

Agenda Item 3
10 N. Mayflower Road
New House on a Vacant Lot

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Air Photo

Materials Submitted by Petitioner

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Proposed Residence

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Elevations
Roof Plan
Floor Plans
Proposed Future Garage Footprint – Not Part of This Request
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Elevations

Images of Surrounding Properties

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO: Chairman Culbertson and members of the Historic Preservation Commission
DATE: November 19th, 2025
FROM: Luis Prado, Assistant Planner
SUBJECT: **10 N. Mayflower Road – Significant demolition, replacement addition, alterations to the remaining portion of the residence and site plan modifications including the addition of a pool and a concept for a future garage.**

Petitioner

Charles Schramer
2860 Duffy Lane
Riverwoods, IL 60015

Property Location

10 N. Mayflower Road

Historic Districts

East Lake Forest
Historic District

Project Representative

Stan Weisbrod, SJW Architects & Associates, Inc.

Summary of the Petition and Previous Commission Consideration

A Certificate of Appropriateness is requested approving significant demolition of the existing residence, a major addition, alterations to the remaining portion of the home, and modifications to the site plan including the addition of a swimming pool and the identification of a potential footprint for a future detached garage. The future garage is not included in this request.

Limited tree and vegetation removal is planned on the site, and a conceptual landscape enhancement plan is expected to be presented at the meeting for review. If determined to be appropriate, a detailed landscape plan could be returned to the City at a later date.

In October of 2025, the Commission heard this petition for a second time, offering comments and direction to the petitioner, and voting unanimously to continue the petition. To assist the petitioner, the Commission agreed to allow the Chairman to appoint a subcommittee of the Commission to meet with the petitioner to offer further input and guidance. The petitioner met with the subcommittee over the course of three meetings. A summary of the points discussed and the responses reflected in the plans is provided below. The materials in the Commission's packet further detail the changes made.

- The subcommittee re-enforced that demolishing the entire structure would provide greater flexibility and alleviate some of the design challenges. The petitioner was clear on his intent to retain a portion of the house.

- The subcommittee encouraged exploration of straightening the footprint of the house, eliminating the angle at the point of transition between the remaining portion of the existing house and the new construction.
The footprint was straightened creating a more regular building form and allowing for a more consistent arrangement of windows and a clearer organization of massing

- The subcommittee suggested exploring ways to improve the hierarchy of massing across the front elevation.
The front entry was narrowed and steps away from the two-story portion of the house. A front facing gable was incorporated into the garage providing increased height at the east end of the house. The garage is stepped back slightly from the front plane of the house.

- Refine the front elevation for uniformity and simplification with a focus on cohesive design language, especially regarding the dormers, windows, rooflines and materials.
The front elevation was simplified. A single shed dormer replaces the four narrower dormers previously proposed, reducing the visual complexity and simplifying the roof form. The windows are more uniform across the front elevation using consistent proportions and similar muntin patterns, and balancing wall to window relationships. The stair window is pulled away from the corner to allow the entry element to stand alone.

Description of Property and Surrounding Area

The property at 10 N. Mayflower totals 2.48 acres and is located on the southwest corner of Mayflower and Illinois Roads. Although the property is comprised of two tax parcels, the entire property is considered a single zoning lot and has been since the Henry Wheeler house was constructed on the property in 1956. Common ownership of the parcels and the size and siting of the home define this property as a single zoning lot. The utility easement that formerly extended between the two parcels was vacated by the petitioner and is no longer a limiting factor on the property.

The existing residence is designed in the Colonial Revival style. In the 1990's, a small single story addition was constructed at the west end of the house. Based on City records, no other significant modifications were made to the house inside or outside over the years. Due to its age, over 50 years old, the residence is considered a Contributing Structure to the Local Historic District. This designation does not prohibit demolition but is a reason to carefully consider the architectural and historic importance of the structure if any, and its contribution, or lack thereof, to the Historic District. Findings in support of the demolition are offered later in this staff report.

The existing residence is sited on the north portion of the property, fronting on Illinois Road with some visibility from Mayflower Road. The residence is comprised of a two story element at the west end which transitions at the point of a slight angle, to a single story element. An attached garage is located at the far east end of the house. The

garage is accessed directly from a curb cut on Mayflower Road. There is a second curb cut at the west end of the property on Illinois Road which accesses a driveway that curves in front of the house and connects to the driveway from Mayflower Road.

The property is heavily wooded. Many heritage trees are located primarily to the south of the house. Deciduous vegetation screens the house from the streetscapes seasonally. Many of the plant materials along the streets are lower quality, non-native materials. A wire fence with concrete posts extends along the streetscapes. This open fence is found on several properties throughout this neighborhood and the Commission has in the past, required this fence to remain. In some cases, new fences have been permitted behind and setback a few feet from the historic fence to preserve the character of the streetscape.

In cases where demolitions are determined to be appropriate within the Historic District, the Commission is charged with focusing on ensuring that the architectural style, detailing, massing, roof forms, exterior materials, siting, landscaping, relationship to the streetscape and surrounding homes, and the overall character of the proposed replacement structure satisfies the 17 Standards. Staff comments on the 17 Standards are provided later in this report.

Project Description

Demolition

Substantial demolition of the existing residence is proposed including demolition of the entire single story portion of the house including removal of the foundation and removal of the garage. The interior of the home has been gutted and it is likely that all of the mechanicals will be replaced. Based on the information available to staff more than 50 percent of the house will be demolished so consideration of this petition as a full demolition request is appropriate whether or not some portion of the structure remains. As noted above, findings in support of the demolition are offered later in this report.

Replacement Addition

The petitioner describes the intended style of the replacement residence as “traditionally inspired modern”. The proposed footprint of the replacement residence is now straight. As noted above, the angle at the point of transition from old to new was eliminated. Based on the elevations, the new construction ranges in height from 20’-7” near the center of the home to 26’-7” at the garage. A large, shed dormer with floor to ceiling windows and a smaller, 6 by 6 muntin window replaces the previously proposed double vertical bays with shed roofs. 4 by 4 muntin windows align under the garage gable. Similar windows are found on the rear elevation. The window styles, proportions, and detailing as now proposed are generally consistent around the house despite the fact that the windows vary in size.

As noted above, the gable end of the garage peaks at 26’7” feet. The garage façade steps back slightly from the front plane providing space for a small landscaped courtyard type element. Two double garage doors face southeast, generally toward Mayflower Road. Clarification is needed on the material and design of the garage doors.

Overall, the balance of windows to solid wall massing is improved on the front elevation.

Alterations to Remaining Two Story Element

Significant modifications are proposed to the two-story element of the original house. The height of the two-story mass is proposed to increase. New windows, of a similar pattern to the east wing, are proposed. Near the point of transition between the modified and new portion of the house, the front entrance is accessed by a series of steps and capped by a large triangular element which now bears some reference to the gable at the east end of the front elevation. Since the October meeting, the entrance has been reduced in width.

Staff Evaluation

In considering applications for a Certificate of Appropriateness, the Commission is charged with evaluating demolition requests based on five criteria and charged with applying the 17 Standards in the Historic Preservation chapter of the City Code to new construction.

Findings

Demolition

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

Although the residence is identified as a Contributing Structure, this designation does not prohibit demolition. Instead, it indicates that careful review and evaluation should take place. If demolition is approved, prior to demolition, the petitioner is required to document the house with photos which will be preserved in the City's files and provided to the History Center.

While the residence is identified as a Contributing structure it is not architecturally or historically significant.

The Commission, at the prior meeting, indicated general support for demolition of the residence in its entirety or in part.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

The existing residence has very limited presence on the streetscape. It is low profile and well screened with vegetation. The structure itself does not contribute to the historic character of the area, however the lack of its prominence on the streetscape and the wooded character of the property are defining characteristics and contribute to the character of the District as a

whole.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

The demolition of the residence would not be contrary to the purpose or intent of the Preservation Chapter of the Lake Forest Code. The residence is not architecturally significant or of historic importance.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

The residence was constructed in the mid-1950's. A small addition was added at the west end of the house in later years. The residence is not of such old, unusual, or uncommon design, texture, or material that it could not be reproduced without great difficulty or expense. The residence could be replicated if desired.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

Plans for a replacement residence are presented to the Commission for review and approval. A replacement structure designed in the context of the surrounding homes with respect to massing, roof forms, and details, constructed of high quality materials, could enhance the contributions of this property to this unique and important area within the Historic District.

Replacement Residence

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height

This standard is met. The height of the residence is under the maximum allowable height of 40' for the lot size. The hierarchy of massing was modified in response to discussions with the Commission subcommittee.

Standard 2 – Proportion of Front Façade

This standard is more closely met than in the previous plan. The footprint of the house was straightened, the height of the garage gable was raised from 22' to 26'7", and the width of the front entrance was narrowed.

While the residence does not follow the standard approach of a central mass stepping down to lower masses, and is in fact reversed, the proportions across the front elevation are improved and better balanced.

Standard 3 – Proportion of Openings

This standard is met. The windows were refined to be consistent in style, proportions, and shape around the home. The rear windows on the rear elevation have been reduced since the October meeting. In past discussions, the Commission acknowledged the appropriateness of more fenestration on the rear elevation to take advantage of views to the rear yard.

Standard 4 Rhythm of Solids to Voids

This standard is met. As noted above, modifications were made to the windows to create a better balance the relationship of solids to voids particularly on the front elevation.

Standard 5 – Spacing on the Street

This standard is met. While the footprint and siting of the house on the property changes slightly with a straightened footprint, the setback of the residence from both streets remains generally the same.

The increased height of the house and potential for light spillover on to the adjacent streets and neighboring properties could make the house more prominent along the streetscape, however the spacing between the house and neighboring homes remains generally the same.

Standard 6 – Rhythm of Entrance Porches

This standard is generally met. There is a single central entrance proposed on the front elevation of the home. The entry element is at the transition point between the west, higher element, and the east, lower element. Discussions with the subcommittee resulted in modifications to the front entry, pulling it to the east, making it narrower, and pulling the stair window away from the corner. These changes are intended to allow the entry to read as a prominent element despite the larger two-story mass to the west.

Standard 7 – Relationship of Materials and Texture – The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The standard is met. The materials are generally consistent with exterior materials used in the East Lake Forest Historic District on new homes.

Standard 8 – Roof Shapes.

This standard is met. By straightening the footprint and eliminating dormers, the roof shapes are now regular throughout and consistent with the selected style of architecture.

Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is

characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

This standard is generally met. Since the October meeting, the appearance of the proposed residence is softened substantially. In combination with enhanced vegetation screening along the streetscapes to include year round screening, the continuity of this area of the historic district can be maintained.

Standard 10 – Scale.

This standard is met. The lot is large and based on a previous calculation, the proposed residence will comply with the allowable square footage. As the plan evolves and further detailed, an updated building scale calculation will be required to ensure that the house complies with the allowable square footage. If in the future a detached garage is proposed, further review for compliance with the Code will be required.

No variance is requested.

Standard 11 – Directional Expression of Front Elevation

This standard is generally met. The elevation is improved through the straightened footprint and simplified massing.

Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

This standard is not applicable to this petition. There are no distinguishing original qualities, materials, or distinctive architectural features of the structure that warrant preservation.

The character of the property and the surrounding area is for the most part heavily vegetated streetscapes with limited visibility of residences. The area has a dark sky character which should be preserved. A wire and concrete post fence extends along the streetscape and contributes to the character of the area since the fence is found on several properties throughout the area. The existing fence should be preserved.

Standard 13 – Preservation of natural resources

This standard can be met. Updated landscape, grading, and tree removal plans have not been submitted reflecting the straightened footprint.

Based on the earlier plans, an oak and three shagbark hickory trees, all in excellent to good condition and totaling 45 inches, are proposed to be removed for the pool. The property is large enough to support a pool and to accommodate a pool, trees need to be removed. The pool is sited in an appropriate relationship to the house, and the siting is intended to minimize the impact on trees. No pool house is proposed. It is possible that as a result of construction activity, soil compaction, and potential changes in hydrology on the site, additional trees may be impacted.

Inch for inch replacement is required for the trees that are designated for removal. If additional trees are determined to be impacted by the City's Certified Arborist, additional replacement inches will be required. A deposit will be required at the time a permit is issued to ensure the replanting of required replacement tree inches.

Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

This standard is met. No specific architectural style is being imposed by the City. Refinements made since the last meeting as detailed above more closely reflect the selected architectural style of “transitionally inspired modern”.

Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

This standard is not applicable to this petition. The existing residence sits quietly near significant homes; however, the home itself does not feature any distinct architectural elements or materials that warrant preservation and repair.

Standard 16 – Surface cleaning.

This standard is not applicable to this petition.

Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

This standard is not applicable to this request. The existing house is not significant historically or architecturally.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no new correspondence was received on this petition. Any correspondence received prior to the meeting will be distributed to the Commission.

Recommendation

Grant a Certificate of Appropriateness approving significant demolition of the existing residence, a major addition, alterations to the remaining portion of the home, and modifications to the site plan including the addition of a swimming pool. The

recommendation is based on the findings presented in this staff report. Staff recommends the following conditions of approval.

1. An updated building scale workbook along with fully dimensioned plans shall be submitted reflecting the changes to the footprint.
2. The conceptual detached garage, shown in the plans, is not considered as a part of this approval and, if the owner should wish to pursue the construction of the garage, shall submit plans for consideration at that time.
3. Plans submitted for permit must reflect the project as presented to the Commission with any further refinements as directed by the Commission. Any refinements made in response to direction from the Commission or as the result of final design development, shall be clearly called out on the plan submitted for permit. Staff is directed to review any changes, in consultation with the subcommittee or Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall also clearly detail existing vegetation intended to remain and any trees and vegetation planned for removal. The plans shall detail foundation plantings, plantings in the small courtyard in front of the garage, replacement tree inches, and enhanced year round plantings along the streetscape to help mitigate off site light impacts.

If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches may be required.

5. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction as well as trees on neighboring properties must be submitted and will be subject to review and approval by the City's Certified Arborist. In addition, for any trees that, as determined by the City Arborist, may be impacted by construction activity, a plan for protection, including pre and post construction treatments must be prepared by an independent Certified Arborist and submitted with the building permit application. The tree protection plan shall be subject to review and approval by the City's Certified Arborist.
6. Details of all proposed exterior lighting on the house and on the property shall be included with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later

than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on neighbors and on the dark sky character of the neighborhood.

7. Prior to the issuance of a building permit, a plan for contractor parking and material and equipment staging shall be submitted to the City for review and will be subject to City approval in an effort to minimize impacts on the surrounding streets and neighborhood. Limited on street parking adjacent to the subject property, away from the corner, may be permitted at the sole discretion of the City. On-site contractor parking is encouraged.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 10 N. Mayflower Road Owner(s) Charles Schramer
 Architect Stan Weisbrod Reviewed by: _____
 Date 7/23/2025
 Lot Area 105802 sq. ft. (Lots 7 & 8) **SUBJECT TO UPDATING**

Square Footage of Residence -- New Construction

1st floor 4489 + 2nd floor 2196 + 3rd floor _____ = 6685 sq. ft.
 Design Element Allowance = 1026 sq. ft.
 Total Actual Design Elements = 99 sq. ft. Excess = 0 sq. ft.
 Garage 1229 sf actual ; 800 sf allowance Excess = 429 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
Total Square Footage of Residence = 7114 sq. ft.
 (minus Design Elements, plus garage overage)
DIFFERENTIAL (Existing) = -3150 sq. ft.
Under Maximum

Square Footage of House and Proposed Addition:

1st floor _____ + 2nd floor _____ + 3rd floor _____ = 0 sq. ft.
 New Garage 2483 sq. ft. Excess = 2483 sq. ft.
 New Design Elements 0 sq. ft. Excess = _____ sq. ft.
TOTAL SQUARE FOOTAGE = 9597 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 10264 sq. ft.
DIFFERENTIAL = 667 sq. ft. **NET RESULT:**
Under Maximum

667 sq. ft. is

6.0% under
Max. allowed

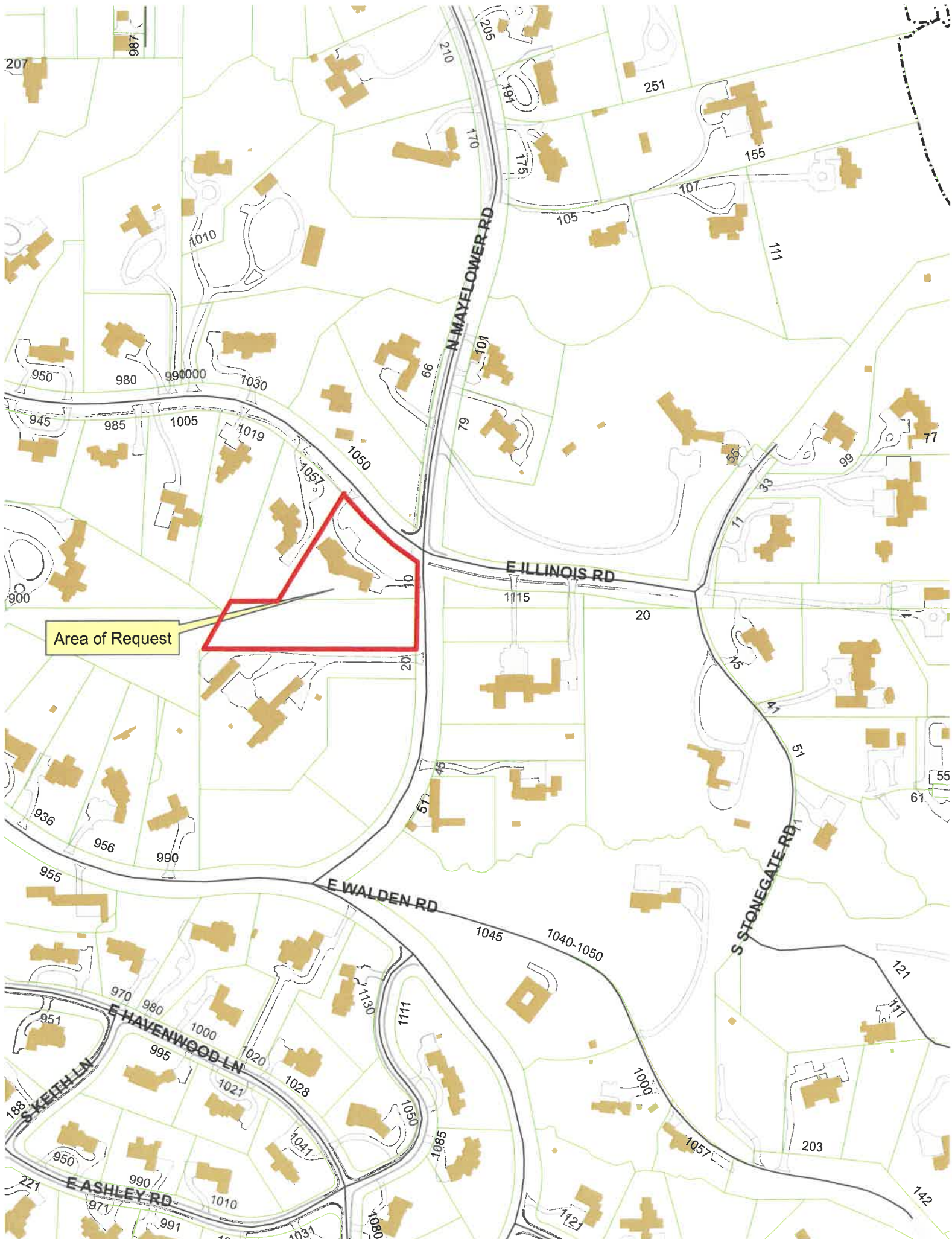
Allowable Height: 40 ft. Actual Height 30 ft.

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 1026 sq. ft.

Front & Side Porches = 0 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 99 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 99 sq. ft. **Excess Design Elements** = -927 sq. ft.





Area of Request

990 1000

1037

66

701

1005

1019

779

1050

N MAXWELL RD

E ILLINOIS RD

1067

1125

Area of Request

990

1145

E RINGWOOD RD N

E WALDEN RD

1151



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 10 MAYFLOWER

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
<input type="checkbox"/> New Residence	<input type="checkbox"/> New Building
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Addition/Alteration
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Bulkhead Signage	<input type="checkbox"/> Other
<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> Demolition/Partial	<input type="checkbox"/> Lighting
<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

East Lake Forest District Green Bay Road District Vine/Oakwood/Green Bay Road District
 Local Landmark Property Other

PROPERTY OWNER INFORMATION

CHARLES SCHRAMER
Owner of Property

10 MAYFLOWER RD
Owner's Street Address (may be different from project address)

LAKE FOREST, IL
City, State and Zip Code

ARCHITECT/BUILDER INFORMATION

STRA WELSPER
Name and Title of Person Presenting Project

SIV ARCHITECTS & ASSOC INC
Name of Firm

56 LAKE STR
Street Address

OAK PARK, IL 60302
City, State and Zip Code

Phone Number

City, State and Zip Code

Email Address

788.345.0517
Phone Number

starchitects@comcast.net
Email Address

Owner's Signature

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report OWNER REPRESENTATIVE

Please fax a copy of the staff report OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department OWNER REPRESENTATIVE

10 MAYFLOWER ROAD, LAKE FOREST, ILLINOIS
23 SEPTEMBER 2025

SJW

ARCHITECTS & ASSOCIATES



THE CITY OF LAKE FOREST
 HISTORIC PRESERVATION COMMISSION APPLICATION
 DESCRIPTION OF EXTERIOR MATERIALS
 (The use of natural materials is strongly encouraged.)

THE CITY OF LAKE FOREST
 HISTORIC PRESERVATION COMMISSION APPLICATION
 DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

Facade Material
 Stone
 Brick
 Wood Clapboard Siding
 Wood Shingle
 Cementitious Stucco
 Other WOOD SHAKES, METAL

Chimney Material
 Brick
 Stone
 Stucco
 Other _____

Foundation Material
 Exposed Foundation Material CONCRETE

Roofing
Primary Roof Material
 Wood Shingles
 Wood Shakes
 Slate
 Clay Tile
 Composition Shingles
 Sheet Metal
 Other _____

Color and/or Type of Material ANTHRAHITE, ENVELLO BY MILBORD (COMP. HD)

Flashing Material
 Copper
 Other
 Sheet Metal

Window Treatment
Primary Window Type
 Double Hung
 Casement
 Sliding
 Other DOOR, PULL SLIDE

Color of Material BLACK GRAY

Color of Finish DARK BRONZE

Gutters and Downspouts
 Copper
 Aluminum
 Other _____

Window Mullins
 Not Provided
 True Divided Lites

Driveway Material
 Asphalt
 Poured Concrete
 Brick Pavers
 Concrete Pavers
 Crushed Stone
 Other STAMPED CONCRETE

Simulated Divided Lites
 Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material
Door Trim
 Limestone
 Brick
 Wood
 Other METAL

Terraces and Patios
 Bluestone OR SIMILAR
 Brick Pavers
 Concrete Pavers
 Poured Concrete
 Other _____

Fascias, Soffits, Rafters
 Wood
 Other _____

Color of Material BLACK GRAY

10 MAYFLOWER ROAD, LAKE FOREST, ILLINOIS
 23 SEPTEMBER 2025

EXTERIOR MATERIALS

SJW

ARCHITECTS & ASSOCIATES

Statement of Intent- 10 Mayflower Lake Forest, IL

Standard No.1: (Height) The height of the proposed renovated structure has been revised to better satisfy the bulk calculations, refer to the revised elevations. The renovated left-hand side varies from 20'-7" to 22' above grade. The right-hand side has been raised 2' from the original structure. Given the placement of the home and its neighbors, it is extremely difficult to establish a direct visual link or a visual relationship. However, one can easily see from the photographs that the neighboring homes are two plus stories. Therefore, the slight increase in height is mitigated by the setback and vegetative screening.

Standard No.2: (Proportion of front facade) The front massing of the facade is evenly organized in such a way that there is a rhythm of "vertical dormers" across the façade.

Standard No.3: (Proportion of openings) There is no consistent architectural style for any immediate correlation of the neighboring houses. The proposed design establishes a verticality of windows through the vertical dormer element which is similar to the second story window height of its neighbors.

Standard No.4: (Rhythm of solids to voids in front facade) See above concerning the rhythm of solids & voids. Given the setbacks and the vegetative screening and the distance light spillover of exterior sconces/lighting will be minimal.

Standard No.5 (Rhythm of Spacing and structures on the street) This standard does not apply as there are no structures immediately adjacent to this structure on the street, and again given the setbacks and vegetative screening limits any visual impact.

Standard No.6: (Rhythm of entrance porches, storefront recesses and other projections) The entrance is highlighted by a meaningful and importantly scaled proscenium with an oversized wooden door marked by a distinctive handle-see below for additional description.

Standard No.7: (Relationship of materials and texture) This redesign has removed the existing deteriorated horizontal siding (and brick veneer) and replaced it with high quality stone and vertical wood which is an upgrade to its existing look. There will be high quality metal windows, an oversized wood door, and distinctive light fixtures at the front façade entry. Although not all the neighboring homes are constructed of stone, the upgrade is more in sympathy with them.

Standard No.8: (Roof shapes) The redesign retains the sloped roofs of the original structure- none of the neighboring homes have flat roofs- although it is impossible to visually link them at sight. Since the redesign of the house can be categorized as contemporary traditional, there are no flat roofs, there are only angled, pitched, and gabled roofs.

Standard No.9: (Walls of continuity) The Owner intends on constructing gated entries to the property (shown on the site plan) similar in design intent to the surrounding properties. Refer to the site plan and how the fence shall be similar to existing fencing.

Standard No. 10: (Scale of the Structure) The bulk and scale of the redesigned structure has not significantly changed from the original- nor has its relationship to the open spaces, doors and vestibule entries. In fact, the bulk of the house meets all prescribed codes and calculations. See the bulk workbook.

Standard No. 11 (Directional expression of Front Elevation) The front entrance opens itself logically to the driveway behind vegetative screening and behind the street- there has been no change to this driveway format.

Standard No.12 (Preserving Distinguishing Features) There are no distinguishing features in terms of the structure's architecture. There has been no alteration of any historic material since none exists.

Standard No. 13 (Protection of resources) The owner has made all reasonable efforts to protect natural resources. Any trees subject to review that would be taken down due to age, disease etc. will be replaced as per the local ordinance, so that any replacement trees planted on site will be required to compensate for trees removed. A Bond to assure planting will in all probability be required and if so provided. There are no archaeological features to preserve.

Standard No. 14 (New construction) Note that the Commission shall not impose a requirement for the use of a single architectural style or period.

Standard No. 15 (Repair to deteriorated features) There are no architectural features worthy of repair although we are replacing the roof of the existing two-story structure due to structural deficiencies.

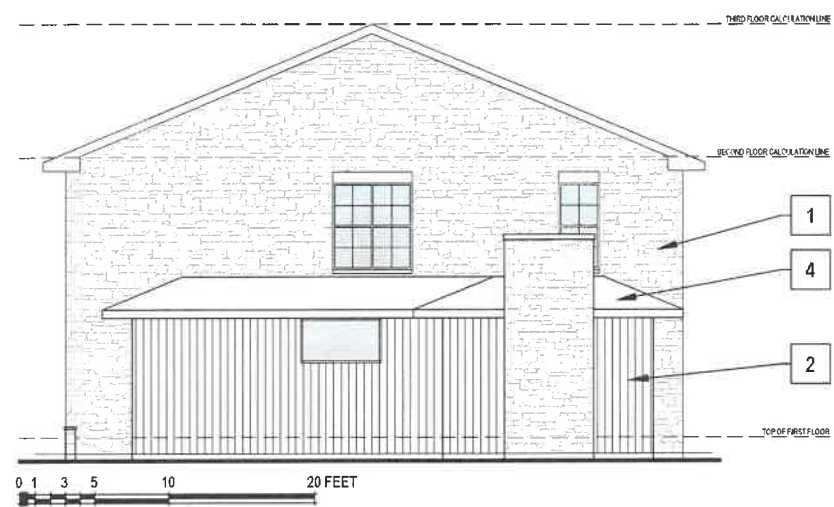
Standard No. 16: (Surface cleaning) As there are no historic materials, there is no surface cleaning required.

Standard No. 17 (Reversibility of Additions and Alterations) Since this is not a historic structure there would be no concern for reversibility, although the essential layout of the house has not been substantially altered.

Proposed New Residence – Additions, Significant Alterations



1 ELEVATION
 SCALE: 3/32" = 1'-0"



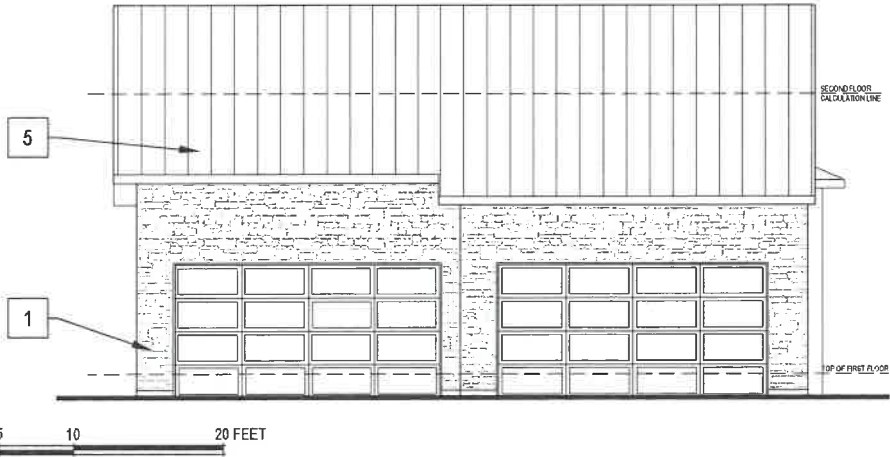
2 ELEVATION
 SCALE: 3/32" = 1'-0"

KEY NOTES	
1	STONE - HALQUIST
2	WOOD SIDING - ANTHRACITE
3	METAL - CLADDING
4	ROOFING - SHINGLES
5	ROOFING - METAL

ELEVATIONS
NOVEMBER 19, 2025



3 ELEVATION
SCALE: 3/32" = 1'-0"

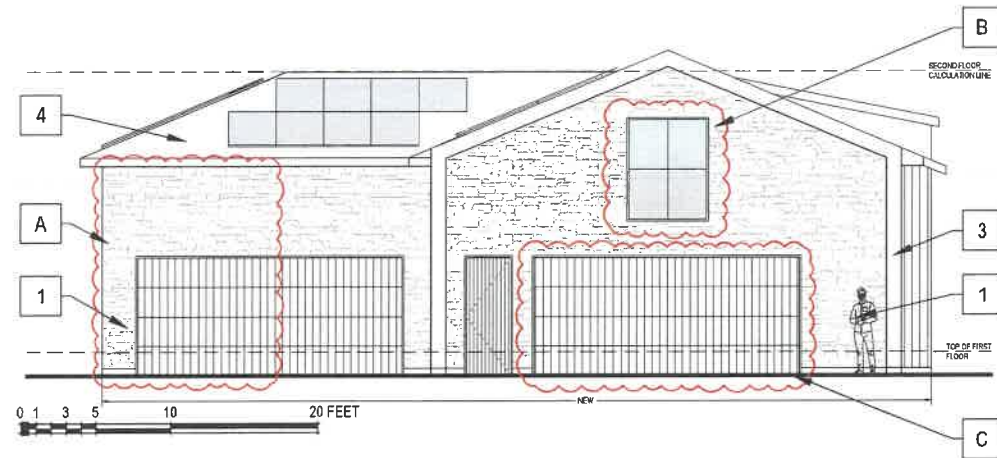


4 ELEVATION
SCALE: 3/32" = 1'-0"

KEY NOTES	
1	STONE - HALQUIST
2	WOOD SIDING - ANTHRACITE
3	METAL - CLADDING
4	ROOFING - SHINGLES
5	ROOFING - METAL

10 MAYFLOWER ROAD, LAKE FOREST, ILLINOIS
12 NOVEMBER 2025

SJW
ARCHITECTS & ASSOCIATES



6 ELEVATION
 SCALE: 3/32" = 1'-0"

KEY NOTES	
1	STONE - HALQUIST
2	WOOD SIDING - ANTHRACITE
3	METAL - CLADDING
4	ROOFING - SHINGLES
REVISION NOTES (CLOUDED AREAS)	
A	ATTACHED GARAGE INCREASED BY (1) CAR, EXTERIOR MATERIAL CHANGED TO STONE
B	WINDOW ADDED ABOVE GARAGE DOOR
C	GARAGE DOORS TO MATCH WOOD SIDING



1 STONE - HALQUIST



2 WOOD SIDING - ANTHRACITE

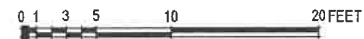
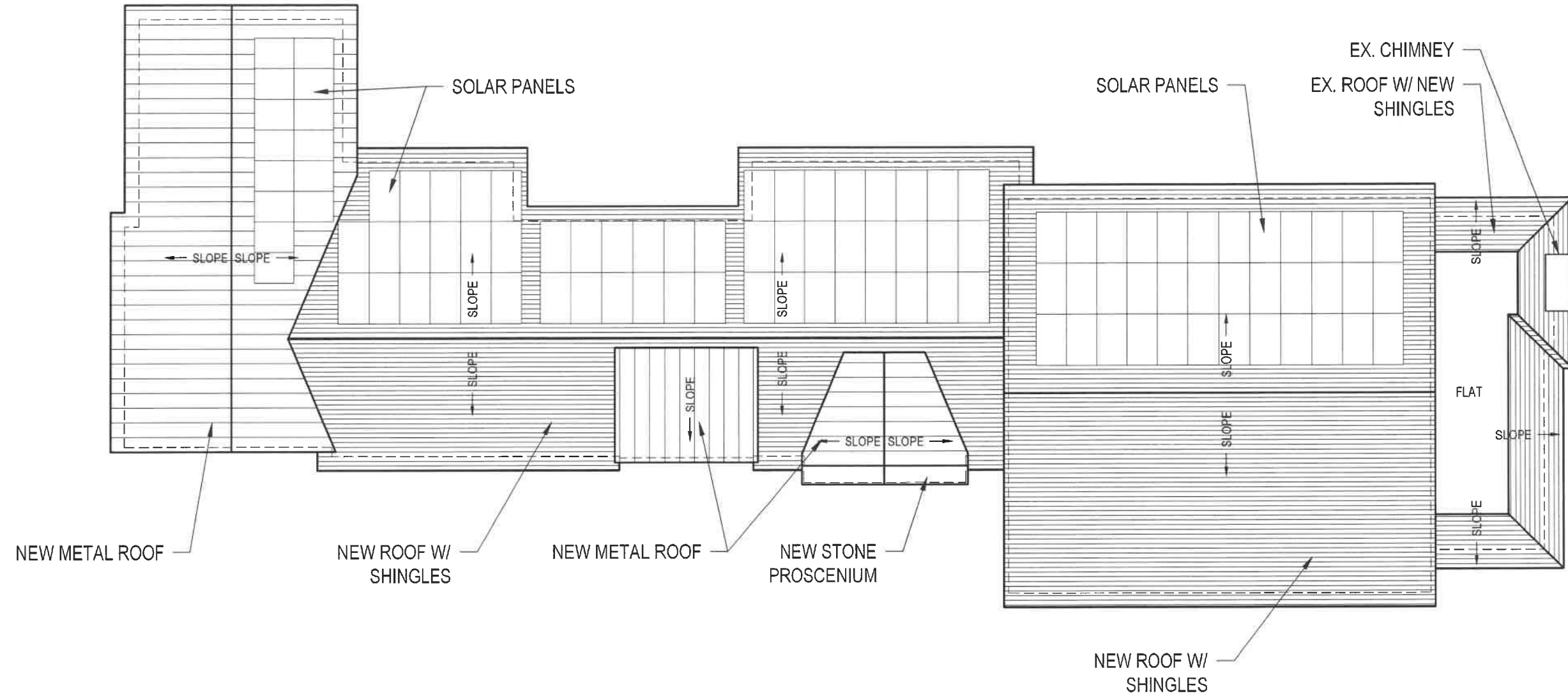


3 METAL - BRONZE CLADDING



4 ROOFING - SHINGLES

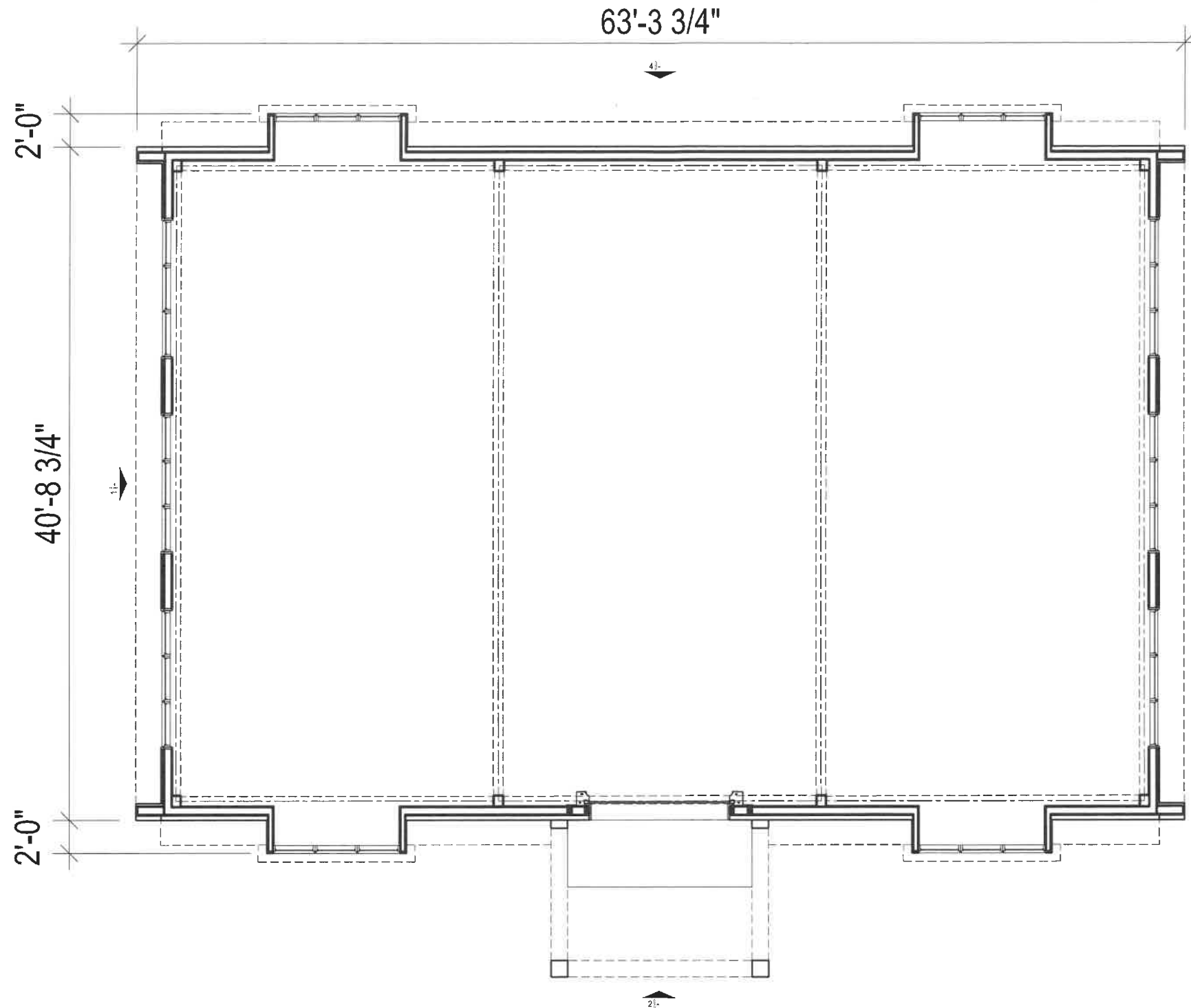
FINISHES



104 ROOF PLAN
SCALE: 3/32" = 1'-0"

FUTURE GARAGE - PROPOSED FOOTPRINT

NOT CONSIDERED IN THIS REQUEST



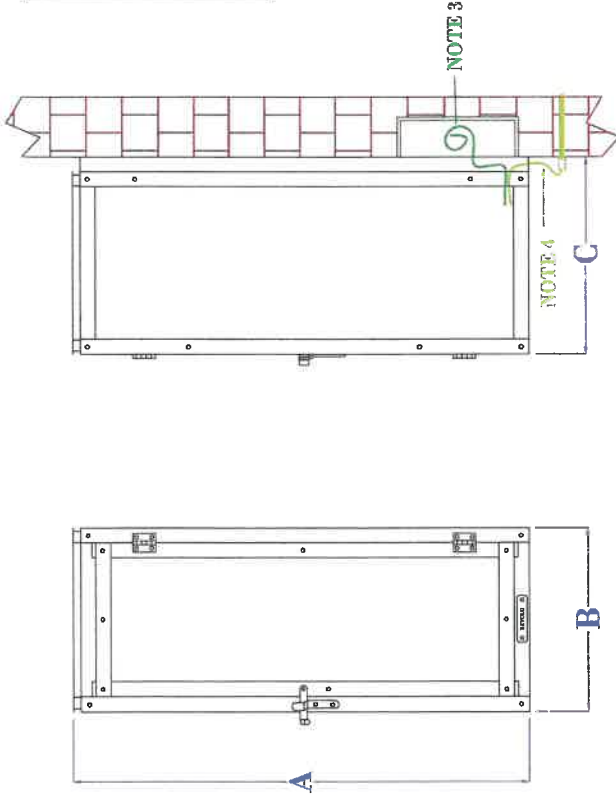
- FUTURE GARAGE PLAN
SCALE: 1/8"=1'-0"

FUTURE GARAGE BULK CALCULATION	
FIRST FLOOR AREA	2483 SQ FT
SECOND FLOOR AREA	432 SQ FT
TOTAL BULK CALCULATION AREA	2915 SQ FT

NOTE: THERE IS A 2940 SQ FT UNDER BULK
DIFFERENTIAL PER CALCULATION WORKBOOK
BUILDING SCALE SUMMARY SHEET



**FLUSH MOUNTED
GAS FIXTURES
CANNOT BE MOUNTED TO
ANY COMBUSTIBLE
MATERIALS INCLUDING
WOOD, VINYL, PVC
OR COMPOSITES**



NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 1/8" COPPER GAS LINE AND 1/2" x 1/4" GAS LINE ADAPTOR

SIZE:	15"	19"	23"	27"
A:	15 1/4"	19"	22 3/4"	27"
B:	6"	7 1/2"	9"	10 7/8"
C:	6 1/2"	8"	9 1/2"	11 1/8"

COPYRIGHT 2024, BEVOLO GAS & ELECTRIC LIGHTS. THIS DRAWING AND ANY DESIGN OR DATA CONTAINED THEREIN ARE CONSIDERED THE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. NO PART OF THIS DRAWING OR CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.

LIGHT:	MODERNIST	DATE:	5-17-24
BRACKET:	FLUSH MOUNT	REVISION:	3
DRAW BY:	JJG	APP. BY:	JJG

SJW
ARCHITECTS & ASSOCIATES

INSPIRATION

10 MAYFLOWER ROAD, LAKE FOREST, ILLINOIS
23 SEPTEMBER 2025

Materials from the October 15th Meeting



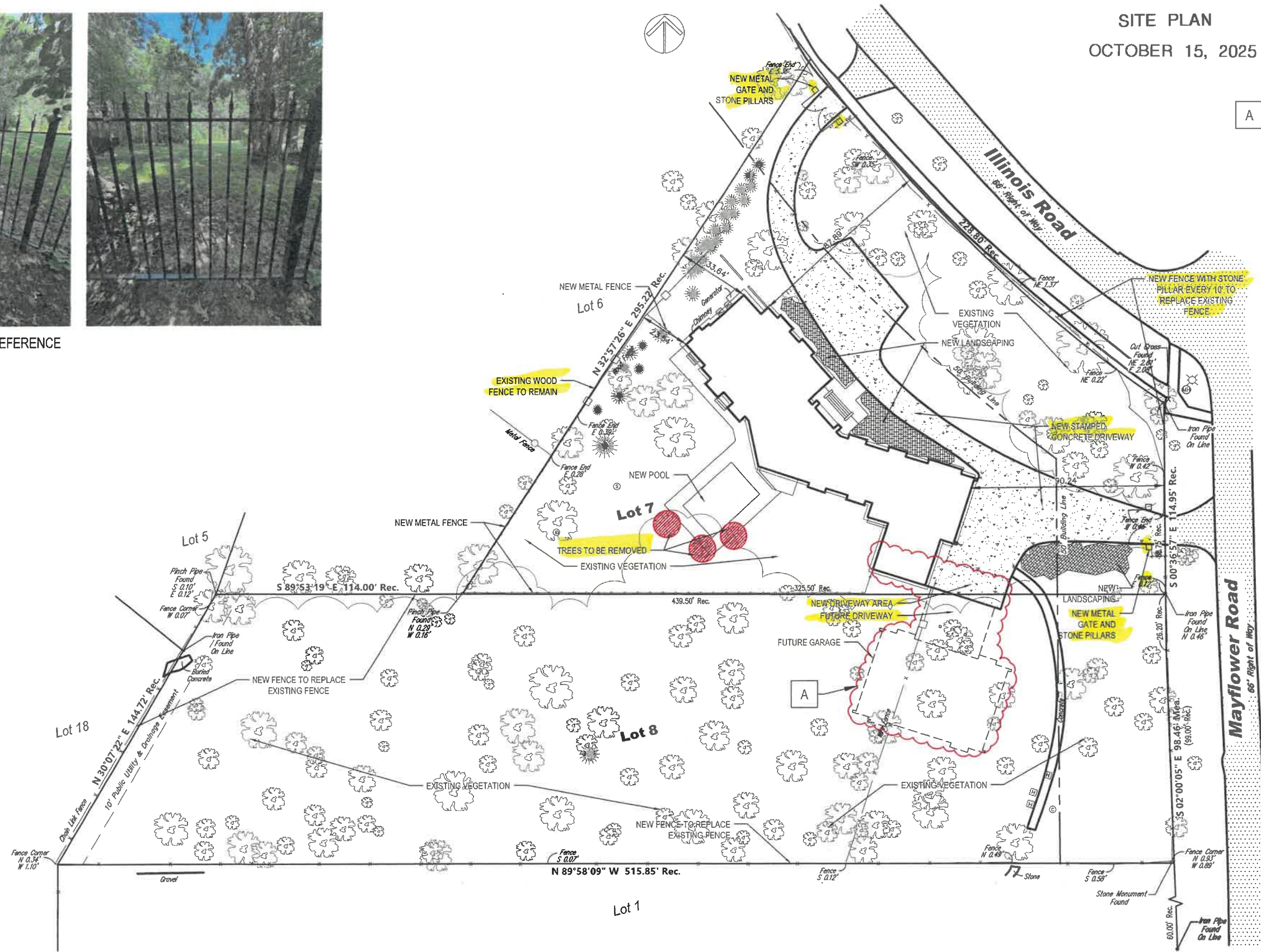
NEW METAL FENCE STYLE REFERENCE

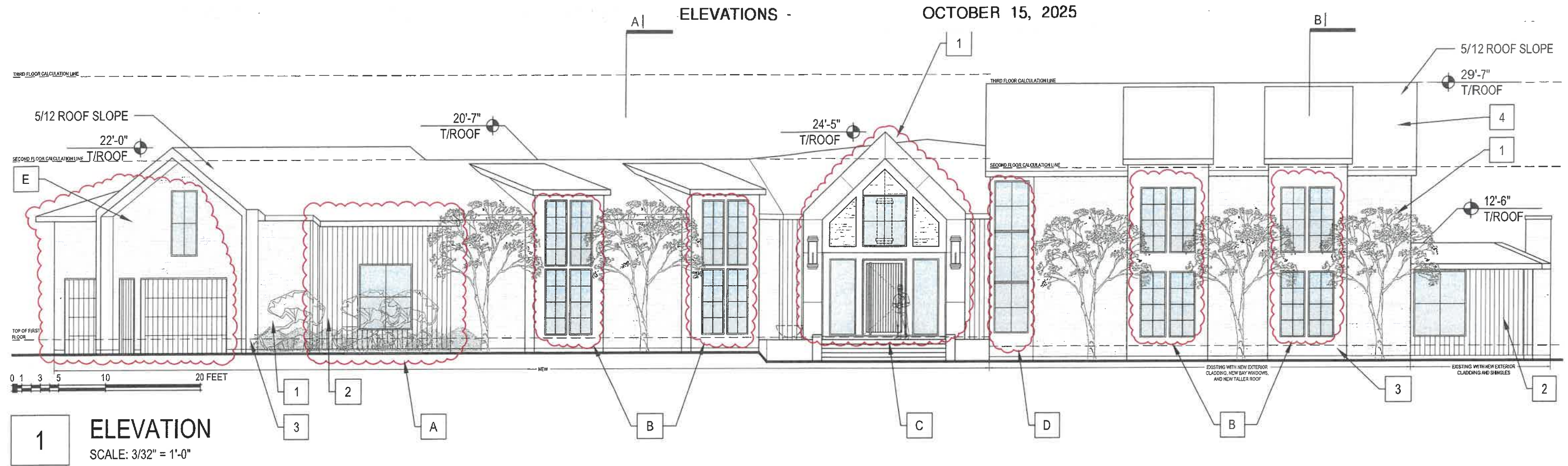


EXISTING WOOD FENCE TO REMAIN

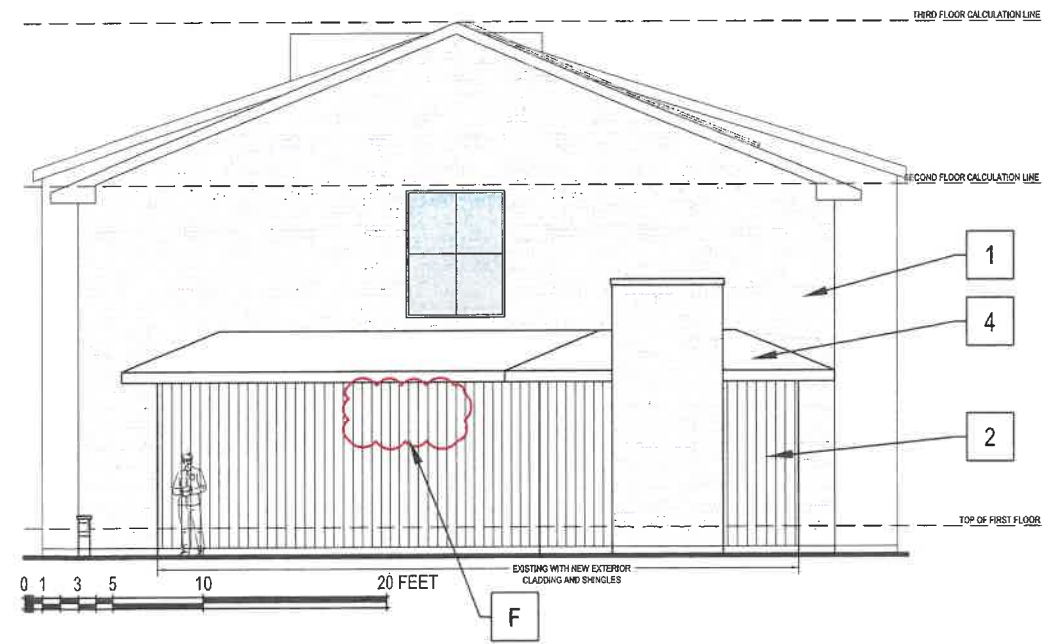
SITE PLAN
OCTOBER 15, 2025

REVISION NOTES (CLOUDED AREAS)
A ATTACHED GARAGE AT HOUSE INCREASED BY (1) CAR, LOCATION OF PROPOSED FUTURE GARAGE AND DRIVEWAY REVISED





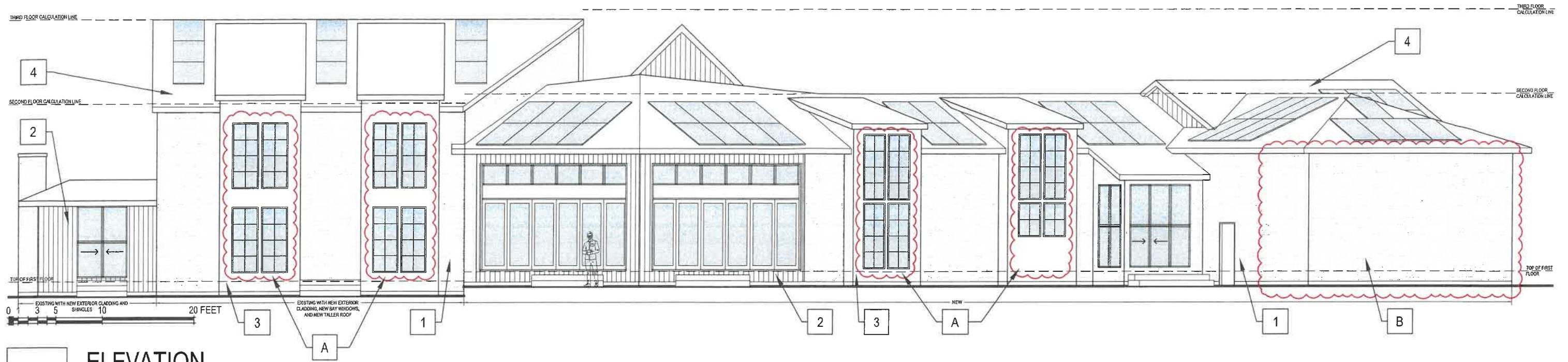
1 ELEVATION
SCALE: 3/32" = 1'-0"



2 ELEVATION
SCALE: 3/32" = 1'-0"

KEY NOTES	
1	STONE - HALQUIST
2	WOOD SIDING - ANTHRACITE
3	METAL - CLADDING
4	ROOFING - SHINGLES

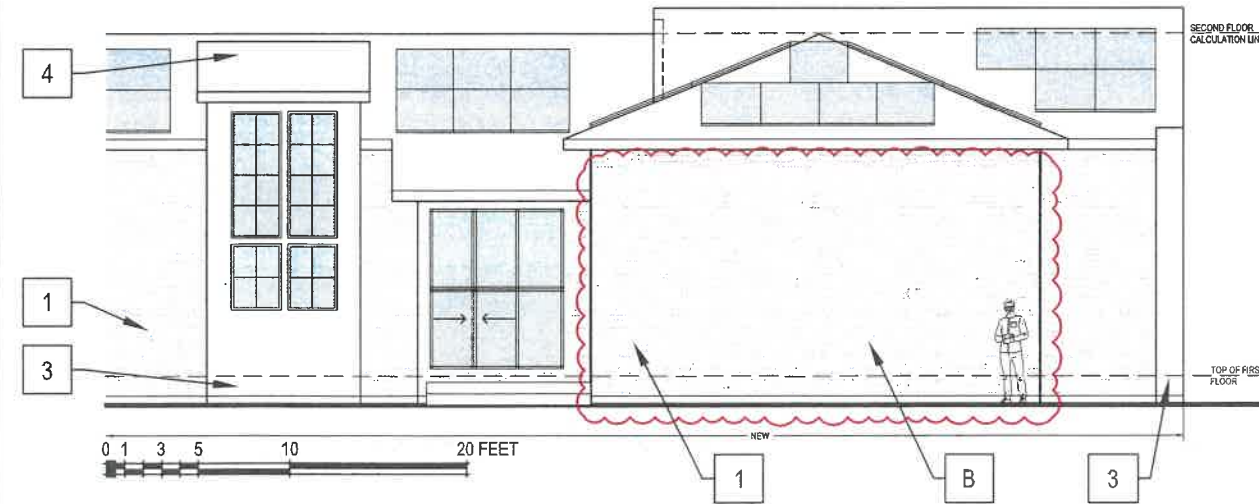
REVISION NOTES (CLOUDED AREAS)	
A	DORMER AT GARAGE REMOVED
B	SMALLER WINDOWS SIZED IDENTICALLY AT DORMERS, MUNTINS ADDED TO WINDOWS
C	REDUCED SCALE AND AMOUNT OF WINDOWS AT ENTRY PROSCENIUM
D	REDUCED AMOUNT OF WINDOW AT STAIR CORNER, MUNTINS ADDED TO WINDOWS
E	ATTACHED GARAGE INCREASED BY (1) CAR, EXTERIOR MATERIAL CHANGED TO STONE, WINDOW ADDED ABOVE GARAGE DOOR
F	WINDOW REMOVED



3 ELEVATION
SCALE: 3/32" = 1'-0"



4 ELEVATION
SCALE: 3/32" = 1'-0"



5 ELEVATION
SCALE: 3/32" = 1'-0"

KEY NOTES	
1	STONE - HALQUIST
2	WOOD SIDING - ANTHRACITE
3	METAL - CLADDING
4	ROOFING - SHINGLES
REVISION NOTES (CLOUDED AREAS)	
A	SMALLER WINDOWS SIZED IDENTICALLY AT DORMERS, MUNTINS ADDED TO WINDOWS
B	ATTACHED GARAGE INCREASED BY (1) CAR, EXTERIOR MATERIAL CHANGED TO STONE



6 ELEVATION
SCALE: 3/32" = 1'-0"

KEY NOTES

- 1 STONE - HALQUIST
- 2 WOOD SIDING - ANTHRACITE
- 3 METAL - CLADDING
- 4 ROOFING - SHINGLES

REVISION NOTES (CLOUDED AREAS)

- A ATTACHED GARAGE INCREASED BY (1) CAR, EXTERIOR MATERIAL CHANGED TO STONE
- B WINDOW ADDED ABOVE GARAGE DOOR
- C GARAGE DOORS TO MATCH WOOD SIDING



1 STONE - HALQUIST



2 WOOD SIDING - ANTHRACITE



3 METAL - BRONZE CLADDING



4 ROOFING - SHINGLES

FINISHES

Agenda Item 4
870 Woodbine Lane
Demolition and Replacement

Staff Report
Historic Survey Form
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Plat of Survey – Topography and Existing Conditions
Demolition

Structural Assessment

Historical and Architectural Study

Replacement Residence

Conceptual Site Plan

Conceptual Front Elevation – Massing Concept

Description of Exterior Materials

Conceptual Floor Plans

Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Culbertson and Members of the Historic Preservation Commission
DATE:	November 19 th , 2025
FROM:	Luis Prado, Assistant Planner
SUBJECT:	870 Woodbine Lane – Preliminary Presentation/Request for Early Input

Property Owner

Bianca Timbota
115 Melrose Ave
Kenilworth Illinois, 60043

Property Location

831 Rosemary Road
Southwest corner of Woodbine
Place and Woodbine Lane

Historic Districts

Lake Forest Local &
National Historic Districts

Project Representative

Shawn Purnell, Architect
20 Hawley Ct.
Grayslake, IL 60030

Summary of the Request

This is a request from the new owner of the 870 Woodbine Lane property for initial input and direction from the Commission. The petition is proposing demolition of the two historic structures located on the property, a wood frame cottage and a service building, which were both outbuildings to an estate. Initial reaction to the preliminary site plan and design concepts for a replacement residence is also requested. The property was purchased by the current owner four months ago.

Description of the Property and Surrounding Area

This property is located within the City's East Lake Forest Historic District and includes a historic cottage and early garage both identified as Contributing Structures to the Historic District. The cottage dates back to the 1880 Clayton Mark estate. The main house once stood at what is now 999 Lake Road. The cottage likely served as housing for a carriage driver or other household staff and may be the oldest remaining home in the area. Based on available records, the garage was constructed around 1917 when the property was owned by Charles B. Pike, who lived at 955 Lake Road, and was designed by David Adler and Rober Work.

The history of this site reflects a development pattern common in east Lake Forest from the 1890's through the 1940's, when large estates were supported by separate service buildings. These buildings were sometimes located on the main estate grounds, but they were also often placed on nearby or adjacent parcels, part of the larger estate property. This property was one of several service-related buildings along Woodbine Lane and Woodbine Place. Woodbine Lane and Woodbine Place are narrow streets that once served as access routes for larger estates to the east and west. Many of the remaining historic buildings in this area are today adaptively reused as single family residences. The historic structures, along with the unique street configuration, continues to define the character of the neighborhood.

The subject property, over the last decade, under the previous ownership, has been the subject of several code enforcement violations due to deferred maintenance of the structures and overall property.

Staff Review – Commission Input Requested

Below is general staff commentary regarding the proposed demolition of the existing historic structures and the early and limited concepts for a replacement residence and garage. Commission input is requested at this

early stage to assist the homeowner as further consideration is given to the future of the property.

Proposed Demolition of Two Estate Outbuildings

Structural Assessment – Prepared by Petitioner’s Consultant

According to the structural assessment submitted by the petitioner and included in the Commission’s packet, both the existing wood-frame cottage and the one-story brick garage suffer from long-term deferred maintenance. Given the dates of construction, the structures, like many in the community, do not comply with current Building Code standards. The cottage exhibits significant deterioration, including failing porch supports, cracked and compromised first-floor joists, missing floor decking, water intrusion at porch roofs, mold in the basement, and evidence of past roof leakage. Although the cottage has been occupied periodically by tenants over the past 20 years, considerable work is required to make the cottage safe for occupancy.

According to the structural assessment, the garage shows deterioration in the brick masonry, most notably along the north wall and at a key pilaster supporting one of the primary roof girders. The girder exhibits moisture-related decay and is considered structurally deficient potentially creating a risk of failure under snow loads. The roof decking shows signs of prior water infiltration, and the west entry canopy is unstable.

The petitioner’s engineer concludes that both structures are unsafe for habitation or storage in their present condition. The report also states that the structures are not suitable for relocation due to the compromised condition. The report notes that restoration would require substantial reconstruction and recommends emergency stabilization or demolition.

Historic and Architectural Study – Prepared by Petitioner’s Consultant

The historic and architectural study prepared for the petitioner is also included in the Commission’s packet. The report documents that the cottage retains its basic form, front-gabled massing, and clapboard exterior, and noted that later modifications include an enclosed porch and window replacements. The study notes that the brick outbuilding retains its original massing, wall construction, and vehicular bay proportions. Both structures are identified as Contributing to the Lake Forest Historic District and reflect the early estate-era development pattern along Woodbine Lane.

While the structural assessment identifies conditions that render the buildings unsafe, the historic study confirms their contributing status and their role within the broader historic context. Given the significant deterioration, the buildings may be considered candidates for demolition however, opportunities for repair and adaptive reuse remain for consideration. Deferred maintenance or neglect have not in the past been sufficient on their own to justify demolition. To date, the petitioner has not submitted evidence of exploration of opportunities to reuse, adapt, or incorporate one or both of the structures as part of the redevelopment of the property.

Commission Direction Requested:

- Should the petitioner be directed to explore options for adaptive reuse, adaptation, or incorporation of one or both of the existing structures into redevelopment plans for the property?

Proposed Replacement Residence

Site Plan

This property is located on a small, uniquely L-shaped corner lot. A small portion of the east side of the property is impacted by the start of a ravine. Since it is a corner lot, fronting on both Woodbine Lane and

Woodbine Place, the required zoning setback along both street frontages is 50' and a 50' setback applies to the east side of the property. A 20' setback is required from the north property line. The replacement residence as proposed does not conform to the zoning setbacks along the north or south sides. Prior to any final action by the Commission, requests for zoning variances would need to be considered by the Zoning Board of Appeals. The Board will require exploration of building footprints that eliminate or reduce the extent of encroachment into the required zoning setbacks. The curb cut as proposed is setback an adequate distance from the corner from Woodbine Place.

Commission Direction Requested:

- Provide direction on the siting and proximity of the house to the Woodbine Lane streetscape.
- Should the petitioner be encouraged to pursue one or more zoning variances from the Zoning Board of Appeals? If so, to what extent?
- Staff recommends that the petitioner be directed to provide a streetscape study illustrating the pattern of setback distances for homes in the neighborhood. (This information will be required for the Zoning Board of Appeals consideration.

Building Scale – Square Footage

To date, the plans for a replacement residence are not sufficiently developed to allow a calculation of the square footage. Dimensioned plans and a completed Building Scale Workbook will be required prior to further review by the Commission.

The allowable square footage for the entire property, with the required adjustment for the small portion of the lot impacted by the ravine is 4,499 square feet. An additional 600 square feet is available for a garage and 449 square feet for design elements.

Because the northeast appendage of the lot will not visually serve to mitigate the appearance of mass of the house from the streetscape, the Commission could consider calculating the allowable building square footage without all or a reduced portion of the north appendage.

Commission Direction Requested:

- Should the allowable building square footage include all, a portion, or none of the land area of the appendage?
- Should the final determination on the allowable square footage and whether to discount any portion due to the appendage be dependent on the visual appearance of mass once a complete design a proposed replacement home is presented?

Conceptual Massing - Front Elevation

A conceptual front elevation of the proposed replacement residence is provided to illustrate the proposed massing. Detailing is not yet included. A one-story garage wing is proposed to the west and a covered porch and balcony are proposed to the north. The home appears to be at or near the maximum building height although confirmation will be needed to reflect the height of the house in relation to the lowest point of existing, adjacent grade. Further development of all four elevations will be completed prior to any future request for action from the Commission.

Commission Direction Requested:

- Should the massing and architectural style attempt to reflect any elements of the existing cottage?
- Is the proposed style consistent with the various historic structures in the neighborhood given that many are adaptively reused outbuildings?

Exterior Materials

Additional detail regarding exterior materials is needed. At this time, the proposed façade material is white limewashed brick. White vinyl-clad, double-hung windows with simulated divided lites are proposed. Based on past Commission approvals, wood or aluminum-clad wood windows should be considered. Composite trim is proposed for the fascia and soffits, and composite shingles for the roof. Additional detail on the proposed composite products should be submitted. Physical material samples should be presented at the Commission meeting.

Commission Direction Requested:

- Encourage the petitioner to consider high quality, natural exterior materials due to the location of the property in the Historic District.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Continue consideration of the petition with direction to the petitioner to refine the plans in response to the Commission's questions and comments and the observations in this staff report. A complete application, including detailed drawings that align with the Residential Design Guidelines and the Historic Preservation standards in the City Code, should be submitted.



City of Lake Forest, Illinois Historic Resources Survey Form

ID: 6092

Property Address:

Street: 870 E WOODBINE LN
City: Lake Forest **State:** Illinois
County: Lake

Historic Property Name: Clayton Mark gardener's cottage

Original Owner: Clayton Mark
Other Previous Owners: HENTZ, ANN LOUISE

Present Owner: CHICAGO TITLE LAND TRUST CO

Current Property Name:

Resource Type: Building
Date of Construction: 1910
Use, Original: Gardener's cottage
Use, Present: Single Family Residence
Theme: Domestic
Secondary Theme: 20th Century Architecture
Style: Folk Victorian
Secondary Style: Victorian

Architect/Engineer: unknown

Builder/Contractor: unknown

Landscape Architect:



Photo Name: June 1995

Demolished: **Date:**

Zoning District: R4
Subdivision: Part of lot 83 of the Original Plat of Lake Forest; platted 1857

Subdivided from:

Current Property Size (est.): .63 acres
Original Property Size (est.):

Facade Easement?:
Held by:

Conservation Easement?:
Held by:

Plan Shape: Rectangular
Number of Stories: 2
Structural Framing:
Foundation Material:
Facade Material: Clapboard
Roof Form: Gable

Roof Material: Asphalt Shingle
Primary Window Type: Double Hung - 2/2
Porches: Enclosed porches at both sides
Integrity: Average
Condition:

Decorative Features & Surfacing:

Exposed rafter tails at porches, shutters and corner boards are some of the decorative features of this simply detailed home.

DECORATIVE SURFACING: Vertical board at porch



City of Lake Forest, Illinois

Historic Resources Survey Form

ID: 6092

Local Register:

Local Historic District:

Local Ordinance Historic District

Contributing Significance to Local District:

Contributing

Contributing Significant Resources:

Clayton Mark Gardener's Cottage - 1910; Charles B. Pike Garage - Adler & Work, 1917

Is this Property Eligible for Local Landmark Designation?:

Local Landmark Designation:

Is this Property Identified as a Historic Resource located outside the Local Historic District?:

Other Districts:

Historic Residential and Open Space Preservation District

National Register:

National Register Historic District:

Lake Forest

Contributing Significance to National District:

Contributing Significant Resources:

Is this Property Eligible for National Register Listing?:

Individual National Register Listing :

Other Designations:

History and Significance:

This property is identified as a contributing structure to the Historic District. The development of this property to serve as the support functions to a larger estate is representative of an important pattern of development that occurred in east Lake Forest between the 1890s and 1940s, in which service buildings were constructed within the context of the estate neighborhoods. Although many service buildings were located on the grounds of the main estate, it was not uncommon for them to be located on separate property which is either adjacent to or noncontiguous with the estate house. These types of service function outbuildings have become an important part of the estate era fabric of the historic district. This building is one of several estate service buildings located along Woodbine Lane and Woodbine Place, both narrow streets once served as the service entrance and ally ways for larger estates to the east and west. These buildings collectively contribute to the character of the historic district and should be preserved.

This house was originally the gardener's cottage for the Clayton Mark estate at 999 N. Lake Road. The one story detached masonry garage located at the corner of Woodbine Lane and Woodbine Place is associated with the Charles B. Pike Estate (955 Lake Road) and was designed by David Adler & Robert Work in 1917.

Clayton Mark was a prominent Chicago industrialist. He was founder and president of the Mark Manufacturing Co., a director and second vice-president of the Malleable Castings Co., and a director of the Interstate Foundry Co. He also served three terms as the president of the Chicago Board of Education.

The Folk Victorian style, characterized by the presence of Victorian detailing on a simple folk house form, was common throughout the country in the late 19th and early 20th century. The characteristic feature of this style is spindlework at the front porch. The details are usually of Italianate or Queen Anne influence.

This style owes its popularity to the railroad, which made woodworking machinery and lumber available at local trade centers. The accessibility of woodworking machinery made the production of Victorian detailing inexpensive. The railroad provide local lumber yards with supplies of pre-cut detailing from distant mills.

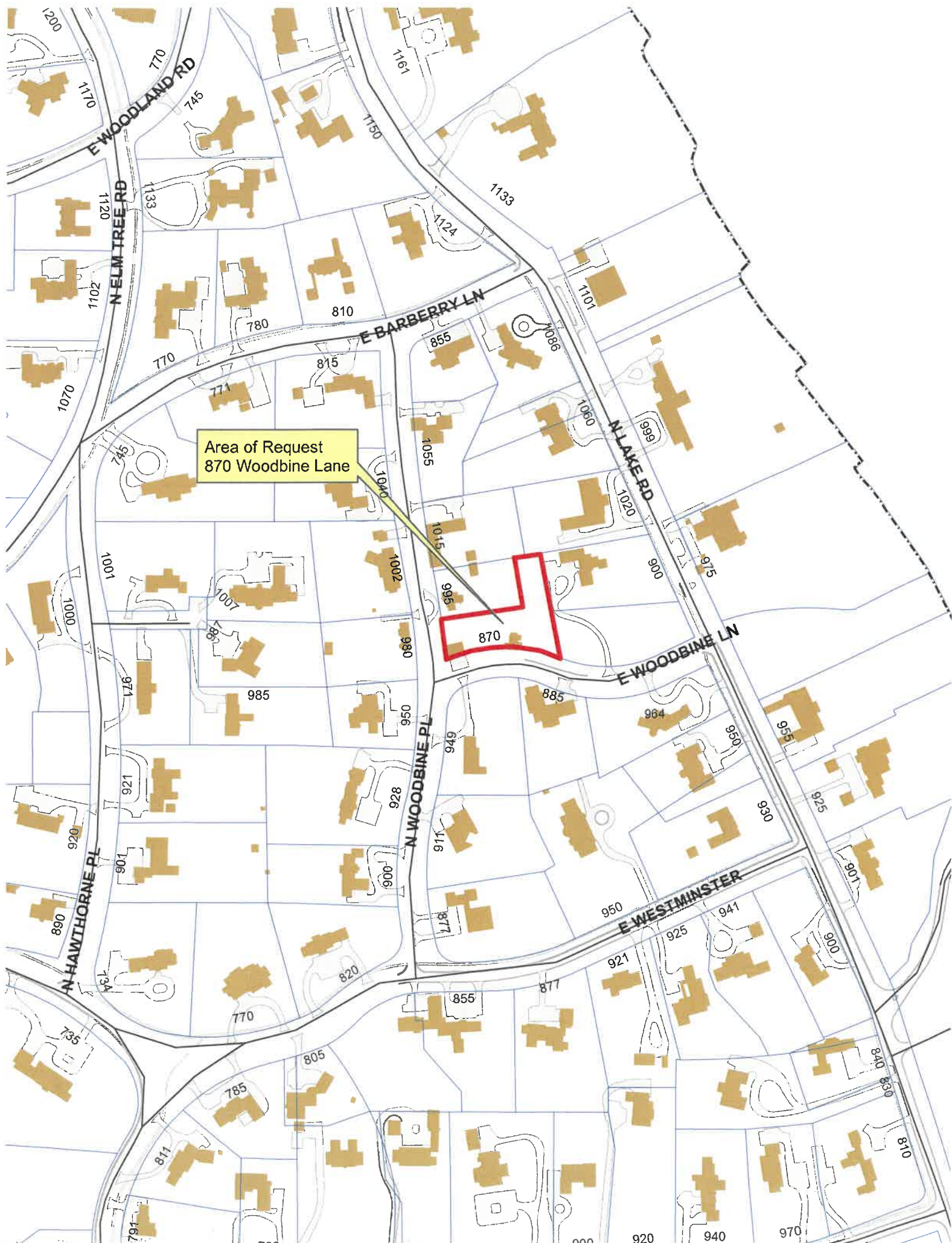
Changes:

A one room addition was added to the west side in 1951.

Property Setting:

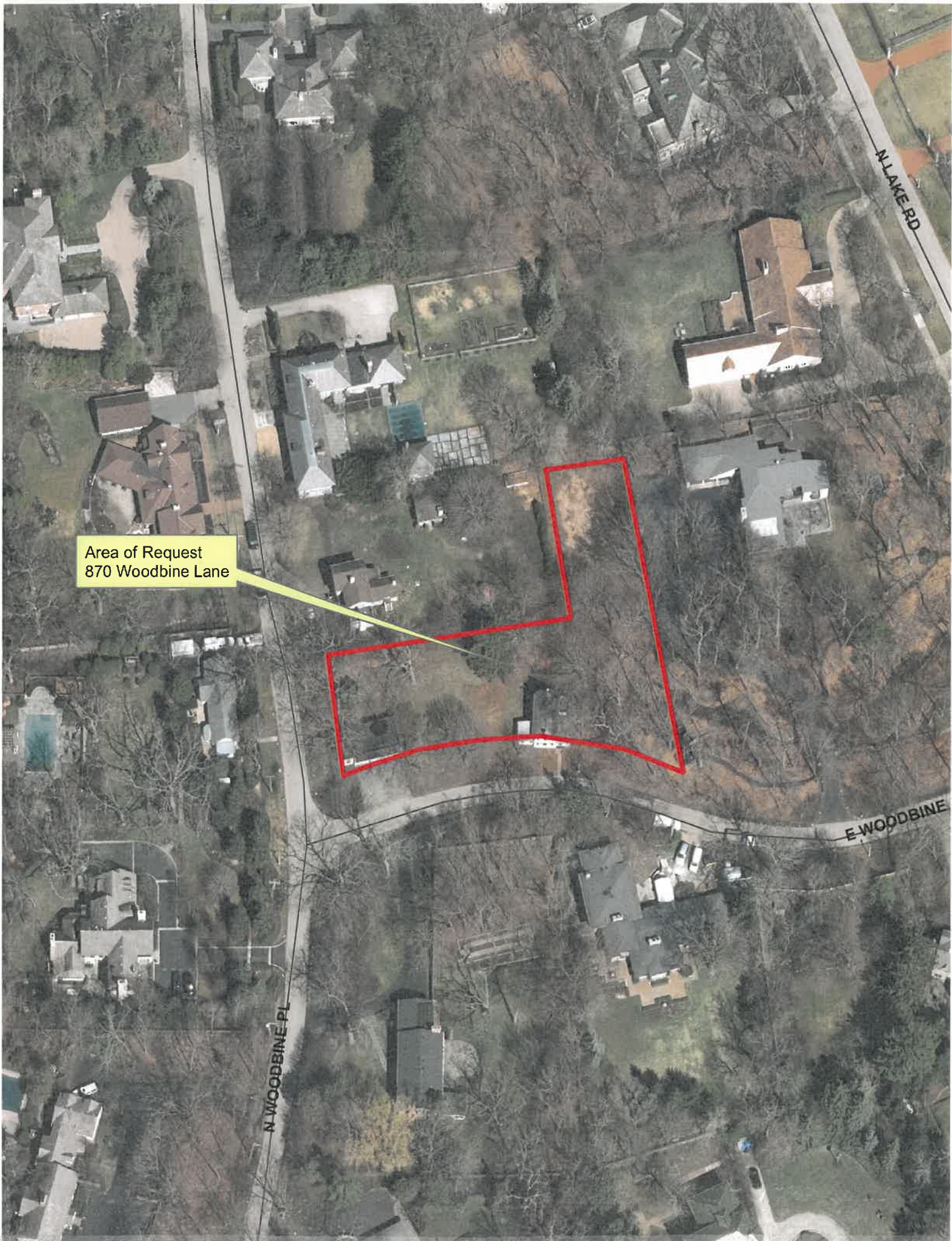
Residential neighborhood; This property is located on the northeast corner of Woodbine Lane and Woodbine Place.

Associated Buildings:





Area of Request
870 Woodbine Lane



Area of Request
870 Woodbine Lane

N WOODBINE PL

E WOODBINE

ALLAKE RD



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 870 Woodbine

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District Green Bay Road District Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District Other

PROPERTY OWNER INFORMATION

Bianca Timbota
Owner of Property

115 Melrose Ave
Owner's Street Address (may be different from project address)

Kenilworth IL 60043
City, State and Zip Code

773-870-2728
Phone Number *Fax Number*

btimbota@belia.com
Email Address

ARCHITECT/BUILDER INFORMATION

Shawn Purnell, Architect
Name and Title of Person Presenting Project

Purnell Architects Inc.
Name of Firm

20 Hawley Ct.
Street Address

Grayslake IL 60030
City, State and Zip Code

847-989-2772
Phone Number *Fax Number*

shawn@shawnpurnell.com
Email Address

Bianca Timbota
Owner's Signature

Shawn Purnell
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

SHAWN PURNELL
ARCHITECT, AIA

November 7, 2025
Statement of Intent
870 Woodbine Lane
Lake Forest IL

The intent of this project is to request permission to demolish the existing home and detached garage on the site and to construct a new single-family residence.

As the existing residence and garage are in poor structural condition and are not of significant historical value, we are proposing an appropriately scaled new home situated at a more natural location on the site. The new home would comply with the bulk requirements for the lot, however given the unique dimensions of the site, variances to the front and rear yard setbacks are being requested. The standards of the Historic Preservation Ordinance and Requirements for Demolition are addressed below:

Standard 1 - Height

The proposed home is 30'-0" from grade to its tallest point. This is below the allowable and in scale with surrounding neighborhood two-story homes.

Standard 2 - Proportion of Front Facade

The home is a typically proportioned Georgian style facade with subordinate wings for the garage and open porch. This is scale with surrounding homes and streetscapes.

Standard 3 - Proportion of Openings

The proposed fenestration is balanced and scaled appropriately for this design style.

Standard 4 - Rhythm of Solids to Voids

The rhythm of the facade is balanced and complimentary to the other surrounding homes.

Standard 5 - Rhythm of Spacing and Structures on Streets

The corner lot is bounded by streets and the ravine with no immediate neighboring homes. The homes placement on the lot is compatible with surrounding street rhythm.

Standard 6 - Rhythm of Entrance Porches and Projections.

The centered entrance and subordinate massings are visually compatible with surrounding homes.

Standard 7 - Relationship of materials

The proposed brick finish is exhibited on several neighboring homes and is compatible with the surrounding area.

Standard 8 - Roof Shapes

The central hip roof with gable accents is common on surrounding homes and compatible with the area.

Standard 9 - Walls of Continuity

N/A

Standard 10 - Scale of a Structure

The home is compatible in scale with surrounding homes and complies with the bulk requirements for this lot.

Standard 11 = Directional Expression of Front Elevation

The home addresses Woodbine lane with its organized facade. The side-load garage is located an appropriate distance from the corner street and the garage doors will be screened from view by landscape elements.

Standard 12 - Preserving Distinguishing Features

The siting of the home is intended to preserve the access and view of the ravine area and retain as many of the site's trees as possible.

Standard 13 - Protection of Resources

N/A

Standard 14 - New Construction

Similar style homes are common in the Historic District and the design is compatible with the surrounding area.

Standard 15 - 17

N/A

Standards for Approval of Demolition of a Structure

Standard 1

As outlined in the historic assessment document, the house and garage are not of uniquely significant historical value and are incongruous in character.

Standard 2

While indicative of several historical styles, the buildings do not benefit the District as a whole.

Standard 3

Given their structural condition and foundation support issues, it is our opinion that the demolition is not contrary to the intent of historic preservation.

Standard 4

The Folk Victorian residence and utilitarian masonry garage building are not unusual or uncommon designs.

Standard 5

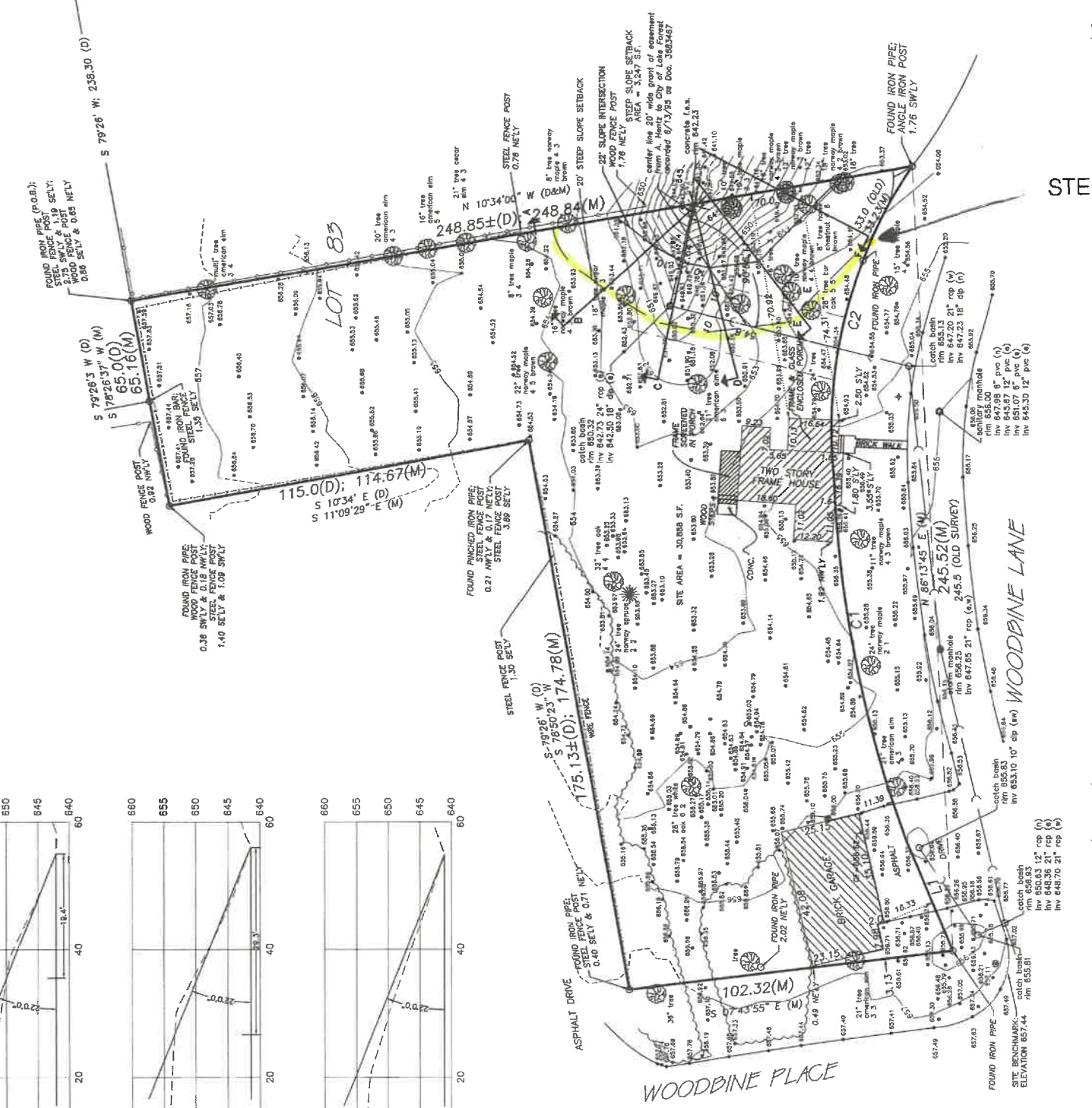
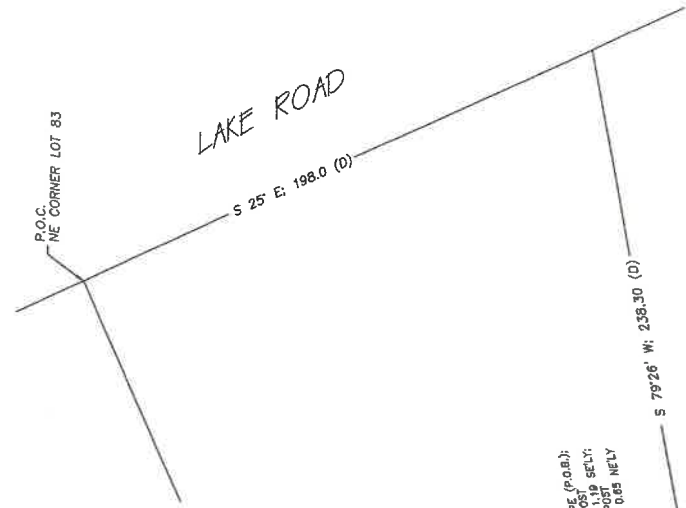
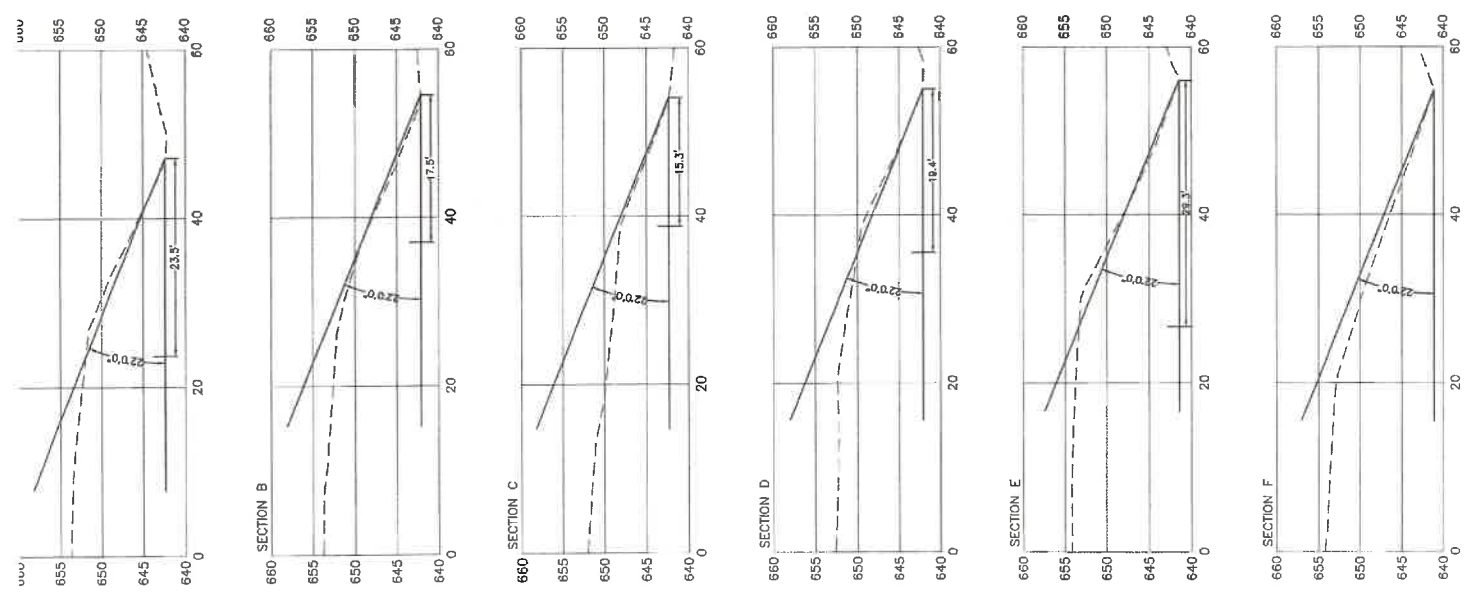
The designs for the replacement structure are in development and will be presented for approval.

Respectfully Submitted,

Shawn Purnell
Architect, AIA

PLAT OF TOPOGRAPHY

THAT PART OF LOT 83 IN THE CITY OF LAKE FOREST, IN THE SOUTH WEST FRACTIONAL QUARTER OF SECTION 27, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTH EAST CORNER OF LOT 83 AND RUNNING THENCE SOUTH 25 DEGREES EAST ALONG THE EASTERLY LINE OF SAID LOT 83, 198 FEET; THENCE SOUTH 79 DEGREES 26 MINUTES WEST 238.30 FEET FOR A PLACE OF BEGINNING; RUNNING THENCE SOUTH 79 DEGREES 26 MINUTES WEST 65 FEET; THENCE SOUTH 10 DEGREES 34 MINUTES EAST 115 FEET; MORE OR LESS, TO THE WESTERLY LINE OF SAID LOT 83; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LOT 83 TO THE SOUTH WEST CORNER OF SAID LOT 83; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 83 TO A POINT OF INTERSECTION THEREOF WITH A LINE DRAWN SOUTH 10 DEGREES 34 MINUTES EAST FROM THE PLACE OF BEGINNING; THENCE NORTH 10 DEGREES 34 MINUTES WEST, 248.85 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS.



Legend
 (D) = Deed
 (M) = Measure
 ——— = Wood Fence
 - - - - - = Wire Fence

Basis of Bearings = Deed calls
 Site Area = 30,887 sq. ft.
 Slope Area = 1,801 sq. ft.
 Net Area = 29,086 sq. ft.

NOTE: TOPOGRAPHICAL SURVEY SHOWN HEREON, SOME AREAS OF THE PROPERTY WERE OBTAINED BY ON-GOING BRUSH CLEARING AT THE TIME OF SURVEY, DISKED CONTOUR LINES, AND THOSE AREAS ARE SHOWN USING LAKE COUNTY GIS DATA.

ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF, COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND. REFER TO TITLE REPORT FOR ANY EASEMENTS, COVENANTS OR RESTRICTIONS THAT MAY EXIST BUT ARE NOT SHOWN HEREON.

Line Table

NUMBER	DIRECTION	ANGLE	DISTANCE
L1	N 66°25'46"	E	37.49

Curve Table

NUMBER	RADIUS	ARC LENGTH
C1	366.39	116.26
C2	145.03	102.31

STEEP SLOPE SETBACK

SITE BENCHMARK: P.I. NAIL IN ASPHALT PAVEMENT AT THE NORTHEAST INTERSECTION OF WOODBINE PLACE AND WOODBINE LANE. ELEVATION=857.44 NAVD DATUM (PER GPS OCCUPATION)

PLAT OF TOPOGRAPHY
RESIDENCE
870 WOODBINE PLACE
LAKE FOREST, ILLINOIS

PROJECT NUMBER
 25369

ig CONSULTING, INC.
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 300 MARSHALL DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
 1129 MAIN STREET UNION GROVE, WISCONSIN 53182 PH. (262) 678-6200 | ig@consulting.net

PREPARED FOR: **BIANCA TIMBOTA** SCALE: 1"=20'
 FIELD WORK: 10/16/25 DRAFTED BY: S.R.M. CHECKED BY: J.C.
 FIELD C.R.L.

STATE OF ILLINOIS
 COUNTY OF COOK

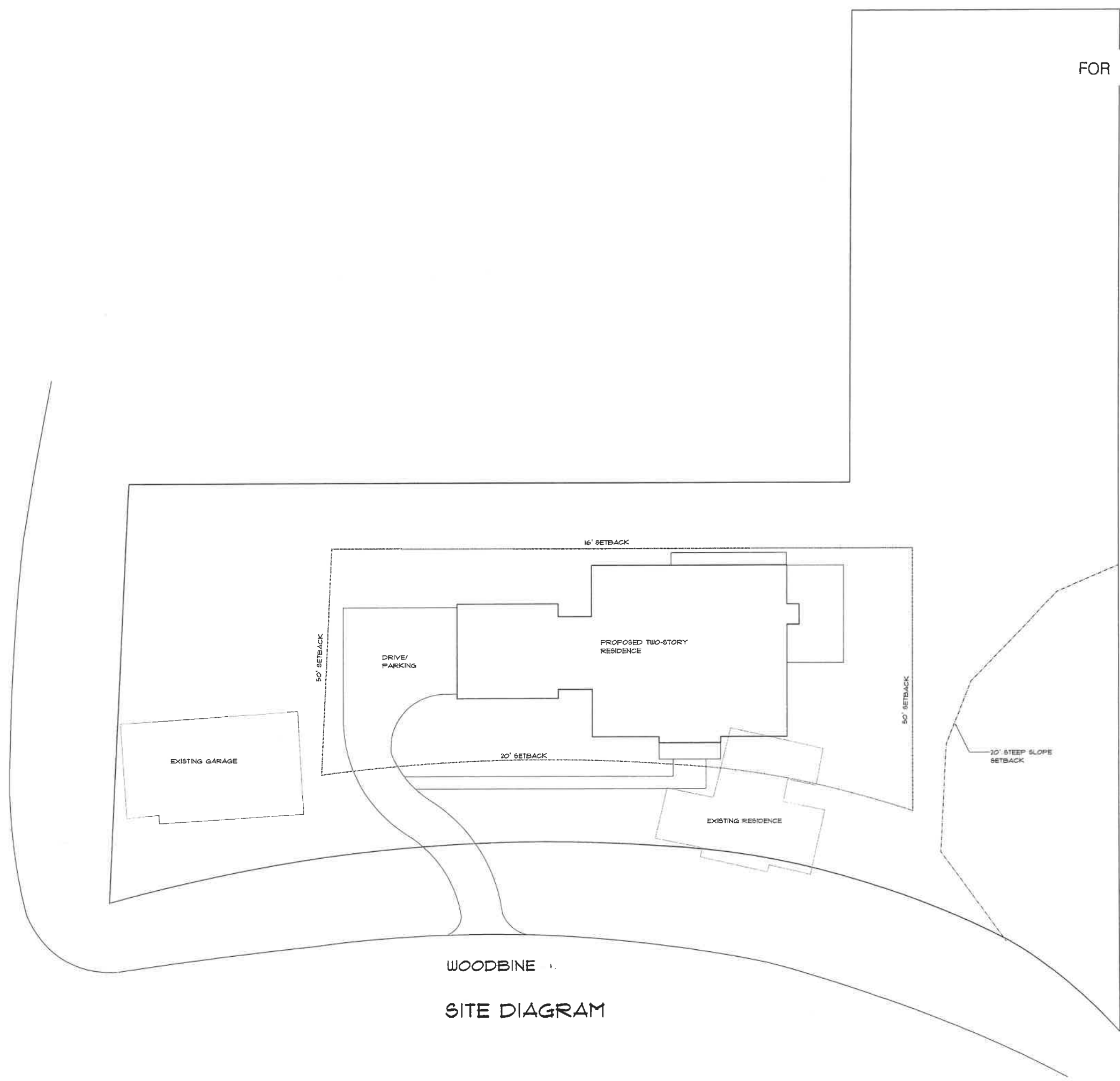
WHEELING, IL, OCTOBER 31st, A.D. 2025.

BY: *[Signature]*
 ILLINOIS PROFESSIONAL LAND SURVEYOR #26851
 LICENSE EXPIRES NOVEMBER 30, 2026



CONCEPTUAL
SITE PLAN

FOR INFORMATIONAL PRESENTATION ONLY



WOODBINE
SITE DIAGRAM

CONCEPTUAL FRONT ELEVATION
FOR INFORMATIONAL PRESENTATION ONLY

MASSING CONCEPT



PROPOSED MASSING DIAGRAM



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other _____

Foundation Material

Exposed Foundation Material _____

Color and/or Type of Material white lime wash

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish white

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other Composite trim

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Other _____
- Sheet Metal

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____