. | Mundelein IL 60060
847-949-9245
info@buhrmandesigngroup.com

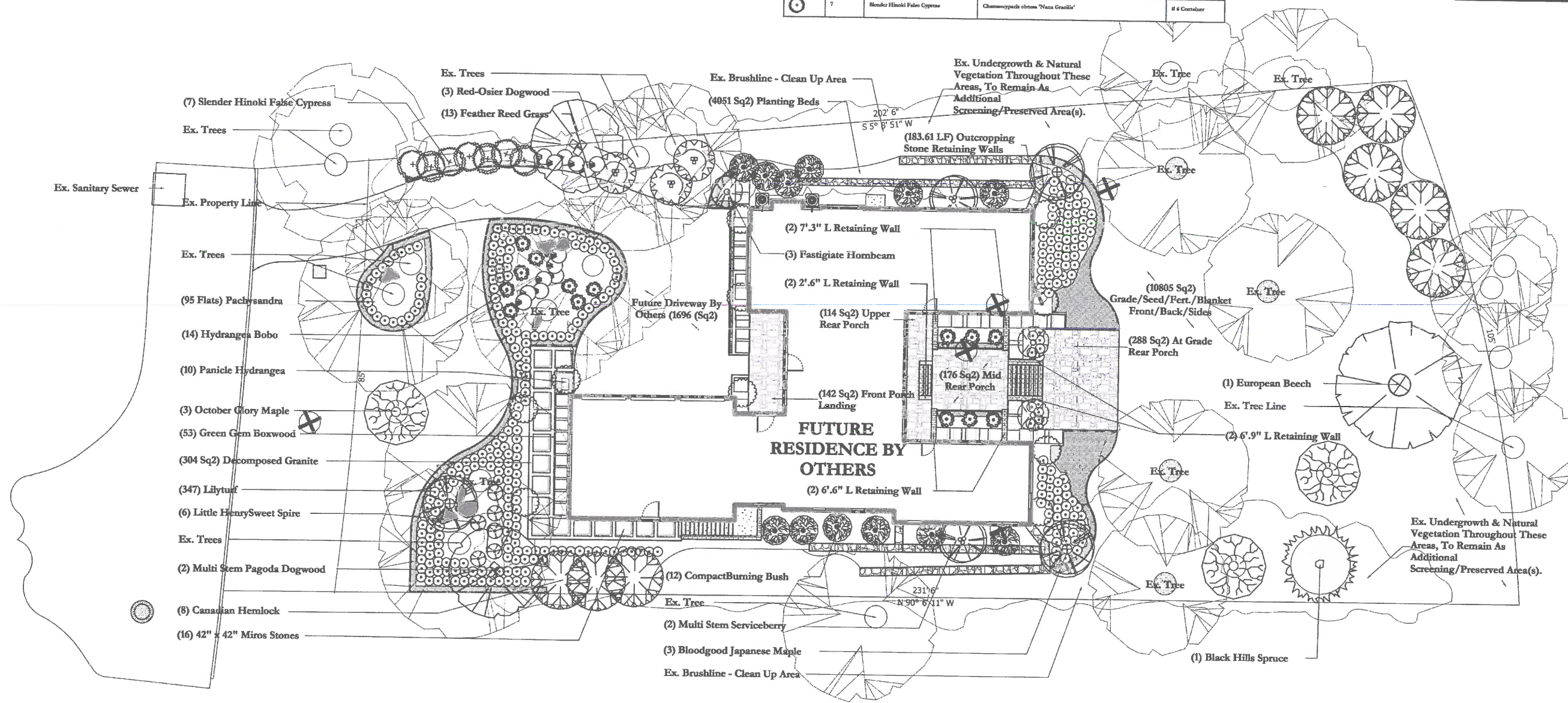
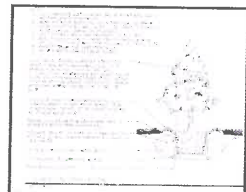
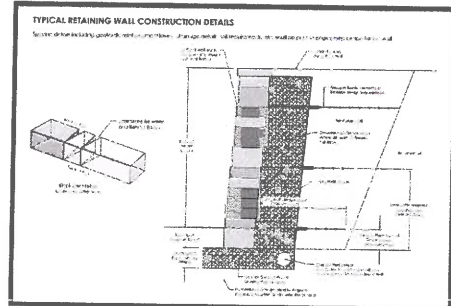
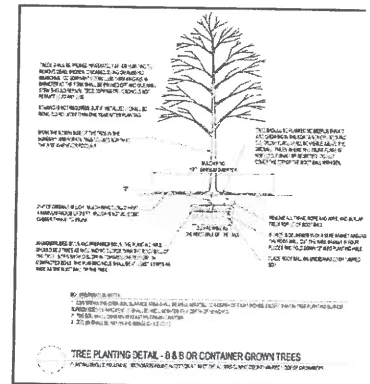
Artisan Concept Design
Actual Design Measurements,
Materials & Installation May
Vary





















Item Legend		
Symbol	Qty	Name
ROCKWORK/Assorted		
	1	Outcropping Accent Pieces
	1	Outcropping Accent Pieces
	2	Outcropping Accent Pieces
	3	Outcropping Accent Pieces

Plant Legend			
Symbol	Qty	Common Name	Botanical Name
Groundcover/Ornamental Grass			
	347	(347) Lilyturf	Lilopsis muscari
	13	Feather Reed Grass	Calamagrostis scutellari 'Karl Foerster'
Groundcover/Perennials			
	95 Flats	Japanese Spurge	Pachysandra terminalis 'Green Carpet'
Shrub/Deciduous			
	3	(3) Red-Osier Dogwood	Cornus sericea 'Inzari'
	6	Little Henry Sweetpire	Desa virgata 'Spitch'
	12	Compact Burning Bush	Hymenocallis 'Compactus'
	14	Hydrangea Bobo	Hydrangea paniculata 'HYBOBO'
	10	Panicum Hydrangea	Hydrangea paniculata
Topiary/Shrub			
	53	(53) Green Gem Boxwood	Buxus microphylla s. B. sempervirens 'Green Gem'
Tree/Deciduous			
	3	(3) October Glory Maple	Acer rubrum 'October Glory'
	3	Bloodgood Japanese Maple	Acer palmatum 'Bloodgood'
	1	European Beech	Fagus sylvatica
	2	Pagoda Dogwood	Cornus alternifolia
	2	Serviceberry	Aemodochia grandiflora
	3	Fastigate Hornbeam	Opuntia betula 'Fastigata'
Tree/Evergreen			
	8	Canadian Hemlock	Tsuga canadensis
	1	Black Hills Spruce	Picea glauca densata
	7	Slender Hinoki False Cypress	Chamaecyparis obtusa 'Nana Gracilis'

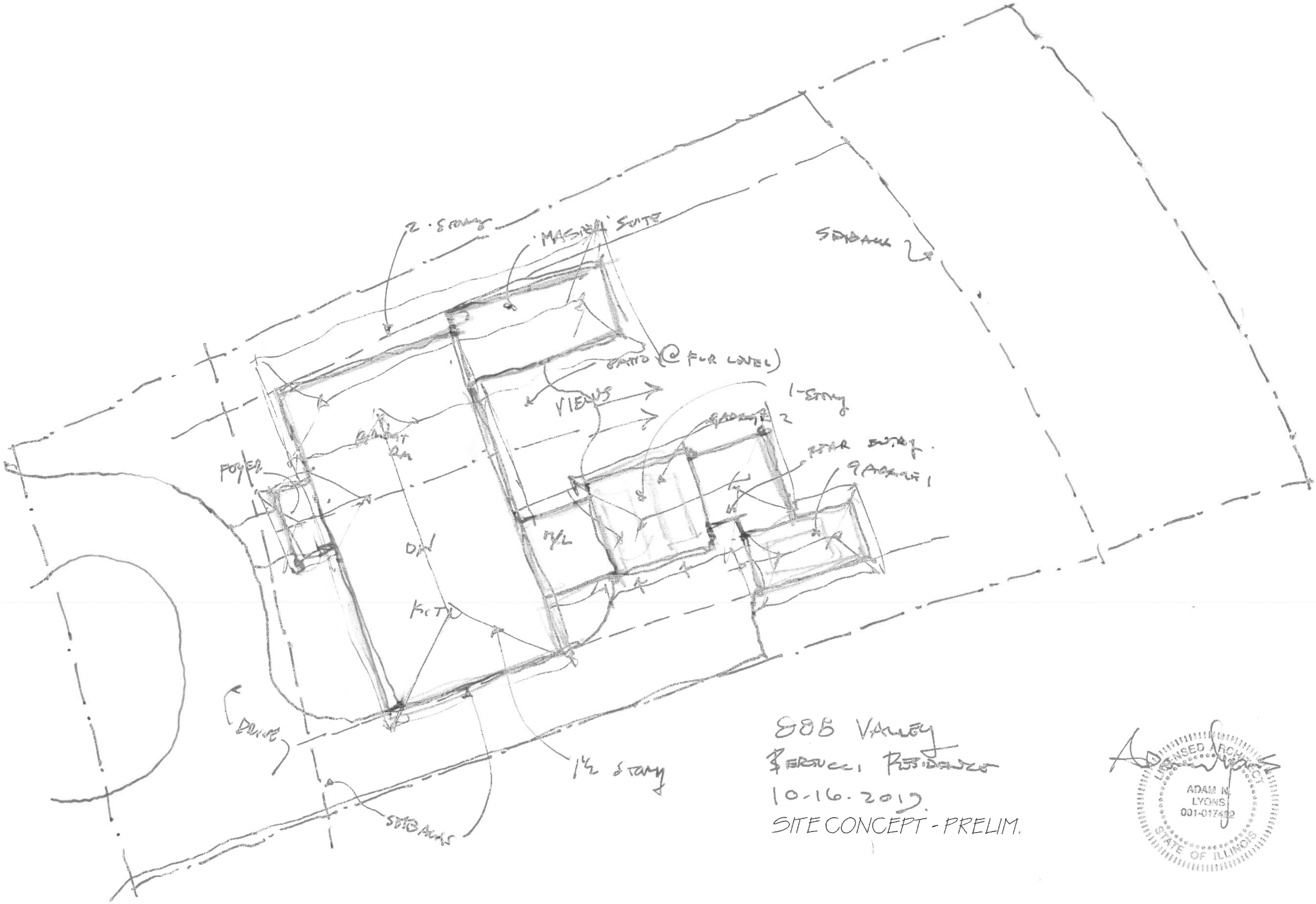
PROPOSED LANDSCAPE PLAN



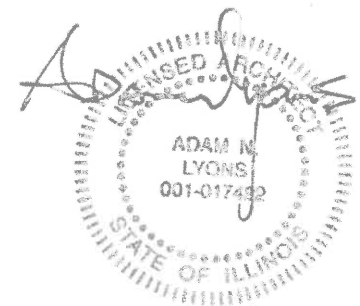
PROPOSED PLANTINGS

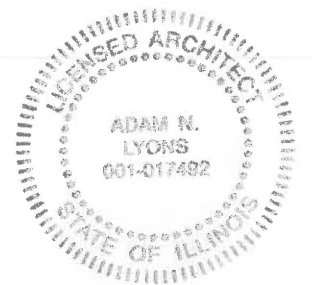
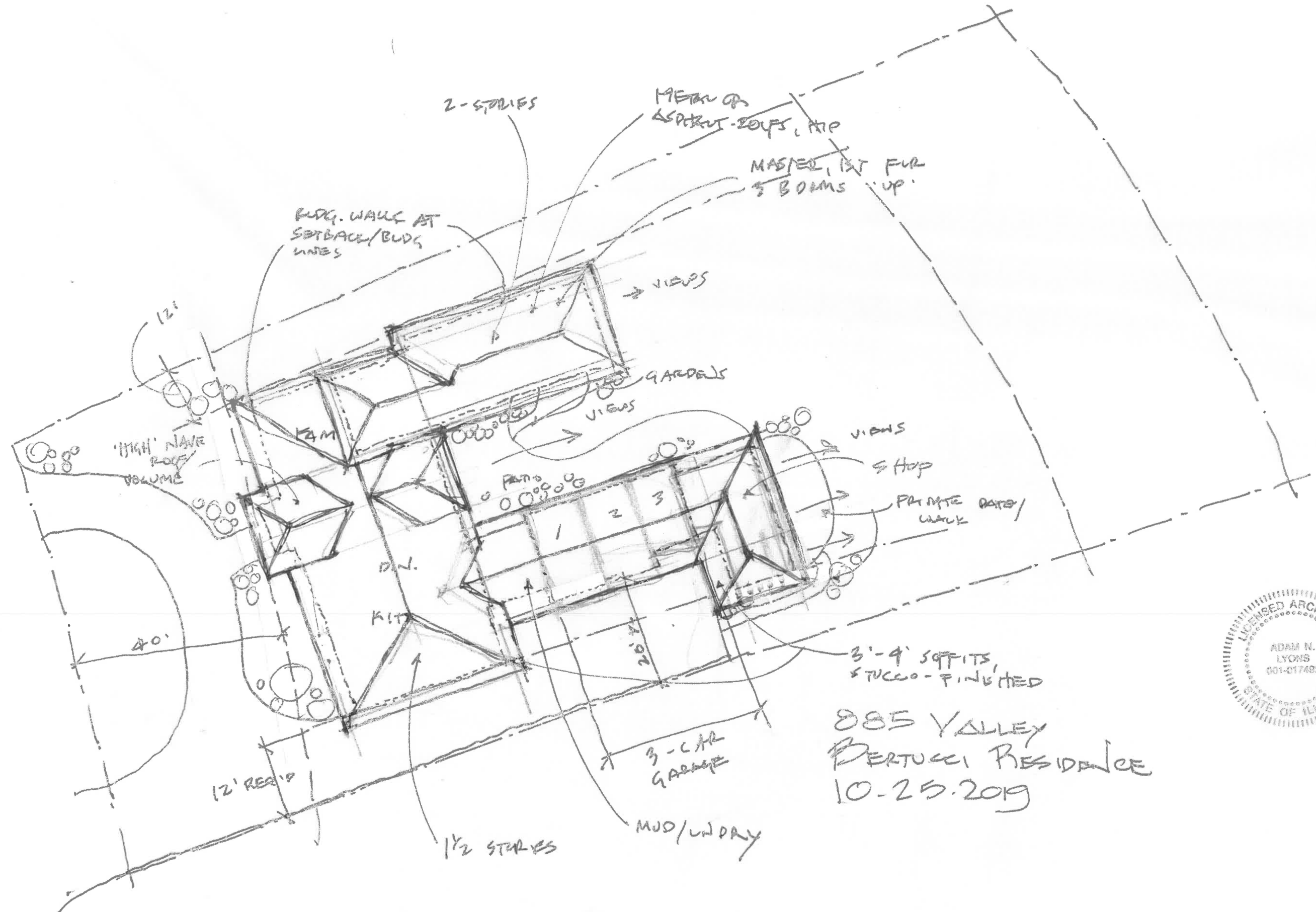
Plant Legend				
Symbol	Qty	Common Name	Botanical Name	Container
Groundcovers\Ornamental Grass				
	347	(347) Lilyturf	Liriope muscari	1 Gallon
	13	Feather Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	1 Gallon
Groundcovers\Perennials				
	95 Flats	Japanese Spurge	Pachysandra terminalis 'Green Carpet'	24 Cell Count
Shrubs\Deciduous				
	3	(3) Red-Osier Dogwood	Cornus sericea 'Isanti'	36" B&B
	6	Little Henry Sweetspire	Itea virginica 'Sprich'	3 Gallon
	12	Compact Burning Bush	Euonymus alatus 'Compactus'	36" B&B
	14	Hydrangea Bobo	Hydrangea paniculata 'ILVOBO'	3 Gallon
	10	Panic Hydrangea	Hydrangea paniculata	36" B&B
Topiary\Shrubs				
	53	(53) Green Gem Boxwood	Buxus microphylla x. B. sempervirens 'Green Gem'	24" B&B
Trees\Deciduous				
	3	(3) October Glory Maple	Acer rubrum 'October Glory'	3" Cal.
	3	Bloodgood Japanese Maple	Acer palmatum 'Bloodgood'	8' Multi Stem
	1	European Beech,	Fagus sylvatica	3" Cal.
	2	Pagoda Dogwood	Cornus alternifolia	8' Multi Stem
	2	Serviceberry	Amelanchier grandiflora	8' Multi Stem
	3	Fastigate Hornbeam	Carpinus betulus 'fastigiata	3" Cal.
Trees\Evergreen				
	8	Canadian Hemlock	Tsuga canadensis	8' B&B
	1	Black Hills Spruce	Picea glauca densata	8' B&B
	7	Slender Hinoki False Cypress	Chamaecyparis obtusa 'Nana Gracilis'	# 6 Container

SUPPLEMENTAL MATERIALS SUBMITTED BY PETITIONER
PRELIMINARY SITE & DESIGN STUDIES

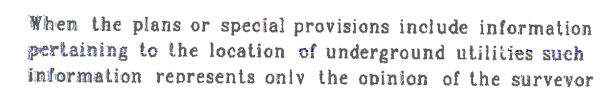


885 VANNEY
PERU, INDIANA
10-16-2017
SITE CONCEPT - PRELIM.





885 VALLEY
BERTUCCI RESIDENCE
10-25-2019





END PERSPECTIVE STUDY
12.13.15



VIEW FROM 'VAUVEY'
STUDY 2 - 12.12.19

Agenda Item 4
846 Northmoor Road
Second Story Addition and Exterior Alterations

Staff Report
Building Scale Summary Sheet
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Existing Site Plan
Proposed Site Plan and Impervious Surface Calculations
Existing South Elevation
Proposed South Elevation
Proposed South Elevation Color Rendering
Existing West Elevation
Proposed West Elevation
Existing North Elevation
Proposed North Elevation
Existing East Elevation
Proposed East Elevation
Existing Roof Plan/Demolition Plan
Proposed Roof Plan
Proposed Building Section
Existing Basement Plan
Basement Demolition Plan
Proposed Basement Plan

Existing First Floor Plan
First Floor Demolition Plan
Proposed First Floor Plan
Proposed Attic Plan
Images of Existing House

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.

846 Northmoor Road

Consideration of a request for approval of a second floor addition and various exterior alterations to a single family home.

Property Owners: Stanislaw & Patrycja Szafranski

Project Representative: Joanna Druzgala, architect

Staff Contact: Jen Baehr, Assistant Planner

Summary of Request

This is a request for approval of a second story addition, complete removal of the existing roof is proposed. The existing exterior walls and building footprint will remain based on the information submitted. A covered deck is proposed at the rear of the house, the new roof form is proposed to extend over a new deck. Various other exterior alterations are also proposed.

The second story addition is intended to provide attic space and in some areas, increased ceiling height in first floor spaces. No living space is proposed in the space under the new roof. The height of the existing exterior walls will be raised. The proposed exterior alterations include new exterior materials, infill of existing openings, new openings, window and door replacement, a dormer on the front elevation above the garage, and decorative canopy elements.

The property owners purchased the property in January. Based on the petitioner's statement of intent, the proposed alterations are intended to make the home more suitable for modern day living and update the home's appearance. The statement of intent and supporting materials submitted by the petitioner are included in the Board packet and more fully explain the overall project.

Description of Property

This property is located on the north side of Northmoor Road, between Wooded Lane and Sheridan Road. The property is rectangular in shape and is 11,250 square feet in area. The existing house was constructed in 1959 and is a one-story ranch home with an attached two car garage. Based on City records, very few modifications have been made to the house since its construction. The surrounding neighborhood contains a mix of one and two-story houses of varying ages and architectural styles.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Site Plan – This standard is met.

The original footprint of the house and garage will be maintained along with the driveway. The existing siting of the house is generally aligned with the other homes on Northmoor Road. The new covered deck is proposed on the rear of the house. An extension of the sidewalk along the rear of the house is also proposed.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,875 square feet is permitted on the site with up to an additional 288 square feet in design elements and 576 square feet for a garage.

- The existing house totals 1,752 square feet.

- The proposed second story addition totals 1,054 square feet.
- The proposed covered deck totals 265 square feet and is identified as a design element and is exempt from the total square footage of the house.
- The square footage of the existing residence, with the proposed additions, is 2,806 square feet, and is 69 square feet, or 2.4% under the total allowable square footage.

The maximum height for this property is 30 feet. The house with the proposed second floor addition is 27 feet tall, when measured from the adjacent point of existing lowest grade to the highest roof peak. The proposed height of the house is compatible with surrounding homes.

Elevations – This standard is generally met.

South (Front) Elevation

- The front elevation presents a one and half story massing, with a front facing gable and hip roof above the garage.
- The front façade preserves the existing location of the front entry but provides more detail to that element with a square column and hip roof above. The column as reflected on the elevation appears thin and out of proportion with other elements of the house.
- The existing sidelight adjacent to the front door is proposed for removal. As a result, the front entry appears narrow and understated particularly in light of the increased massing proposed on the front elevation.
- Limestone is proposed along the base of the home only on the front façade. The size of the limestone blocks appears out of scale with the overall home the appearance of the mass of the blocks appears somewhat diminished on the conceptual color elevation. Consideration should be given to assuring that the limestone base does not appear out of scale with the other materials and elements of the home. Traditionally, architectural elements, such as a base, would be carried around the house to provide a consistent level of detailing on all four elevations.
- The location of the large picture window on the first floor will remain, and a new window will be installed.
- On the proposed second floor addition a gable end with a large window is proposed centered on the picture window below.
- The existing paneled garage door will be removed and replaced with a new wood garage door. Above the garage door, a dormer is proposed with a horizontal shape window. The form of the window appears inconsistent with the proportions of the front elevation. Consideration should be given to shifting the window down from the eave and perhaps expanding the height of the window slightly.
- Decorative wood canopy elements are proposed above the picture window and garage door adding a contemporary feel to the front elevation.

Board input on the various aspects of the front elevation noted above is requested including, but not limited to:

- The entry door and column.
- The limestone base.
- The shape of the window in the dormer above the garage. The horizontal shape of the window seems out of character with the proportions of the home. Windows with more vertical proportions or square shape windows may be more appropriate.

West Elevation

- The existing doors on the west elevation will be removed and filled in with brick. The windows on the north end will also be removed and filled in with brick. The single and double window openings on the south will remain. New replacement windows will be installed in these openings.
- The west elevation as proposed features a large gable end with a new double window in the center.
- The kitchen is located in the northwest corner of the house, resulting in a large solid wall on the exterior to accommodate cabinetry.
- Consideration could be given to breaking up the large expanse of the brick wall by having some openings or landscaping on the north end of the elevation to break up the large solid mass.

Board input on the unbroken expanse of wall as a result of the removal of existing windows is requested.

North (Rear) Elevation

- The existing door and stoop on the rear will be removed.
- A new single window will be installed in the existing door opening, and will be filled in below with brick.
- The existing window openings on the rear will remain, and replacement windows will be installed.
- A covered deck is proposed on the east side of the rear elevation.
- The existing chimney will remain and will be extended to meet Code requirements.
- A clay chimney pot of appropriate scale should be reflected and noted on the drawings.

East Elevation

- The proposed east elevation features a large gable form with a double window in the center.
- The large existing windows on the north end will be replaced with a sliding glass door accessing the new deck.
- The single window openings on the elevation will remain and will have replacement windows. The existing double window opening will be modified for a new single replacement window.

Type, color, and texture of materials – This standard is generally met.

The exterior materials are simple and generally appropriate for the style of the home and the neighborhood. The existing brick on the exterior of the home will remain. In areas where the exterior walls will be raised and filled in, new brick to match the existing will be used. A limestone base is proposed on the front elevation as discussed above, the scale and texture of the limestone should be considered for appropriateness to the scale and residential character of the house. A composite horizontal siding product is proposed on the gable walls. A composite material is proposed for the trim, soffit, and fascia. An asphalt shingle roof and aluminum gutters and downspouts are proposed. The new and replacement windows will be aluminum clad wood windows, muntins are not proposed, appropriate for design intent of a contemporary style house. The new deck will be wood.

- Staff recommends that natural materials are used for areas like trim, soffits and fascia boards in an effort to incorporate more natural materials that are consistent with the surrounding neighborhood.

Landscaping – This standard is not fully met.

The footprint of the existing house will not change as a result of this request. The existing landscaping will not be impacted by the proposed second story addition or exterior alterations. However, the height and as a result the mass of the house is increasing. Consideration should be given to adding some limited landscaping that will over time, help to soften the additional mass of the house.

No changes are proposed to the existing curb cut or driveway.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendations

If desired by the Board, continue consideration of the petition to allow the petitioner to address any comments, suggestions or concerns raised by the Board.

If the Board chooses to recommend approval of the a second floor addition and the associated removal of the roof, addition of a covered deck and various exterior alterations, staff recommends that the approval be subject to the following conditions. Staff will prepare findings to reflect the Board's approval.

- a. The plans shall be refined to address any aspects of the projects identified by the Board. (To be detailed below.)
2. All modifications and refinements made to the plans that were presented to the Board, either in response to Board direction, including the items detailed above, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Details of exterior lighting, if any is proposed, shall be submitted with the plans submitted for permit. All fixtures shall direct light downward and the source of the light shall be fully shielded from view from off of the site.
4. A landscape plan reflecting limited additional plantings shall be submitted and will be subject to staff review and approval.
5. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of

Community Development. On street parking is limited to two cars immediately in front of this property due to the narrowness of the street.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 846 Northmoor Road Owner(s) Stanislaw & Patrycja Szafranski
 Architect Joanna Druzgala Reviewed by: Jen Baehr
 Date 7/1/2020
 Lot Area 11250 sq. ft.

Square Footage of Existing Residence:

1st floor 1752 + 2nd floor 0 + 3rd floor 0 = 1752 sq. ft.

Design Element Allowance = 288 sq. ft.

Total Actual Design Elements = 17 sq. ft. Excess = 0 sq. ft.

Garage 464 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 22 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 1752 sq. ft.

Square Footage of Proposed Addition:

1st floor 0 + 2nd floor 1054 + 3rd floor 0 = 1054 sq. ft.

Excess New Garage Area Excess = 0 sq. ft.

Excess New Design Elements Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 2806 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2875 sq. ft.

DIFFERENTIAL = -69 sq. ft. **NET RESULT:**
Under Maximum

69 sq. ft. is

Allowable Height: 30 ft. Actual Height 27 ft. 2.4% under the
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 288 sq. ft.

Front & Side Porches = 265 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 17 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

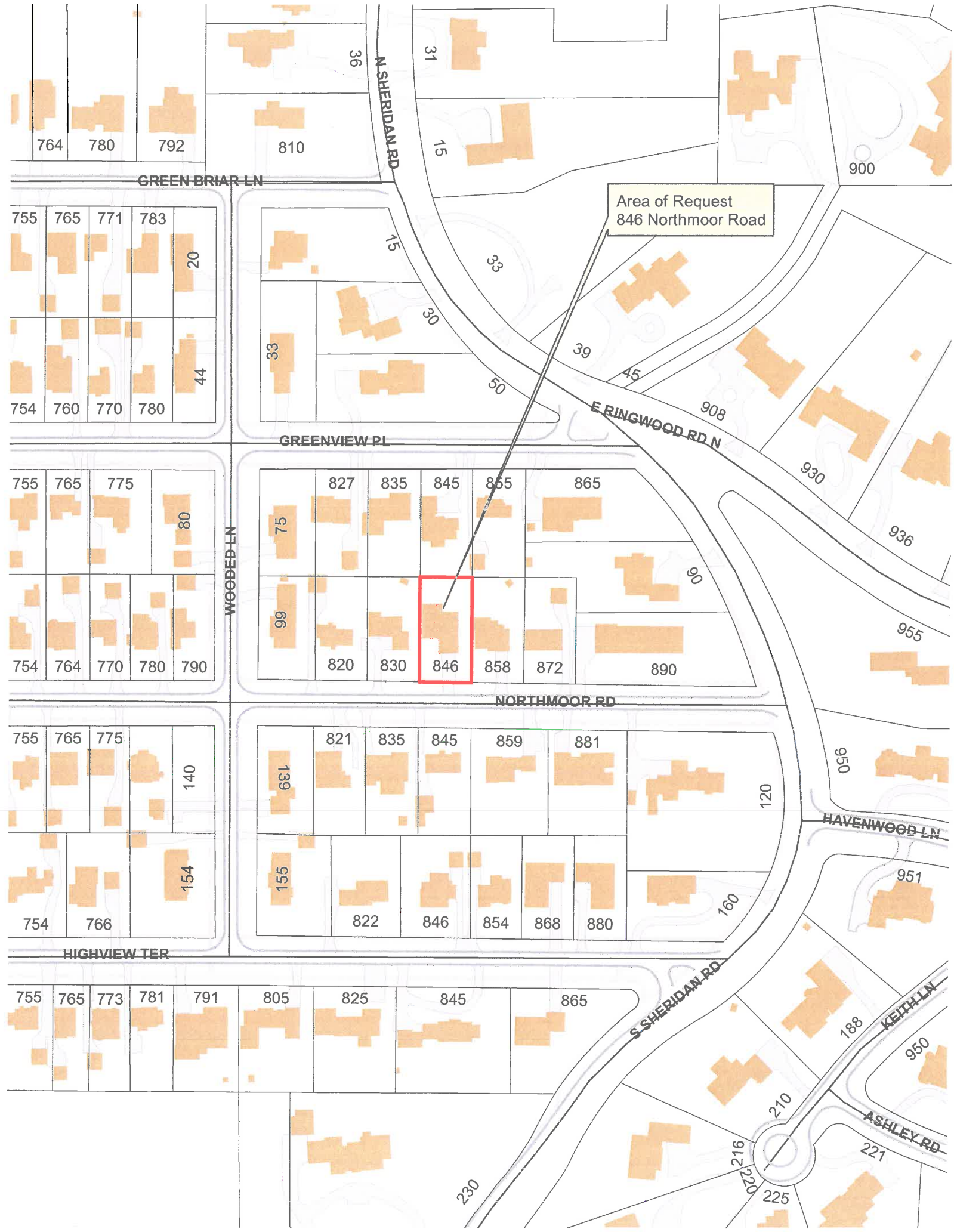
Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 282 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
846 Northmoor Road

764 780 792

755 765 771 783 20
754 760 770 780 44

755 765 775 80
754 764 770 780 790

755 765 775 140
754 766 154

755 765 773 781 791 805 825 845 865

36 810 15 33 30 33 39 45 50

827 835 845 855 865
75 66 820 830 846 858 872 890

821 835 845 859 881
139 551 822 846 854 868 880 120 160

900 908 930 936 955 950 951 188 950 210 225 220 230 221

Area of Request
846 Northmoor Road





Area of Request
846 Northmoor Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS **846 Northmoor Rd. Lake Forest IL. 60045**

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Stanislaw & Patrycja Szafranski

Owner of Property

846 Northmoor Rd.

Owner's Street Address (may be different from project address)

Lake Forest IL. 60045

City, State and Zip Code

773-937-3300

Phone Number

Fax Number

patrycjaszafranski@yahoo.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Joanna M. Druzgala

Name and Title of Person Presenting Project

Name of Firm

442 Shermer Rd.

Street Address

Glenview IL. 60025

City, State and Zip Code

773-537-5463

773-681-7336

Phone Number

Fax Number

infogsj@yahoo.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☒ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name Patrycja Szafranski	Name Stanislaw Szafranski
Address 846 Northmoor Rd. Lake Forest IL.	Address 846 Northmoor Rd. Lake Forest IL.
Ownership Percentage 50 %	Ownership Percentage 50 %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

STATEMENT OF INTENT

Patrycja and Stan Szafranski are requesting a certificate of appropriateness for a home renovation on the property located at 846 Northmoor Rd Lake Forest.

Property home history:

This property was built in 1959 as 1,874 square foot house, sits on a 0.25 acre lot and features 3 bedrooms and 1.5 bathrooms. Patrycja and Stan purchased the house in January 2020.

General overview of current home and issues:

The Szafranskis fell in love with this mid-century ranch in the beautiful Northmoor neighborhood very near downtown Lake Forest, South Park, the bike path and with overall presence on the property. Stan as young but already very experienced carpenter contractor saw a great opportunity to rehab or expand this home when he just came to this house for the first time. Also Patrycja's with her father who is also working in construction business for over 30 years had their visions. So the Szafranskis decided to purchased the property and invest in the home; to remodel it into their family needs. They hope to be able to renovate the house before winter and move in to enjoy comfortable living with their two dogs and future children that they are dreaming to rise in that house and enjoy the neighborhood. These are the issues which our proposal has identified:

- The existing first floor plan is currently not suited for how family lives in the 21st century. The kitchen is not open to any livable comfortable spaces. The home lacks a typical dining room to host a dinner during the special holidays such as Christmas. It lacks a space where the family can spill over.
- The powder room and stairs with closets dividing and separating the kitchen from the living and family room.
- The existing first floor plan lacks a typical mudroom and outdoor patio/deck to enjoy the backyard.

General overview of current home and issues:

The proposal shifts the stairs to the east, dividing family room from the front entrance. We moved the powder room to occupy existing bathroom location allowing for open space layout. This space will be multi-purpose, from informal eating, general relaxation, to the formal dining. With the open space layout, direct connection to the kitchen, the everyday functionality of the home has been vastly improved.

The removal of the existing northeast bedroom allows space for the proposed new mudroom provides necessary space for owner who is working as the contractor as well as for two dogs that will enjoy living in that house too. This location provides good flow from the existing 2 car garage into the house living area. The other half will be used for the private family bathroom.

The proposed outdoor deck on the southeast side of the house will allow kids to play and spend more time outside as well as for the outdoor relaxation after work.

Massing:

The existing home is fairly straight forward in its massing. The wide massing main block of the home with the attached two cars garage is one-story element with the hipped low-pitched roof with wide overhanging eaves. Entrance doors are sheltered under the main roofline.

The proposed exterior alteration of the existing house is raising the 1st floor ceiling and modifying the roof slope, from the existing (18.4°) 4/12 slope to (30.2°) 7/12 slope to allow use new attic space as a storage area or for future attic expansion. The proposed new simple roof shape does not encroach upon any required setbacks. The proposed new house massing clearly shows location of the main body of the house and the entry for people. The decorative canopy above the front window will be made from cedar wood and attached to the wall with the metal rods. The front post will be made from cedar.

Materials & Details:

We will be reusing as much of the existing common brick as possible. We will be augmenting it with new brick to match. All the gutters, downspouts, leader heads will be replaced with new one and will be aluminum. The proposed exterior deck will be made from wood. The doors and windows will be aluminum clad. The proposed roof will be made from composition shingles.

We thank you for the opportunity to present our proposed renovation project to the City of Lake Forest Building Review and look forward to transforming this home and making it relevant for the next generation.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input checked="" type="checkbox"/> Other LP smart wood siding ____ |
- Color of Material_ **common brick to match existing**

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood
☒ Aluminum Clad
Vinyl Clad
☐ Other _____
Color of Finish_ **dark brown** _____

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other **LP smart wood** ____

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☐ Synthetic Material _____
☒ Other **LP smart wood** ____

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other **LP smart wood** ____
☐ Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles _____
- ☐ Sheet Metal _____
- ☒ Other **Asphalt shingles** _____

Flashing Material

- ☐ Copper
- ☒ Sheet Metal **dark brown** _____
- ☐ Other _____

Color of Material **back**

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other **dark brown** _____

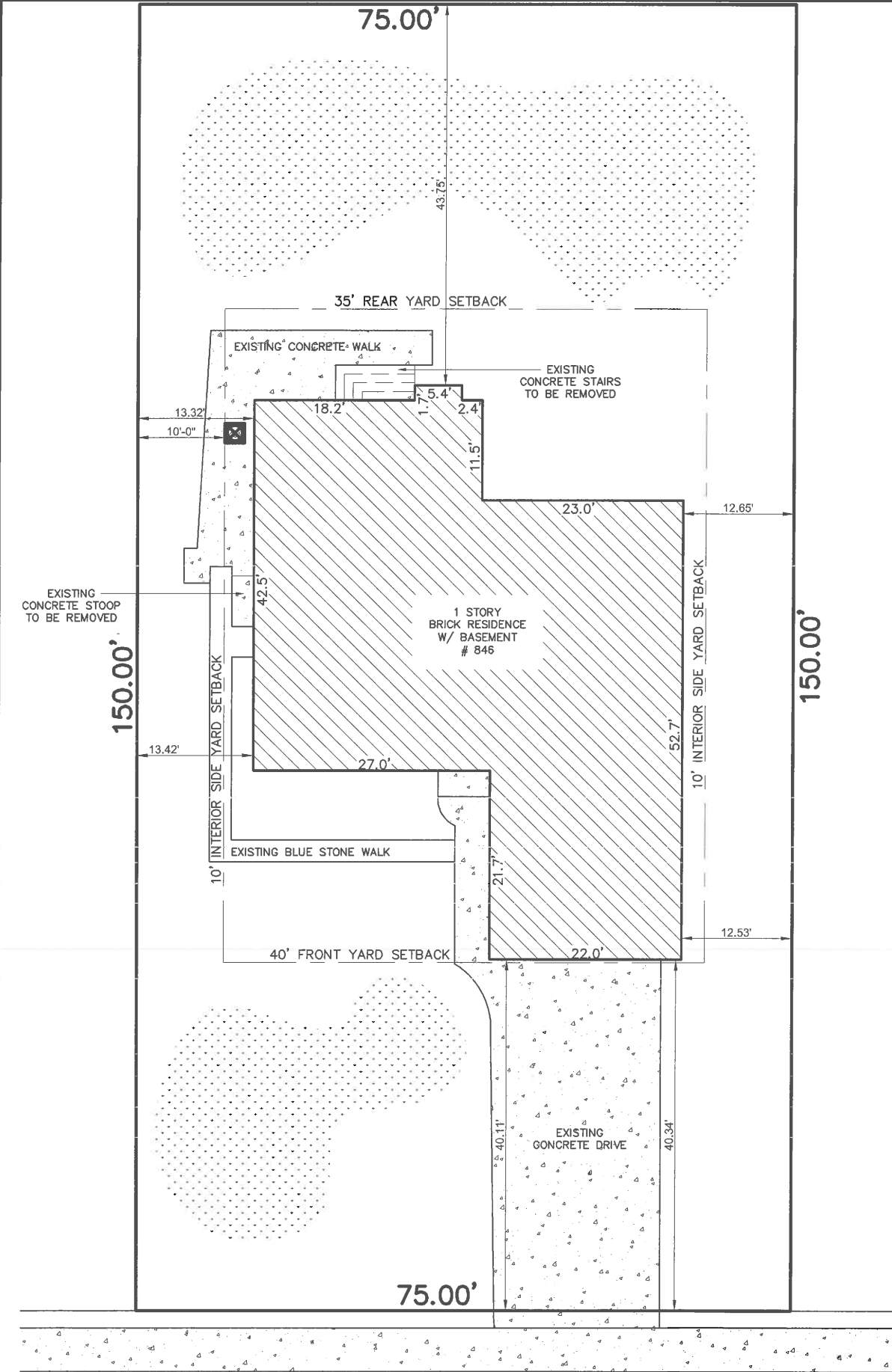
Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☒ Other **existing concrete**

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☒ Other **wood deck** _____

EXISTING SITE PLAN

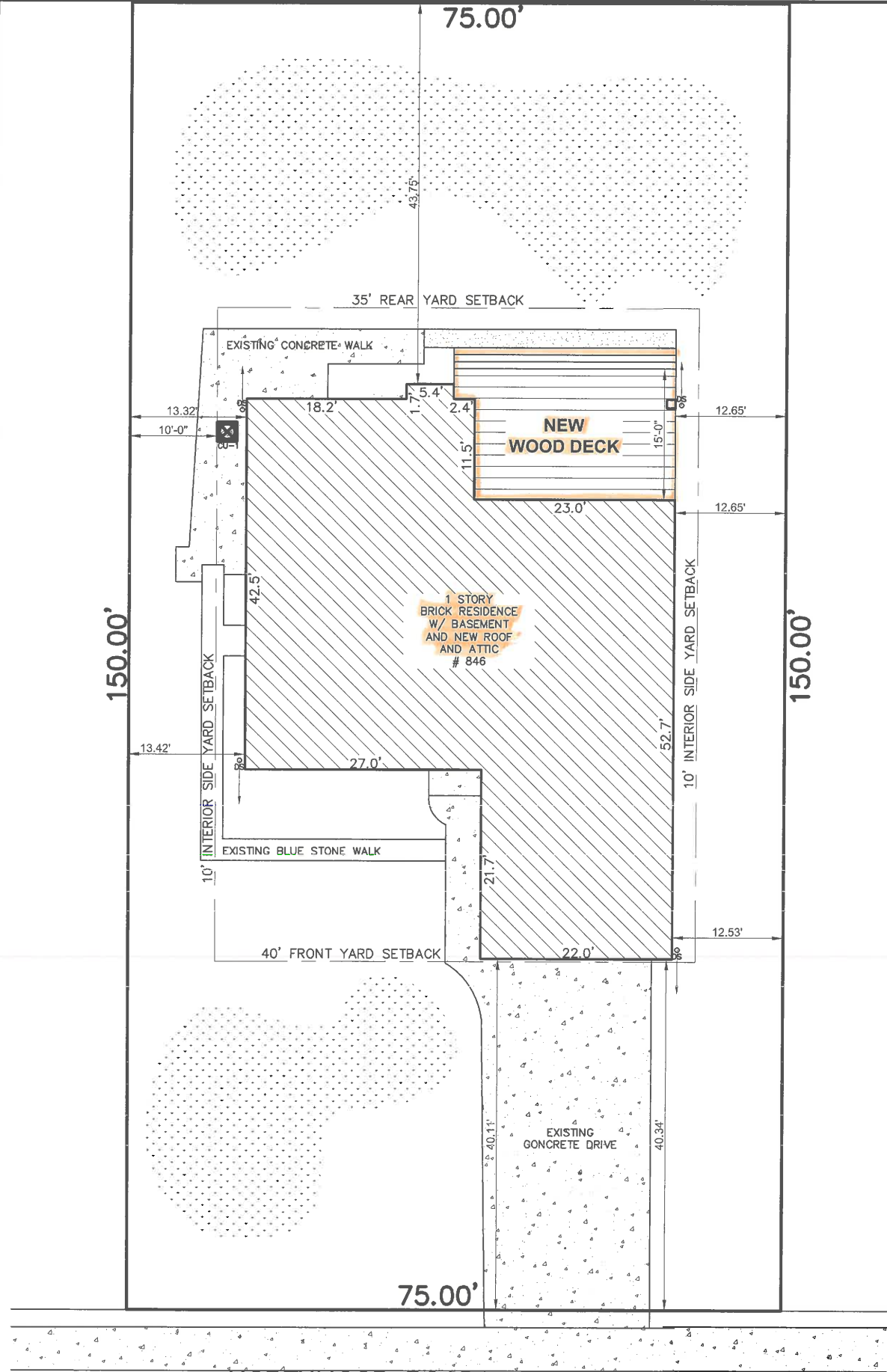


EXISTING AND DEMOLITION SITE PLAN
SCALE: 1/16" = 1'-0"

- EXISTING STRUCTURE
- EXISTING CONCRETE AREA
- EXISTING GRASS AREA

Szafranski Residence - 846 Northmoor Rd.

PROPOSED SITE PLAN & IMPERVIOUS SURFACE CALCULATIONS



IMPERVIOUS AREA CALCULATIONS

846 NORTHMOOR RD. LAKE FOREST IL.

LOT AREA = 11,250 SQ. FT.

EXISTING HOUSE	2,304 SF
DRIVEWAY	779 SF
PORCHES & STOOPS	68 SF
PATIOS & WALKWAY	536 SF
TOTAL	3,687 SF
	33%

PROPOSED HOUSE	2,304 SF
DRIVEWAY	779 SF
PORCHES & STOOPS	431 SF
PATIOS & WALKWAY	597 SF
TOTAL	4,111 SF
	36%

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

- EXISTING STRUCTURE W/ NEW ROOF AND UNFINISHED ATTIC
- EXISTING CONCRETE AREA
- NEW DECK STRUCTURE
- NEW CONCRETE AREA
- GRASS AREA

DS DOWNSPOUT DRAINAGE DIRECTION

Szafranski Residence - 846 Northmoor Rd.

JOANNA M. DRUZGALA ARCHITECT

Tel: (773) 537-5463 Email: infogsj@yahoo.com

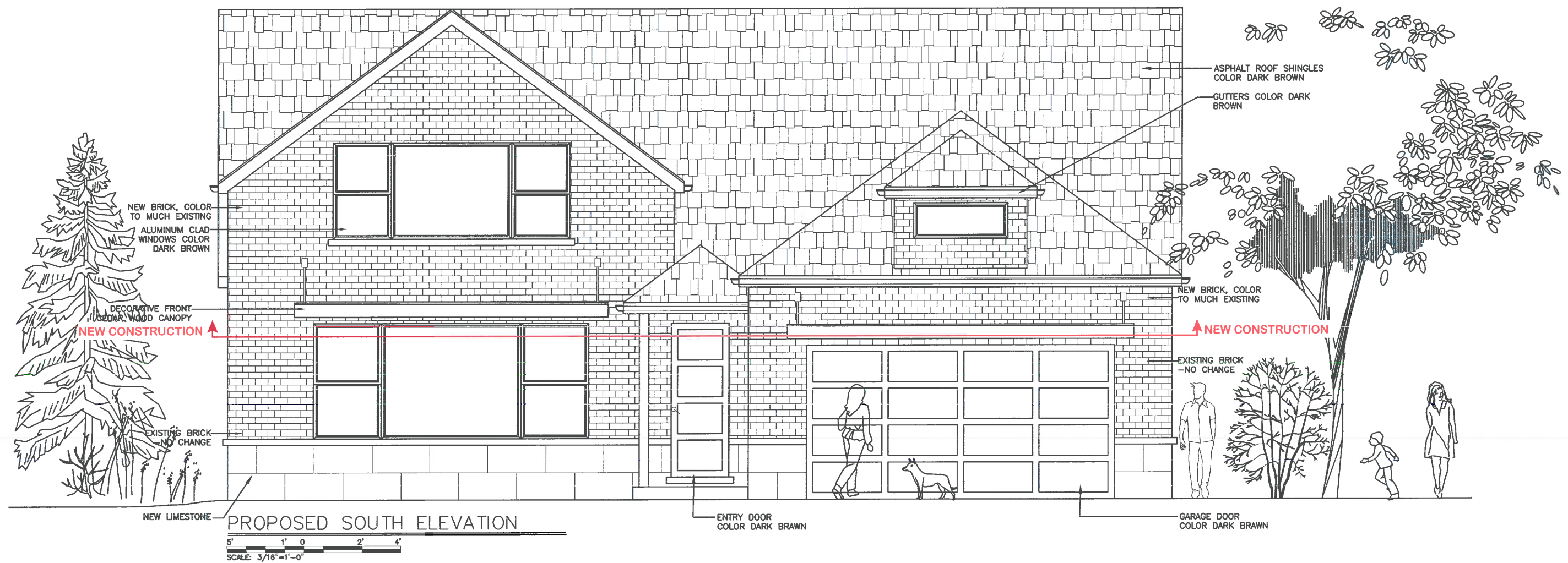
EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION

5' 1' 0' 2' 4'
SCALE: 3/16"=1'-0"

PROPOSED SOUTH ELEVATION



Szafranski Residence - 846 Northmoor Rd.



Szafranski Residence - 846 Northmoor Rd.

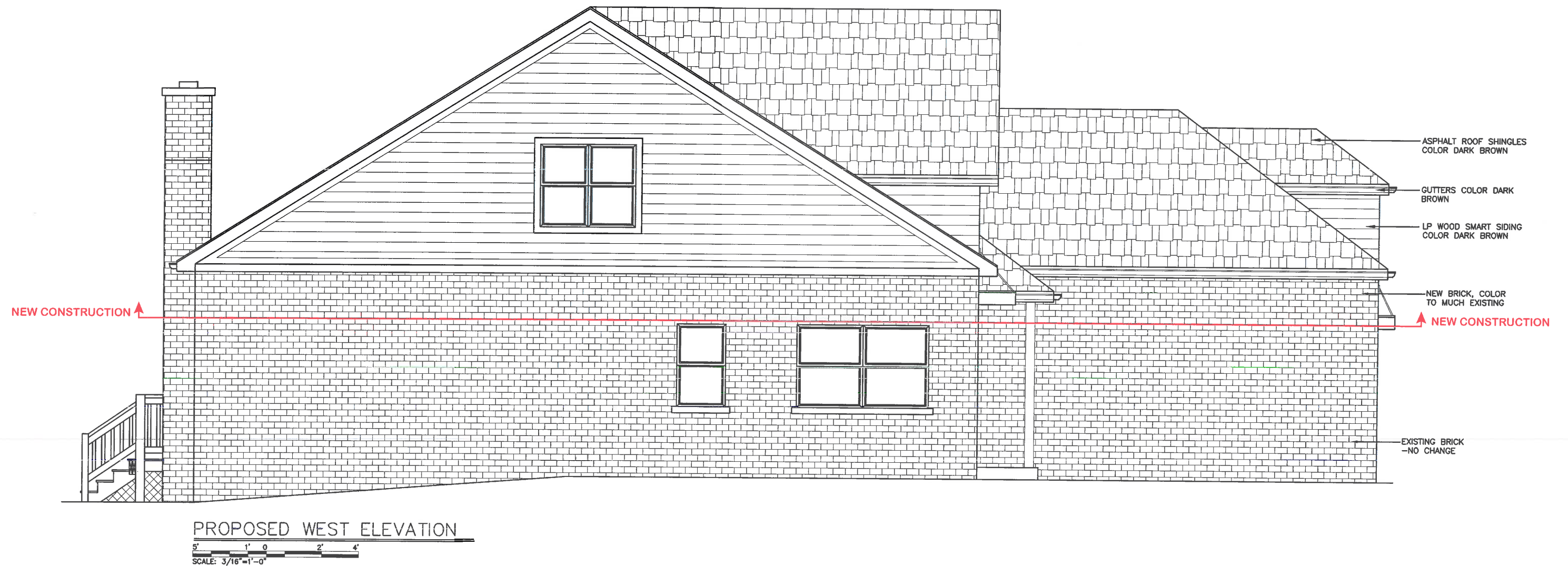
EXISTING WEST ELEVATION



EXISTING WEST ELEVATION

5' 1' 0' 2' 4'
SCALE: 3/16"=1'-0"

PROPOSED WEST ELEVATION



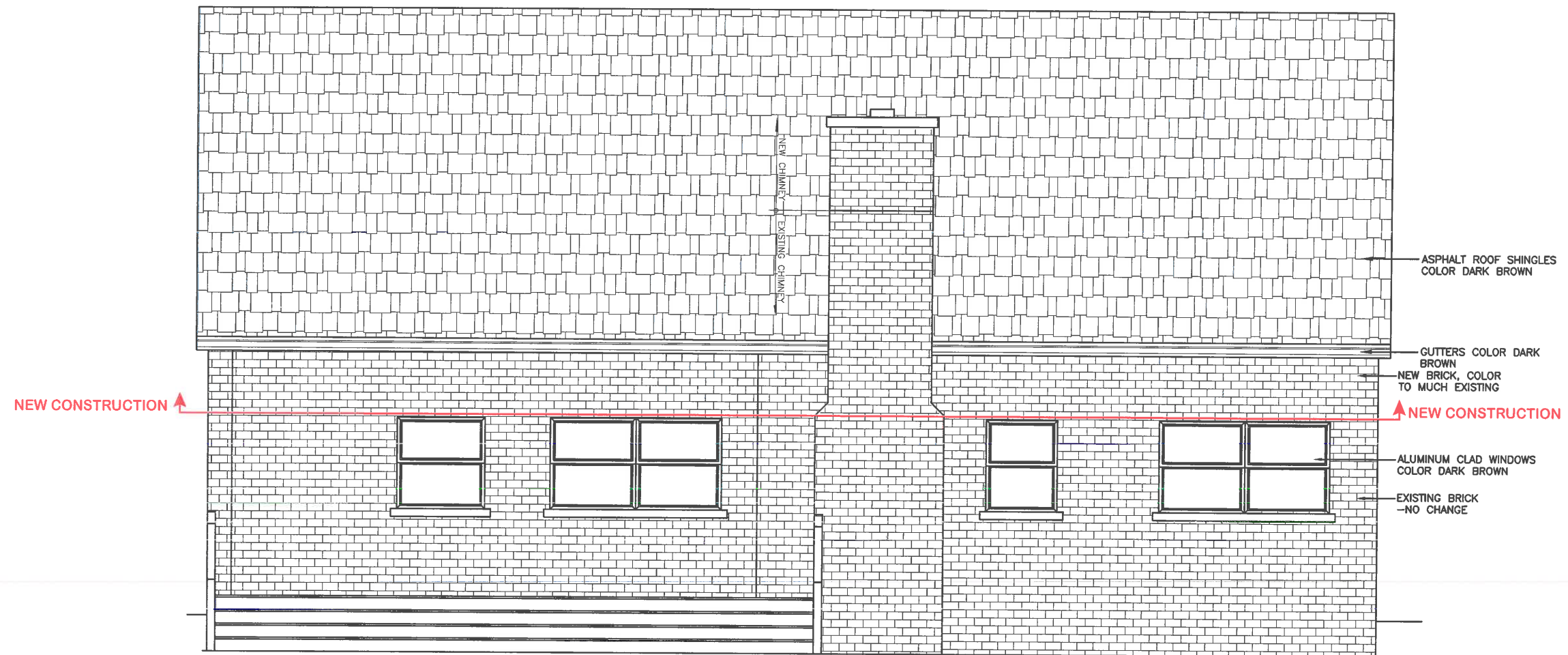
EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION

5' 1' 0' 2' 4'
SCALE: 3/16"=1'-0"

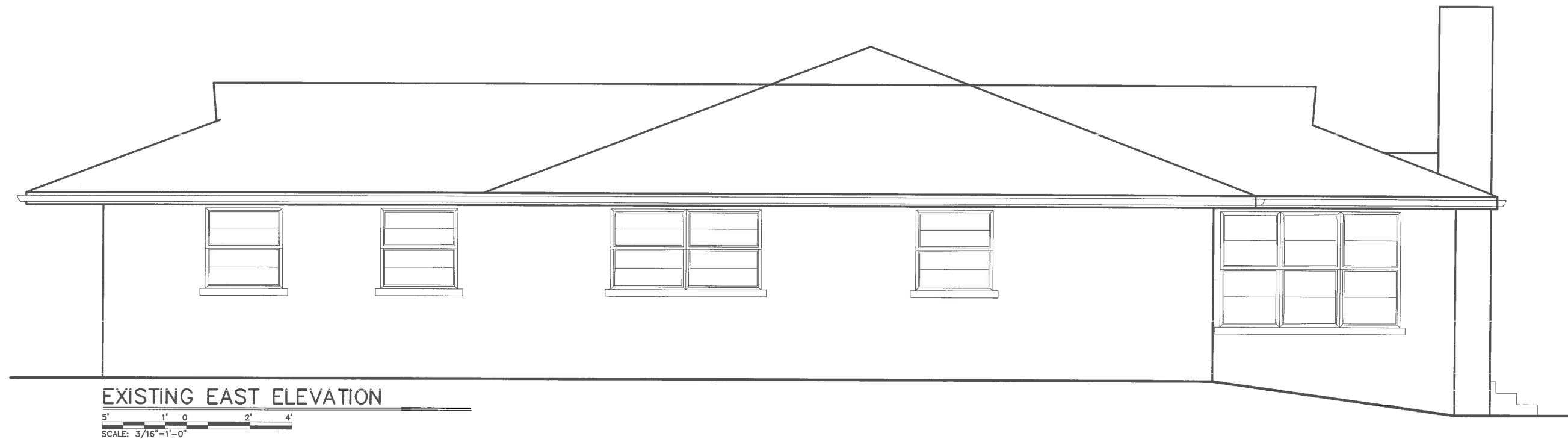
PROPOSED NORTH ELEVATION



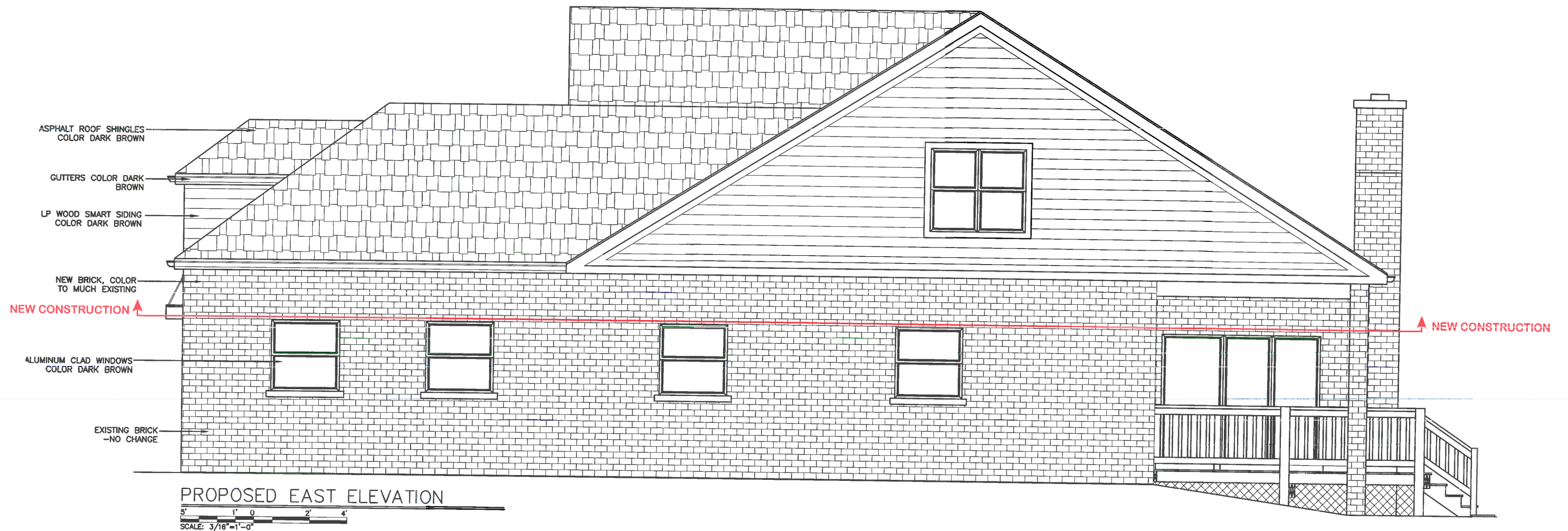
PROPOSED NORTH ELEVATION

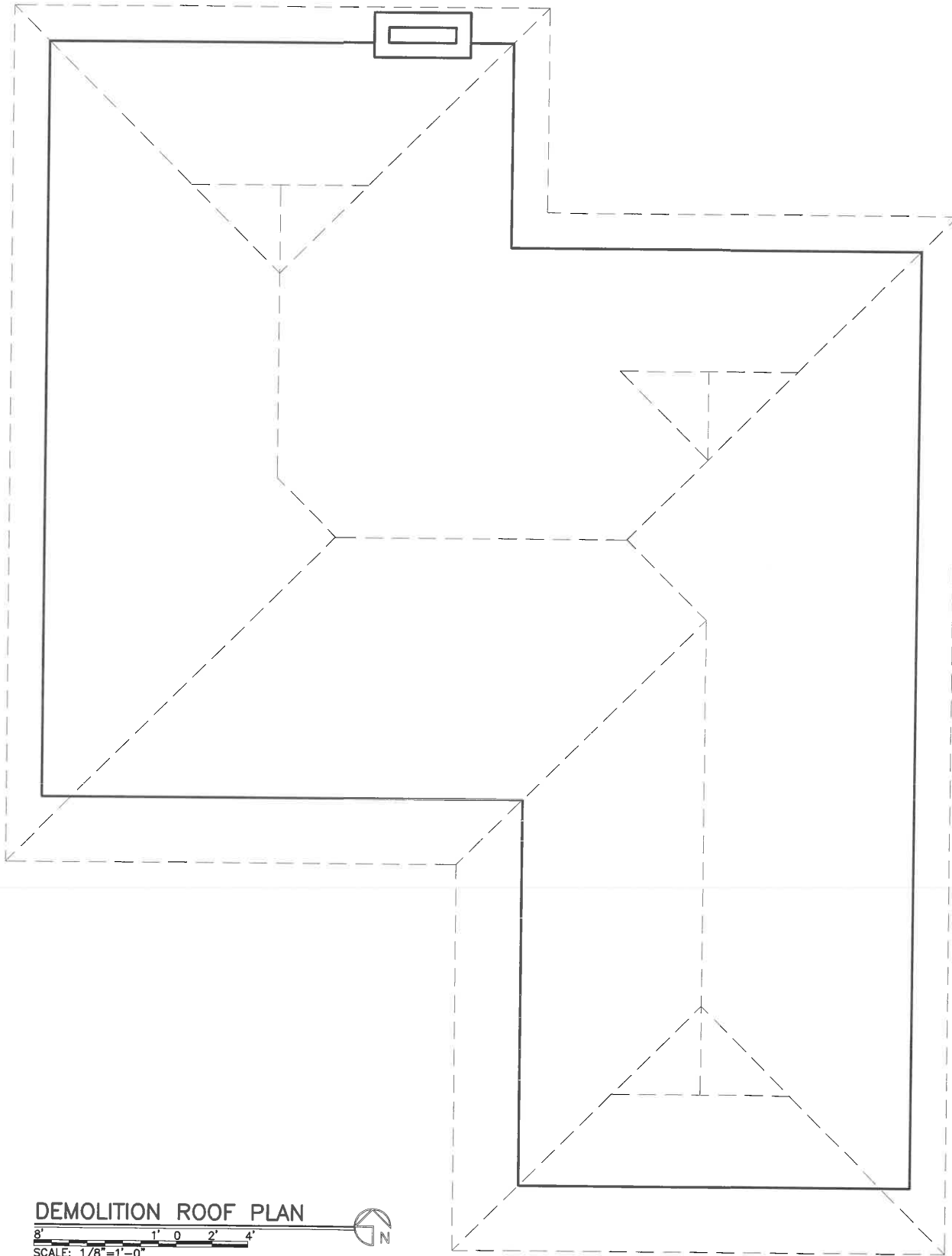
5' 1' 0' 2' 4'
SCALE: 3/16"=1'-0"

EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



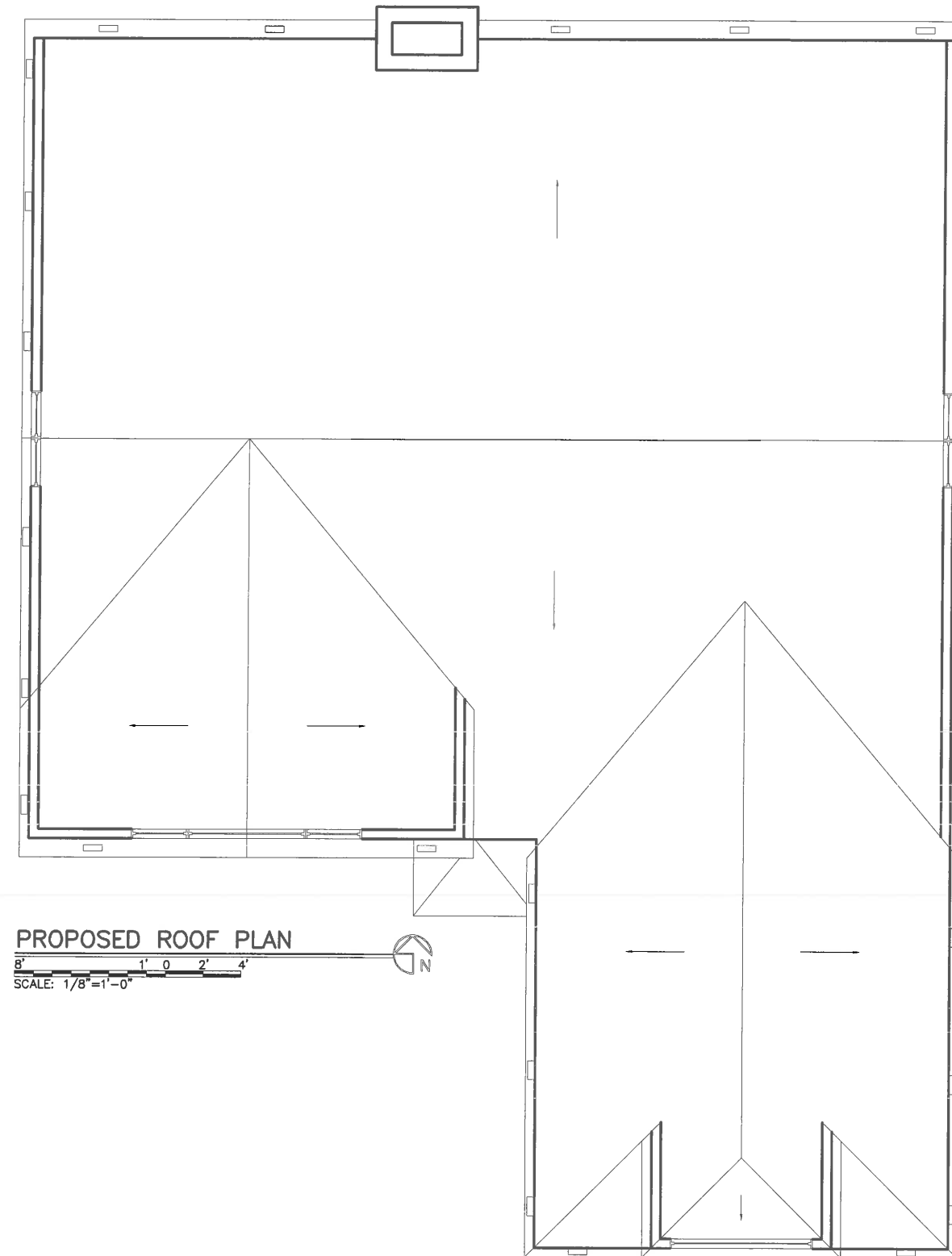


DEMOLITION ROOF PLAN

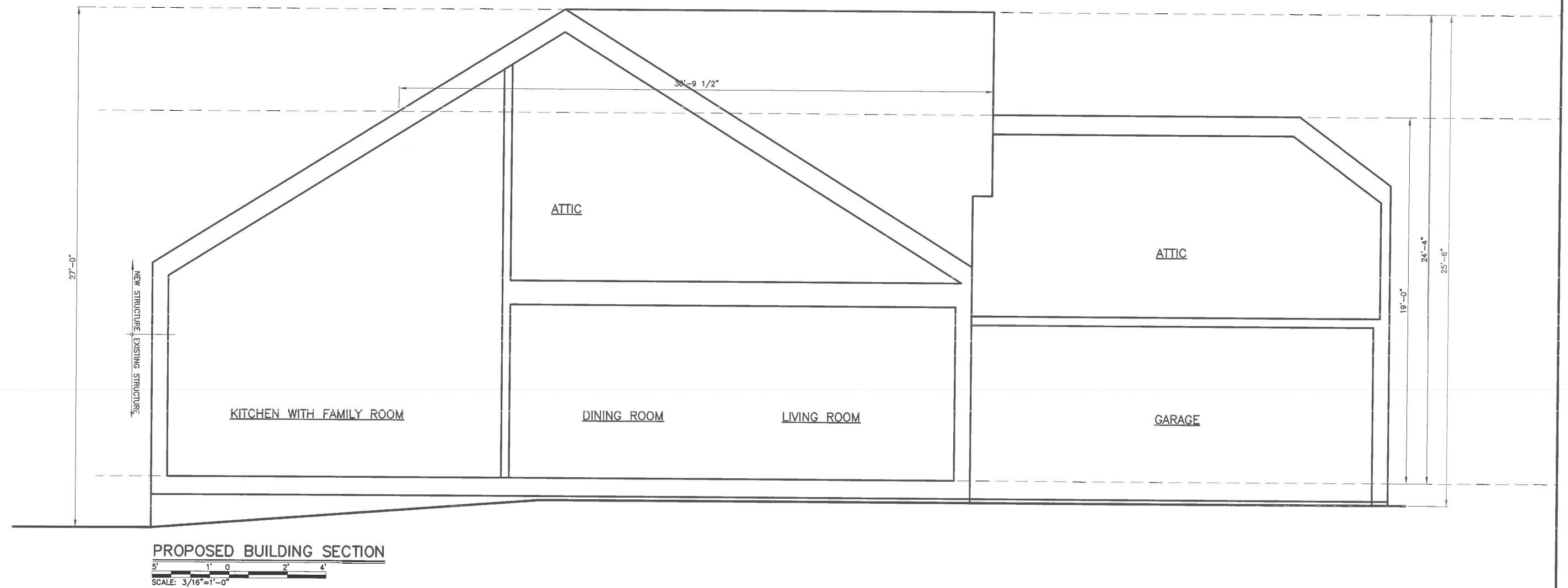
8' 1' 0' 2' 4'
SCALE: 1/8"=1'-0"



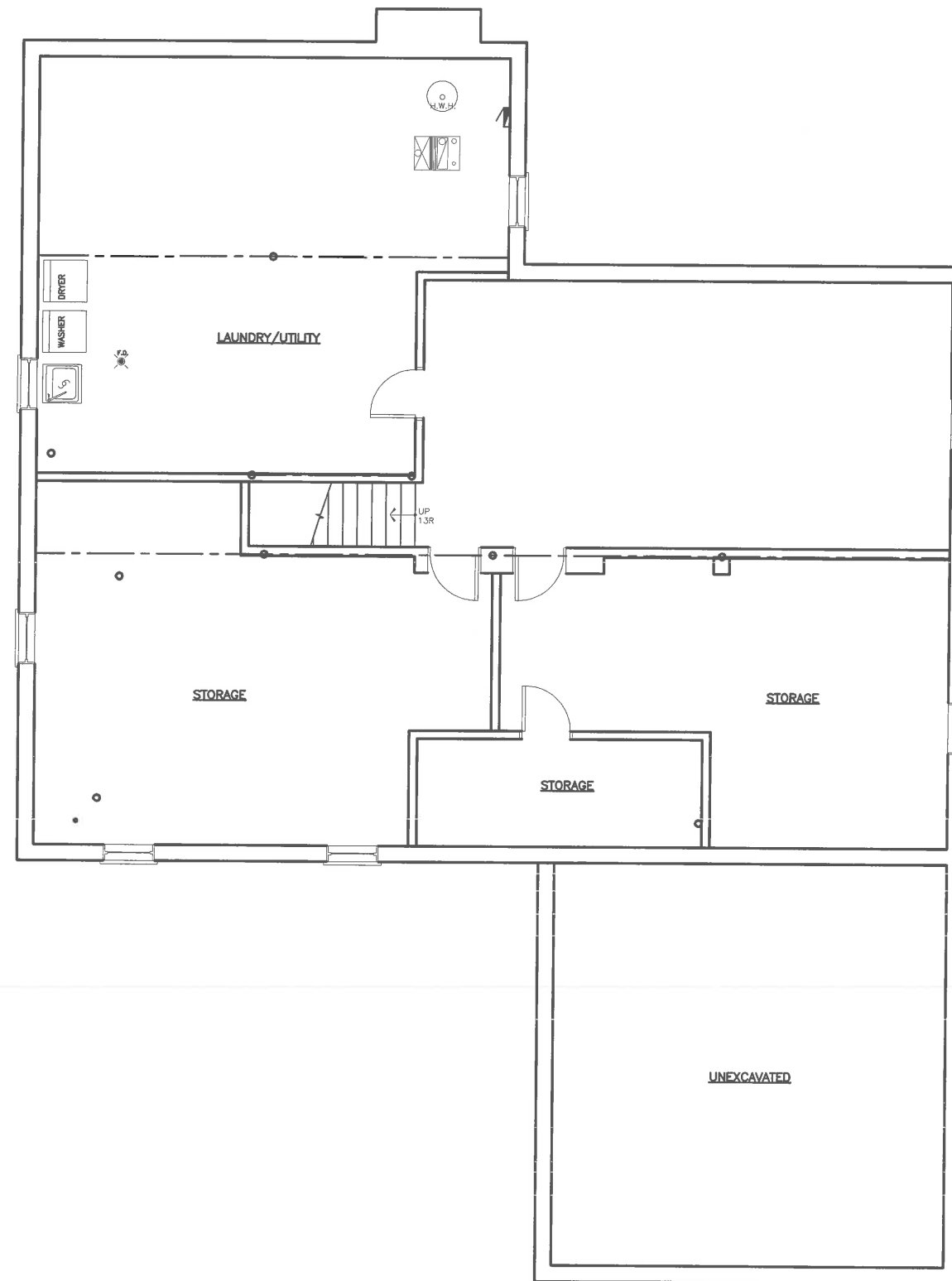
PROPOSED ROOF PLAN



PROPOSED BUILDING SECTION



EXISTING BASEMENT PLAN

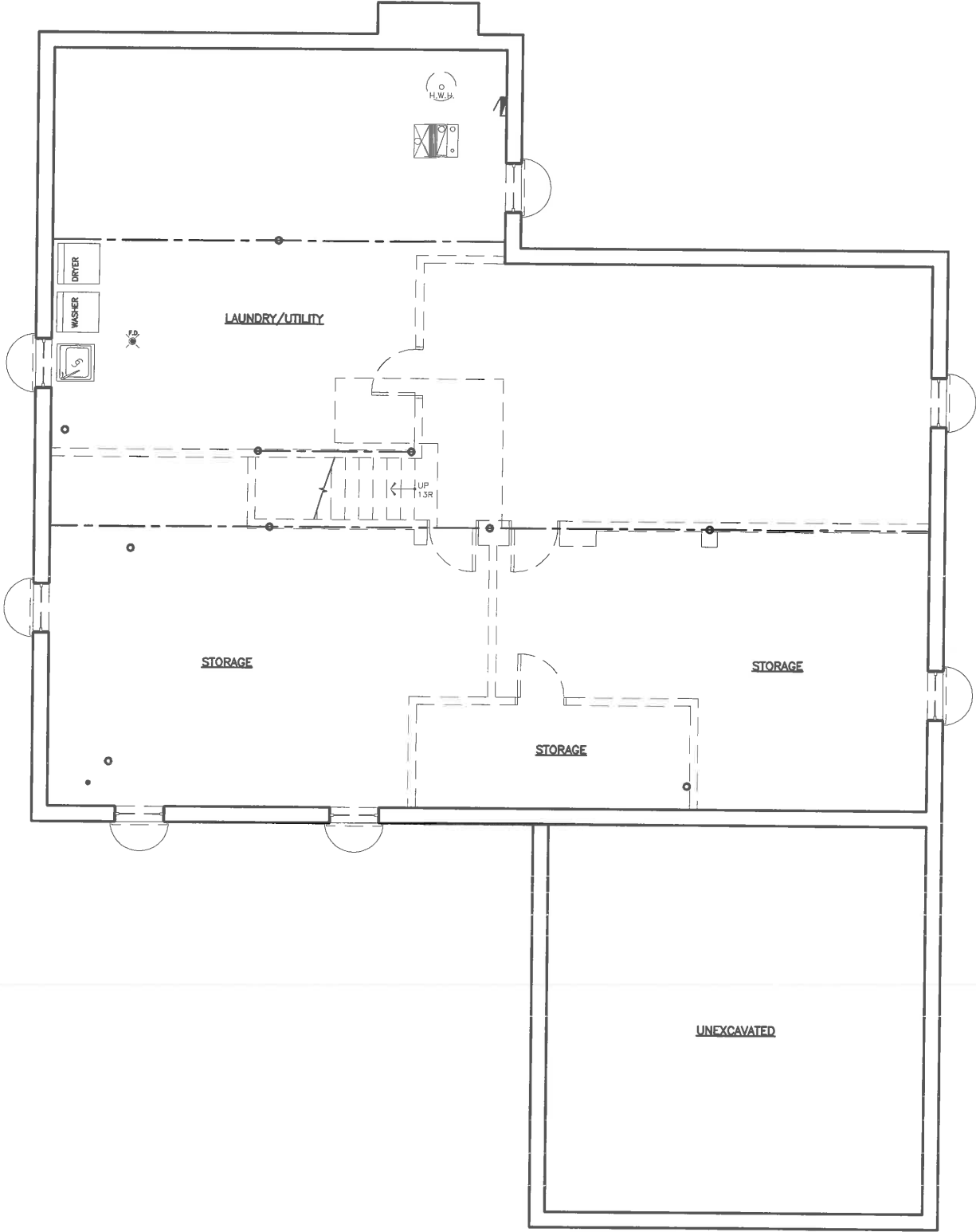


EXISTING BASEMENT FLOOR PLAN

8' 1' 0' 2' 4'
SCALE: 1/8" = 1'-0"



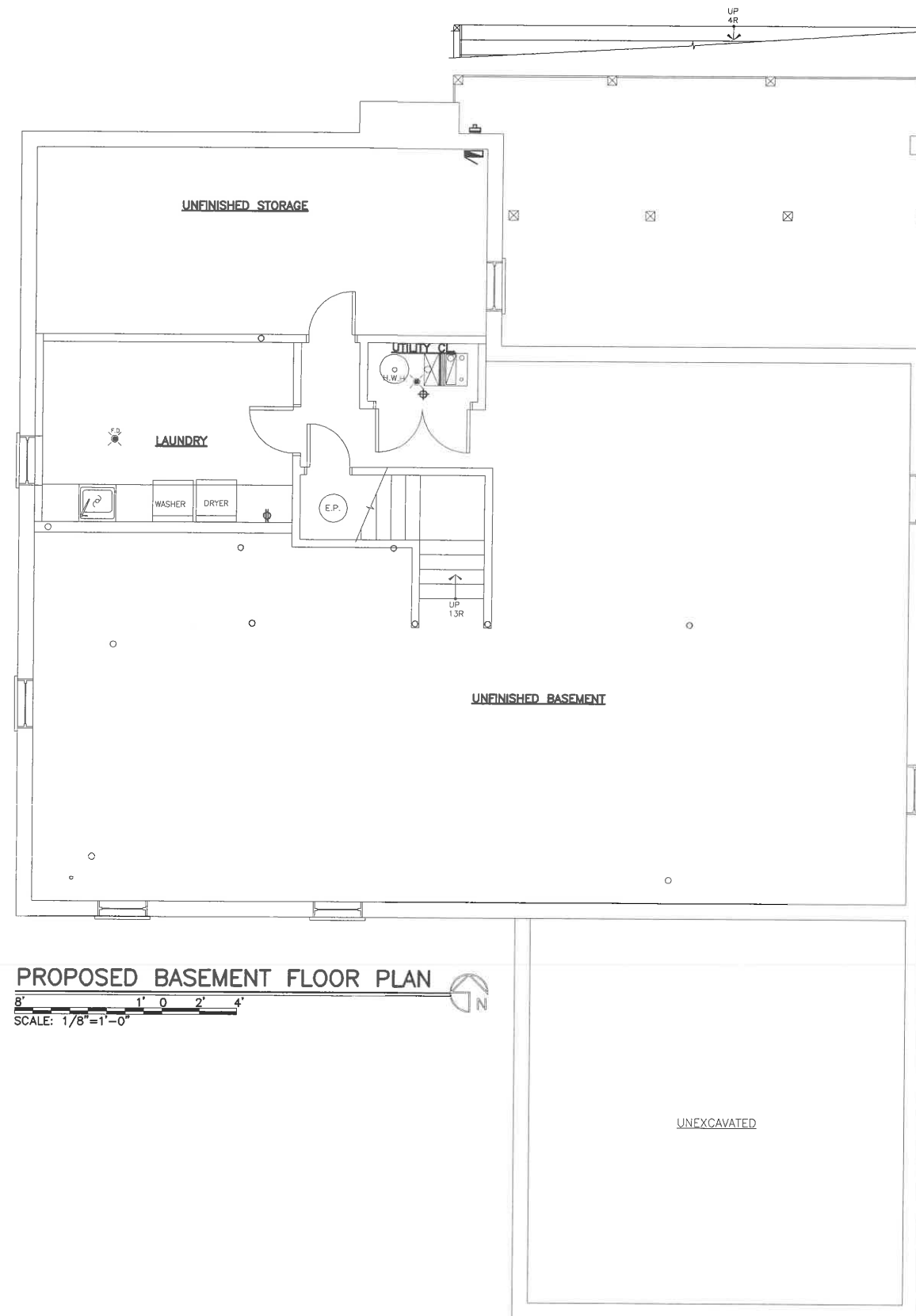
BASEMENT DEMOLITION PLAN



DEMOLITION BASEMENT FLOOR PLAN



PROPOSED BASEMENT PLAN

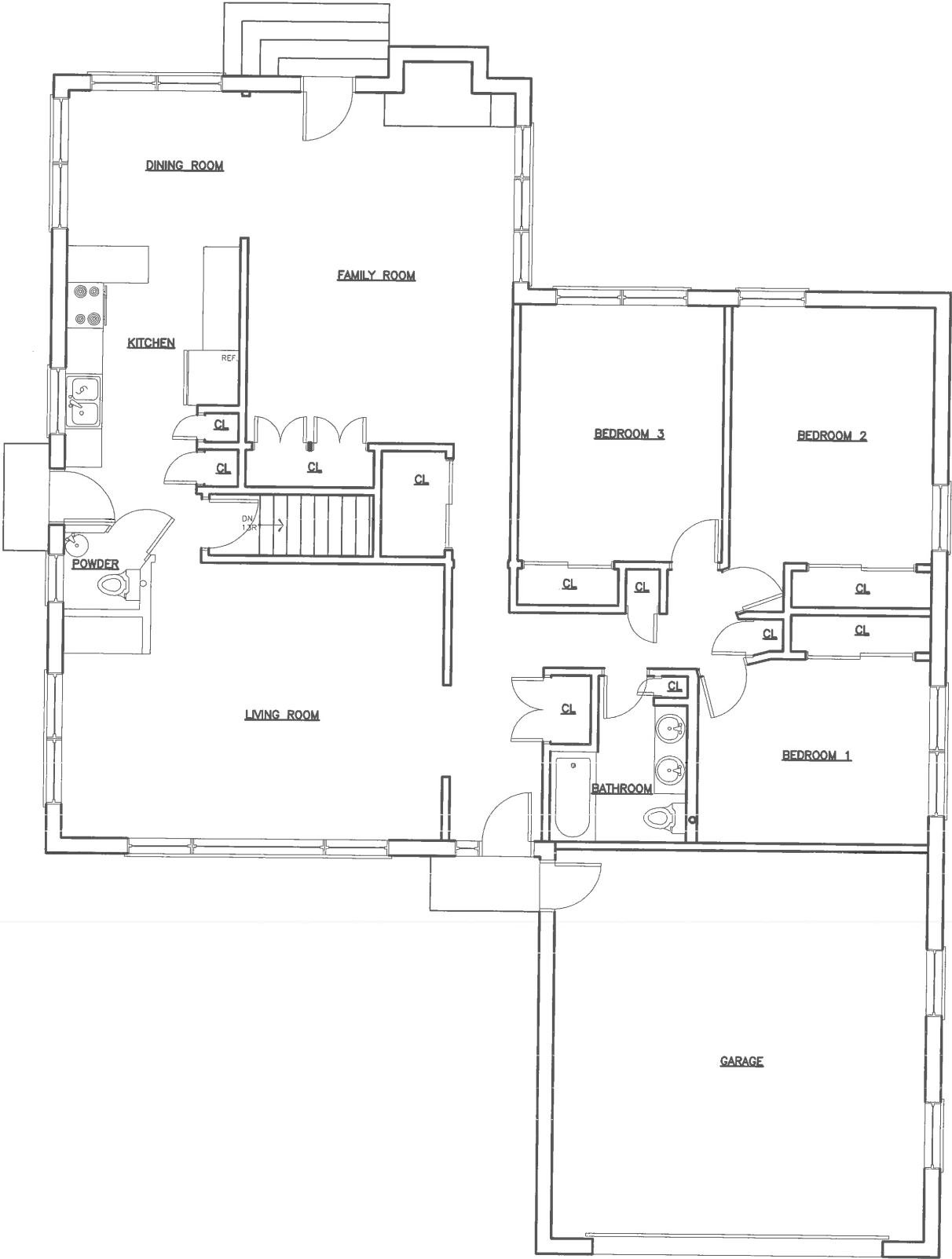


PROPOSED BASEMENT FLOOR PLAN

8' 0" 1' 0" 2' 4"
SCALE: 1/8"=1'-0"



EXISTING FIRST FLOOR PLAN

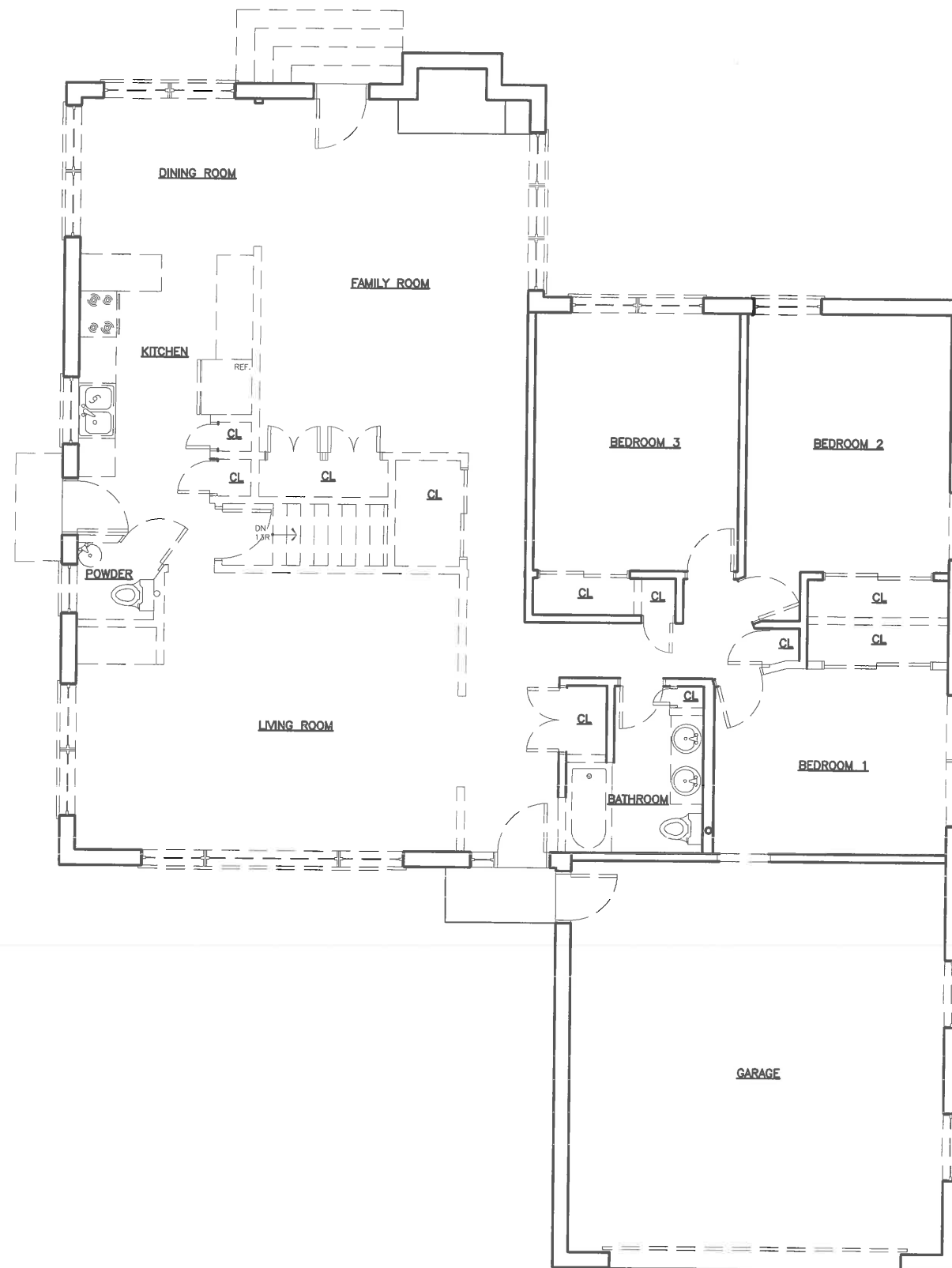


EXISTING FIRST FLOOR PLAN

8' 1' 0' 2' 4'
SCALE: 1/8"=1'-0"



FIRST FLOOR DEMOLITION PLAN

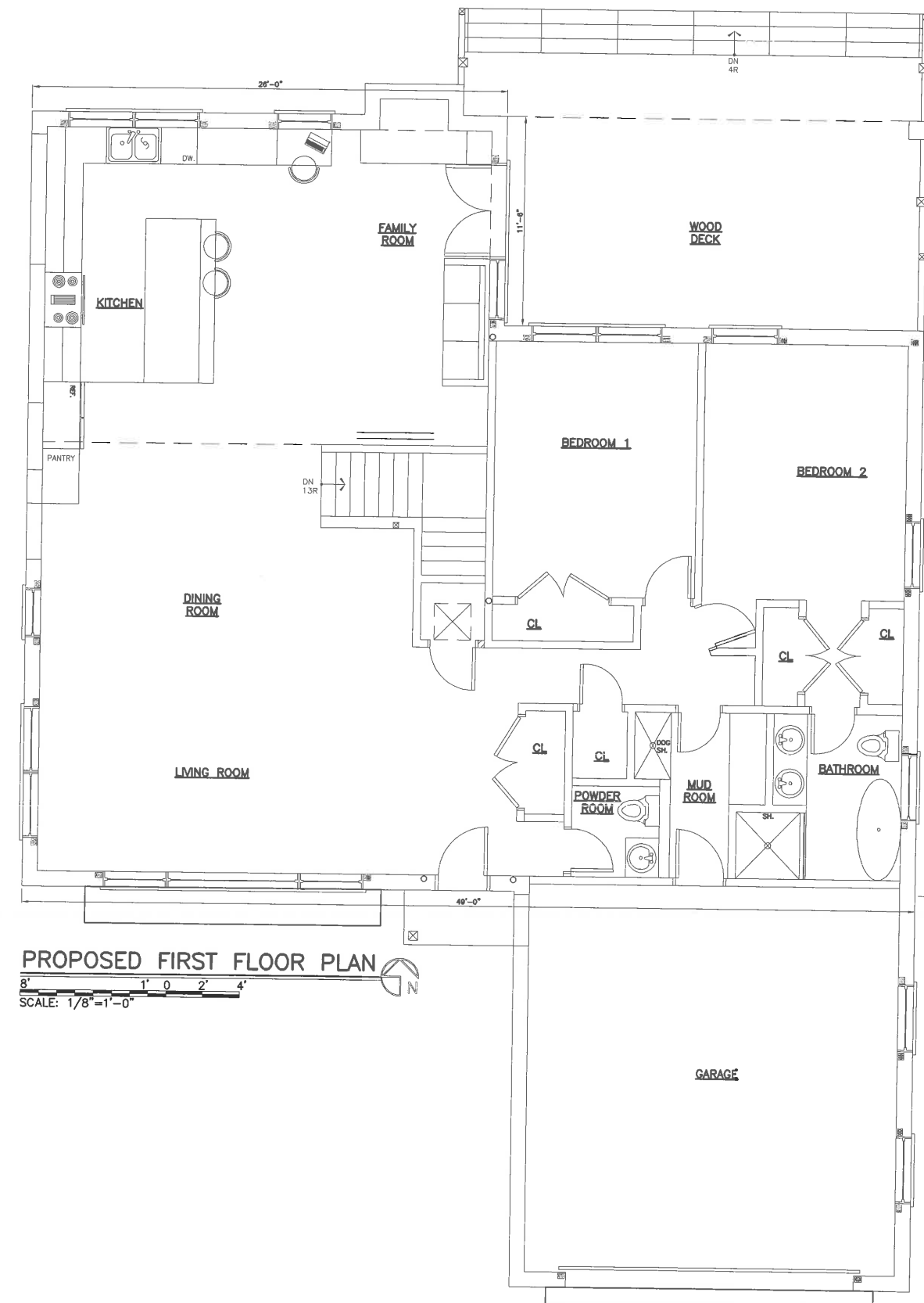


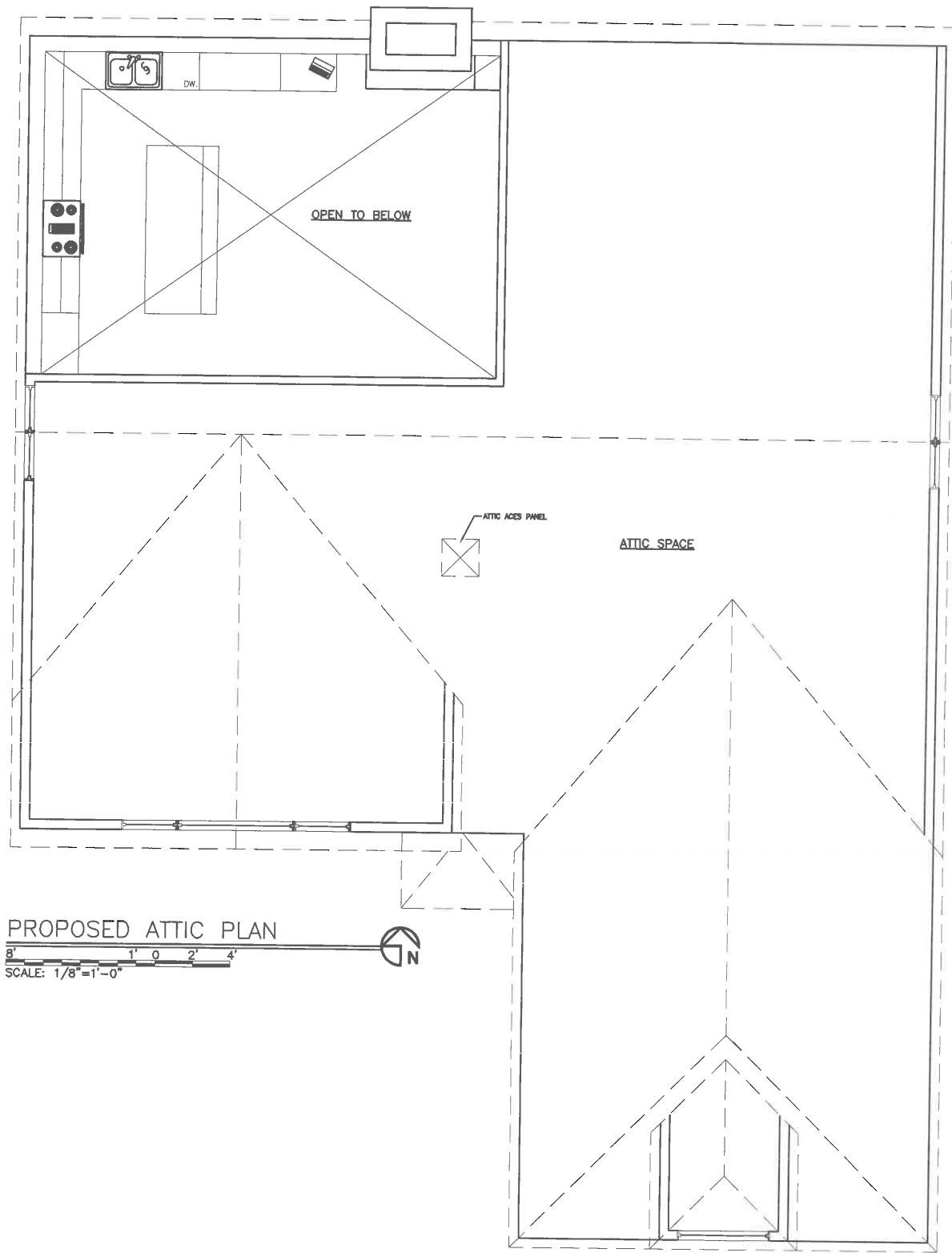
DEMOLITION FIRST FLOOR PLAN

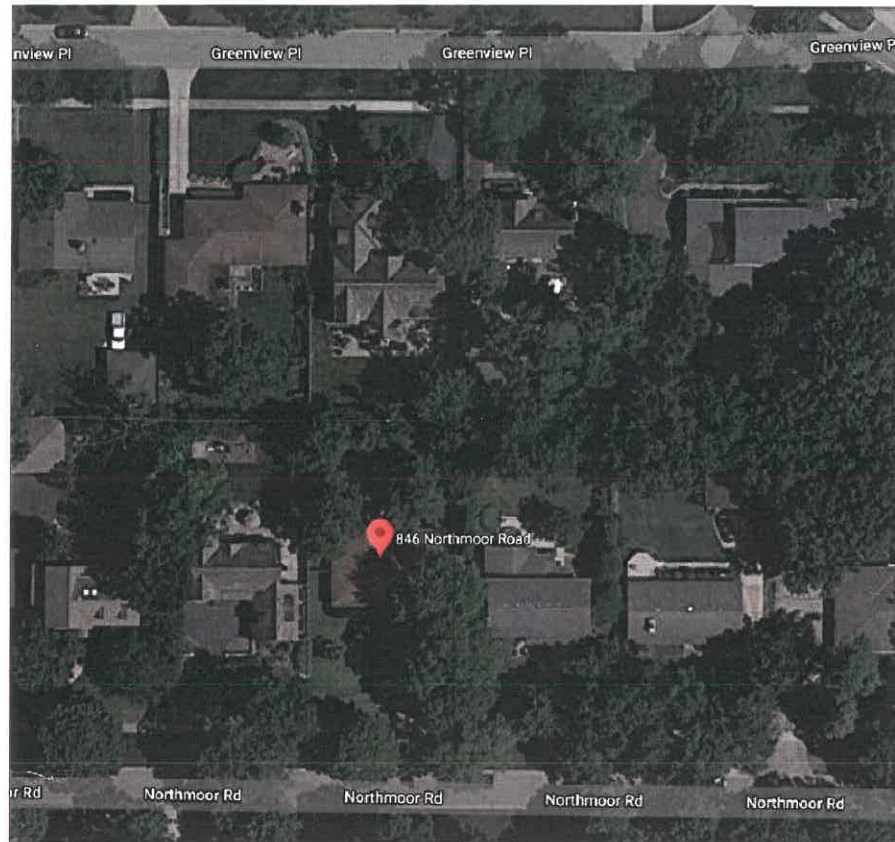
8' 1' 0' 2' 4'
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN







AERIAL VIEW



SOUTH FACADE



SOUTH-WEST FACADE



NORTH FACADE



NORTH-EAST FACADE



WEST FACADE



SOUTH-WEST FACADE



EAST FACADE



EAST FACADE