

Agenda Item 3

600 N. Mayflower Road Lot in Depth, Front Yard, and Steep Slope Setback Variances For a Garage and Screen Porch Additions

Staff Report
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Plat of Survey
Site Plan

Enlarged Site Plans

Existing Photos
Proposed Elevations
Proposed Landscaping Plan

Annotated Rendering Views

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND REVISED RECOMMENDATION

TO:	Chairman Bass and members of the Zoning Board of Appeals
DATE:	January 27, 2025
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	Revisions to a Previous Petition <i>Lot in Depth Setback Variance</i> <i>Front Yard Setback Variance</i> <i>Steep Slope Setback Variance</i>

OWNERS

Eric and Judy Nygard
494 Oakwood Avenue
Lake Forest, IL 60045

PROPERTY LOCATION

600 N. Mayflower Road

ZONING DISTRICT

R4 – Single Family Residence
60,000 SF minimum lot size

SUMMARY OF REQUEST

A petition for this property requesting variances was presented at the November 25, 2024 Zoning Board of Appeals meeting and the Board recommended approval as requested. Since that time, the plans for the proposed additions to the home have been further detailed resulting in updated encroachment dimensions. No changes to the previously approved footprint are proposed, only clarification of the variances requested as they are greater than originally presented to the Board. The existing roof eave details will be replicated on the garage and screen porch additions but were not included in the calculation of the previous variance request. As a result, this petition is back before the Board for consideration of modification to the Board's previous recommendation. Setback distances are measured from the furthest extent of any element on the structure, included eaves and gutters, to the property line or steep slope setback line.

The home has established roof lines with deep roof overhangs. The petitioner is seeking to match the existing eaves on the additions and has provided updated details of the proposed encroachment.

Like the request considered by the Board in November, this request is for approval of three variances to allow expansion of the existing garage into the front yard setback on the east side of the property along Mayflower Road and into the lot in depth setback on the north side of the property. A screen porch addition is proposed at the southwest corner of the house within the front yard setback to the east and within the Steep Slope setback located along the south side of the property along the ravine.

The property is located on the west side of Mayflower Road and is the second house south of Spring Lane. The property is Lot 4 of the Merrie Meade Subdivision which was recorded in 1950. The property is developed with a single-story residence built in 1951. A partial second story addition was added in 1997 without changing the footprint of the original home.

FACTS

Compliance/Non-Compliance with Key Code Requirements

- ❖ The home as currently built does not comply with the current Code requirements.
 - The garage is partially located in the front yard setback
 - A storage shed is wholly located in the front yard setback and abuts the inside of the front yard fence. (This structure is proposed for removal improving upon the existing conditions.)
 - The southeast and southwest corners of the house are located within the Steep Slope setback.
 - A pool and associated deck is proposed for the northeast corner of the house and will comply with the 20 foot setback requirement, no variance is required.

Physical, Natural or Practical Difficulties

- ❖ This is a front lot of a lot in depth subdivision which requires a 50' setback along the north property line which is adjacent to the private driveway servicing the subject property and the lot in depth behind it to the west. A deep ravine is located along the south side of the property. As a result of these two unique conditions, the required setbacks reduce the buildable area on the lot intentionally to limit off site impacts.
- ❖ The house as originally built has an irregular footprint and covers much of the by right buildable area of the lot. There is limited opportunity to expand the footprint of the house without variances.
- ❖ A fairly large screen porch is proposed at the southeast corner of the house. Reducing the size of the screen porch could eliminate the need for a steep slope setback variance or reduce the extent of the encroachment. A front yard setback variance would still be needed for the screen porch due to the existing encroachment of the house.

STAFF EVALUATION

The petitioners plan to remove the storage shed which is located wholly within the front yard setback, adjacent to the fence that extends along Mayflower Road. To compensate for the loss of storage, the existing garage is proposed to be extended at an angle, north of the existing garage. The driveway will be adjusted to allow access into the new garage.

The proposed screen porch addition is 19'-8" by 34' or 668 square feet. The petitioners' stated that the intention is to keep the screen porch open air, and not to enclose it. Staff encouraged consideration of a smaller porch to minimize the extent of variances needed however, the petitioners desire the larger screen porch.

This property was developed prior to current zoning regulations which is why each end of the house is within a setback. The house was originally sited to provide views of the extensive wooded ravine on the south side of the property. The proposed modifications will clean up the area adjacent to the fence along Mayflower Road without negatively impacting the street view. Since the November meeting the architect of the house has been confirmed as Boyd Hill. As required by the Code, the City Engineer reviewed the Slope Stability Study that was prepared by the petitioners' consultant and accepted the conclusion that the screen porch as proposed, not enclosed with glass and with no basement, is workable at the proposed location. Design and construction of the foundation for the screen porch will be subject to review and approval by the City Engineer to assure that proper steps are taken given the proposed location within the Steep Slope setback.

On November 20, 2024, the Historic Preservation Commission approved the design aspects of the petition subject to a decision on the requested zoning variances by the Zoning Board of Appeals and the City Council.

FINDINGS OF FACT

Based on review of the information submitted by the petitioner and an analysis of this request based on applicable portions of the Zoning Code, a review of the history of the area, and site visits, staff submits the following findings.

1. The garage addition will be located wholly within the front yard setback and will encroach no closer than 18'-6" to the front yard property line at the point of furthest encroachment. The air-conditioning unit is proposed to be located on the east side of the garage no closer than 17'-9" to the front property line.

The furthest extent of the garage will be no closer than 19'-0" to the north property line.

The site is well screened with limited views from the streetscape. The removal of the storage shed is an improvement to the existing streetscape views. The new garage will be prominent from the shared driveway, but the proposed landscaping will soften the appearance.

2. The screen porch will encroach no closer than 38'-6" to the front (east) property line and will encroach no further than 16'-6" into the steep slope setback at the points of furthest extent, the gutters at the edge of the deep roof eaves.

The variances if granted will not alter the essential character of the subject property or surrounding neighborhood because the structures on the site will be generally well screened.

3. The conditions upon which the variances are requested are generally unique to this neighborhood and to this property and are not generally applicable to other properties in the same zoning district throughout the City. This property is the front lot of a lot in depth and is impacted by a ravine. This house as originally constructed is irregular in shape and encroaches into current setbacks which were not in place at the time the house was constructed. The existing house encroaches into the front yard setback, the lot in depth setback, and the Steep Slope setback which limits options for expanding the home in a manner in compliance with the setbacks.
4. The alleged difficulty or hardship in conforming to the required setbacks is a result of the original construction of the home prior to the adoption of the current zoning regulations. However, the need for variances is driven by the new property owners' desire to expand the footprint of the home.
5. The removal of the storage shed will improve upon the existing conditions by eliminating a structure that is immediately adjacent to the front property line and the Mayflower Road streetscape.
6. The variances and the resulting expanded garage and screen porch will not impair light or ventilation to adjacent properties, increase congestion, or endanger public safety. The south,

ravine facing elevation of the additions, including large skylights, may result in off site light impacts.

7. No evidence has been submitted that the proposed additions will diminish property values in the area.

PUBLIC COMMENT

Standard public notice of this request was provided by the City to surrounding residents and property owners. Notice was also provided in the Lake Forester and the agenda was posted at five public locations. As of the date of this writing, no correspondence has been received.

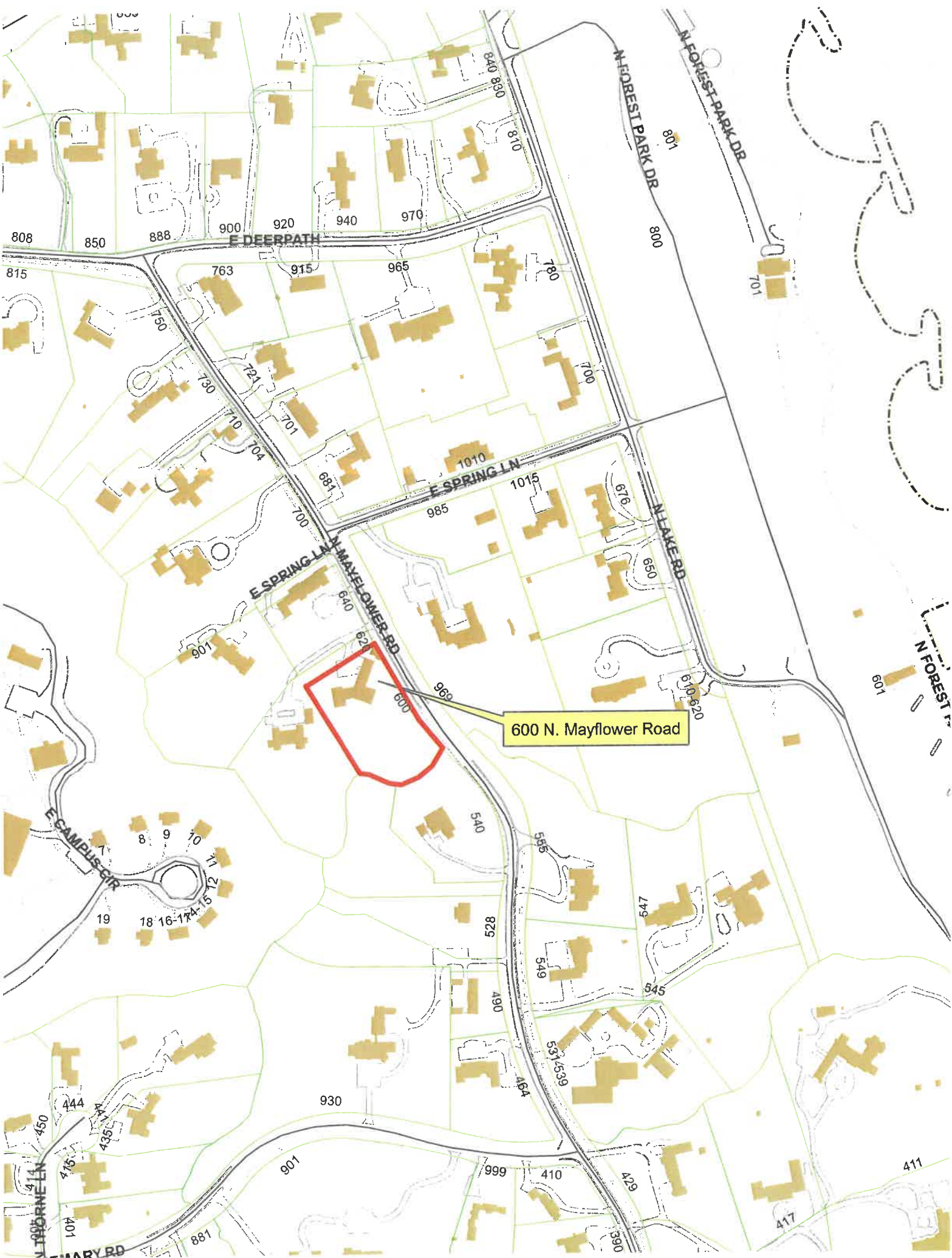
RECOMMENDATION

Based on the findings presented above, recommend approval of variances to allow:

- The garage to encroach no closer than 18'-6" to the front (east) property line, and no closer than 19' to the north property line. (Three feet closer than previously recommended by the Board.)
- The air conditioner to encroach no closer than 17'-9" to the front (east) property line. (The same distance as previously recommended by the Board.)
- The screen porch to encroach no closer than 38'-6" to the front (east) property line, and no further than 16'-6" into the steep slope (south) setback. (Two feet further for the front yard setback and five feet further for the steep slope setback further than previously recommended by the Board.)

The recommendation is subject to the following conditions of approval.

1. The foundation of the screen porch shall be subject to review and approval by the City Engineer to assure compliance with applicable standards for construction within the steep slope setback.
2. The screen porch must remain open, that is, not enclosed in the future with windows or walls, to avoid adding weight within the Steep Slope Setback.
3. Light mitigation measures should be taken recognizing the proposed location of large skylights in addition to windows within the Steep Slope setback. The skylights and additional windows proposed on the south facing elevation will direct light toward the ravine, a natural, dark sky area and potentially to neighboring properties.



600 N. Mayflower Road



600 N. Mayflower Road



THE CITY OF LAKE FOREST
ZONING BOARD OF APPEALS APPLICATION OF ZONING VARIANCE

PROJECT ADDRESS 600 N Mayflower Road
ZONING DISTRICT East Lake Forest Historic District

Property Owner (s) Name JE Ventures - Judy Nygard LLC
(may be different from project address) Address 494 Oakwood Ave, LF
Phone 847-363-0925 Fax 847-267-9409
Email jnygard@comcast.net

Applicant/Representative Name Eric Nygard
(if different from Property Owner) Title spouse
Address _____
Phone _____ Fax _____
Email _____

Beneficial Interests
Corporation See Exhibit A
Partnership See Exhibit B
Trust, land or other See Exhibit C

Staff Reports are Available the Friday before the Meeting

Email Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>
Fax Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>
Pick Up Report:	Owner	<input type="checkbox"/>	Representative	<input type="checkbox"/>

Signatures

I have read the complete application packet and understand the variance process and criteria. I understand that this matter will be scheduled for a public hearing when a determination has been made that my application is complete.

Judy Nygard Owner 9/19/24 Date

[Signature] Owner 9/19/2024 Date
Applicant/Representative

Overview of Proposed adjustments to:

600 N. Mayflower Road, Lake Forest IL

The home was built in the 1950s and has been remodeled and updated over the years including a significant addition/remodel done in the 1990s by the previous owners. After much research, we understand there is a chance the home may have been originally built by Boyd Hill, but are not certain, given lack of information available. We have reviewed any documentation available with the City of Lake Forest, FOIA, and the History Center of Lake Forest Lake Bluff, to conclude there is no original documentation or photos of the original home to provide insight of the original architect or builder, or of what the home looked like prior to extensive additions/renovations over the years. The official documentation only indicates original ownership and that the home was originally commissioned by Robert Hixon for 7 rooms for \$60,000 based on acquiring the property as was subdivided in the 1950s. There are currently no Boyd Hill features on the residence, and we are not aware if there ever were any features on this home, as there are not currently any details that reflect that period.

Our objective is to update the home to incorporate unique features representative of Boyd Hill and similar houses of that period and align with homes in the neighborhood. We are looking to invest in updates that will better represent the style and the homes in this neighborhood. We have taken extensive steps in partnership with our architect, to maintain the exterior profile of the home and improve the aesthetics impacted by the addition completed in the 1990s. Our proposed additions are to be added on areas that were impacted by the addition done in the 1990s. The proposed exterior updates include the following:

1. Removing large storage structure(s) that have been on the property for many years and are indicated on surveys dating back to the 1950s. These are in an area that sits directly on the property line against the fence line on Mayflower Road. The structure(s) cover a section that is over 25'x23' running diagonally along the fence line. We would remove these structures and instead add onto the existing garage.
2. Garage addition proposed will make the area far more visually appealing, move any structure away from the property line, and will further shift the visibility of the garage away from the road. The garage addition as proposed, would be

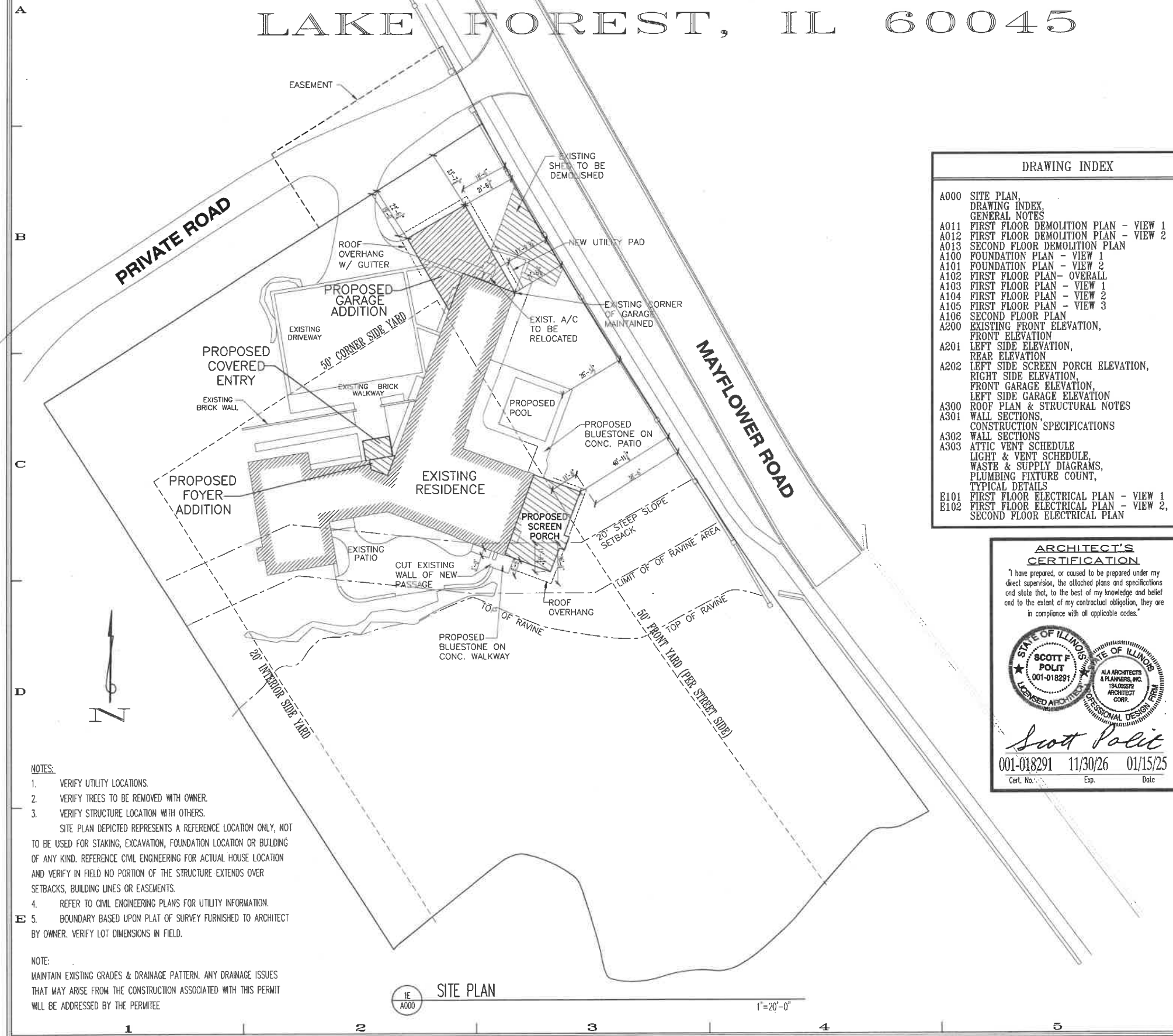
attached to the current garage and maintain the current garage distance of more than 20' away from the Mayflower Road property/fence line (instead of the structures sitting directly on the property/fence line). The proposed addition ensures that the distance from the corner of the current garage is maintained with no change and serves as the new minimum distance away from the property line at Mayflower Road for any structure on the property. The NE corner of the current garage is over 20' away from the property line at Mayflower Road instead of zero feet away for the storage structure(s). The new NW corner of the garage will be more than 57' from the North property line inclusive of the area of deeded easement for the driveway. Note: driveway easement has existed since 1950 and is recorded with property transfer on September 20, 2024. The proposed garage addition will follow the profile and aesthetics of the home while also adding significantly improved visual appearance for the neighbors and public.

3. Screened porch addition will be attached to the East side of the home that had been part of the 1997 addition/remodel. The new proposed porch will follow the existing roof line and clean up elements of the previous remodeling. The porch would be more than 40' from the property line at Mayflower Road. The vast majority of the square footage of the porch will sit within the respective setbacks. No part of this structure will protrude into the actual ravine area. In addition, this will not be visible to neighbors or public.
4. Pool installation includes a small pool to provide health benefits and family enjoyment. Pool will be at minimum 37' from the Mayflower Road property line and will not be visible by any neighbors, surrounding properties or public areas including any roads/sidewalks/etc. Pool equipment will be placed on a cement pad adjacent to home air conditioning equipment and will be fenced in to ensure no visibility (even from within this property).

We are excited to be the new owners of this property and are looking forward to partnering with the City of Lake Forest to improve this home and better align with the lovely East Lake Forest neighborhood.

JE VENTURES

600 N. MAYFLOWER RD. LAKE FOREST, IL 60045



DRAWING INDEX

A000	SITE PLAN, DRAWING INDEX, GENERAL NOTES
A011	FIRST FLOOR DEMOLITION PLAN - VIEW 1
A012	FIRST FLOOR DEMOLITION PLAN - VIEW 2
A013	SECOND FLOOR DEMOLITION PLAN
A100	FOUNDATION PLAN - VIEW 1
A101	FOUNDATION PLAN - VIEW 2
A102	FIRST FLOOR PLAN - OVERALL
A103	FIRST FLOOR PLAN - VIEW 1
A104	FIRST FLOOR PLAN - VIEW 2
A105	FIRST FLOOR PLAN - VIEW 3
A106	SECOND FLOOR PLAN
A200	EXISTING FRONT ELEVATION, FRONT ELEVATION
A201	LEFT SIDE ELEVATION, REAR ELEVATION
A202	LEFT SIDE SCREEN PORCH ELEVATION, RIGHT SIDE ELEVATION, FRONT GARAGE ELEVATION, LEFT SIDE GARAGE ELEVATION
A300	WALL SECTIONS, CONSTRUCTION SPECIFICATIONS
A301	WALL SECTIONS
A302	ATTIC VENT SCHEDULE, LIGHT & VENT SCHEDULE, WASTE & SUPPLY DIAGRAMS, PLUMBING FIXTURE COUNT, TYPICAL DETAILS
E101	FIRST FLOOR ELECTRICAL PLAN - VIEW 1
E102	FIRST FLOOR ELECTRICAL PLAN - VIEW 2, SECOND FLOOR ELECTRICAL PLAN

ARCHITECT'S CERTIFICATION

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with all applicable codes.

SCOTT F. POLT
001-018291

Scott Polt
001-018291 11/30/26 01/15/25
Cert. No. Exp. Date

IECC - INTERNATIONAL ENERGY CONSERVATION CODE

...APPLY TO PLAN REVIEWERS, OFFICIALS & CONTRACTORS...

* THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE CURRENT EDITION OF INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY THE STATE OF ILLINOIS AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.

* THE ARCHITECT HAS CHOSEN TO DEMONSTRATE COMPLIANCE OF MEETING THE PROVISIONS OF THE ILLINOIS ENERGY CONSERVATION CODE COVERED BY 71 ALI. ADM. CODE 600 SUBPART 0 BY SUBMITTING, AS REQUIRED BY SECTION 1015.01, THE SEAL OF THE ARCHITECT (OWNER AS REQUIRED BY SECTION 1014 OF THE ILLINOIS ARCHITECTURAL PRACTICE [225 ILCS 305]).

* PRESCRIPTIVE METHOD FOR COMPLIANCE, AS SPECIFIED BY THE CODE, 602.1.1 & 602.2, COMPLIANCE IS DEMONSTRATED BY MEETING THE REQUIREMENTS OF SECTIONS 402 TO 404 & 408.2.2.

* THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE ENERGY CODE AND ARE NOT INTENDED TO RESTRICT THE OWNER OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME. CONTRACTORS SHOULD ALSO VERIFY WITH CERTAIN YEAR ENERGY CODE SHALL BE FOLLOWED BASED ON THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.

NOTE TO BIDDERS & CONTRACTORS

THESE PLANS HAVE BEEN PREPARED BASED ON THE DOCUMENTATION OF AVAILABLE CODES AND ORDINANCES WHICH ARE OPEN TO APPROVAL AND INTERPRETATION BY THE GOVERNING BODY AUTHORIZED TO ISSUE A BUILDING PERMIT. THE REQUIREMENTS AND BUILDING SPECIFICATIONS ARE SUBJECT TO CHANGE BASED ON THIS APPROVAL AND MAY AFFECT THE COST OF THE PROJECT OR SUCCESSFUL COMPLETION. BIDDERS ARE RESPONSIBLE FOR NOTIFYING THE OWNER(S) OR FINANCIAL INSTITUTION RESPONSIBLE FOR FUNDING THE PROJECT FOR APPROVAL PRIOR TO BEGINNING WORK.

THIS ARCHITECTURAL DOCUMENTATION IS INTENDED TO GIVE AN OVERALL SCOPE AND DESCRIPTION OF WORK, ALONG WITH GENERAL SPECIFICATIONS FOR CONSTRUCTION, WITH ALL INFORMATION REQUIRED OR PERTINENT TO THE PROJECT REQUIRED FOR SUCCESSFUL PROMISE OF COMPLETION IS INCLUDED. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL CODES PERTAINING TO THEIR OCCUPATIONS AND BE RESPONSIBLE FOR THE SUCCESSFUL COMPLETION OF THE PROJECT.

PLAN & ELEVATION SYMBOLS

SS - 3 SHELVES	1STR 1 SHELF & 1 ROD	PSK - SPONGE/STAIN HEAD
GH - GAS HOODUP	WH - WATER HOODUP	FP - FLOOR PROOF FLOOR BEEB
SH - SHOWER HEAD FIXTURE	SHR - SHOWER RAIN HEAD	FD - FLOOR DRAIN
PF - PRE-FIN PREPARE FLUE	MF - MASONRY PREPARE FLUE	CD - CEILING
BS - BEARING WALL ABOVE	HP - HOOR POINT	RF - ROOF FLOOR
SE - SECTION / NEW MARKER	EW - ELEVATION MARKER	RM - REVISION MARKER
VF - VERIFY IN FIELD		

ELECTRICAL SYMBOLS

SO - SINGLE OUTLET (S)	DO - DOUBLE OUTLET (D)	CO - CABLE OUTLET (C)	SW - SWITCHER OUTLET OUTLET (O)	RO - RECESSED DOWN LIGHT	WO - WALL MOUNTED LIGHT FIXTURE	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	LO - LIGHT OUTLET (L)	FL - FLOOR LIGHT (FL)	PL - PLUG LIGHT (PL)	FL - FLOOR LIGHT (FL)	PL - PLUG LIGHT (PL)
TV - TELEVISION JACK	TE - TELEPHONE JACK	HA - HORN JACK	BA - BELL ALARM	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)	NO - NON-RECESSED DOWN LIGHT (DOWNLIGHT)

NOTE TO CONTRACTORS

* ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMANCE WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.

* ALL NOTES SHALL BE TYPICAL AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

PLUMBING NOTES

* PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES AND FREEZELINES.

* ALL FRAMING DOUBLE FOR PLUMBING VENTS OR SIMILAR HOLES TO BE IN A 2 X 4 MIN. SOLID WALL.

* ALL WATER LINES TO A SECOND FLOOR TO HAVE 1/2" AIR CHARGES.

* HOME GROUND WASTE - SCHEDULE 40 P.V.C. 1120 SERIES

* BELOW GROUND WASTE - SCHEDULE 40 P.V.C. OR CAST IRON

* ABOVE GROUND WASTE - TYPE 1 COPPER, NO LEAD SOLDER

* BELOW GROUND WATER - TYPE 1 COPPER

* COLORED PRIMER AND SINK TEST REQUIRED ON ALL P.V.C. PIPING

* TUB, AIR OR WATER PRESSURE TEST REQUIRED ON WATER PIPING

* UNDERGROUND SANITARY SHALL BE 4" MIN.

HVAC NOTES

* HVAC CONTRACTOR TO VERIFY NEW & EXISTING HVAC SYSTEMS IN FIELD

* VERIFY THAT NO POINT ALONG ANY WALL 12'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 5'-0" FROM AN OUTLET

* ALL ELECTRICAL CONNECTIONS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING

* ALL OUTLETS SHALL BE AIR TIGHT PROTECTED

* ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT

* ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CLEAN FAN

* RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 6" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN

* PROVIDE SEPARATE 20 AMP CIRCUITS FOR KITCHEN REFRIGERATORS, WOODWORKS, GARBAGE DISPOSALS & DISHWASHERS

* PROVIDE SEPARATE LOCAL DISCONNECTS FOR KITCHEN GARBAGE DISPOSALS & DISHWASHER

* PROVIDE MIN. 30" DEEP X 30" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF ELECTRICAL PANEL

* PROVIDE 200 AMP ELECTRICAL SERVICE FOR BUILDINGS UP TO 6,000 SF

* PROVIDE 400 AMP ELECTRICAL SERVICE FOR BUILDINGS OVER 6,000 SF

FINISHES

* ALL INTERIOR AND EXTERIOR FINISHES INCLUDING BUT NOT LIMITED TO WALLS, DOORS, WINDOWS, SINKS, ROOFING, ETC. ARE TO MATCH EXISTING UNLESS OTHERWISE NOTED.

CODE CONFORMANCE

THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:

- 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE/TWO FAMILY DWELLING w/ AMENDMENTS
- 2017 NATIONAL ELECTRIC CODE w/ AMENDMENTS
- CURRENT ILLINOIS STATE PLUMBING CODE w/ AMENDMENTS
- 2018 INTERNATIONAL FIRE PREVENTION CODE w/ AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE w/ AMENDMENTS
- CURRENT ENERGY CONSERVATION CODE w/ AMENDMENTS
- VALUE OF LAKE FOREST AMENDMENTS

DESIGN LOADING VALUES

ROOF	30 PSF LIVE LOAD (SNOW)	WALLS	20 PSF WIND FOR 0-30 FT. HEIGHT
CEILING	20 PSF LIVE LOAD (SNOW)	FLOOR	25 PSF WIND FOR 30-30 FT. HEIGHT
FLOOR	30 PSF LIVE FOR EXTERIOR BALCONY		30 PSF WIND FOR 30 FT. AND ABOVE
	40 PSF LIVE FOR FLOORS, DECKS, STAIRS		3000 PSF ASSIGNED UNIFORM

OWNER/CONTRACTOR RESPONSIBLE TO VERIFY

CONCRETE/MASONRY NOTES

* SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS

* FOUNDATION REFERENCING TO BE GRADE 60. LAP CONTINUOUS BARS 36" DIAMETERS

* ALL FOUNDATION WALLS WITH FULLY BUSHED VERTICAL REINFORCING TO BE A MINIMUM OF 12" THICK

* ALL EXTERIOR WALLS OR EXTERIOR BALCONY FRAMES SHALL BE 2" (2" x 4" SHEATHING) STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS AND 3500 PSI FOR CONCRETE SLAB AND EXTERIOR CONDITIONS

* ALL ROOFING, STAIRS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3000 PSI AND BETWEEN 5/8" TO 1" AIR ENCLOSED

* FOUNDATION HEIGHT TO BE AT SUCH A LEVEL SO NEW TOP OF FINISHED FLOOR MATCHES EXISTING TOP OF FINISHED FLOOR, UNLESS OTHERWISE NOTED

* PROVIDE SAW CUTS IN EXISTING FOUNDATION TO PROVIDE FOR ADEQUATE ACCESS TO NEW GRADE SPACE OR BASEMENT, PER PLANS AND LOCAL CODES

* PROVIDE SAW CUTS IN EXISTING FOUNDATION FOR HVAC ACCESS TO NEW ADDITION AS NOTED

* CONTRACTOR IS RESPONSIBLE TO PROVIDE VERIFICATION OF EXISTING STRENGTH AND DEPTH OF EXISTING FOUNDATION AND FOOTING

* MASONRY MORTAR TO BE TYPE N

WINDOW NOTES

* VERIFY ALL NEW WINDOW SIZES IN FIELD PRIOR TO PURCHASE

* NEW WINDOWS TO MATCH EXISTING WINDOW TYPE & STYLE, UNLESS OTHERWISE NOTED

* TOP OF WINDOWS IN REMODELED AREAS OF ADDITIONS TO MATCH EXISTING

* FOR BASEMENTS, TOP OF WINDOWS 6"-8" (TOP) ABOVE FLOOR SLAB, UNLESS OTHERWISE NOTED

* FOR 12'-0" PLATES, TOP OF WINDOWS 6" (TOP) ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED

* FOR 8'-0" PLATES, TOP OF WINDOWS 6" (TOP) ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED

* FOR 8'-0" PLATES, TOP OF WINDOWS 6" (TOP) ABOVE SUB-FLOOR, UNLESS OTHERWISE NOTED

* ALL WINDOWS ARE DESIGNATED BY ROOM OR OPENING, SHOWN IN FEET AND INCHES

* EXAMPLE: 2553 = 2'-5" X 3'-5" TO BE MET WITH 2" OF EXISTING

* PROVIDE 2" X 1/2" HEADERS ABOVE ALL NEW WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED

* VERIFY ALL EXISTING HEADERS WHICH BEARING WILL BE INCREASED AS A RESULT OF THE REMODEL TO BE MIN. (2) 2" X 12" UNLESS OTHERWISE NOTED

* PROVIDE TEMPORARY SAFETY GLAZING IN ALL NEW WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN 24" X 8" SHOWER ENCLOSURES, & IN STAIR WELLS

* PROVIDE WINDOW CHARGES THAT COMPLY WITH ASTM F2008 OR F2009 WHEN NEW WINDOW SELLS ARE LESS THAN 24" ABOVE FINISHED FLOOR

* ALL NEW CONSTRUCTION SHALL HAVE A MINIMUM U-VALUE AS FOLLOWS: WINDOWS & DOORS = (U-1.0), DOORLIGHTS = (U-0.5)

STRUCTURAL NOTES

* PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS & POINT LINGS

* ALL INTERIOR PARTITIONS 3/4" (2 X 4 STUDS) UNLESS OTHERWISE NOTED

* ALL EXTERIOR WALLS 4" (2 X 4 STUDS) UNLESS OTHERWISE NOTED

* ALL EXTERIOR FRAME WALLS w/ MASONRY VENEER = 5/8" (2 X 4 STUDS) w/ 1" SHEATHING + 1" SPACE + 4" MASONRY VENEER

* ALL EXTERIOR WALLS 6" (2 X 6 STUDS) w/ 1/2" SHEATHING

* ALL EXTERIOR FRAME WALLS w/ MASONRY VENEER = 1" (2 X 6 STUDS) w/ 1/2" SHEATHING + 1" SPACE + 4" MASONRY VENEER

* ALL EXTERIOR WINDOWS ARE SHIPPED TO EXTENSION OF WALL SHEATHING OR FULL MASONRY VENEER & ALSO COME WITH EXTERIOR OF FOUNDATION WALL (WINDOWS ARE NEW SHIPPED TO TRIM-OUT MASONRY VENEERS, THEY ARE DESIGNATED AS A TYPE OF EXTERIOR BRICK/CLAY/CONCRETE STEEL TO BE A-36 & STRUCTURAL STEEL BOLTS TO BE A-305

* PROVIDE (5" X 3/4" X 3/4") ST. ANGLE L.L.V. ABOVE OPENINGS UP TO 6'-0" WIDE w/ MASONRY VENEER ABOVE

* PROVIDE (6" X 4 1/2" X 1/2") ST. ANGLE L.L.V. ABOVE OPENINGS FROM 6'-0" TO 10'-0" WIDE w/ MASONRY VENEER ABOVE

* PROVIDE (7" X 4 1/2" X 1/2") ST. ANGLE L.L.V. ABOVE 10'-0" & 10'-0" WIDE OVERHEAD DOORS w/ UP TO 2" OF MASONRY VENEER ABOVE

* PROVIDE (5" X 4 1/2" X 1/2") ST. ANGLE L.L.V. ABOVE 10'-0" & 10'-0" WIDE OVERHEAD DOORS w/ MORE THAN 2" OF MASONRY VENEER ABOVE

* STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS AND SHIMS FOR A COMPLETE INSTALLATION

* STEEL FLUSH PLATE BEAMS TO BE CONNECTED WITH 1/2" BOLTS @ 20" O.C. AND @ 4" EACH END

* ALL STEEL BEAMS, UNLESS A CORNER PLATES SHALL BE SHIP PROVED

* WALLS SHALL BE SHIPPED AT EACH END AND 25" O.C. MAX.

* ALL ARTS, STAIRS & PARTERS TO BE 1/2" (2X4) (CONCRETE) UNLESS OTHERWISE NOTED

* ALL HEADERS TO BE (2) 2 X 12 SPS (1/2" (CONCRETE) UNLESS OTHERWISE NOTED

* THE DIAMETER OF HOLES BORED INTO SOLID SAWN MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER AND SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE

* THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED FRAMING MEMBERS SHALL FOLLOW MFG. APPROVED SPECIFICATIONS

* PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOIST AT THE TIME OF INSPECTIONS

* PRE-ENGINEERED FLOOR JOIST TO BE BY TRUSJOIST MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS

* PRE-ENGINEERED FLOOR JOIST SUPPORT SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER FLOOR TO FRAMING

* (1) (2) 2X STUDS IN INTERIOR PARTITIONS w/ MIN. 1/2" JOIST UNLESS OTHERWISE NOTED

* (1) (2) 2X STUDS IN EXTERIOR WALLS UNLESS OTHERWISE NOTED

* (1) (2) 2X STUDS IN EXTERIOR WALLS UNLESS OTHERWISE NOTED

* ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE 200 9/16" O.C. 2X12 WALLS

* ADD 2 X HORIZONTAL BLOODING, SAME WIDTH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 10'-0" IN HEIGHT, FASTEN EXTERIOR SHEATHING TO BLOODING AND TO STUDS

* WALL WALLS TO BE MIN. 1/2" UNLESS OTHERWISE NOTED

* FIREPROOFING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

- CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING STAGGERED OR PARALLEL RINGS OF STUDS, VERT. AT CEILING AND FLOOR LEVELS AND HORIZ. AT 90° INTERSECTIONS
- ALL INTERSECTIONS BETWEEN CONCRETE MASONRY AND METALLIC PARTITIONS SUCH AS DOORS AT SORTIES, DROP CEILING AND CEILING DECKS
- CONCEALED SPACES BETWEEN SHIM STUDS AT TOP AND BOTTOM OF THE RUNS
- CEILING, DROP CEILING AND CEILING DECKS
- CONCEALED SPACES BETWEEN STUD WALLS AND PARTITIONS AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS.

ELECTRICAL NOTES

* WHEN REMODELING OR ADDING A KITCHEN, LAUNDRY ROOM OR GARAGE, THE FOLLOWING NOTES APPLY:

* ALL OUTLETS ABOVE KITCHEN COUNTERTOP TO BE 6"1" AND MAXIMUM 48" O.C.

* ALL OUTLETS WITHIN 27" OF ANY SINK OR WASTER FEATURE TO BE 6"1"

* ALL OUTLETS IN GARAGE TO BE 6"1"

* ALL EXISTING ELECTRICAL COMPONENTS WHICH ARE EFFECTED BY THE REMODELING OR ADDITION ARE TO BE ADJUSTED, UPDATED, MOVED OR MODIFIED AS NOTED TO CONFORM TO CURRENT LOCAL AND NATIONAL ELECTRICAL CODES

* WHEN ADJUSTING AN EXISTING RESIDENCE (ALTERATIONS, REPAIRS OR MODIFICATIONS) THE ENTIRE SYSTEM SHALL BE PROVIDED WITH SHOCK & CARBON MONOXIDE DETECTORS PER LOCAL CODE & LOCATED AS REQUIRED FOR A NEW DWELLING

* (1) CARBON MONOXIDE DETECTOR IN EACH FLOOR LEVEL

* (1) SHOCK DETECTOR IN EACH BEDROOM

* (1) CARBON MONOXIDE DETECTOR WITHIN 15'-0" OF EACH BEDROOM

* (1) SHOCK DETECTOR IN EACH BATHROOM

* ALL TYPICAL ROOM OUTLETS TO BE SPACED MAX. 12'-0" APART, UNLESS OTHERWISE NOTED

* VERIFY THAT NO POINT ALONG ANY WALL 12'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 5'-0" FROM AN OUTLET

* ALL ELECTRICAL CONNECTIONS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING

* ALL OUTLETS SHALL BE AIR TIGHT PROTECTED

* ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT

* ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CLEAN FAN

* RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 6" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN

* PROVIDE SEPARATE 20 AMP CIRCUITS FOR KITCHEN REFRIGERATORS, WOODWORKS, GARBAGE DISPOSALS & DISHWASHERS

* PROVIDE SEPARATE LOCAL DISCONNECTS FOR KITCHEN GARBAGE DISPOSALS & DISHWASHER

* PROVIDE MIN. 30" DEEP X 30" WIDE X 78" HIGH CLEAR WORK AREA IN FRONT OF ELECTRICAL PANEL

* PROVIDE 200 AMP ELECTRICAL SERVICE FOR BUILDINGS UP TO 6,000 SF

* PROVIDE 400 AMP ELECTRICAL SERVICE FOR BUILDINGS OVER 6,000 SF

NOTES

- VERIFY UTILITY LOCATIONS
- VERIFY TREES TO BE REMOVED WITH OWNER
- VERIFY STRUCTURE LOCATION WITH OTHERS

SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.

- REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
- BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.

NOTE:
MAINTAIN EXISTING GRADES & DRAINAGE PATTERN. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITEE

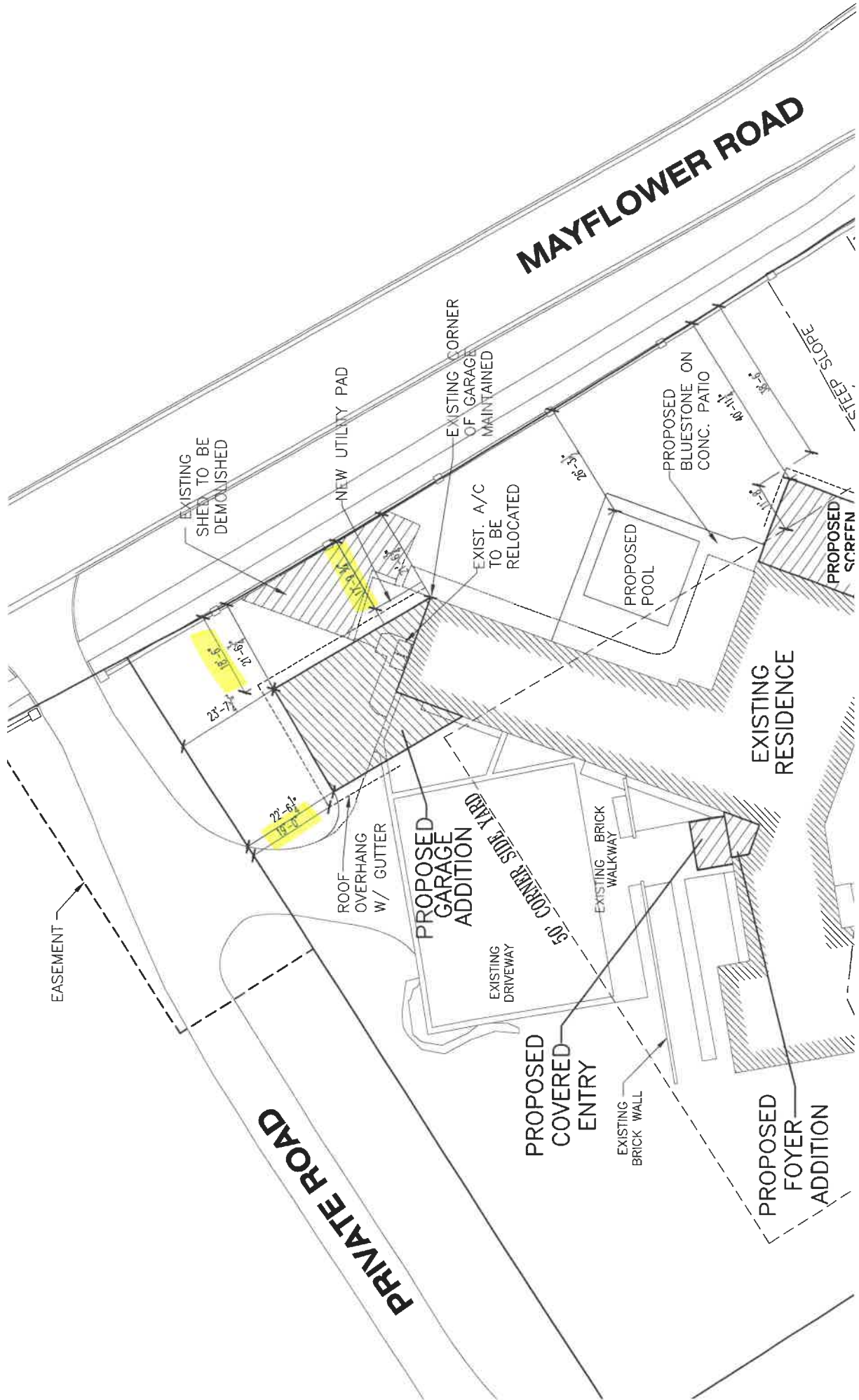
JE VENTURES
600 N. MAYFLOWER RD.
LAKE FOREST, IL 60045

ARCHITECTS & PLANNERS, INC.
GENERAL NOTES
DRAWING INDEX

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2600 Bebeau Road at Rt. 176, Crystal Lake, IL 60014
1700 E. Racine Ave., Waukegan, WI 53186
40 Crystal St., Crystal Lake, IL 60013
Corp., IL 60013

Job Number: 24233
Sheet Number: A000
Date: 11/30/26

ENLARGED SITE PLAN - GARAGE



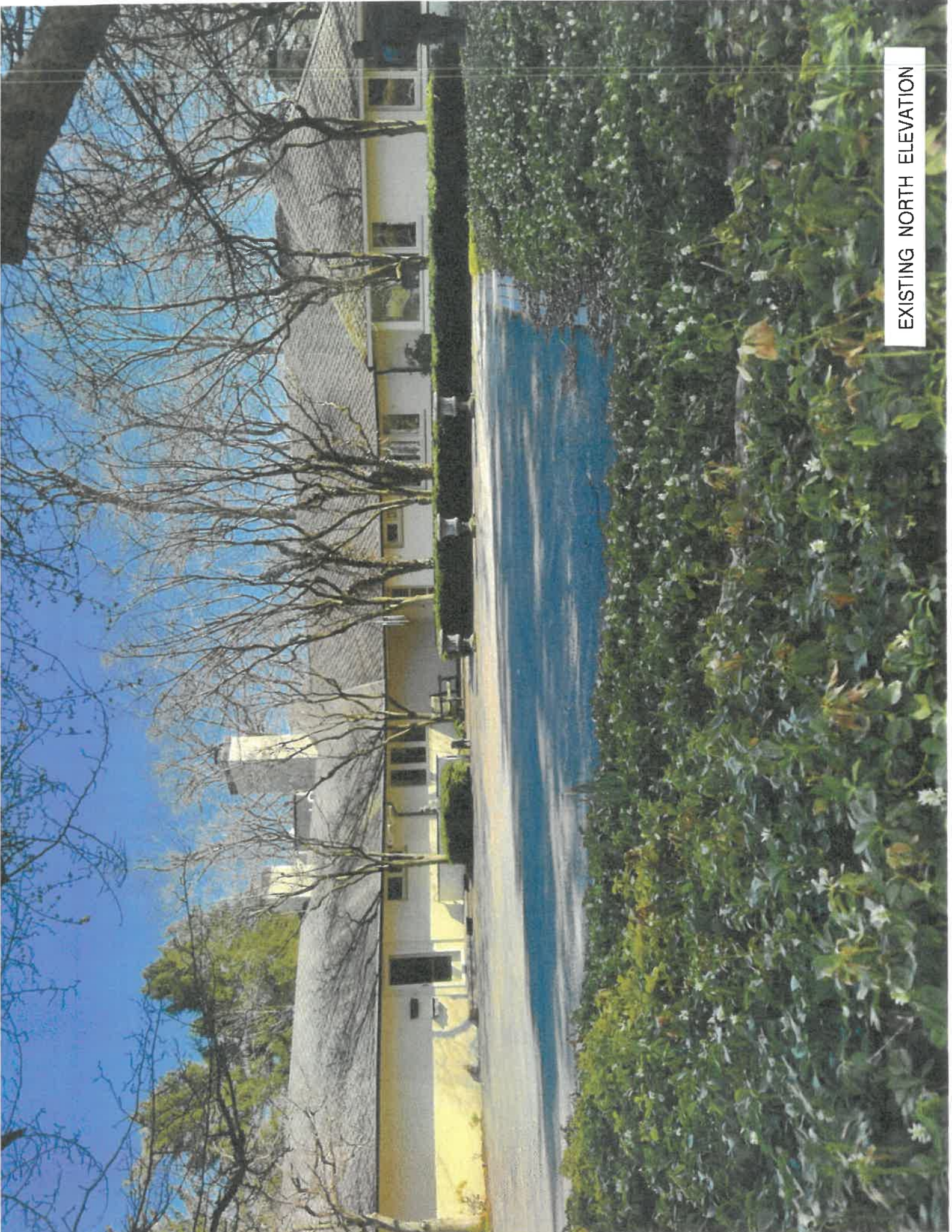


View Looking North – Backyard



View Looking East – West Side of House

EXISTING NORTH ELEVATION



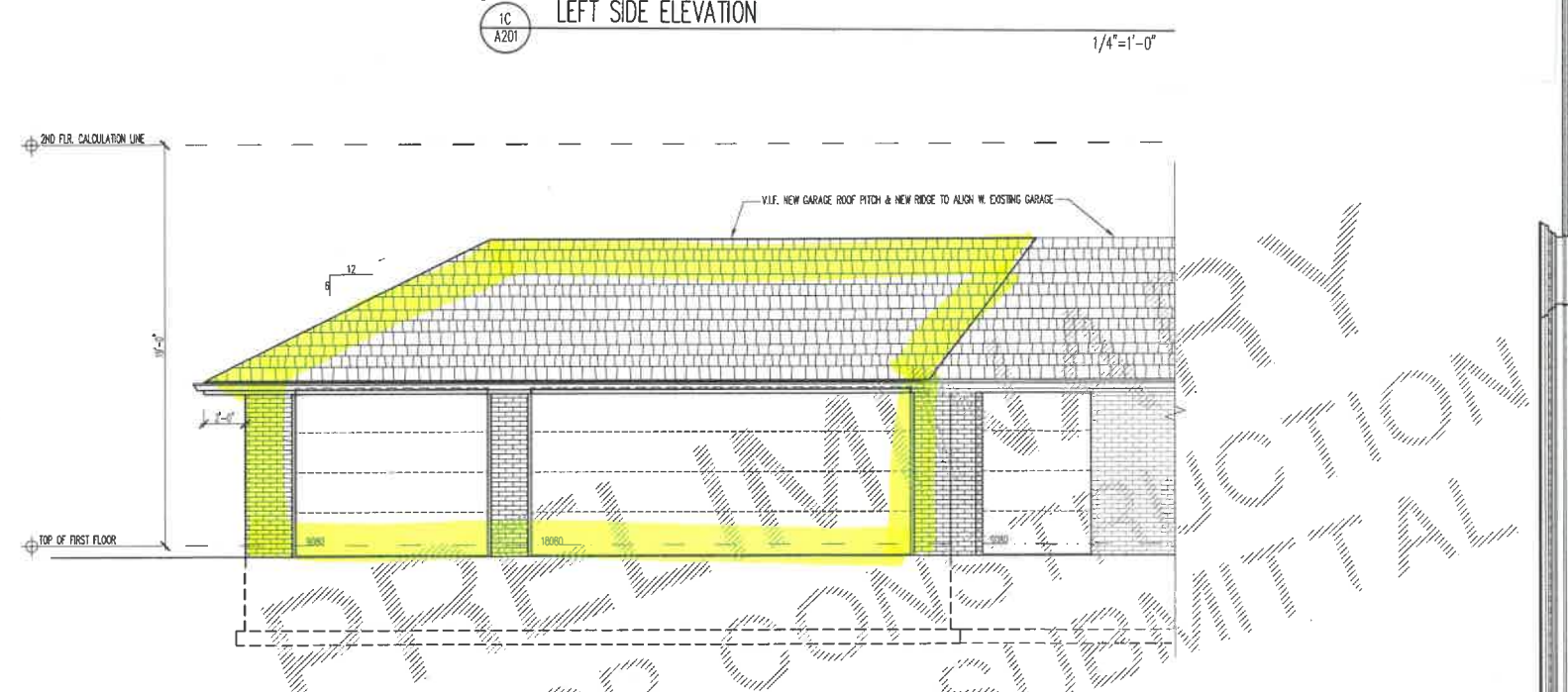
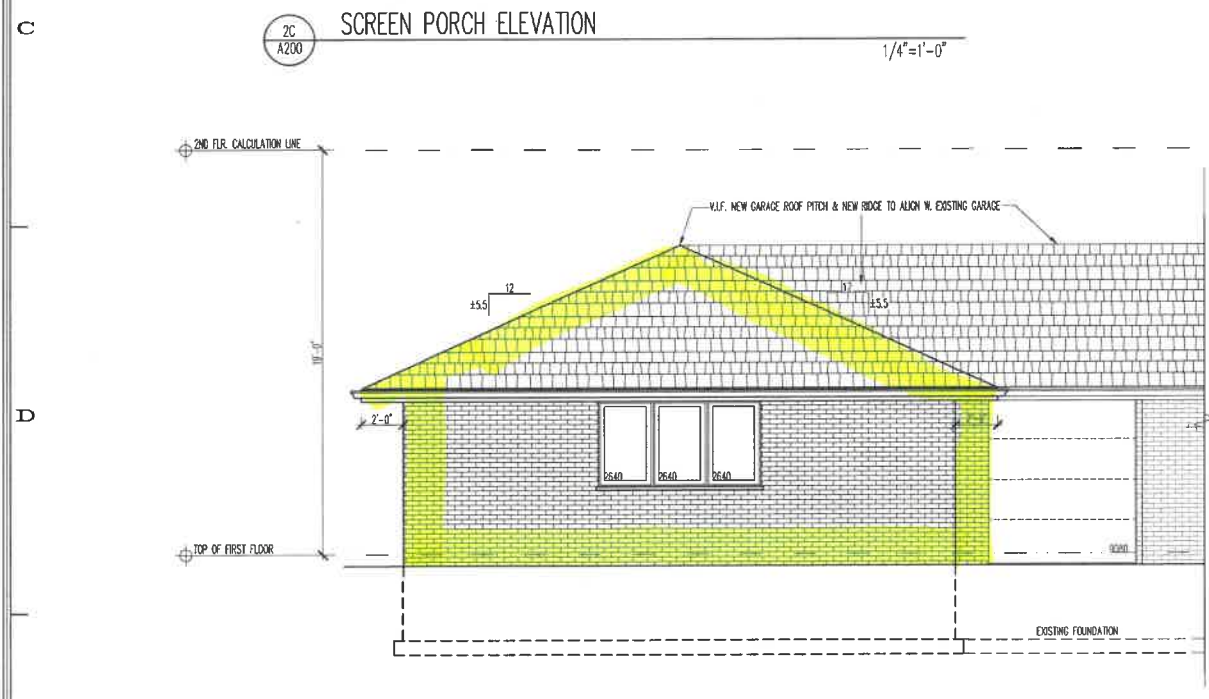
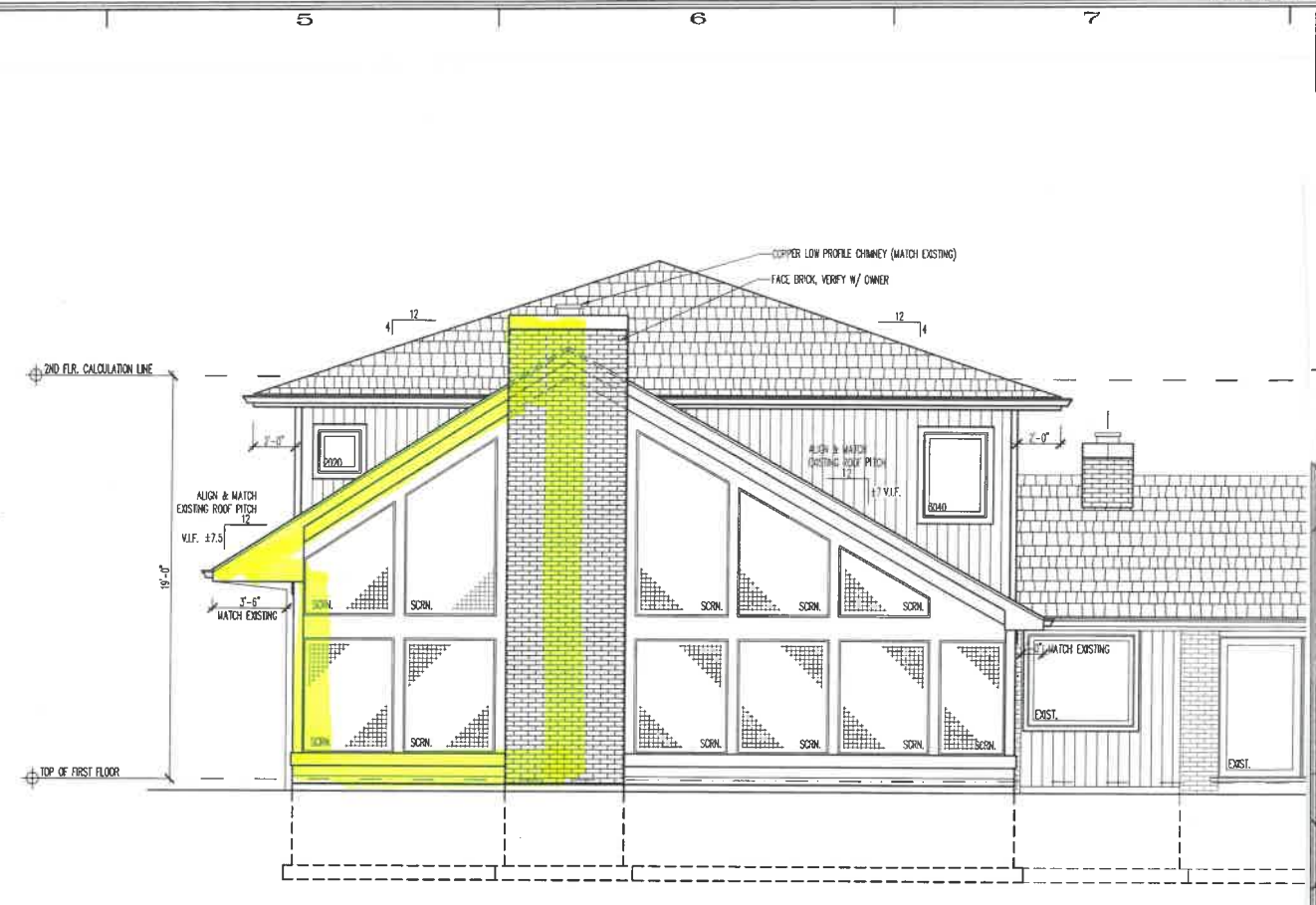
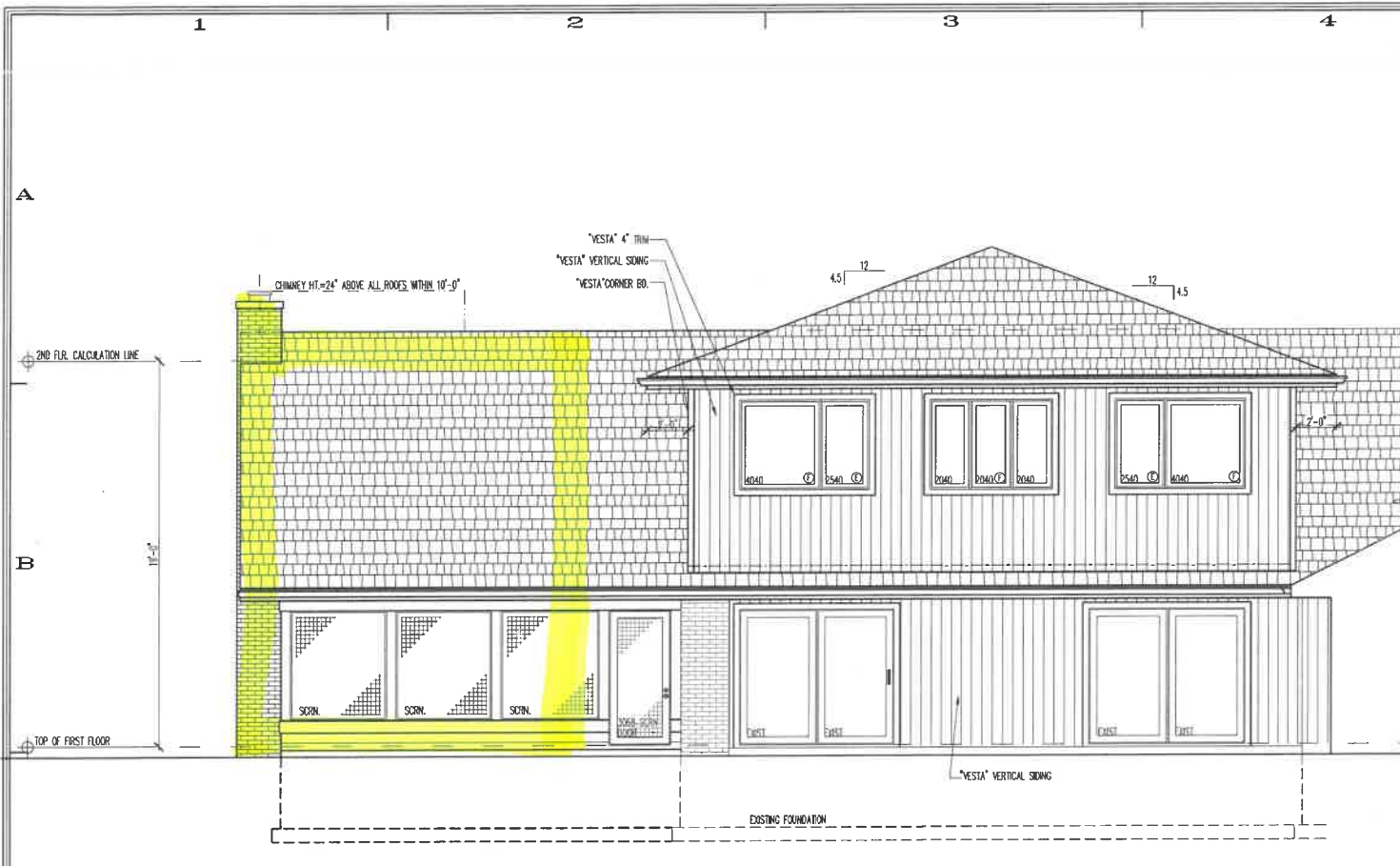
STORAGE SHED - NORTH

EXISTING VIEW FROM SHARED PRIVATE DRIVE





EXISTING EAST ELEVATION



2C A200 SCREEN PORCH ELEVATION

1C A201 LEFT SIDE ELEVATION

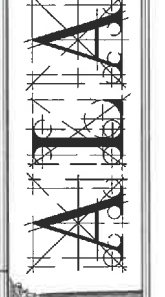
2C A200 LEFT SIDE GARAGE ELEVATION

2C A200 FRONT GARAGE ELEVATION (LEFT SIDE)

DESIGN STAGE	DATE	BY	CHK
PRELIMINARY DESIGN	05-22-24	JL	JA
PRELIMINARY DESIGN	05-22-24	JL	JA
ARCHIT. REVIEW	05-24-24	JL	JA
RELEASE FOR PERMIT	05-27-24	JL	JA
REVISION			

PRELIMINARY
 JE VENTURES
 6001 MAYFLOWER RD
 LAKE FOREST, IL 60045

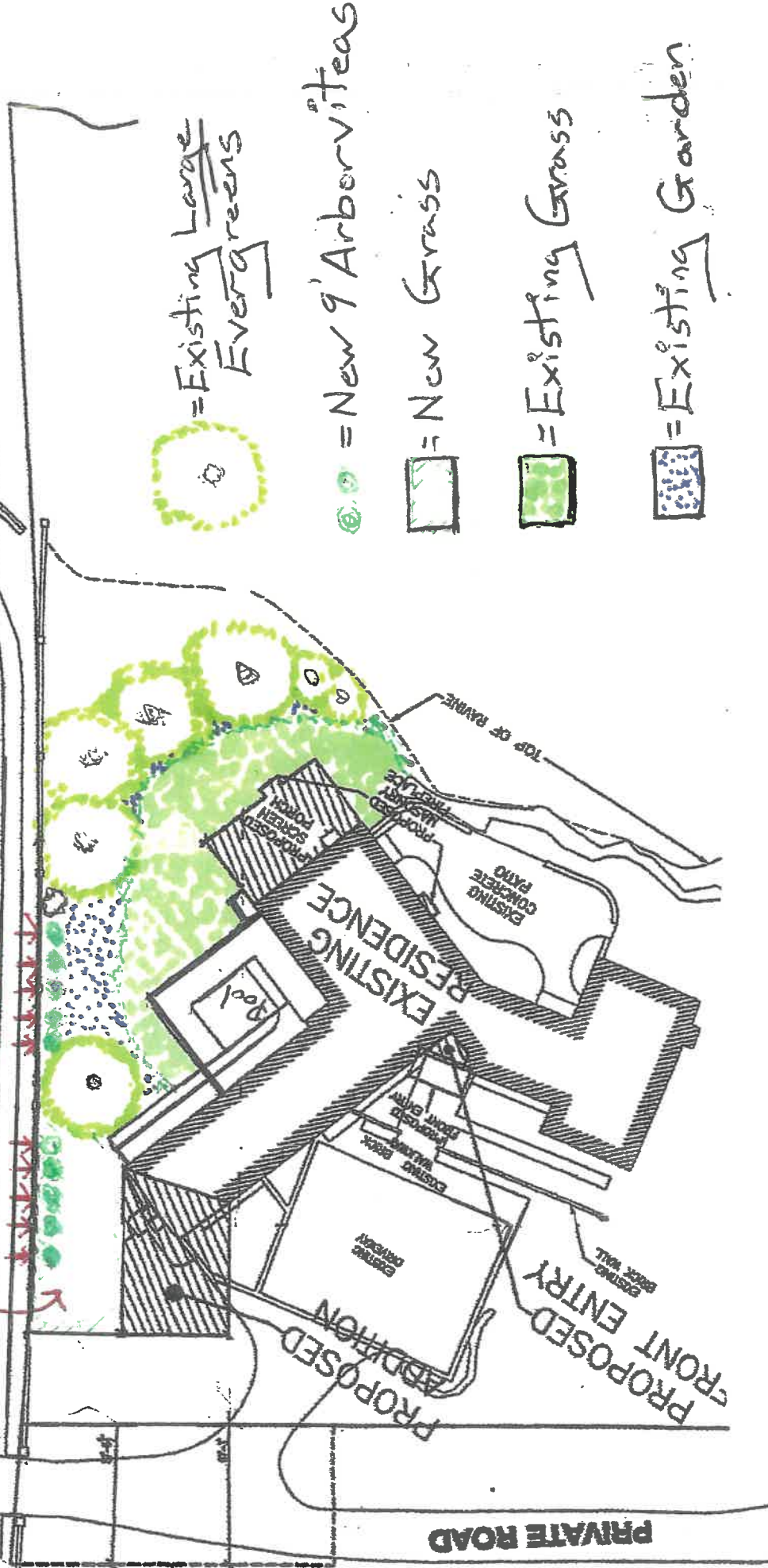
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 2600 Johnson Road, Rt. 176
 Lake Geneva, WI 53147
 1700 E. Beaver Ave.
 Whitefish, WI 53190



Job Number:
 24233
 Sheet Number:
 A202

MAYFLOWER ROAD

NEW NEW



= Existing Large Evergreens

= New 9' Arborviteas

= New Grass

= Existing Grass

= Existing Garden

600 N. MAYFLOWER RD.
LAKE FOREST, IL 60045

LANDSCAPE

NOTE: (No Tree Removal Needed)

LANDSCAPE PLAN

- Garage Addition
- New Windows
- Reconfigured Chimney
- Reconfigured Second Story
- New Chimney
- Front Porch Addition



Front of House Looking South (from neighboring property north of the shared driveway)

- Reconfigured Gable End with Additional Windows
- New Chimney
- New Door
- Reconfigured Second Story
- New Windows
- Screen Porch Addition



Rear of House – Looking North

- Screen Porch Addition
- New Pool & Hardscape
- Reconfigured Second Story
- Reconfigured Chimney
- New Chimney
- Front Porch Addition
- Garage Addition



Arial View – Looking Southwest