

**Agenda Item 3**  
**1345 Lake Road**  
**Boat House, Shore Cottage and Building Scale Variance**

Staff Report  
Building Scale Summary Sheet  
Historic Resource Survey  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Existing Conditions  
    Plat of Survey  
    Photos  
Proposed  
    Site Plan  
    Color Rendering  
    Shore Cottage  
        Elevations  
        *Roof Plan*  
        *Floor Plans*  
    Boat House  
        Elevations  
        *Floor Plans*  
Tram

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Norkus and members of the Historic Preservation Commission
DATE:	June 24, 2026
FROM:	Luis Prado, Planner
SUBJECT:	<b>1345 Lake Road – Shore Cottage, Boat House and Building Scale Variance</b>

### **PETITIONERS**

Peter and Sofia Westmeyer  
1345 Lake Road  
Lake Forest, IL 60645

### **PROPERTY LOCATION**

1345 Lake Road

### **HISTORIC DISTRICTS**

East Lake Forest Local &  
National Historic Districts

### **PROJECT REPRESENTATIVE**

Nate Lielasus, Architect  
Northworks Architects  
1345 Lake Road  
Lake Forest, IL 60645

### **SUMMARY OF THE PETITION**

A Certificate of Appropriateness is requested approving the construction of a shore cottage and a boat house fronting the Lake. A building scale variance is requested to allow for the construction of the shore cottage. A tram is also proposed to facilitate access from the tableland, the rear yard of the residence, down to the proposed accessory structures.

### **DESCRIPTION OF PROPERTY AND SURROUNDING AREA**

The property is located on the east side of Lake Road, between Spruce Avenue and Woodland Road. The property is 3.27 acres in size. The house was constructed in 1912 and designed by Howard Van Doren Shaw. The residence is identified as a Contributing Structure to the Local Historic District. The Historic Resource Survey for this property from the City's database is included in the Commission's packet and provides some history and background on the property.

No work on the historic residence is proposed as a part of this petition.

### **STAFF EVALUATION**

#### *Site Plan*

The property is a large lakefront estate with significant changes in grade from the tableland down to the shoreline of Lake Michigan. The proposed improvements are located at the base of the bluff near the beach. The project includes a new shore cottage, a boat house, a tram for transportation from the top of the bluff to Lake level, and hardscape including extension of the existing stone pathways and a terrace. The improvements are proposed within the steep slope setback and require excavation and retaining walls to accommodate the new structures. Following review and evaluation by the Historic Preservation Commission, and after review by the City Engineer, the petitioner will appear before the Zoning Board of Appeals to request a variance to allow the proposed work within the steep slope setback.

According to the petitioner, no significant trees are proposed for removal. Existing shoreline features, including the stone pathway, beach, pier, and revetment system, are intended to remain. The proposed structures are not visible from Lake Road and have limited visibility from neighboring properties. The siting of the improvements is intended to integrate the structures into the existing landscape and topography while maintaining the primary focus on the historic residence located on the tableland above.

### Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height.**

This standard is met. The shore cottage is 18' in height from the finished first floor and the boat house is 13.5' in height from the finished first floor. Both structures are below the maximum height of 25' for accessory structures and are in part, built into the bluff.

#### **Standard 2 – Proportion of Front Façade.**

This standard is not applicable to this request. No changes are proposed on the front façade of the residence. No part of the proposed improvements will be visible from the Lake Road streetscape.

#### **Standard 3 – Proportion of Openings.**

This standard is met. Proportions of windows and door openings are appropriate for the use of the structures and the style of architecture. The expansive glass and sliding door system on the east elevation of the shore cottage takes advantage of views of the Lake.

#### **Standard 4 – Rhythm of Solids to Voids.**

This standard is met. The windows and doors appear consistent with the residential design guidelines given the unique location and use of the structures.

#### **Standard 5 – Spacing on the Street.**

This standard is not applicable to the petition. The proposed structures are hidden from the street and the relationship of the residence to the street will not change.

#### **Standard 6 – Rhythm of Entrance Porches.**

This standard is not applicable to this petition. The front entrance of the residence is not proposed to change.

#### **Standard 7 – Relationship of Materials and Texture.**

This standard is met. High quality, natural materials are proposed. The façade will be granite field stone to blend into the rip rap, a mix of granite, limestone and quartzite. The windows will be aluminum clad casement windows with simulated divided lites with muntin bars attached to the interior and exterior. The trim will be painted steel, the roof will be multi-color Vermont slate to match the roof of the main house and the gutters and downspouts will be aluminum. The terrace will be limestone to match the existing hardscaping.

#### **Standard 8 – Roof Shapes.**

This standard is met. The roof shapes on the shore cottage and boat house are simple and appropriate for the small structures.

**Standard 9 – Walls of Continuity.**

This standard is met. The structures are built into the bluff and consistent with other shoreline improvements and structures found along Lake Michigan in Lake Forest.

**Standard 10 – Scale.**

A building scale variance is requested. The residence is presently 367 square feet or 4% under the maximum allowable square footage.

Based on the lot size, a residence of up to 10,309 square feet is permitted on the site. This includes a deduction to the allowable square footage necessitated by 109,564 square feet of non-table land. (Non-table land is factored into the allowable square footage equation at 50 percent.) In addition, a garage of up to 800 square feet is permitted along with up to 994 square feet of design elements. The residence currently totals 9,942 square feet. The garage is completely below grade; therefore, it does not contribute to the square footage. There are 370 square feet of design elements on the existing residence.

The proposed boat house is partially below grade, therefore only a portion of the structure is counted toward visible mass. The boat house totals 473 square feet and is covered by the available 800 square feet of garage allowance. The shore cottage is 711 square feet. Together, the existing residence and the proposed structures total 10,653 square feet, which is 344 square feet or 3% over the allowable square footage for this property.

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*Standards for a Building Scale Variance*

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met. These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

*Standard 1 – The project is consistent with the design standards of the City Code.*

This standard is met. The structures are modest in scale and consistent with the style of architecture of the existing home.

*Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.*

This standard is met. The structures are not visible from the streetscape. The placement of the structures on the bluff and existing landscaping limits visibility of the new structures from neighboring properties.

*Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.*

This standard is met. The structures will have no impact on the streetscape. Given the location and relatively low height and modest scale of the structures, as well as their locations low on the bluff, there will be no negative impacts on the light to and views from neighboring homes.

*Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.*

This standard is met. The structures are modest in height and mass and will not be noticeable from the streetscape. They will have little, if any, impact on the adjacent neighbors.

*Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.*

This standard is met. The property is located in the East Lake Forest Historic District and was constructed well before the current square footage limitations were adopted. The structures will increase the functionality of a property with beachfront access without compromising the historic integrity of the residence.

*Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.*

This standard is met. The property is adjacent to Lake Michigan to the east, mitigating the impact and appearance of the mass of the accessory structures.

In summary, the criteria for a building scale variance are satisfied. Six of the above standards are satisfied based on staff's review.

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**Standard 11 – Directional Expression of Front Elevation.**

This standard is not applicable to this petition. No changes are proposed to the front elevation of the residence.

**Standard 12 – Preservation of Historic Material.**

This standard is met. The existing home will not be affected by the proposed work.

**Standard 13 – Protection of Natural Resources.**

This standard is met. According to the petitioner, no significant trees are proposed for removal. At the time of permit, the City Arborist will evaluate the final plans and determine required tree protection measures and replacement inches if any. Limited landscaping is proposed due to the existing rip rap and challenges of establishing formal landscaping on the bluff.

**Standard 14 – Compatibility.**

This standard is met. The designs are intended to blend into the shoreline through their scale, materials, and siting.

**Standard 15 – Repair to deteriorated features.**

This standard is not applicable. The existing historic residence will not be affected by the proposed work.

**Standard 16 – Surface cleaning.**

This standard is not applicable. The existing historic residence will not be affected by the proposed work.

**Standard 17 – Integrity of historic property.**

This standard is met. The proposed structures will not negatively impact the integrity of the historic property.

**PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has not received any public comment on this petition.

**RECOMMENDATION**

Grant a Certificate of Appropriateness, including a building scale variance, approving the construction of a shore cottage, boat house, and associated site improvements at 1345 Lake Road, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission with the refinement as directed above. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. The following plans and information must be submitted prior to the issuance of a building permit and will be subject to staff review and approval:
  - a. A detailed landscape plan for areas impacted by construction recognizing the limited options for plantings that will thrive on the bluff. The plan shall provide for the replacement inches of trees removed if determined to be necessary by the City Forester.
  - b. A plan to protect any trees and vegetation identified for preservation during construction including, if determined to be necessary by the City Forester, a plan for pre and post construction treatments prepared by an independent Certified Arborist.
  - c. An exterior lighting plan and cut sheets for all light fixtures. Except for lights illuminated by natural gas at low light levels, fixtures shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors, the Lakefront, and on the dark sky character of the neighborhood.
  - d. A plan for access to the construction site, contractor parking and material staging which minimizes impacts on the surrounding neighborhood. The street must remain passable at all times and driveways along the street and sightlines to and from the driveways must remain clear. Any parkway damage must be repaired promptly, and the street must be kept free of mud and debris at all times.



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 2698

**Property Address:**

**Street:** 1345 N LAKE RD  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** Donald R. McLennan House, "Sturnoway"

**Original Owner:** Donald R. McLennan  
**Other Previous Owners:** JAROS, RICHARD

**Present Owner:** PRESTIGE LF LLC

**Current Property Name:**

**Resource Type:** Building  
**Date of Construction:** 1912  
**Use, Original:** Single Family Residence  
**Use, Present:** Single Family Residence  
**Theme:** Domestic  
**Secondary Theme:** 20th Century Architecture  
**Style:** Italian Renaissance  
**Secondary Style:**  
**Architect/Engineer:** Howard Van Doren Shaw

**Builder/Contractor:** unknown  
**Landscape Architect:** Rose Nichols



**Photo Name:** April 1995

**Demolished:** **Date:**

**Zoning District:** R4  
**Subdivision:** Lot 3 of the Sturnoway Subdivision; platted 06/28/1976

**Subdivided from:**

**Current Property Size (est.):** 3.27 acres  
**Original Property Size (est.):**

**Facade Easement?:**  
**Held by:**

**Conservation Easement?:**  
**Held by:**

**Plan Shape:** Rectangular  
**Number of Stories:** 2.5  
**Structural Framing:**  
**Foundation Material:**  
**Facade Material:** Stone  
**Roof Form:** Hip  
**Roof Material:** Slate  
**Primary Window Type:** Double Hung - 6/6  
**Porches:** Triple arched colonnade at the entry.  
**Integrity:** Good  
**Condition:** Excellent

**Decorative Features & Surfacing:**

Keystone lintels and urns at the roof, stringcourse, full-height arch window, and dormers are some of the decorative features of this home.



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 2698

**Local Register:**

**Local Historic District:**

Local Ordinance Historic District

**Contributing Significance to Local District:**

contributing

**Contributing Significant Resources:**

Donald R. McLennan House, "Sturnoway" - Howard Van Doren Shaw, 1912

**Is this Property Eligible for Local Landmark Designation?:**

Yes

**Local Landmark Designation:**

**Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

**Other Districts:**

Historic Residential and Open Space Preservation District

**National Register:**

**National Register Historic District:**

Lake Forest

**Contributing Significance to National District:**

contributing

**Contributing Significant Resources:**

**Is this Property Eligible for National Register Listing?:**

**Individual National Register Listing :**

**Other Designations:**

**History and Significance:**

This property is identified as a significant contributing structure to the Historic District. The house was designed by Howard Van Doren Shaw, a noted architect whose individual work is significant to the history and development of Lake Forest. The existing house, constructed in 1912, is distinguished by its overall quality of design, detail, materials and craftsmanship. This building possesses a high level of integrity making it worthy of preservation.

With its three-arched Tuscan porch at the center, this house reflects a Mediterranean style.

Donald R. McLennan was president of Marsh & McLennan, Inc., insurance brokers.

Howard Van Doren Shaw graduated from Yale in 1890. He then studied architecture at MIT where he graduated in 1891. After graduation he returned to Chicago to apprentice at Jenny & Mundie, a firm well known for its tall building designs. Early in 1894 Shaw established his own practice working out of his father's house in Chicago. Shaw built his own summer estate Ragdale, 1230 N. Green Bay Road, in Lake Forest in 1898. Known by 1905 as one of the leading country house architects in America, Shaw also established a reputation for his industrial, commercial, and institutional work. His influential designs were published in the Architectural Record, Brickbuilder, House Beautiful, Inland Architect, and Western Architect. These designs included his own country house, Ragdale; Market Square, the nation's first planned shopping center; the Lakeside Press building, a vast printing complex that set new standards for industrial architecture; and Marktown, a model steel town for industrialist Clayton Mark.

Shaw belonged to many social clubs and organizations, including the Yale Club, Little Room, the University Club, the City Club, the Arts Club, and the Cliffdwellers. He belonged to the Onwentsia Country Club in Lake Forest and Shore Acres Country Club in Lake Bluff. Shaw also served as a trustee of United Charities, Illinois College in Jacksonville, and the Art Institute of Chicago. He was also involved with the American Institute of Architects at all levels and was awarded the Gold Medal, their highest honor, in 1926.

Landscape architect, Rose Standish Nichols (1870-?) was the niece of Augustus Saint-Gaudens. She studied with architect Thomas Hastings, of Carrere and Hastings, at MIT, and the Ecole des Beaux-Arts in Paris. Her clientele was spread across the United States from Massachusetts to Santa Barbara. Nichols was the author of four books on European garden styles – Italian, English, Spanish, and Portuguese.

The Italian Renaissance style, characterized by simple flat facades, rectangular forms, and a low-pitched hipped roof typically covered with ceramic tile, was popular for early 20th century houses throughout the country. The characteristics of this style are borrowed directly from their Italian originals. The Italian Renaissance was primarily for architect-designed landmarks in major metropolitan areas prior to WWI although vernacular interpretations of spread widely with the perfection of masonry veneering techniques; most of these date from the 1920s. This was a less common style than the contemporary Craftsman, Tudor, or Colonial Revival styles. The Italian Renaissance steadily declined in popularity through the 1930s.

**Changes:**

Extensively renovated and remodeled in the 1980s. In 1984 the related coach house was turned to face the street, remodeled, and the address changed to 1381 Lake.

**Property Setting:**



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 2698

Residential neighborhood; This property is located on the east side of Lake Road three lots north of Woodland. The neighborhood is characterized by large estates on large parcels.

**Associated Buildings:**

There is a pool on the property.

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**Sources of Information:**

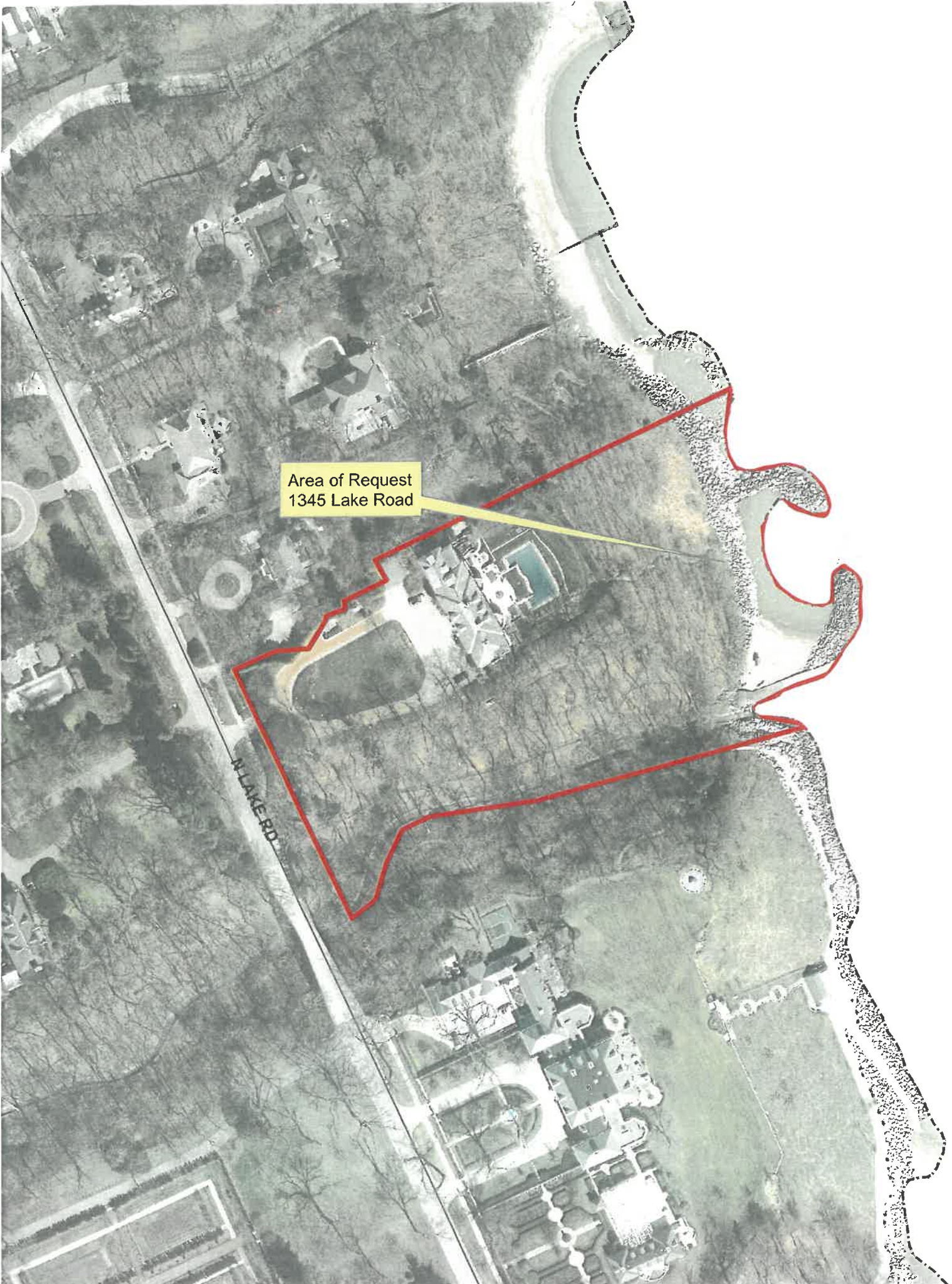
Lake Forest Historic District Nomination form; A Preservation Foundation Guide; The Architecture of Howard Van Doren Shaw, V.A. Green; City of Lake Forest Address and History Files.

**Certif. of Appropriateness Case #(s):**

**1345 N LAKE RD**  
**Survey Date:** May 1999

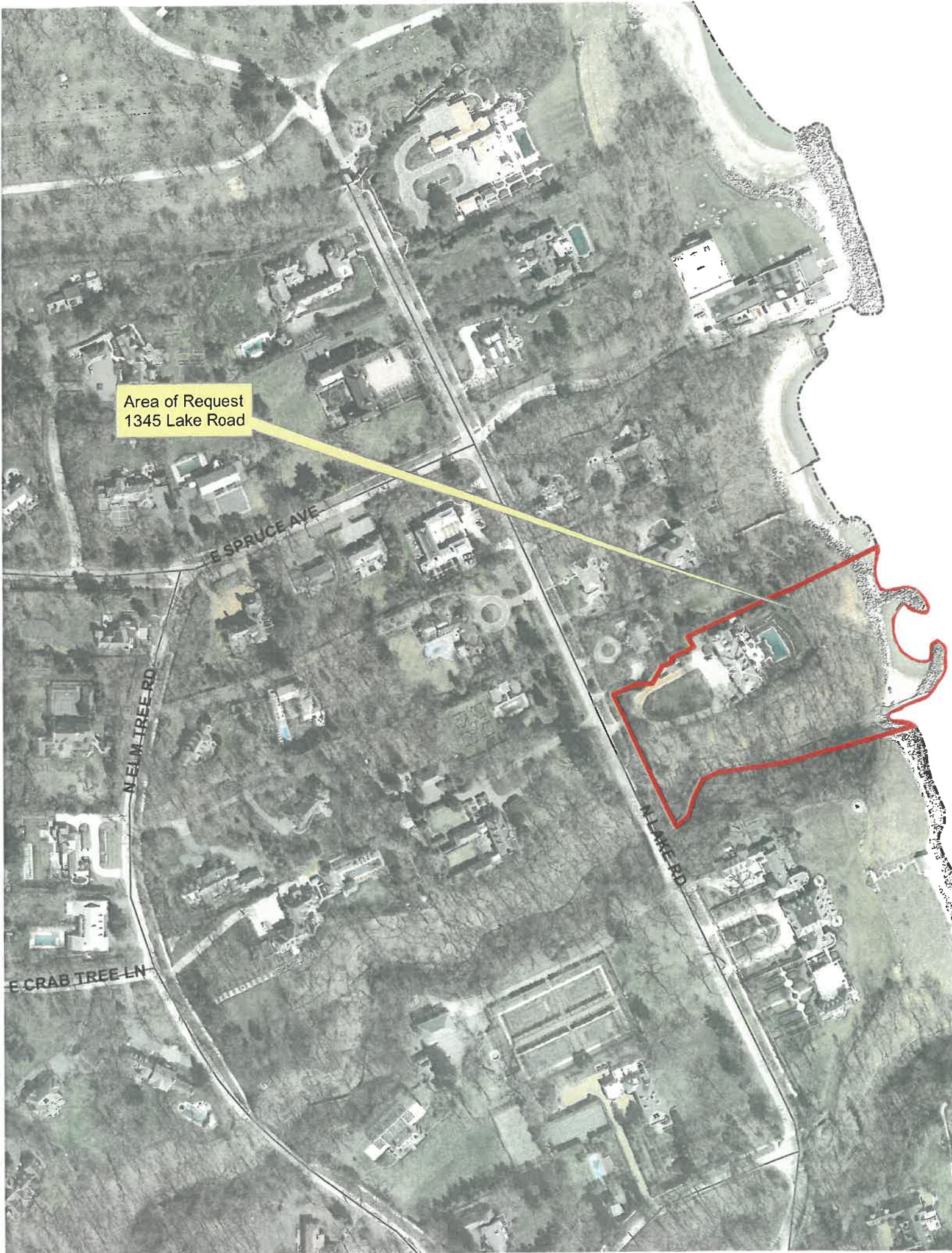
**Demolished:**  
**Demolition Date:**





Area of Request  
1345 Lake Road

N LAKE RD



Area of Request  
1345 Lake Road

E SPRUCE AVE

N ELM TREE RD

E CRAB TREE LN

LAKE RD



**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 1345 Lake Road

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District   
  Green Bay Road District   
  Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District   
  Other

**PROPERTY OWNER INFORMATION**

Peter J. Westmeyer Trust and the  
Sofia M. Westmeyer Trust (50/50 Split)

*Owner of Property*

1345 Lake Road

*Owner's Street Address (may be different from project address)*

Lake Forest, IL 60645

*City, State and Zip Code*

312.872.4102

*Phone Number*

*Fax Number*

pwestmeyer@remedymed.com

*Email Address*

*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Nate Lielasus

*Name and Title of Person Presenting Project*

Northworks Architects

*Name of Firm*

1512 N Throop St

*Street Address*

Chicago, IL 60642

*City, State and Zip Code*

(504) 931-5270

*Phone Number*

*Fax Number*

nlielasus@nwks.com

*Email Address*

*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

*Please email a copy of the staff report*

OWNER     REPRESENTATIVE

*Please fax a copy of the staff report*

OWNER     REPRESENTATIVE

*I will pick up a copy of the staff report at  
the Community Development Department*

OWNER     REPRESENTATIVE



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material none

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

Color of Finish \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other painted steel

**Window Trim**

- Limestone
- Brick
- Wood
- Other painted steel

**Fascias, Soffits, Rakeboards**

- Wood
- Other painted steel

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

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- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

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**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

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- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**      N/A

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- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

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- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other limestone to match  
existing

## **1345 Lake Road - Shore Cottage and Boat House**

Lake Forest, Illinois

April 17, 2026

City of Lake Forest – Historic Preservation Commission

### **Statement of Intent**

**Design rationale per the Historic Preservation Ordinance Standards**

**Design rationale for Approval of a Building Scale Variance**

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### **Statement of Intent**

#### Background

1345 Lake Road – also known as Stornoway – is a large single-family home on Lake Michigan and is contributing to the Lake Forest Historic District. The house was originally designed by noted architect Howard Van Doren Shaw for Donald McLennan and completed in 1912.

In 1984 the original estate was subdivided into lots and the coach house was relocated to face Lake Road and remodeled into a single-family home. The front yard of 1345 Lake was partitioned off as a buildable lot but fortunately was never developed.

The house remained largely intact until the mid-1980s. At that time, the owner – Mr. Ralph Falk – hired architects Eric Smith & David Anthony Easton to extensively remodel the interior and exterior of the house.

The exterior of the house was remodeled with what was described as “true Tuscan” detailing. While the massing and stucco exterior of the house remained largely intact, the work included removing or covering almost all of Shaw’s original exterior stone ornament including: flower basket keystones, round columns at the entry porch and south porch, entry portico fountain, cornice and rondels above arched entrance. The only remaining Shaw stone details on the building are the four urns at the roof line over the front door.

During this remodel, additional changes to the exterior included replacing existing windows and doors; changing the window size at the main stair, remodeling the rear bow windows. Infilling sleeping porches and the dining porch; adding a new two-story addition to the northeast corner; adding heavily balustraded wood balconies at the east and south end of the house off former sleeping porches and adding stone rustication and quoining to the front elevation. The original rear terrace was replaced with a new terrace and a chimney on the north side of the house was removed.

In addition to the stone urns, remaining original details and material from Shaw’s design include the wood eaves and roof, the stucco walls (including rope molding under the eaves), and window trim. Some double hung windows are believed to be original, though modified by replacing glass with insulated glazing units (IGUs). All exterior doors and casement windows are replacements.

In 1988, the original iron fence along Lake Road was removed and replaced with the current stucco wall and entry posts. At this time, an underground garage was also added to the property.

The interior remodel was even more extensive. The entry hall and morning room were reconfigured into a larger entry hall with rear open loggia. The north end of the house – containing the kitchen and associated spaces on the first floor and staff quarters on the second floor – was reconfigured. No decorative features from Shaw’s design exist – all paneling, trim, ceiling beams, decorative plaster, floor finishes, light fixtures, etcetera have been removed. The main stair was also demolished and replaced with a new stair.

The current owners of the home undertook an extensive interior remodel of the property with Northworks Architects between 2019 - 2024. This project was mostly interior but also involved replacing heavy balustraded exterior balconies with black metal Juliette balconies, painting and repairing the exterior stucco, adding a chimney for a new fireplace and replacing windows, throughout.

### Proposed Shore Cottage and Boat House

Now that the owners have lived in the house for a couple years, they are interested in developing the property by the shoreline of Lake Michigan with two new structures and improvements. There are an existing breakwater, pier and small beach at the foot of the bluff. The clients enjoy spending time at the lake on their private beach and pier, the proposed new structures would enhance their enjoyment of their property.

The two new buildings would be a Shore Cottage and a Boat House. Improvements would include a new tram from the top of the bluff down to the Shore Cottage, extending a stone pathway, a new terrace and adding a concrete deck to the existing steel frame pier.

The Shore Cottage and Boat House would be nestled into the slope and the exterior materials would help the buildings blend into the rocky shoreline.

The Shore Cottage would have rough ashlar stone masonry at the end walls bracketing the building. At the south side, there would be a chimney of the same stone cladding contiguous with the gable end wall. The roof and lake side elevation would be clad in slate to match the main house roof. A central bay clad in painted metal panel would have aluminum clad windows and a painted metal roof.

The Boat House would be similarly clad in a rough ashlar stone in its entirety. Curving the corners of the structure and parapet would eliminate the boxy feel of the boat house which, by its function, is one large room. An insulated metal garage door painted gray to blend with the stone would provide boat access. A concrete landing would extend from the boat house to a steel ramp into the lake.

An existing stone flagstone pathway would be extended to the Boat House and Shore Cottage. The path would widen to create an area for a firepit and a landing for a tram from the top of the bluff. Landscape and retaining walls would be clad in the same rough ashlar stone as the Shore Cottage and Boat House and extend from these structures.

A terrace would extend from the Cottage towards the lake to provide an area of lounging and grilling with views to the lake. The terrace would have the same flagstone paving as the pathways and the terrace walls would be the same rough ashlar stone which would blend into the rocky rip rap along the waters edge.

The design intent for the structures is to nestle them into the existing landscape using materials that would help them blend into the existing colors and textures of the site.

## **Design rationale per the Historic Preservation Ordinance Standards:**

### **Standard 1 – Height**

The new structures are single story and partially nestled into the slop of the bluff. Both fall under the 19' building scale calculation line. The structures are compatible with similar Shore Cottages and Boat Houses elsewhere in Lake Forest.

### **Standard 2 – Proportion of Front Façade**

The new structures are small with facades that are wider than tall. The structures are meant to nestle into the landscape. The proportions are similar to other Shore Cottages and Boat Houses in Lake Forest.

### **Standard 3 – Proportion of Openings**

The proposed structures are not visible from other structures. The proportions or openings are similar to other Shore Cottages and Boat Houses nearby.

### **Standard 4 – Rhythm of Solids to Voids in Front Façade**

The structures would be small with simple compositions of openings. The boat house would have a garage door for boats and a human door. The Cottage would have a central bay with glazing composed of doors and windows. This bay would be akin to the rear half round bays at the main house above.

### **Standard 5 – Rhythm of Spacing and Structures on Streets**

Not applicable - the proposed structures are not visible from nor face Lake Road, the nearest public street.

### **Standard 6 – Rhythm of Entrance Porches, Storefront Recessed, and other Projections**

The Shore Cottage is a simple gable structure with the primary façade facing the Lake Michigan. The primary façade has a bay which indicates the entrance of the building. The sides of the building are stone gable end walls with a stone chimney on one side. The rear of the building is nestled into the slope.

### **Standard 7 – Relationship of Materials and Texture**

The existing structures would be clad in a rough ashlar masonry to blend into the rocky rip rap along the coast. The cottage would also have slate cladding with a metal clad bay to add additional refinement to contrast with the rocky gable end walls. The color scheme would be grays to blend into the landscape. The gray cladding for the roof and primary façade of the Shore Cottage was selected to be compatible with the slate roof of the main façade.

### **Standard 8 – Roof Shapes**

The proposed cottage would have a vernacular massing with a gabled roof. Parapet end walls would bring stone cladding up the sides of the building.

The proposed Boat House would be partially buried in the slope of the bluff. Curves at the outer corners and parapets would de-emphasize the bulk of the structure.

### **Standard 9 – Walls of Continuity**

The existing structures would be designed to blend into the existing rocky surroundings at the base of the bluff. Retaining walls and low landscape walls along the path would help blend the structures into the site.

### **Standard 10 – Scale of a Structure**

The two new structures would be modestly scaled and nestled into the slope of the bluff.

**Standard 11 – Directional Expression of Front Elevation**

The Shore Cottage and Boat House would both be oriented to Lake Michigan. The rear sides of the structure would be nestled into the bluff.

**Standard 12 – Preservation of Distinguishing Original Qualities**

The new work would be distinct and separate from the existing main house. The new structures would not be visible from the tableland and would be minimally visible from the neighboring properties.

Existing features that would be preserved include the steel pier, a stone paver walkway, stone revetments and the small private beach.

**Standard 13 – Preservation of Natural Resources**

The new structures would not require the removal of any significant trees. The buildings would be nestled into the slope requiring some excavation.

**Standard 14 – Compatibility**

The new structures would be compatible with the existing context and would blend into the existing materials, colors and textures of the surrounding landscape. The existing shoreline is heavily engineered and would remain so after the construction of the proposed structures.

**Standard 15 – Repair to Deteriorated Features**

Not applicable

**Standard 16 – Surface Cleaning**

Not applicable

**Standard 17 – Historic Integrity**

Not applicable

**Design rationale per the Historic Preservation Ordinance Standards for Approval of a Building Scale Variance**

**Standard 1 – Consistent With Design Standards**

Please see section above.

**Standard 2 – Mature Trees**

The new structures will be nestled into the slope of the bluff and the heavy vegetation.

**Standard 3 – Siting**

The structures are located at the shore and not visible from the public right of way.

**Standard 4 – Height and Mass compatible with adjacent lots**

The height and mass of the proposed structures are compatible with adjacent lots. To the south of the property, there is an existing Shore Cottage. To the north of the property, is the Lake Forest water treatment plant.

**Standard 5 – Local District**

**Standard 6 – Mitigate Appearance of Mass**

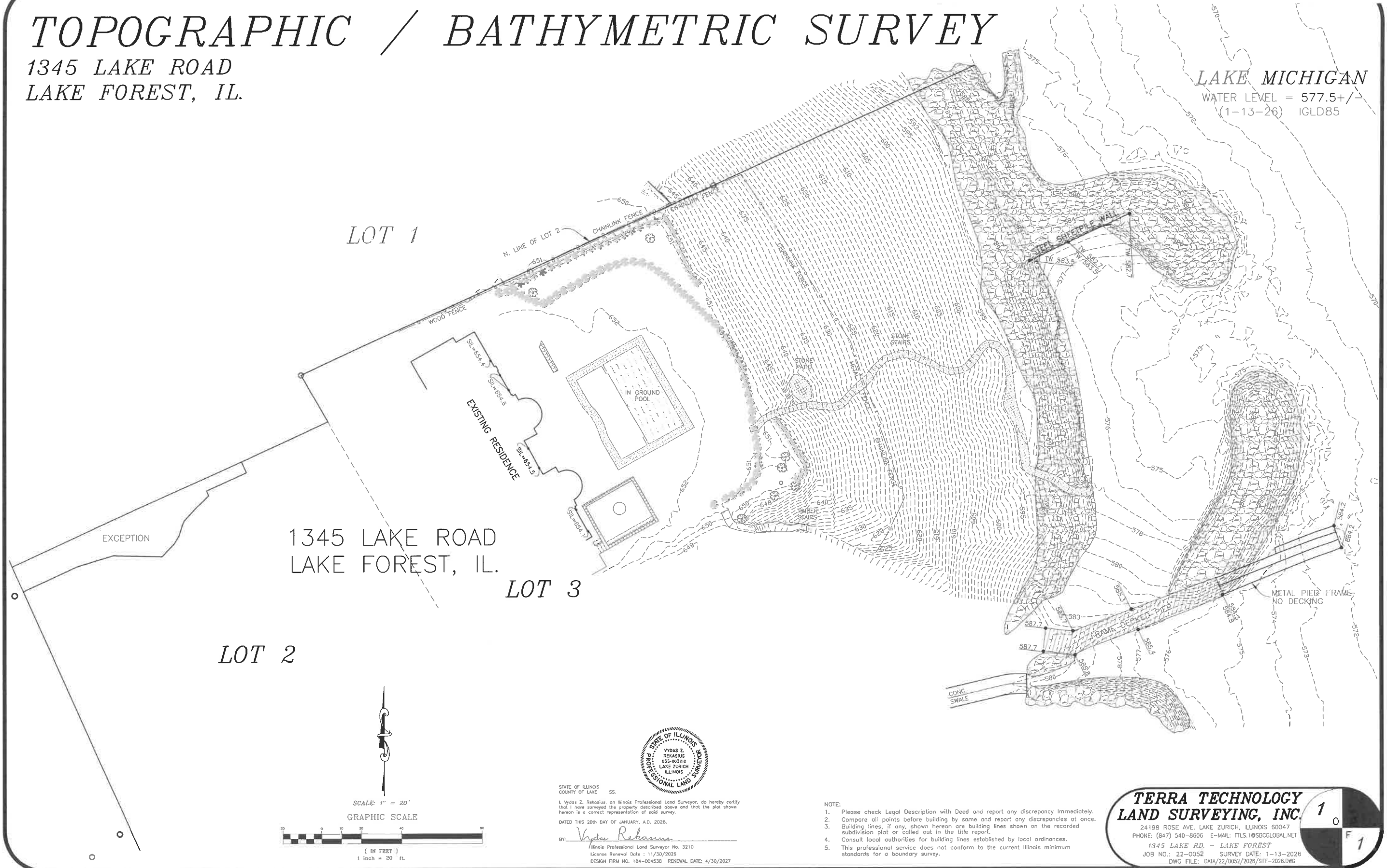
The buildings are not visible from the streetscape or adjacent properties.

## Existing Conditions

# TOPOGRAPHIC / BATHYMETRIC SURVEY

1345 LAKE ROAD  
LAKE FOREST, IL.

LAKE MICHIGAN  
WATER LEVEL = 577.5+/-  
(1-13-26) IGLD85



STATE OF ILLINOIS  
COUNTY OF LAKE SS.

I, Vydas Z. Rekasius, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the property described above and that the plot shown hereon is a correct representation of said survey.

DATED THIS 20th DAY OF JANUARY, A.D. 2026.

BY: Vydas Rekasius  
Illinois Professional Land Surveyor No. 3210  
License Renewal Date: 11/30/2026  
DESIGN FIRM NO. 184-004538 RENEWAL DATE: 4/30/2027

- NOTE:
1. Please check Legal Description with Deed and report any discrepancy immediately.
  2. Compare all points before building by same and report any discrepancies at once.
  3. Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat or called out in the title report.
  4. Consult local authorities for building lines established by local ordinances.
  5. This professional service does not conform to the current Illinois minimum standards for a boundary survey.

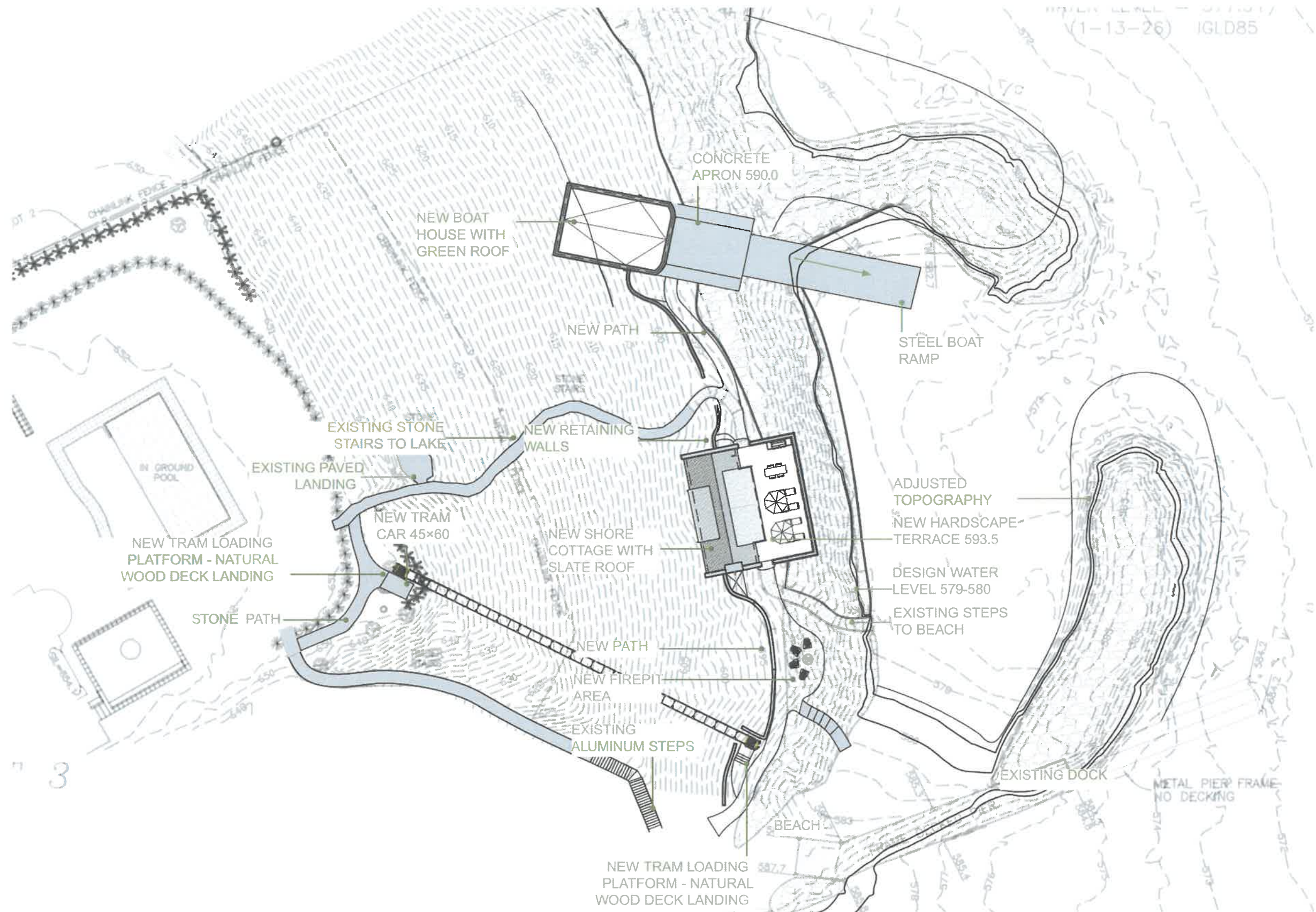
**TERRA TECHNOLOGY  
LAND SURVEYING, INC.**

24198 ROSE AVE. LAKE ZURICH, ILLINOIS 60047  
PHONE: (847) 540-8606 E-MAIL: TTL.S1@SBCGLOBAL.NET  
1345 LAKE RD. - LAKE FOREST  
JOB NO.: 22-0052 SURVEY DATE: 1-13-2026  
DWG FILE: DATA/22/0052/2026/SITE-2026.DWG



EXISTING IMAGERY - SHORE

## Proposed Structures



SITE PLAN



SHORE COTTAGE

BOAT HOUSE

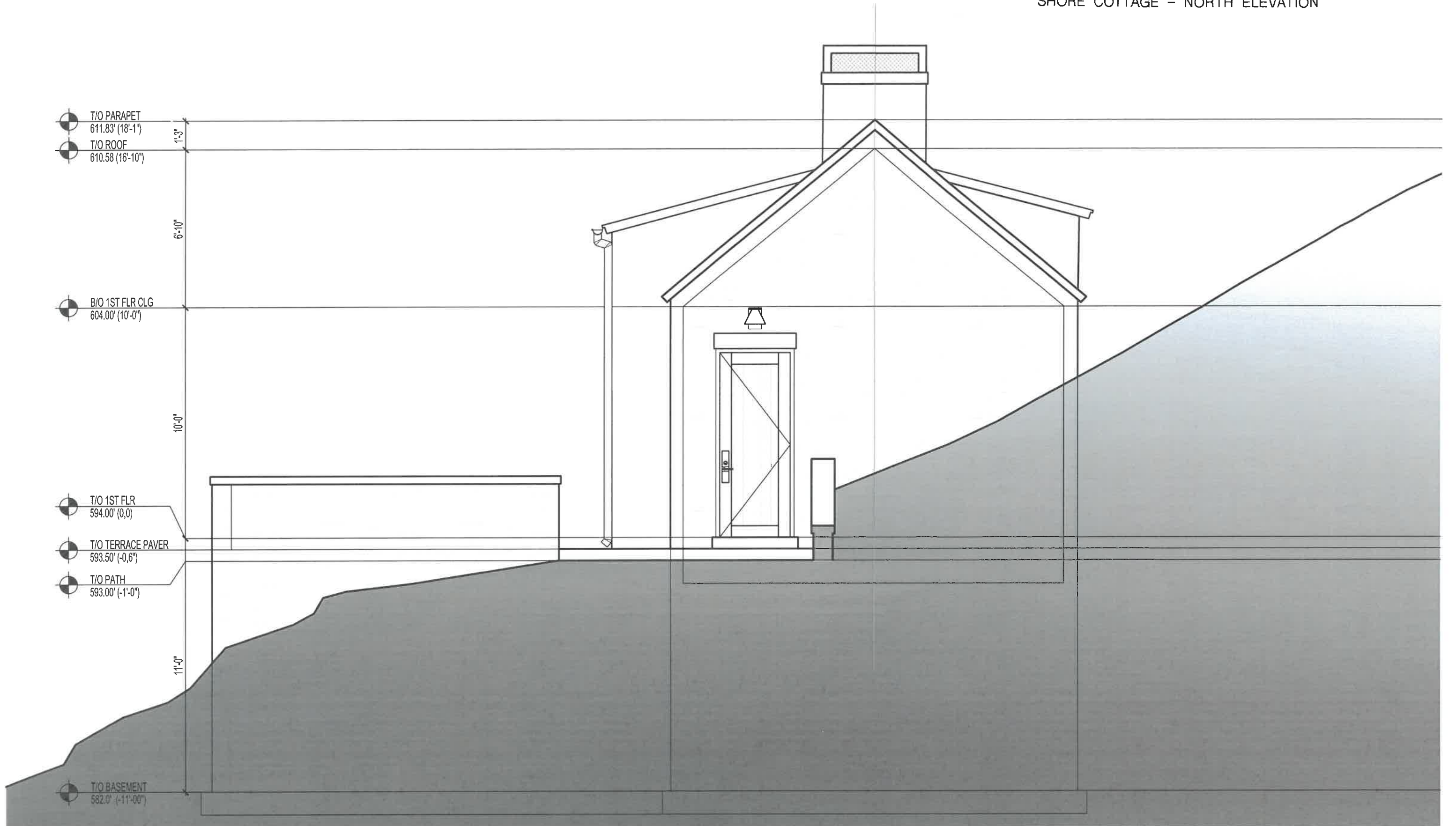
VIEW OF PROPOSED ARCHITECTURE

SHORE COTTAGE - EAST ELEVATION



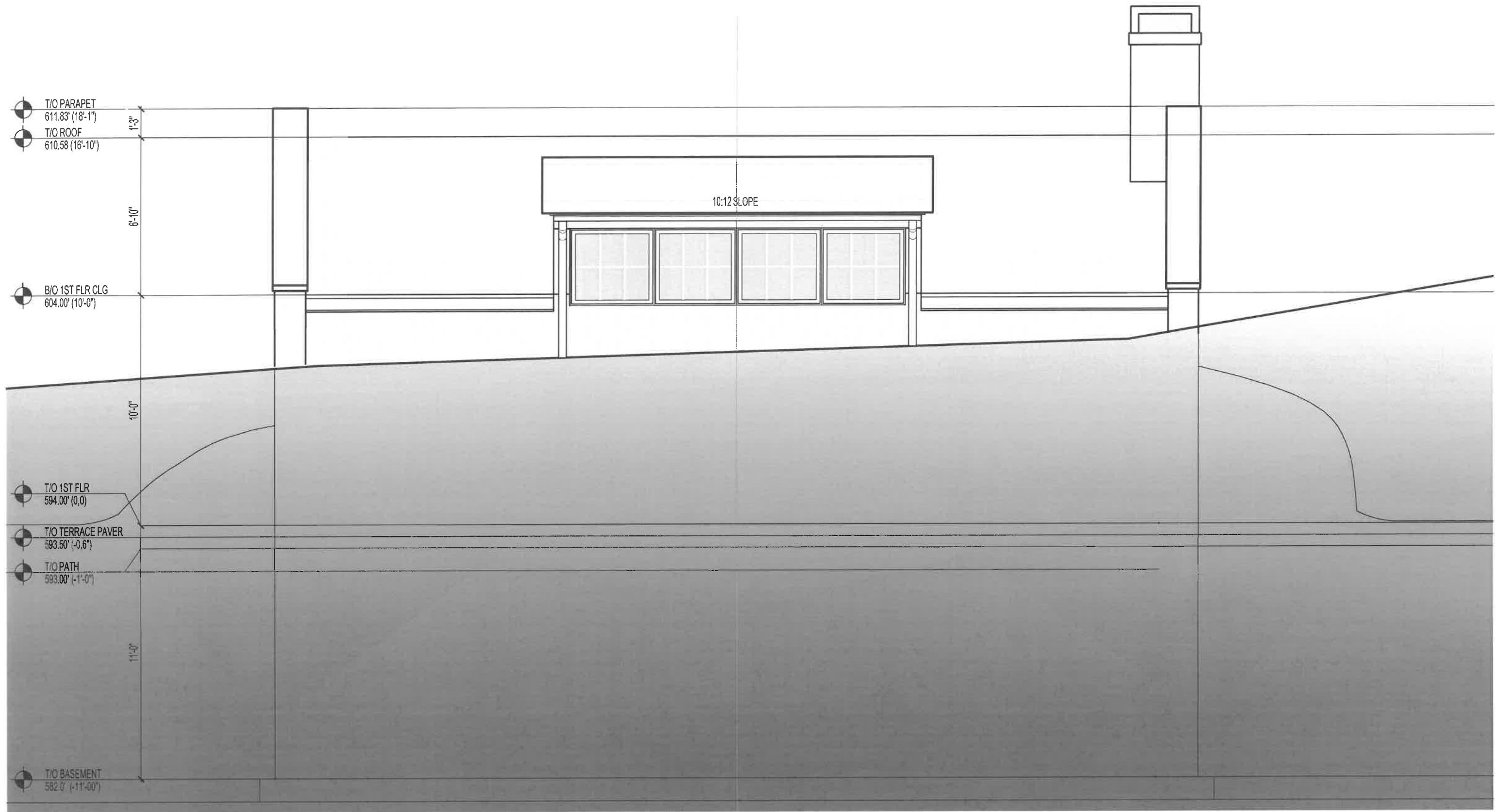
SHORE COTTAGE PROPOSED ELEVATIONS - NORTH

SHORE COTTAGE - NORTH ELEVATION

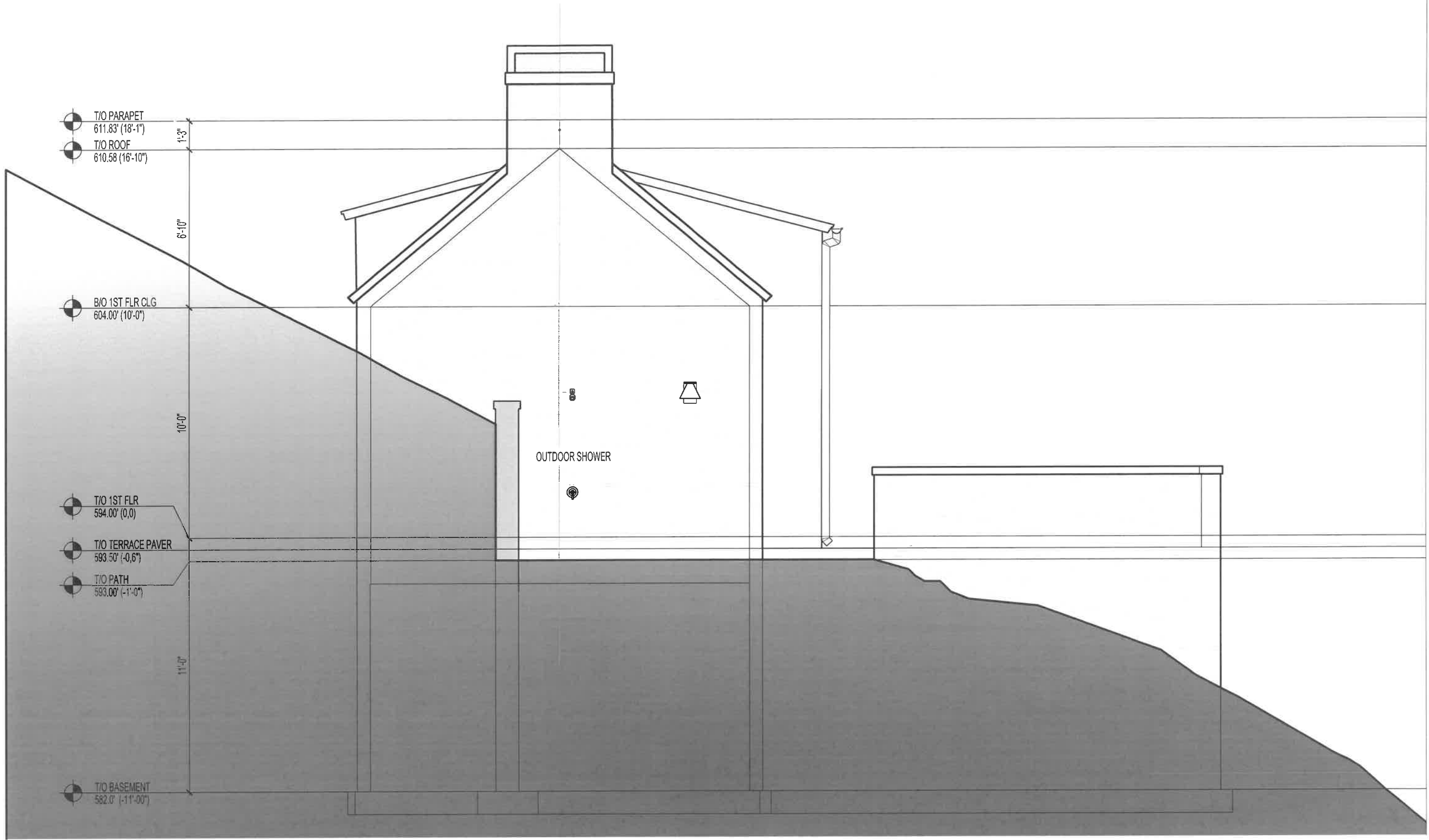


SHORE COTTAGE PROPOSED ELEVATIONS- EAST

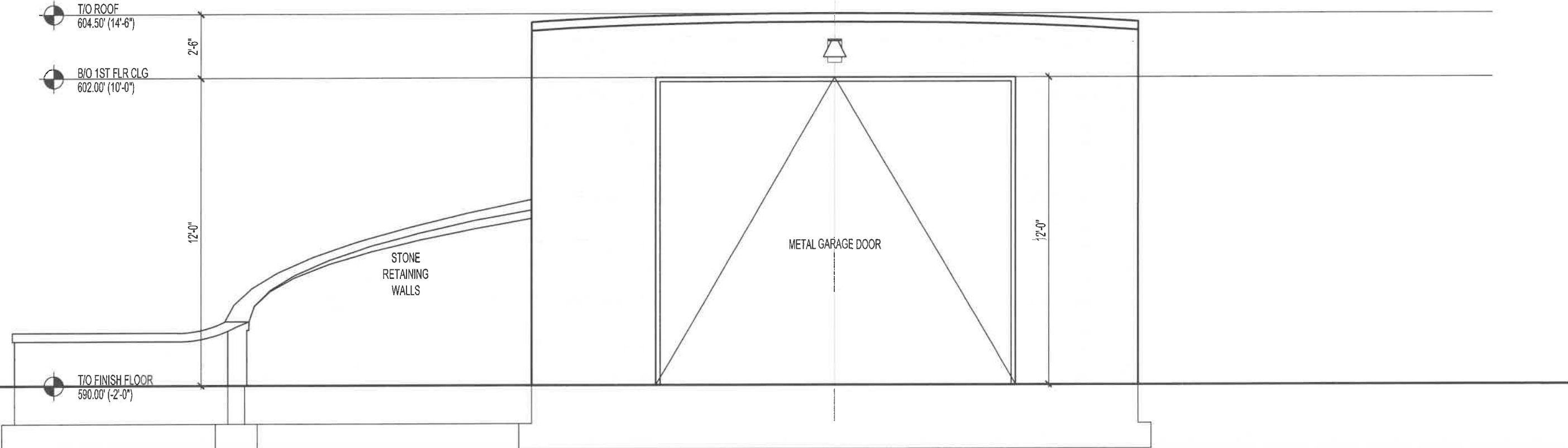
SHORE COTTAGE - WEST ELEVATION



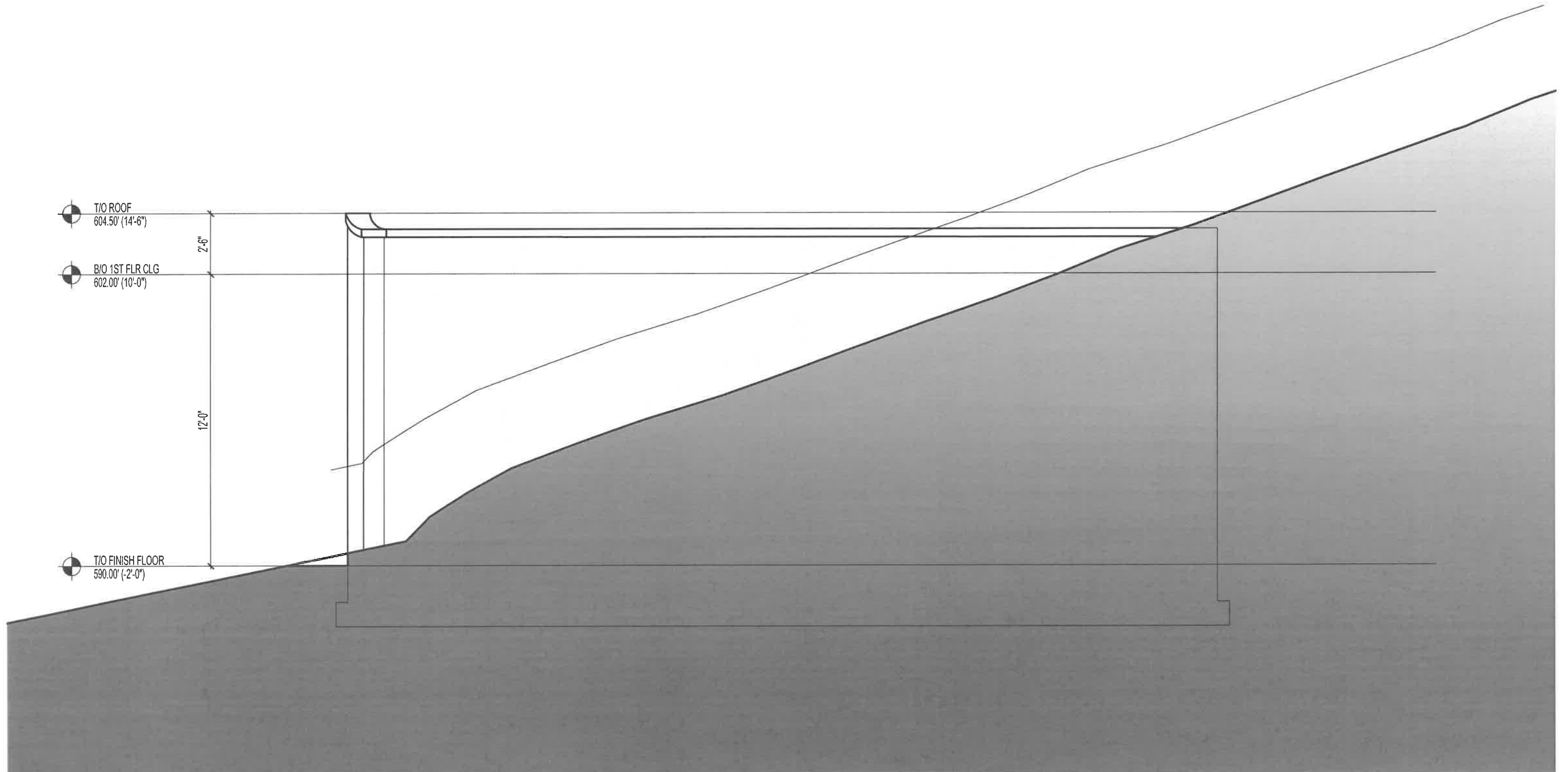
SHORE COTTAGE PROPOSED ELEVATIONS- SOUTH



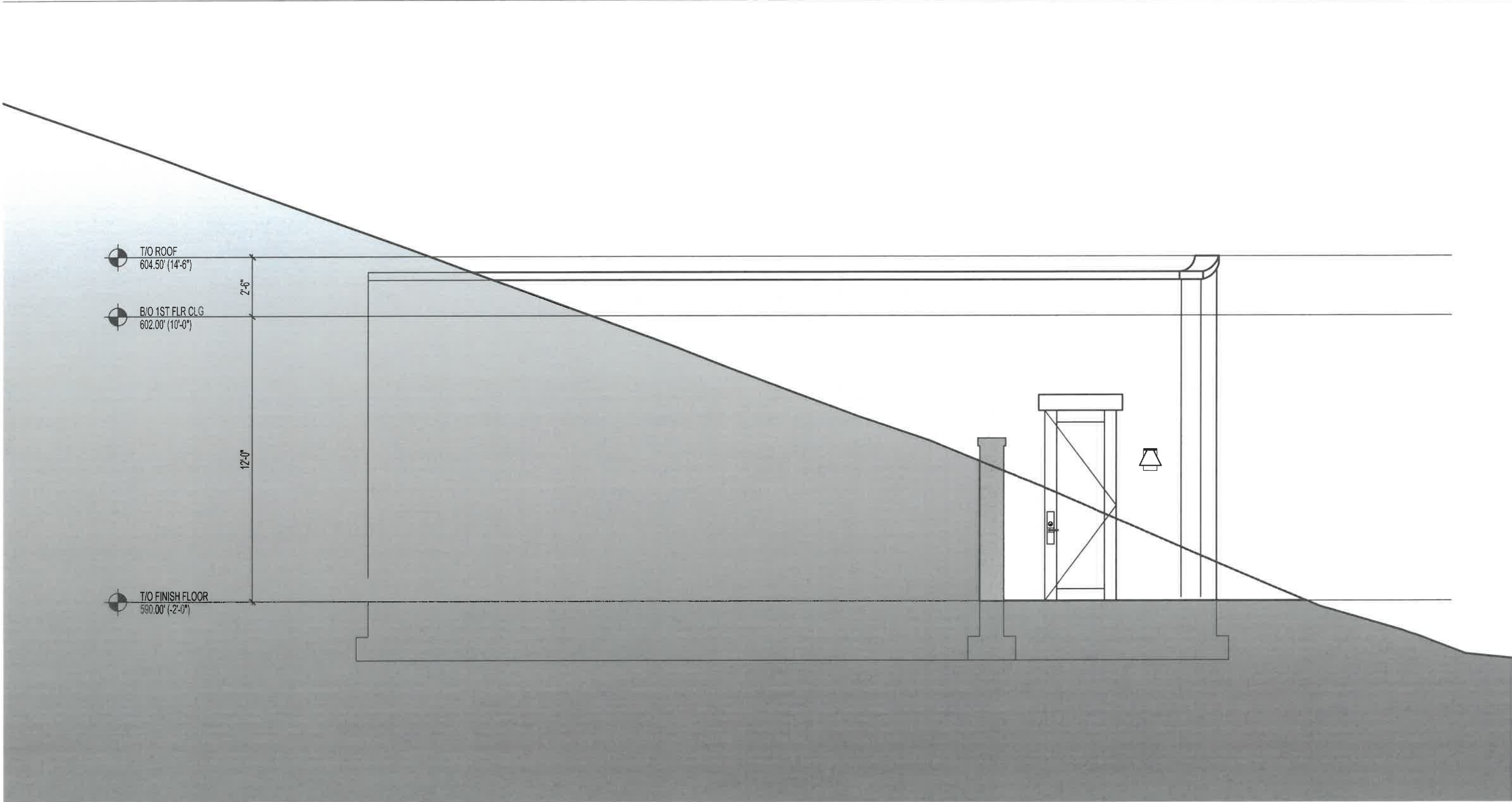
SHORE COTTAGE PROPOSED ELEVATIONS- WEST



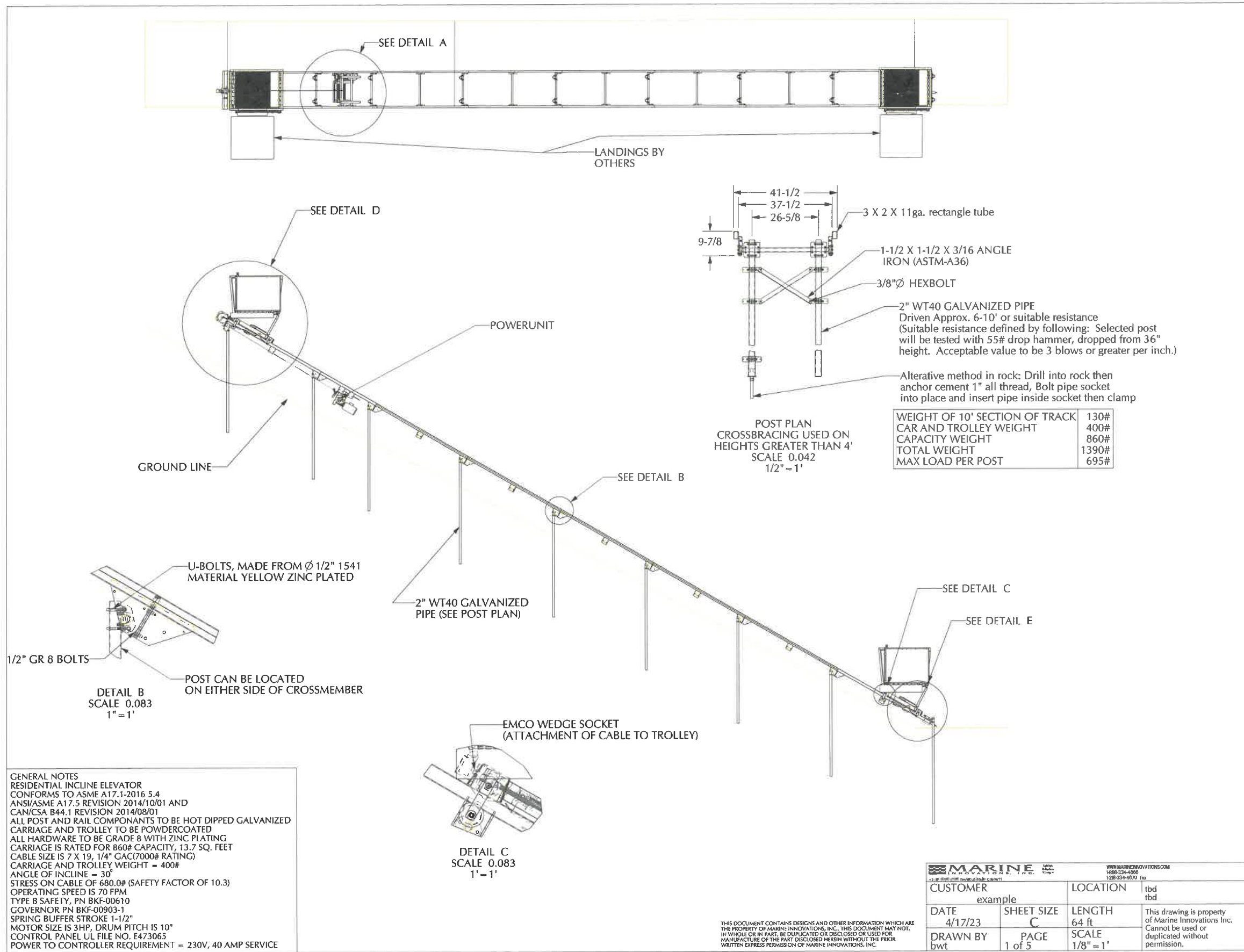
BOAT HOUSE PROPOSED ELEVATIONS - NORTH



BOAT HOUSE PROPOSED ELEVATIONS - EAST



BOAT HOUSE PROPOSED ELEVATIONS - WEST



PROPOSED TRAM DETAILS

- UBH860 ultra hoist, traction drive 150-250' ft long tram system
- Load capacity 860 lb.
- Framework - galvanized steel posts support the power unit. The galvanized square tubing dimensions are 3.5"x3.5"x3/16". Each post cemented into ground
- Track system - 2"x3"x11 gauge rectangular tubing, galvanized or painted the outside track width is 41 1/2"
- Track is assembled on site and bolted on site with support ever 10' track supports are 2" WT 40 high strength, galvanized pipe driven or anchored into the ground.
- Safety- in over speed condition, over speed governor automatically engages to ensure a smooth stop.

GENERAL NOTES  
 RESIDENTIAL INCLINE ELEVATOR  
 CONFORMS TO ASME A17.1-2016 5.4  
 ANSI/ASME A17.5 REVISION 2014/10/01 AND  
 CAN/CSA B44.1 REVISION 2014/08/01  
 ALL POST AND RAIL COMPONENTS TO BE HOT DIPPED GALVANIZED  
 CARRIAGE AND TROLLEY TO BE POWDERCOATED  
 ALL HARDWARE TO BE GRADE 8 WITH ZINC PLATING  
 CARRIAGE IS RATED FOR 860# CAPACITY, 13.7 SQ. FEET  
 CABLE SIZE IS 7 X 19, 1/4" GAC(7000# RATING)  
 CARRIAGE AND TROLLEY WEIGHT = 400#  
 ANGLE OF INCLINE = 30°  
 STRESS ON CABLE OF 680.0# (SAFETY FACTOR OF 10.3)  
 OPERATING SPEED IS 70 FPM  
 TYPE B SAFETY, PN BKF-00610  
 GOVERNOR PN BKF-00903-1  
 SPRING BUFFER STROKE 1-1/2"  
 MOTOR SIZE IS 3HP, DRUM PITCH IS 10"  
 CONTROL PANEL UL FILE NO. E473065  
 POWER TO CONTROLLER REQUIREMENT = 230V, 40 AMP SERVICE

		WWW.MARINEINNOVATIONS.COM 1888-334-4006 1281-334-4070 Fax	
CUSTOMER	example	LOCATION	tbd
DATE	4/17/23	SHEET SIZE	C
DRAWN BY	bwt	PAGE	1 of 5
		LENGTH	64 ft
		SCALE	1/8" = 1'
		This drawing is property of Marine Innovations Inc. Cannot be used or duplicated without permission.	

TRAM DETAILS

**Agenda Item 4**  
**History Center of Lake Forest-Lake Bluff**  
**Front Door Replacement and Minor Expansions to Archives Building**

Staff Report  
Historic Resource Survey  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Description of Materials  
Statements of Intent  
Plat of Survey – Existing Conditions  
Site Plan – Proposed Work Highlighted  
History Center – Door Replacement  
Archives Building  
Existing Conditions – First Floor Plan Photos  
Demolition Plan  
Elevations – Existing and Proposed  
Renderings – Proposed  
*First Floor Plan – Proposed*  
*Roof Plan – Proposed*  
*Foundation Plan – Proposed*  
*Lighting Plan – Proposed*  
*Light Fixtures – Proposed*  
*Landscape Plan*  
*Tree Plan with Tree Survey*  
Engineering Plan  
*Drainage Plan*

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Norkus and members of the Historic Preservation Commission
DATE:	June 24, 2026
FROM:	Luis Prado, Planner
SUBJECT:	<b>History Center Lake Forest-Lake Bluff – Front Door Replacement and Minor Expansions/Alterations</b>

### PETITIONER/Owner

History Center Lake Forest-Lake Bluff  
Carol Summerfield, Executive Director  
509 E Deerpath  
Lake Forest, IL 60645

### PROPERTY LOCATION

History Center  
509 E Deerpath and  
630 Washington Road

### HISTORIC DISTRICTS

East Lake Forest Local &  
National Historic Districts

### PROJECT REPRESENTATIVES

R. Nicholas Loope, Architect  
Jintao Zhai, Architect  
the Studio @ Westmoreland Farm, LLC  
549 King Muir Road  
Lake Forest, IL 60645

### SUMMARY OF THE PETITION

A Certificate of Appropriateness is requested to approve replacement of the front doors of the History Center facing Deerpath, 509 E. Deerpath, to improve accessibility, and for minor expansions and alterations of the Archives Building, 630 Washington Road. Both buildings are part of the History Center Campus.

### DESCRIPTION OF PROPERTY

The History Center property is located on the southwest corner of the intersection of Deerpath and Washington Road. The main History Center building was originally built for the First Church of Christ Scientist before the site was acquired by the Lake Forest-Lake Bluff Historical Society which today is the History Center Lake Forest-Lake Bluff.

The Archives Building was constructed in 1951 as a single-family residence for McPherson Holt and later adapted for use as a Reading Room for the Church. This structure currently serves as the archival and research center for the History Center.

Historic Resource Surveys from the City's database are included in the Commission's packet and provide additional background information.

### STAFF EVALUATION

#### *History Center Door Replacement*

The front doors of the History Center, facing Deerpath, will be replaced to improve accessibility. The existing doors will be removed entirely. They are heavy and difficult to operate. New doors will be custom made. Windows are proposed to replace the original rectangular panels in the doors.

The replacement doors are designed to be similar to the existing doors; however, the new doors will be shorter than the existing doors to improve the functionality and reduce the weight of the doors. To replicate the form of the original doors, a fixed panel will be installed above the doors. Address identification numbers are proposed above the doors.

*Archives Building – Minor Expansions and Alterations*

The existing Archives Building is proposed for modest expansions and exterior alterations intended to improve accessibility and support the operational needs of the History Center. The project includes limited expansions to the east and west sides of the building at the entrances, replacement windows and doors, drainage improvements, and upgrades to building systems necessary to support archival functions.

Findings

A staff review of the applicable standards in the City Code is provided below. Findings in response to the standards are offered for the Commission's consideration.

**Standard 1 – Height.**

This standard is met. The height of the buildings will not change. The proposed expansions to the Archives Building are proportional to the existing structure and appropriate for the architectural style.

**Standard 2 – Proportion of Front Façade.**

This standard is met. The replacement front doors on the History Center will not affect the proportions of the front façade. The replacement doors and panels will replicate the proportions of the original doors while providing views into the space and improved functionality.

The proposed infill on the east elevation and the alterations to the east façade Archives Building are compatible with the overall design of the building and improve upon some earlier modifications. The changes will allow the street facing entrance to be more prominent while remaining modest and appropriate to the residential scale and character of the building. The removal of shutters and window enhancements simplify the elevation and create a more regular arrangement of windows across the elevation, aligning with the Residential Design Guidelines.

**Standard 3 – Proportion of Openings.**

This standard is met. The replacement front doors on the History Center introduce windows to the front façade to improve functionality, however, the openings are similar in proportion to the original door panels.

On the Archives Building, the relationship of the proportion of windows and doors is improved with more consistent size and placement on the east and west elevations. The design is compatible with the streetscape.

**Standard 4 – Rhythm of Solids to Voids.**

This standard is met. The replacement front doors on the History Center feature windows instead of solid doors, however, the overall rhythm of the front elevation is not disrupted.

The rhythm of solids to voids on the Archives Building is improved by the new design through a more consistent relationship between windows and wall areas on the east and west elevations.

**Standard 5 – Spacing on the Street.**

This standard is met. Only minor changes to the footprint of the Archives Building. The changes will not affect the perceived relationship between the structure and adjacent properties or the perceived massing of the building along the streetscape.

**Standard 6 – Rhythm of Entrance Porches.**

This standard is met. The proposed alterations and minor expansions to the Archives Building are intended to enhance the entrances in a way which is compatible with the structure and addressed water infiltration issues.

**Standard 7 – Relationship of Materials and Texture.**

This standard is met. Overall, the exterior materials will match the existing materials. The existing brick exterior will remain on the Archives Building and the expansions are designed to match the existing building. The new windows will be aluminum-clad windows with simulated divided lights and muntin bars affixed to the interior and exterior. Wood trim is proposed. The existing asphalt shingle roof will remain and the gutters and downspouts will be aluminum.

**Standard 8 – Roof Shapes.**

This standard is met. The roof shapes of the expansions to the Archives Building are simple and generally consistent with the existing structure.

**Standard 9 – Walls of Continuity.**

This standard is met. The modest expansions are compatible with the Archives Building and do not alter the established character of the streetscape. The relationship of the building to the surrounding landscaping and neighboring properties will generally remain unchanged.

**Standard 10 – Scale.**

This standard is met. The minor expansions to the Archives Building are appropriately scaled to the existing structure and style of architecture.

**Standard 11 – Directional Expression of Front Elevation.**

This standard is met. The replacement front doors of the History Center will not affect the directional expression of the building.

The proposed single-story expansions to the Archives Building are designed to fit seamlessly into the existing massing of the structure and will have little to no effect on the horizontal expression of the front elevation.

**Standard 12 – Preservation of Historic Material.**

This standard is met. The proposed additions and exterior alterations retain the character of the building. Only limited removal of existing materials is proposed.

**Standard 13 – Protection of Natural Resources.**

This standard is met. The scope of work includes limited landscape modifications associated with the minor expansions and drainage improvements. Existing mature trees are intended to remain. The petitioner indicates that efforts will be made to protect existing vegetation during construction. At the time of permit, a final landscape plan and tree protection plan for the areas impacted by construction will be required and will be subject to review and approval by the City's Certified

Arborist.

**Standard 14 – Compatibility.**

This standard is met. The proposed replacement front doors on the History Center are similar to the existing doors to maintain the overall aesthetic of the Deerpath streetscape.

The scale, materials, and detailing of the expansions and alterations are compatible with the Archives Building and will allow the building to continue to fit quietly into the surrounding neighborhood. The proposed work is modest in scale and intended to blend with the existing structure while supporting the continued adaptive reuse of the building by the History Center.

**Standard 15 – Repair to deteriorated features.**

This standard is not applicable to this petition.

**Standard 16 – Surface cleaning.**

This standard is not applicable to this petition.

**Standard 17 – Reversibility of Additions and Alterations.**

This standard is met. If the expansions to the Archives Building were to be removed, the essential form and integrity of the historic residence would remain.

**PUBLIC COMMENT**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has not received any public comment on this petition.

**RECOMMENDATION**

Grant a Certificate of Appropriateness, approving the replacement of the front door of the History Center and for minor expansions and alterations of the Archives Building, subject to the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. The following plans and information must be submitted prior to the issuance of a building permit and will be subject to review and approval by City staff:
  - a. A detailed landscape plan. The plan shall provide for the replacement inches of trees proposed for removal and any others which do not survive the construction process as determined to be required by the City's Certified Arborist.
  - b. A plan to protect any trees identified for preservation during construction. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan

for pre and post construction treatments must be prepared by an independent Certified Arborist.

- c. An exterior lighting plan and cut sheets for all light fixtures. Except for lights illuminated by natural gas at low light levels, fixtures shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood.
- d. A plan for contractor parking and material staging which minimizes impacts on the surrounding neighborhood. No contractor parking or staging of equipment is permitted on Washington Road.



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 1032

**Property Address:**

**Street:** 509 E DEERPATH  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** First Church of Christ Scientist

**Original Owner:** First Church of Christ Scientist  
**Other Previous Owners:** FIRST CHURCH CHRIST SCIENTIST

**Present Owner:** LAKE FOREST LAKE BLUFF HISTORICAL SOCI

**Current Property Name:** Lake Forest Lake Bluff History Center

**Resource Type:** Building  
**Date of Construction:** 1948  
**Use, Original:** Church  
**Use, Present:** Museum & Research Facility  
**Theme:** Religion  
**Secondary Theme:** Religious Facility  
**Style:** Colonial Revival  
**Secondary Style:**

**Architect/Engineer:** unknown

**Builder/Contractor:** unknown

**Landscape Architect:**



**Photo Name:** May 2000

**Demolished:** **Date:**

**Zoning District:** R3

**Subdivision:** Lot 1 Triangle Park Subdivision; platted 1946.

**Subdivided from:**

**Current Property Size (est.):** .54 acres

**Original Property Size (est.):**

**Facade Easement?:** No

**Held by:**

**Conservation Easement?:** No

**Held by:**

**Plan Shape:** U-Shape  
**Number of Stories:** 1  
**Structural Framing:**  
**Foundation Material:**  
**Facade Material:** Brick and Artificial siding  
**Roof Form:** Gable

**Roof Material:** Asphalt Shingle  
**Primary Window Type:** Double Hung  
**Porches:**  
**Integrity:** Good  
**Condition:** Good

**Decorative Features & Surfacing:**

Steeple with vertical board, wood panels under windows. Cornerstone with date of 1948.

DECORATIVE SURFACING: Artificial Siding



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 1032

**Local Register:**

**Local Historic District:**

Local Ordinance Historic District

**Contributing Significance to Local District:**

**Contributing Significant Resources:**

**Is this Property Eligible for Local Landmark Designation?:**

**Local Landmark Designation:**

**Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

**Other Districts:**

**National Register:**

**National Register Historic District:**

Lake Forest

**Contributing Significance to National District:**

**Contributing Significant Resources:**

**Is this Property Eligible for National Register Listing?:**

**Individual National Register Listing :**

**Other Designations:**

**History and Significance:**

The term "Colonial Revival" refers to the entire rebirth of interest in the early English and Dutch houses of the Atlantic seaboard. The Georgian and Adam styles form the backbone of the Revival, with secondary influences from Post-medieval English or Dutch Colonial prototypes. Details from two or more of these precedents are freely combined in many examples so that pure copies of colonial houses are far less common than are eclectic mixtures.

This was the dominant style for domestic building throughout the country during the first half of the century. About 25 percent of Colonial Revival houses built during this time period were side gabled examples. As in their Georgian and Adam prototypes, the principal areas of elaboration in the Colonial Revival houses are entrances, cornices, and windows. In original Georgian and Adam houses the cornice is an important identifying feature. It is almost always part of a boxed roof-wall junction with little overhang, and is frequently decorated with dentils or modillions. These are also typical of many Colonial Revival examples. As in the originals, most Colonial Revival windows are rectangular in shape with double-hung sashes. In the more accurate copies, each sash has six, eight, nine, or twelve panes. All common wall materials were used, but masonry predominates in high style examples.

During the first decade of the twentieth century, Colonial Revival fashion shifted toward carefully researched copies with more correct proportions and details. This was encouraged by new methods of printing that permitted wide dissemination of photographs in books and periodicals. This led to a wide understanding of the prototypes on which the Revival was based. Colonial Revival houses built in the years between 1915 and 1935 reflect these influences by more closely resembling early prototypes than did those built earlier or later. The economic depression of the 1930s, World War II, and changing postwar fashions led to a simplification of the style in the 1940s and '50s.

**Changes:**

An addition was added in 1951. Aluminum siding was installed in 1976.

**Property Setting:**

Residential neighborhood; This property is located on the south west corner of the intersection of Deerpath and Washington.

**Associated Buildings:**

**Sources of Information:**

City of Lake Forest Address Files, City of Lake Forest History File.



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 1032

**Certif. of Appropriateness Case #(s):**

HPC-8/24/2022 Gardens & Educational Signage, Parking Lot Reconfiguration, Path Lighting, and Temporary Exhibit Signage  
HPC-4/24/2019 Signage for the History Center Lake Forest-Lake Bluff

**509 E DEERPATH**

**Survey Date:** October 1999

**Demolished:**

**Demolition Date:**



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 5318

**Property Address:**

**Street:** 630 N WASHINGTON RD  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** McPherson Holt House

**Original Owner:** McPherson Holt  
**Other Previous Owners:** FIRST CHURCH CHRIST SCIENTIST

**Present Owner:** LAKE FOREST LAKE BLUFF HISTORICAL

**Current Property Name:**

**Resource Type:** Building  
**Date of Construction:** 1952  
**Use, Original:** Single Family Residence  
**Use, Present:** Christian Science Reading Room  
**Theme:**  
**Secondary Theme:** 20th Century Architecture  
**Style:** Ranch  
**Secondary Style:** Modern  
**Architect/Engineer:** unknown

**Builder/Contractor:** Hansen & Werhane  
**Landscape Architect:**



**Photo Name:** May 2000

**Demolished:** **Date:**

**Zoning District:**

**Subdivision:** Lot 2 of Triangle Park Subdivision.

**Subdivided from:**

**Current Property Size (est.):** .62 acres  
**Original Property Size (est.):**

**Facade Easement?:**  
**Held by:**

**Conservation Easement?:**  
**Held by:**

**Plan Shape:** Rectangular  
**Number of Stories:** 1  
**Structural Framing:**  
**Foundation Material:**  
**Facade Material:** Brick  
**Roof Form:** Gable

**Roof Material:** Asphalt  
**Primary Window Type:** Double Hung - 3/3  
**Porches:**  
**Integrity:** Good  
**Condition:** Good

**Decorative Features & Surfacing:**

The two front gables at the front façade are clad with artificial siding. The entry is flanked by full-height windows. The south wing has three full-height windows.

DECORATIVE SURFACING: Artificial siding in gable ends



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 5318

**Local Register:**

**Local Historic District:**

Local Ordinance Historic District

**Contributing Significance to Local District:**

**Contributing Significant Resources:**

**Is this Property Eligible for Local Landmark Designation?:**

**Local Landmark Designation:**

**Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

**Other Districts:**

**National Register:**

**National Register Historic District:**

Lake Forest

**Contributing Significance to National District:**

**Contributing Significant Resources:**

**Is this Property Eligible for National Register Listing?:**

**Individual National Register Listing :**

**Other Designations:**

**History and Significance:**

The Ranch style originated in the 1930s, gaining popularity in the 1940s and became the dominant style throughout the country during the 1950s and 1960s. The popularity of the "rambling" ranch home was made possible by the country's increasing dependence on the automobile. As the automobile replaced streetcars as the principal means of transportation in the decades following WWII, compact houses could be replaced by sprawling designs on much larger lots. The maximized width of the façade was further increased by the built-in garages that were an integral part of most Ranch houses.

The American Ranch home grew out of the Modern style, but owes much to the earlier Bungalow, Prairie and Cottage styles. There was a very conscious attempt to emphasize the horizontal and to create an open floor plan. Large ranch homes may sprawl 2000-3000 square feet with rooms and hallways flowing into one another, and sliding glass doors opening the interior of the house into the back patio.

**Changes:**

Aluminum siding was installed in 1978.

**Property Setting:**

Residential neighborhood; This property is located on the west side of Washington, two lots south of Deerpath.

**Associated Buildings:**

**Sources of Information:**

City of Lake Forest Address Files and City of Lake Forest History Files.

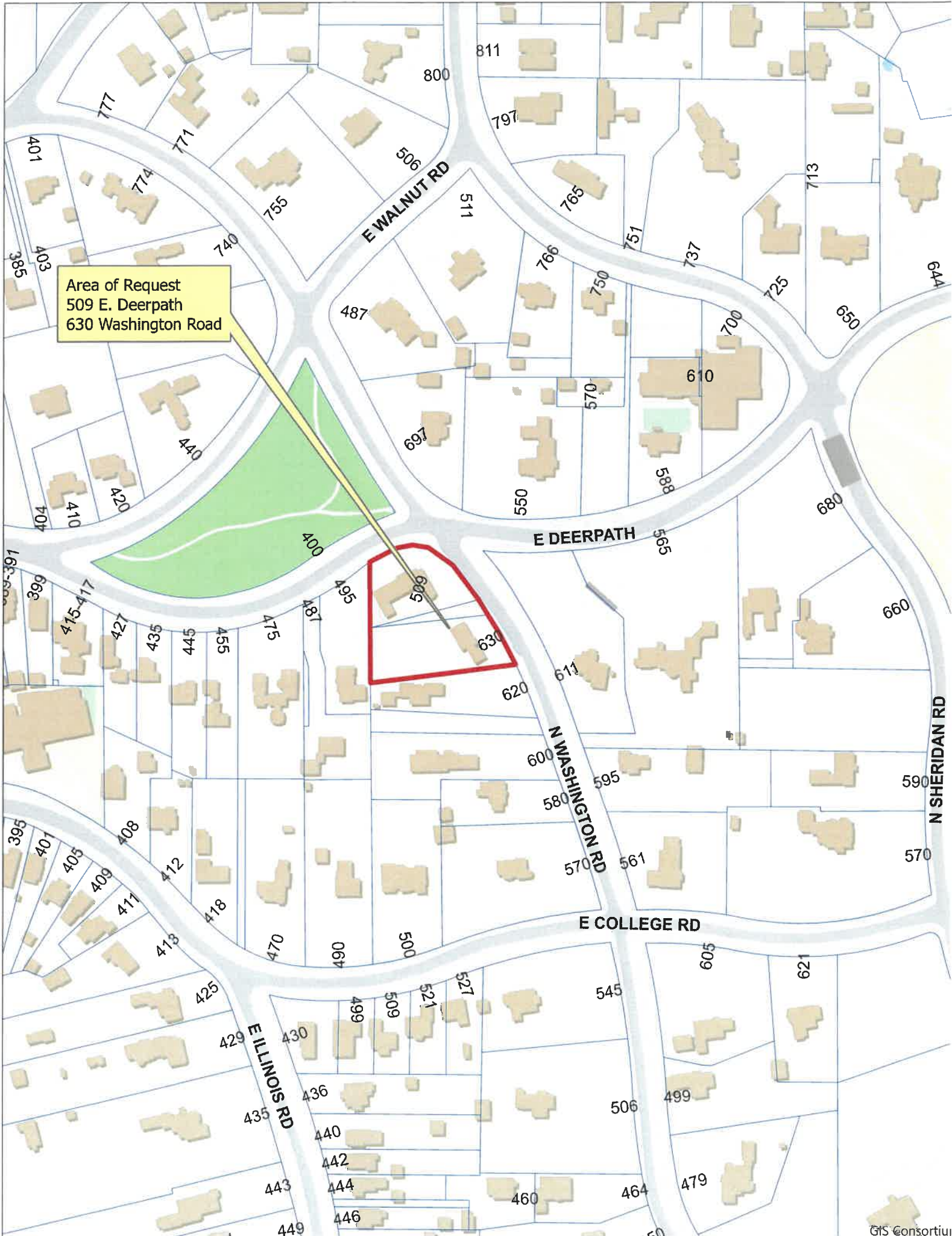
**Certif. of Appropriateness Case #(s):**

**630 N WASHINGTON RD**

**Survey Date:** October 1999

**Demolished:**

**Demolition Date:**



Area of Request  
509 E. Deerpath  
630 Washington Road

Area of Request  
509 E. Deerpath  
630 Washington Road

E WALNUT RD

E DEERPATH

N WASHINGTON RD

N SHERIDAN RD

E COLLEGE RD

E ILLINOIS RD



Area of Request  
509 E. Deerpath  
630 Washington Road



**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** 630 Washington Rd, Lake Forest, IL, 60045

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District   
  Green Bay Road District   
  Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District   
  Other

**PROPERTY OWNER INFORMATION**

Carol Summerfield, Executive Director

*Owner of Property*

509 E Deerpath Road

*Owner's Street Address (may be different from project address)*

Lake Forest, IL, 60045

*City, State and Zip Code*

847-234-5253

N/A

*Phone Number*

*Fax Number*

csummerfield@lflbhistory.org

*Email Address*

*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

R. Nicholas Loope, FAIA

*Name and Title of Person Presenting Project*

the STUDIO @ Westmoreland Farm, LLC

*Name of Firm*

549 King Muir Road

*Street Address*

Lake Forest, IL, 60045

*City, State and Zip Code*

480-415-5281

N/A

*Phone Number*

*Fax Number*

rloope@studioatwf.com

*Email Address*

*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

*Please email a copy of the staff report*

OWNER     REPRESENTATIVE

*Please fax a copy of the staff report*

OWNER     REPRESENTATIVE

*I will pick up a copy of the staff report at the Community Development Department*

OWNER     REPRESENTATIVE



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material N/A

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

Color of Finish White

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Window Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

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- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

Historic Preservation Commission, City of Lake Forest

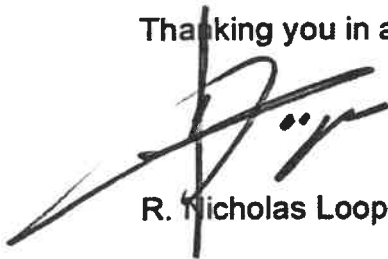
**Commissioners,**

On behalf of the Lake Forest | Lake Bluff History Center, the STUDIO @ Westmoreland Farm™ respectfully submits this request for a Certificate of Appropriateness for a modest expansion with certain remediations to the Center's Annex building and a new ADA compliant entry door on the North side of the Center's museum and administrative offices. The improvements to the Annex will provide critical and specific climate-controlled spaces with adequate ventilation and humidity control for the approximately 3,800 cubic feet of materials, and more than 20,000 digitally held images and written records.

These requests complete the campus improvement plan and the landscape enhancement plan successfully launched by the History Center over the last several years.

Your kind attention, consideration and Certificate of Appropriateness grant, to these requests, will allow the History Center to continue its mission to tell the story of Lake Forest | Lake Bluff and support our community's ongoing preservation efforts.

Thanking you in advance,



R. Nicholas Loope, FAIA

May. 15, 2026

## Statement of Intent

*Lake Forest | Lake Bluff History Center Archives Annex  
630 Washington Rd, Lake Forest, IL, 60045*

The design intentions for this project arise from the Lake Forest & Lake Bluff History Center's need to remediate and improve the Archival Annex, weave it into the recent landscape renovations, complete the History Center's campus improvement plan, improve ADA access, address roof drainage issues, and upgrade the HVAC systems and fire protection systems needed to properly and safely preserve the History Center's Archival collections.

The proposed work expands the central corridor creating a more functional and ADA accessible interior, provides a clear public entry (internal to the site), renovates the bath room to be ADA compliant, selectively replaces fenestration to unify the Washington Street elevation, along with certain roof re-configurations to improve drainage, better manage stormwater flow, and protect the building envelope and archival collections within.

These efforts will support and enhance the archival research and preservation operations of the History Center's staff and scholarly researchers. These modifications will also improve access and use of the History Center's archival collections for the residents of Lake Forest.

Finally, these efforts offer the neighborhood a more unified, thoughtful, and contextually pleasing assemblage of architectural elements, scale, and proportion lost to earlier renovations and additions.

**Standard 1**    **Height.** The roof height and pitch of the proposed renovation and expansion do not exceed the existing roof ridge height nor deviate from the roof pitches on the existing structure. The height and roof pitch of the new addition are in proportion to and reflective of the existing structure.

**Standard 2**    **Proportion of Front Façade (interior to site).** The proposed renovation and expansion extends, reflects, balances, and unifies the proportion and scale of the

existing façade. while completing the HC's campus plan with a clear and celebrated entry for users and the Lake Forest community.

The proposed addition enhances both the street and internal campus façades by removing the uncoordinated and poorly placed shutters and providing a more classical fenestration balance with windows of compatible scale and proportions.

- Standard 3 Proportions of Openings.** As part of the proposed improvements, new doors, windows, and related design elements are carefully arranged in a way to maintain continuity with respect to the nature of the History Center's campus plan, proportion, and character set by the existing openings in the structure and to be in harmony with the style, character and proportions generally found throughout the neighborhood.
- Standard 4 Rhythm of Solids to Voids in Front Façade.** By extending the central corridor to align with the flanking façade planes, the proposed work establishes a more unified relationship between solids and voids across the front elevation. Coupled with modifications to the roof configuration that unifies the existing roof form, these changes contribute to a more balanced and proportional composition, emulating a more traditional façade to the street.
- Standard 5 Rhythm of Spacing and Structure on Streets.** The proposed improvements are designed and placed in such a way as to not disrupt the rhythm and relationship between the structure and the street, adjacent properties, structures, public ways, objects, and spaces within the visible site context, and remains consistent and visually compatible.
- Standard 6 Rhythm of Entrance Porches, Storefront Recesses, and other Projections.** The proposed work extends the central corridor while maintaining the existing proportional relationships, material character, and modest expression of the building. The additional ADA access entrance enhances the functionality and accessibility of the History Center Archives while remaining visually compatible with the surrounding properties, structures, sites, public ways, objects, and spaces within the visible context of the site. The proposed improvements preserves the established access to the site while joining to the overall campus plan.
- Standard 7 Relationship of Materials and Texture.** The exterior materials and textures of the proposed addition are consistent with those of the existing structure and maintain visual compatibility in form and texture.

- Standard 8 Roof Shapes.** The new roof configuration reflects existing conditions in geometry and materials and have been designed to provide continuity with the existing structure. The roof shapes, heights, and cladding materials have been designed to maintain continuity of the existing structure and present a clear point of entry for users.
- Standard 9 Walls of Continuity.** The west entry elevation (parking lot side), the brick base at the exterior columns is retained to match the brick type and finish of the main structure, reinforcing continuity with the existing building color & texture. On the east, Washington street elevation, the patio entrance incorporates new doors with divided lite sections complicating with the existing window fenestration. The entrance assembly, associated trim, and pilasters are finished in white to match the existing wood trim elements, creating a unified and visually compatible street presence.
- Standard 10 Scale of a Structure.** The proposed addition is designed to maintain its proportionality with the existing structure and the neighborhood in terms of size, massing, fenestrations, gutters, downspouts, materials, and finishes. The new roof and two extended entrances are also in keeping with the scale and proportion of the existing structure and neighborhood.
- Standard 11 Directional Expression of Front Elevation.** The proposed addition and improvements maintain the axial orientation and directionality established by the existing structure while balancing the building mass and clarifying its entry and arrival sequences.
- Standard 12 Preserving Distinguishing Features.** The distinguishing features of the existing structure are modest and include fenestration, fascia, trim, shutters, and chimney stack, are to be retained as part of the proposed work. The roof extension will continue the existing material character while improving drainage and reinforcing a more classical and orderly composition of the building massing. The two side entrance extensions are likewise designed to be consistent with the scale, proportion, material palette, and color of the existing structure and its surrounding context.
- Standard 13 Protection of Resources.** An arborist survey has been conducted to document the existing trees, including their species, condition, and caliper. Any trees that have succumbed to disease, or that must be removed in connection with the proposed

improvements, will be replaced with preferred species of reasonable caliper, as outlined in the arborist's report. There are no archaeological resources on the site requiring protection.

**Standard 14 New Construction.** The proposed expansion and exterior renovation work is compatible in character and materials with the existing structure and with the Lake Forest | Lake Bluff History Center campus and surrounding community.

**Standard 15 Repair to Deteriorated Features.** Any maintenance, replacements, or repairs to the existing structure or architectural features are to be done to the same standard as the new construction.

**Standard 16 Surface Cleaning.** Not applicable.

**Standard 17 Reversibility of Additions and Alterations.** Not applicable.



Existing condition Washington Street Elevation



Concept design Washington Street Elevation

*Lake Forest | Lake Bluff History Center Archives Annex  
630 Washington Rd, Lake Forest, IL, 60045*



Existing condition of internal to site entry



Concept design elevation of internal to site Annex entry

*Lake Forest | Lake Bluff History Center Archives Annex  
630 Washington Rd, Lake Forest, IL, 60045*

May. 15, 2026

## Regarding Demolition Criteria

630 Washington Rd, Lake Forest, IL 60045

*To facilitate the proposed improvements to the Lake Forest & Lake Bluff History Center Archives, limited and selective demolition to the existing structure and site will be undertaken. The demolition will include, but may not be limited to, portions of existing exterior walls, localized foundation work, roof structure modifications, and related elements necessary to support the proposed corridor expansion, ADA-accessible improvements, roof drainage corrections, and building systems upgrades.*

*The intent of the work is not to remove or diminish this modest structure, but rather to improve the function, accessibility, preservation capacity, and architectural coherence of the existing Archival Annex. The proposed improvements will better support the History Center's archival research and preservation operations, protect the archival collections through improved building envelope and systems performance, and create a more unified and contextually appropriate architectural composition within the history center's campus.*

**Standard 1** The History Center site has a rich and layered history within Lake Forest. The property is located on original Lake Forest lots 168 and 169, the broader site history includes the Viles estate, Willow Bend, as well as later religious and institutional uses. **The existing [630 Washington Road] structure was constructed in 1951** as a one-story residence for McPherson Holt and was later acquired by the Church of Christ Scientist for use as a Sunday School and Reading Room. The History Center purchased the property in 2016 and now uses it as its Archival and Research Center Annex. (See attached brief historic documentations on 630 Washington Road)

While the site has historical associations, the limited portions of the existing structure proposed for demolition are not individually significant architecturally, culturally, archaeologically, or historically. The proposed demolition is selective and necessary to repair deficiencies and allow improvements that will support the continued preservation and education mission of the History Center. The

demolition will not be detrimental to the public interest or contrary to the general welfare of the neighborhood, the city or state.

**Standard 2** The existing structure contributes to the institutional and public use of the History Center campus. The limited portions of the existing structure proposed for demolition do not contain distinctive historic, cultural, architectural, or archaeological features that warrant preservation in their current form. The proposed work is designed to strengthen the overall character and function of the building by extending the central corridor, improving the public provide ADA compliant access entry sequence, selectively replacing fenestration, and reconfiguring portions of the roof to improve drainage, building performance, balance the buildings mass and proportions.

Rather than diminishing the character of the Historic District, the proposed renovation and expansion will create a more balanced and unified composition, improve the relationship between solids and voids on the elevations, and establish a more contextually appropriate and balanced architectural expression. The work will preserve the building's scale, materials, proportions, and relationship to the history center campus and neighborhood.

**Standard 3** The proposed demolition is consistent with the purpose and intent of the Historic Preservation Ordinance. The demolition is limited in scope and directly tied to improvements that enhance the building's long-term function, accessibility, preservation capacity, and architectural compatibility.

The proposed work will allow for ADA-accessibility, a clear public entry internal to the site, ADA compliant restroom, and roof modifications that better manage stormwater and protect the building envelope and archival collections. These improvements support the continued public and institutional use of the property and are strongly aligned with the goals of the ongoing Lake Forest efforts in historic preservation.

**Standard 4** The portions of the existing structure proposed for demolition are not of such old, unusual, or uncommon design, texture, or material that they could not be reproduced without great difficulty or expense. The existing building fabric affected by the proposed work consists primarily of conventional mid-twentieth-century residential construction, details and materials.

New construction and replacement materials introduced have been selected to remain visually compatible with the existing structure, including common brick, trim, fenestration, roof forms, and related exterior details. The proposed work will maintain continuity with the existing architectural character while improving the building's performance, access and function.

**Standard 5** Not applicable.



PROPOSED  
SITE PLAN

GENERAL NOTES

1. FIRST FLOOR ELEVATION IS BASED ON THE CITY DATUM XX.XX' LOCATED AT STREET ADDRESS.
2. G.C. TO COORDINATE ALL INCOMING UTILITIES.
3. SEE LANDSCAPE AND CIVIL DRAWINGS FOR MORE SPECIFIC DETAILS REGARDING HARD AND SOFT SCAPE.

the  
STUDIO  
@  
Westmoreland  
Farm  
Architecture & Interior Design

549 KING MUIR ROAD  
LAKE FOREST, IL 60045

NOT FOR  
CONSTRUCTION  
OR RECORDING

LEGEND

----- PROPERTY LINE

KEYNOTE



1 Site Plan  
1/16" = 1'-0"

©2026 4:16:51 PM  
 H:\02\_Studio\Westmoreland Farm\02\_2026\03\_2026\03\_2026\_Site Plan.dwg  
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History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
PROJECT ADDRESS

ARCHITECTURAL  
SITE PLAN

Project Number: 2508  
Date: 03/30/2026  
Scale: As indicated

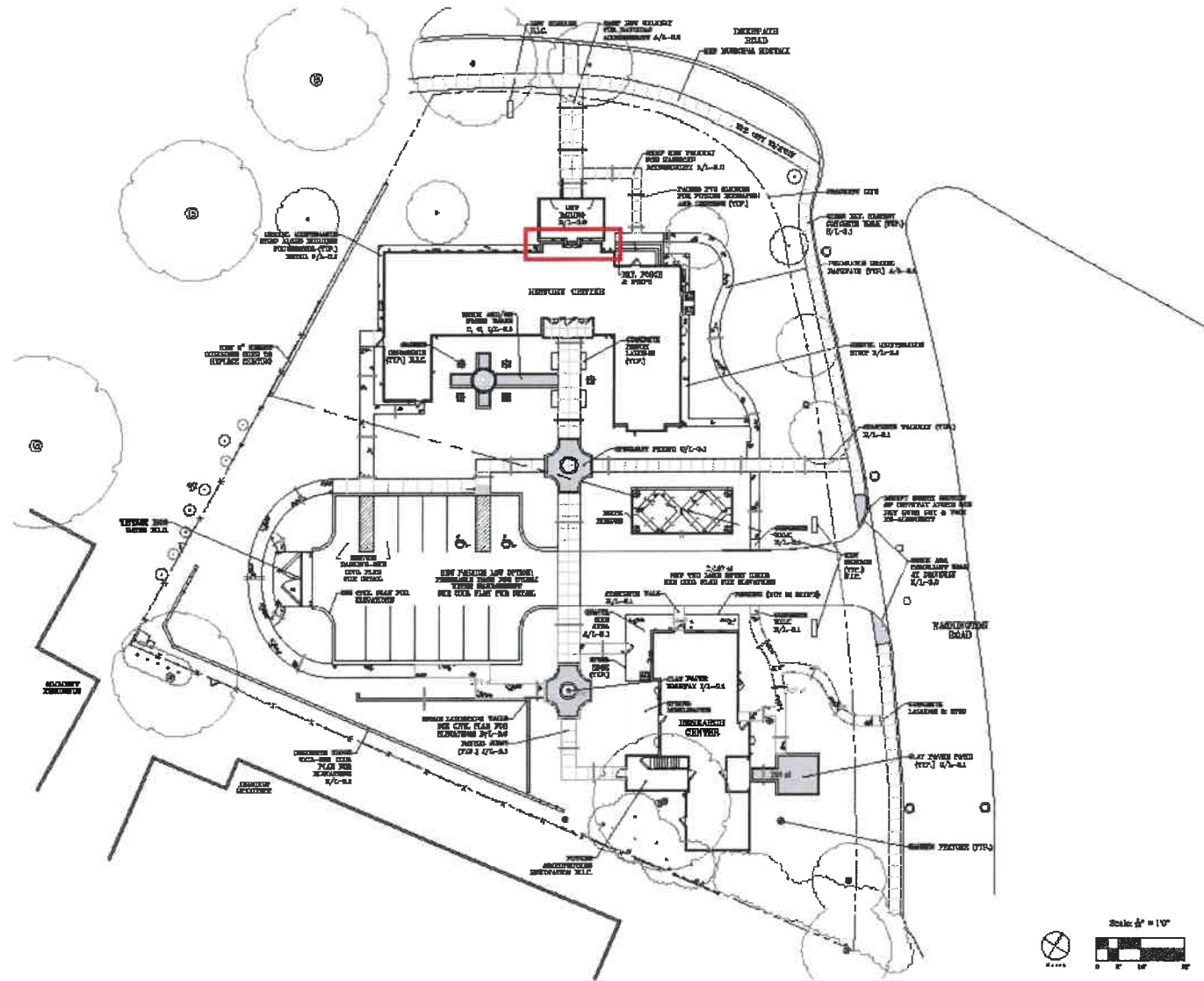
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## History Center – Front Door

# MUSEUM ENTRY DOOR SCOPE OF WORK:

REPLACE THE EXISTING HISTORY CENTER EXTERIOR ENTRANCE DOOR TO A NEW ADA ACTUATED DOOR SET.

PROVIDE FIXED TRANSOM PANEL WITH TRIM TO MATCH EXISTING DOOR STYLE



PROJECT AREA



PROPOSED NEW ADA-COMPLIANT DOOR BELOW.

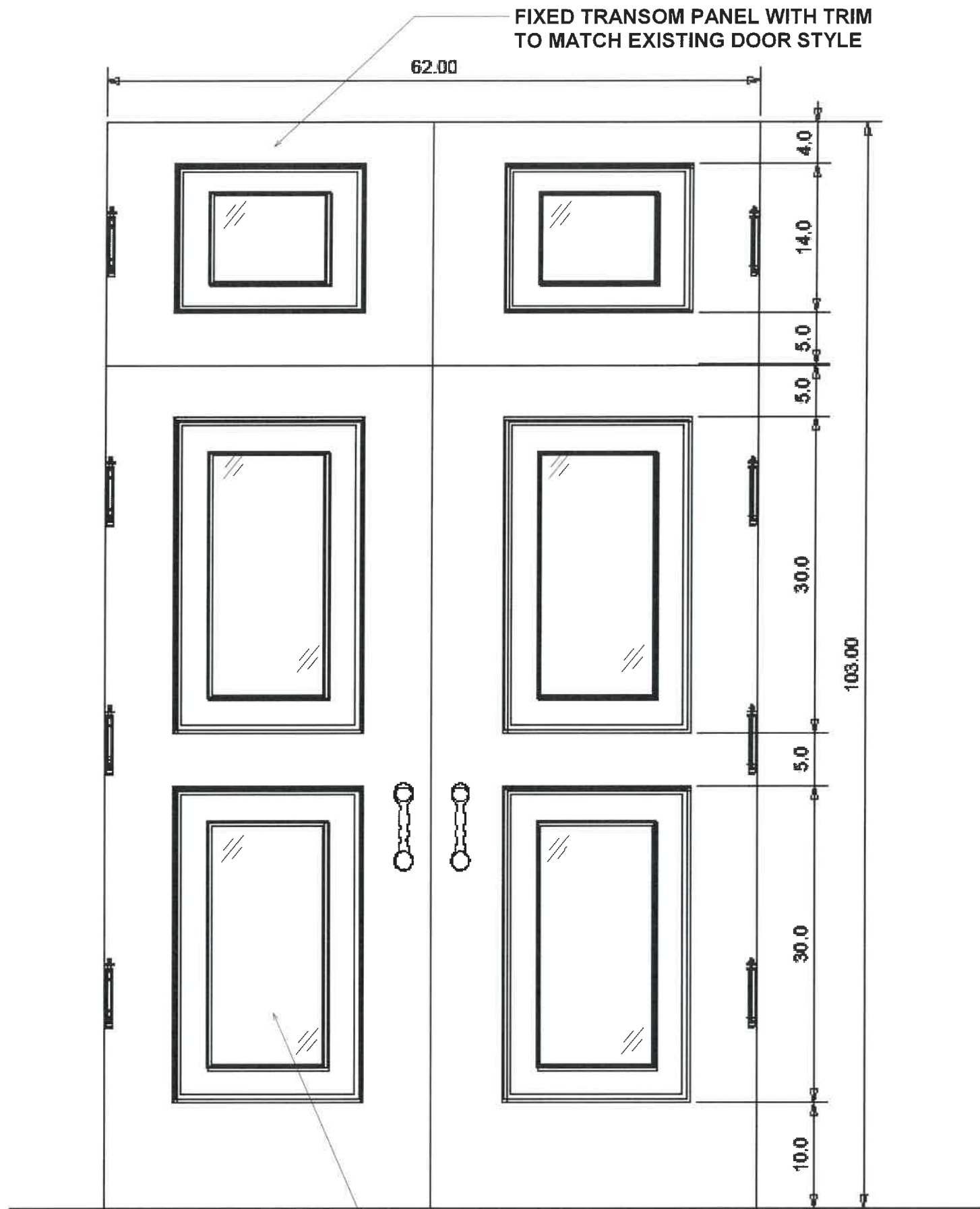
PROVIDE FIXED UPPER DECORATIVE PANEL WITH TRIM TO MATCH EXISTING DOOR STYLE

FIXED DECORATIVE PANEL WITH TRIM TO MATCH EXISTING DOOR STYLE

HISTORY CENTER  
FRONT DOOR REPLACEMENT  
EXISTING

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PROPOSED ELEVATION  
SCALE: NTS

PROPOSED



PROPOSED ELEVATION  
SCALE: NTS

History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

Elevation

Project Number: 2508  
Date: 03/30/2026

B 003

## **Archives Building**

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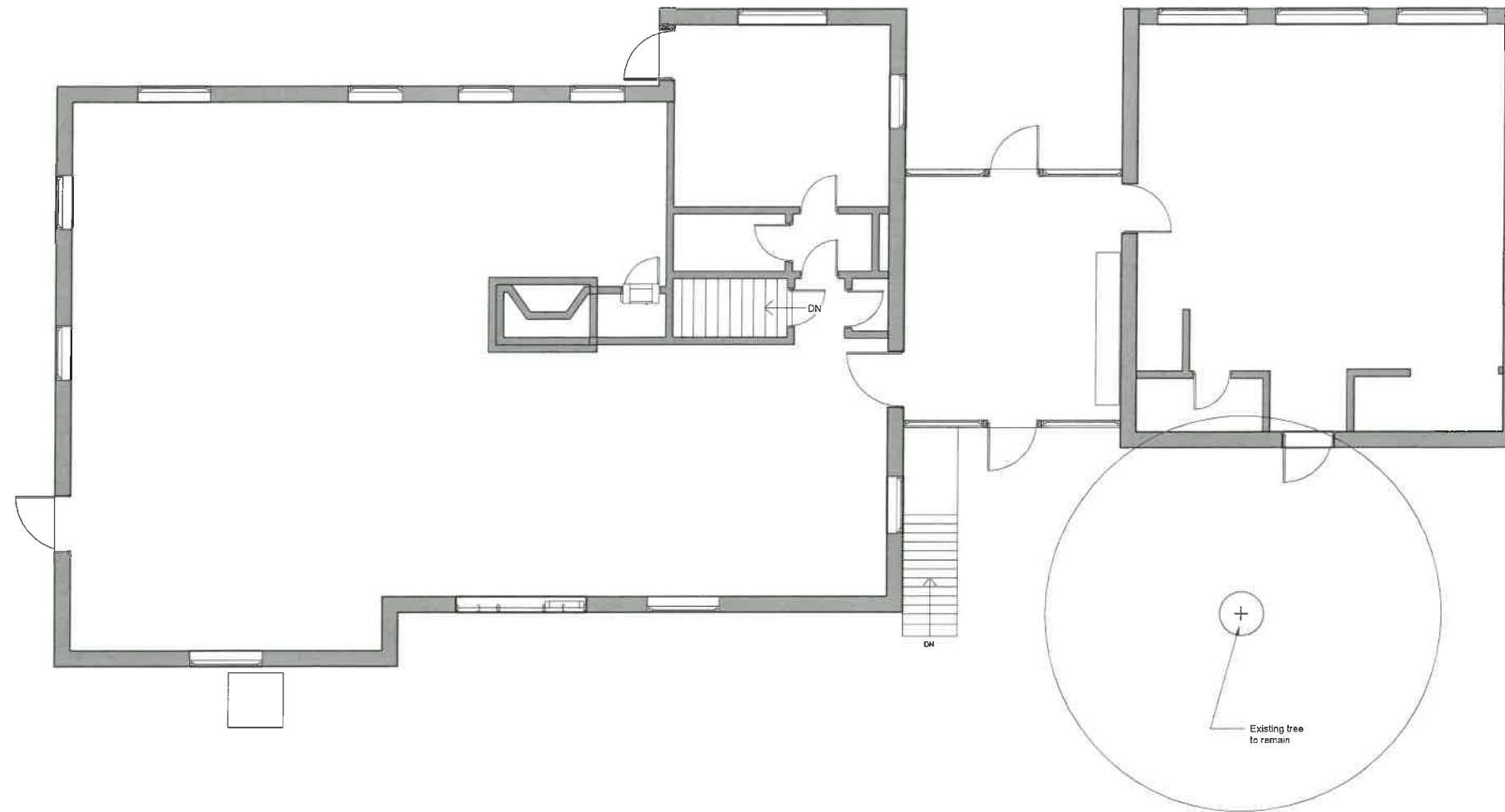
ARCHIVES BUILDING

EXISTING CONDITIONS  
FIRST FLOOR PLAN AND PHOTOS

the  
STUDIO

reland  
Farm  
Architecture & Interior Design

549 KING MUIR ROAD  
LAKE FOREST, IL 60045



1 EXISTING FLOOR PLAN  
1/4" = 1'-0"



EXISTING EAST ELEVATION - STREET VIEW



EXISTING WEST ELEVATION - PARKING LOT VIEW



EXISTING WEST ELEVATION - PARKING LOT VIEW

History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

EXISTING  
CONDITIONS

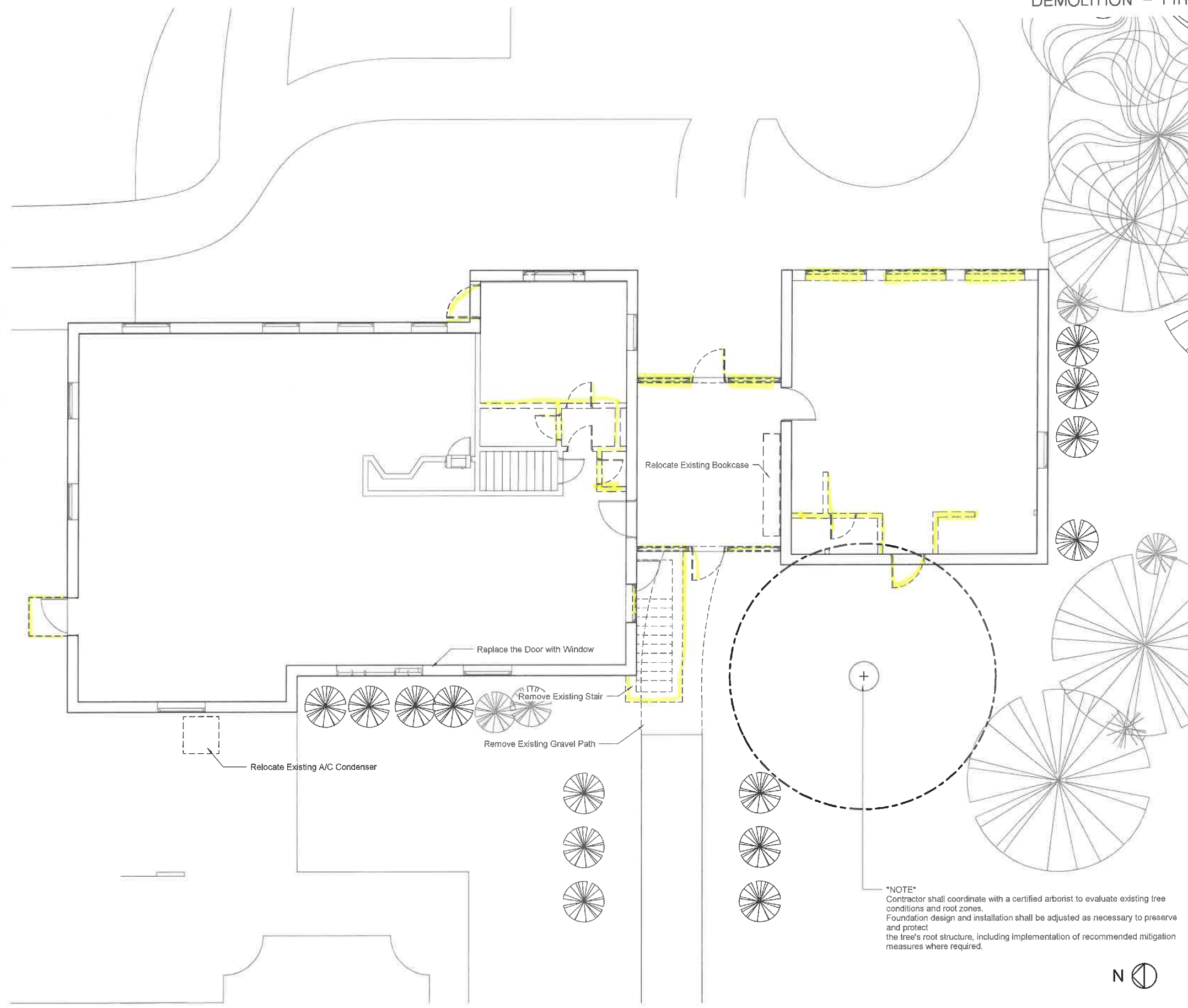
Project Number: 2508  
Date: 03/30/2026

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DEMOLITION – FIRST FLOOR PLAN

GENERAL DEMO NOTES

1. THE DEMOLITION CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
2. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES WITH A HOLD HARMLESS CLAUSE PROTECTING THE OWNER AND ARCHITECT.
3. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
4. ALL WORK SHALL BE THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATION AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
5. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL FURNISH ALL OF ITEMS AND LABOR REQUIRED FOR THE FULL CONTRACT COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
6. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
7. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. DISCONNECT AND/OR CAP UTILITIES AS REQUIRED AND DIRECTED.
8. THE CONTRACTOR SHALL CONDUCT DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING THE COURSE OF THE WORK.
9. THE CONTRACTOR IS TO CEASE OPERATIONS IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
10. UNLESS DIRECTED OTHERWISE REMOVE ALL DEMOLISHED MATERIAL FROM THE SITE IN AN APPROVED MANNER AS THE WORK PROGRESSES. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON SITE. AT THE COMPLETION OF THE WORK, ALL DEMOLISHED MATERIALS SHALL BE REMOVED AND THE SITE LEFT IN A CLEAN CONDITION.
11. PROTECT ALL FLOOR OPENINGS.
12. DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUB-CONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
13. THE CONTRACTOR SHALL PROVIDE AND PLACE BRACING OR SHORING AS NECESSARY FOR SUPPORT OF STRUCTURES.
14. REMOVE ALL MISCELLANEOUS ITEMS FROM WALLS, CEILINGS, COLUMNS AND FLOORS. COLUMNS, WALLS & FLOORS TO BE SMOOTH & FREE OF ALL PROTRUDING OBJECTS, UNLESS NOTED OTHERWISE.
15. MAINTAIN (2) TWO MEANS OF EGRESS (MINIMUM) PER FLOOR DURING DEMOLITION WORK.
16. PROTECT EXISTING BUILDINGS AND ADJACENT SURFACES, FEATURES AND PROPERTY. REMOVE DEBRIS FROM SITE DAILY.
17. THE ARCHITECT HAS NO KNOWLEDGE AND SHALL NOT BE HELD LIABLE IF ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION. THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING.
18. DO NOT SCALE DRAWINGS.
19. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR FULL COORDINATION OF WORK.
20. REFER TO SURVEY FOR SITE INFORMATION. CONTRACTOR TO VERIFY ALL INFORMATION.
21. THE PREMISES SHALL BE KEPT IN A BROOM SWEEP FINISH CONDITION DURING DEMOLITION WORK. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
22. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES AND OMISSIONS.
23. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE SITE, AS REQUIRED, AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.



\*NOTE\*  
Contractor shall coordinate with a certified arborist to evaluate existing tree conditions and root zones. Foundation design and installation shall be adjusted as necessary to preserve and protect the tree's root structure, including implementation of recommended mitigation measures where required.



1 DEMOLISHED FIRST FLOOR PLAN  
1/4" = 1'-0"

History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

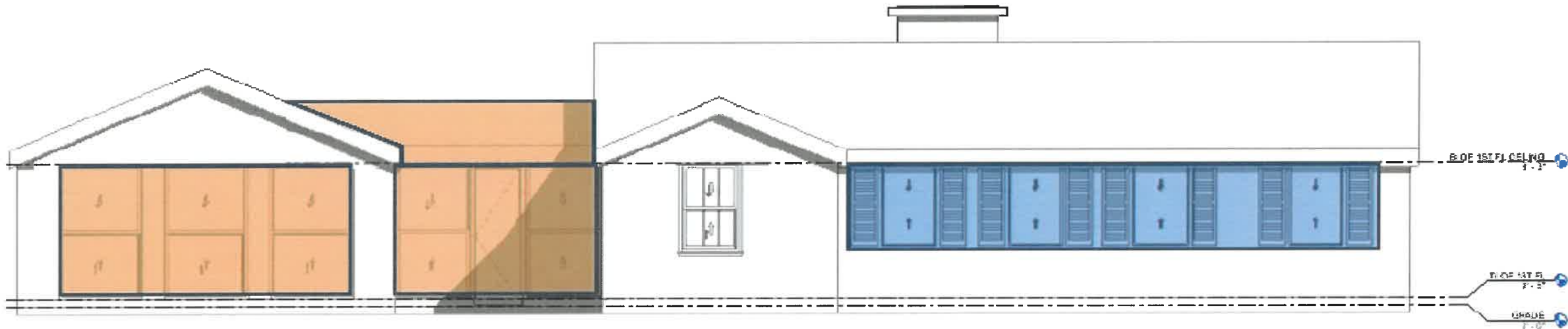
DEMOLISHING  
PLAN

Project Number: 2508  
Date: 03/30/2026

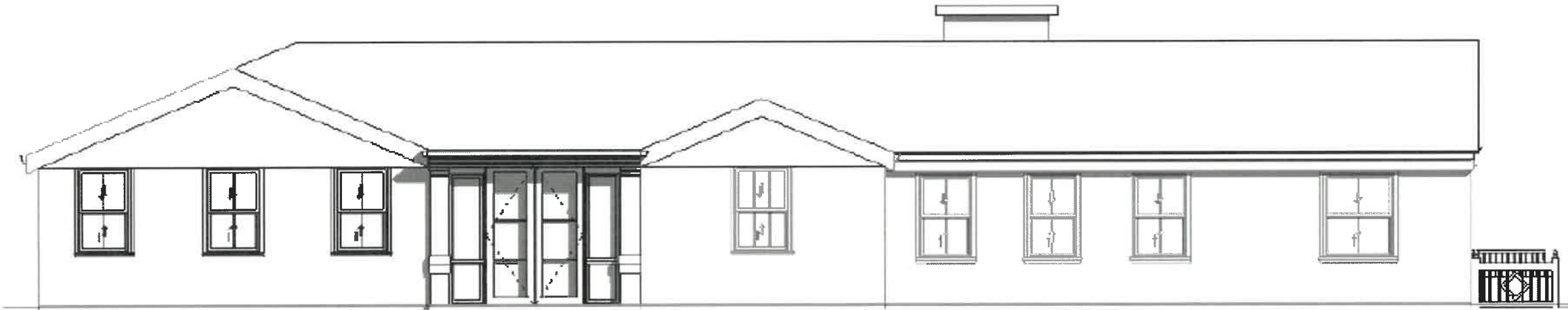
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# PROPOSED PERSPECTIVES



**EXISTING EAST ELEVATION**



**PROPOSED EAST ELEVATION**

- NEW CONSTRUCTION
- SHUTTER REMOVAL

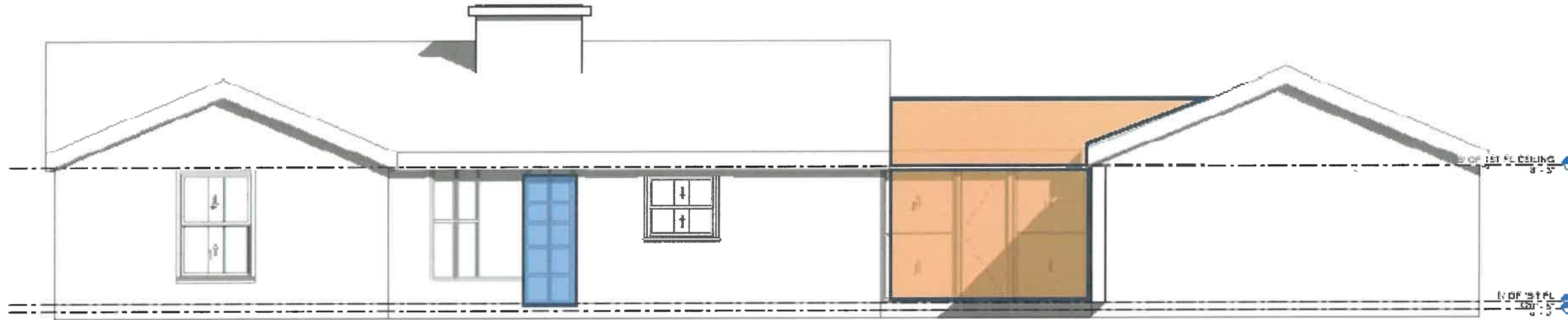
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History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

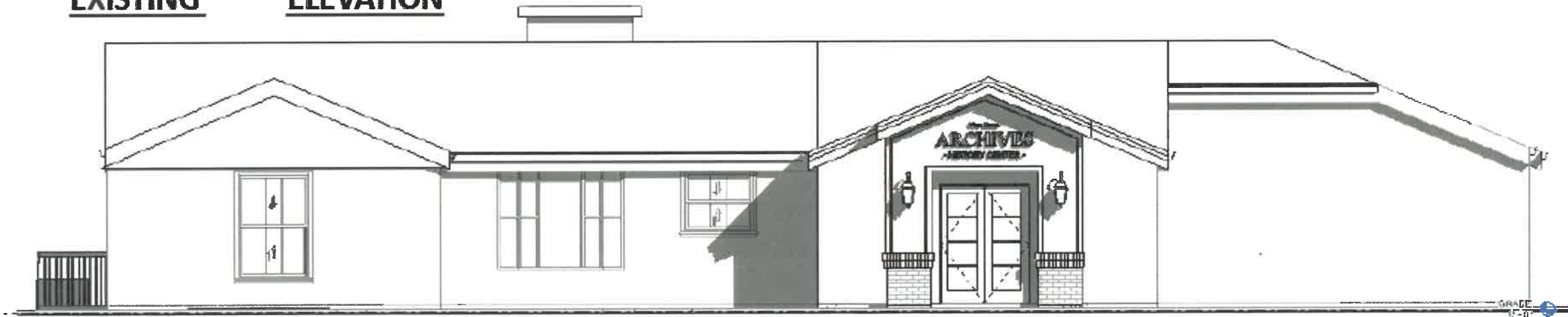
PROPOSED  
PERSPECTIVES

Project Number 2508  
Date 03/30/2025

# PROPOSED PERSPECTIVES



## EXISTING ELEVATION



## PROPOSED ELEVATION

- NEW CONSTRUCTION
- WINDOW REPLACEMENT

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History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

PROPOSED  
PERSPECTIVES

Project Number 2508  
Date: 03/30/2026



PROPOSED PARKING LOT VIEW



PROPOSED PARKING LOT VIEW



PROPOSED PARKING LOT VIEW



PROPOSED PARKING LOT VIEW

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History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

RENDERS

Project Number: 2508  
Date: 03/30/2026

A300



PROPOSED STREET VIEW



PROPOSED STREET VIEW



PROPOSED STREET VIEW



PROPOSED STREET VIEW

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History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN  
RENDERS

Project Number: 2508  
Date: 03/30/2026

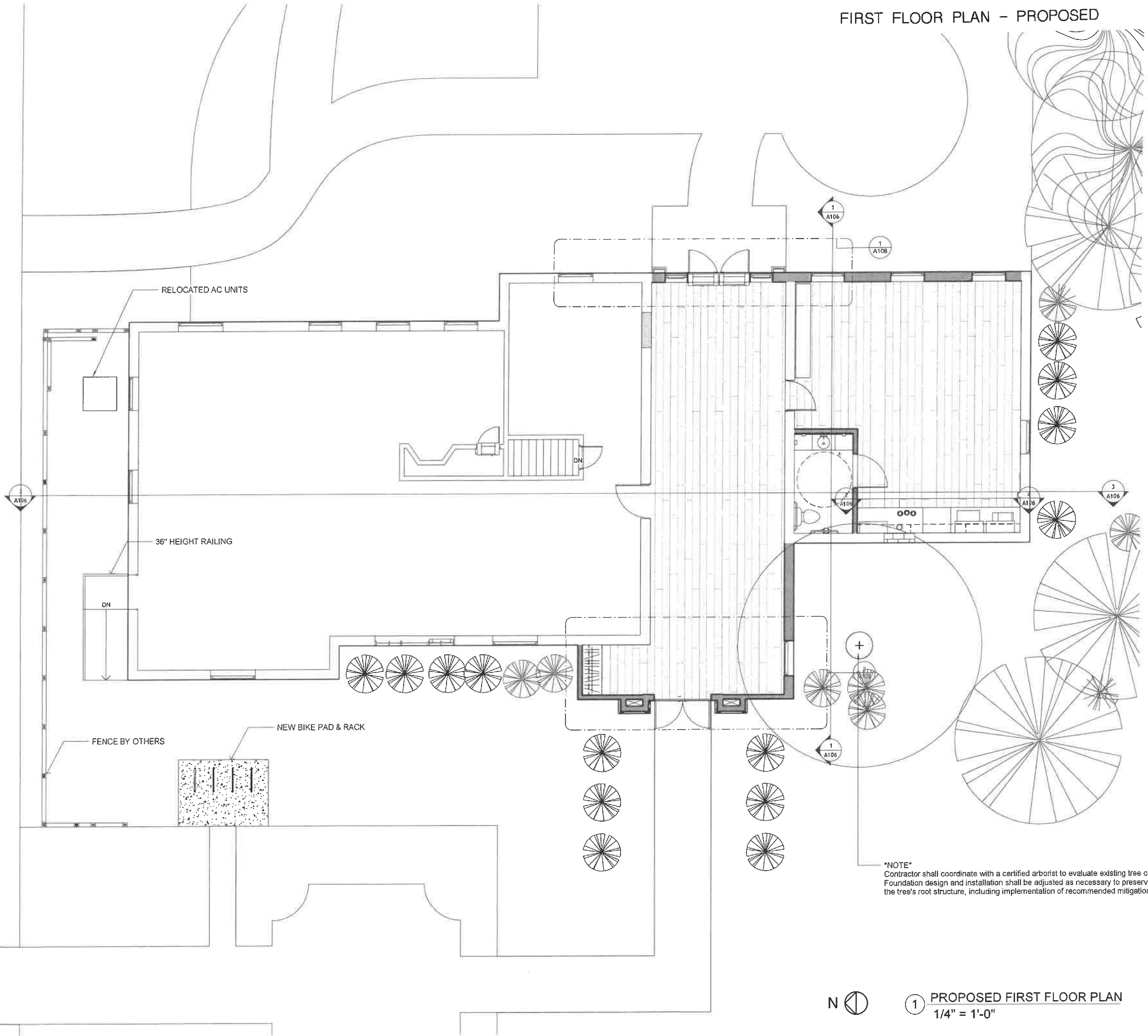
A301

FIRST FLOOR PLAN - PROPOSED

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW

the  
STUDIO  
@  
Westmoreland  
Farm  
Architecture & Interior Design  
549 KING MUIR ROAD  
LAKE FOREST, IL 60045

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**\*NOTE\***  
Contractor shall coordinate with a certified arborist to evaluate existing tree conditions and root zones. Foundation design and installation shall be adjusted as necessary to preserve and protect the tree's root structure, including implementation of recommended mitigation measures where required.



1 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

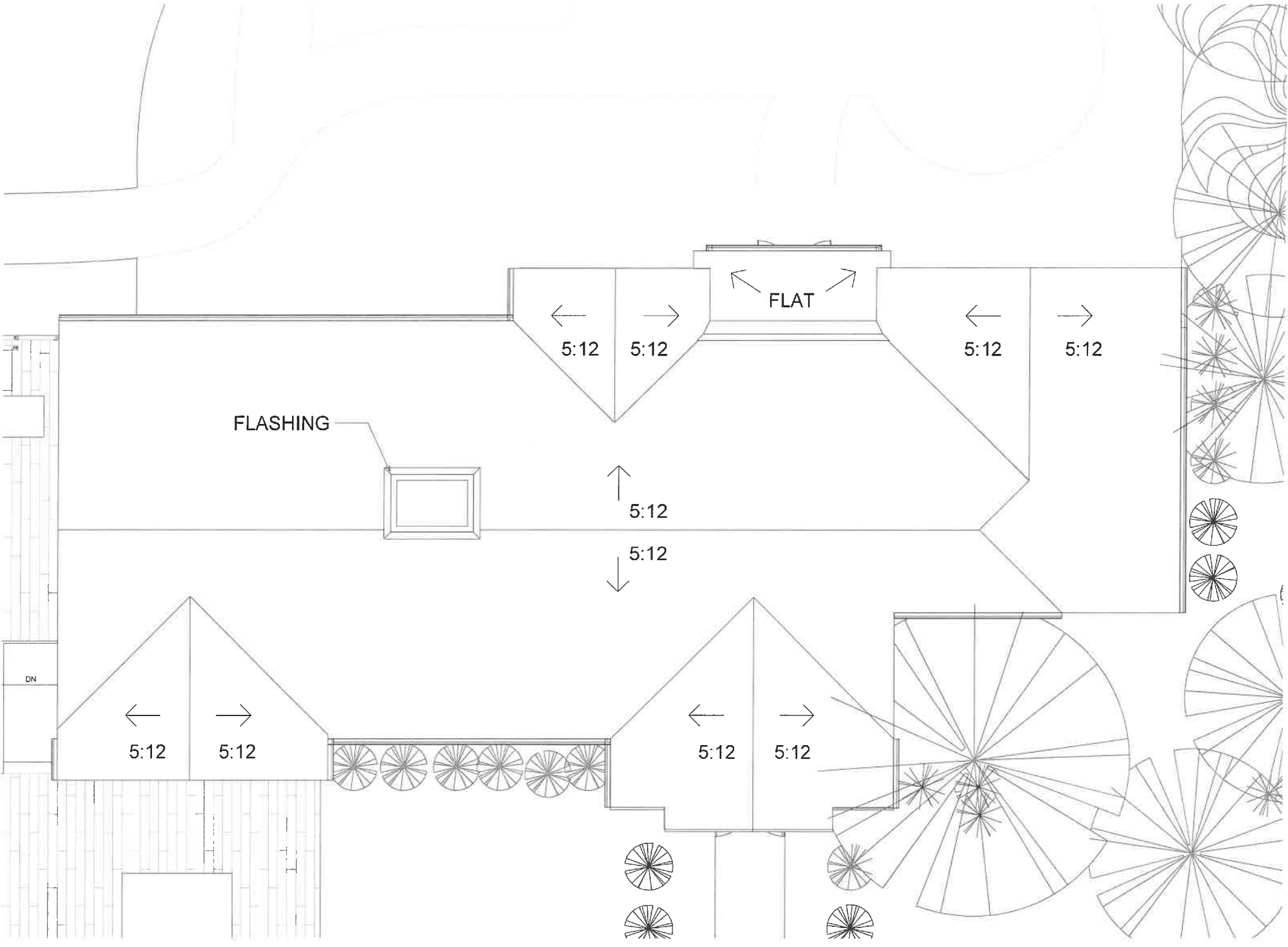
History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

PROPOSED  
FLOOR PLAN

Project Number: 2508  
Date: 03/30/2026

A103

ROOF PLAN NOTES



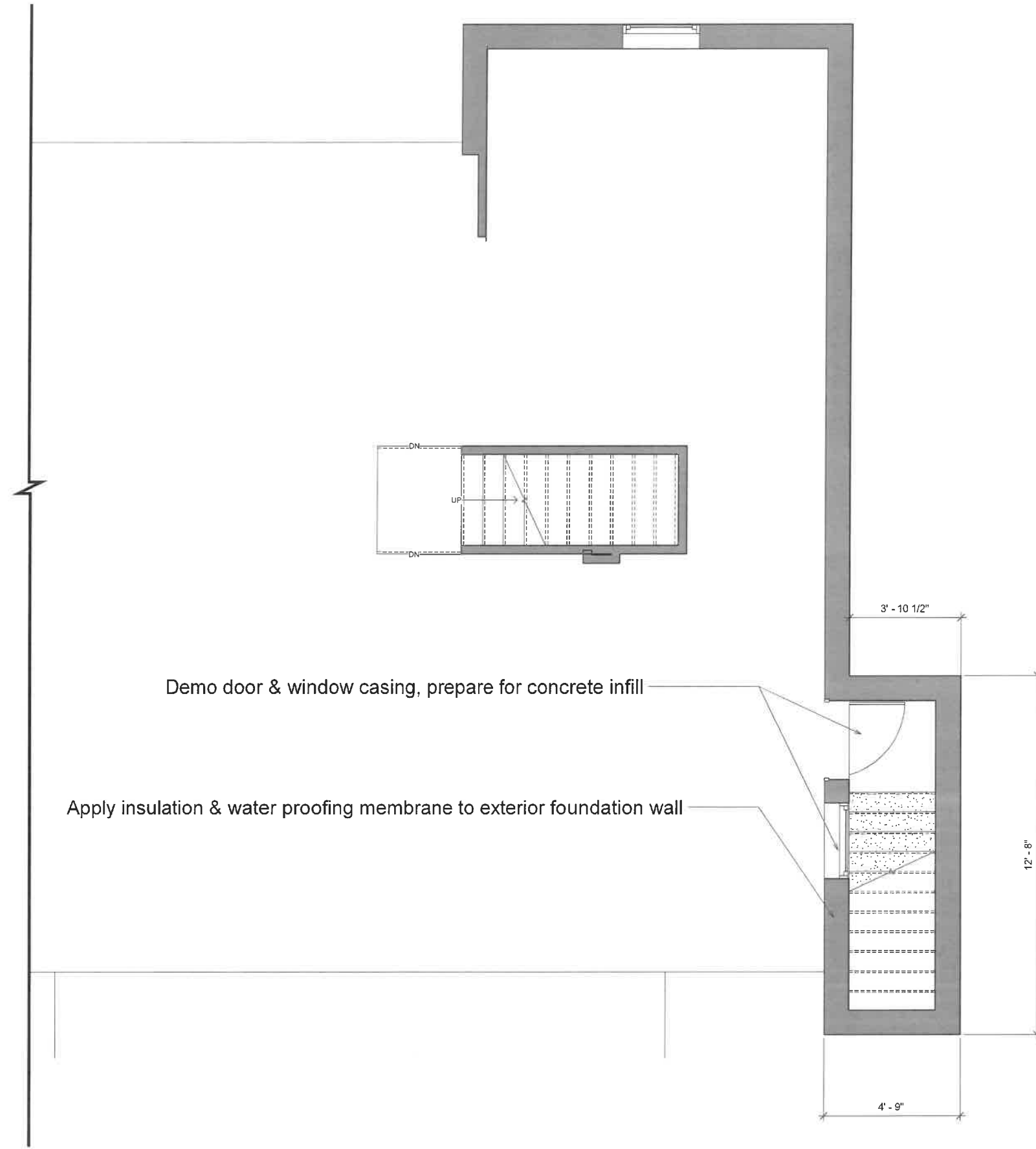
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1 Roof Plan  
1/4" = 1'-0"

History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
PROJECT ADDRESS

PROPOSED  
ROOF PLAN

Project Number: 2508  
Date: 03/30/2026  
Scale: 1/4" = 1'-0"



History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
PROJECT ADDRESS

FOUNDATION  
PLAN

Project Number:	2508
Date:	03/30/2026
Scale:	1/2" = 1'-0"

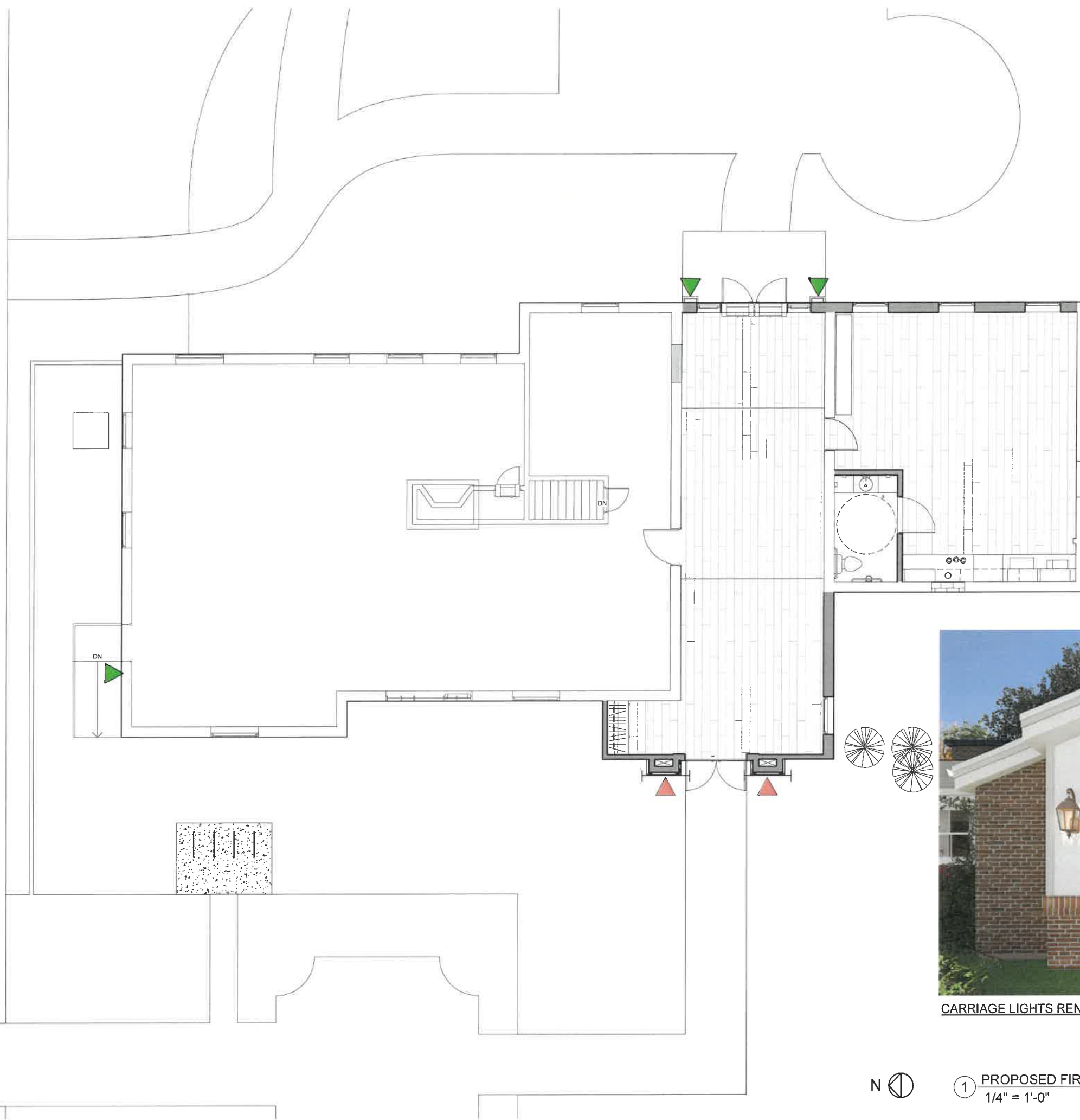
A105

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### LIGHTING CONTROL PLAN SYMBOLS

-  CARRIAGE LAMPS - [H1]
-  LED WALL LIGHT - [H2]

### LIGHTING PLAN



CARRIAGE LIGHTS RENDERING & DIAGRAM



1 PROPOSED FIRST FLOOR PLAN Copy 1  
1/4" = 1'-0"

H1

H2



FORESTDALE COLLECTION

## Forestdale Outdoor Wall Light

1-Light | Clear Seeded Glass

Size: 7" W x 14.75" H x 6.5" D

Model: 49735BKT

Enhance your curb appeal with the vintage-inspired look of the Forestdale 1-light outdoor wall light. [View Full Description](#)

### Product Description

SKU: 49735BKT (Textured Black)

Enhance your curb appeal with the vintage-inspired look of the Forestdale 1 light outdoor wall light. Forestdale's clear seeded glass mimics the look of rain cascading down a window and diffuses light in a beautiful vintage glow. Its rich, on-trend textured black finish easily complements various design styles while it's decorative loop arm detail complements updated traditional environments.

- Forestdale's classic lantern style and decorative loop arm detail complement updated traditional environments
- Seeded glass panels diffuse light in a beautifully elegant vintage glow
- Enhance curb appeal by flanking exterior doors, garages, porches, and patio walls
- Glass panels are removable for ease of cleaning and replacement
- Fixture measures 14.75 inches in height x 7 inches in width
- Dimmable when used with dimmer switch (sold separately)
- Takes 1 60W bulb or LED equivalent bulb (bulb not included)
- Wall mount

**What's in the Box:**

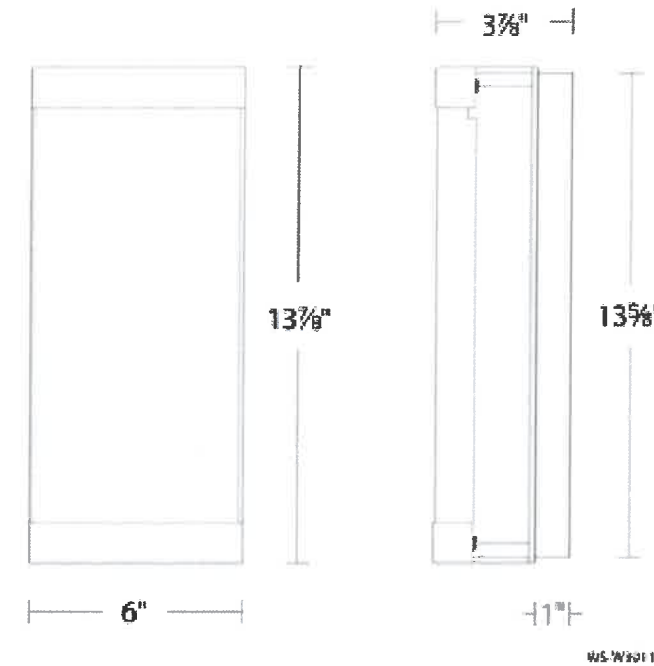
(1) Fixture, (1) Backplate, (1) Mounting Strap

**Cleaning Instructions:**

To clean, simply wipe with a damp cloth

## DweLED Fusion 14" High Black Outdoor LED Wall Light

[dweLED Fusion Collection](#)



**Product Details**

- 14" high x 6" wide. Extends 3 3/4" from the wall. Backplate is 1" deep. Weighs 9.06 lbs.
- Built-in dimmable 13 watt LED module. 237 lumen light output, comparable to a 25 watt incandescent. 3000K color temperature. 96 CRI.
- ADA-compliant contemporary energy-efficient LED outdoor wall light from the Fusion collection by dweLED by W.A.C.
- Black finish over aluminum frame. Pressed glass diffuser.
- Can be installed in all orientations.
- Dimmable with ELV or TRIAC dimmer. LED averages 54,000 hours at 3 hours per day.

A rectangular silhouette is on full display on this energy-efficient LED outdoor wall light from the Fusion collection. A vertical panel of pressed glass forms the face, adding captivating texture to the shade. This elegant structure starts with an uncomplicated contemporary vibe.

dweLED

By dweLED

**Product Attributes**

Style	Contemporary
Finish	Black
Type	Wall Light
Color	Black
Brand	DweLED

**Technical Specifications**

Height	14.00 inches
Weight	9.06 pounds
Max. Width	13 inches
UPC Code	790575817291
Manufacturer Number	WS-W3014-BK

TO MATCH EXISTING LIGHT FIXTURE ON MUSEUM

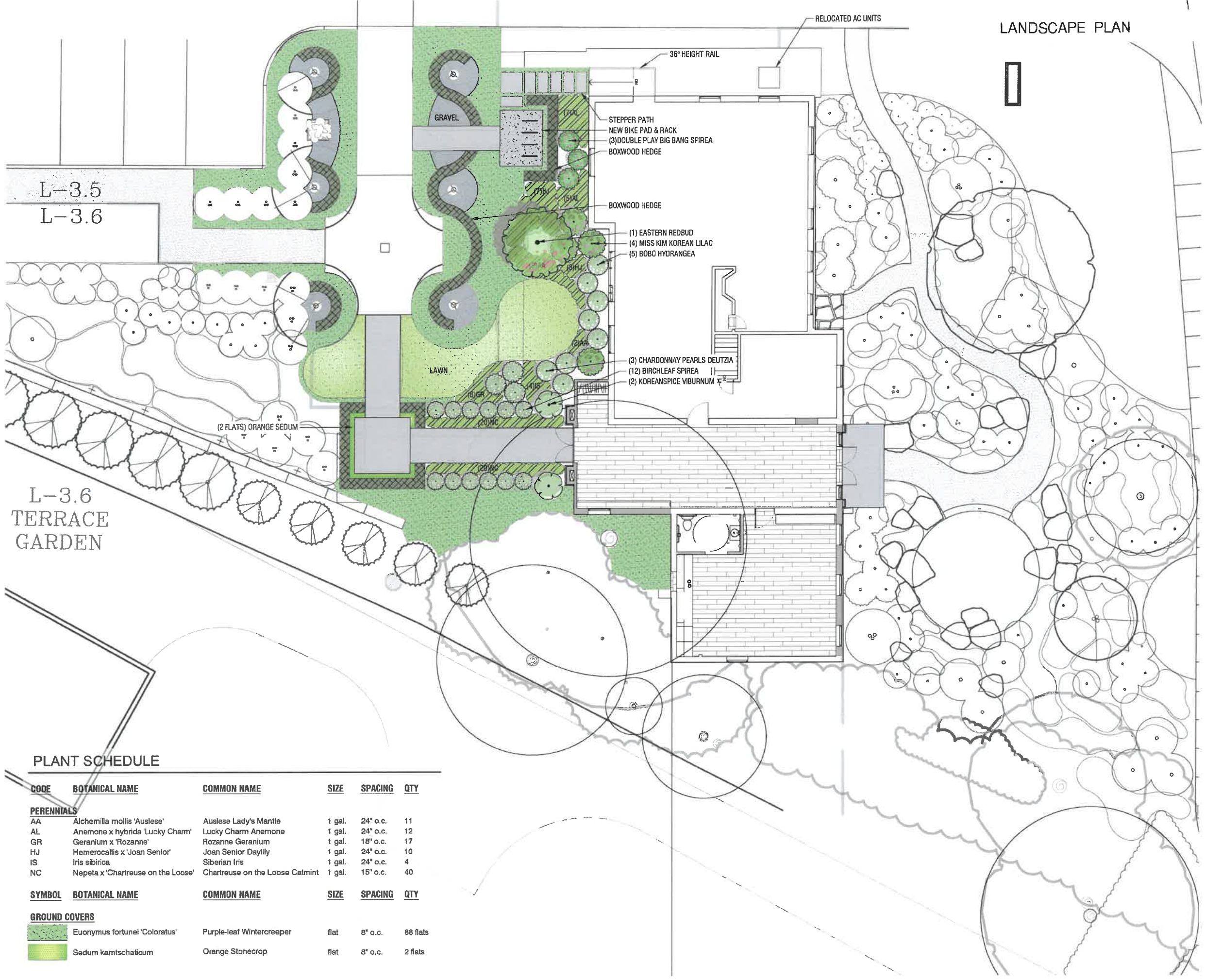
History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
CONCEPT DESIGN

Exterior Lighting  
CutSheet

Project Number: 2508  
Date: 03/30/2026

A109.1

LANDSCAPE PLAN



PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
<b>PERENNIALS</b>					
AA	Alchemilla mollis 'Auslese'	Auslese Lady's Mantle	1 gal.	24" o.c.	11
AL	Anemone x hybrida 'Lucky Charm'	Lucky Charm Anemone	1 gal.	24" o.c.	12
GR	Geranium x 'Rozanne'	Rozanne Geranium	1 gal.	18" o.c.	17
HJ	Hemerocallis x 'Joan Senior'	Joan Senior Daylily	1 gal.	24" o.c.	10
IS	Iris sibirica	Siberian Iris	1 gal.	24" o.c.	4
NC	Nepeta x 'Chartreuse on the Loose'	Chartreuse on the Loose Catmint	1 gal.	15" o.c.	40
<b>SYMBOL</b>					
	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>	<b>SPACING</b>	<b>QTY</b>
<b>GROUND COVERS</b>					
	Euonymus fortunei 'Coloratus'	Purple-leaf Wintercreeper	flat	8" o.c.	88 flats
	Sedum kamtschaticum	Orange Stonecrop	flat	8" o.c.	2 flats

History Center of Lake Forest-Lake Bluff  
509 E Deerpath Rd, Lake Forest, IL 60045  
PROJECT ADDRESS

LANDSCAPE PLAN

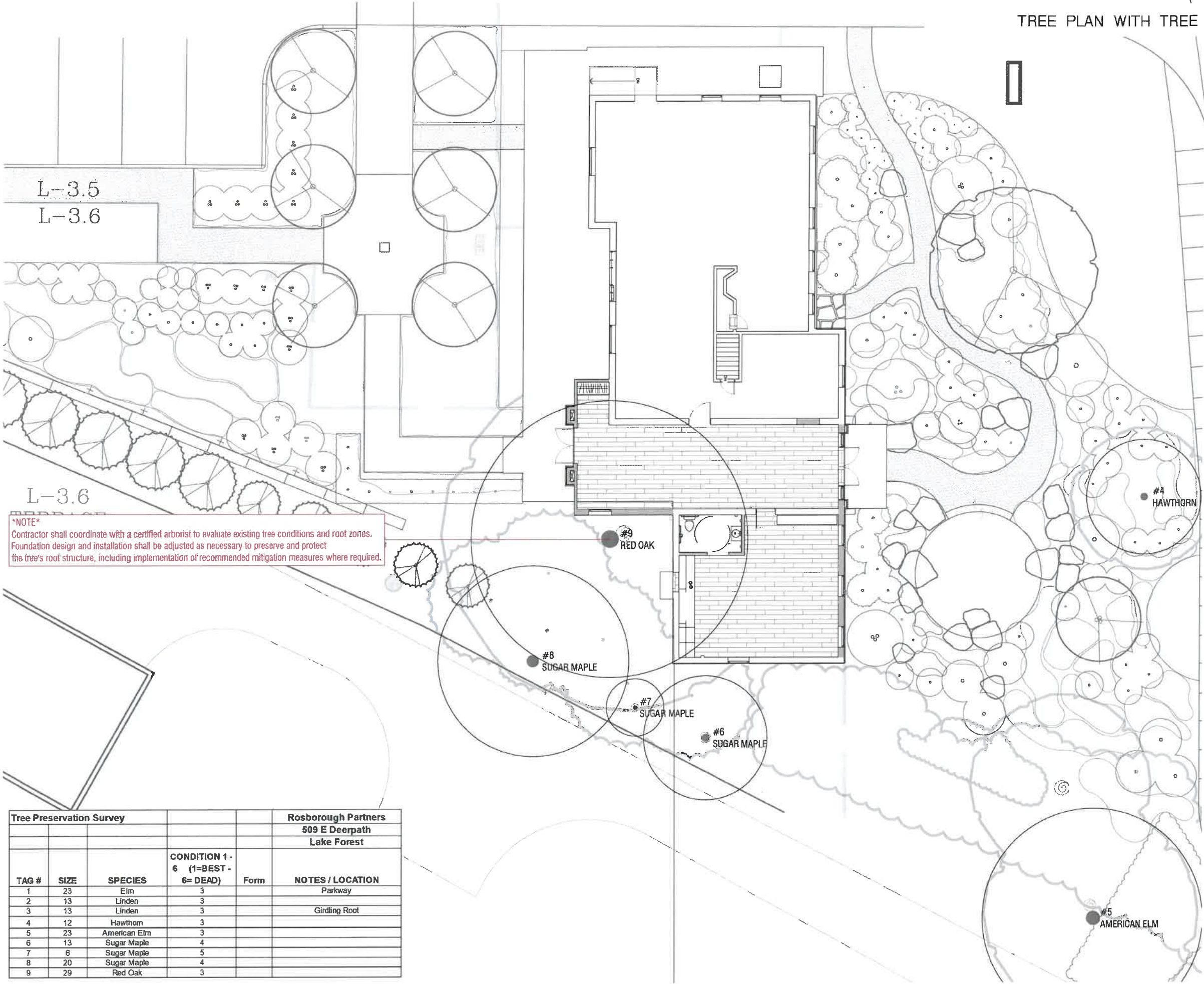
Project Number: 2508  
Date: 03/30/2026  
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TREE PLAN WITH TREE SURVEY



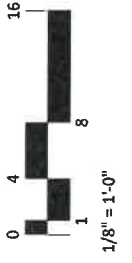
**\*NOTE\***  
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Tree Preservation Survey				Rosborough Partners 509 E Deerpath Lake Forest	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)	Form	NOTES / LOCATION
1	23	Elm	3		Parkway
2	13	Linden	3		
3	13	Linden	3		Girdling Root
4	12	Hawthorn	3		
5	23	American Elm	3		
6	13	Sugar Maple	4		
7	6	Sugar Maple	5		
8	20	Sugar Maple	4		
9	29	Red Oak	3		



**ROSBOROUGH PARTNERS, INC.**  
 342 N. 4th Street, Suite 104  
 Lake Forest, IL 60045  
 P 847 549 1352  
 F 847 549 1392  
 www.rosboroughpartners.com

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<b>ISSUED FOR:</b> NOT FOR CONSTRUCTION	<b>DESIGNED BY:</b> Terrace Garden
<b>TREE REMOVAL PLAN</b> L-2.0	<b>DRAWN BY:</b>
	<b>REVISIONS:</b>
	<b>NO DATE ISSUE</b>
	509 Deerpath Road Lake Forest, IL 60045

the  
**STUDIO**  
 @  
**Westmoreland Farm**  
 Architecture & Interior Design  
 549 KING MUIR ROAD  
 LAKE FOREST, IL 60045  
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 CONSTRUCTION  
 OR RECORDING

**History Center of Lake Forest-Lake Bluff**  
 509 E Deerpath Rd, Lake Forest, IL 60045  
 PROJECT ADDRESS

Tree Survey  
 Project Number: 2508  
 Date: 03/30/2026  
 Scale:

**A100.5**



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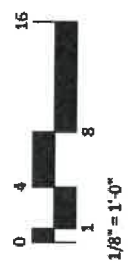


DRAINAGE PLAN

**RP**  
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 242 N. 4th Street, Suite 204  
 Westfield, IL 60093  
 P: 815.596.1841  
 www.rosboroughpartners.com

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<b>ISSUED FOR:</b> <b>NOT FOR CONSTRUCTION</b> <b>DRAINAGE PLAN</b> <b>L-3.0</b>	<b>PROJECT:</b> Terrace Garden 509 Deerpath Road Lake Forest, IL 60045	<b>DESIGNED BY:</b> DRN:W:BT	<b>REVISIONS:</b> <table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO	DATE	ISSUE			
	NO	DATE	ISSUE						

**History Center of Lake Forest-Lake Bluff**  
 509 E Deerpath Rd, Lake Forest, IL 60045  
 PROJECT ADDRESS

Drainage Plan  
 Project Number: 2508  
 Date: 03/30/2026  
 Scale:  
**A100.6**

**Agenda Item 5**  
**440 Wisconsin Avenue**  
**Accessory Structure and Associated Hardscape**

Staff Report  
Building Scale Summary Sheet  
Historic Resource Survey  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Historic Site Plan  
Existing Conditions  
    Plat of Survey  
    Photos  
Proposed Site Plan  
Proposed Renderings, Elevations and Plans  
    Aerial Rendering  
    Color Renderings  
    Elevations  
    *Roof Plan*  
    *Floor Plans*  
Exterior Lighting Plan  
Proposed Exterior Lighting Materials  
Proposed Materials  
Conceptual Landscape Plan  
Tree Identification List

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO:	Chairman Norkus and members of the Historic Preservation Commission
DATE:	June 24, 2026
FROM:	Susan Thomas, Assistant Director of Community Development
SUBJECT:	<b>440 Wisconsin Avenue – A new accessory structure and associated hardscape</b>

### PROPERTY OWNERS

Joseph & Courtney Magliochetti  
440 E. Wisconsin Avenue  
Lake Forest, IL 60045

### PROPERTY LOCATION

440 E. Wisconsin Avenue

### HISTORIC DISTRICT

East Lake Forest

### PROJECT REPRESENTATIVE

Nate Lielasus, Architect  
Northworks  
1512 N. Throop Street  
Chicago, IL 60642

### SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness approving the construction of a new accessory structure to serve family use and the installation of hardscape for outdoor terraces.

### PROPERTY DESCRIPTION

The property is located on the west side of Wisconsin Avenue, across from the Winter Club and just north of the intersection with Church Road. The residence, also known as the James D. Hinkley House, was designed by Howard Van Doren Shaw in the English Arts and Crafts vernacular and constructed in 1923. It is identified as a Significant Contributing Structure to the Local Historic District and the Lake Forest National Register District.

The property originally included the main residence and a two-story carriage house connected by an open gateway to the west side of the home. A chicken house, greenhouse, and frame shed were later added to the northwest corner of the lot. In 1958, a one-story garage was added west of the residence. In the years since initial construction, the one-story garage, chicken house, greenhouse, and frame shed were all removed. The main house and carriage house remain with stone patios in the rear of the residence and a stone patio with a fire pit located west of the home.

The home was restored in the late 1990's. Owners of the property in 1999 received an award from the Lake Forest Historic Preservation Foundation for the restoration work that was done.

In 2008, the Historic Preservation Commission granted a Certificate of Appropriateness for a pool pavilion to compliment a proposed pool. The construction of a stucco motor court wall to enclose the west side of the motor court and a wrought iron and copper canopy for over an existing entry door from an enclosed porch to the rear yard, also received approval. City records and visits to the home indicate these improvements were never undertaken by the previous property owner.

## **STAFF EVALUATION**

### *Site Plan and Proposed Addition*

The existing home and detached carriage house are setback from Wisconsin Avenue with the home facing northeast and the carriage house situated along the north property line. Due to the curvature of the street, the residence overlooks an expansive rear yard that borders Wisconsin Avenue as it curves north along the side yard and up to the driveway entrance. Significant mature trees and a privacy wall provide considerable screening from the street. The cottage and outdoor terraces are proposed to the west of the home and will replace the former service yard and existing parking court.

The cottage is designed for family use and uses the same architectural vernacular as the existing home. Exterior materials found on the main residence are proposed for use in the cottage. The single story cottage with a partial attic mimics the low eaves of the existing home. It is scaled to be subservient to the home with respect to massing.

The cottage is oriented to the south, with three sets of French doors leading out on to an expanded terrace and deep rear yard. A long shed dormer positioned lower on the roof rests above the series of French doors. The main entrance to the cottage will face east into the parking court. A gabled roofline frames the primary entrance while a smaller wing steps out from the main mass of the cottage. At the end of the east wing, a prominent chimney abuts a proposed hardscaped terraced area that will connect directly to the main residence and back of the cottage. Toward the north elevation, the roof line dramatically slopes downward with a long shed dormer composed of three small windows, positioned near the bottom of the roof line. The proposed west elevation provides outdoor access to an indoor basement storage area. The mechanicals will be adjacent to the basement staircase. The west elevation is limited to three windows. Another smaller wing extends out with the end composed of a blank wall.

Several existing mature trees are proposed for removal along the west property line to accommodate construction of the cottage. The petitioner proposes layered landscaping with an assortment of deciduous and evergreen trees to replace the removed trees and provide screening. The neighboring residence to the west of the subject property is located further south, away from the cottage. The rear yard of the neighboring home will likely be visually impacted and may feel more exposed due to the removal of trees. While the cottage has been carefully oriented on the lot and designed to minimize off-site light spillover, depending on the adequacy of replacement plantings, additional landscaping may be necessary to provide sufficient screening for the neighboring property.

### *Findings*

A staff review of the applicable standards in the City Code is provided below. Preliminary findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height.**

This standard is met. The overall height of the cottage is 24 feet at the tallest ridge as measured from the lowest point of existing grade. The east and west wings which step down from the main mass are 18' in height. The north wing will be 19' tall. The overall height of the main house, 38 feet, will not change.

#### **Standard 2 – Proportion of Front Façade.**

This standard is met. The front façade of the cottage (or east elevation) draws off the main house in

its low eaves, and long expression. The structure is wider than it is tall, which compliments the horizontal expression of the main house.

**Standard 3 – Proportion of Openings.**

This standard is met. The proportions of the openings for windows and doors on the cottage are compatible with the proportions of the openings around the residence and generally consistent on all elevations with the garden (south) façade the exception. The garden façade provides larger openings than found on the other three elevations. With larger openings purposely placed to capture views of the rear yard and provide access to the outdoor terrace, it remains compatible with the main house. The overall window design is drawn off the main residence in proportion and lite pattern.

**Standard 4 – Rhythm of Solids to Voids.**

This standard is met. The rhythm of solids to voids on all sides of the cottage is intentionally drawn off the main residence. To create a nestled, cottage design, a variety of window sizes are strategically placed to provide privacy and complement the scale of the structure and its setting. The primary door is recessed and framed by a low sloping gable.

**Standard 5 – Rhythm of Spacing and Structures on the Street.**

This standard is met. The primary mass of the existing residence and its relationship to the street will not change. The proposed cottage will be minimally visible from the street and may be slightly visible from an area north of the driveway entrance. Historically, service buildings occupied the area where the cottage is to be located. Siting the cottage in this area of the property is consistent with the original plan of locating accessory structures to the west of the main residence.

**Standard 6 – Rhythm of Entrance Porches.**

This standard is met. The main house features a recessed stone entrance which is replicated to some extent on the proposed cottage.

**Standard 7 – Relationship of Materials and Texture.**

This standard is met. The proposed materials for the cottage match the main house. The proposed Wisconsin Lannon stone will be from the same quarry as the stone found on the main residence. Cementitious stucco found on the main house will be replicated on the cottage. Casement windows will be painted the same color as the main residence. The proposed roof will be slate, and trim will be wood to match the main house. Bluestone is proposed for the terraces to match the bluestone on the existing stone terraces.

**Standard 8 – Roof Shapes.**

This standard is met. The roof design is derived from the English Arts and Crafts massing with long rooflines stepping down to low eaves. Gabled roof forms are found at the wings and entrance while a hipped roof form is used for the main mass of the cottage. The roof forms of the cottage are consistent with the roof forms of the main house.

**Standard 9 – Walls of Continuity.**

This standard is met. The proposed cottage defines the western limit of the parking court. Between the cottage and main house, and immediately south of the parking court, a stone terrace will feature a fire pit and outdoor kitchen. A masonry clad stucco wall will separate the parking court from the terrace. The wall will match the height of the existing wall at 54 inches.

**Standard 10 – Scale.**

This standard is met. The square footage of structures on the property is presently 7,186 square feet or 21% under the maximum allowable square footage.

Based on the lot size, a residence of up to 9,048 square feet is permitted. In addition, a garage of up to 800 square feet is allowed along with up to 905 square feet of design elements. The residence alone is 6,948 square feet. There are no excess design elements, however 778 square feet of excess garage square footage is added to the residence square footage, to total 7,186 square feet.

The proposed accessory structure comprises 1,845 square feet. When added to the total square footage of the existing structures, the total square footage is 9,031 square feet, 17 square feet or 0.18% under the maximum allowable square footage. The property will be at maximum allowable square footage with the cottage, and any proposed future additions would require a building scale variance.

**Standard 11 – Directional Expression of Front Elevation.**

This standard is met. The cottage will be complementary to the directional expression of the front of the residence by defining the parking court and proposed terraces as secondary to the residence.

**Standard 12 – Preservation of Historic Material.**

This standard is met. The distinguishing original qualities and character of the main house, carriage house, and site walls will remain. The area for the proposed terraces and cottage will require removal of the existing fire pit and non-historic plantings. The fire pit will be relocated to the proposed terrace between the main house and cottage.

**Standard 13 – Protection of Natural Resources.**

This standard is mostly met. Several large trees and some vegetation will need to be removed to accommodate construction of the cottage and hardscape terrace. The petitioner included a conceptual landscape plan which includes a tree inventory and identifies trees to be removed. Replacement of screening lost along the west property line where trees are to be removed will be required. The petitioner indicated replacement plantings will include Norway Spruces, Wintergreen Arborvitae, a London Planetree and Cornelian Cherry Dogwoods underplanted with shrubs and herbaceous plantings reminiscent of the existing landscaping on the property. A final landscape plan will be required. Tree protection fencing will be required to protect all remaining trees on the property during construction.

**Standard 14 – Compatibility.**

This standard is met. The architectural style, scale, materials, and detailing of the cottage and hardscape terrace are compatible with the main residence.

**Standard 15 – Repair to deteriorated features.**

This standard is not applicable to this petition.

**Standard 16 – Surface cleaning.**

This standard is not applicable to this petition.

**Standard 17 – Reversibility of Additions and Alterations.**

This standard is met. If the cottage were to be removed, the essential form and integrity of the historic residence would remain.

### **PUBLIC COMMENT**

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

### **RECOMMENDATION**

Grant a Certificate of Appropriateness approving the proposed cottage and associated hardscape. Staff recommends the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission with the refinement if so directed by the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.

Prior to the issuance of a building permit, the materials in # 2 – 5 shall be submitted. The materials submitted will be subject to review and approval by City staff.

2. A detailed landscape plan. The plan shall reflect plantings to replace existing plantings impacted by construction and provide for the replacement inches of trees proposed for removal and any others which do not survive the construction process. The final landscape plan shall show landscape screening across from the cottage, along the west property line, to mitigate potential off site impacts of light spillover from use of the accessory structure or outdoor terrace and to re-establish the overall vegetated character and privacy for the neighboring rear yard that currently exists to the extent possible.
3. A plan to protect any trees identified for preservation during construction as well as trees on neighboring properties that may be impacted. If determined to be necessary by the City Arborist, a plan for pre and post construction treatments, prepared by an independent Certified Arborist, may be required for trees intended to be preserved.
4. An exterior lighting plan. Details of all proposed exterior lighting, lights proposed on the cottage and any landscape lighting, shall be detailed on the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view off the property. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood.
5. A plan for contractor parking and material and equipment staging. Efforts shall be made to minimize impacts on the surrounding neighborhood. No contractor parking or staging is permitted on Wisconsin Avenue due to the narrow, winding nature of the street and congestion due to the



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 6073

**Property Address:**

**Street:** 440 E WISCONSIN AVE  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** James D. Hinkley House

**Original Owner:** James D. Hinkley  
**Other Previous Owners:** LUNDQUIST, COLE

**Present Owner:** MAGLIOCHETTI, JOSEPH

**Current Property Name:**

**Resource Type:** Building  
**Date of Construction:** 1923  
**Use, Original:** Single Family Residence  
**Use, Present:** Single Family Residence  
**Theme:** Domestic  
**Secondary Theme:** Country Estate Era  
**Style:** Arts & Crafts  
**Secondary Style:** English Period  
**Architect/Engineer:** Howard Van Doren Shaw

**Builder/Contractor:** unknown  
**Landscape Architect:**



**Photo Name:** February 1998

**Demolished:** **Date:**

**Zoning District:** R3

**Subdivision:** Lot 48 of the Original Plat of Lake Forest; platted 1857

**Subdivided from:**

**Current Property Size (est.):** 2.08 acres

**Original Property Size (est.):**

**Facade Easement?:** No

**Held by:**

**Conservation Easement?:** No

**Held by:**

**Plan Shape:** Rectangular  
**Number of Stories:** 2.5  
**Structural Framing:** Unknown  
**Foundation Material:** Unknown  
**Facade Material:** Brick  
**Roof Form:** Hip

**Roof Material:** Slate  
**Primary Window Type:** Casements  
**Porches:** Recess entry  
**Integrity:** Excellent  
**Condition:** Good

**Decorative Features & Surfacing:**

The low sloped roof with multiple gables defines the front façade. The recessed entry is housed within a front gable projection. Exposed rafter tails at gable above entry.

DECORATIVE SURFACING: Stone at entry and chimney



# City of Lake Forest, Illinois

## Historic Resources Survey Form

ID: 6073

### Local Register:

#### **Local Historic District:**

Local Ordinance Historic District

#### **Contributing Significance to Local District:**

Contributing

#### **Contributing Significant Resources:**

James D. Hinkley House - Howard Van Doren Shaw, 1923

#### **Is this Property Eligible for Local Landmark Designation?:**

Yes

#### **Local Landmark Designation:**

#### **Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

#### **Other Districts:**

Historic Residential and Open Space Preservation District

### National Register:

#### **National Register Historic District:**

Lake Forest

#### **Contributing Significance to National District:**

Contributing

#### **Contributing Significant Resources:**

James D. Hinkley House - Howard Van Doren Shaw, 1923

#### **Is this Property Eligible for National Register Listing?:**

#### **Individual National Register Listing :**

#### **Other Designations:**

### **History and Significance:**

The Hinkley House is identified as a significant contributing structure to the Historic District. The house was designed by Howard Van Doren Shaw, a noted architect whose individual work is significant to the history and development of Lake Forest. The house was constructed in 1923 and is distinguished by its overall quality of design, detail, materials, and craftsmanship. This building possesses a high level of integrity.

Hinkley was a banker and a broker.

The Lundquists won the Lake Forest Historic Preservation Foundation Preservation Award for the restoration of this home in 1999.

Howard Van Doren Shaw graduated from Yale in 1890. He then studied architecture at MIT where he graduated in 1891. After graduation he returned to Chicago to apprentice at Jenny & Mundie, a firm well known for its tall building designs. Early in 1894 Shaw established his own practice working out of his father's house in Chicago. Shaw built his own summer estate Ragdale, 1230 N. Green Bay Road, in Lake Forest in 1898. Known by 1905 as one of the leading country house architects in America, Shaw also established a reputation for his industrial, commercial, and institutional work. His influential designs were published in the Architectural Record, Brickbuilder, House Beautiful, Inland Architect, and Western Architect. These designs included his own country house, Ragdale; Market Square, the nation's first planned shopping center; the Lakeside Press building, a vast printing complex that set new standards for industrial architecture; and Marktown, a model steel town for industrialist Clayton Mark.

Shaw belonged to many social clubs and organizations, including the Yale Club, Little Room, the University Club, the City Club, the Arts Club, and the Cliffdwellers. He belonged to the Onwentsia Country Club in Lake Forest and Shore Acres Country Club in Lake Bluff. Shaw also served as a trustee of United Charities, Illinois College in Jacksonville, and the Art Institute of Chicago. He was also involved with the American Institute of Architects at all levels and was awarded the Gold Medal, their highest honor, in 1926.

#### **Changes:**

The house was renovated by Stanley Anderson. A garage was added in 1958. Electrical work was done in 2008-2009.

#### **Property Setting:**

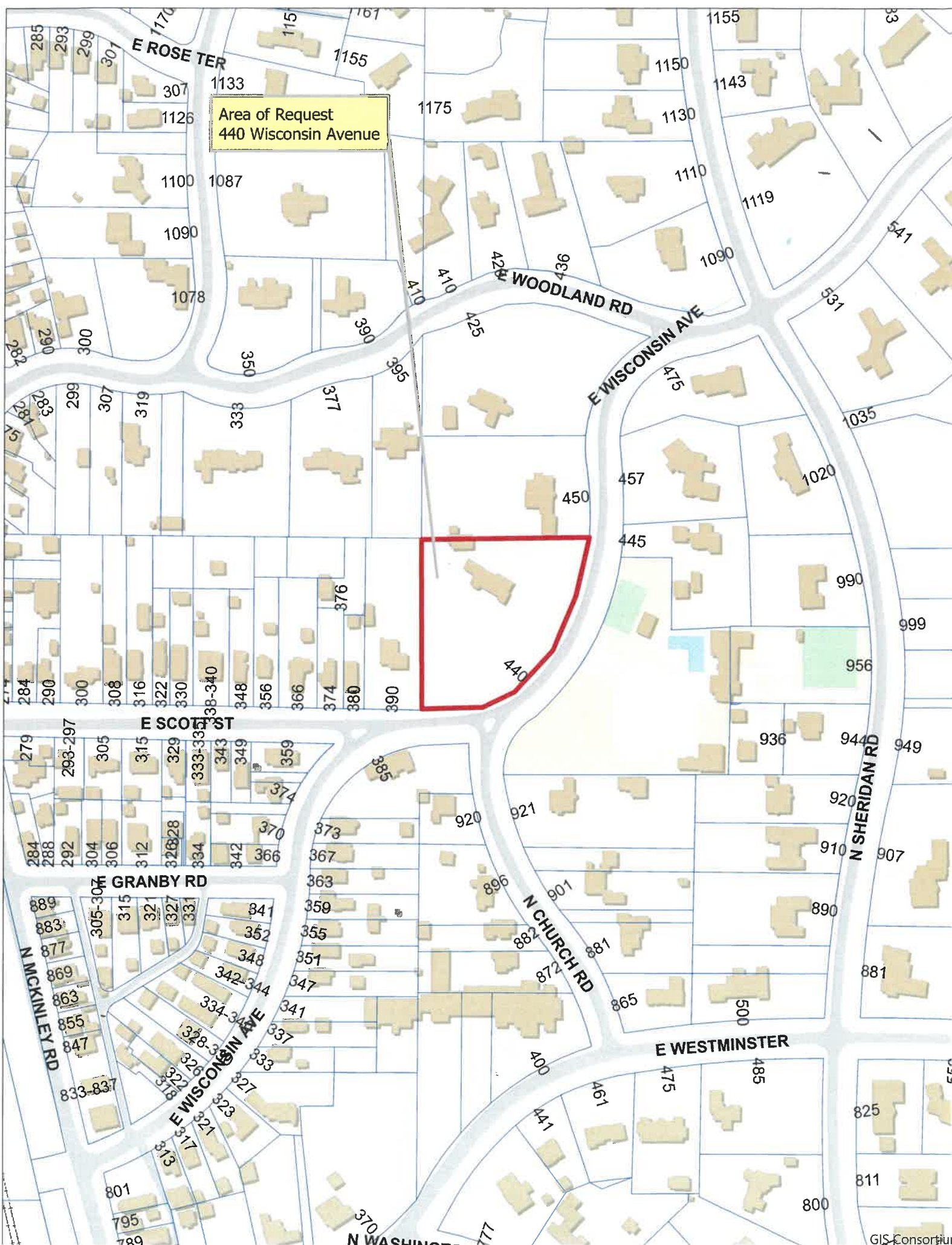
Residential neighborhood; This property is located on the northwest corner of Wisconsin, Church Road, and Scott Street.

#### **Associated Buildings:**

There is a garage and a greenhouse on the property.

#### **Sources of Information:**

Area of Request  
440 Wisconsin Avenue



Area of Request  
440 Wisconsin Avenue





Area of Request  
440 Wisconsin Avenue

E WOODLAND RD

E WISCONSIN

E WISCONSIN AVE

E SCOTT ST

N CHURCH ST



**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 440 E WISCONSIN ROAD

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District   
  Green Bay Road District   
  Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District   
  Other

**PROPERTY OWNER INFORMATION**

Joseph and Courtney Magliochetti

*Owner of Property*

440 E Wisconsin Road

*Owner's Street Address (may be different from project address)*

Lake Forst, IL 60645

*City, State and Zip Code*

(312) 872-4105

*Phone Number*

*Fax Number*

imagliochetti@remedymed.com

*Email Address*

*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Nate Lielasus

*Name and Title of Person Presenting Project*

Northworks Architects

*Name of Firm*

1512 N Throop St

*Street Address*

Chicago, IL 60642

*City, State and Zip Code*

(504) 931-5270

*Phone Number*

*Fax Number*

nlielasus@nwks.com

*Email Address*

*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

***Please email a copy of the staff report***

OWNER     REPRESENTATIVE

***Please fax a copy of the staff report***

OWNER     REPRESENTATIVE

***I will pick up a copy of the staff report at the Community Development Department***

OWNER     REPRESENTATIVE



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material concrete

Accessory Structure to match existing  
Main House exterior materials

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

Color of Finish blue, to match main house

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Window Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt where adjusted / re countoured
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

## **440 E Wisconsin - Cottage**

Lake Forest, Illinois

May 15, 2026

City of Lake Forest – Historic Preservation Commission

### **Statement of Intent &**

### **Design rationale per the Historic Preservation Ordinance Standards**

---

#### **Statement of Intent**

##### **Background**

440 E Wisconsin – also known as the Hinckley Residence – is a large single-family home designed by Howard Van Doren Shaw (1869 – 1926) and completed in 1923. The home is English vernacular revival with stucco, stone and wood on the exterior and a graduated slate roof. The property originally contained the main house and a two-story carriage house. A wall connecting the main house and carriage house with an open gateway defined a service yard in this northwest corner off of the west side of the house.

Later, a greenhouse, chicken house, and frame shed were added to this service area at the very Northwest corner of the lot. At some point, the greenhouse, chicken house and shed were removed and a new two car garage was constructed. Eventually, the two-car garage was removed as well.

The existing main house and carriage house are charming examples of Shaw’s mature English Arts and Crafts design.

##### **Proposed Cottage**

The proposed Cottage would occupy the Northwest corner of the property, helping to define the former service yard and current parking court. The new structure would borrow details and materials from the main house including stucco and Wisconsin Lannon stone, timber eaves and a graduated slate roof.

The Cottage would have a main story with basement and gabled roof and be smaller in scale than the main house on the property and nearby houses. Borrowing from Shaw, low eaves would nestle the building into the landscape and reduce the sense of height and mass and provide a sheltered “cottage feel.” A new terrace would connect the Cottage with the Main House and provide a place for an outdoor kitchen and firepit.

The cottage would be oriented to the backyard with long views across the yard and down Church street. Like at the main house, the garden façade would be glassier with larger openings to take in the landscape views. At the sides and back window would be smaller with more expanses of wall space.

The siting of the Cottage at the northwest corner of the lot would re-establish a grouping of smaller service structures at this end of the Main House and reinforce the Cottage’s secondary status to the main house.

## **Design rationale per the Historic Preservation Ordinance Standards:**

### **Standard 1 – Height**

The cottage will be a single story with basement and partial attic – much lower than the main house. Low eaves would nestle the building into the landscape. The new cottage would step down the height of the main house to the landscape and smaller houses to the west.

### **Standard 2 – Proportion of Front Façade**

The primary façade of the cottage is the garden façade. Here, the exterior wall would be the tallest – 11'-6" with French doors opening onto the yard. At the sides and rear, low eaves would nestle the building into the landscape. This façade is wider than tall matching the horizontal expression of the main house.

### **Standard 3 – Proportion of Openings**

The proportion of openings draw from the Main House. At the entry façade and around the sides, openings are small and individual set in stone or stucco walls. As at the main house, the Garden facade is more open with larger openings that provide views to the landscape. Window design is based on windows from the main house both in proportion but also in the division of the lites.

### **Standard 4 – Rhythm of Solids to Voids in Front Façade**

The cottage has a rhythm of solids and voids that draw from the Main House. While the garden façade has large openings that look out to the landscape, the other walls have smaller windows interspersed with expanses of wall giving the cottage a sheltered feel. The front door is recessed in a shallow porch and highlighted by a gable.

### **Standard 5 – Rhythm of Spacing and Structures on Streets**

Not applicable - the proposed structures are not visible from nor faces Wisconsin Road, the nearest public street. The siting of the structure reinforces a former work yard at the northwest corner of the lot. Along with the Carriage House, the new cottage re-establishes a grouping of accessory buildings that are subservient to the main house.

### **Standard 6 – Rhythm of Entrance Porches, Storefront Recessed, and other Projections**

As at the main house, a recessed entry marks the main point of access to the cottage. A rambling massing reinforces the vernacular English Arts and Crafts aesthetic.

### **Standard 7 – Relationship of Materials and Texture**

The materials used in the new cottage – Lannon stone, stucco, wood trim and a slate roof – are drawn from the materials of the main house.

### **Standard 8 – Roof Shapes**

The proposed cottage has an English Arts and Crafts massing with long rooflines and low eaves. The hierarchy of massing steps down from the main ridge to low eaves. Long roof slopes and low eaves tuck the building under the roof for a cottage feel.

### **Standard 9 – Walls of Continuity**

The proposed cottage re-establishes a grouping of accessory buildings that are subservient to the main house at the northwest corner of the property. While the garden façade acts as an extension of the main façade of the house, the side and rear elevation help define the parking court at the service end of the house.

**Standard 10 – Scale of a Structure**

The new cottage will be appropriately smaller than the main house and smaller than nearby single-family homes.

**Standard 11 – Directional Expression of Front Elevation**

The front elevation (the garden elevation) will be oriented to the rear yard landscaping to take advantage of deep views. The new façade is in relation to the garden elevation of the main house. The rear and side of the new cottage help define the parking court and terrace.

**Standard 12 – Preservation of Distinguishing Original Qualities**

The existing main house, carriage house, site walls and historic features on site will be preserved. The area of construction will require the removal of an existing modern firepit, non-historic plantings and site work related to a modern – now demolished – garage.

**Standard 13 – Preservation of Natural Resources**

Several trees will need to be removed for the construction of the new cottage, terrace and surrounding landscape. Of 103 tagged trees on the property, we propose to remove 9 trees, none of which are specimen or legacy trees. All proposed removals are at the northwest corner of the property. Five (5) trees are proposed for removal due to being within the construction area and the other four (4) are proposed for removal as undesirable specimens and will be replaced with new plantings.

TAG	SIZE	SPECIES	CONDITION (1 = best, 6 = dead)	NOTES
20	7	Hemlock	4	Replace with improved landscape screening
21	9	Norway Maple	3	Replace with improved landscape screening
22	25	Norway Maple	3	Replace with improved landscape screening
23	16	Norway Maple	3	Replace with improved landscape screening
27	10	Spruce	3	Within building construction zone
28	10	Spruce	3	Within building construction zone
78	19	Crabapple	3	Within building footprint
79	15	Crabapple	3	Within building footprint
80	13	Crabapple	3	Within building construction zone

**Standard 14 – Compatibility**

The aesthetic, materials, details and proportions are drawn from the existing main house.

**Standard 15 – Repair to Deteriorated Features**

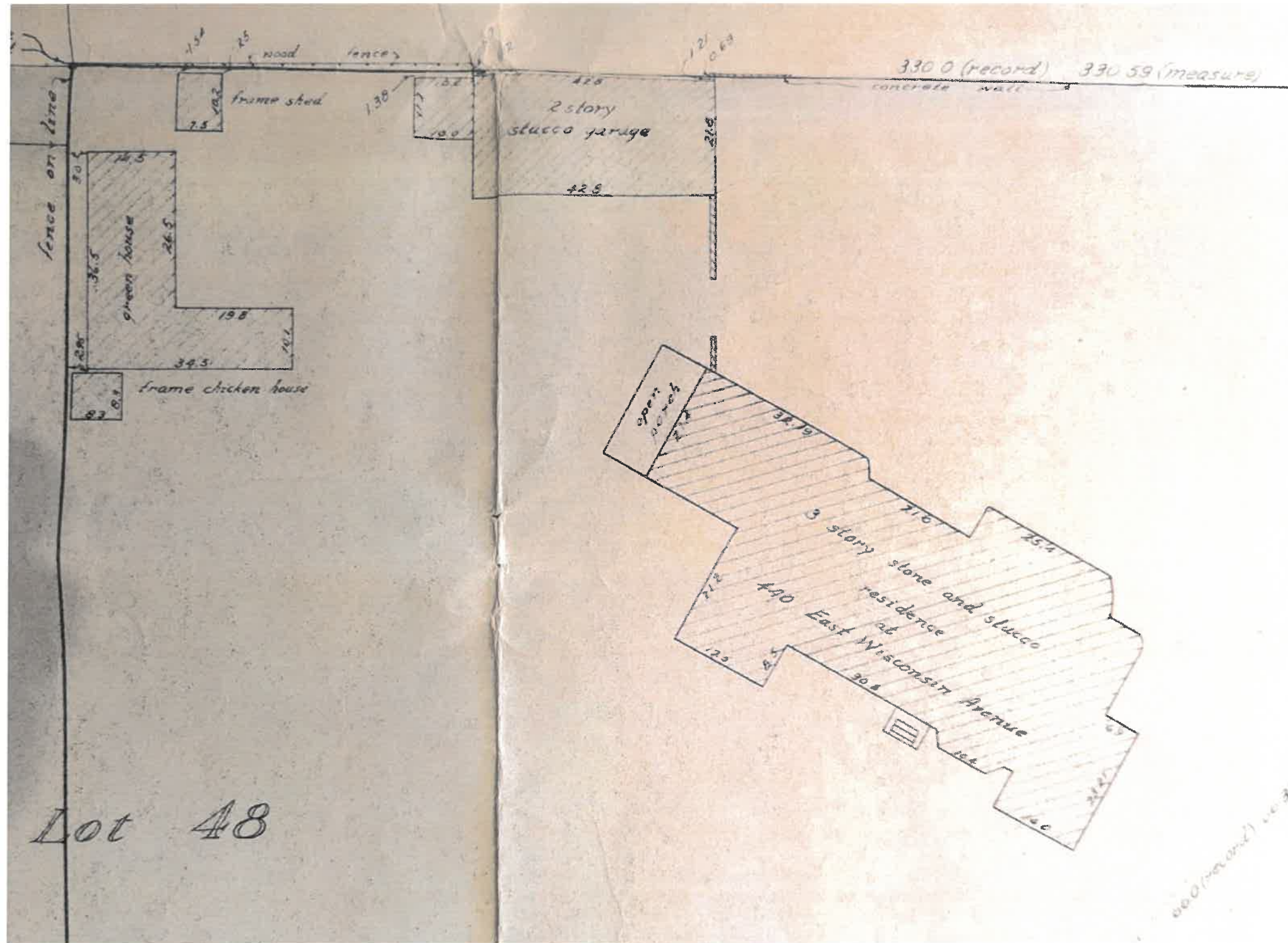
Not applicable

**Standard 16 – Surface Cleaning**

Not applicable

**Standard 17 – Historic Integrity**

The new cottage re-establishes the grouping of accessory buildings that are subservient to the main house at the northwest corner of the property and helps define the historic parking court at the Carriage House.



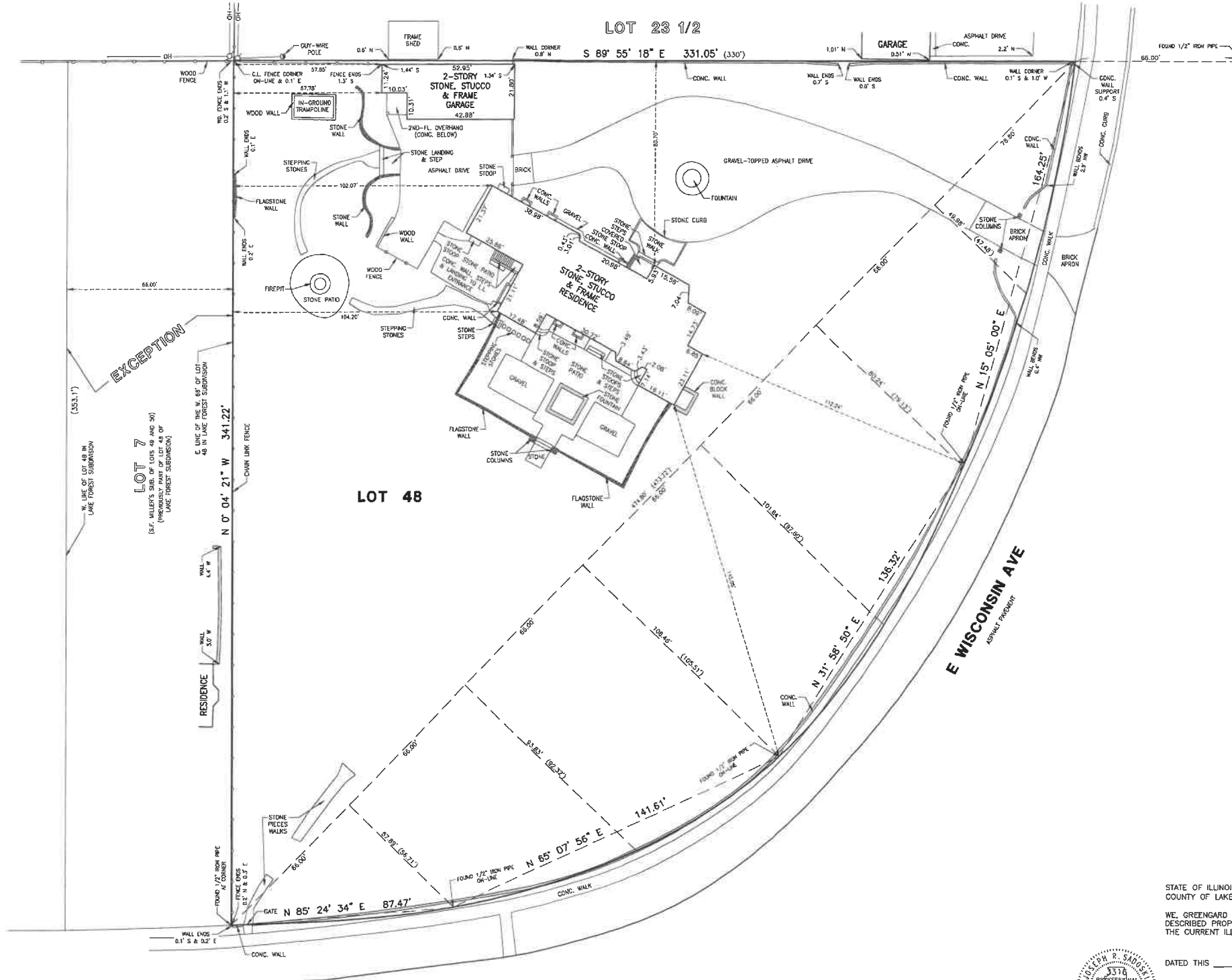
HISTORIC SITE PLAN

# PLAT OF SURVEY

LOT 48 (EXCEPT THE WEST 66 FEET THEREOF) IN THE CITY OF LAKE FOREST, IN THE SOUTH HALF OF SECTION 28, TOWNSHIP 44 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS.



LOCATION MAP  
NOT TO SCALE



- LEGEND**
- POWER POLE
  - OH- OVERHEAD LINES
- SURVEYORS NOTES:**
1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
  2. ( ) DENOTES RECORD DIMENSION.
  3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
  4. ORIGINAL CLIENT-NORTHSHIRE ARCHITECTS & PLANNERS, INC.
  5. ORIGINAL FIELD WORK COMPLETED-03-25-26
  6. NO RADON INFORMATION WAS GIVEN ON THE RECORDED SUBDIVISION PLAT.
- GENERAL NOTES:**
1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
  2. NO DIMENSIONS SHALL BE ASSIGNED BY SCALE MEASUREMENT HEREON.
  3. ONLY THOSE DIMENSIONS, BEARINGS AND EASements WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT OF TITLE, LOCAL ORDINANCES, ORDINANCES, TOWNSHIP ORDINANCES OR OTHER INSTRUMENTS OF RECORD.
  4. COMPLETE FIELD RECONSTRUCTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND BASED THEREON REPORT ANY DISCREPANCIES TO THE SURVEYOR.

STATE OF ILLINOIS }  
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 7TH DAY OF APRIL, A.D., 2026



GREENGARD, INC.  
111 BARCLAY BOULEVARD, SUITE 310  
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI  
ILLINOIS  
PROFESSIONAL LAND SURVEYOR NO. 3316  
MY RENEWABLE LICENSE EXPIRES 11-30-26.

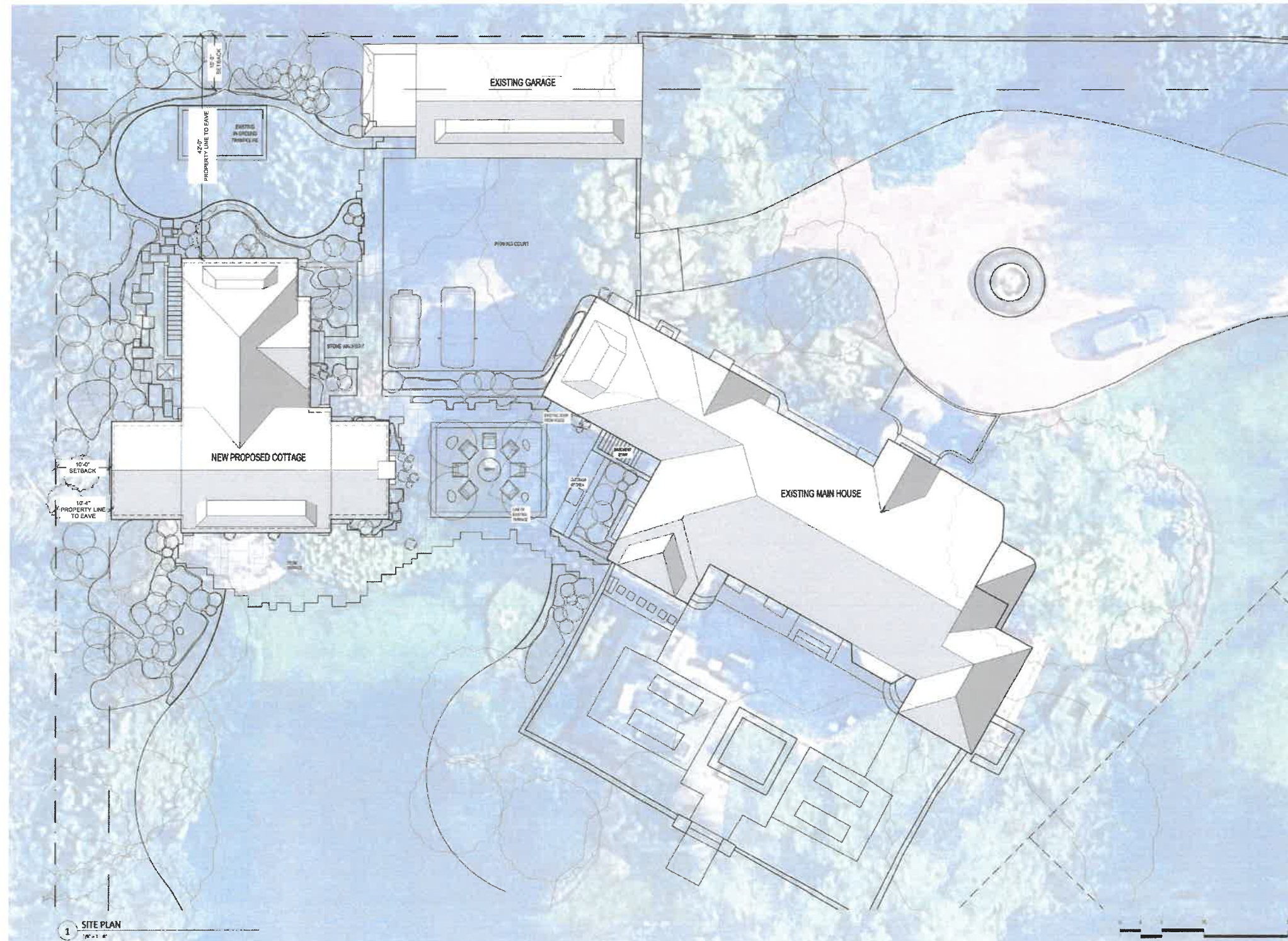
DESIGNED BY: SLM	DATE: 04-07-26	<p><b>GREENGARD, INC.</b> Engineers • Surveyors • Planners 111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615 PHONE: 847-634-3883 FAX: 847-634-0887 E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 184-000985</p>	SCALE: 1"=20'	440 E. WISCONSIN AVE. - LAKE FOREST, IL  <b>PLAT OF SURVEY</b>
CHECKED BY: JRS	DATE: 04-07-26		DRAWING NO.: 72014	
APPROVED BY:	DATE:		SHEET: 1 OF 1	
DRAWN BY:	DATE:		REVISIONS:	



EXISTING IMAGERY

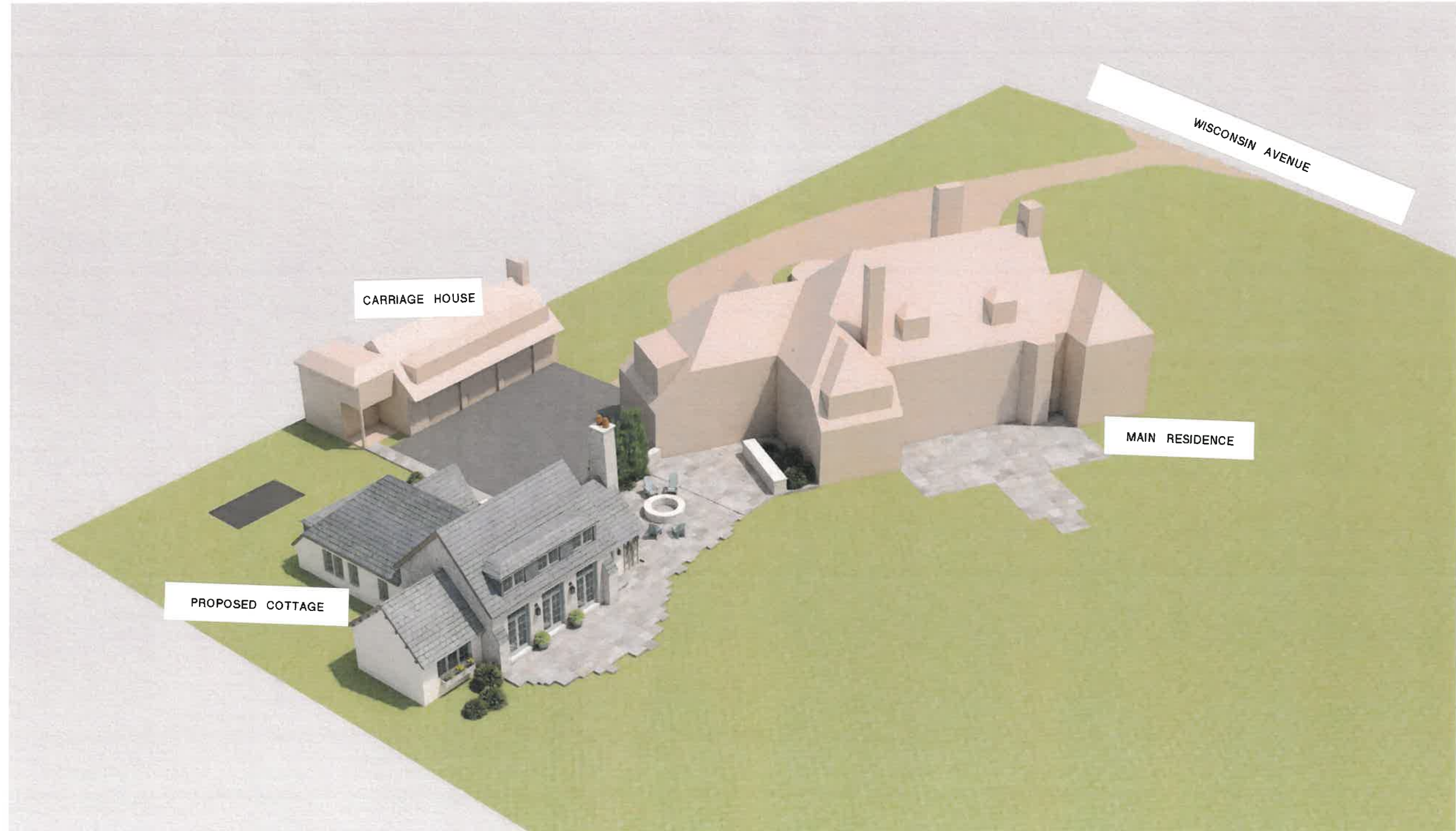


EXISTING IMAGERY



PROPOSED SITE PLAN

## **Proposed Renderings, Elevations, and Plans**



AERIAL VIEW 1



VIEW OF PROPOSED ARCHITECTURE



VIEW OF PROPOSED ARCHITECTURE



VIEW OF PROPOSED WEST ELEVATION



1 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



EAST ELEVATION



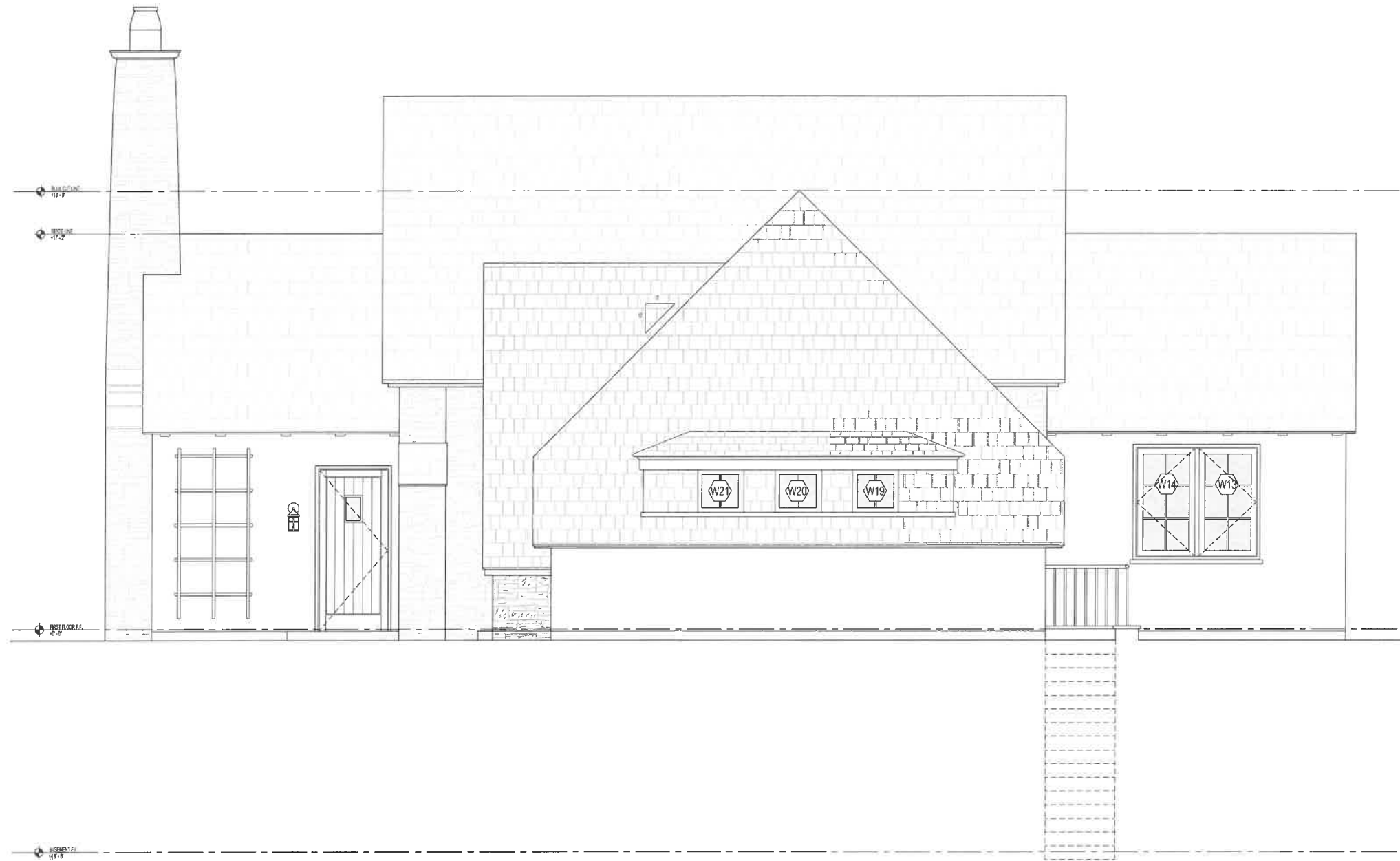
1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION



WEST ELEVATION



1 NORTH EXTERIOR ELEVATION  
1/2" = 1'-0"



NORTH ELEVATION



FRENCH QUARTER - MUSTACHE



EXAMPLE OF FROSTED INTERIOR GLOBE

BEVOLO  
FRENCH QUARTER - MUSTACHE  
Finish: Aged Copper  
Plane Frosted Interior Globe

Location:  
24" Size:  
(1) Above Front Door



REJUVENATION  
COLUMBIA WALL SCONCE  
Finish: Oil Rubbed Bronze  
Plane Frosted Glass

Locations:  
16" Size:  
(2) Flanking French Doors  
(1) Flanking Single Door @ both  
North and South Elevations  
(1) Flanking Basement Door



MAIN HOUSE FRONT ENTRANCE



MAIN HOUSE MUDROOM DOOR

EXISTING EXTERIOR LIGHTING

EXTERIOR LIGHTING



VIEW FROM YARD



1. WISCONSIN LANNON STONE TO MATCH EXISTING AT PRIMARY RESIDENCE



2. VERMONT MULTI-COLOR SLATE TO MATCH EXISTING AT PRIMARY RESIDENCE



3. STUCCO TO MATCH EXISTING AT PRIMARY RESIDENCE



4. PAINTED TRIM TO MATCH EXISTING TRIM AT PRIMARY RESIDENCE



5. PAINTED FASCIA TO MATCH EXISTING AT PRIMARY RESIDENCE

PROPOSED MATERIALS



Tree Survey	TAG #	SIZE	SPECIES	CONDITION 1-6 (1=BEST -6= DEAD)	NOTES / LOCATION
	7	32	American Elm	3	
	8	25	White Oak	4	
	9	24	White Oak	3	
	10	12	Hemlock	4	
	11	22	White Oak	3	
	12	25	White Pine	3	
	13	14	White Pine	3	
	14	23	Norway Maple	4	
	15	18	White Pine	3	
	16	22	White Pine	3	
	17	13	Magnolia	3	
	18	35	Linden	4	
	19	27	Norway Maple	3	
	20	2	Hemlock	4	Remove
	21	0	Norway Maple	3	Remove
	22	28	Norway Maple	3	Remove
	23	16	Norway Maple	3	Remove
	24	10	Hemlock	3	Remove
	25	8	Spruce	3	Remove
	26	6	Spruce	4	Remove
	27	10	Spruce	3	Remove
	28	10	Spruce	3	Remove
	29	8	Spruce	3	Remove
	30	8	Hemlock	4	Remove
	31	7	Norway Maple	3	
	32	13	Spruce	4	
	33	18	Norway Maple	4	
	34	24	Spruce	3	
	35	13	Spruce	3	
	36	18	Norway Maple	4	
	37	16	Pine	3	
	38	23	Spruce	3	
	39	22	Spruce	3	
	40	13	Spruce	3	
	41	25	Spruce	3	
	42	28	White Pine	3	
	43	12	Crabapple	3	
	44	11	Crabapple	4	
	45	12	Crabapple	3	
	46	10	Norway Maple	3	
	47	31	Red Maple	4	
	48	11	Norway Maple	3	
	49	18	Norway Maple	3	
	50	11	Crabapple	3	
	51	16	Hawthorn	3	
	52	16	Hawthorn	3	
	53	15	Hawthorn	3	
	54	20	Norway Maple	3	
	55	19	Spruce	3	

56	30	Norway Maple	5	
57	9	Spruce	3	
58	10	Spruce	3	
59	20	Norway Maple	4	
60	10	Spruce	3	
61	35	Willow	4	
62	33	Willow	5	
63	14	Norway Maple	3	
64	26	American Elm	3	
65	46	Willow	4	
66	23	Silver Maple	3	
67	12	Crabapple	3	
68	24	Norway Maple	5	
69	28	White Oak	3	
70	24	White Oak	4	
71	27	White Oak	3	
72	30	White Oak	4	
73	12	Hawthorn	3	
74	11	Hawthorn	3	
75	12	Hawthorn	3	
76	13	Hawthorn	3	
77	14	Hawthorn	3	
78	48	Crabapple	3	Remove
79	16	Crabapple	3	Remove
80	11	Keweenaw Dogwood	4	Remove
81	11	River birch	3	
82	9	River birch	3	
83	10	River birch	3	
84	54	American Elm	3	
85	26	Crabapple	3	
86	8	Weeping Mulberry	3	
87	24	White Pine	3	
88	10	Sugar Maple	3	Parkway
89	10	Sugar Maple	3	Parkway
90	10	Sugar Maple	3	Parkway
91	24	White Oak	3	Parkway
92	21	White Oak	4	Parkway
93	20	American Elm	3	Parkway
94	10	Red Maple	3	Parkway
95	8	Hedge Maple	4	Parkway
96	12	Red Maple	3	Parkway
97	6	Hedge Maple	3	Parkway
98	12	Red Maple	3	Parkway
99	6	Hedge Maple	3	Parkway
100	12	Red Maple	3	Parkway
101	22	Norway Maple	3	Parkway
102	10	Red Maple	3	Parkway
103	9	Red Maple	3	Parkway

CLUMP 11 Keweenaw Dogwood 4 Remove  
80 43 Crabapple 3 Remove

Lou Loggett 847-561-7081  
Certified Arborist #177

LOT COVERAGE TABLE	
EXISTING IMPERVIOUS AREAS	= 68,916 S.F.
HOUSE	= 3,394 S.F.
GARAGE	= 1,044 S.F.
DRIVE	= 2,438 S.F.
WALK/STOOP/PAD	= 1,232 S.F.
PATIO	= 1,929 S.F.
WALLS	= 1,023 S.F.
GRAVEL	= 5,682 S.F.
<b>TOTAL EXISTING</b>	<b>= 16,742 S.F. (18.6%)</b>
PROPOSED IMPERVIOUS AREAS	
HOUSE	= 3,394 S.F.
GARAGE	= 1,044 S.F.
ADDITION	= 1,696 S.F.
DRIVE	= 2,212 S.F.
WALK/STOOP/PAD	= 928 S.F.
PATIO	= 2,770 S.F.
WALLS	= 997 S.F.
GRAVEL	= 5,682 S.F.
<b>TOTAL PROPOSED</b>	<b>= 18,723 S.F. (20.8%)</b>
<b>NET INCREASE</b>	<b>= 1,981 S.F. (11.8%)</b>

STYLE IMAGES



MAGLIOCHETTI RESIDENCE - LANDSCAPE DESIGN

440 E WISCONSIN AVE.  
LAKE FOREST, IL

SCALE: 1/8"=1'-0"

6/12/2026



**440 E WISCONSIN, LAKE FOREST, IL**  
**TREE SURVEY & PROPOSED REMOVALS**

Tree Survey				
TAG #	SIZE	SPECIES	CONDITION 1- 6 (1=BEST - 6= DEAD)	NOTES / LOCATION
7	32	American Elm	3	
8	25	White Oak	4	
9	24	White Oak	3	
10	12	Hemlock	4	
11	22	White Oak	3	
12	25	White Pine	3	
13	14	White Pine	3	
14	23	Norway Maple	4	
15	18	White Pine	3	
16	22	White Pine	3	
17	13	Magnolia	3	
18	35	Linden	4	
19	27	Norway Maple	3	
20	7	Hemlock	4	Remove
21	9	Norway Maple	3	Remove
22	25	Norway Maple	3	Remove
23	16	Norway Maple	3	Remove
24	40	Hemlock	3	Remove
25	8	Spruce	3	Remove
26	6	Spruce	4	Remove
27	40	Spruce	3	Remove
28	40	Spruce	3	Remove
29	9	Spruce	3	Remove
30	6	Hemlock	4	Remove
31	7	Norway Maple	3	
32	13	Spruce	4	
33	18	Norway Maple	4	
34	24	Spruce	3	
35	13	Spruce	3	
36	18	Norway Maple	4	
37	16	Pine	3	
38	23	Spruce	3	
39	22	Spruce	3	
40	13	Spruce	3	
41	25	Spruce	3	
42	26	White Pine	3	
43	12	Crabapple	3	
44	11	Crabapple	4	
45	12	Crabapple	3	
46	10	Norway Maple	3	
47	31	Red Maple	4	
48	11	Norway Maple	3	
49	18	Norway Maple	3	
50	11	Crabapple	3	
51	16	Hawthorn	3	
52	16	Hawthorn	3	
53	15	Hawthorn	3	
54	20	Norway Maple	3	
55	10	Spruce	3	

56	30	Norway Maple	5	
57	9	Spruce	3	
58	10	Spruce	3	
59	20	Norway Maple	4	
60	10	Spruce	3	
61	35	Willow	4	
62	33	Willow	5	
63	14	Norway Maple	3	
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69	28	White Oak	3	
70	24	White Oak	4	
71	27	White Oak	3	
72	30	White Oak	4	
73	12	Hawthorn	3	
74	11	Hawthorn	3	
75	12	Hawthorn	3	
76	13	Hawthorn	3	
77	14	Hawthorn	3	
78	19	Crabapple	3	Remove
79	15	Crabapple	3	Remove
80	13	Crabapple	3	Remove
81	11	River birch	3	
82	9	River birch	3	
83	10	River birch	3	
84	54	American Elm	3	
85	26	Crabapple	3	
86	8	weeping Mulberry	3	
87	24	White Pine	3	
88	10	Sugar Maple	3	Parkway
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96	12	Red Maple	3	Parkway
97	6	Hedge Maple	3	Parkway
98	12	Red Maple	3	Parkway
99	6	Hedge Maple	3	Parkway
100	12	Red Maple	3	Parkway
101	22	Norway Maple	3	Parkway
102	10	Red Maple	3	Parkway
103	9	Red Maple	3	Parkway
Lou Leggett 847-561-7061				
Certified Arborist #177				

TOTAL CALIPER INCH REPLACEMENT = 62.5"

EVERGREEN TREE (3 TREES @ 10') = 15"

MULTI-TRUNK TREE (2 TREES @ 10' = 10", 5 TREE @ 8' = 22.5") = 32.5"

SHADE TREE (1 TREE @ 5") = 5"

## **Agenda Item 8**

### **Review of Real Estate Rider**



## MEMORANDUM

To: Chairman Norkus and members of the Historic Preservation Commission  
From: Catherine Czerniak, Director of Community Development  
Date: June 24, 2026  
Subject: Review of the Real Estate Rider

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### Background

Based on available records, the City Council initially approved a Real Estate Rider in 1998. Since then, the Real Estate Rider has been reviewed and re-adopted at least twice, in 2012 and in 2016. The Real Estate Rider as adopted is attached to this memo for the Commission's review.

The purpose of the Real Estate Rider is to inform real estate professionals, but more importantly, potential buyers, that the City places tremendous value on preserving the distinctive character of the community. The Rider explains that to achieve this goal, the City has adopted standards and criteria to guide development and that review processes are in place to help residents achieve their goals in a manner that respects the long established traditions of the community.

### Commission Review and Recommendation

The Real Estate Rider is presented to the Commission at this time for review, consideration of edits if determined to be appropriate, public comment, and ultimately, a recommendation to the City Council on whether re-adoption of the Rider is appropriate.

### Follow up Steps

If the Real Estate is re-adopted by the City Council either in its current form or with edits as recommended by the Commission, it will again be distributed to the managers of all local real estate offices. All office managers will be asked to share the Rider with all real estate professionals with direction to provide it to potential buyers early in the process.

The Real Estate Rider will also be featured on the City's web site.



**Real Estate Rider**  
**City of Lake Forest – A Community of Character**  
Approved by the City Council – February 17, 2015

The following information is provided to inform and assist potential home buyers and new homeowners.

Welcome to Lake Forest, Illinois, one of the oldest planned communities in the United States! Many families are attracted to Lake Forest because of the community's character. Tree-lined streetscapes, a mix of historic and newer residences, strong property values, great schools, the Library, youth and senior services, special events, an outstanding hospital and unique business districts all contribute to the valued character and uniqueness of the community. The City has a long tradition of thoughtful planning and high quality buildings and landscapes.

**Managing Growth and Change**

As a potential or new home buyer, it is important for you to know that The City has adopted various plans, policies, regulations and processes which establish the framework for balancing change in the community.

- The City's Comprehensive Plan
- Residential Design Guidelines
- Criteria for consideration of demolition requests
- The Historic Preservation Ordinance
- A Tree Preservation and Landscaping Ordinance
- Establishment of Boards and Commissions

Although the City remains strongly dedicated to the preservation of community character and preservation of significant and distinguishing historic buildings, landscapes and streetscapes, value is placed on both preservation and innovation. To achieve these goals, the City offers assistance and serves as an ally to potential buyers and homeowners by offering pre-purchase and pre-application meetings, guidelines for selecting architects and design professionals, illustrated design guidelines and personal assistance in working with City Boards and Commissions. All potential buyers and new homeowners are encouraged to consult with City staff early in the process of planning for construction of new homes or changes to existing homes. Gaining an understanding of how City policies and processes including, but not limited to building size, historic districts, tree preservation and architectural design may be helpful in expediting your project.

The City's long tradition of deliberate processes, thoughtful planning and quality design has stood the test of time and has served the City well. We look forward to working with you as the community continues to grow and change over time.

\_\_\_\_\_  
Seller

\_\_\_\_\_  
Seller

\_\_\_\_\_  
Buyer

\_\_\_\_\_  
Buyer