

Agenda Item 3
870 Woodbine Lane
Demolition and Replacement

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Site Plan
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Landscape Plan
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Materials from the February 25th Meeting

Site Plan
Elevations

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Culbertson and Members of the Historic Preservation Commission
DATE:	April 21, 2026
FROM:	Luis Prado, Assistant Planner
SUBJECT:	870 Woodbine Lane – Demolition and Replacement of a Historic Home and Garage

Property Owner

Bianca Timbota
115 Melrose Ave
Kenilworth, Illinois 60043

Property Location

870 Woodbine Lane
Southwest corner of Woodbine
Place and Woodbine Lane

Historic Districts

Lake Forest Local &
National Historic Districts

Project Representative

Rick Swanson, Architect
11418 E Mission Lane
Scottsdale, AZ 85259

Summary of the Request

This is a request for a Certificate of Appropriateness to allow the demolition of the two historic structures, a wood frame cottage and a service building, both of which are identified as Contributing Structures to the City's Historic District. Pending approval of the demolition of the structures, a new single-family residence and attached garage are proposed. A hardscape and conceptual landscape plan are also presented.

Previous Commission Consideration of the Property

November 2025

On November 19th, 2025, the Commission heard a preliminary presentation on the proposed demolition of the existing historic home and garage and reviewed a partial conceptual design for a replacement residence and garage. At that meeting, the Commission directed the petitioner to explore opportunities for adaptive reuse and incorporation of the existing historic structures and, if demonstrated to the satisfaction of the Commission to not be feasible, ensure the following:

1. The proposed new construction addresses the siting of the house with respect to the rhythm of the streetscape and unique shape of the lot.
2. The scale of the proposed home is modest and appropriate according to the precedent set by the existing historic cottage, unique lot configuration, and the established Woodbine Lane and Woodbine Place streetscape.
3. The design of the home references and draws inspiration from the existing structures and surrounding historic outbuildings.

February 2026

Following the November meeting, the petitioner responded to the Commission, addressing the proposed demolition of the existing structures and presenting a replacement residence. As a part of the packet for the February HPC meeting, the petitioner provided a study of the reuse and incorporation of the existing historic structures and a statement of intent and conceptual plans addressing the potential for adaptive reuse of the cottage. The submitted materials discussed the deteriorated state of the structure, the challenges associated with the location of the existing residence partially within the right-of-way, and the extent of

work needed to rehabilitate the structures which could result in demolition and rebuilding of much of the structure. A conceptual site plan was also provided exploring the reuse of the historic garage.

Following the work to further explore the feasibility of preserving and adaptively reusing the existing structures, the petitioner developed plans for a replacement residence taking into account the feedback received from the Commission regarding siting, scale, and design. A neighborhood setback study prepared by the petitioner's representative was included in the Commission's packet. The proposed siting of the replacement home appeared to generally align with other homes on Woodbine Lane, avoiding setback encroachments on the north, east and west sides of the property. The footprint of the proposed home responded to the unique shape, size, and location of the lot. Elevation overlays demonstrated the relationship of the existing cottage and detached garage to the proposed residence. The proposed home was 13% below the allowable square footage for the lot, including deductions in the maximum allowable square footage due to steep slope areas within the property. The design of the home was inspired by Shingle Style architecture, popular during the time of the construction of the original structure. The proposed home was designed according to the traditional architectural style.

At the February meeting, after review and deliberation, the Commission expressed general support for demolition of the existing structures provided the petitioner proposes an acceptable replacement residence with attention to the following:

1. Reducing the scale of the replacement residence, including exploration of a design which does not factor the north appendage of the property into the allowable square footage for the house.
2. Designing the replacement home with a similar humble nature and architectural vernacular of the existing historic cottage and surrounding historic structures that have been adaptively repurposed.
3. Adhering as closely as possible to the existing siting of the cottage, considering the unique character of the neighborhood.

In response to these comments, the petitioner refined the siting and design of the replacement residence.

- The footprint is smaller than previously proposed. Sited closer to the street, the positioning of the home is more closely aligned with the existing cottage and rhythm of the streetscape.
- The scale of the home, according to the building scale workbook, is reduced by an additional 5% compared to the previous design including reductions to the first floor, second floor, garage and design element square footage.
- The exterior design of the replacement residence, refined significantly since the February meeting, draws inspiration from some of the surrounding structures.
- The architectural style of the home is inspired by the cottage, with attention to refinement of the roof forms, windows, and materials and simplifying the design overall. The gabled central mass of the existing structure is replicated on both sides of the proposed front entrance. Roof lines match the style of the historic cottage.
- The windows and overall detailing of the home are simpler, responding to the Commission's direction to replicate the humble character of the cottage. The horizontal clapboard detail of the cottage is replicated on the replacement home.
- The bracket detail from the side entrance to the historic garage is replicated on the awning on the north (rear) elevation and bricks from the garage will be reused, if possible, on the proposed water table.
- Square, four paned windows are replicated from the existing cottage on all four sides of the proposed home.

Overall, the revised residence demonstrates a meaningful response to the Commission's direction through reductions in scale, adjustments to siting, and architectural refinements intended to better reflect the character of the existing historic structures.

Description of the Property and Surrounding Area

This property is located within the City's East Lake Forest Historic District and includes a historic cottage and early garage both identified as Contributing Structures to the Historic District. The cottage dates back to the 1880 Clayton Mark estate. The main house once stood at what is now 999 Lake Road. The cottage likely served as housing for a carriage driver or other household staff and may be the oldest remaining home in the area. Based on available records, the garage was constructed around 1917 when the property was owned by Charles B. Pike, who lived at 955 Lake Road, and was designed by David Adler and Robert Work.

The history of this site reflects a development pattern common in east Lake Forest from the 1890's through the 1940's, when large estates were supported by separate service buildings. These buildings were sometimes located on the main estate grounds, but they were also often placed on nearby or adjacent parcels, part of the larger estate property. This property was one of several service-related buildings along Woodbine Lane and Woodbine Place. Woodbine Lane and Woodbine Place are narrow streets that once served as access routes for larger estates to the east and west. Many of the remaining historic buildings in this area are today adaptively reused as single family residences. The historic structures, along with the unique street configuration, establish the character of the neighborhood.

The subject property, over the last decade, under previous ownership, has been the subject of several code enforcement violations due to deferred maintenance of the structures and overall property.

Staff Evaluation

Proposed Demolition of Two Estate Outbuildings

A Historic and Architectural Study was completed by Bardh Salihu in October of 2025. A structural assessment was completed by Edward J. Swierz from Integrity Structural Illinois, LLC in October of 2025. Based on the information in the reports, the following findings are presented below.

Structural Assessment – Prepared by Petitioner's Consultant

According to the structural assessment submitted by the petitioner and included in the Commission's packet, both the existing wood-frame cottage and the one-story brick garage suffer from long-term deferred maintenance. Given the dates of construction, the structures, like many in the community, do not comply with current Building Code standards. The cottage exhibits significant deterioration, including failing porch supports, cracked and compromised first-floor joists, missing floor decking, water intrusion at porch roofs, mold in the basement, and evidence of past roof leakage. Although the cottage has been occupied periodically by tenants over the past 20 years, considerable work is required to make the cottage safe for occupancy.

According to the structural assessment, the garage shows deterioration in the brick masonry, most notably along the north wall and at a key pilaster supporting one of the primary roof girders. The girder exhibits moisture-related decay and is considered structurally deficient, potentially creating a risk of failure under snow loads. The roof decking shows signs of prior water infiltration, and the west entry canopy is unstable.

The petitioner's engineer concludes that both structures are unsafe for habitation or storage in their present condition. The report also states that the structures are not suitable for relocation due to the compromised condition. The report notes that restoration would require substantial reconstruction and recommends emergency stabilization or demolition.

Historic and Architectural Study – Prepared by Petitioner’s Consultant

The historic and architectural study prepared for the petitioner is also included in the Commission’s packet. The report documents that the cottage retains its basic form, front-gabled massing, and clapboard exterior, and noted that later modifications include an enclosed porch and window replacements. The study notes that the brick outbuilding retains its original massing, wall construction, and vehicular bay proportions. Both structures are identified as Contributing to the Lake Forest Historic District and reflect the early estate-era development pattern along Woodbine Lane.

While the structural assessment identifies conditions that render the buildings unsafe, the historic study confirms their contributing status and their role within the broader historic context. Given the significant deterioration, the buildings may be considered candidates for demolition however, opportunities for repair and adaptive reuse potentially exist. Deferred maintenance or neglect have not been sufficient in the past on their own, to justify demolition.

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

The residence and detached garage are identified as Contributing Structures within the Lake Forest Historic District. This designation does not prohibit demolition but does require careful review and evaluation. If demolition is approved, the structures must be thoroughly documented by the petitioners, inside and out, with digital and hard copy photographs and a written narrative consistent with the City’s standard documentation procedures. The documentation will be retained in the City’s files and shared with the Lake Forest/Lake Bluff History Center.

The residence and garage are identified as historically significant, associated with the nearby Clayton Mark estate reflecting the early pattern of development for the neighborhood, and designed by respected architects. The demolition of the historic cottage and service building will affect the outbuilding character of the Woodbine Lane and Place streetscapes and will result in the loss of Contributing Structures in the District. However, the structures in their existing condition constitute a potential attractive nuisance impacting the quality of life and property values in the neighborhood.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

The cottage and service building contribute to the District as an example of estate-related buildings historically located along Woodbine Lane and Woodbine Place. Both the house and garage are modest in scale and architectural expression.

Although the two structures contribute to the unique character of the immediate neighborhood, they are not defining elements of the Historic District as a whole.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

The purpose of the Preservation Chapter is to protect structures that meaningfully contribute to the historic, architectural, and cultural character of the District. Although the subject buildings are classified as contributing resources, they are modest structures which present challenges for adaptive reuse and

preservation.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

The residence, originally constructed in 1910 and the detached garage in 1945 are old and somewhat unusual in the context of structures found today. The design and materials of the structures are common and could be reproduced or rebuilt without great difficulty or expense.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

Plans for a replacement residence are presented to the Commission for review and approval.

Proposed Replacement Residence

Site Plan

This property is a small, uniquely L-shaped corner lot. A small portion of the east side of the property is impacted by the start of a ravine. Since it is a corner lot, fronting on both Woodbine Lane and Woodbine Place, the required zoning setback along both street frontages is 50' and a 50' setback applies to the east side of the property which is considered the rear yard. A 20' setback is required from the north property line.

In response to direction from the Commission at the February meeting, the siting of the replacement residence has been refined. The footprint of the home has been reduced, and the structure is now positioned closer to the street, imposing to a lesser extent on the properties to the north, and more closely aligning with the siting of the existing cottage and the rhythm of the Woodbine Lane streetscape.

The replacement residence as proposed does not conform to the zoning setback from the south property line, along Woodbine Lane. A request for a zoning variance will need to be presented to the Zoning Board of Appeals and City Council, and approved in order for the residence to be sited as proposed. Given the magnitude of the request, the Zoning Board of Appeals will benefit from input from the Historic Preservation Commission on the siting and size of the proposed residence as well as the hardship in constructing a conforming residence on the uniquely shaped and nonconforming property.

The driveway access is proposed from Woodbine Lane and the curb cut is set back an adequate distance from the intersection of Woodbine Lane and Woodbine Place. The attached garage faces west. The previously proposed pool has been removed from the scope of the petition. A pool and the related decking is no longer proposed.

Replacement Residence

Previously, the proposed replacement residence was designed in the Shingle architectural style. In response to the direction of the Commission, the design is now inspired by the American farmhouse cottage architectural style, more closely reflecting the character of the existing cottage. The overall scale of the residence has been reduced and the design has been simplified to better reflect the modest nature of the existing structure.

The front elevation incorporates a gabled central mass, similar to the existing cottage, which is replicated on both sides of the proposed front entrance. The roof forms reflect the simple gable forms of the historic

structure and help reduce the perceived scale of the residence. Windows and architectural detailing have been simplified in response to the Commission's direction to reflect the humble character of the existing cottage.

The design also incorporates references to the existing historic structures on the site. Horizontal clapboard details present on the cottage are replicated in the replacement residence. Square, four pane windows on the historic cottage are replicated on all four elevations of the new home. Bracket detailing from the side entrance of the historic garage is incorporated into the awning on the north elevation, and bricks from the garage are proposed to be reused as part of the water table of the residence.

Overall, the revised design demonstrates an effort to respond to the Commission's direction by refining the massing, roof forms, materials, and architectural detailing to better reflect the character of the historic structures on the property and the surrounding neighborhood.

Findings

A staff review of the applicable standards in the City Code relating to the proposed replacement residence is provided below.

Standard 1 – Height.

This standard is met. The proposed replacement residence is 30' as measured from the lowest point of existing grade to the highest roof peak. This is 5' below the maximum height permitted by the Code. The height is generally consistent with some of the homes in the surrounding neighborhood.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade of the proposed replacement residence is asymmetrical with a central mass flanked by wings on either side. The relationship between the central portion of the house and the wings maintains a balanced hierarchy of massing. The openings are organized and spaced appropriately, creating balance across the elevation.

Standard 3 – Proportion of Openings.

This standard is met. The proportions of the windows and doors around the proposed residence are well balanced and compatible with the surrounding area and consistent with the architectural style.

Standard 4 – Rhythm of Solids to Voids.

This standard is met. The rhythm of solids to voids is consistent around the proposed residence. The arrangement of windows aligns with the Residential Design Guidelines.

Standard 5 – Rhythm of Spacing and Structures on the Street.

This standard is somewhat met. The siting of the replacement residence was studied by the petitioner and is now more closely aligned with the siting of the existing cottage. The proposed residence will change the rhythm of spacing of structures on Woodbine Lane and will change the visual appearance and feel of the neighborhood however, the reduced size and refined siting improve the rhythm of spacing of the replacement residence since the February meeting. It is important to recognize that the property is a legal buildable lot despite the fact that it does not meet current Code requirements with respect to lot size similar to many properties in the surrounding neighborhood.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The entrance is clearly defined, presents a human scale, centered on the main mass of the home, and is less ornate than previously proposed.

Standard 7 – Relationship of Materials and Texture.

This standard is met. High quality materials are proposed. The exterior walls are stone white horizontal clapboard siding, and the water table is reused brick from the existing garage, or similar brick. The roof material will be a Brava synthetic product which imitates cedar shingles with standing seam zinc roofing proposed on the front entrance and dormers. Aluminum clad wood windows with interior and exterior affixed muntin bars are proposed. Wood doors and window trim and wood fascia and soffits are proposed. The chimney will be a 4" thick brick to match the water table. The gutters and downspouts are aluminum. Copper gutters and downspouts would be a nice touch given the prominence the home will have as a new home in the Historic District.

The driveway will be asphalt. The sidewalk and rear patio will be bluestone.

Standard 8 – Roof Shapes.

This standard is met. The gabled roof design is inspired by the historic cottage. The varied roof forms help reduce the perceived mass of the residence.

Standard 9 – Walls of Continuity.

This standard is somewhat met. The proposed residence, larger than the existing cottage, will be more dominant along the Woodbine Lane streetscape. To reduce the impact of the additional massing, the petitioner refined the design of the home since the February meeting, tucking the porch which previously flanked the central mass into and behind the home. Continuity of the landscape dominant character of the area could be achieved with significant plantings in front of the house to soften the impact on and change to the streetscape.

Standard 10 – Scale.

This standard is met. The residence as presented is smaller than permitted. Based on the total lot size, including the appendage that projects to the north, a residence of up to 4,499 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 450 square feet of design elements.

The replacement residence proposed at the February meeting totaled 3,936 square feet, 13 percent under the allowable square footage for this property.

In response to comments and direction from the Commission, the petitioner reduced the square footage, including reductions to the first floor, second floor, garage, and design element square footages. Now, the garages total 637 square feet and there are 401 square feet of design elements. With the excess square footage of the garage added to the overall square footage of the home, the proposed replacement residence totals 3,679 square feet, 18 percent below the allowable square footage.

At the direction of the Commission, the petitioner was instructed to explore calculating the square footage of the home without the incorporating the land appendage to the north, as it does not serve to mitigate the appearance of the mass of the house from the streetscape.

Including the required deduction for the non-table land condition, the square footage of the residence as now proposed, 3,679 square feet, is below the allowable square footage for the adjusted property without including the land area of the north appendage.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front of the house is oriented to face south toward Woodbine Lane, consistent with the orientation of the historic cottage.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request. The petitioner proposes to demolish the two historic structures.

Standard 13 – Protection of Natural Resources.

This standard is met. The City Engineer will review the final drainage and grading plans with the knowledge that the subject property receives significant stormwater flows from adjacent properties as water moves to the ravine. On site drainage infrastructure will be required as determined to be necessary by the City Engineer to avoid the backup or redirection of water flowing to the ravine on to neighboring properties and to ensure that excessive water does not overtop the ravine leading to erosion.

During construction, the ravine and the steep slope setback area and the appendage to the north will need to be fenced off. No staging of construction materials or equipment, and no access to those areas will be permitted during construction.

The proposed landscape plan demonstrates the intention for foundation and tree plantings to satisfy the minimum criteria for new construction and provide additional vegetation to the north, south and west. Given the scale of the house, additional plantings may be required to soften the impact of the new house on the streetscape and on neighboring properties.

A final tree removal plan will need to take into account the impact of grading, drainage infrastructure, and utility installation on existing trees. Replacement tree inches will be calculated once additional information is available. All replacement tree inches must be reflected on the final landscape plan. If all replacement inches cannot be accommodated on the property using good forestry practices, a payment in lieu of on site tree planting will be required to support parkway plantings in the overall neighborhood.

Standard 14 – Compatibility.

This standard is generally met. The architectural style, high quality materials, and architectural detailing of the proposed replacement residence are inspired by the historic cottage and garage are compatible with the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request. The historic structures are proposed for demolition.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. The historic structures are proposed for demolition.

Standard 17 – Integrity of historic property.

This standard is not met. The petitioners propose to demolish the two historic structures. Documentation in support of the demolition request was provided by the petitioner and is included in the Commission's packet.

The replacement residence is subject to approval by the Historic Preservation Commission based on the applicable standards.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. Correspondence

relating to this petition was previously received and distributed to the Commission. As of the date of this writing, no new correspondence was received regarding this petition.

Recommendation

Grant a Certificate of Appropriateness to allow the demolition of the two historic structures.

AND

Grant a Certificate of Appropriateness approving a new single-family residence, attached garage, hardscape and conceptual landscape plan.

The recommendation is based on the findings presented in this staff report. Staff recommends the following conditions of approval.

1. The plans shall reflect that the gutters and downspouts will be copper.
2. Plans submitted for permit must reflect the project as presented to the Commission with the refinements as directed above. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.

Prior to the issuance of a permit the following shall be submitted and will be subject to review and approval by City staff:

3. A detailed landscape plan. The plan shall meet the minimum landscape criteria for new construction and provide for the replacement inches of trees proposed for removal and any additional trees that, in the opinion of the City Forester, will not survive the construction. The plan shall reflect a continuity of the landscape dominant character with significant plantings in front of the house to soften the impact on and change to the streetscape.
4. A plan to protect trees identified for preservation as well as trees on neighboring properties. In addition, for any trees that, as determined by the City Arborist may be impacted by construction activity, a plan for pre and post construction treatment must be prepared by an independent Certified Arborist.
5. An exterior lighting plan and cut sheets for all light fixtures. Except for lights illuminated by natural gas at low light levels, all fixtures shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood.
6. A plan for contractor parking and material staging. Given the tightness of the site and narrow streets, off site parking for contractor vehicles is required. All residential street must remain passable at all times and free of dirt and debris. Driveways and sightlines to and from driveways must remain unobstructed. No parking is permitted on Woodbine Lane or Woodbine Place due to the narrow nature of the streets.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 870 Woodbine Lane Owners Bianca Timbota Belia
 Architect Rick Swanson Reviewed by: L. Prado
 Date 2/28/2026

Lot Area 30887 sq. ft. Allowed Square Footage 4499
 (Plat of Survey) Steep Slope Area: 1801

Square Footage of Residence

1st floor 1963 + 2nd floor 1679 + 3rd floor 0 = 3642 sq. ft.

Design Element Allowance = 450 sq. ft.

Total Actual Design Elements = 401 sq. ft. Excess = 0 sq. ft.

Garage 637 sf actual ; 600 sf allowance Excess = 37 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 3679 sq. ft.

TOTAL SQUARE FOOTAGE = 3679 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4499 sq. ft.

DIFFERENTIAL = 820 sq. ft. **NET RESULT:**
under maximum 820 sq. ft. is
18% under **Max. allowed**

Allowable Height: 35 ft. Actual Height 30.0 ft.

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 450 sq. ft.

- Open Porches = 0 sq. ft.
- Screen Porches = 181 sq. ft.
- Covered Entries = 40 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Dormers = 180 sq. ft.
- Bay Windows = 0 sq. ft.

Total Actual Design Elements = 401 sq. ft.

Excess Design Elements = 0 sq. ft.



City of Lake Forest, Illinois Historic Resources Survey Form

ID: 6092

Property Address:

Street: 870 E WOODBINE LN
City: Lake Forest **State:** Illinois
County: Lake

Historic Property Name: Clayton Mark gardener's cottage

Original Owner: Clayton Mark
Other Previous Owners: HENTZ, ANN LOUISE

Present Owner: CHICAGO TITLE LAND TRUST CO

Current Property Name:

Resource Type: Building
Date of Construction: 1910
Use, Original: Gardener's cottage
Use, Present: Single Family Residence
Theme: Domestic
Secondary Theme: 20th Century Architecture
Style: Folk Victorian
Secondary Style: Victorian
Architect/Engineer: unknown

Builder/Contractor: unknown
Landscape Architect:



Photo Name: June 1995

Demolished: **Date:**

Zoning District: R4
Subdivision: Part of lot 83 of the Original Plat of Lake Forest; platted 1857

Subdivided from:

Current Property Size (est.): .63 acres
Original Property Size (est.):

Facade Easement?:
Held by:

Conservation Easement?:
Held by:

Plan Shape: Rectangular
Number of Stories: 2
Structural Framing:
Foundation Material:
Facade Material: Clapboard
Roof Form: Gable

Roof Material: Asphalt Shingle
Primary Window Type: Double Hung - 2/2
Porches: Enclosed porches at both sides
Integrity: Average
Condition:

Decorative Features & Surfacing:

Exposed rafter tails at porches, shutters and corner boards are some of the decorative features of this simply detailed home.

DECORATIVE SURFACING: Vertical board at porch



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 6092

Local Register:

Local Historic District:

Local Ordinance Historic District

Contributing Significance to Local District:

Contributing

Contributing Significant Resources:

Clayton Mark Gardener's Cottage - 1910; Charles B. Pike Garage - Adler & Work, 1917

Is this Property Eligible for Local Landmark Designation?:

Local Landmark Designation:

Is this Property Identified as a Historic Resource located outside the Local Historic District?:

Other Districts:

Historic Residential and Open Space Preservation District

National Register:

National Register Historic District:

Lake Forest

Contributing Significance to National District:

Contributing Significant Resources:

Is this Property Eligible for National Register Listing?:

Individual National Register Listing :

Other Designations:

History and Significance:

This property is identified as a contributing structure to the Historic District. The development of this property to serve as the support functions to a larger estate is representative of an important pattern of development that occurred in east Lake Forest between the 1890s and 1940s, in which service buildings were constructed within the context of the estate neighborhoods. Although many service buildings were located on the grounds of the main estate, it was not uncommon for them to be located on separate property which is either adjacent to or noncontiguous with the estate house. These types of service function outbuildings have become an important part of the estate era fabric of the historic district. This building is one of several estate service buildings located along Woodbine Lane and Woodbine Place, both narrow streets once served as the service entrance and ally ways for larger estates to the east and west. These buildings collectively contribute to the character of the historic district and should be preserved.

This house was originally the gardener's cottage for the Clayton Mark estate at 999 N. Lake Road. The one story detached masonry garage located at the corner of Woodbine Lane and Woodbine Place is associated with the Charles B. Pike Estate (955 Lake Road) and was designed by David Adler & Robert Work in 1917.

Clayton Mark was a prominent Chicago industrialist. He was founder and president of the Mark Manufacturing Co., a director and second vice-president of the Malleable Castings Co., and a director of the Interstate Foundry Co. He also served three terms as the president of the Chicago Board of Education.

The Folk Victorian style, characterized by the presence of Victorian detailing on a simple folk house form, was common throughout the country in the late 19th and early 20th century. The characteristic feature of this style is spindlework at the front porch. The details are usually of Italianate or Queen Anne influence.

This style owes its popularity to the railroad, which made woodworking machinery and lumber available at local trade centers. The accessibility of woodworking machinery made the production of Victorian detailing inexpensive. The railroad provide local lumber yards with supplies of pre-cut detailing from distant mills.

Changes:

A one room addition was added to the west side in 1951.

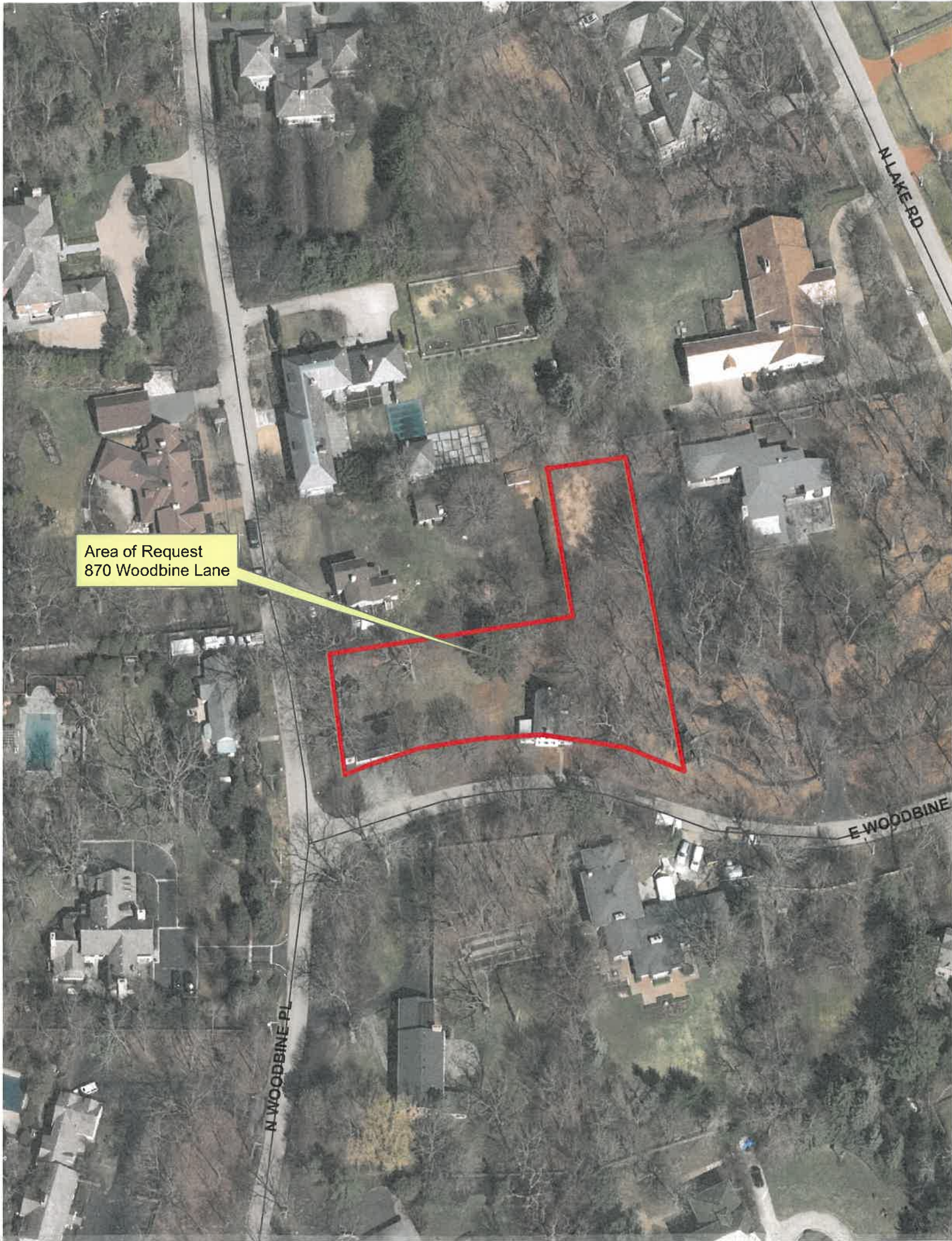
Property Setting:

Residential neighborhood; This property is located on the northeast corner of Woodbine Lane and Woodbine Place.

Associated Buildings:



Area of Request
870 Woodbine Lane



Area of Request
870 Woodbine Lane

N WOODBINE PL

E WOODBINE

N LAKE RD



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 870 Woodbine Lane

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

Bianca Timbota Belia Trust

Owner of Property

155 Melrose Ave

Owner's Street Address (may be different from project address)

Kenilworth, IL 60043

City, State and Zip Code

773 870-2728

Phone Number

Fax Number

btimbotabelia@gmail.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Rick Swanson AIA, NCARB

Name and Title of Person Presenting Project

R.M. Swanson Architects PC

Name of Firm

11418 E Mission Ln

Street Address

Scottsdale, AZ 85259

City, State and Zip Code

848 757-3975

Phone Number

Fax Number

rick@rmswanson.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other Re-use face brick from Garage

Foundation Material

Exposed Foundation Material _____

Color and/or Type of Material Composite horizontal clapboard siding w/ 3" reveal (white)

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish Marvin (White)

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended) with 7/8" wide muntins
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other Composite trim w/ wood backband (white)

Window Trim

- Limestone
- Brick
- Wood
- Other Composite trim w/ wood backband (white)

Fascias, Soffits, Rakeboards

- Wood
- Other Composite trim w/wood backband (white)

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Other _____
- Sheet Metal

Color of Material Brava "Lake Forest" shake shingle

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



11418 E Mission Ln.
Scottsdale, AZ 85259
(847) 757-3975

Louis Prado
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

March 20, 2026

Re: Response to HPC Member Comments for 870 Woodbine Place.

Mr. Prado,

As you know, we appeared before the Lake Forest Historic Preservation Committee on February 25th for consideration and approval of the proposed single-family residence for John and Bianca Timbota Belia at 870 Woodbine Place. As expected, the discussion was robust and wide-ranging, with committee members and members of the public expressing strong interest in both the condition of the existing structures and the appropriateness of the proposed replacement residence.

What became clear during the hearing is that there remains significant misunderstanding about the actual state of the existing buildings, the practical limitations they impose, and the thoughtful design rationale behind the new home. Several comments reflected a desire for additional clarity regarding feasibility of rehabilitation, the structural and code-related deficiencies of the current house, and the extent to which the proposed Shingle-Style residence aligns with the architectural character of the district.

While my clients were understandably disheartened by the tenor of some of the comments, I walked away with a very different perspective. I genuinely appreciated the Chairman's efforts to steer the discussion toward a reasonable consensus and to articulate a clear path forward. His guidance provided structure amid a wide range of viewpoints, and it offered us tangible direction we can proactively consider and ultimately work with. From my standpoint, the hearing clarified not only the committee's priorities but also the specific areas where additional information, refinement, or narrative framing will meaningfully strengthen our position. Rather than viewing the evening as a setback, I see it as an opportunity to address concerns head-on and demonstrate our willingness to collaborate in good faith.

There were three key points that the Committee members expressed a willingness to support demolition of the existing structures, and we have done our best to respond to each as follows:

- 1. Maintain placement of the proposed replacement structure as close as possible to the existing structure, in recognition of the neighborhood's unique character and established development pattern.***

We recognize that the close relationship between the existing homes and the roadway is a defining element of this neighborhood's charm. In support of this, we fully agree that the most appropriate location for a replacement structure is one that aligns with the average front-yard setback along Woodbine Place. Positioning the new home in this manner not only preserves the neighborhood's distinctive character but also strengthens the long-established development pattern that gives the street its cohesive identity.

To advance this goal, we have shifted the placement of the proposed residence to the location of the existing structure and set it 11'-0" back to be within the property boundary and out of the ROW. This achieves setback from the existing road that is within average range of setbacks for the neighborhood.

2. *Design the new home to reflect the modest character and architectural vernacular of the existing historic cottage, ensuring continuity with the property's established aesthetic.*

The Timbota-Balia's have a clear preference for a shingle-style vernacular, and I would be disingenuous to say I don't share that inclination. Still, every project requires compromise, and I knew it would take some thoughtful persuasion to help my client understand that modesty must be a virtue when guiding the design for this particular site.

With that in mind, I studied the existing cottage carefully and intentionally carried several of its defining elements into the new design. The eave detailing, overhangs, and roof pitches remain consistent, as does the compression of the main gables to reinforce the story-and-a-half massing. Fenestration patterns echo the cottage as well, with double-hung SDL windows and historically appropriate shutters (black) with pintel hinges and shutter dogs. The front entry porch is modest yet functional, and the dormer above the garage has been revised from a gable to a shed form to better align with the cottage character. We also relocated the sunroom to the rear corner to reduce the home's perceived mass from the street.

Exterior materials will include Brava "Lake Forest" composite shingles and horizontal composite siding (white) with the same 3-inch reveal as the cottage. Although the existing structure incorporates some vertical siding, we felt combining vertical and horizontal elements here would detract from the simplicity we're aiming to achieve.

We also plan to remove the brick from the existing garage and reuse it at the water table of the new residence. The existing overhead doors and decorative brackets will be replicated to maintain continuity between structures.

Finally, we reduced the overall massing of the façade by lowering the front gables 2'-0" and simplifying the ornamentation. Elements such as Palladian windows, bay projections, Sun Room and the trellis have been removed or relocated in favor of cleaner, more restrained trim detailing.

3. *Explore options for reducing the overall scale of the replacement residence, including evaluating a design approach that excludes the north appendage from the lot-size calculation used in the City's building-scale formula.*

My clients wish to express their sincere commitment to working collaboratively with the city and with their future neighbors. They remain fully open-minded and eager to engage in a proactive,

solutions-oriented process. Their goal is to design and build a home that not only reflects their needs but also thoughtfully embraces and enhances the aesthetic character of the surrounding neighborhood.

To properly evaluate overall scale within the context of an established historic neighborhood, we first needed a consistent and objective method for comparison. Using the same analytical approach applied to the proposed replacement structure, we conducted a mathematical assessment of the existing homes in the surrounding area.

We prepared a Street View Matrix and included the five homes in close proximity to our site using publicly accessible data and standard methods for estimating area based on building geometry. To supplement this, we incorporated key metrics into the Site Plan, including existing lot size, building footprint area, and estimate floor area for each.

The results of this analysis indicate that:

- The average lot area for the neighboring properties is 32,341 sf
The subject property lot area is 30,877.0
- The average building footprint area for the neighboring homes is 4,831 sf
The proposed residence will be 3,028 sf of building footprint
- The average distance from the roadway edge for existing homes is 27'-0"
The proposed residence will be 31'-0" to the road edge at its closest point. Note that the existing cottage 20'-0" from the roadway edge.
- The average height of existing homes is 26.8
The proposed residence will be 28'-3", which is equal to the height of the closest adjacent home.
- The average floor area based on a conservative method of calculation is 6,268 sf. Using the current allowable floor area centered on the average lot size, all of the homes exceed the allowable bulk by a margin of 10% to 50%

It is important to clarify that we did not personally measure any of the surrounding properties, nor did we engage a surveyor, as doing so would have required the cooperation of neighboring homeowners and created unnecessary inconvenience. Fortunately, Lake County provides floor area and site data for all residential properties in the public domain. Using these official records, we verified that our calculations align closely with the county's documented measurements.

Our primary goal in conducting this analysis was to address a concern raised during the last meeting, that being our proposed home might be out of scale with existing homes in the area. The data clearly shows that this is not the case.

As requested, we recalculated the BSO using only the front 23,583 square feet of the property. After deducting the 900 square feet of steep-slope area, the remaining 22,683 square feet of table land would allow 4,134.15 square feet of building area. The proposed home totals 3,778.17 square feet, which includes 136.5 square feet of additional garage space needed to achieve a functional three-car layout. Even under this artificially reduced lot size, the design

remains 8.2% below the allowable floor area, despite the fact that the actual lot is larger than 22,683 square feet. From a technical standpoint, the home we are proposing is measurably smaller in floor area than many nearby properties. In addition, the revised design is now fully compatible in height and massing, ensuring it fits appropriately within the existing neighborhood context.

My clients understand that any change within an established neighborhood naturally raises questions and concerns, and they want to acknowledge those concerns respectfully. From the outset, they have approached this process with an open mind and a genuine willingness to listen and collaborate with both the city and their future neighbors. They remain committed to working constructively and making thoughtful adjustments where appropriate. At the same time, they trust that the discussion will be guided by fairness, consistency, and the same standards that apply to every property owner.

Their goal is simply to build a home that fits the character of the neighborhood while allowing them reasonable use of their property. The home now proposed is not their first choice, but they are willing to make concessions that honor the vernacular of the existing cottage. They look forward to continuing this conversation in good faith and working toward a solution that respects both community values and individual property rights.

We appreciate the opportunity to present the proposed Timbota Belia residence at the April 22nd HPC meeting. Please let me know if you have any questions or if additional information would assist the Committee in its review. Thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "R. Swanson", followed by a horizontal line that ends in an arrowhead pointing to the right.

Rick Swanson AIA, NCARB
R.M. Swanson Architects PC



11418 E Mission Ln.
Scottsdale, AZ 85259
(847) 757-3975
rick@rmswanson.com

Louis Prado
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

December 12, 2025

Re: 870 Woodbine Lane

Mr. Prado,

On behalf of my clients John and Bianca Timbota Belia, I wish to provide our response to the **Historic Preservation Standards** for the proposed replacement structure at 870 Woodbine Lane

Standard 1- Height. *Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* The proposed structure will be 26'-6" from proposed first floor to highest ridge height. The height as measured from the lowest adjacent grade point will be approximately 30'-8". This is less than the average height of the adjacent neighboring residences.

Standard 2- Proportion of Front Façade. *The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* The proposed front façade maintains a balanced and context-appropriate width-to-height proportion. Its massing, vertical rhythm, and horizontal alignment are intentionally designed to be visually compatible with the surrounding properties and the broader streetscape. The elevation relates cohesively to adjacent structures and public ways, ensuring that the building's scale and visual presence reinforce the established character of the area.

Standard 3- Proportion of Openings. *The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visibly related.* The proposed window and door openings maintain width-to-height proportions that are consistent with the Shingle Style. Their vertical and horizontal relationships are intentionally designed to be visually compatible with adjacent properties, nearby structures, and the broader public realm. The rhythm, scale, and alignment of the openings reinforce the established character of the streetscape and ensure that the building integrates cohesively with the places to which it is visibly related.

Standard 4- Rhythm of Solids to Voids in Front Façade. *The relationship of solids to voids in the front façade of a structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* The proposed front façade establishes a balanced and

context-appropriate rhythm of solids to voids. The placement, scale, and spacing of wall planes, windows, and door openings are intentionally composed to align with the prevailing patterns found in this architectural vernacular.

Standard 5- Rhythm of Spacing and Structures on Streets. *The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* The Woodbine Lane streetscape is characterized by a series of legally non-conforming lots, with existing homes averaging an approximate 28'-0" setback from the street edge. Under the current R-4 Zoning District, the required front setback is 50'-0" from the road right-of-way, which explains why many of the established homes, including the existing structure on this parcel are positioned close to, or in some cases encroaching into, the ROW. In comparison, the proposed replacement residence will be positioned approximately 42'-6" from the edge of the Woodbine Place pavement and 116'-0" from Woodbine Lane. To accommodate this placement, the project will require a variance allowing a 20'-0" front yard setback on Woodbine Place. All other setbacks will remain fully compliant with the R-4 district requirements.

Despite the technical need for a variance, the proposed home will be visually compatible with the surrounding properties, structures, public ways, and the overall character of the neighborhood. Its placement respects the established development pattern along Woodbine Lane, aligns with the prevailing streetscape rhythm, and reduces the degree of non-conformity present in the existing condition.

Standard 6- Rhythm of Entrance Porches, Storefront Recesses, and other Projections. *The relationship of entrances and other projections to sidewalks shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* The proposed residence meets this standard.

Standard 7- Relationship of Materials and Texture. *The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related.* The proposed residence will incorporate materials that are of high quality and consistent with the historic detailing applied to this design vernacular.

Standard 8- Roof Shapes. *The roof shape of a structure shall be visually compatible with the structures to which it is visually related.* The proposed roof massing and geometry will be visually compatible with neighboring homes and utilize design elements and materials consistent with other homes in the neighborhood.

Standard 9- Walls of Continuity. *Facades and property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places which such elements are visually related.* We believe this Standards does not apply to this property

Standard 10- Scale of a Structure. *The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, and balconies shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.* We believe the proposed replacement residence will be a meaningful and appropriate addition to the neighborhood, maintaining the established character and rhythm of the streetscape. This is an unusually constrained site, and its successful redevelopment requires careful

consideration of both design and placement. The proposed home responds thoughtfully to these limitations, offering a more coherent, functional, and visually compatible solution than the existing, awkwardly sited structures. In doing so, it enhances the property, strengthens the continuity of the surrounding neighborhood, and reflects a sensitive reinvestment in this distinctive corner lot

Standard 11- Directional Expression of Front Elevation. *A structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related in its directional character, whether this be vertical, horizontal or non-directional character.* This corner site presents inherent limitations that significantly constrain where a new structure can be appropriately placed. As with the existing home, the proposed residence is most logically and functionally oriented toward Woodbine Place. The irregular lot configuration, combined with the woodland ravine along the eastern edge, naturally directs the building envelope to the east, where the home can be positioned to take advantage of privacy, topography, and desirable views. This siting not only responds to the physical realities of the property but also ensures that the front elevation aligns with the established directional character of surrounding homes. As a result, the proposed orientation and placement are visually compatible with adjacent properties and reinforce the existing neighborhood pattern.

Standard 12- Preserving Distinguishing Features. *The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.* The site contains approximately twenty-five mature trees, of which only two are proposed for removal to accommodate the new residence and associated site improvements. The property currently includes an existing home in very poor condition and a detached three-car garage located at the southwest corner, which is also legally non-conforming with respect to the front setback. While the garage exhibits minor stylistic influence from architect David Adler, it lacks distinctive architectural features, materials, or craftsmanship that would warrant preservation. The only notable elements—decorative brackets—will be thoughtfully incorporated into the design of the proposed replacement structure. Both existing buildings were originally constructed as workforce housing serving nearby estates and have become functionally obsolete as Lake Forest has evolved. Their replacement with a code-compliant, contextually compatible residence represents an appropriate and beneficial reinvestment in the property

Standard 13- Protection of Resources. *Every reasonable effort shall be made to protect and preserve archeological and natural resources affected by, or adjacent to any project. We are not aware of any archeological or natural resources on this property other than the trees and it is not our intent to harvest them or in any way compromise their natural environment.*

Standard 14- New Construction. *In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.* We acknowledge and appreciate this position and have made a sincere effort to put forth a replacement structure that is timeless and respectful of the traditional aesthetic character of the neighborhood.

Standard 15- Repair to Deteriorated Features. *Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior Standards for Treatment of Historic Properties. Repair or replacement should be based on accurate duplications of features and*

should match the material being replaced in composition, design, color, texture and other visual qualities. We acknowledge this Standard and have incorporated an architectural element from the existing garage structure as an homage to David Adler.

Standard 16- Surface Cleaning. *The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the significant materials shall not be undertaken. We acknowledge this Standard*

Standard 17- Reversibility of Additions and Alterations. *Whenever possible, additions or alterations to historic properties shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired. We acknowledge this Standard.*

We appreciate this opportunity to present the proposed Timbota Belia Residence at the scheduled January 28th HPC meeting. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

A handwritten signature in black ink, appearing to read "R. Swanson", followed by a horizontal line extending to the right.

Rick Swanson AIA, NCARB
R.M. Swanson Architects PC



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Scottsdale, AZ 85259
(847) 757-3975
rick@rmswanson.com

Luis Prado
The City of Lake Forest
Community Development Department
800 N. Field Drive
Lake Forest, IL 60045

December 12, 2025

Re: 870 Woodbine Place

Mr. Prado,

On behalf of my clients John and Bianca Timbota Belia, I wish to provide our response to the *Standards for Approval of Demolition of a Structure* for the existing two-story residence and detached garage located at 870 Woodbine Place. Because these structures were constructed approximately forty years apart, they differ significantly in age, construction methods, materials, and overall condition. Accordingly, this response evaluates each structure independently, ensuring that the findings and justifications align precisely with the applicable demolition standards and the factual circumstances of each building.

Standard 1- *Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.*

No. The buildings do not possess the level of historic or architectural significance that would make their demolition contrary to the public interest. Their classification as contributing resources reflects their contextual role in illustrating estate-era development—not any individual architectural distinction. After decades of deterioration, they no longer retain the integrity necessary to convey that context. Preserving structures that have lost their integrity does not advance the public welfare; reinvesting in a compatible, enduring replacement does.

Standard 2- *Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and state.*

Two-Story Residence (circa 1910)

Although the residence dates to approximately 1910, its origin as work-force housing for the original estate places it firmly in the category of secondary, utilitarian structures rather than contributing estate architecture. The building's simple rural farmhouse vernacular—clapboard siding, modest porch, and small

footprint—does not reflect the defining architectural character, craftsmanship, or design intent typically associated with the District’s historically significant resources.

The residence has undergone deterioration and alterations over time, further diminishing any remaining architectural integrity. Its encroachment into the public road right-of-way also places it out of alignment with the established spatial patterns and setbacks that contribute to the District’s character. As a result, the structure does not meaningfully reinforce the historic, cultural, or architectural identity of the District as a whole.

Detached Garage (circa 1945)

The detached garage, constructed roughly four decades later, is a utilitarian outbuilding with no defining architectural features. While David Adler may have influenced its design, the structure itself does not exhibit the hallmarks of Adler’s work or of the District’s architecturally significant buildings. Aside from decorative bracketing at a man door which, we intend to incorporate into the proposed replacement structure, the garage is plain, functional, and lacks the scale, detailing, or craftsmanship that would contribute to the District’s architectural character. The garage is also in poor condition and nonconforming with current setbacks, further limiting its compatibility with the District’s established development pattern.

Neither the residence nor the garage contributes to the distinctive historic, cultural, architectural, or archaeological character of the District. Their utilitarian origins, lack of documented significance, deteriorated condition, and nonconforming placement prevent them from reinforcing the qualities that define the District’s identity. Therefore, preservation of these structures is not necessary for the benefit of the city or the state, and their removal is consistent with the District’s long-term integrity and planning objectives.

Standard 3- *Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.*

The purpose and intent of the historic preservation regulations for this District are to protect structures that meaningfully contribute to its historic, cultural, architectural, or archaeological character, and to ensure that preservation efforts focus on resources that retain integrity, significance, and compatibility with the District’s established patterns.

Two-Story Residence (circa 1910)

The existing residence does not advance these objectives. Although constructed circa 1910, it served as work-force housing for the original estate and does not embody the architectural quality, craftsmanship, or historical associations that the preservation ordinance seeks to safeguard. Its deteriorated condition, lack of documented significance, and encroachment into the public right-of-way place it outside the category of resources the Chapter intends to preserve. Retaining a structure that is both noncontributing and functionally noncompliant would not further the District’s preservation goals.

Detached Garage (circa 1945)

Similarly, the detached garage does not support the objectives of the preservation ordinance. It was constructed around 1945 as a utilitarian outbuilding, it lacks architectural distinction and does not reflect the defining characteristics of the District. While there is some documented evidence of David Adler’s influence,

the structure itself does not exhibit the hallmarks of Adler's work or the District's contributing architecture. Its poor condition and setback nonconformity further diminish its relevance to the preservation framework.

Demolition of these structures is not contrary to the purpose and intent of the preservation Chapter. To the contrary, removal of noncontributing, deteriorated, and noncompliant buildings supports the ordinance's objectives by allowing the District to maintain its architectural integrity, uphold its development standards, and focus preservation efforts on resources that genuinely warrant protection.

Standard 4- *Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.*

Two-Story Residence (circa 1910)

The existing residence is a simple rural farmhouse vernacular constructed with commonplace materials of its era, including standard framing, clapboard siding, and a modest covered porch. These materials and construction methods are neither unusual nor difficult to reproduce using contemporary techniques. The building does not contain rare craftsmanship, distinctive detailing, or specialized materials that would elevate it to a category of architectural uniqueness.

Furthermore, the structure has deteriorated significantly due to prolonged lack of maintenance. Any attempt to replicate its current condition or appearance would not require specialized artisanship; rather, it would involve standard residential construction practices. As such, the residence does not meet the threshold of being old, unusual, or uncommon in a way that warrants preservation under this criterion.

Detached Garage (circa 1945)

The detached garage is a utilitarian outbuilding constructed with readily available mid-20th-century materials and methods. Aside from decorative bracketing at a man door, the structure lacks distinctive design features, uncommon textures, or rare materials. The aforementioned bracketing is in very poor condition but does reflect Adler's influence. We intend to replicate that same detailing in the proposed replacement structure. The garage's overall construction is straightforward and does not reflect any specialized craftsmanship or uncommon building techniques. Its deteriorated condition further underscores that the structure does not embody materials or workmanship that are rare or irreplaceable.

Neither structure exhibits old, unusual, or uncommon design, texture, or materials that would make reproduction difficult or prohibitively expensive. Both buildings were constructed using standard, widely available materials and methods, and neither contains distinctive architectural elements that merit preservation under this standard. Accordingly, demolition of these structures is not contrary to this criterion

Standard 5- *Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.*

My clients fully understand that, regardless of the Historic Preservation Committee's position on this demolition petition, any new residence must serve as a worthy and context-sensitive replacement that contributes to and enhances the aesthetic character of the historic neighborhood. The replacement home

must not appear to dominate, invade, or upstage the surrounding residences; rather, it must present a seamlessly appropriate and respectful presence within the District.

The proposed architectural vernacular has been intentionally selected to echo the rural character of the existing residence while providing a structure that is safe, code-compliant, and compatible with contemporary living standards. Its scale, massing, and placement on the site are consistent with the established development pattern of neighboring homes, ensuring that the new residence reinforces, rather than disrupts, the visual and cultural continuity of the area.

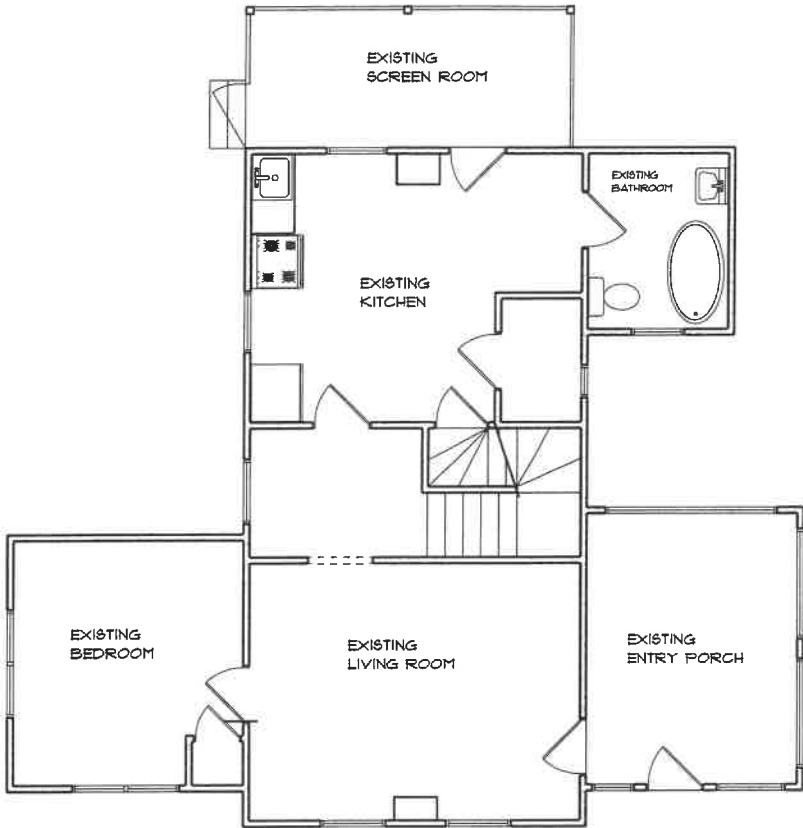
We appreciate this opportunity to present the proposed Timbota Belia Residence at the scheduled January HPC meeting. Please let me know if you should have any questions or further information and thank you for your assistance in processing this application.

Respectfully,

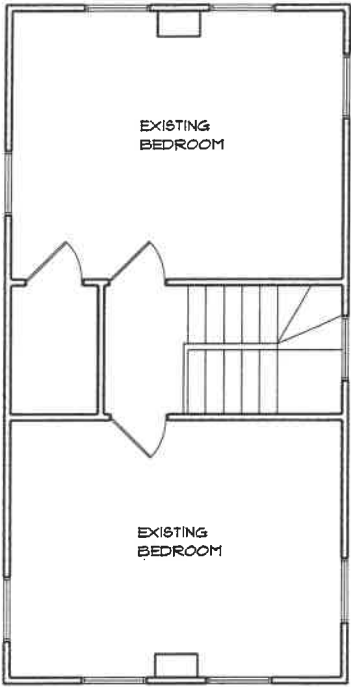
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Rick Swanson AIA, NCARB
R.M. Swanson Architects PC

EXISTING FLOOR PLANS AND FRONT ELEVATION



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



EXISTING SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

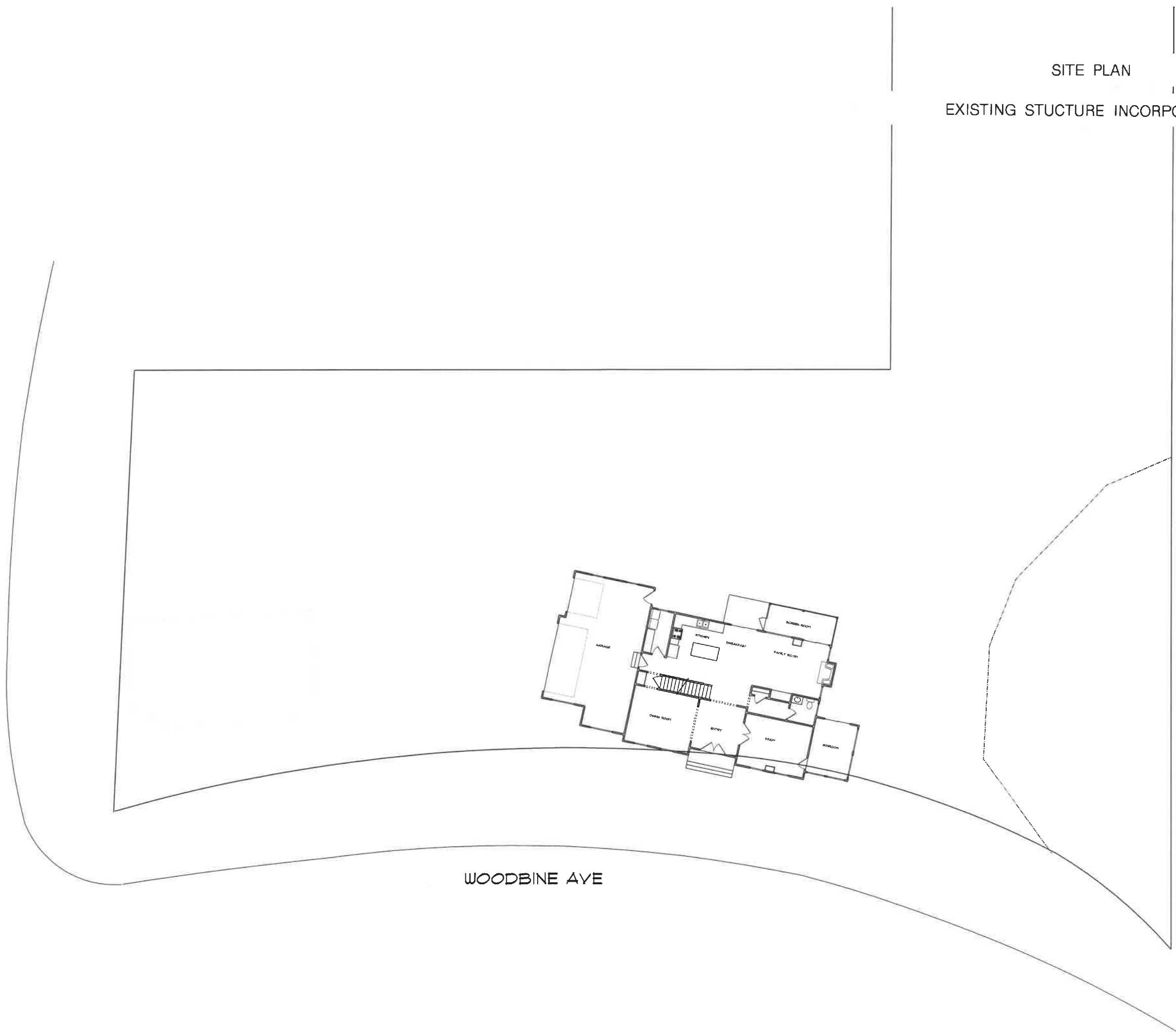


EXISTING FRONT ELEVATION
SCALE 1/4" = 1'-0"

EXISTING GARAGE BRACKET DETAIL

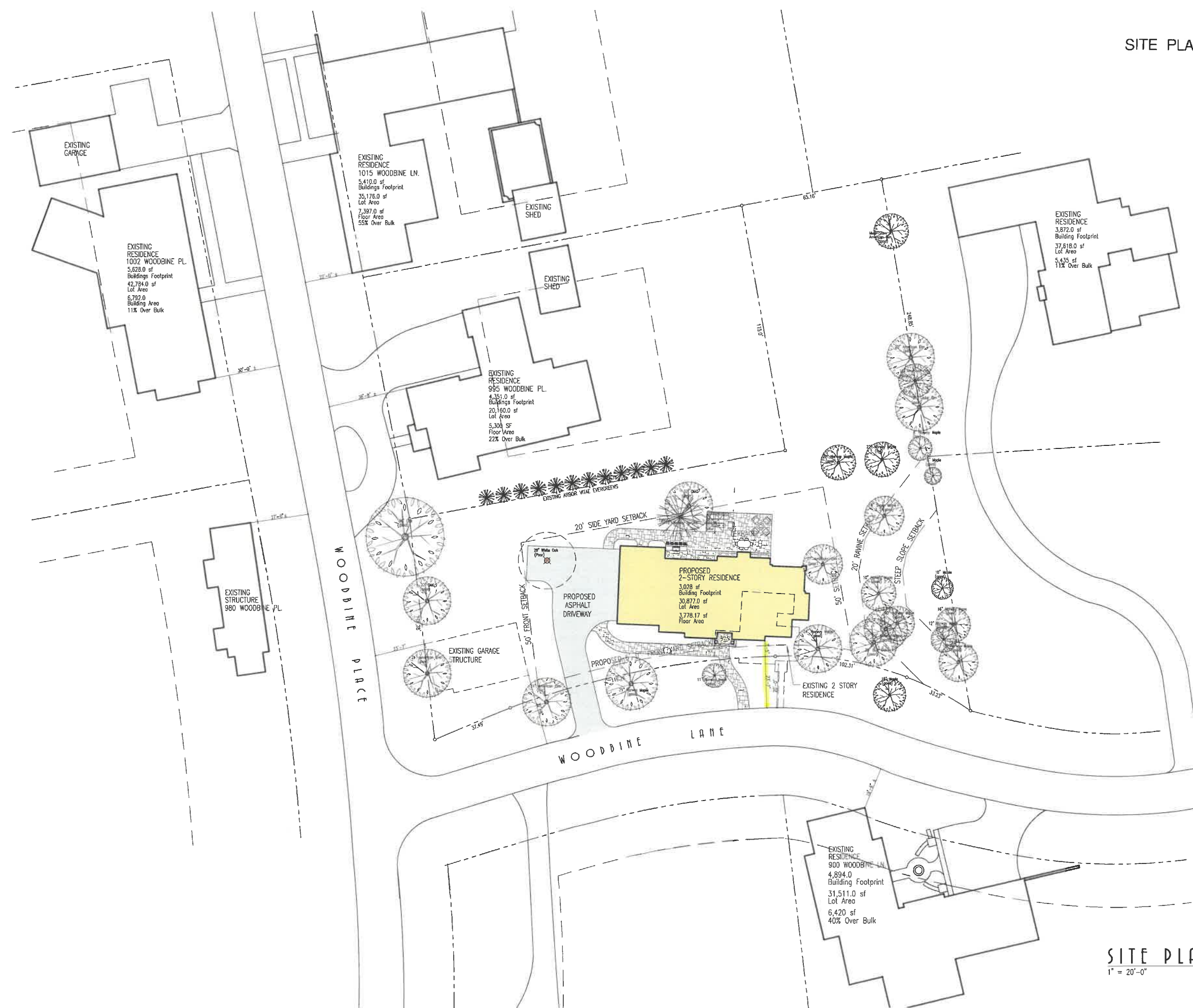


SITE PLAN
EXISTING STRUCTURE INCORPORATION STUDY

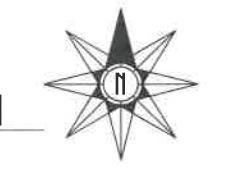
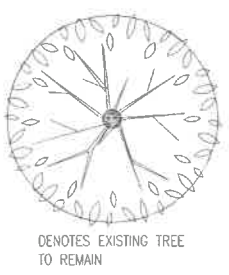
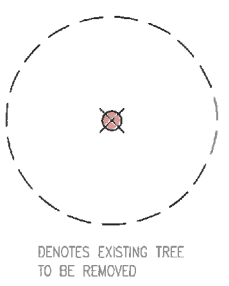


Replacement Residence

SITE PLAN



SITE PLAN
1" = 20'-0"



March 10, 2026

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TIMBOTA-BELIA RESIDENCE

PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
1148 E MISSION LN.
SCOTTSDALE, ARIZONA 847 757-9375
rm@rmaswanson.com

DESIGNED BY: RM SWANSON
PREPARED BY: RM SWANSON

DATE: _____
COMMITMENT: _____

PLAN NO: 1700

SHEET OF -

SOUTH ELEVATION



FRONT ELEVATION
1/4" = 1'-0"

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TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
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847.757.9975
rm@rmswanson.com

DESIGNED BY:
R.M. SWANSON

PREPARED BY:

DATE	COMMENT

PLAN NO:
1700

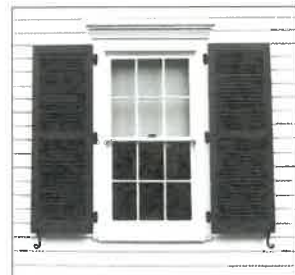
SHEET OF
-



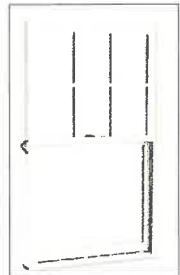
Proposed Brick Veneer: Reclaim Brick From Existing Garage Structure



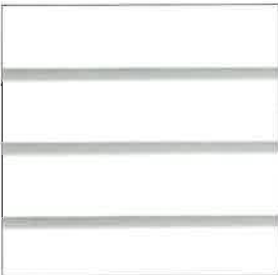
Proposed Garage Doors to be replication of the Existing Garage Structure



Proposed Shutters: Historically Correct Wood Louvered w/ Cast Pintel Hinges & Shutter Dogs



Propose Window Color: Stone White



Proposed Siding: Horizontal Siding w/ "Stone White" color



Proposed Roof: Brava Composite Roof Shingles "Lake Forest"



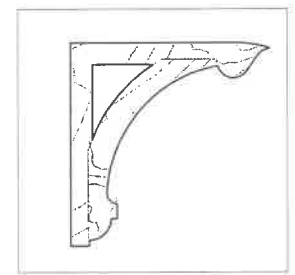
Bluestone Terraces & Walks



Standing Seam Zinc Roof



Propose Wall Sconce (Garage, Front & Rear)



Proposed Bracket Detail From Existing Garage



South Elevation of Existing Residence



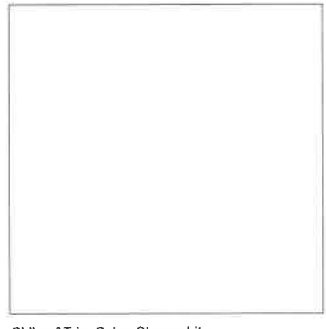
East Elevation of Existing Residence



North Elevation of Existing Residence



West Elevation of Existing Residence



Siding & Trim Color: Stone white

THE TIMBOTA-BELIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS

EAST AND WEST ELEVATIONS



LEFT SIDE ELEVATION

1/4" = 1'-0"

OVERHEAD GARAGE DOORS TO MATCH GENERAL PATTERN OF EXISTING GARAGE STRUCTURE PANELS



RIGHT SIDE ELEVATION

1/4" = 1'-0"

LOWEST GRADE POINT AT FOUNDATION



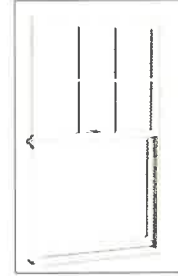
Proposed Brick Veneer: Reclaim Brick From Existing Garage Structure



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Proposed Shutters: Historically Correct Wood Louvered w/ Cast Pintel Hinges & Shutter Dogs



Propose Window Color: Stone White



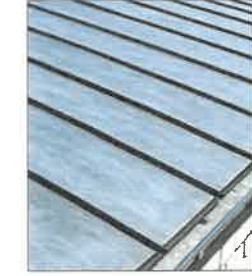
Proposed Siding: Horizontal Siding w/ "Stone White" color



Proposed Roof: Brava Composite Roof Shingles "Lake Forest"



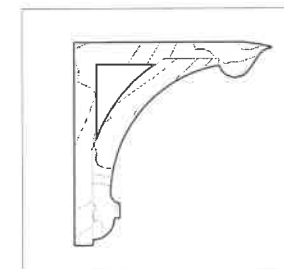
Bluestone Terraces & Walks



Standing Seam Zinc Roof



Propose Wall Sconce (Garage, Front & Rear)



Proposed Bracket Detail From Existing Garage



South Elevation of Existing Residence



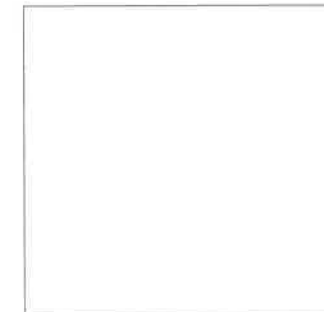
East Elevation of Existing Residence



North Elevation of Existing Residence



West Elevation of Existing Residence



Siding & Trim Color: Stone white

THE TIMBOTA-BELIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS

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TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
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SCOTTSDALE, ARIZONA rm@rmaswanson.com

DESIGNED BY:
R.M. SWANSON
PREPARED BY:

DATE	COMMENT

PLAN NO:
1700

SHEET OF
-



REAR ELEVATION

1/4" = 1'-0"



Proposed Brick Veneer: Reclaim Brick From Existing Garage Structure



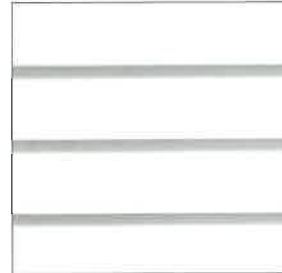
Proposed Garage Doors to be replication of the Existing Garage Structure



Proposed Shutters: Historically Correct Wood Louvered w/ Cast Pintel Hinges & Shutter Dogs



Propose Window Color: Stone White



Proposed Siding: Horizontal Siding w/ "Stone White" color



Proposed Roof: Brava Composite Roof Shingles "Lake Forest"



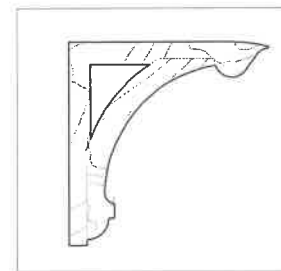
Bluestone Terraces & Walks



Standing Seam Zinc Roof



Propose Wall Sconce (Garage, Front & Rear)



Proposed Bracket Detail From Existing Garage



South Elevation of Existing Residence



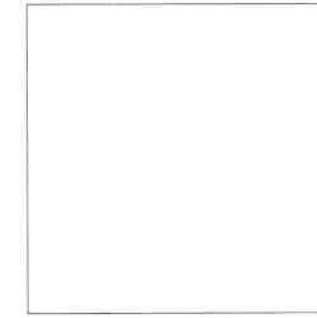
East Elevation of Existing Residence



North Elevation of Existing Residence



West Elevation of Existing Residence



Siding & Trim Color: Stone white

THE TIMBOTA-BELIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS

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TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

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DESIGNED BY: R.M. SWANSON
PREPARED BY:

COMMENT:

DATE:

PLAN NO: 1700

SHEET OF



THE TIMBOTA-BALIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS



LOCATION OF EXISTING RESIDENCE TO EXISTING
1/4" = 1'-0"



LOCATION OF PROPOSED RESIDENCE TO EXISTING
1/4" = 1'-0"

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TIMBOTA-BELIA RESIDENCE
 PROPOSED TWO-STORY DWELLING
 870 WOODBINE LANE
 LAKE FOREST, ILLINOIS

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 rick@rmswanson.com

DESIGNED BY: R.M. SWANSON
 PREPARED BY:

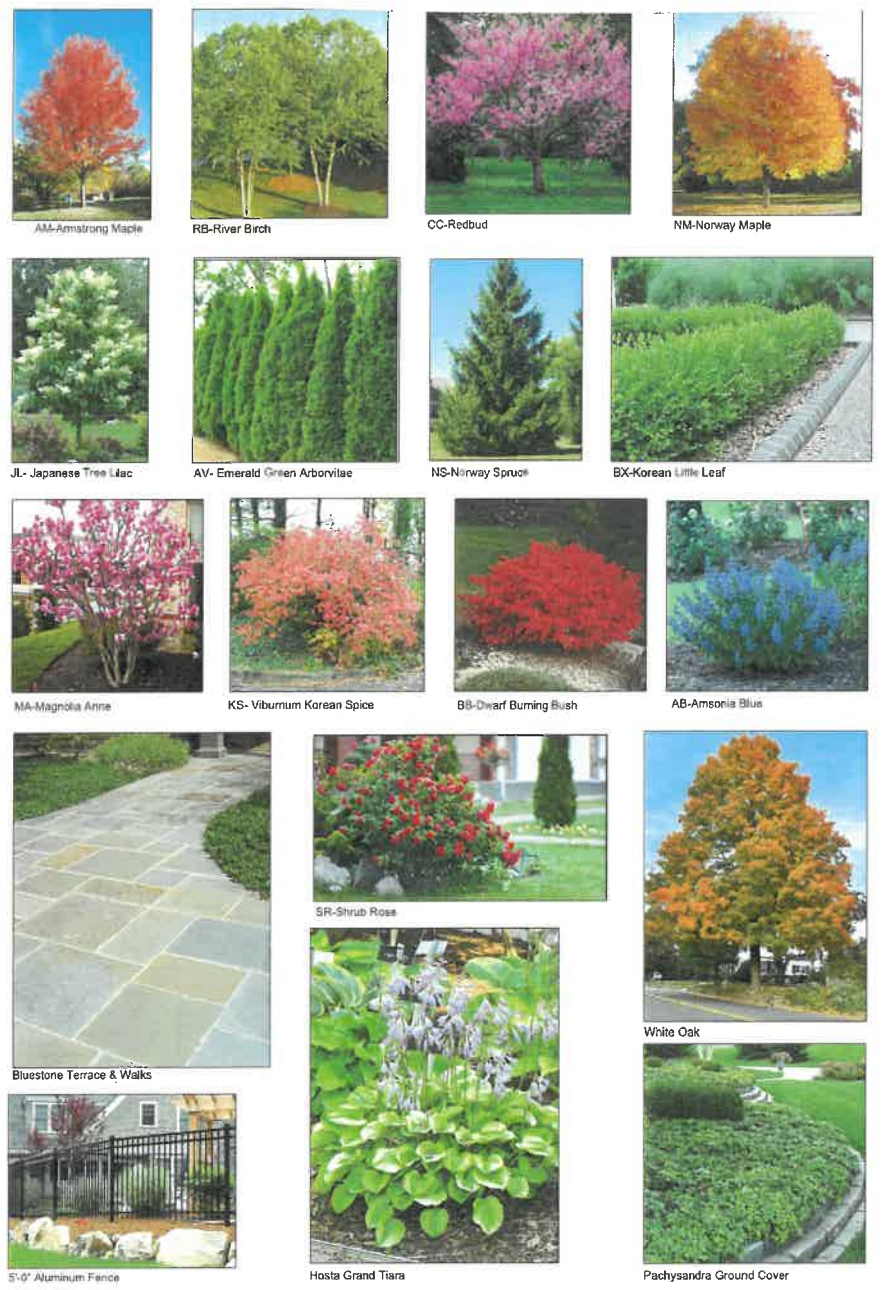
DATE:	COMMENT:

PLAN NO: 1700
 SHEET OF 1

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LANDSCAPE PLAN



TREES					
Quantity	Size	Common Name	Botanical Name	Cond	KEY
2	8'	Magnolia Anne	Picea abies	BB	NS
5	3"	Armstrong Maple	Acer x freenanii Armstrong	BB	AM
3	10'	River Birch	Betula nigra	BB	RB
3	3"	Redbud	Cercis Canadensis	BB	CC
3	3"	White Oak	Quercus alba	BB	WO
1	2"	Japanese Lilac	Syringa Reticulata	BB	JL
30	5'	Arborvitae (Emerald Green)	Thuja	BB	AR
SHRUBS					
7	2 gal	Hydrangea Quick Fire	Hydrangea arborescens Quick Fire	Can.	QF
10	3 gal.	Boxwood Korean Little Leaf	Buxus x Little Leaf	Can.	BX
5	3 gal.	Korean Spice	Viburnum Carlesii	Can.	KS
8	3 gal.	Dwarf Burning Bush	Euonymus alatus Compactus	Can.	BB
PERENNIALS, GROUNDCOVERS and GRASSES					
14	270 sf	Hosta	Hosta Grand Tiara	Flat	HA
10	2 gal.	Annosia	Annosia Blue Ice	Can.	BI
7	3 gal.	Shrub Rose	Rosa	Can.	SR
11	2 gal	Pink Pears	Penstemon Barbatus	Flat	PP
70	600 sf	Japanese Spurge	Pachysandra terminalis	Flat	PY

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TIMBOTA-BELIA RESIDENCE

PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
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SCOTTSDALE, ARIZONA rca@rswanson.com

DESIGNED BY:
R.M. SWANSON

PREPARED BY:

DATE:

PLAN NO:
1700

SHEET OF
-

ENGINEERING AND TREE REMOVAL PLAN

TREE #	DBH (INCHES)	Common Name	COND.	Form	REMOVE	REMAIN	RP	CP	F	M	NOTES
186	21"	AMERICAN ELM	3	3		X					
190	21"	AMERICAN ELM	4	3		X					
191	24"	NORWAY MAPLE	2	1		X					
275	18"	TREE				X					
278	12"	TREE				X					
281	10"	TREE				X					
301	24"	TREE				X					
420	24"	OAK	4	4		X					
421	24"	NORWAY SPRUCE	2	2		X					
428	28"	WHITE OAK	6	2	X						
432	11"	NORWAY MAPLE	4	3		X					BROWN SPOT
460	21"	AMERICAN ELM	6	3		X					
461	28"	BURR OAK	5	5		X					
462	10"	NORWAY MAPLE	4	4		X					BROWN SPOT
463	16"	TREE	3	4		X					
464	16"	NORWAY MAPLE	4	3		X					BROWN SPOT
465	8"	HORSE CHESTNUT	4	6		X					BROWN SPOT
466	15"	MAPLE	4	4		X					
502	MULTI-STEM	AMERICAN ELM	3	4		X					
518	20"	AMERICAN ELM	4	3		X					
519	11"	AMERICAN ELM	5	4		X					
520	21"	CEDAR ELM	4	3		X					
521	8"	MAPLE	3	4		X					
522	16"	NORWAY MAPLE	4	3		X					BROWN SPOT
523	22"	NORWAY MAPLE	4	5		X					BROWN SPOT
524	18"	SUGAR MAPLE	3	3		X					
526	8"	NORWAY MAPLE	4	3		X					BROWN SPOT
1000	12"	NORWAY MAPLE	4	3		X					BROWN SPOT
1001	18"	NORWAY MAPLE	4	2		X					BROWN SPOT
1002	10"	MAPLE	3	3		X					
1003	36"	TREE				X					
1004	12"	TREE				X					

Code Description
 1 Excellent
 2 Good
 3 Average
 4 Fair
 5 Poor
 6 Dead

BOH TREE DIAMETER AT BREAST HEIGHT 4.5' ABOVE THE SOIL LINE
 COND. CONDITION RATING FROM NUMBER 1 THRU 6, WITH 1 BEING THE BEST

REMOVE REMOVE TREE
 REMAIN TREE TO REMAIN

RP ROOT PRUNE
 CP CROWN PRUNE
 F FERTILIZE
 M MULCH

IMPERVIOUS AREA CALCULATIONS

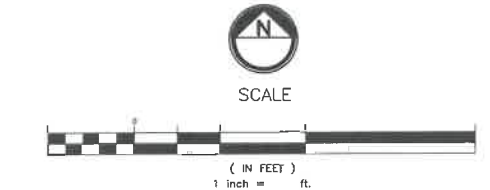
	EXISTING	PROPOSED
RESIDENCE	903 SQ. FT.	3,042 SQ. FT.
DRIVEWAY	487 SQ. FT.	1,609 SQ. FT.
DETACHED GARAGE	1,063 SQ. FT.	0 SQ. FT.
WALK, PORCH & STEPS	189 SQ. FT.	398 SQ. FT.
TERRACE	0 SQ. FT.	1,021 SQ. FT.
TOTAL AREA	2,642 SQ. FT.	5,049 SQ. FT.
NET IMPERVIOUS AREA INCREASE: 5,049 - 2,642 = 2,407 SQ. FT.		
TOTAL SITE AREA 30,888 SQ. FT.		

LEGEND

	EXISTING	SANITARY SEWER		PROPOSED
	STORM SEWER		WATER MAIN	
	YARD DRAIN		STORM MANHOLE	
	SANITARY MANHOLE		CLEAN OUT	
	B.BOX		DOWNSPOUT	
	PAVEMENT		FENCE	
	DRAINAGE FLOW		PAVEMENT @ GROUND ELEVATION	
	CONTOURS		TOP OF FOUNDATION ELEVATION	
	FIRST FLOOR ELEVATION		GARAGE FLOOR ELEVATION	
	EXISTING TREE		TREE TO BE REMOVED	
	SILT FENCE		TREE PROTECTION FENCE	

THE CONTRACTOR MUST CALL J.U.L.I.E FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, ETC.) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

SITE BENCHMARK: P.K. NAIL AT THE NORTHEAST CORNER OF INTERSECTION OF WOODBINE PLACE AND OF WOODBINE LANE. ELEVATION = 657.44 (NAVD 88 DATUM PER GPS OCCUPATION)



REVISIONS

DATE	DESCRIPTION	DRAWN BY	DATE	DESCRIPTION	REVISIONS PER ARCHITECT	S.I.R.M.
03/12/28						

IG CONSULTING, INC.
 CONSULTING CIVIL ENGINEERS, PLANNERS & LAND SURVEYORS
 300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
 1125 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 878-6200 | ig@igconsulting.net

DESIGN: K.C.L.
 DRAFTING: S.R.M.
 SCALE: 1"=20'
 DATE: 12/30/25

SITE DEVELOPMENT PLAN
 FIRM NO. 184-001330

TIMBOTA BELIA RESIDENCE
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

PROJECT No. 25369
 1 of 2

SITE DEVELOPMENT PLAN

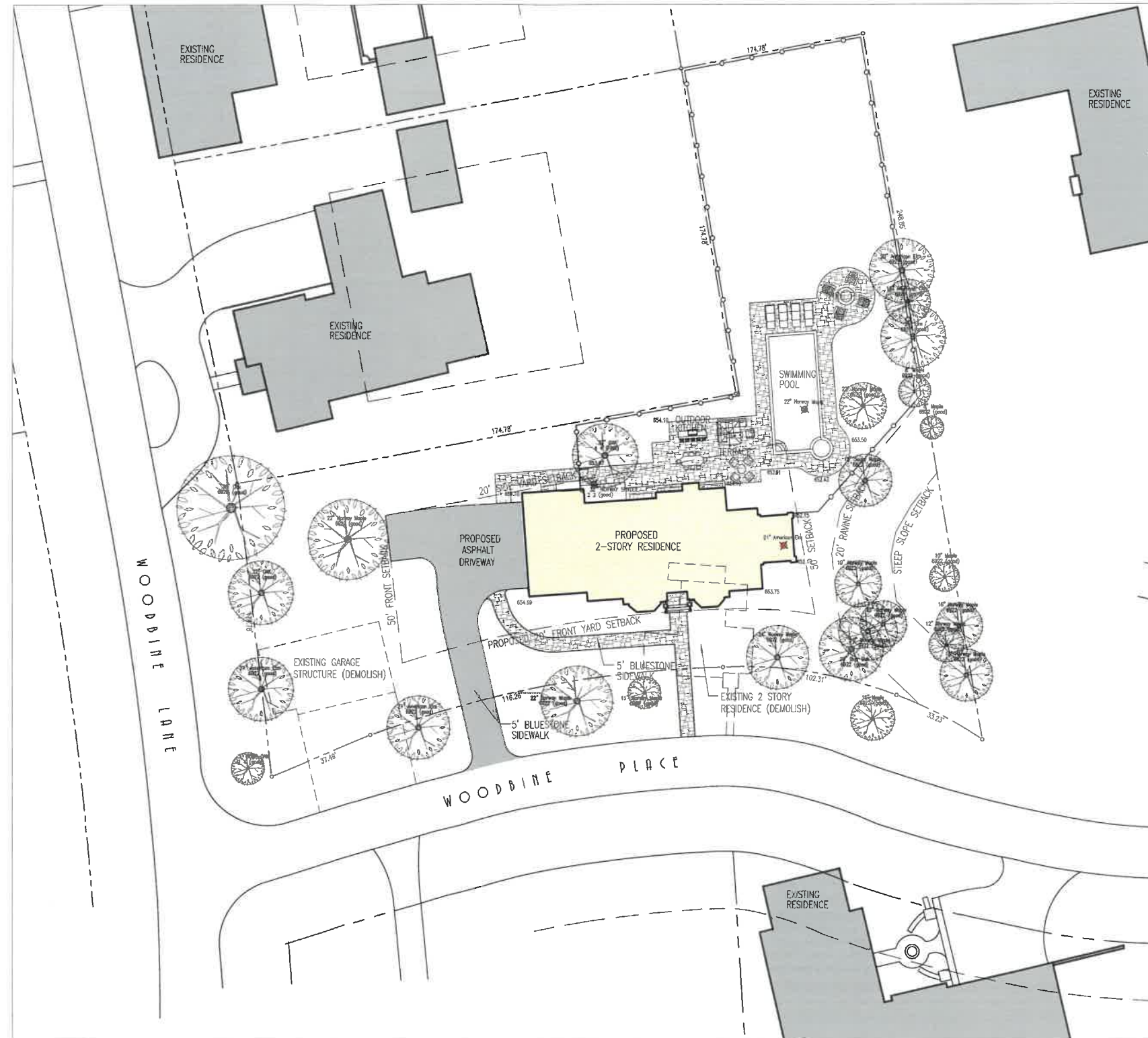
- TOPOGRAPHY PREPARED BY IG CONSULTING INC., 300 MARQUARDT DRIVE, WHEELING, ILLINOIS, (847) 215-1133 JOB# 25369
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATION. ARCHITECT PLANS PREPARED BY RM SWANSON ARCHITECTS, 11418 E MISSION LANE, SCOTTSDALE, ARIZONA, 847-757-3975

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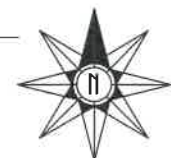
Materials from the February 25th Meeting

SITE PLAN - PROPOSED

FEBRUARY 25, 2026



SITE PLAN
1" = 20'-0"



January 10, 2026

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PROFESSIONAL DESIGN FIRM #18314

TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
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DESIGNED BY:
E.M. SWANSON

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1700

SHEET OF
-

SOUTH ELEVATION - PROPOSED

FEBRUARY 25, 2026



FRONT ELEVATION
1/4" = 1'-0"

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TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

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rswanson@rswanson.com

DESIGNED BY:
R.M. SWANSON

PREPARED BY:

DATE	COMMENT

PLAN NO.: 1700

SHEET OF -



Proposed 4" Stone Veneer; Fond Du Lac "Indigo Manor"



Proposed Exterior Cedar Wall Shingles w/ Cabots "Nantucket White" (Transparent)



Representative Color Palette: Exterior Cedar Wall Shingles w/ Cabots "Nantucket White" (Transparent), Federal Blue Shutter & Stone White Trim



Federal Blue Shutters



Marvin 1/4" Colonial Double Hung Windows w/ 1/4" SDL & Stone White Frames



Proposed Roof: Brava "Lake Forest" Composite Shingles



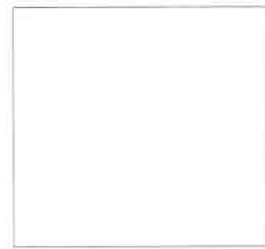
Proposed Porch & Terrace Stone: Bluestone



Propose Wall Sconce (Front Entrance)



Propose Wall Sconce (Garage & Rear)



Proposed "Adler Bracket"

THE TIMBOTA-BELIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS

NORTH ELEVATION – PROPOSED

FEBRUARY 25, 2026



REAR ELEVATION

1/4" = 1'-0"



Proposed Stone Fond Du Lac "Indigo Manor"



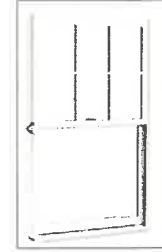
Proposed Exterior Cedar Wall Shingles w/ Cabots "Nantucket White" (Transparent)



Representative Color Palette: Exterior Cedar Wall Shingles w/ Cabots "Nantucket White" (Transparent), Federal Blue Shutter & Stone White Trim



Federal Blue Shutters



Marvin Colonial Double Hung Windows w/ 1/2" SDL & Stone White Frames



Proposed Roof: Brava "Lake Forest" Composite Shingles



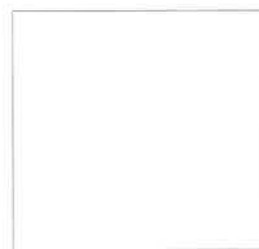
Proposed Porch & Terrace Stone: Bluestone



Propose Wall Sconce Fixtures



Propose Wall Sconce (Garage & Rear)



Proposed "Adler Bracket"

THE TIMBOTA-BELIA RESIDENCE
870 WOODBINE LANE, LAKE FOREST, ILLINOIS

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TIMBOTA-BELIA RESIDENCE
PROPOSED TWO-STORY DWELLING
870 WOODBINE LANE
LAKE FOREST, ILLINOIS

R.M. SWANSON ARCHITECTS
11418 E MISSION LN.
SCOTTSDALE, ARIZONA 85257-9975
rick@rswanson.com

DESIGNED BY:
R.M. SWANSON

PREPARED BY:

DATE:	COMMENT:

PLAN NO:
1700

SHEET OF
1

Agenda Item 4
595 Crab Tree Lane
Demolition of an Existing Garage, Garage and Mudroom Addition, and Roof and Window Replacement

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan – Existing
Site Plan – Proposed
Elevations – Existing and Proposed
Floor Plans – Existing
Floor Plans – Proposed
Tree Removal Plan

Correspondence

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Culbertson and members of the Historic Preservation Commission
DATE:	April 21, 2026
FROM:	Luis Prado, Assistant Planner
SUBJECT:	595 Crab Tree Lane

PROPERTY OWNERS

Taj and Adriana Reneau
145 Morris Lane
Lake Forest, Illinois 60045

PROPERTY LOCATION

595 Crab Tree Lane

HISTORIC DISTRICT

East Lake Forest

PROJECT REPRESENTATIVE

Scott Renken, architect
555 Oakwood Avenue
Lake Forest, IL 60045

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness approving demolition of a detached garage, a replacement attached garage and mudroom and related alterations, and window and roof replacement.

PROPERTY DESCRIPTION

The property is located on the south side of Crab Tree Lane, west of the intersection of Crab Tree Lane and Elm Tree Road. The property was originally part of the Kenneth Tempelton Estate. The existing house, also known as the Maurice H. Bent House, was constructed 1928 and is identified as a Contributing Structure to the Local Historic District. The garage was constructed in 1964.

Landmarks Illinois holds a Façade Easement on the original house. Landmarks Illinois approved the window replacement. A final decision on the proposed roof replacement and the addition has not yet been made on this request by Landmarks Illinois pending action at the local level by the Historic Preservation Commission.

STAFF EVALUATION

Site Plan and Proposed Addition

The existing home and detached garage are setback considerably from Crab Tree Lane and moderately screened by a significant number of mature trees. The attached garage and mudroom addition, proposed to the east of the home, will replace the existing, nonhistorical detached garage.

The addition is designed using the same architectural vernacular as the existing home. It is stepped back from the primary residence and scaled appropriately to be subservient of the home with respect to hierarchy of massing. The garage addition is located further from the east property line than the existing detached garage, however, the garage doors are proposed to face outward, towards the east property line, as opposed to the current inward orientation of the garage doors which face away from the neighboring property. Several existing mature trees which are proposed to remain at the

apron of the attached garage will help to mitigate potential off-site impacts from car headlights and taillights across from the proposed garage however, additional plantings may be necessary.

The existing property includes a U-shaped driveway with two curb cuts along Crabtree Lane. The driveway will be altered. The curb cut to the west and the portion of the driveway that provides access to the current garage are proposed for removal. The curb cut to the east will remain, leading to the attached garage and a new circular motor court at the front entrance of the home.

The garage and mudroom addition are designed to integrate with the existing architecture of the home while stepping back from the original front façade to distinguish the addition from the original structure. The mudroom and attached garage are intended to improve functionality for the family.

Findings

A staff review of the applicable standards in the City Code is provided below. Preliminary findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The overall height of the garage is 26 feet. The overall height of the home, 35 feet, will not change. The height of the garage and mudroom addition respect the primary residence and establish an appropriate hierarchy of massing.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade of the primary residence will not change aside from the limited scope of window replacement. The appearance of the front façade overall will be altered by creating a new front facing wing to the home however, as noted above, the addition is stepped back, designed in concert with the existing architectural style, and appropriately scaled.

Standard 3 – Proportion of Openings.

This standard is generally met. The proportions of the openings for the windows and service doors on the garage are compatible with the proportions of the openings around the residence and consistent on all four elevations.

Standard 4 – Rhythm of Solids to Voids.

This standard is met. The rhythm of solids to voids on all sides of the garage and mudroom is balanced and appropriate.

Standard 5 – Rhythm of Spacing and Structures on the Street.

This standard is met. The primary mass of the existing structure and its relationship to the street will not change. The proposed addition is set back, subordinate in scale, and largely screened from the street by existing trees. It will have limited impact on the streetscape rhythm and essentially visually replaces the mass of the existing detached garage as viewed from the street.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The existing primary entrance will not change. A new front facing covered service door is proposed at the mudroom however, it is modest in scale, does not undermine the primary entrance, and is consistent with the architectural style of the home. The addition of this secondary entrance is compatible with the established rhythm of entrances within the neighborhood.

Standard 7 – Relationship of Materials and Texture.

This standard is met. Overall, the materials will match the existing residence. The existing windows are wood with diamond pattern muntins. The new windows will be aluminum-clad wood windows with simulated divided lights and muntin bars affixed to the interior and exterior. The diamond pattern will be retained in the locations where the historic windows utilized this pattern.

The existing wood shake roof is proposed to be replaced with slate and the existing aluminum gutters and downspouts will be replaced with copper. Based on available records, the residence has never had a slate roof. The petitioners representative states that the owners are willing to do structural re-enforcements to the residence to support slate, however, the overall style of the home does not appear to align with the formality of a slate roof. The petition lists a Brava synthetic roof product which imitates cedar as an alternative.

Staff Recommendation: Install a Brava synthetic imitation cedar roof or an architectural asphalt shingle to remain true to the architectural style of the residence.

Standard 8 – Roof Shapes.

This standard is met. The roof design of the addition is simple and complementary to the existing residence.

Standard 9 – Walls of Continuity.

This standard is met. The proposed addition is set back from the primary façade and is compatible with the existing residence and the character of the streetscape.

Standard 10 – Scale.

This standard is met. The residence is presently 2,775 square feet or 35% under the maximum allowable square footage.

Based on the lot size, a residence of up to 7,899 square feet is permitted on the site. In addition, a garage of up to 800 square feet is permitted along with up to 790 square feet of design elements. The residence is currently 5,124 square feet. The addition adds 553 square feet to the first floor, 980 square feet at the second floor, and 778 square feet of excess garage square footage. With the additional square footage of 2,311 square feet, the total square footage of the house is 7,435 square feet, 464 square feet or 6% under the allowable square footage for this property.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The addition will be complementary to the existing directional expression.

Standard 12 – Preservation of Historic Material.

This standard is met. Limited portions of the residence will be impacted to accommodate the proposed construction. The distinguishing original qualities and character of the home will remain. Final approval of the addition will be subject to approval by Landmarks Illinois, the holder of a Façade Easement on the residence.

Standard 13 – Protection of Natural Resources.

This standard is mostly met. One dead tree and one tree in poor health are proposed for removal. As of the date of this report, a landscape plan has not been submitted. The petitioner intends to submit a landscape plan prior to the meeting. This plan should include foundation plantings to replace those impacted by

construction. The plan should also include screening across from the garage doors to mitigate potential offsite impacts of car headlights on the neighboring property to the east.

Standard 14 – Compatibility.

This standard is met. The architectural style, scale, materials, and detailing of the garage and mudroom addition are compatible with the home and surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is met. Non-historic windows will be replaced in the same configuration and consistent with the design of the original windows based on available information. Landmarks Illinois approved the proposed window replacement.

Standard 16 – Surface cleaning.

This standard is not applicable to this petition.

Standard 17 – Reversibility of Additions and Alterations.

This standard is met. If the addition were to be removed, the essential form and integrity of the historic residence would remain.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, one piece of correspondence was and is included in the staff packet.

RECOMMENDATION

Grant a Certificate of Appropriateness approving demolition of a detached garage, a replacement attached garage and mudroom and related alterations, and window and roof replacement. Staff recommends the following conditions of approval.

1. Replace the roof with a Brava imitation cedar product or architectural asphalt shingles to align with the architectural style and original construction of the residence.
2. Plans submitted for permit must reflect the project as presented to the Commission with the refinement as directed above. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.

The following plans and information must be submitted prior to the issuance of a building permit:

3. A detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall reflect foundation plantings to replace existing plantings impacted by construction and provide for the replacement inches of those trees

proposed for removal and any others which do not survive the construction process to the extent possible using good forestry practices. The final landscape plan shall show landscape screening across from the garage doors, along the east property line, to mitigate potential off site impacts of car headlights and views of vehicles and the garage doors.

4. A plan to protect any trees identified for preservation during construction as well as trees on neighboring properties that may be impacted. The plan will be subject to review and approval by the City's Certified Arborist. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan for pre and post construction treatments must be prepared by an independent Certified Arborist. The tree protection plan shall be subject to review and approval by the City's Certified Arborist.
5. An exterior lighting plan and cut sheets for all light fixtures. Except for lights illuminated by natural gas at low light levels, fixtures shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood.
6. A plan for contractor parking and material staging which minimizes impacts on the surrounding neighborhood. Crabtree Lane is a narrow street, the street must remain passable at all times and driveways along the street and sightlines to and from the driveways must remain clear. Any parkway damage must be repaired promptly and the street must be kept free of mud and debris at all times.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 595 Crab Tree Owner Taj and Adriana Reneau
 Architect Scott Renken Reviewed by: L. Prado
 Date 4/21/2026
 Lot Area 76242 sq. ft. Allowable Square Feet = 7899

Square Footage of Residence -- Existing

1st floor 2643 + 2nd floor 2265 + 3rd floor 216 = 5124 sq. ft.

Design Element Allowance = 790 sq. ft.

Total Actual Design Elements = 368 sq. ft. Excess = 0 sq. ft.

Garage 690 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Existing Residence = 5124 sq. ft.

DIFFERENTIAL (Existing) = 2775 sq. ft. **35 % Under Maximum**
Under Maximum

Square Footage of Proposed Addition:

1st floor 553 + 2nd floor 980 + 3rd floor 0 = 1533 sq. ft.

Garage 1578 sf actual ; 800 sf allowance Excess = 778 sq. ft.

TOTAL SQUARE FOOTAGE = 7435 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 7899 sq. ft.

DIFFERENTIAL = 464 sq. ft. **NET RESULT:**
Under Maximum **464 sq. ft. is**

Allowable Height: 40 ft. Actual Height 36 ft. **6% Under Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 790 sq. ft.

- Open Porches = 55 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 0 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Dormers = 221 sq. ft.
- Bay Windows = 92 sq. ft.

Total Actual Design Elements = 368 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
595 Crab Tree Lane

E CRAB TREE LN

N ELM TREE RD

E SPRUCE AVE

N LAKE RD

E WOODLAND RD

N DOW LN

E PINE LN

N SHERIDAN RD



E CRAB TREE LN

N ELM TREE RD

Area of Request
595 Crab Tree Lane



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 595 CRABTREE LN, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION


TAJ RENEAU & ADRIANA RENEAU
Owner of Property

145 MORRIS LN.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL. 60045
City, State and Zip Code

224-300-1189 —
Phone Number *Fax Number*

TAJRENEAU@gmail.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

SCOTT RENKEN, ARCHITECT
Name and Title of Person Presenting Project

RENKEN ARCHITECTS AND BUILDERS LLC
Name of Firm

555 OAKWOOD AVE.
Street Address

LAKE FOREST, IL. 60045
City, State and Zip Code

347-343-8162 —
Phone Number *Fax Number*

SCOTRENKEN1@COMCAST.NET
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick **(PAINTED)**
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other **WD TRIM**

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material **CONC.**

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood (recommended) **EXISTING**
- Aluminum Clad **NEW WINDOWS**
- Vinyl Clad
- Other _____

Color of Finish **DARK BRONZE**

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended) **ON RECTANGULAR MUNTINS ONLY**
- Interior muntin bars only
- Exterior muntin bars only **LEAD DIAMOND PATTERN ON EXT.**
- Muntin bars contained between the glass **ONLY OF NEW REPLACEMENT WINDOWS**

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood **(SOME HARDIE & HALF TIMBER)**
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes **(EXISTING)**
- Slate **(PROPOSED)**
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Other _____
- Sheet Metal

Color of Material _____

Gutters and Downspouts

- Copper **(PROPOSED)**
- Aluminum **(EXISTING)**
- Other _____

Driveway Material

- Asphalt **EXISTING & PROPOSED**
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone **EXISTING & PROPOSED**
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



Renken Architects & Builders LLC

To: Lake Forest Historical Preservation Commission

4/1/26

Re: **595 CRABTREE LN., LAKE FOREST, IL.**

Dear Commission Members,

We respectfully submit the HPC Application for a Certificate of Appropriateness with the supporting documents attached for a renovation of the existing home and an addition.

STATEMENT OF INTENT

Home History:

- 1923: Platted
- 1928: Permit for construction by Maurice Bent, Owner. Architect is unknown
- 1930 (approx.): home construction completed
- The home had various Owners over the years, and for the past several years has been vacant.
- 1969 basement remodel
- 1970's or early 80's -Detached garage built and original attached garage converted to a family room. Kitchen remodeled.
- 1990: removal of some bedroom walls and other changes.
- 1992: Some original windows were removed and replaced with new Pella windows. The areas include the sunroom, family room, breakfast room and other areas. The new windows are aluminum clad wood with lead tape applied to the exterior of the insulated glass. The proportions of the diamonds do not match the original windows.
- 1997: work on the driveway
- 1998: latest replacement of the cedar shake roof.

DESCRIPTION OF THE CURRENT HOME:

This home is of Tudor style characterized by painted brick and cementitious stucco/ half -timber dormers, sunroom and dining room, and is a designated Historical Structure in Lake Forest. The roof pitches are primarily 9-1/2: 12. The home is situated on a large 1.8 acre lot and set back from the street with many mature trees. There is a ravine far in the rear yard. The driveway is a double asphalt curb cut in a U-shape. The garage is detached and located 52' from the nearest point of the house and nearly 70' from any entry door with no mudroom. For several years the home has been vacant, is bank owned, and has deteriorated to the point that water intrusion and general neglect has caused mold and makes the home uninhabitable. Woodpeckers and lack of maintenance has damaged the exterior wood trim in the half-timber elements. The roof leaks and needs replacement. Some of the existing windows have been covered and are deteriorated beyond repair.



Renken Architects & Builders LLC

DESCRIPTION OF PROPOSED IMPROVEMENTS:

In October, 2025, Taj and Adriana Reneau purchased the property with a vision of restoring this magnificent home and property to its original glory. To meet the needs of the new Owner as well as bring the home up to today's living standards for a home of this caliber, an addition is proposed- a 4-car garage with a mudroom link that would replace the non-historical detached garage, which is located far from the house. The challenge was to let the existing home stand out as the primary feature and to not change the front and sides of the existing home, which will be fully exposed, as they are now. Any addition would need to be set back, be subservient to the original home and step down in a hierarchy of forms. The detailing such as the roof pitch, style, exterior materials and proportions of windows to mass needs to match the existing home. We accomplished this by designing a 1-1/2 story garage that is set back and attached on the rear and left of the home with a low link element that forms the mudroom. A service door in the link replaces a 1970's added door that now enters the family room. The new door better matches the architectural style of the home. The current detached garage, which is not deemed historic, would be demolished. The new garage would be side loaded from the east and works into the current u-shaped driveway seamlessly and has virtually no impact on any large or healthy trees. This addition satisfies the need of the Owner in a tasteful manner, enhances the beauty of the overall structure, and most importantly, allows the original home to stand out as the primary feature.

The curb cut to the east would be retained and the circular terminus drive feature would be added, centered on the front door. The westerly curb cut may be eliminated, however that will be decided at a later date.

EXTERIOR MATERIALS:

WALLS:

Existing walls are predominately white painted brick with secondary areas of half-timber and stucco. Wooden flower boxes are located on 3 window groupings, 2 in front and 1 in the rear. These need to be re-built in cedar, but we intend to retain the same locations as well as adding matching planter boxes on the new garage front. Most areas of the home have exposed wood rafter tails with gutters hung directly on without a fascia bd.

Due to the rotten condition of much of the wood at the half-timber areas, we propose to use a smooth Hardie bd. product substitution in these locations. Any rake or fascia boards would be cedar. Any stucco that needs repair will match the existing cementitious stucco in color and texture. The new addition will match the existing in material and detail with painted brick, trim and stucco.

It should be noted that the family room fireplace and chimney located on the left side of the home was added in the 1970's. This does not blend in with the architecture as it extends up through the roof and looks out of place and out of scale. It partially blocks the view of the French door on the second floor, left end of the home. We intend to eliminate the fireplace and chimney. That is the area where the new addition attaches to the house.



Renken Architects & Builders LLC

ROOF AND GUTTERS:

There are no photographs or documentation of the original roofing material. In 1998 there was documentation of the cedar roofing being replaced which is now leaking and in need of replacement again. The Owner prefers a new Vermont slate roof in a 1/4"- 3/8" thickness. We would fortify the structure for this product. Alternately, a Brava synthetic cedar product would be our second choice. We ask that these 2 options be approved. Replacing the cedar shakes is not a good option due to the poor quality of cedar today as well as the difficulty of insurance issue. The existing gutters and downspouts are aluminum, most likely replacing the original copper at some point. The proposed gutters are 16 oz. half round copper with hand mitered corners and 4" 16 oz. round copper downspouts.

WINDOWS:

About half of the original windows are single pane individual diamond glass pattern with lead dividers. Some windows are in reasonable condition while some are falling apart. None have good insulating qualities. In about 1992, about half of the windows were replaced with Pella windows. These newer windows have insulated glass and lead tape applied to the exterior. The diamond pattern does not match the original windows, and the width of the lead tape is much thicker than the original. The Pella windows are wood with aluminum cladding while the original windows are wood inside and outside.

We plan to restore a group of **original** windows around the front entrance per elevation. All other windows will be replacement Marvin highest quality windows with simulated lights in a rectangular muntin pattern. All Pella windows that are not original fall into the replacement category as well as some of the original windows. In researching this decision, we found that any new window that would have a diamond pattern would have an aftermarket lead tape glued on insulated glass and would be subject to peeling, etc. We think that a rectangular simulated lite window is a better solution that provides energy efficient windows and fits the architecture. There are many examples of English Tudor historic homes that have a combination of diamond leaded glass and rectangular muntins.

The windows in the addition will obviously be new. All new windows will be Marvin casement wood windows with exterior bronze aluminum cladding and insulated glass. All new windows would be dark bronze, matching the existing window color.

DOORS:

The current wood front door will remain and be restored. The new service doors on the link front and rear will be custom mahogany, stained to match the front door in a Tudor style per elevation. The new garage doors will be custom arched doors per elevation in either wood or fiberglass that simulates mahogany wood. The surrounds will be limestone.



Renken Architects & Builders LLC

HARDSCAPES:

The current raised patio would be rebuilt in approximately the same location with steps as required on the rear and east side. The material would be thermal bluestone. The retaining walls would be a warm color natural stone similar to existing landscape stone.

The 2 front walks would be thermal bluestone.

The current asphalt driveway has 2 curb cuts on Crabtree Ln. and forms a large u-shape. We propose to retain the easterly curb cut with the drive in approximately the same location and terminate in a circular drive centered on the front door. The westerly curb cut would be abandoned and filled in with grass or landscaping, however there is the possibility that the westerly curb cut would be retained. The new garage is side loaded from the east, so the asphalt approach would extend from the u-shape drive as shown on the site plan. It should be noted that the eastern end of the new garage approach pavement is about where the eastern edge of the existing garage is located.

LANDSCAPE & TREES:

There are many mature trees on the site. The proposed circular drive and new garage position will have minimal impact on the trees. We will work with the City Forrester on any issues.

New ground plantings will be replaced at the front of the existing home and new ground plantings will be added to the addition per our final landscape plan.

HISTORIC PRESERVATION ORDINANCE STANDARDS- for addition and alteration

- 1) *HEIGHT. Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visually related.*

The height of the building will not change. The addition is of lower height and is compatible with the neighborhood.

- 2) *PROPORTION OF FRONT FAÇADE. The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related*

The relationship of width to height fits in with larger estate type homes in the area

- 3) *PROPORTION OF OPENINGS. The relationship of the width to height of windows and doors shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which the building is visibly related.*

The windows and doors of the new addition match in proportions to the existing home. Original historic windows around the front entrance will be preserved and restored. Replacement windows throughout are Marvin casement with rectangular simulated lights, consistent with the architectural character of the home and many precedents in English Tudor historic renovation.



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- 4) *RHYTHM OF SOLIDS TO VOIDS IN FRONT FAÇADE. The relationship of solids to voids in the front façade of a structure shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visibly related.*

The rhythm of solids to voids in the new addition matches the existing house nicely.



Renken Architects & Builders LLC

- 5) *RHYTHM OF SPACING AND STRUCTURES ON STREETS. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the properties, structures, sites, public ways, objects, and places to which it is visibly related.*

The relationships of our home and addition to adjacent homes is virtually unchanged. In fact, we are further from adjacent properties than the existing detached garage. In addition, there is sufficient mature landscaping between properties.

- 6) *RHYTHM OF ENTRANCE PORCHES, STOREFRONT RECESSES, AND OTHER PROJECTIONS. The relationship of entrances and other projection to sidewalks shall be visually compatible with properties, structures, sites, public ways, objects, and places to which they are visibly related.*

The front service entrance relates to the circular drive and the street. The rear door in the link relates to the large rear yard.

- 7) *RELATIONSHIP OF MATERIAL AND TEXTURE. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related.*

The materials of the addition match the original home.

- 8) *ROOF SHAPES. The roof shape of a structure shall be visually compatible with the structure to which it is visually related.*

The addition roof pitch and hip vocabulary is matched exactly with the original home. Any new dormers are half -timber and match the original home.

- 9) *WALLS OF CONTINUITY. Facades and property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places which such elements are visually related.*

This does not apply to this project

- 10) *SCALE OF STRUCTURE. The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, and balconies shall be visually with the properties, structures, sites, public ways, objects, and places to which it is visually related.*

There are no close adjacent structures and the mass in relationship to open spaces is virtually the same.



Renken Architects & Builders LLC

- 11) *DIRECTIONAL EXPRESSION OF FRONT ELEVATION. A structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related in its directional character, whether this be vertical, horizontal or non-directional character.*

The front of the home faces north toward the street. The new service door faces north which is compatible with the driveway and extends east to west as does the house. The short dimension of the new garage faces the front to minimize the garage massing from the street, similar to the existing detached garage (to be demolished)

- 12) *PRESERVING DISTINGUISHING FEATURES. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.*

All distinctive features of this historic home are being preserved and the character of the property is actually enhanced.

- 13) *PROTECTION OF RESOURCES. Every reasonable effort shall be made to protect and preserve archeological and natural resources affected by, or adjacent to any project.*

This does not apply to this project.

- 14) *NEW CONSTRUCTION. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement of compatibility.*

This is not new construction

- 15) *REPAIR TO DETERIORATED FEATURES. Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of Interior Standards for Treatment of Historic Properties. Repair or replacement should be based on accurate duplications or features and should match the materials being replaced in composition, design, color, texture and other visual qualities.*

Deteriorated elements will be replaced with materials that match in material or appear identical.

- 16) *SURFACE CLEANING. The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the significant materials shall not be undertaken.*

No excessive surface cleaning is anticipated.



Renken Architects & Builders LLC

17) *REVERSIBILITY OF ADDITIONS AND ALTERATIONS. Whenever possible, additions or alterations to historic properties shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.*

The proposed addition is perfectly positioned to adhere to this point. It is located on the left end of the historic house and extends beyond the existing structure, so the original integrity could be restored if removed.

STANDARDS FOR REHABILITATION PER SECRETARY OF INTERIOR

- 1) *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and special relationships.*
The structure will remain a single-family home as originally intended.
- 2) *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces and special relationships that characterize a property will be avoided.*
The historic character of the property will be preserved.
- 3) *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.*
The home and addition will remain true to the Tudor style.
- 4) *Changes to a property that have acquired historical significance in their own right will be retained and preserved.*
The home has no significant or historical changes.
- 5) *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserve.*
We intend to preserve distinctive features and materials as much as possible, including front door, limestone surround, distinctive decorative fascia in gable end above front door, some leaded glass windows and most of the stucco, rafter tails, brick, etc.



Renken Architects & Builders LLC

- 6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement or missing features will be substantiated by documentary and physical evidence.*

The only replacement items proposed are certain windows and rotten trim. These replacements will match the design, color and texture of the original elements.

- 7) *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historical materials will not be used.*

We do not intend to use any harsh chemicals.

- 8) *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This does not apply to this property.

- 9) *New additions, exterior alterations, or related new construction will not destroy the historic materials, features and special relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and environment.*

Our addition of an attached garage conforms in every respect to this statement. A more detailed description of the addition can be found in the “description of improvements”. The addition was purposely recessed back so that the original home remains the focus. In fact, the front and both sides remain essentially as is. And are not affected by the addition. All detailing, materials, roof pitches, etc. match the existing and enhance the character of the entire property while providing the needed amenities which would be expected in a home of this caliber.

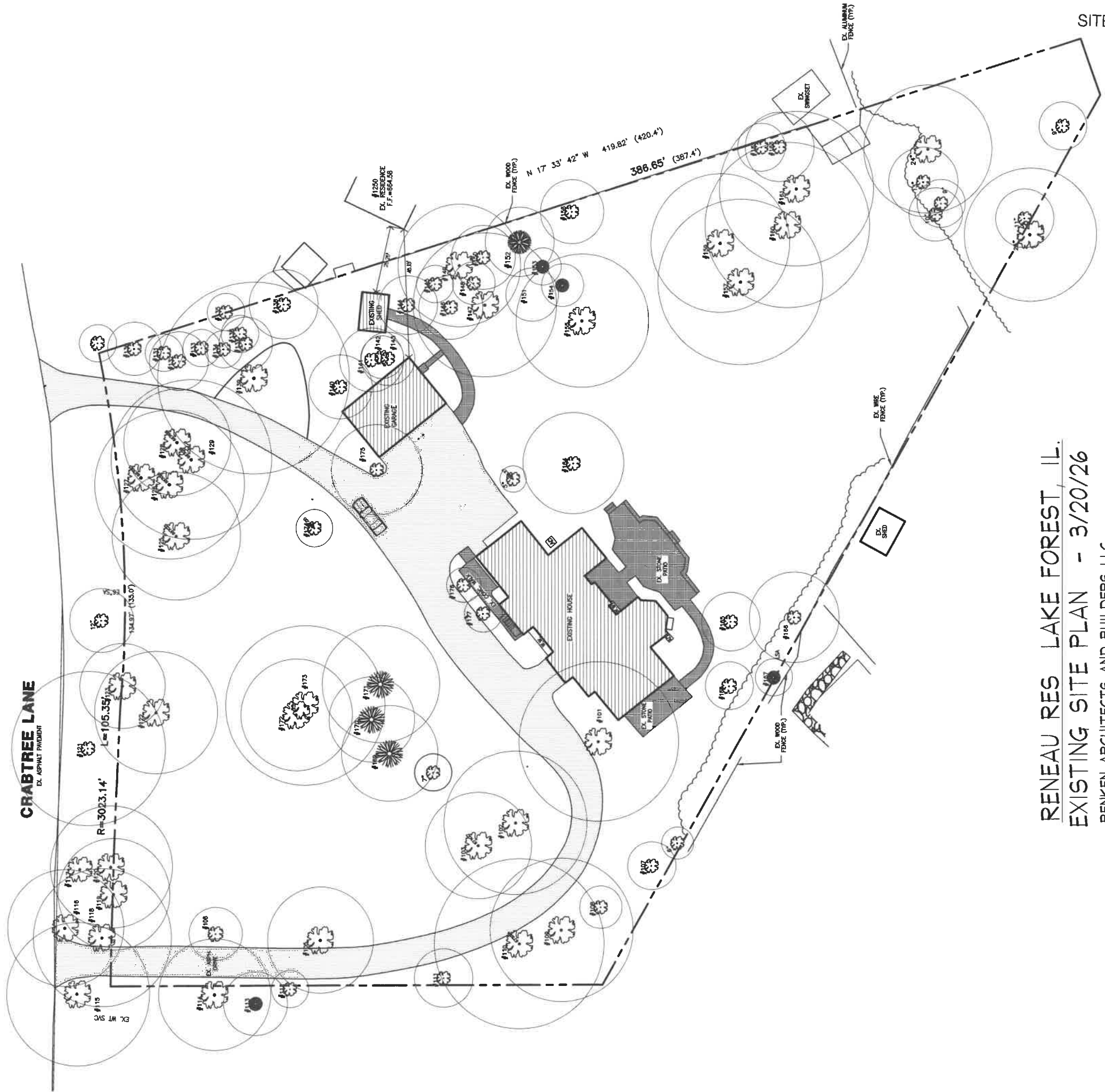
- 10) *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

This could be accomplished due to the location of the addition.

Sincerely,

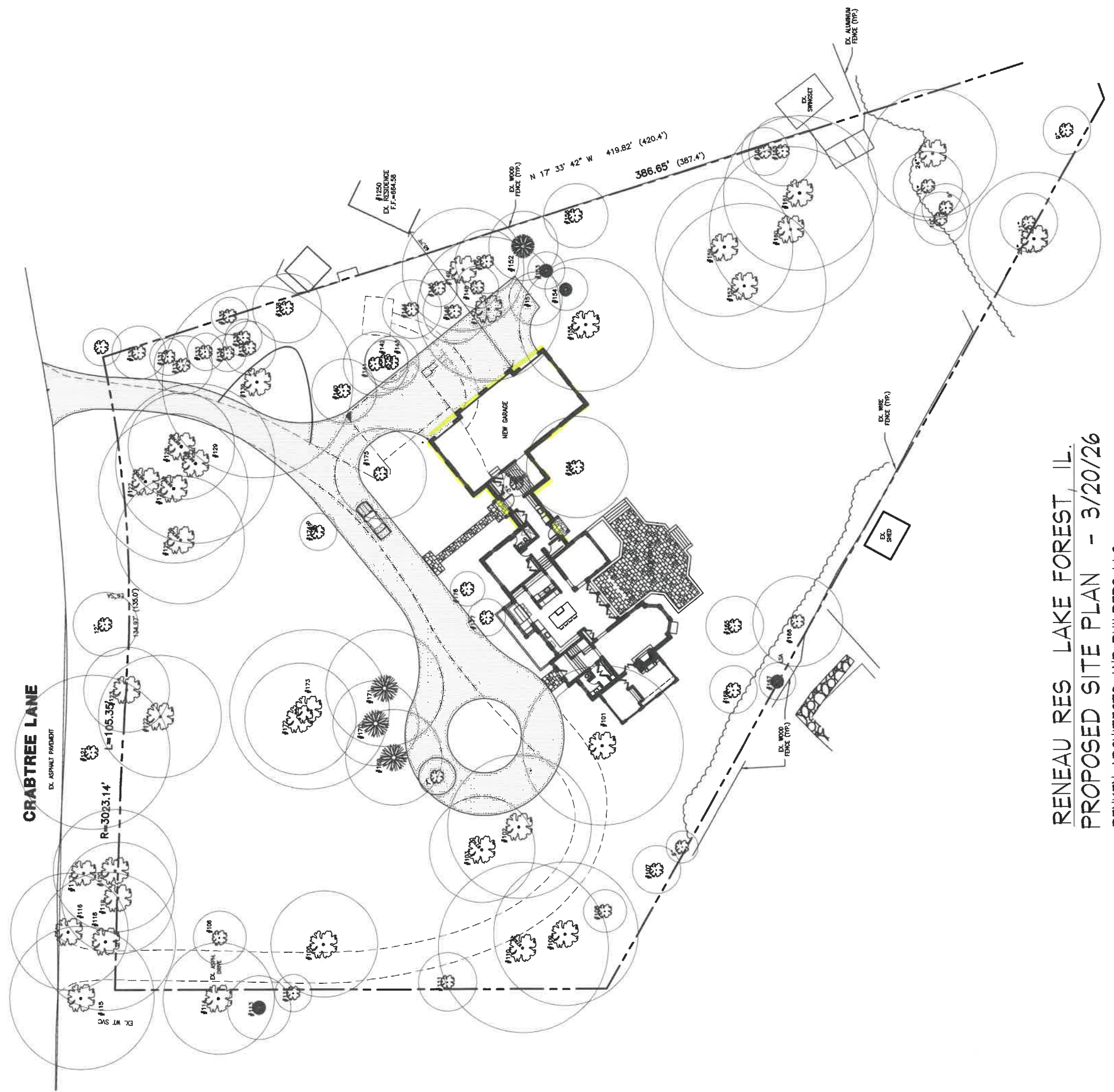
Owner: Taj & Adriana Reneau

Architect: Scott Renken



RENEAU RES LAKE FOREST, IL.
 EXISTING SITE PLAN - 3/20/26

RENKEN ARCHITECTS AND BUILDERS LLC



SITE PLAN
PROPOSED

RENEAU RES LAKE FOREST, IL.
PROPOSED SITE PLAN - 3/20/26
RENKEN ARCHITECTS AND BUILDERS LLC

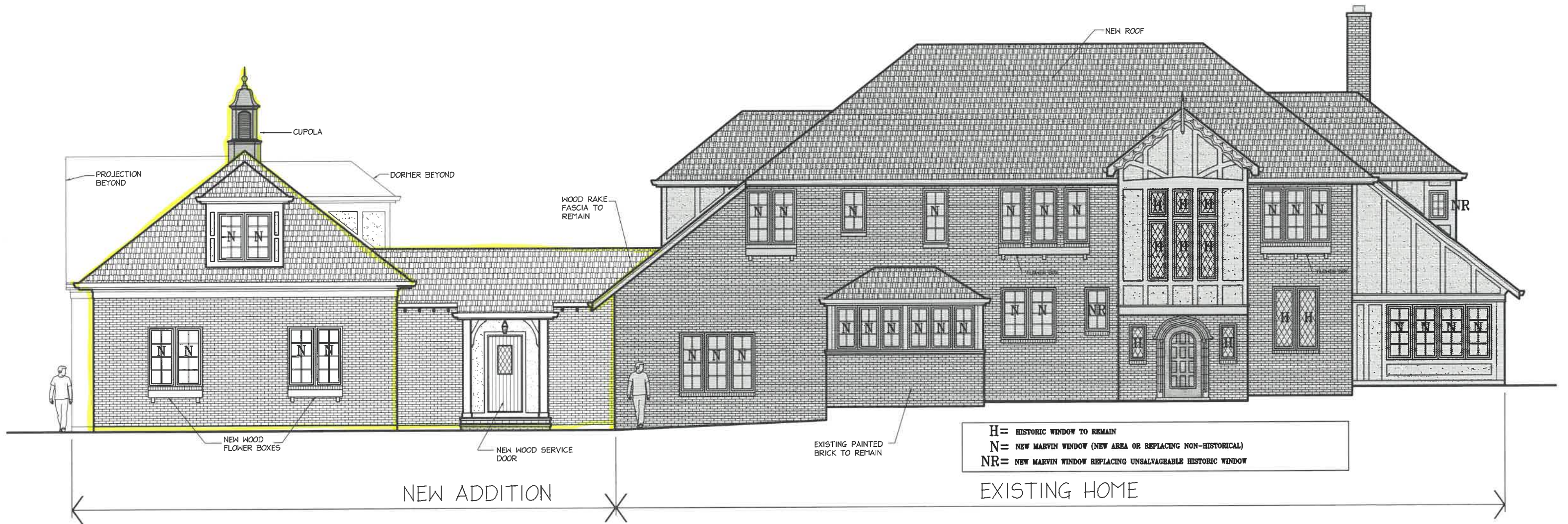


H = HISTORIC WINDOW
P = PREVIOUSLY REPLACED WINDOW, NOW NON-HISTORICAL

EXISTING FRONT ELEVATION - 3/20/26

NORTH ELEVATION

PROPOSED



H - HISTORIC WINDOW TO REMAIN

N - NEW WINDOW (NEW OR REPLACEMENT OF NON-HISTORIC WINDOW)

NR - NEW WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW



H= HISTORIC WINDOW
P= PREVIOUSLY REPLACED WINDOW, NOW NON-HISTORICAL

EXISTING LEFT SIDE ELEVATION - 3/20/26

EAST ELEVATION
PROPOSED



LIMESTONE GARAGE
DOOR SURROUNDS

H= HISTORIC WINDOW TO REMAIN
N= NEW MARVIN WINDOW (NEW AREA OR REPLACING NON-HISTORICAL)
NR= NEW MARVIN WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW

NEW GARAGE

HOME BEYOND



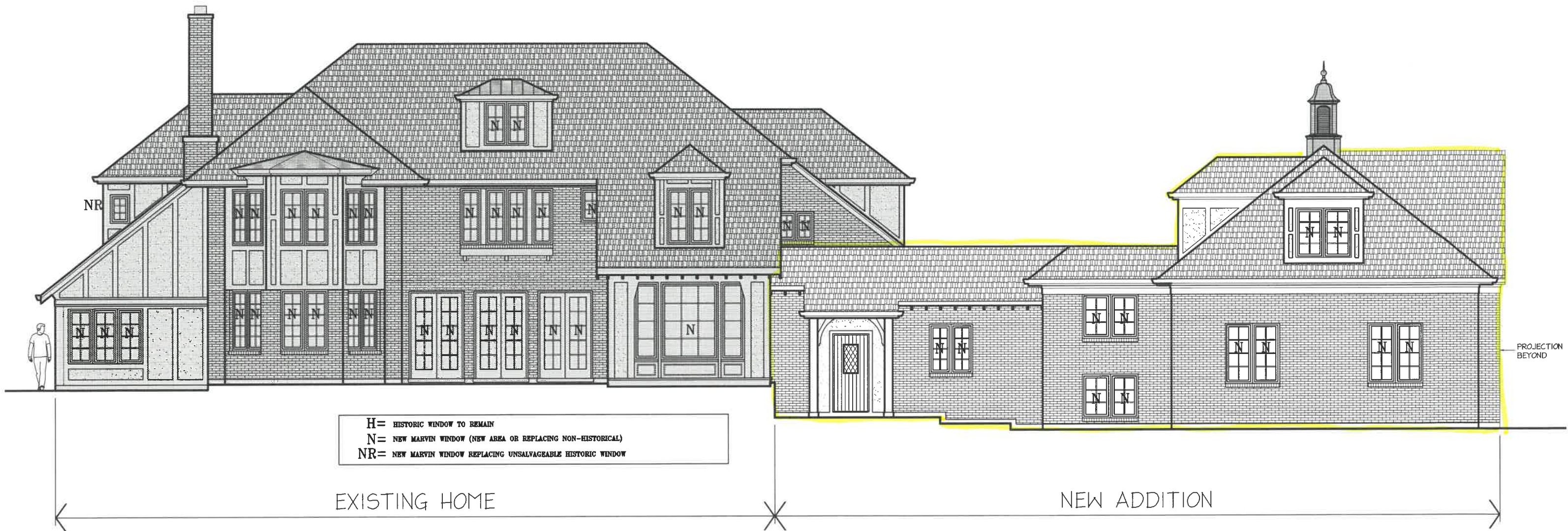


H = HISTORIC WINDOW
P = PREVIOUSLY REPLACED WINDOW, NOW NON-HISTORICAL

EXISTING REAR ELEVATION - 3/20/26

SOUTH ELEVATION

PROPOSED



H= HISTORIC WINDOW TO REMAIN
N= NEW MARVIN WINDOW (NEW AREA OR REPLACING NON-HISTORICAL)
NR= NEW MARVIN WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW

EXISTING HOME

NEW ADDITION

H - HISTORIC WINDOW TO REMAIN

N - NEW WINDOW (NEW OR REPLACEMENT OF NON-HISTORIC WINDOW)

NR - NEW WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW



H = HISTORIC WINDOW
P = PREVIOUSLY REPLACED WINDOW, NOW NON-HISTORICAL

EXISTING RIGHT SIDE ELEVATION - 3/20/26



H = HISTORIC WINDOW TO REMAIN
N = NEW MARVIN WINDOW (NEW AREA OR REPLACING NON-HISTORICAL)
NR = NEW MARVIN WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW

EXISTING HOME

NEW GARAGE BEYOND

H - HISTORIC WINDOW TO REMAIN

N - NEW WINDOW (NEW OR REPLACEMENT OF NON-HISTORICAL WINDOW)

NR - NEW WINDOW REPLACING UNSALVAGEABLE HISTORIC WINDOW

Tree Preservation Survey			595 Crabtree Lake Forest, IL	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)	NOTES / LOCATION
101	30	Sugar Maple	4	
102	27	Sugar Maple	3	
103	20	Sugar Maple	3	
104	27	White Oak	6	
105	20	Sugar Maple	4	
106	10	Crabapple	4	
107	9	Crabapple	4	
108	8	Crabapple	4	
109	27	White Oak	3	
110	32	Sugar Maple	3	
111	11	Sugar Maple	3	
112	7	Sugar Maple	3	
113	12	Spruce	3	
114	21	Sugar Maple	3	
115	27	White Oak	3	
116	22	White Oak	3	
117	26	White Oak	6	
118	26	White Oak	3	
119	21	White Oak	3	
120	23	White Oak	3	
121	29	Sugar Maple	3	
122	23	Red Oak	3	
123	16	Red Oak	3	
124	27	Red Oak	3	
125	24	White Oak	3	
126	28	White Oak	3	
127	19	White Oak	3	
128	20	White Oak	3	
129	30	White Oak	3	
130	10	Sugar Maple	3	
131	7	Sugar Maple	3	
132	11	Sugar Maple	3	
133	7	Norway Maple	3	
134	7	Sugar Maple	3	
135	7	Norway Maple	3	
136	7	Sugar Maple	3	
137	10	Sugar Maple	3	
138	13	Norway Maple	3	
139	36	White Oak	4	
140	12	Sugar Maple	3	
141	12	Sugar Maple	3	
142	8	Sugar Maple	3	
143	10	Sugar Maple	3	
144	11	Sugar Maple	3	
145	7	Sugar Maple	3	
146	12	Sugar Maple	3	
147	27	White Oak	4	No top
148	8	Sugar Maple	3	
149	23	Red Oak	5	Decay at base
150	12	Sugar Maple	3	
151	10	Hemlock	3	
152	13	Sugar Maple	3	
153	7	Hemlock	3	
154	8	Hemlock	3	
155	25	White Oak	3	
156	12	Sugar Maple	3	
157	31	White Oak	3	
158	16	White Oak	6	
159	26	White Oak	3	
160	31	White Oak	3	
161	29	White Oak	3	
162	9	Sugar Maple	4	
163	13	Linden	4	
164	19	Crabapple	3	
165	11	Crabapple	4	
166	17	Sugar Maple	3	
167	8	White Pine	3	
168	9	Crabapple	4	
169	18	White Pine	3	
170	16	White Pine	3	
171	22	White Pine	3	
172	21	White Oak	3	
173	30	White Oak	3	
174	7	Crabapple	4	
175	17	Hawthorn	3	
176	14	Crabapple	4	
177	13	Crabapple	4	
Lou Leggett				
Certified Arborist #177				
847-561-7061				

Agenda Item 5
479 E Illinois Road
New House on a Vacant Lot

Staff Report
Building Scale Summary Sheet
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey
Site Plan
Elevations
Roof Plan
Building Section
Floor Plans
Tree Survey
Conceptual Landscape Plan
Engineering Plan

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Culbertson and members of the Historic Preservation Commission
DATE:	April 21, 2026
FROM:	Susan Thomas, Assistant Director of Community Development
SUBJECT:	479 Illinois Road – New Single-Family Residence

PROPERTY OWNER

Benjamin Huey
3443 W. Drummond Place
Chicago, IL 60647

PROPERTY LOCATION

479 Illinois Road

HISTORIC DISTRICTS

East Lake Forest

CONTRACT PURCHASER

Michael and Hilary Orłowski
10426 White Bridge Lane
Saint Louis, MO 63141

PROJECT REPRESENTATIVE

Jeff Letzter, Aspect Design
26575 Commerce Drive
Volo, IL 60073

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness for a new residence with an attached garage and the associated hardscape and landscape plans on a vacant lot.

PROPERTY DESCRIPTION

The property is a lot in depth and is located on the west side of Illinois Road, north of Rosemary Road. The property does not have any street frontage. The parcel was created by the Sloan Subdivision which was recorded in 2022. Prior to subdivision, the property was part of the lot to the north, 477 Illinois Road, an expanded yard area for the residence on that property. There are several lot-in-depth properties along Illinois Road. The two lots, 477 and 479 Illinois Road are accessed by a shared driveway that extends from Illinois Road, west. Beyond the shared driveway, an access easement across the 477 Illinois Road property provides access to the subject property.

The subject property is largely open with vegetation along the east and south property lines as well as along the west property line. The Robert McClory Bike Path is situated directly to the west of the property and beyond that, the railroad tracks. The home immediately to the east sits close to the east property line of the subject property as a result of a much earlier transfer of land from that property owner to the prior owner of the 477 Illinois Road property. The proposed residence will likely not be visible from Illinois Road, as an existing home and vegetation screening blocks views from the street.

STAFF REVIEW

An overview of the project is provided below. Additional details are available in the Commission's packet in the materials provided by the petitioners and their representative.

Site Plan

The proposed residence is significantly set back from the street, centered on the lot. As a lot-in-

depth, the buildable area is set back 40 feet from all property lines.

As noted above, an existing shared driveway provides direct access to the 477 and 479 Illinois Road properties with an access easement across the southeast corner of the 477 property providing a connection to the subject property. A 16-foot wide driveway is proposed on the subject property. The driveway enters the subject property from the northeast corner of the lot and terminates at a garage located on the east side of the home. A brick walkway from the driveway provides access to the front entrance of the residence.

A proposed brick landscape retaining wall sits west of the home and angles toward the residence at the north and south ends. The height of the wall starts at .5 feet at the north and south ends before rising to 4 feet in the center. Details of the wall will be required at the time of submittal for permit.

Proposed Residence

As described in the petitioner's Statement of Intent, the proposed residence, the front elevation in particular, is designed in a Colonial Revival architectural style to integrate into the architecture of the surrounding neighborhood. Colonial Revival style homes are often recognized for their symmetrical façade, rectangular double hung sashed windows, central entrances, hipped roofs with or without full-width porches, and moldings. The style is classic and harmonious with a sense of formality and proportion.

The proposed home's central mass is symmetrical and features a covered front entry porch framed with columns. A single door is proposed with sidelights and a fanlite window capping both the door and the sidelights. A small balcony with a railing is located above the front entrance. It does not appear to be accessible from the second floor and appears to be decorative only. Three gabled dormers are located on the front elevation with a brick chimney offset from the center of the main mass also visible. Dentil moldings located on the fascia board directly under the roofline are carried through most elevations. The home is flanked with one-story wings on either side of the central mass. The wings are asymmetrical both in massing and roof forms.

The east and west (side) elevations do not appear to rise to the level of articulation as the front elevation. Of particular note, there are no second floor windows on either side elevation. The rear elevation is a combination of elements including two single story turret type elements and a balcony which like the similar element on the front elevation, does not appear to be accessible, only decorative. A covered terrace/outdoor kitchen area steps out from the center of the rear elevation.

- Consider carrying the dentil moldings through the entire west and south elevations
- Consider stepping in the east wing for greater symmetry between the wings.
- Consider having a uniform gable style and materials on the front façade wings.

Findings

A staff review of the applicable standards in the City Code is provided below. Preliminary findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met.

The proposed residence complies with the maximum allowable height. The overall height is

generally consistent with surrounding homes, and the visual impact of the structure on the streetscape is largely mitigated by the setback from the street although because it is a lot in depth, the home is close to private areas of homes to the north, east, and south. As noted above, the home on the lot directly to the east of the subject property is located close to the property line.

The east elevation of the proposed home features a three-car attached garage that is stepped down from the central mass to a height of 19 feet.

Standard 2 – Proportion of Front Façade.

This standard is mostly met. The front central mass of the home is proportional and symmetrical. There is a clear hierarchy of massing with the home stepping down on the east and west sides. There is less proportionality with the proposed wings than with the central mass. Consideration should be given to refining the wings to improve upon the proportions and to achieve greater consistency.

Staff Recommendation: Refine the wings to improve the proportions of the front façade.

Standard 3 – Proportion of Openings.

This standard is mostly met. The size and proportion of windows and doors are generally compatible with the architectural style and surrounding area. The windows are largely vertically oriented and generally consistent in size, shape and alignment. There is less proportionality on the west elevation, where the arrangement, quantity, and size of the windows is less consistent. The south (rear) elevation features windows with turret type elements. French doors to access the covered terrace and different sized windows on the first and second floors. The double-hung windows featured on the side elevations are generally consistent with windows around the home however, as noted previously, there are no windows on the side elevations into the second floor space.

There are two skylights located on both the east and west elevations of the central mass of the residence. There may be off-site light spillover onto the neighboring property to the east considering its location to the property line. Given the skylights are located on the roof of the central mass, the proposed three 7-foot Norway Spruces and any remaining existing deciduous trees will not provide sufficient year-round vegetative screening.

Staff Recommendation: Refine the windows to achieve greater consistency in style, placement, and size on the side and rear elevations.

Staff Recommendation: Eliminate the skylights on the east facing roof slope.

Standard 4 – Rhythm of Solids to Voids.

This standard can be met. Solids and voids are well balanced on the north and south elevations. The absence of any openings on the second floor on both the east and west elevations creates a long expanse of unbroken wall.

Staff Recommendation: Explore the opportunity to break up the second floor walls on the side elevations.

Standard 5 – Rhythm of Spacing and Structures on the Street.

This standard is not applicable to this request. The new residence does not front on the street.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The front entrance is clearly defined and appropriately scaled. It is centered on the main mass of the home, prominent on the front elevation and is aligned with the dormers above.

Standard 7 – Relationship of Materials and Texture.

This standard is generally met given the location of the residence away from the streetscape. The exterior walls are Hardie Board horizontal siding in white. The primary roof forms will be architectural asphalt shingles with aluminum flashing. White aluminum clad wood double hung windows with interior and exterior affixed muntin bars are proposed. Wood trim for the doors and windows along with wood fascia and soffits are proposed. The chimney will be brick with a clay chimney pot. The gutters and downspouts are aluminum.

The driveway will be asphalt. The rear terrace and patio areas will be brick pavers.

Standard 8 – Roof Shapes.

This standard is generally met. The roof over the main mass is simple in form. The roof forms on the two wings are not consistent and should be reconsidered. The turret type elements on the south elevation add complexity to the mostly simple roof forms and should be reconsidered. The small gable bump out on the west elevation appears inconsistent with the overall elevation.

Staff Recommendation: Refine the front facing roof forms on the north elevation for consistency. Consider simplifying the roof forms on the two turret type elements on the rear elevation and the small gable bump out on the west elevation.

Standard 9 – Walls of Continuity.

This standard is met. The residence as proposed is generally consistent with the intended architectural style particularly the north elevation.

Standard 10 – Scale.

This standard is met. The residence as presented complies with the building scale requirements. Based on the lot size, a residence of up to 4,257 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 426 square feet of design elements. The residence totals 4,030 square feet. The garage totals 665 square feet and there are 421 square feet of design elements. The excess square footage of the garage must be added to the overall square footage of the home. In total, the proposed residence totals 4,095 square feet and is 4 percent under the allowable square footage for this property.

Standard 11 – Directional Expression of Front Elevation.

This standard is met. The front of the house is oriented north toward the driveway access. The front entrance is prominent.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request. A new home is proposed on a vacant lot.

Standard 13 – Protection of Natural Resources.

This standard is met. Of the 16 existing trees on the property, the tree survey identifies two trees, a silver maple and an ornamental crab, as dead and slated for removal. One additional tree, a silver maple, is listed in poor condition and may also require removal. Some of the trees identified for preservation may be impacted by grading, construction activity, or the extension of utilities. Further

information will be required at the time of submittal for permit regarding the impact or potential impact on these trees. A calculation of replacement inches will be completed at that time. During the course of construction, if it is determined by the City's Certified Arborist that additional trees are impacted, additional tree inches may be required.

The conceptual landscape plan appears to require enhancement and further detailing. In addition to meeting the minimum requirements for landscaping of new residences, the plan will need to reflect all existing vegetation intended to remain, all required replacement tree inches, and plantings along the east property line to provide screening of vehicles and the garage from the neighboring home to the east.

Standard 14 – Compatibility.

This standard is generally met. The architectural style, scale, exterior materials, and architectural detailing of the proposed residence are compatible with the variety of residences in the surrounding neighborhood.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request. There are no structures on the property, the property is vacant.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. There are no historically significant architectural features on the property.

Standard 17 – Integrity of historic property.

This standard is not applicable to this request.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the proposed residence and the conceptual hardscape and landscape plan for the property located at 479 E. Illinois Road. The recommendation is based on the findings presented in this staff report. Staff recommends the following conditions of approval.

1. If so directed by the Commission, prior to the submittal of plans for permit:
 - a. Consider carrying the dentil moldings through the entire west and south elevations
 - b. Consider stepping in the east wing for greater symmetry between the wings.
 - c. Consider having uniform gable style and materials on the front façade wings.
 - d. Refine the wings to improve the proportions of the front façade.
 - e. Refine the windows to achieve greater consistency in style, placement, and size on the side and rear elevations.
 - f. Eliminate the skylights on the east facing roof slope.
 - g. Explore the opportunity to break up the second floor walls on the side elevations

- h. Refine the front facing roof forms on the north elevation for consistency. Consider simplifying the roof forms on the two turret type elements on the rear elevation and the small gable bump out on the west elevation.
2. Plans submitted for permit must reflect the project as presented to the Commission with the refinements if so directed by the Commission. Any refinements made in response to direction from the Commission, or as the result of final design development, shall be clearly called out on the plan submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.

Prior to the issuance of a building permit #3 – 7 shall be addressed.

3. Tree and Vegetation Removal Plan. A detailed tree and vegetation survey shall be submitted along with a clear plan reflecting all the tree and vegetation removals proposed.
4. Landscape Plan. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall meet the minimum landscape criteria for new construction and provide for the required replacement inches on site to the extent possible using good forestry practices. The plan shall clearly detail existing vegetation intended to remain.

If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional on-site replacement inches and planting may be required.

5. Tree and Vegetation Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction as well as trees on neighboring properties must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan for protection, including pre and post construction treatments must be prepared by an independent Certified Arborist and submitted with the building permit application. The tree protection plan shall be subject to review and approval by the City's Certified Arborist.
6. Exterior Lighting - Details of all proposed exterior lighting on the residence and on the property shall be detailed on the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood particularly since the property is a lot in depth.
7. A plan for contractor parking and material and equipment staging shall be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on the surrounding neighborhood.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 479 E. Illinois Road Owners Ben Huey
 Project Manager Jeff Letzter Reviewed by: S. Thomas
 Date 4/22/2026
 Lot Area 25145 sq. ft. Allowed Square Footage 4257

Square Footage of Residence

1st floor 2477 + 2nd floor 1553 + 3rd floor _____ = 4030 sq. ft.
 Design Element Allowance = 426 sq. ft.
 Total Actual Design Elements = 421 sq. ft. Excess = 0 sq. ft.
 Garage 665 sf actual ; 600 sf allowance Excess = 65 sq. ft.
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 4095 sq. ft.

TOTAL SQUARE FOOTAGE = 4095 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4257 sq. ft.

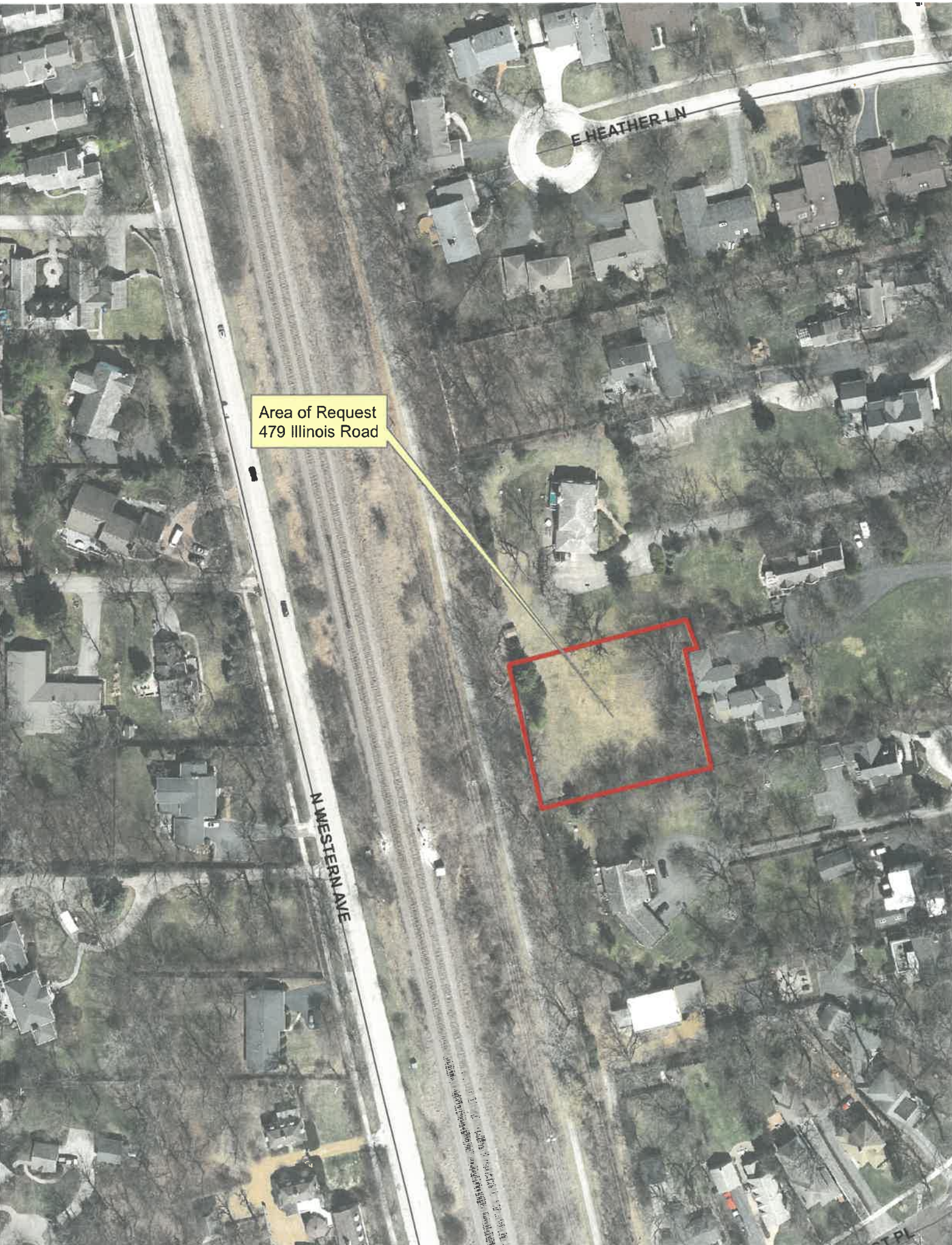
DIFFERENTIAL = 162 sq. ft. **NET RESULT:**
Under Maximum 4122 sq. ft. is
 less than 4% under
 Allowable Height: 35 ft. Actual Height 30.0 ft. **Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 426 sq. ft.
 Open Porches = 329 sq. ft.
 Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Dormers = 80 sq. ft.
 Bay Windows = 12 sq. ft.
Total Actual Design Elements = 421 sq. ft. **Excess Design Elements** = 0 sq. ft.

Area of Request
479 Illinois Road





Area of Request
479 Illinois Road

E HEATHER LN

N WESTERN AVE



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 479 E. Illinois Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

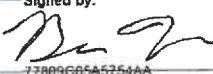
Ben Huey, Owner
 Michael & Hilary Orlowski, Contract Purchasers
Owner of Property

479 E. Illinois Road
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

612-310-2235
Phone Number *Fax Number*

bghuey@hotmail.com
Email Address

Signed by:

 17809685A575AA...
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Jeff Letzter, Project Manager
 Dean Botes, Architect
Name and Title of Person Presenting Project

Aspect Design, inc
Name of Firm

26575 Commerce Drive
Street Address

Volo, IL 60073
City, State and Zip Code

847-457-2500
Phone Number *Fax Number*

jletzter@aspectdesigninc.com
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>HARDIE BOARD</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material WHITE

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish WHITE

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ASPHALT
ARCHITECTURAL

Flashing Material

- Copper
- Sheet Metal
- Other ALUMINUM

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



Statement of Intent – 479 E. ILLINOIS RD.

1. Project Objective

The goal of this project is to seamlessly integrate a Colonial Revival style home into the existing neighborhood, maintaining harmony with the surrounding architectural character.

2. Design Approach

The home is designed with the garage facing the East side of the property. The primary visual focus will be on the front entry, porch, and rooflines as viewed entering the property from the North. These elements are carefully planned to reduce the overall scale, proportions, and perceived mass of the home, ensuring a balanced and cohesive aesthetic across all elevations.

3. Material Selection

The exterior of the home will feature white Hardie Board siding. The windows will be aluminum-clad with a white finish, while the roof will be covered with architectural asphalt roof shingles.

4. Conclusion

Our objective is to construct an elegant and understated home that blends harmoniously into its surroundings. The refined quality of the design will enhance the neighborhood, providing an attractive yet subtle addition to the existing landscape.

5. Variances

No variances are required for the proposed design.

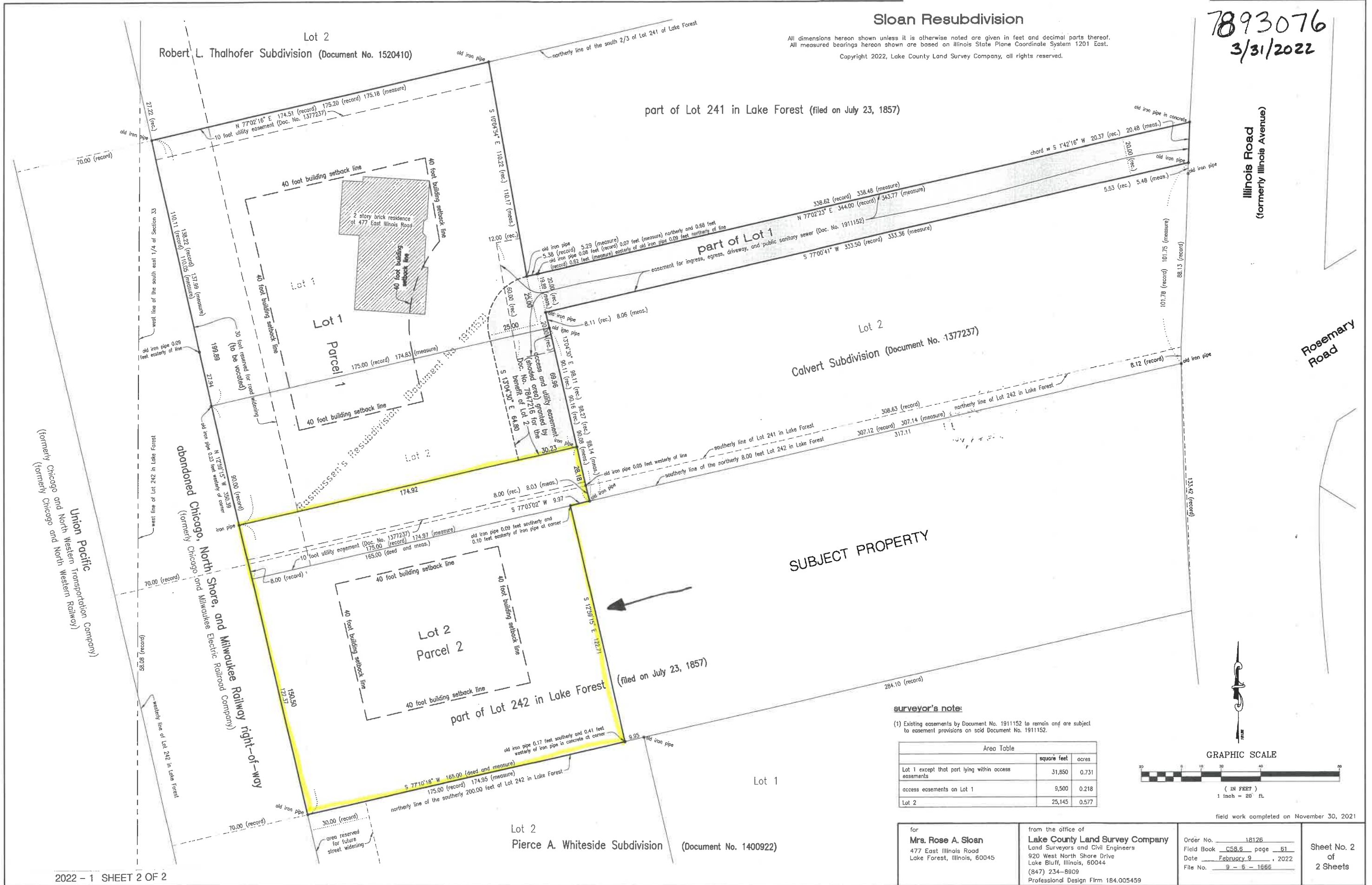
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM

SUBDIVISION PLAT

Sloan Resubdivision

All dimensions hereon shown unless it is otherwise noted are given in feet and decimal parts thereof.
All measured bearings hereon shown are based on Illinois State Plane Coordinate System 1201 East.
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7893076
3/31/2022

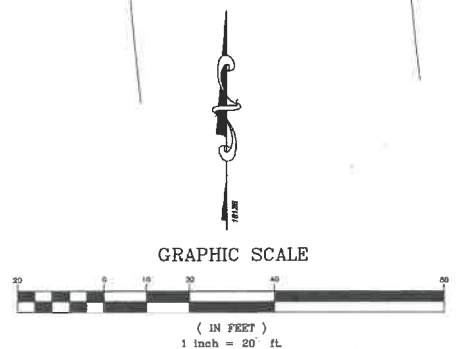


SUBJECT PROPERTY

surveyor's note:

(1) Existing easements by Document No. 191152 to remain and are subject to easement provisions on said Document No. 191152.

Area Table		
	square feet	acres
Lot 1 except that part lying within access easements	31,850	0.731
access easements on Lot 1	9,500	0.218
Lot 2	25,145	0.577



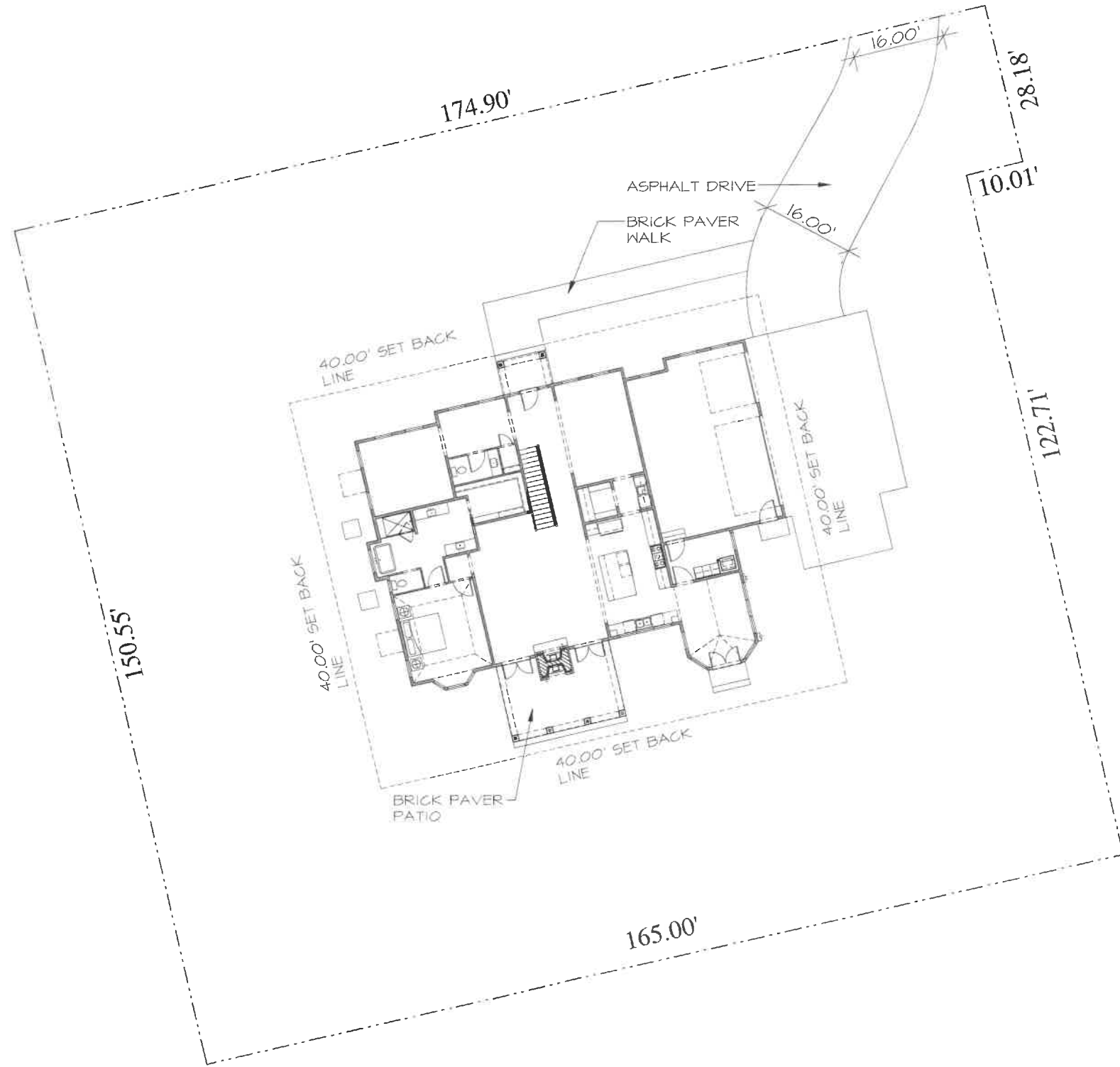
field work completed on November 30, 2021

for
Mrs. Rose A. Sloan
477 East Illinois Road
Lake Forest, Illinois, 60045

from the office of
Lake County Land Survey Company
Land Surveyors and Civil Engineers
920 West North Shore Drive
Lake Bluff, Illinois, 60044
(847) 234-8909
Professional Design Firm 184.005459

Order No. 18126
Field Book CS8.6 page 61
Date February 9, 2022
File No. 9-5-1666

Sheet No. 2
of
2 Sheets



1 SITE PLAN
AR 01

NORTH
SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

ORLOWSKI RESIDENCE
CUSTOM RESIDENCE
479 E. ILLINOIS RD.
LAKE FOREST, IL 60045

CHILDS DEVELOPMENT

REVIEW	04/17/2026
REVIEW	04/16/2026
REVIEW	04/17/2026

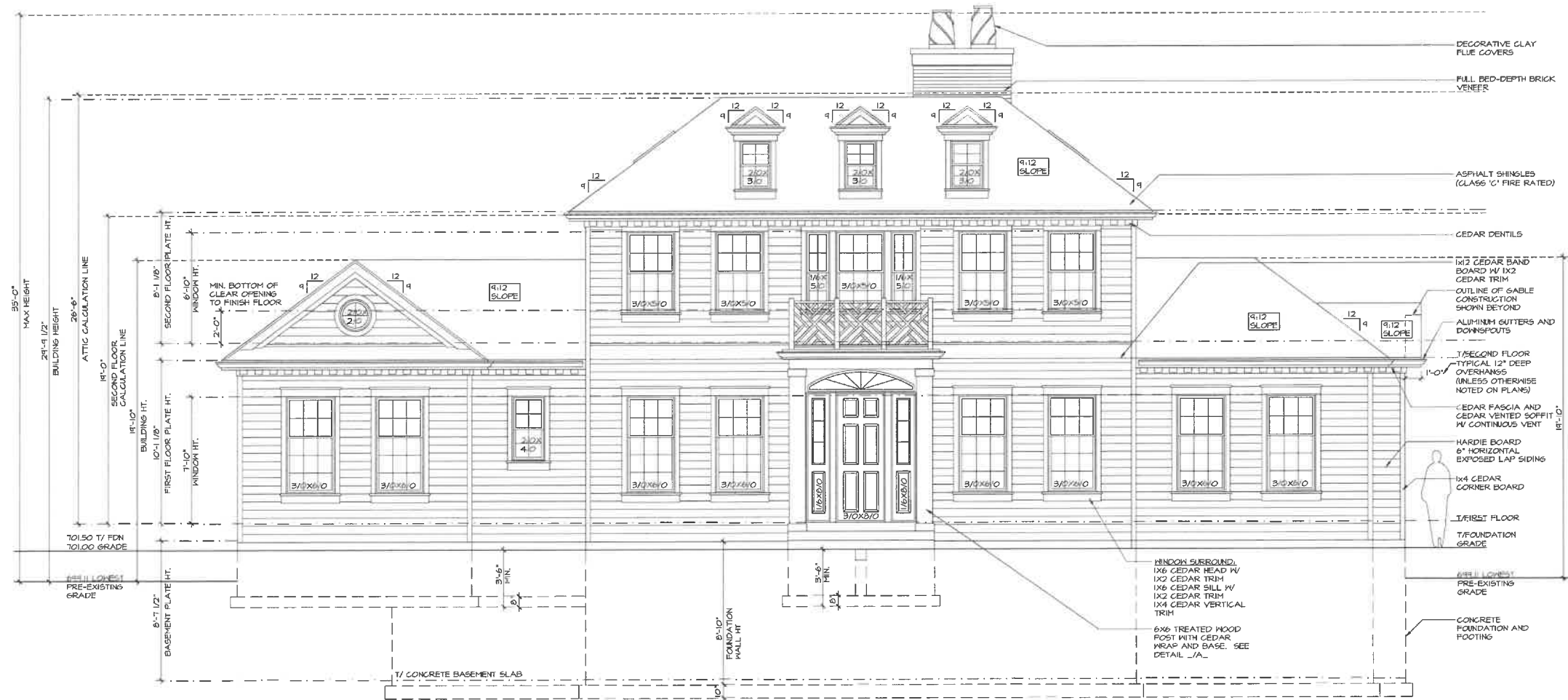
2675 COMMERCE DR.
SUITE 607
POLK, IL 62450
www.aspectdesigninc.com
IL LICENSE # 1840259

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD15280
DRAWN BY: DB / MB
479 E ILLINOIS RD
SITE PLAN

AR 01

2 OF 2 TOTAL SHEETS



1 FRONT ELEVATION (NORTH)
AR 02

SCALE: N.T.S.
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

ORLOWSKI
RESIDENCE
CUSTOM RESIDENCE
479 E. ILLINOIS RD.
LAKE FOREST, IL 60045

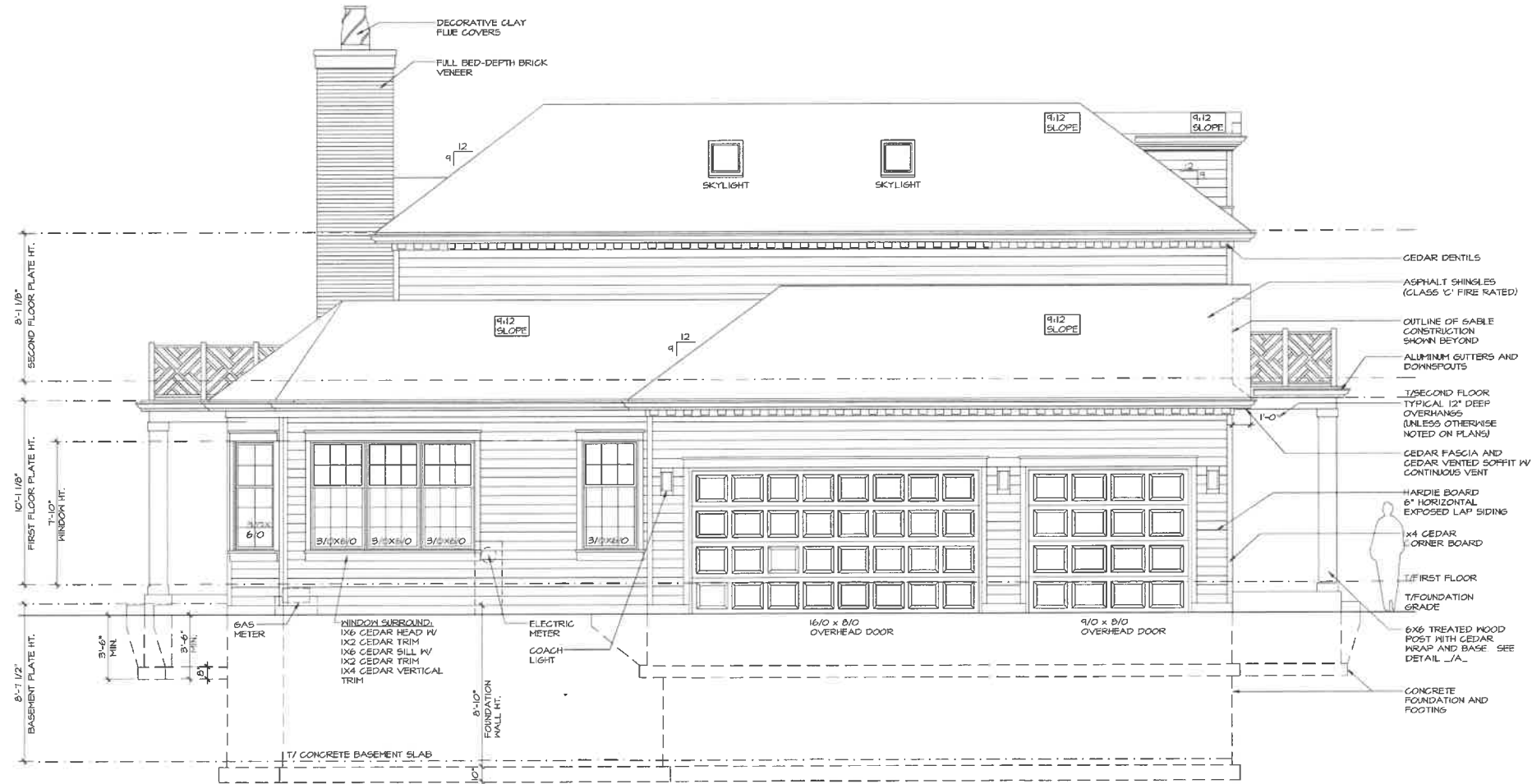
CHILDS
DEVELOPMENT

REVIEW	03/06/2016
REVIEW	03/12/2016
REVIEW	03/16/2016
REVIEW	04/12/2016

16576 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2501
WWW.ASPECTDESIGNINC.COM

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD15280
DRAWN BY: DB / MB
479 E ILLINOIS RD
EXTERIOR ELEVATIONS
AR 02
2 OF 3 TOTAL SHEETS



1 LEFT ELEVATION (EAST)
AR 03

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

ORLOWSKI
RESIDENCE
CUSTOM RESIDENCE
479 E. ILLINOIS RD.
LAKE FOREST, IL 60045

CHILDS
DEVELOPMENT

REVIEW	00/00/00
REVIEW	00/00/00
REVIEW	00/00/00

26375 COMMERCE DR
SUITE 607
VOLO, IL 60073
MAIN: 815-457-2000
WWW.ASPECTDESIGN.COM

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD15280
DRAWN BY: DB/MB
479 E ILLINOIS RD
EXTERIOR ELEVATIONS

AR 03
3 OF 2 TOTAL SHEETS

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1 RIGHT ELEVATION (WEST)
AR 04

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

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REVIEW ONLY - NOT FOR CONSTRUCTION

ORLOWSKI RESIDENCE
CUSTOM RESIDENCE
479 E. ILLINOIS RD.
LAKE FOREST, IL 60045

CHILDS DEVELOPMENT

REVIEW	03/04/2006
REVIEW	03/12/2006
REVIEW	04/12/2006

26675 CONAVERCE DR.
SUITE 407
Volo, IL 60073
MAIN: 847-457-2000
FAX: 847-457-2001
WWW.ASPECTDESIGNINC.COM

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD25380
DRAWN BY: DB / MB
479 E. ILLINOIS RD.
EXTERIOR ELEVATIONS

AR 04
4 OF 4 TOTAL SHEETS



Orlowski Residence
479 E Illinois Rd, Lake Forest, IL 60045

Tree Survey

Notes:
Site Plan
Arch D

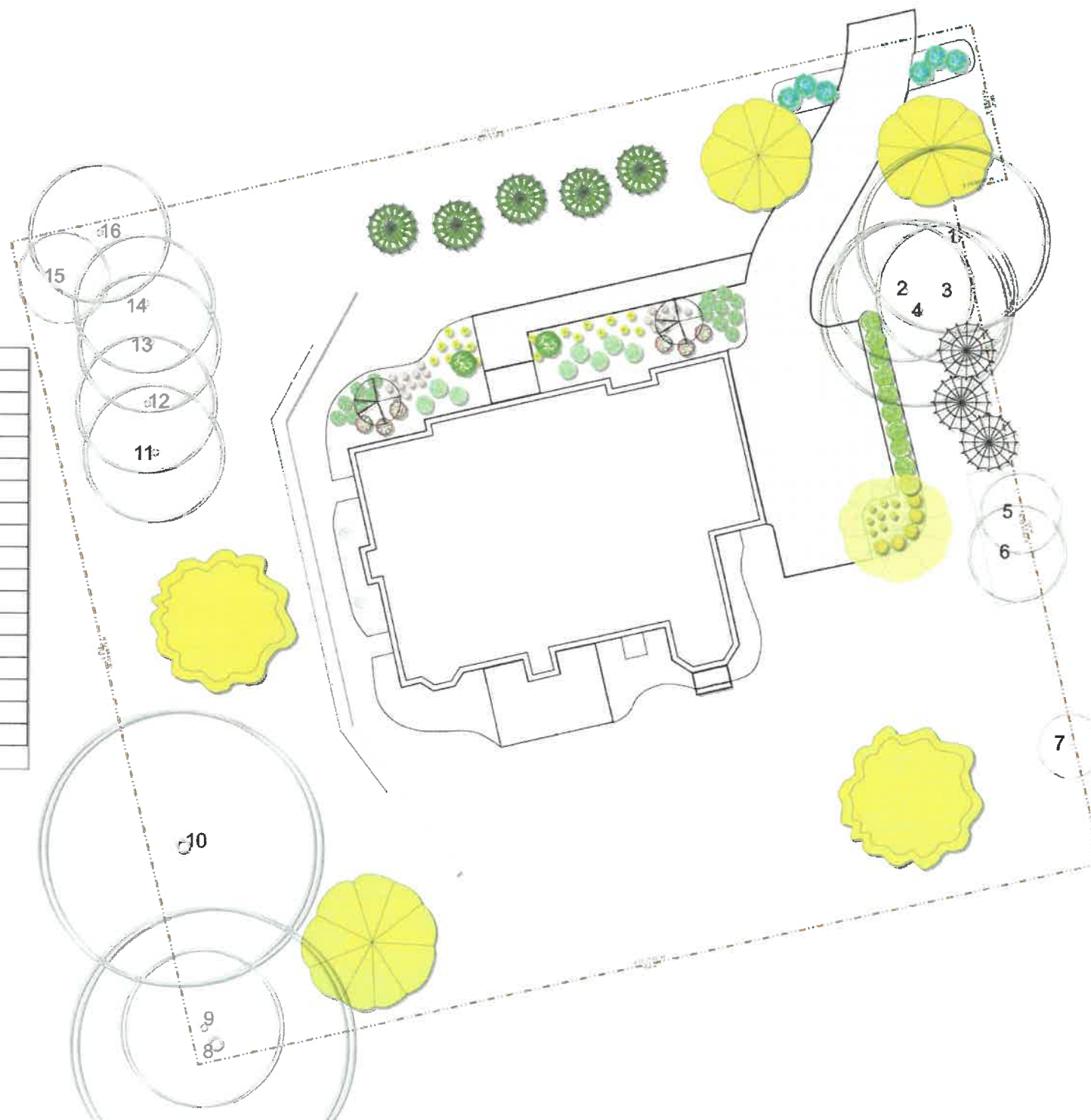
Date 03/18/2026
Scale: 1"=10'
Design by: Jose F. Bravo, Xavier Sotis

21 N Skokie Hwy Ste G16
Lake Bluff, IL, 60044
Material Yard: 2300 Meadow Ln
North Chicago, 60044

Office: (224) 880-5453
Email: info@thebravoslandscape.com
www.thebravoslandscape.com

TREE SURVEY				
TAG#	SIZE	SPECIES	CONDITION	KEEP/REMOVE
1	18" / 18" / 12"	Silver Maple	Fair (multi-stem)	Keep
2	15"	Silver Maple	Fair	Keep
3	15"	Silver Maple	Fair (leaning)	Keep
4	24"	Silver Maple	Fair	Keep
5	8"	Red Maple	Good	Keep
6	5"	Red Maple	Fair (leaning)	Keep
7	6"	Silver Maple	Fair	Keep
8	24"	Silver Maple	Dead	Remove
9	12"	Ornamental Crab	Dead	Remove
10	18" / 18"	Red Maple	Fair	Keep
11	12"	Yew	Good	Keep
12	12"	Yew	Good	Keep
13	12"	Norway Spruce	Fair	Keep
14	12"	Norway Spruce	Fair	Keep
15	10"	Silver Maple	Poor	Keep*
16	10"	Ash	Good	Keep

* tree is alive, utility-topped



The proposed landscape plan is based on approximately 70 linear feet of street-facing foundation (garage-side elevation) and 80 linear feet along the front façade, in accordance with City of Lake Forest Code Section 99.102; a total of fourteen (14) shrubs and sixteen (16) shrubs, respectively (minimum 36 inches at planting), are provided within the front yard foundation planting areas to meet the requirement of two shrubs per ten linear feet.



Orlowski Residence
479 E Illinois Rd, Lake Forest, IL 60045

Notes:
Site Plan
Arch D

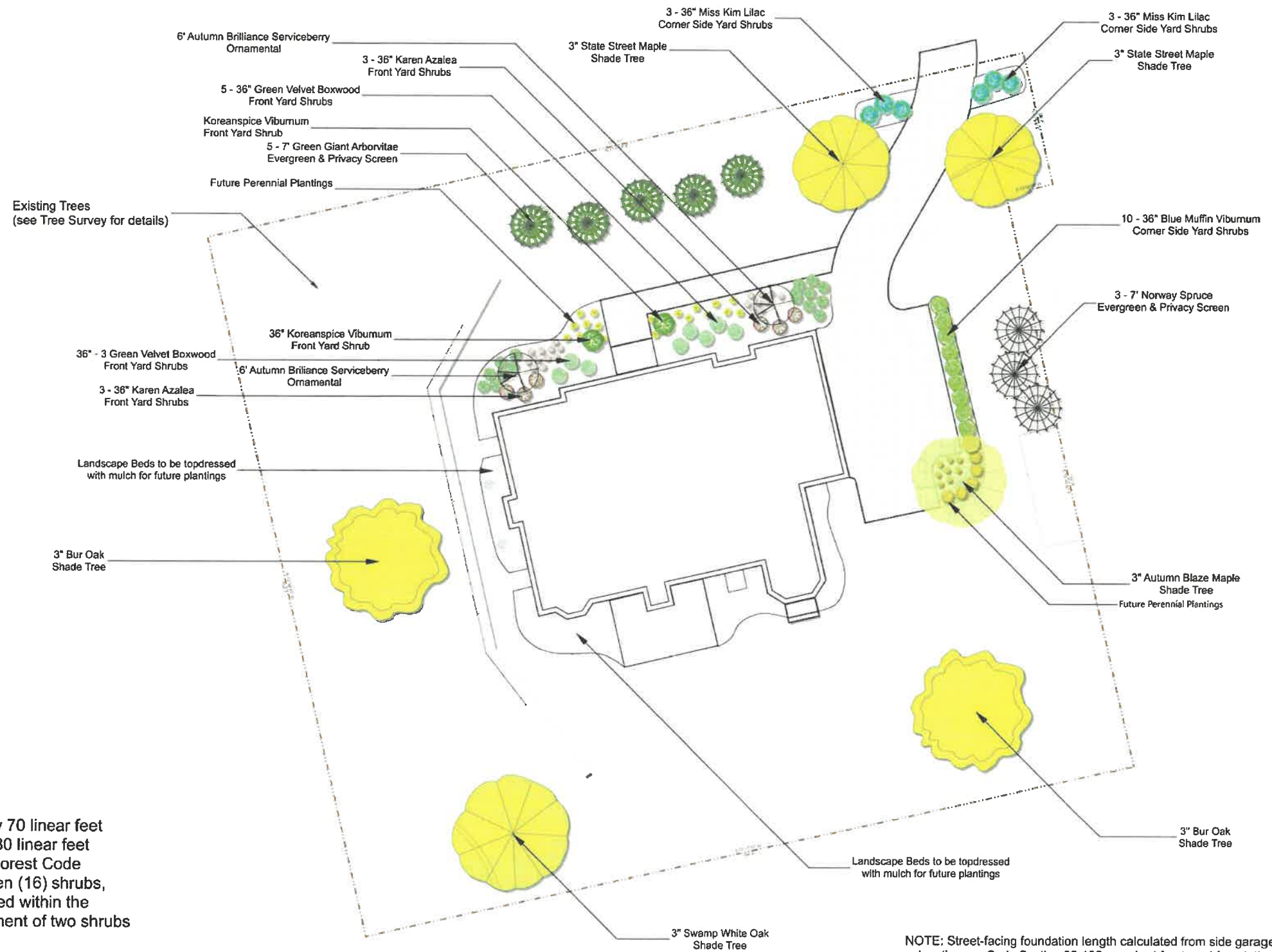
Date 03/18/2026
Scale: 1"=10'
Design by: Jose F. Bravo, Xavier Solis

Landscape Plan View

21 N Skokle Hwy Ste G16
Lake Bluff, IL, 60044
Material Yard: 2300 Meadow Ln
North Chicago, 60044

Office: (224) 880-5453
Email: info@thebravoslandscape.com
www.thebravoslandscape.com

Plant Legend			
Symbol	Qty	Common	Botanical
	1	3" Autumn Blaze Maple	Acer x freemanii 'Autumn Blaze'
	2	3" State Street Maple	Acer niyabaii 'Morton'
	1	3" Swamp White Oak	Quercus bicolor
	10	36" Blue Muffin Viburnum	Viburnum dentatum
	8	36" Green Velvet Boxwood	Buxus sempervirens
	6	36" Karens Azalea	Azalea 'Karens'
	2	36" Koreanspice Viburnum	Viburnum carlesii
	6	36" Miss Kim Lilac	Syringa patula 'Miss Kim'
	2	6' Autumn Brilliance Serviceberry	Amelanchier grandiflora 'Autumn Brilliance'
	5	7' Green Giant Arborvitae	Thuja occidentalis 'Green Giant'
	3	7' Norway Spruce	Picea abies
	2	Bur Oak	Quercus macrocarpa
	19	Golden Japanese Forest Grass	Hakonechloa macra
	16	Hosta 'Undulata Erromena'	Hosta 'Undulata Erromena'
	8	Millenium Ornamental Onion	Allium 'Millenium'
	5	Prairie Dropseed	Sporobolus heterolepis
	20	Visions in Pink Astilbe	Astilbe chinensis 'Visions in Pink'



The proposed landscape plan is based on approximately 70 linear feet of street-facing foundation (garage-side elevation) and 80 linear feet along the front façade, in accordance with City of Lake Forest Code Section 99.102; a total of fourteen (14) shrubs and sixteen (16) shrubs, respectively (minimum 36 inches at planting), are provided within the front yard foundation planting areas to meet the requirement of two shrubs per ten linear feet.

NOTE: Street-facing foundation length calculated from side garage elevation per Code Section 99.102; required front yard foundation shrubs provided in front yard.

GRADING PLAN



DOWNSPOUTS TO SPLASH TOWARD THE FRONT AND REAR OF THE PROPERTY ONLY, TYP. (REFER TO ARCH. PLANS FOR DOWNSPOUTS LOCATIONS)

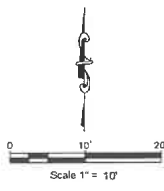
PRO. PROTECTIVE FENCE (BY OTHERS)

PRO. BLOCK LANDSCAPE RETAINING WALL (STRUCTURAL DESIGN BY OTHERS)

PRO. DRIVEWAY SHALL NOT IMPEDE NATURAL DRAINAGE PATTERNS.

PRO. ASPHALT DRIVEWAY 4" HMA SURFACE COURSE 8" AGGREGATE BASE, CA-8

PRO. 2" HDPE, DN-17 AWWA C901 WATER SERVICE - 201 IN.F.T. TO BE DIRECTIONALLY BORED



NOTE

- ALL UTILITIES TO BE AUGERED UNDER PAVEMENTS & EXISTING TREE ROOT ZONES, EXCEPT AS NOTED.
- GRADES ALONG PROPERTY LINES TO BE MAINTAINED, MAINTAIN POSITIVE DRAINAGE AWAY FROM ADJACENT PROPERTIES.
- SANITARY, STORM, AND WATERMAIN CROSSING LOCATIONS TO BE EXPOSED AND VERTICAL SEPARATION VERIFIED, IF 18" VERTICAL SEPARATION CANNOT BE MAINTAINED THEN ENCASEMENT AS INDICATED IN NOTE 26 ON SHEET 2 SHALL APPLY.
- MAINTAIN 10 FOOT HORIZONTAL SEPARATION BETWEEN SEWER AND WATER SERVICES. SEE NOTE 26, SHEET 2.

GERALD L. HEINZ & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
206 NORTH RIVER STREET
EAST DUNDEE, ILLINOIS 60118

NO.	DATE	REVISIONS	NO.	DATE	REVISIONS

SITE PLAN

479 E. ILLINOIS ROAD
LAKE FOREST
ILLINOIS

DATE: 3/20/2026
JOB NO.: E-3326
SCALE: 1" = 10'
SHEET 4 OF 6