

**Agenda Item 3**  
**680 – 684 Bank Lane**  
**Replacement of an Existing Bridge Continued**

Staff Report  
Excerpt – Minutes from 11/20/2024 Meeting  
Vicinity Map  
Air Photos

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Existing Conditions Facing South  
Original Option (November 2024) and Existing Conditions  
Option 1 (Solid Arch)  
Option 2 (Open Arch)  
Option 2 Reference (Existing Conditions – Market Square)  
Cross Section Facing North  
First Floor Plans – Demolition  
First Floor Plans – Proposed  
Second Floor Plans – Demolition  
Second Floor Plans - Proposed

*Materials shown in italics are included in the Commission packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO: Chairman Grinnell and Members of the Historic Preservation Commission  
DATE: January 22<sup>nd</sup>, 2024  
FROM: Luis Prado, Assistant Planner  
SUBJECT: **680 – 684 Bank Lane - Bridge**

### Property Owners

Schreiber Family Investments,  
Inc.  
STRS L3 ACQ2, LLC

### Property Location

680 - 684 Bank Lane

### Historic Districts

East Lake Forest Local and  
National Register Historic  
Districts

### Project Representative

Frank Torchia, Architect  
20 Hawley Court  
Grayslake, IL 60030

### Summary of the Request

This petition is continued from the November 20, 2024 Historic Preservation Commission meeting. In November, the petition was partially approved by the Commission. The Commission approved the removal of the existing bridge. An excerpt of the minutes from the November meeting is attached to this staff report.

As a follow up to the November meeting, all of the Commissioners individually had the opportunity to view the site in depth, both from the alley and from inside each building to allow a more complete understanding of the challenges of the existing bridge and the details of the proposed replacement bridge.

A Certificate of Appropriateness is requested to approve the construction of a bridge to replace the existing bridge which connects the building that fronts on Bank Lane, commonly referred to as the former Marshall Field's building, to the building to the west, at the second floor. The replacement bridge will be similar to the original bridge and located a short distance to the north. The new bridge will space the short distance between the two buildings and provide a safe, Code compliant connection between the second floors of the buildings, extending over the alley where Amedei's Market operates seasonally. The replacement will necessitate very slight shifts in two at grade rear doors and a slight shift in the location of a ladder that provides access to the roof top mechanicals. No variances are requested. On November 20<sup>th</sup>, 2024, the HPC approved the demolition of the existing bridge.

### Description of the Properties

Built in 1916, the building addressed today as 680 to 684 Bank Lane was designed by Howard Van Doren Shaw as the centerpiece for the composition of buildings which make up Market Square. The building to the west, which fronts on Forest Avenue and extends from Northgate to Southgate, was also designed by Shaw and was built in 1917 for the Young Men's Club. The two buildings connect at the second floor via a narrow bridge which today, is not functional due to interior changes made in the buildings over the decades and is not Code compliant. The bridge and alley below the bridge, Amedei's Market, are on the 680 – 684 Bank Lane property.

## **Staff Review**

An overview of the proposed replacement bridge is provided below. Additional details are available in the Commission's packet in the materials provided by the petitioner.

### *Proposed Modifications*

The existing non-functional bridge will be removed as previously approved by the Commission. The bridge is inaccessible from 680-684 Bank Lane, is in a state of disrepair, and does not meet current Building Code standards. As noted above, a functional and Code compliant replacement bridge is proposed just north of the existing bridge. The new bridge is intended to be similar in design to the existing bridge but adjusted to correct the issues of inaccessibility, functionality and safety.

At the November 20<sup>th</sup> meeting, the replacement bridge design that was presented to the Commission presented a flat underside as opposed to a curved design consistent with the current bridge. The need to maintain an adequate ground to bridge height drove the proposed flat design. The bridge design as originally proposed is included in the Commission's packet for reference.

In response to comments and direction from the Commission, two additional design options were developed that reflect an arch element similar to the existing bridge but are configured to allow sufficient head room between the ground and the bottom of the bridge. Option 1 incorporates a solid stucco arch, comparable to the existing bridge. Option 2 incorporates an open decorative wood arch inspired by the wood arches in Market Square adjacent to the former Forest Bootery space and Lululemon. Both options are detailed in the Commission's packet.

All three options utilize support columns with a grey stucco finish as part of the structure of the new bridge.

To accommodate the relocated bridge, minor alterations will occur on the flanking masonry walls, the rear walls of both the 227 Northgate and 680-684 Bank Lane buildings. These alterations and the relocation of the access ladder on the 227 Northgate building are necessary to accommodate the new bridge.

### *Findings*

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

#### **Standard 1 – Height.**

This standard is met. The maximum height of the bridge will not change. The base of the bridge will be lowered by 33 inches. The bottom of the Option 1 arch is 1.5 feet lower than the base of the bridge. The bottom of the Option 2 arch is 2 feet lower than the base of the bridge.

#### **Standard 2 - Proportion of front façade.**

This standard is not applicable to this request. There are no proposed changes to the front façade of the building.

#### **Standard 3 – Proportion of openings.**

This standard is met. The openings on the rear walls of the two buildings will be slightly modified at the service doors. The existing proportions will be maintained.

#### **Standard 4 – Rhythm of solids to voids in front façade.**

This standard is not applicable to this request. There are no proposed changes to the front façade.

**Standard 5 – Rhythm of spacing and structures on streets.**

This standard is met. There are no proposed changes to the rhythm of spacing and structures along the street. The bridge will continue to be visible from both the north and south ends of the alley. It will appear slightly closer when viewed from the north, and slightly further away when viewed from the south.

**Standard 6 – Rhythm of entrance porches, storefront recesses and other projections.**

This standard is not applicable to this request. No changes are proposed to the entrance porches, storefront recesses or other projections.

**Standard 7 – Relationship of materials and textures.**

This standard is met. The proposed materials and textures will match the materials on the existing bridge. The decorative wood arches in Option 2 will match the wood arches in Market Square.

**Standard 8 – Roof shapes.**

This standard is not applicable to this request. No changes are proposed to the roof shapes.

**Standard 9 – Walls of continuity.**

This standard is met. There are no changes proposed to the exterior walls and minimal changes proposed to the rear walls of the buildings to accommodate the new bridge. The area where the bridge will be removed will be filled in with brick salvaged from the areas where the new bridge will be installed.

**Standard 10 – Scale.**

This standard is met. The replacement bridge will increase in width and depth for functionality and to comply with the Code, but will remain visually compatible with its surroundings. Option 1 incorporates a thicker arch which adds to the mass and appears bulkier/heavier than the open arch proposed in Option 2.

**Standard 11 – Directional Expression of Front Elevation.**

This standard is not applicable to this request. There are no changes proposed to the front elevation.

**Standard 12 – Preserving distinguishing features.**

This standard is met. The bridge, although visible from the north and south ends of the alley, is not a prominent feature of Market Square. The bridge will be replaced with a bridge of similar design and importantly, a bridge that is functional. In response to direction of the Commission, the new options presented preserve the distinguishing arch feature.

The existing windows in the bridge will be removed, reconditioned and reused.

**Standard 13 – Protection of resources.**

This standard is not applicable to this request.

**Standard 14 – New construction.**

This standard is not applicable to this request.

**Standard 15 – Repair to deteriorated features.**

This standard is met. The existing bridge windows will be repaired and reused rather than replaced.

**Standard 16 – Surface cleaning.**

This standard is not applicable to this request.

**Standard 17 – Reversibility of additions and alterations.**

This standard is not met. Although the new bridge could be removed in the future, the existing bridge could not be reconstructed because it does not meet current building and life safety Code requirements.

**Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. The agenda for this meeting was posted at various public locations. As of the date of this writing, no comments have been received.

**Recommendation**

Grant a Certificate of Appropriateness approving a replacement bridge, design Option 2, on the property addressed as 680 – 684 Bank Lane subject to the following conditions:

1. Submit plans for permit that are consistent with the plans on which the Commission based its approval. Any and all changes and enhancements made to the plans after the Commission's review must be clearly highlighted on the plans submitted for permit and a copy of the plans presented to the Commission must be included for comparison purposes. Staff is directed to review the plans submitted for permit for consistency with the Commission's approval and consult with the Chairman as appropriate.
2. Submit a construction parking and staging plan. The plans shall be subject to City approval prior to the issuance of building permits.

*Excerpt*  
Historic Preservation Commission  
Proceedings of the November 20, 2024 Meeting

A meeting of the Lake Forest Historic Preservation Commission was held on Wednesday, November 20, 2024, at 6:30 p.m. at the City of Lake Forest City Hall, 220 E. Deerpath, Lake Forest, Illinois.

Historic Preservation Commissioners present: Chairman Maureen Grinnell, and Commission members Lloyd Culbertson, Tina Dann-Fenwick, Geoffrey Hanson, Robin Petit, and Leif Soderberg.

Commissioners absent: Elizabeth Dalieri

City staff present: Abigail Vollmers, Senior Planner, Luis Prado, Assistant Planner, and Catherine Czerniak, Director of Community Development

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**5. Consideration of a request for a Certificate of Appropriateness for the removal of the existing bridge which connects to the building to the west, and construction of a replacement bridge a short distance to the north. The building is addressed as 680-684 Bank Lane.**

Property Owner: Schreiber Family Investments, Inc.

Presented by: Frank Torchia, architect, IA+D Studios

Chairman Grinnell asked the Commission for any Ex Parte contacts or conflicts of interest. Hearing none, she invited a presentation from the petitioner.

Mr. Schreiber explained that his family's foundation occupies the second floor of the former Marshall Field building on Bank Lane and the second floor of the building to the west. He stated that the existing connection bridge is not functional and has not been functional for decades. He stated that a replacement bridge is proposed to connect the two office spaces.

Mr. Torchia reviewed the relationship of the two buildings noting that the floors of the two buildings are not aligned which presents a challenge given the narrow alley that the bridge spans. He stated that the distance between the buildings is not sufficient to allow a ramp to be constructed in compliance with today's Code requirements. He stated that to resolve the issue, both stairs and a lift are proposed in conjunction with the replacement bridge. He stated that the bridge itself will be level with the lift and stairs accommodated in a closet type space in the Marshall Field building. He noted that the bottom of the replacement bridge is proposed at 10 feet above the ground in order to make the bridge functional and Code compliant. He stated that the top of

the arch of the existing bridge is 12'10" above the ground and 9 feet above grade where the bridge meets the buildings. He explained that if an arch is configured underneath the replacement bridge, the top of the arch would be 10 feet above grade and roughly seven feet above grade where the bridge meets the buildings. He stated that the vertical columns and the horizontal edge of the bridge will be the dominant visual elements of the replacement bridge. He stated that the replacement bridge will be stucco, the same material as the existing bridge adding that the windows and slate are planned to be reused to the extent possible. He stated that any new slate that is needed will be selected to match the original slate.

Mr. Prado stated that this is a unique project with the goal of recreating a connection between the two buildings that will be functional and meet current Codes. He confirmed that reuse of the existing bridge is not feasible due to changes that have occurred inside the buildings that have closed off the bridge and due to current accessibility requirements. He stated that the staff report provides findings in support of the petition.

In response to questions from Commissioner Hanson Mr. Torchia confirmed that adding an arch to the replacement bridge will lower the bridge confining the Amidei Market space below. He expressed concern that with an arch, the bridge may feel too low or squat and may encumber use of the alley.

In response to questions from Commissioner Soderberg, Mr. Torchia confirmed that the bottom of the replacement bridge without the arch is proposed at 10 feet above grade.

In response to questions from Commissioner Dann-Fenwick, Mr. Torchia agreed to give further thought to options that would incorporate an arch with an appropriate curve, not too flat.

In response to questions from Commissioner Culbertson, Ms. Czerniak confirmed that if desired, the Commission could issue a Certificate of Appropriateness for removal of the existing bridge and continue consideration of the replacement bridge either with a subcommittee or by the full Commission at a future meeting with direction to explore options for incorporating an arch into the replacement bridge.

Commissioner Petit requested a cross section showing the two buildings and how the arch relates to each building and options for an arch.

In response to questions from Chairman Grinnell, Mr. Schreiber confirmed that Amidei is aware of the proposed work and prefers that it is completed over the winter, while the market is closed.

In response to questions from Commissioner Soderberg, Mr. Schneider confirmed the intent to complete the project while the market is closed for the season.

In response to questions from Commissioner Soderberg, Mr. Torchia stated that the openings left by the removal of the existing bridge will be bricked up as has occurred elsewhere on the building. He stated that the brick salvaged from the construction of the replacement bridge will be used. He stated that the exterior ladder that accesses the mechanical equipment and a door will be moved to accommodate the replacement bridge. He confirmed that limited interior remodeling will be needed to accommodate the replacement bridge.

In response to a question from Chairman Grinnell, Mr. Torchia stated that the width of the bridge will increase from four feet to seven feet. He stated that the lift will be a platform that can accommodate a wheelchair.

In response to questions from Commissioner Dann-Fenwick, Mr. Torchia confirmed that the openings left by the removal of the existing bridge will be bricked up. He stated that no windows will be added to either building.

In response to a question from Commissioner Hanson, Mr. Schreiber stated that there is not sufficient space inside the buildings to accommodate a ramp to address the grade change.

Hearing no further questions from the Commission, Chairman Grinnell invited public comment.

Jim Opsitnik, 971 Verda Lane, spoke on behalf of the Like Forest Preservation Foundation and stated support for incorporating an arch in the replacement bridge. He suggested that detailed drawings be provided to clarify the different floor levels in the two buildings and the intended placement of the replacement bridge. He stated that the arch is an important element of the bridge and adds charm to the alley.

Hearing no further requests to speak from the public, Chairman Grinnell invited final comments from the Commission.

Commissioner Hanson expressed a desire for the full Commission to be involved in reviewing the details of the replacement bridge rather than a subcommittee given the importance of Market Square. He stated support for approving the removal of the existing bridge if that is helpful from a timeline perspective.

Commissioner Petit stated support for recreating a functional bridge. She reiterated her request for sections to clarify the floor level and height above grade challenges. She agreed that the arch element is interesting but stated incorporating the arch is not her primary concern.

Chairman Grinnell stated support for involving the full Commission in further review of the replacement bridge given the significance of Market Square. Hearing no further comments, she invited a motion.

Commissioner Hanson made a motion to grant a Certificate of Appropriateness approving the removal of the existing bridge between 680 – 684 Bank Lane and 675 and 709 Forest Avenue based on the findings detailed in the staff report and incorporating the Commission's deliberations as additional findings. He stated that the motion is subject to the following condition.

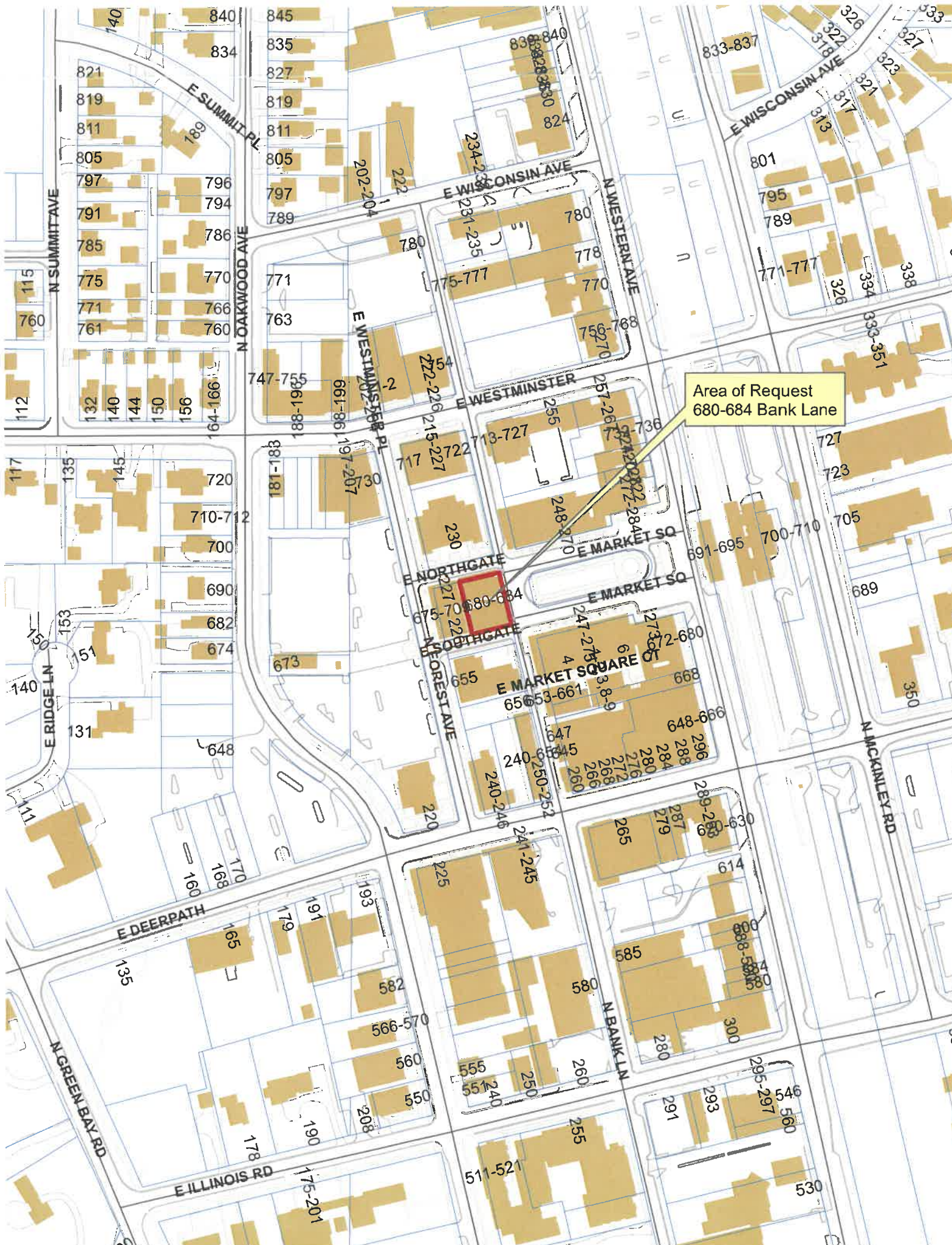
1. Any and all changes and enhancements made to the plans for removal of the bridge after the Commission's review must be clearly highlighted on the plans submitted for permit and a copy of the plans presented to the Commission must be included for comparison purposes. Staff is directed to review the plans submitted for permit for consistency with the Commission's approval and consult with the Chairman as appropriate.
2. Submit a construction parking and staging plan. The plans shall be subject to City approval prior to the issuance of building permits.

The motion was seconded by Commissioner Culbertson and approved by the Commission by a 6 to 0 vote.

Commissioner Hanson made a motion to continue the petition for the replacement bridge between the buildings addressed as 680 – 684 Bank Lane and 675 and 709 Forest Avenue with direction to provide sections illustrating the challenges presented by the different floor levels and the height above grade, and with direction to explore opportunities to incorporate an arch underneath the bridge and provide illustrations and a mock up to the extent possible with attention to whether an appropriate shape can be achieved with an arch.

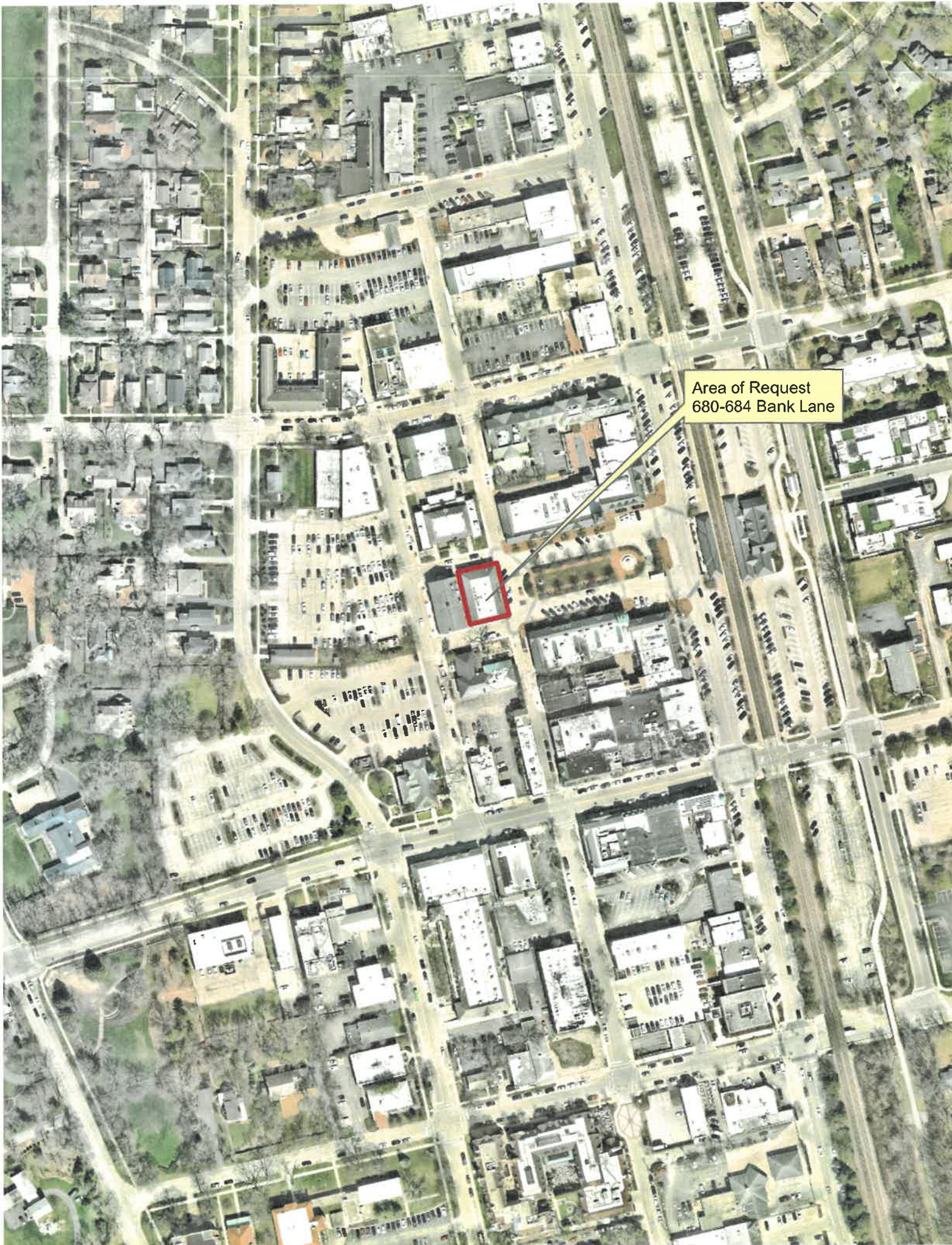
The motion was seconded by Commissioner Culbertson and approved by the Commission by a 6 to 0 vote.

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Area of Request  
680-684 Bank Lane

680-684



Area of Request  
680-684 Bank Lane

Area of Request  
680-684 Bank Lane





**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** 680 - 684 Bank Lane (alley)

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District    
 Green Bay Road District    
 Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District    
 Other

**PROPERTY OWNER INFORMATION**

**ARCHITECT/BUILDER INFORMATION**

**Schreiber Philanthropy/Family Investments, Inc. Frank Torchia**

*Owner of Property*

*Name and Title of Person Presenting Project*

*Owner's Street Address (may be different from project address)*

*Name of Firm*

682 Bank Lane, Lake Forest, IL 60045

IA+D Studios, LLC

*City, State and Zip Code*

*Street Address*

41786 N. Crawford Road, Antioch, IL 60002

*City, State and Zip Code*

*Phone Number* 312-296-7175     *Fax Number*

*Email Address* ftorchia.aia@gmail.com

Daniel Lo     CEO

Frank Torchia, architect

*Owner's Signature*

*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

***Please email a copy of the staff report***

OWNER      REPRESENTATIVE

***Please fax a copy of the staff report***

OWNER      REPRESENTATIVE

***I will pick up a copy of the staff report at the Community Development Department***

OWNER      REPRESENTATIVE



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_ GREY \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_ to match existing

**Foundation Material**

Exposed Foundation Material Cementitious Stucco

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other Fixed

Color of Finish To match existing

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

**Window Muntins**

- Not Provided
- True Divided Lites

**Simulated Divided Lites**

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other N/A

**Window Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

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- Brick
- Stone
- Stucco
- Other N/A

**Roofing**

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**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material To match existing

**Gutters and Downspouts**

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- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

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- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other N/A

**Terraces and Patios**

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- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other N/A

City of Lake Forest  
Historic Preservation Commission

Statement of Intent:

To the honored members of the Historic Preservation Commission;

The project to replace in-kind the pedestrian walkway connection for the buildings located at 682 N. Bank Lane, Lake Forest and 227 Northgate St., Lake Forest ("Northgate"). Please note that there already exists a pedestrian walkway that connects the Northgate and 682 N. Bank Lane buildings, however the walkway is in disrepair, not compliant with code, and inaccessible by the 682 N. Bank Lane building due to where the connection is currently located.

The project is to allow for expanded office space for Centaur Capital Partners, Inc. ("Centaur"), an investment focused single family office that has been headquartered in Lake Forest for over 20 years. Centaur is currently located on the 2<sup>nd</sup> floor of the 682 N. Bank Lane building and has owned the building for 10+ years.

Centaur's head count growth requires additional office space and after an extensive search of available space in Lake Forest, it identified the 2<sup>nd</sup> floor of the Northgate building as a logical location for expansion given its near proximity to its current office. It successfully agreed on a long-term lease agreement and development project with the owners of the building, the State Teachers Retirement System of Ohio ("OSTRS"), and both parties agreed that installing a functioning pedestrian walkway to connect the two buildings would be appropriate. The main driver of Centaur's growth has been hiring employees to increase its philanthropic efforts and investments in Lake County, Chicago, and nationally.

Signed

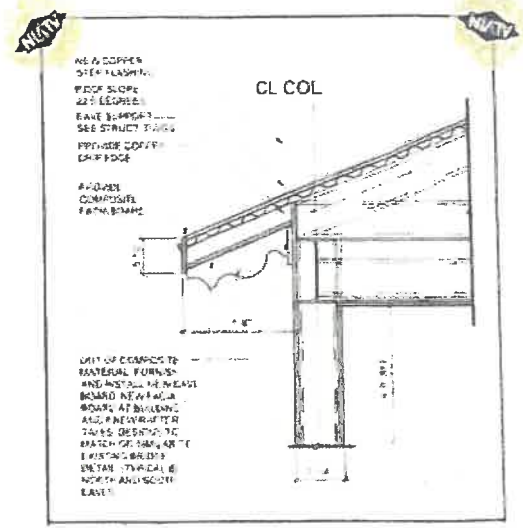
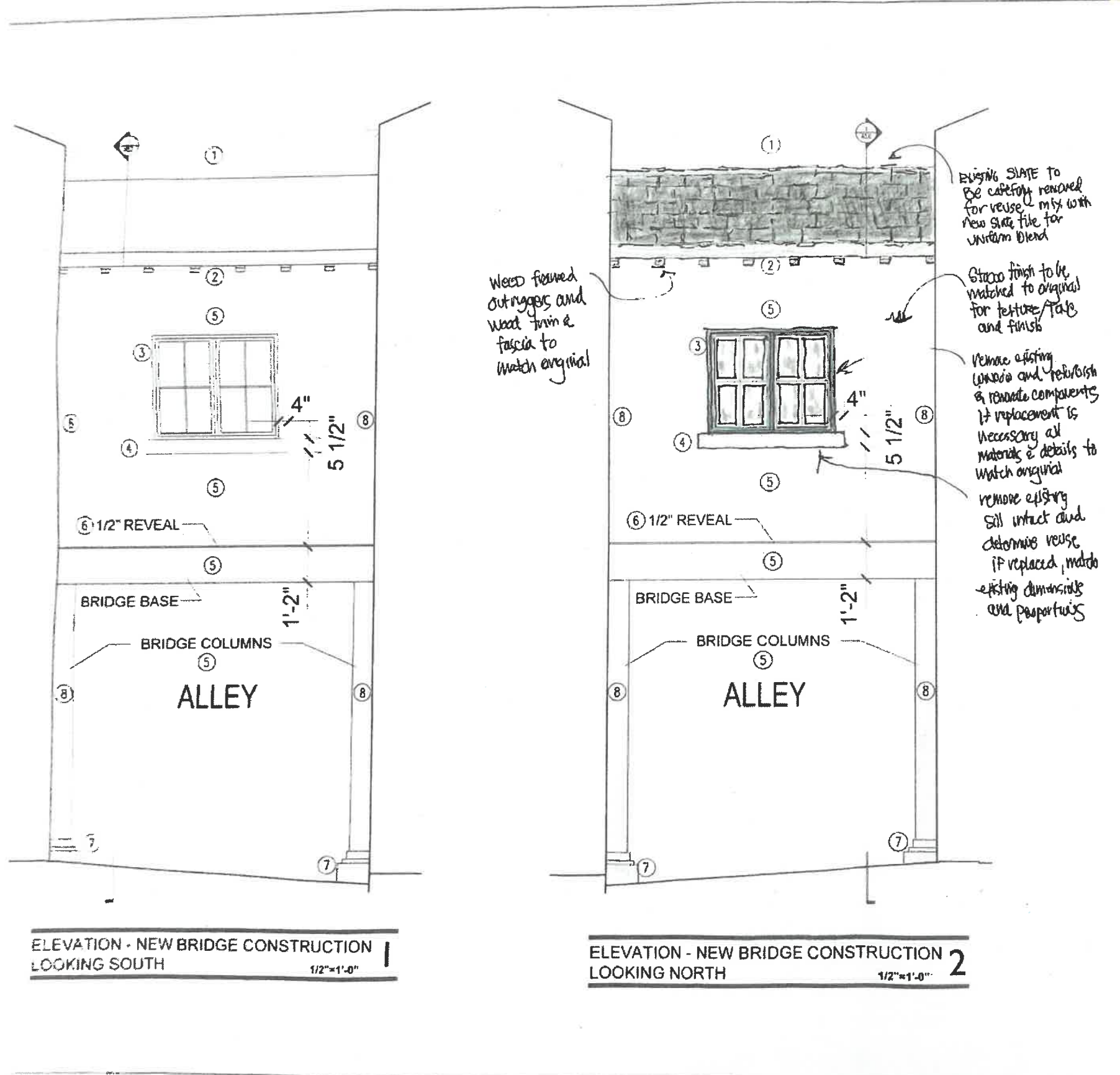
A handwritten signature in black ink, appearing to read "Daniel Lo". The signature is fluid and cursive, with the first name "Daniel" being more prominent than the last name "Lo".

Daniel Lo  
Co-Chief Executive Officer of Centaur Capital Partners, Inc.

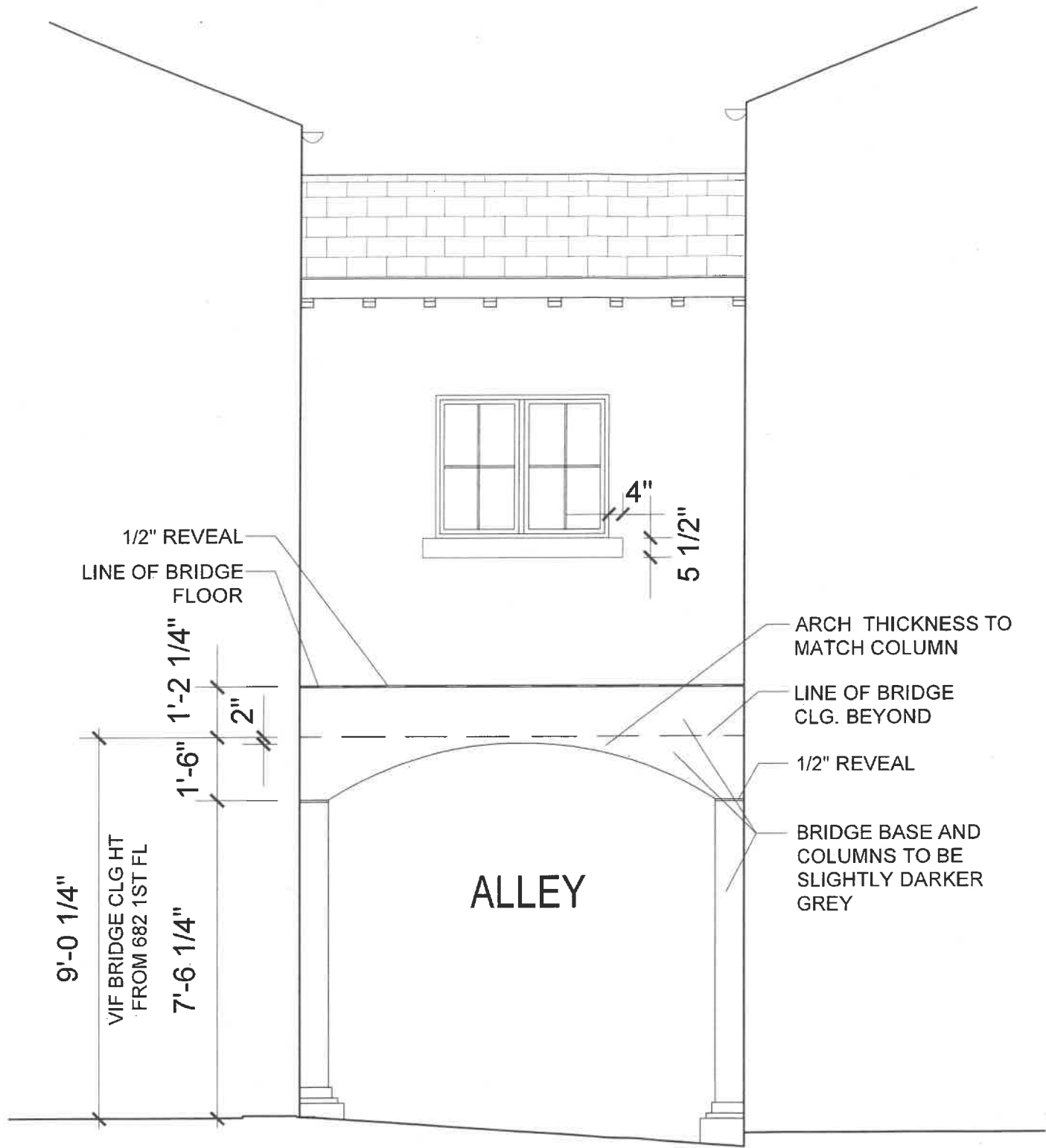
EXISTING CONDITIONS FACING SOUTH



# ORIGINAL OPTION AND EXISTING CONDITIONS



**OPTION 1  
SOLID ARCH**



**ELEVATION - NEW BRIDGE CONSTRUCTION  
OPTION LOOKING SOUTH** 1/2"=1'-0"

**IA+D  
Studios, LLC**  
41786 N. CRAWFORD ROAD  
ANTIOCH, IL 60002  
T. 312.296.7175

No.	Description	Date

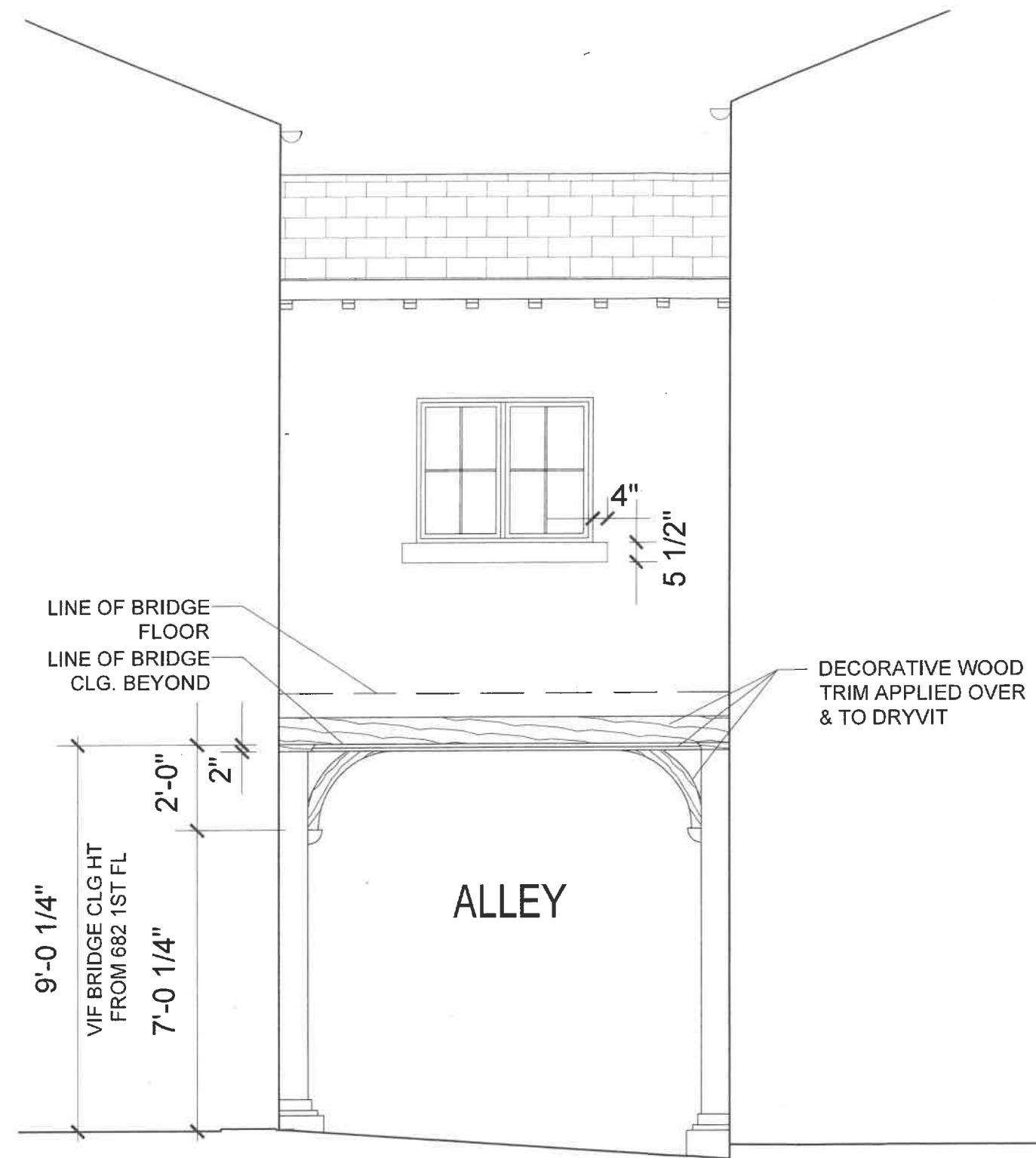
No.	Description	Date
Revision		
Date	12.04.2024	
Scale	AS NOTED	
Drawn	DBS	
Checked	VBH	

Client  
Schreiber Investments  
Connection Bridge Replacement Project  
682 North Bank Lane/227 Northgate Street  
Lake Forest, IL 60045

Drawing  
**EXTERIOR ELEVATION  
OPTION I**

**EOI.0**

OPTION 2  
OPEN ARCH



LINE OF BRIDGE FLOOR  
LINE OF BRIDGE CLG. BEYOND

9'-0 1/4"  
V/F BRIDGE CLG HT FROM 682 1ST FL

7'-0 1/4"  
2'-0"  
2"

DECORATIVE WOOD TRIM APPLIED OVER & TO DRYVIT

ALLEY

ELEVATION - NEW BRIDGE CONSTRUCTION  
OPTION LOOKING SOUTH 1/2"=1'-0"

**IA+D**  
Studios, LLC  
41786 N. CRAWFORD ROAD  
ANTIOCH, IL 60002  
T. 312.296.7175

No.	Description	Date

No. Description Date

Revision

Date 12.04.2024

Scale AS NOTED

Drawn DBS

Checked WBH

Client  
Schreiber Investments  
Connection Bridge Replacement Project  
662 North Bank Lane/227 Northgate Street  
Lake Forest, IL 60045

Drawing  
EXTERIOR ELEVATION  
OPTION 2

EO2.0

OPTION 2 REFERENCE

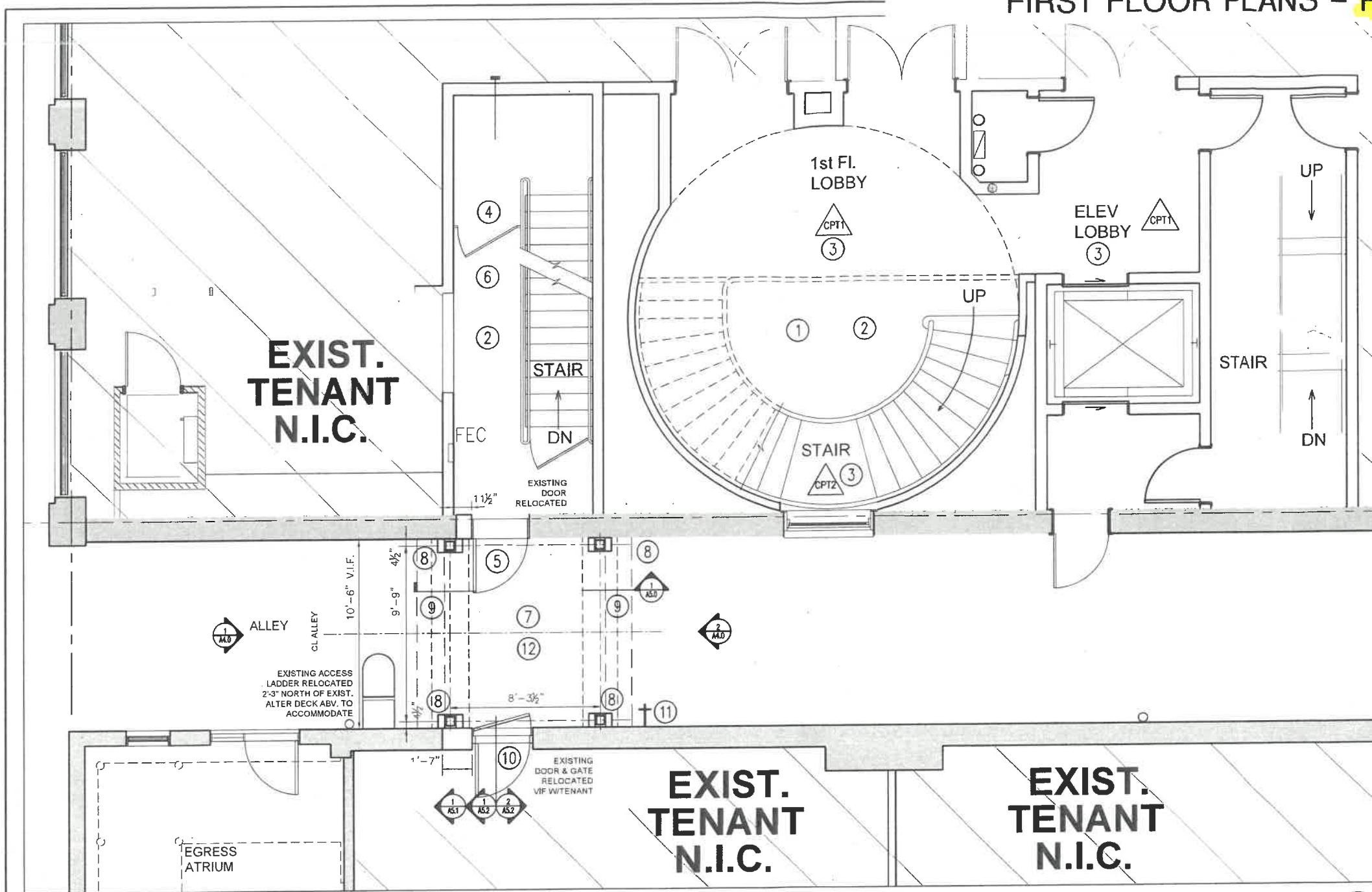
EXISTING CONDITIONS - MARKET SQUARE







# FIRST FLOOR PLANS - PROPOSED

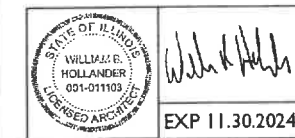


## CONSTRUCTION NOTES

1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL ENGINEERING DRAWINGS (AS INCLUDED AND APPLICABLE) FOR ADDITIONAL INFORMATION. NOTIFY ARCHITECT OF DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH WORK.
2. ALL DIMENSIONS TO BE SURVEYED AND VERIFIED IN FIELD BY CONTRACTOR. THIS IS ESPECIALLY REQUIRED FOR THE DETERMINATION OF THE DIFFERENCES IN FLOOR ELEVATIONS BETWEEN THE TWO BUILDINGS AND ALLEY CLEARANCES.
3. WHERE NEW WORK ADJOINS EXISTING, NEW WORK SHALL PROPERLY INTEGRATE WITH EXISTING TO ENSURE FINISHED SURFACE ALIGNMENT.
4. PROVIDE SHOP DRAWINGS, SCHEDULES AND MATERIAL SAMPLE SUBMITTALS FOR PREFABRICATED STAIRWAY AND LANDING, DOORS, FRAMES & HARDWARE, FIXTURES & EQUIPMENT. COORDINATE WITH ARCHITECT.
5. VERIFY THAT ALL EXISTING TO REMAIN SYSTEMS, FIXTURES, DEVICES, MECHANICAL UNITS, ETC. ARE IN GOOD WORKING ORDER. CLEAN, REPAIR AND/OR REPLACE AS NECESSARY, PER OWNER DIRECTION, TO BE IN LIKE-NEW CONDITION.
6. CONTRACTOR TO VERIFY LOCATIONS OF NEW ELECTRICAL/ LOW VOLTAGE DEVICES LOCATED IN EXISTING CONSTRUCTION OR ON EXISTING COLUMNS, PERMETER AND CORE WALLS AND PROVIDE FOR FURRING OR PATCHING AS REQUIRED TO ALLOW FOR CONCEALED INSTALLATION. COORDINATE LOCATIONS WITH ARCHITECT.

## FINISH NOTES

1. PAINT APPLICATION TO BE 1 COAT PRIME, 2 COATS FINISH FOR ALL SURFACES.
2. ALL PAINTS, FINISHES, SEALERS & ADHESIVES USED SHALL CONTAIN NO VOLATILE ORGANIC COMPOUNDS (VOCs) AS ALLOWED PER MANUFACTURER RECOMMENDATIONS. PROVIDE MATERIAL SAFETY DATA-SHEETS FOR ARCHITECT APPROVAL PRIOR TO USE, AND FOLLOW ALL BUILDING REGULATIONS FOR SPECIFICATIONS & USE OF THESE MATERIALS.
3. PREPARE WALLS TO RECEIVE NEW BASE, SKIN-COAT & SAND, PRIME & PAINT WALLS PRIOR TO INSTALLATION OF NEW WALL BASE IF REQUIRED.
4. SUBMIT ALL FINISHES FOR DESIGNER REVIEW & APPROVAL PRIOR TO ORDERING MATERIAL.

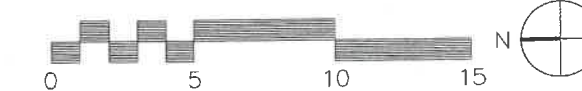


**IA+D Studios, LLC**

41786 N. CRAWFORD ROAD  
ANTIOCH, IL 60002  
T. 312.296.7175

## CONSTRUCTION KEYNOTES

1. ALL BUILDING FINISHES SCHEDULED TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. ALL FINISHES TO BE RESOLVED WITH NEW CONSTRUCTION.
2. PATCH AND REPAIR ALL WALL DAMAGE IN LOBBY AND AROUND STAIRS, CAUSED DURING EXISTING CONSTRUCTION VERIFICATION.
3. ALL CARPET IN LOBBY AND MAIN STAIRCASE TO BE REPLACED AS SPECIFIED. SEE FINISH SPECIFICATIONS, THIS SHEET.
4. EXISTING STAIRWAY TO THE 2ND FLOOR WILL NO LONGER BE ACCESSIBLE. STAIR STRUCTURE TO REMAIN. INSTALL NEW LOCKABLE GATE AS SHOWN, TO MATCH EXISTING GATE TO BASEMENT.
5. EXISTING DOOR, FRAME, HARDWARE AND LINTEL TO BE RELOCATED OR MATCHED IN-KIND AS SHOWN. FILL IN MASONRY/DRYWALL EXTERIOR WALL TO MATCH EXISTING AS REQUIRED.
6. REPAINT ENTIRE STAIRWAY TO MATCH EXISTING.
7. SEE STRUCTURAL DRAWINGS FOR NEW BRIDGE FOUNDATION AND STRUCTURE SPECIFICATION AND ERECTION. PROVIDE BARRICADES AND SITE PROTECTION AS REQUIRED. SURVEY EXISTING SITE TO VERIFY UTILITIES, BUILDING PLUMBING AND POWER AND EXISTING FOUNDATION PRIOR TO ANY EXCAVATION.
8. NEW STEEL COLUMNS TO BE WRAPPED IN 5/8" DENS-GLASS GOLD FIREGUARD TYPE-X. PROVIDE BLOCKING AS REQ'D. APPLY DRYVIT, STUC-COAT ONE-COAT SYSTEM (WITHOUT FOAM INSULATION) OVER DENS-GLASS SUBSTRATE. LEAVE 3/8" GAP AT ALL EXISTING MASONRY WALLS. FILL GAP WITH BACKER ROD AND CAULK TO MATCH DRYVIT. SEE SECTIONS AND ELEVATIONS FOR DRYVIT COLORS.
9. LINE OF NEW BRIDGE ABOVE.
10. EXISTING DOOR, FRAME, GATE, HARDWARE AND LINTEL TO BE RELOCATED OR REPLACED IN-KIND, AS SHOWN. FILL IN MASONRY/DRYWALL EXTERIOR WALL TO MATCH EXISTING AS REQUIRED.
11. RELOCATE EXISTING OUTDOOR WATER FAUCET TO THIS LOCATION.
12. ONCE FOUNDATION WORK IS COMPLETED, GC TO REPLACE EXISTING SLAB IN "LIKE KIND" IN CONSTRUCTION AND DRAINAGE SLOPES. COORDINATE WITH REMAINING SLABS.



## FINISH SPECIFICATIONS

**PAINT**  
TO MATCH EXISTING THROUGHOUT FIRST FLOOR AREAS.

**CARPET**  
CPT-1: Interface, Third Space, Carpet Tile 301, Style 16805, Color 107851 Shell.

CPT-2: Interface Special Order, 6' Wide Goods to Match Third Space 301, 16085, 107851. For Use On Bridge Stairs and Rotunda Stairs.

**WALL BASE**  
TO MATCH EXISTING THROUGHOUT FIRST FLOOR AREAS.

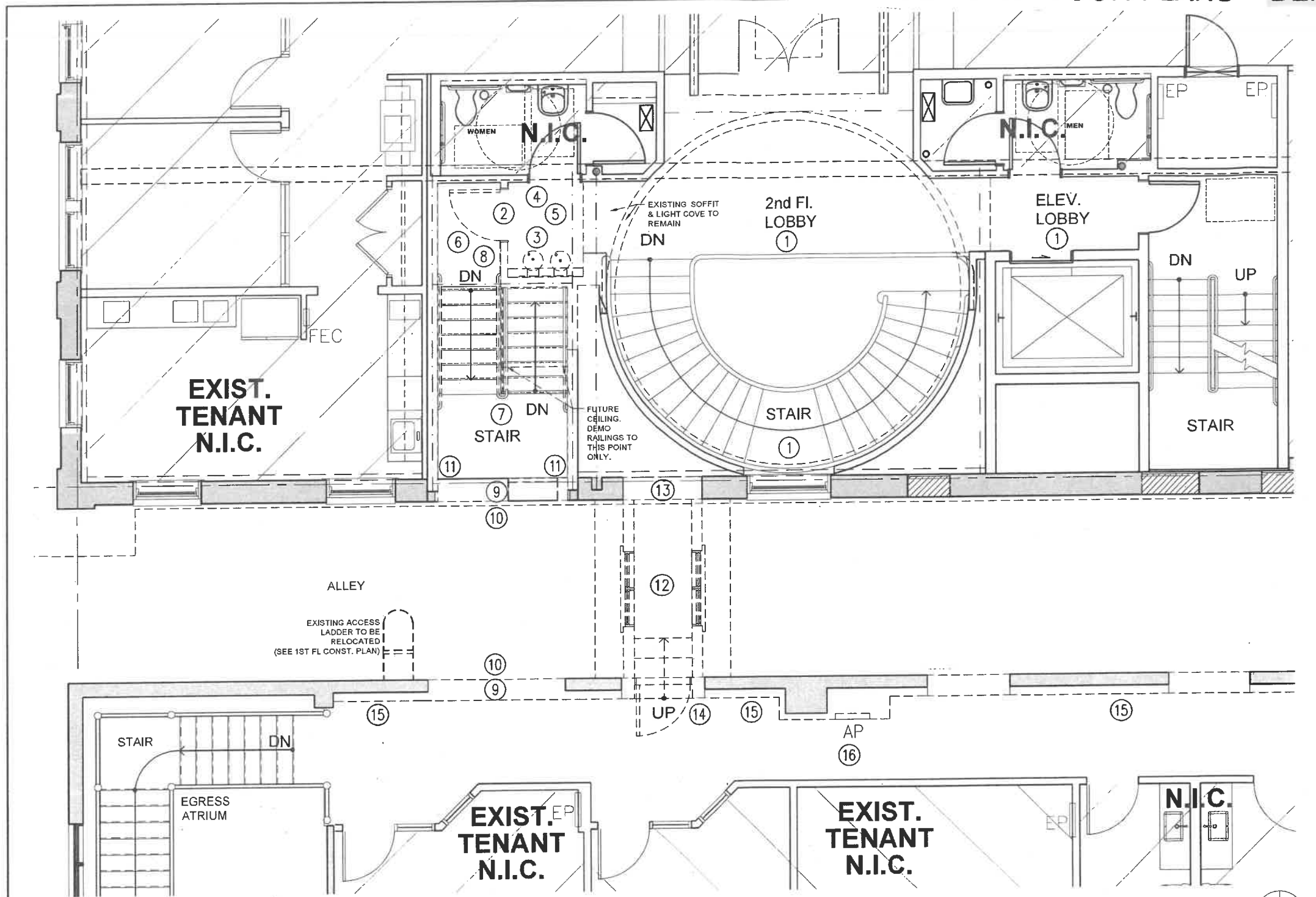
ISSUED FOR PERMIT		08.30.2024
No.	Description	Date

Date: 08.12.2024  
Scale: 1/4" = 1'-0"  
Drawn: DBS  
Checked: WBH.

Client: Schreiber Investments  
Connection Bridge Replacement Project  
682 North Bank Lane/227 Northgate Street  
Lake Forest, IL 60045

Drawing: **FIRST FLOOR CONSTRUCTION PLAN**  
**IAI.0**  
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# SECOND FLOOR PLANS - DEMOLITION



## DEMOLITION NOTES

**CONTINUED:**  
**INSPECTION**  
 PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CAREFULLY INSPECT AREAS IN VICINITY OF WORK. PHOTOGRAPH ANY CONDITIONS WHICH COULD LATER BE CONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS AND FILE WITH ARCHITECT.

**PREPARATION**  
 PROVIDE REQUIRED INTERIOR BRACING AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF WORK TO BE DEMOLISHED AND REMAINING WORK ADJACENT THERETO. COVER AND PROTECT EQUIPMENT ASSOCIATED WITH DEMOLITION OPERATIONS. ERECT REQUIRED DUST-PROOF PARTITIONS AND CLOSURES. LOCATE, IDENTIFY STUB-OFF AND DISCONNECT UTILITY SERVICES NOT REQUIRED TO REMAIN.

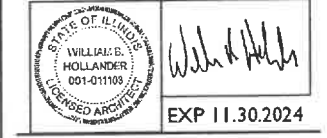
**DEMOLITION**  
 PERFORM DEMOLITION WORK SYSTEMATICALLY, USING METHODS THAT ARE APPROPRIATE AND MEET GOVERNING REGULATIONS. COORDINATE WORK WITH LANDLORD AND BUILDING ENGINEERING STAFF.

DISTRIBUTE DEMOLITION EQUIPMENT AND DEBRIS UNIFORMLY THROUGHOUT STRUCTURE.  
 IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS ARE UNCOVERED WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN, REPORT CONDITIONS TO ARCHITECT WITHOUT DELAY, FOR SUITABLE DISPOSITION.

**DISPOSAL**  
 REMOVE DEMOLISHED MATERIALS PROMPTLY FROM PREMISES, TRANSPORTING AND LEGALLY DISPOSING OF MATERIALS OFF-SITE. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.

**CLEAN-UP AND REPAIR**  
 ON COMPLETION, REMOVE TOOLS, EQUIPMENT, PROTECTION AND DEMOLISHED MATERIALS FROM SITE. REPAIR ANY DEMOLITION IN EXCESS OF THAT REQUIRED AND ADJACENT AREAS SOILED OR DAMAGED BY DEMOLITION WORK. LEAVE PREMISES BROOM CLEAN.

**ADDITIONAL**  
 DEMOLITION OPERATIONS CAUSING EXCESSIVE NOISE, AS DETERMINED BY BUILDING MANAGEMENT, OR ENTAILING GENERAL INTERRUPTION OF BUILDING UTILITY SERVICES, SHALL BE PERFORMED EITHER BEFORE OR AFTER NORMAL OPERATING HOURS.



## DEMOLITION KEYNOTES

- ① REMOVE EXISTING LOBBY AND STAIR BROADLOOM CARPET. PREPARE FOR NEW BROADLOOM CARPET INSTALLATION. PROTECT ALL REMAINING FINISHES DURING DEMOLITION.
- ② REMOVE EXISTING DRYWALL PARTITIONS, DOOR HEADER AND DOOR SET AS SHOWN. RETURN DOOR SET TO BUILDING. PREPARE REMAINING CONSTRUCTION FOR NEW INSTALLATIONS AS SHOWN ON CONSTRUCTION PLAN.
- ③ REMOVE EXISTING WATER FOUNTAIN AND RECONFIGURE ALL FOR POWER AND PLUMBING TO ACCOMMODATE NEW WATER FOUNTAIN/BOTTLE FILLER INSTALLATION. (SEE ENGINEERING AND CONSTRUCTION DRAWINGS.)
- ④ REMOVE EXISTING VESTIBULE CEILING AND LIGHTING. PREPARE FOR NEW DW CEILING TO MATCH EXISTING STAIRWAY CEILING AT 9'-0" VF.

- ⑤ EXISTING PLYWOOD SUB-FLOOR TO REMAIN.
- ⑥ EXISTING STAIR LANDING AND STAIRWAY TO REMAIN. REMOVE ALL RAILING AND BALUSTRADES AS SHOWN/NTD.
- ⑦ REMOVE EXISTING STAIRWAY PARTITION DRYWALL TO ALLOW FOR ACCESS TO EXISTING STRUCTURAL MEMBERS. (SEE STRUCTURAL DRAWINGS.)
- ⑧ CUT AND GRIND EXISTING STAIR STRINGER FLUSH WITH FLOOR PLATE AND TO ALLOW FOR NEW LANDING AND NEW, EXTENDED STAIR LANDING STRUCTURAL SUPPORT MEMBERS. (SEE STRUCTURAL DRAWINGS.)
- ⑨ SAWCUT AND REMOVE EXISTING MASONRY TO ALLOW FOR A NEW 7'-8 1/4" W X 8'-9" H FINISHED OPENING. PROTECT AND BRACE EXISTING MASONRY DURING THIS OPERATION.
- ⑩ PREPARE NEW OPENING FOR LINTEL INSTALLATION. (SEE STRUCTURAL DRAWINGS.)
- ⑪ PROTECT EXISTING BEAM POCKETS DURING DEMOLITION.

- ⑫ REMOVE ENTIRE EXISTING BUILDING CONNECTION BRIDGE CONSTRUCTION, SERVICES AND STRUCTURE. PROTECT ALLEY, SURROUNDING AREAS AND EXISTING BUILDINGS DURING DEMOLITION.
- ⑬ REMOVE EXISTING CONCRETE BLOCK FILL. REPLACE WITH NEW COMMON BRICK FILL TO MATCH EXISTING BRICK OR OTHER FILL AREAS.
- ⑭ SAWCUT AND REMOVE ANY EXISTING REMAINING MASONRY AFTER BRIDGE REMOVAL TO ALLOW FOR FINISHED OPENING TO MATCH NEW WINDOWS, IN EXIST. OPENINGS TO THE SOUTH. VERIFY EXIST LINTEL.
- ⑮ REMOVE ALL EXIST. DRYWALL AND FURRING ALONG EAST WALL INTERIOR AS SHOWN. PREPARE FOR NEW INSTALLATIONS. (SEE CONSTRUCTION PLANS.) PROTECT EXIST. CORRIDOR AND OTHER EXIST. FINISHED AREAS DURING DEMOLITION.
- ⑯ EXISTING TELEPHONE CABINET TO BE REMOVED. RELOCATION, IF REQUIRED, TO BE UNDER SEPARATE CONTRACT/PROJECT.

## IA+D Studios, LLC

41786 N. CRAWFORD ROAD  
 ANTIOCH, IL 60002  
 T. 312.296.7175

No.	Description	Date
ISSUED FOR PERMIT 08.30.2024		

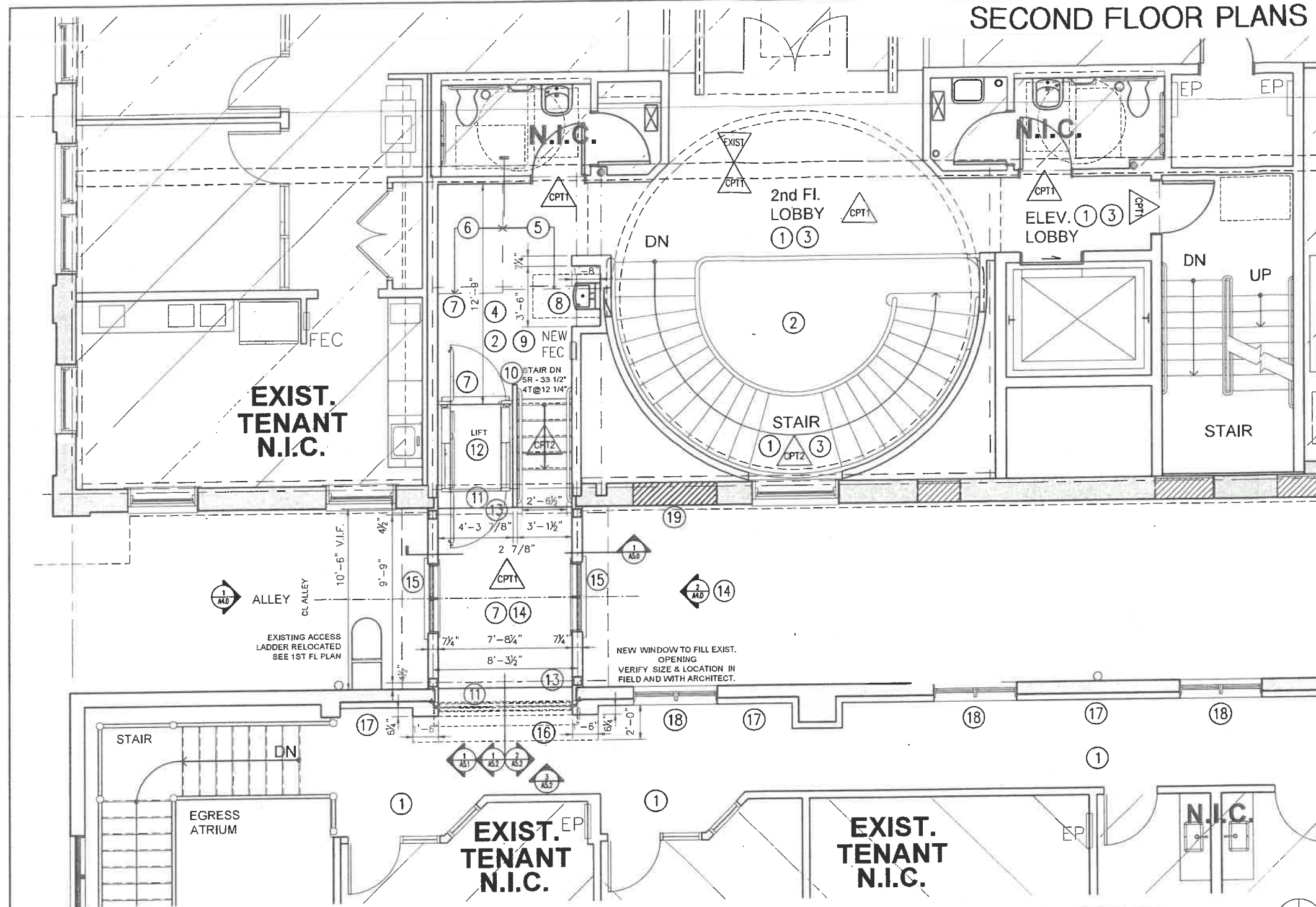
Client  
 Schreiber Investments  
 Connection Bridge Replacement Project  
 682 North Bank Lane/217 Northgate Street  
 Lake Forest, IL 60045

## SECOND FLOOR DEMOLITION PLAN

2DI.0

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# SECOND FLOOR PLANS - PROPOSED



- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL ENGINEERING DRAWINGS (AS INCLUDED AND APPLICABLE) FOR ADDITIONAL INFORMATION. NOTIFY ARCHITECT OF DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH WORK.
- ALL DIMENSIONS TO BE SURVEYED AND VERIFIED IN FIELD BY CONTRACTOR. THIS IS ESPECIALLY REQUIRED FOR THE DETERMINATION OF THE DIFFERENCES IN FLOOR ELEVATIONS BETWEEN THE TWO BUILDINGS AND ALLEY CLEARANCES.
- WHERE NEW WORK ADJOINS EXISTING, NEW WORK SHALL PROPERLY INTEGRATE WITH EXISTING TO ENSURE FINISHED SURFACE ALIGNMENT.
- PROVIDE SHOP DRAWINGS, SCHEDULES AND MATERIAL SAMPLE SUBMITTALS FOR PREFABRICATED STAIRWAY AND LANDING, DOORS, FRAMES & HARDWARE, FIXTURES & EQUIPMENT. COORDINATE WITH ARCHITECT.
- VERIFY THAT ALL EXISTING TO REMAIN SYSTEMS, FIXTURES, DEVICES, MECHANICAL UNITS, ETC. ARE IN GOOD WORKING ORDER. CLEAN; REPAIR AND/OR REPLACE AS NECESSARY, PER OWNER DIRECTION, TO BE IN LIKE-NEW CONDITION.
- CONTRACTOR TO VERIFY LOCATIONS OF NEW ELECTRICAL / LOW VOLTAGE DEVICES LOCATED IN EXISTING CONSTRUCTION OR ON EXISTING COLUMNS, PERIMETER AND CORE WALLS AND PROVIDE FOR FURRING OR PATCHING AS REQUIRED TO ALLOW FOR CONCEALED INSTALLATION. COORDINATE LOCATIONS WITH ARCHITECT.

## FINISH NOTES

- PAINT APPLICATION TO BE 1 COAT PRIME, 2 COATS FINISH FOR ALL SURFACES.
- ALL PAINTS, FINISHES, SEALERS & ADHESIVES USED SHALL CONTAIN NO VOLATILE ORGANIC COMPOUNDS (VOCs) AS ALLOWED PER MANUFACTURER RECOMMENDATIONS. PROVIDE MATERIAL SAFETY DATA-SHEETS FOR ARCHITECT APPROVAL PRIOR TO USE, AND FOLLOW ALL BUILDING REGULATIONS FOR SPECIFICATIONS & USE OF THESE MATERIALS.
- PREPARE WALLS TO RECEIVE NEW BASE, SKIM-COAT & SAND, PRIME & PAINT WALLS PRIOR TO INSTALLATION OF NEW WALL BASE IF REQUIRED.
- SUBMIT ALL FINISHES FOR DESIGNER REVIEW & APPROVAL PRIOR TO ORDERING MATERIAL.

## CONSTRUCTION KEYNOTES

- ALL BUILDING FINISHES SCHEDULED TO REMAIN TO BE PROTECTED DURING CONSTRUCTION. ALL FINISHES TO BE RESOLVED WITH NEW CONSTRUCTION.
- PATCH AND REPAIR ALL WALL DAMAGE IN LOBBY AND AROUND STAIRS, CAUSED DURING EXISTING CONSTRUCTION VERIFICATION.
- ALL CARPET IN LOBBY AND MAIN STAIRCASE TO BE REPLACED AS SPECIFIED. SEE FINISH SPECIFICATIONS, THIS SHEET.
- NEW 682 BUILDING INTERIOR CONSTRUCTION TO MATCH EXISTING. 5/8" FC X DRYWALL ON METAL STUDS OR SLEEPERS TO FILL, ALIGN AND CONNECT WITH EXISTING PARTITIONS AND NEW BRIDGE CONSTRUCTION.
- EXISTING PLYWOOD SUB-FLOOR TO REMAIN.
- EXISTING STAIRWAY LANDING AND STAIR INSTALLATION TO REMAIN. MODIFY PER DEMOLITION DRAWINGS TO ACCOMMODATE NEW STRUCTURE AND CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR NEW STAIR SUPPORT AND BRIDGE STRUCTURE, SPECIFICATION AND ERECTION. PROVIDE BARRICADES AND SITE PROTECTION AS REQUIRED TO PROTECT EXISTING CONDITIONS AND RESTRICT SITE ENTRY.
- FURNISH AND INSTALL, NEW ELKAY L256WSVRSK WALL MOUNT, FILTERED, REFRIGERATED, BOTTLE FILLER & FOUNTAIN WITH VR BUBBLER. FINISH: STAINLESS STEEL, BRUSHED FINISH. INSTALL AT ADA ACCESSIBLE HEIGHT, SEE SECTION 2A5.2.
- NEW LANDING EXTENSION & STAIR TO BE DESIGNED AND DETAILED BY STEEL FABRICATOR. MATCH EXISTING MAIN STAIRCASE IN GENERAL DESIGN AND DETAIL. SEE SECTIONS AND DETAILS.
- NEW DRYWALL PARTITION WITH MILLWORK CAP. SEE SECTIONS AND DETAILS.
- NEW LINTEL PER STRUCTURAL DRAWINGS. STABILIZE, PATCH AND REPAIR EXISTING MASONRY SURROUNDING NEW OPENING TO ACCOMMODATE NEW CONSTRUCTION.
- FURNISH AND PERMANENTLY INSTALL, NEW INTERIOR, ASCENSION PROTEGE 5442FG VERTICAL PLATFORM WHEELCHAIR LIFT WITH GATE AND FRAME AT UPPER LANDING (BUILT TO FIT OPENING). PROVIDE FULL WALL FASCIA, DOOR OPERATORS ON BOTH GATES, HANDS FREE PHONE, AUXILIARY LIGHTING AND EXTERNAL BATTERY BACKUP UNIT. COLOR TO BE POWDER COAT TO MATCH PROJECT STANDARD PAINT COLOR (P-1). SUBMIT SAMPLES FOR REVIEW.
- NEW 1/2" FLUSH CONTROL JOINT IN CONCRETE SLAB. SEE DETAIL JAS.1. CARPET TO BE INSTALLED OVER JOINT.
- SEE SECTIONS AND ELEVATIONS FOR BRIDGE EXTERIOR CONSTRUCTION DETAILS AND FINISHES.
- FURNISH AND INSTALL, NEW MARVIN ELEVATE, FIXED CASEMENT WINDOW WITH DIVIDED LIGHTS, ELCA2539 2W. INTERIOR TRIM TO MATCH 682 BUILDING EXISTING AND BE PAINTED TO MATCH THE WALLS. EXTERIOR TO BE PAINTABLE TO MATCH EXISTING BRIDGE WINDOW COLOR. EXTERIOR SILL TO BE COMPOSITE AND MATCH EXISTING BRIDGE IN SIZE AND COLOR. SEE SECTIONS AND ELEVATIONS.
- FURNISH AND INSTALL, ABOVE NEW DW SOFFIT, NEW VERTICAL ACTING, AUTOMATIC, FAIL SAFE, 1 1/2 HR RATED, FIRE DOOR ON FUSIBLE LINK, HOOKED TO BOTH BUILDING FIRE DETECTION SYSTEMS. MCKEON FSD-IS WITH LH TOP MOUNTED MOTOR, SAFETY EDGE, HOOD AND SMOKE SEALS. SIZE DOOR PER OPENING. POWDER COAT TO MATCH PROJECT STANDARD PAINT (P-1). SEE SECTIONS AND DETAILS.
- NEW, 227 BUILDING, EAST EXTERIOR WALL INTERIOR BUILD OUT TO BE 3 5/8" METAL STUDS @ 24" CENTERS. ATTACHED TO EXISTING MASONRY AND FILLED WITH CLOSED CELL FOAM INSULATION, COVERED BY 5/8" FC X DRYWALL.
- REPLACE EXISTING BLOCK FILL WITH NEW COMMON BRICK FILL TO MATCH EXISTING BRICK OR OTHER FILL AREAS.

## FINISH SPECIFICATIONS

- PAINT**  
 P-1: Benjamin Moore: Color OC-109, Lemon chiffon. finish to match existing.
- CARPET**  
 CPT-1: Interface, Third Space, Carpet Tile 301, Style 16805, Color 107851 Shell.  
 CPT-2: Interface Special Order, 6" Wide Goods to Match Third Space 301, 16085, 107851. For Use On Bridge Stairs and Rotunda Stairs.
- WALL BASE**  
 B -1: 2 1/2" Paint Grade Poplar Wood Base. Match P-1 (Typical Through-Out Stair/Bridge Area.)

**IA+D Studios, LLC**

41786 N. CRAWFORD ROAD  
 ANTIPOCH, IL 60002  
 T. 312.296.7175

ISSUED FOR TEAM REVIEW 08.16.2024  
 ISSUED FOR ENGINEERING 08.12.2024

No.	Description	Date

Client  
 Schreiber Investments  
 Connection Bridge Replacement Project  
 682 North Bank Lane/227 Northgate Street  
 Lake Forest, IL 60045

Drawing  
**SECOND FLOOR CONSTRUCTION PLAN**

**2A1.0**

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**Agenda Item 4**  
**1235 Elm Tree Road and 1310 Lake Road**  
**Small Addition and Exterior Modifications to the Tennis House, A New Two Car Garage,**  
**A Bocci Court and Pergola within the Gardens, A Driveway Extension to Elm Tree Road,**  
**and a Building Scale Variance for an Existing Residence**

Staff Report

Vicinity Map

Air Photo

Historic Resource Survey Forms

Building Scale Summary Sheet

Materials Submitted by Petitioner

*Application*

Statement of Intent

*Description of Exterior Materials*

*Plat of Survey*

Existing Photos

Proposed Renderings of Elevations

Site Plans

Proposed Elevations

*Proposed Floor Plans*

Proposed Rendering Views

Correspondence

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*



## STAFF REPORT AND RECOMMENDATION

TO: Chairman Grinnell and members of the Historic Preservation Commission  
DATE: January 22, 2025  
FROM: Abigail Vollmers, Senior Planner  
SUBJECT: **1235 Elm Tree Road and 1310 Lake Road – Small Addition and Exterior Modifications to the Tennis House, a New Two Car Garage, a Bocci Court and Pergola within the Gardens, a Driveway Extension to Elm Tree Road, and a Building Scale Variance**

### Petitioners

Elm Tree Road LLC  
Winslow S. Bent & Seth Bent  
Trustees

### Property Location

1235 Elm Tree Road  
and 1310 Lake Road

### Historic Districts

East Lake Forest Local  
& National Historic Districts

### Project Representative

Nate Lielasus, AIA Northworks

### Summary of the Petition

The petitioner is requesting a Certificate of Appropriateness for a small addition, exterior modifications to the tennis house, a new two car garage attached to the existing cottage, a bocci court and pergola within the garden, a driveway extension to Elm Tree Road, and a building scale variance.

### Description of Property and Surrounding Area

The original Kersey Coats Reed Estate included the estate home located at 1315 Lake Road, the formal garden, garage, and gardener's cottage located at 1310 Lake Road, and the Tennis house located at 1235 Elm Tree Road. The estate house was separated from the gardens and tennis house by Lake Road and is currently under separate ownership. David Adler was the architect for the buildings and Ferruccio Vitale was the landscape architect. The garden is historically significant as an example of work that was championed by the Lake Forest Foundation for Architecture and Landscape Architecture, in existence from the mid 1920's to 1935.

The site is addressed as 1235 Elm Tree Road and 1310 Lake Road and is comprised for three tax parcels but is considered a single zoning lot because of the use, siting of the structures, and common ownership. The proposed modifications are being requested to accommodate the next generation of ownership and importantly, to assure the long term preservation and viability of the property.

Below is a summary of the proposed modifications proposed in this petition:

- Tennis House – (Small Addition and Modifications to the South Exterior Elevation)

- A mudroom addition is being proposed at the southeast corner of the tennis house consisting of a pitched roof with skylights, and exterior walls heavily punctuated with windows and a door. The structure resembles a three-season room or a covered walkway reminiscent of a golf course. The mudroom will replace an open covered porch area. Additional landscape and hardscape are planned for the area adjacent to the new mudroom.
- South Elevation Exterior Modifications – Proposed modifications include the conversion of two windows on the front facing wings to French doors, a new copper awning over the front door, and modifications to the front yard to create usable outdoor “rooms”. A new stone patio and knee wall with an outdoor fireplace and landscaping are being proposed on the west side.
- New Garage between the Tennis House and Cottage – A new two car garage is proposed off the southeast corner of the cottage. The garage is a simple structure with a flat roof and columns at the corners for definition and to relate to the existing masonry walls of the garden.
- Garden Bocci Court and Pergola – Conversion of an existing quadrant in the formal garden into a bocci court and construction of a pergola adjacent to the court are being proposed in the southwest portion of the garden.
- A driveway extension from the existing curb cut on Elm Tree Road is proposed to access the tennis house, new garage and gardener’s cottage is proposed. The proposed driveway will run south from the gardener’s cottage and curve to the west passing in front of the tennis house to an existing curb cut on Elm Tree Road. A replacement wrought iron gate is proposed at the Elm Tree driveway entrance to replace the existing chain link fence. An early site plan is included in the packet which shows a similar driveway extending across the front, south side, of the tennis house. All that remains of the earlier driveway, if in fact it was ever constructed, is the curb cut on Elm Tree Road.

Lastly, a building scale variance is requested for the proposed modifications. The indoor tennis court being one of only a handful in the whole United States presents a unique challenge for the property owners as it is 110% of the allowable square footage of the lot due to the size of the court, exposed basement along the ravine, and overall height of the roof. The building scale provisions do not address historic outliers of this type or magnitude.

### **Staff Evaluation**

In considering applications for a Certificate of Appropriateness, the Commission is charged with applying the 17 Standards in the Historic Preservation chapter of the City Code.

### **Findings**

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

**Standard 1 – Height**

This standard is met. The proposed garage is single story and falls under the allowable height of 25 feet for accessory structures. No changes are proposed to the height of the other existing roofs.

**Standard 2 – Proportion of Front Façade**

Tennis House: This standard is met. The minor conversions of the two windows to French doors are subtle and in keeping with the architecture of the house. The addition of the mudroom feels appropriate given the country club like use of the tennis house and is an improvement to the existing canopy which is likely not original to the structure and is in marginal condition.

New Garage: The standard is met. The placement of the garage between the tennis house and gardener's cottage is intended to not call attention away from the historic buildings. The garage impacts the front elevation of the cottage however the siting brings definition and a sense of completion to the buildings in immediate proximity as a cluster of service buildings not unlike a "grouping" found on historic gentleman farms. The garage as designed.

**Standard 3 – Proportion of Openings**

This standard is met with the proposed modifications.

**Standard 4 Rhythm of Solids to Voids**

This standard is met with the proposed modifications.

**Standard 5 – Spacing on the Street**

This standard is not applicable to the petition. The proposed additions and modifications are not visible from the street.

**Standard 6 – Rhythm of Entrance Porches**

This standard is met. The front porch of the tennis house is being formalized but the essence of the existing configuration is not changing.

**Standard 7 – Relationship of Materials and Texture – The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related.**

The standard is met. The materials proposed for the additions and modifications match the existing materials.

**Standard 8 – Roof Shapes.**

This standard is mostly met. The roof of the garage introduces a new roof form not found on the site. However, the garage relates to the garden walls as a low structure. As intended, the new garage appears as a small service building, however the roof

definition feels worthy of additional study.

**Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.**

The standard is not applicable. The proposed modifications do not impact the streetscape.

**Standard 10 – Scale.**

This standard can be met with the approval of a building scale variance.

When the square footage associated with the indoor tennis court is removed from the total, the current structures represent 52% of the allowable square footage of the site, and the proposed additions an additional 2%.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

**Standard 1 – The project is consistent with the design standards of the City Code.**

This standard is met. Based on the findings presented in this report, the additions and alterations proposed honor the Design Guidelines and preservation intent of the Commission.

**Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.**

This standard is met. Large mature trees and screening landscape materials will be maintained which shield the existing structures from both streetscapes. The ravine to the north further secludes the property. The mudroom addition and new garage are proposed internal to the site and will not add to the visible mass on the site.

**Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.**

This standard is met. Both the tennis house addition and garage are sited in locations without view to either streetscape

**Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.**

This standard is met. The garage as proposed falls well below the height of the

surrounding buildings and is in compliance with the 25-foot maximum height permitted for accessory structures.

**Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.**

This standard is met. The property is located in the East Lake Forest Historic District and is registered both locally and nationally. The prominence of both the buildings and garden and their design quality are worth of preservation. The tennis house is extremely unique but also represents a square footage and maintenance burden that encumbers the property owners with added responsibility. The proposed modifications to the tennis house will allow the petitioners to use the existing structure in a more compatible living style for a single-family dwelling.

**Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.**

This standard is met. The north edge of the property is part of a ravine which is a permanent open space.

**In summary, the criteria for a building scale variance are satisfied. Six of the above standards are satisfied based on staff's review.**

**Standard 11 – Directional Expression of Front Elevation**

This standard is not applicable to the petition. No changes are proposed to the directional expression of the front elevation.

**Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.**

This standard is met. The proposed changes to the south elevation of the tennis house are extremely minor and work with the architectural organization of the existing structure.

**Standard 13 – Preservation of natural resources**

This standard is met. Six large Norway spruce trees located at the southwest corner of the gardener's cottage are proposed for removed to accommodate the proposed garage. The trees were evaluated by the city arborist and found to be in decline with a limited lifespan ahead of them. Replacement trees are proposed in the landscaping proposed with the additions and modifications. Exact replacement inches and proposed species will be evaluated with the permit submission. The location of the bocci court and pergola respect the formal arrangement of the garden and are placed in order to preserve the overall layout and formal axis that provide the formality of arrangement.

**Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.**

This standard is not applicable to the petition.

**Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.**

This standard is not applicable to this petition.

**Standard 16 – Surface cleaning.**

This standard is not applicable to this request.

**Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.**

This standard is mostly met. The removal of the proposed garage could be possible in the future with minimal impact to the gardener's cottage. The modifications to the south face of the tennis house are also minimal and could be replicated. The mudroom addition will utilize the same location of the current covering over the stairs and could be removed in future with repairs to the façade leaving the architectural character of the structure intact.

### **Public Comment**

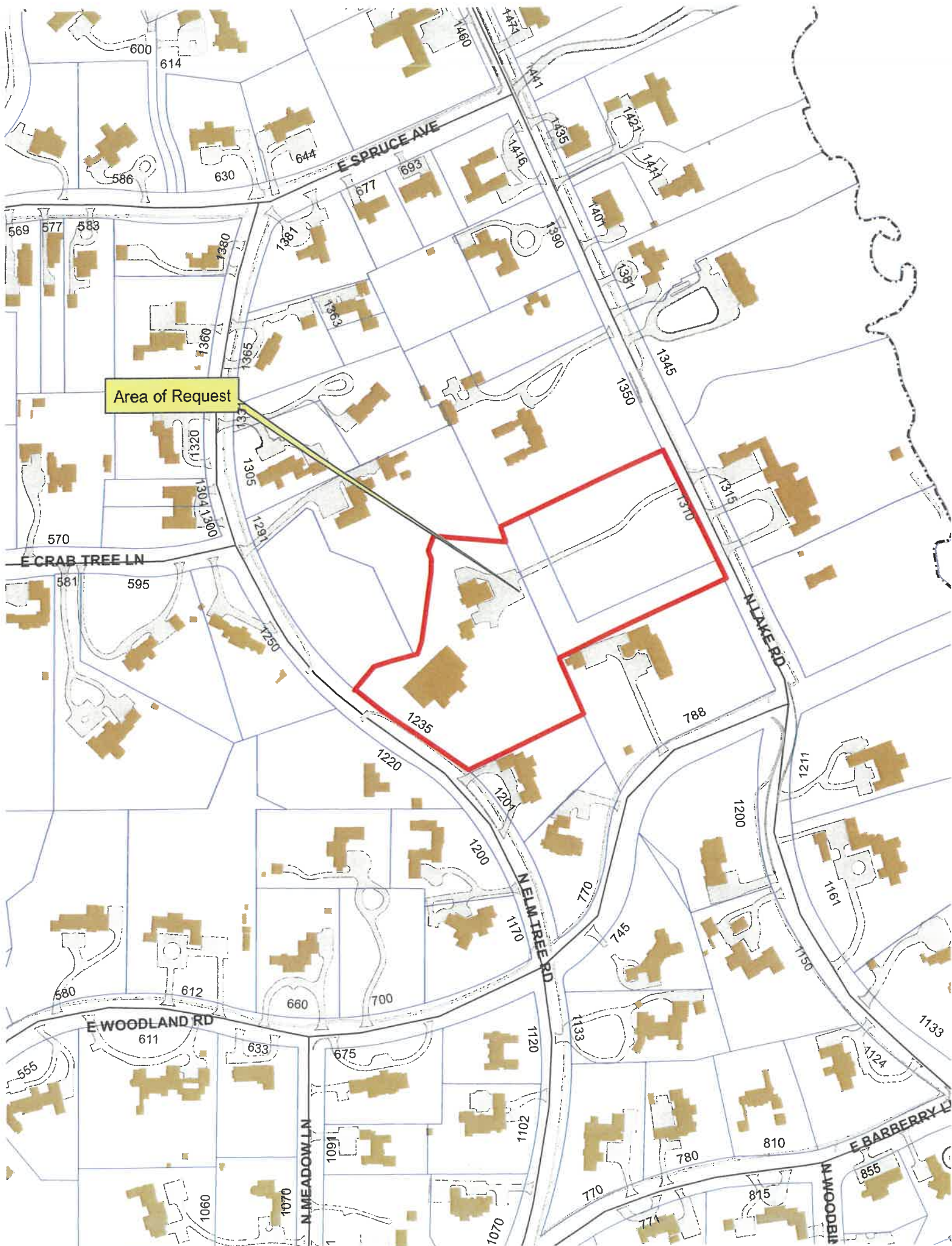
Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. The correspondence received to date regarding this petition is included in the Commission's packet.

### **Recommendation**

Grant a Certificate of Appropriateness approving the small addition, removal of the existing covered porch, exterior modifications to the tennis house, a new two car garage, a bocci court and pergola within the garden, a driveway extension to Elm Tree Road, and a building scale variance.

The recommendation includes the following conditions of approval.

1. Submit plans for permit that are consistent with the plans on which the Commission based its approval. Any and all changes and enhancements made to the plans after the Commission's review must be clearly highlighted on the plans submitted for permit and a copy of the plans presented to the Commission must be included for comparison purposes. Staff is directed to review the plans submitted for permit for consistency with the Commission's approval and consult with the Chairman as appropriate. Submit a detailed landscape plan indicating species, location, and size at time of planting.
2. Submit a detailed landscape plan indicating species, location, and size at the time of planting.
3. Submit a tree protection plan as needed and a construction parking and staging plan. The plans shall be subject to City approval prior to the issuance of building permits. Limited on street parking may be permitted at the City's discretion however, the street must remain passable at all times and access to all neighboring driveways must be unobstructed.



Area of Request



Area of Request



EXISTING CONDITIONS



Area of Request



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 6336

**Property Address:**

Street: 1235 N ELM TREE RD  
City: Lake Forest State: Illinois  
County: Lake

Historic Property Name: Mrs. Stanley Keith Tennis Court Building

Original Owner: Mrs. Stanley Keith  
Other Previous Owners: REED, JOHN S

Present Owner: ELM TREE ROAD LLC

Current Property Name:

Resource Type: Building  
Date of Construction: 1931  
Use, Original: Indoor Tennis Court  
Use, Present: Single Family Residence  
Theme: Recreation  
Secondary Theme: 20th Century Architecture  
Style: Colonial Revival  
Secondary Style:

Architect/Engineer: David Adler

Builder/Contractor: unknown  
Landscape Architect:



Photo Name: November 1994

Demolished: Date:

Zoning District: R4

Subdivision: Lot 27 Original Lake Forest; platted 06/23/1857

Subdivided from:

Current Property Size (est.): 6.65 acres  
Original Property Size (est.): 11.71 acres

Facade Easement?: None  
Held by:

Conservation Easement?: None  
Held by:

Plan Shape: Rectangular  
Number of Stories: 2  
Structural Framing: Unknown  
Foundation Material: Poured Concrete  
Facade Material: Brick  
Roof Form: Gable

Roof Material: wood shingles  
Primary Window Type: Double Hung - 6/6  
Porches:  
Integrity: Good  
Condition: Good

**Decorative Features & Surfacing:**

Double front gables define the front elevation. Pedimented wall dormers are rhythmically placed across the façade.



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 6336

**Local Register:**

**Local Historic District:**

Local Ordinance Historic District

**Contributing Significance to Local District:**

Contributing

**Contributing Significant Resources:**

Mrs. Stanley Keith Tennis Court Building - David Adler, 1931.

**Is this Property Eligible for Local Landmark Designation?:**

Yes

**Local Landmark Designation:**

**Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

**Other Districts:**

Historic Residential and Open Space Preservation District

**National Register:**

**National Register Historic District:**

Lake Forest

**Contributing Significance to National District:**

**Contributing Significant Resources:**

**Is this Property Eligible for National Register Listing?:**

**Individual National Register Listing :**

**Other Designations:**

Listed in the Illinois Historic Structures Survey (Illinois Dept. of Conservation, 1975)

**History and Significance:**

This property is identified as a significant contributing structure to the Historic District. The house was designed by David Adler, a noted architect whose individual work is significant to the history and development of Lake Forest. The existing house, constructed in 1931, is distinguished by its overall quality of design, detail, materials and craftsmanship. This building possesses a high level of integrity making it worthy of preservation.

This was the first indoor tennis court in Lake Forest. The main house of this estate is at 1315 Lake Road. The western wall of this building rises from midway down the ravine, so to enter the courts one had to descend several flights of stone steps. The building originally had three guest chambers, a kitchen, and several sitting rooms. Balconies granted access to the courts below. The courts extended the length of the building and was lighted by the glass roof above.

This building was built by Helen Shedd Reed, daughter of John G. Shedd. In 1931, Mrs. Reed donated the Lake Forest Library building as a memorial to her first husband, Kersey Coates Reed. Mrs. Reed and her sister Laura Shedd Schweppe built the original building of the Shedd Aquarium at the south end of Grant Park. She was remarried to Stanley Keith.

David Adler (1882 - 1949) has been described as the last of the great eclectic architects. He designed at least fifty houses in a range of styles that included Italian Renaissance villas, French chateaux, Georgian, and American colonial. Though most of his houses were built on Chicago's North Shore, particularly in Lake Forest, some of his most important work is found from the East Coast to Honolulu.

A native of Milwaukee, Adler attended city schools and received a preparatory education at the Lawrenceville School in New Jersey. In 1894, Adler graduated from Princeton University and continued his studies at the Ecole des Beaux-Arts in Paris. While in Paris Adler became friends with Henry C. Dangler. This friendship proved worthy as they returned to United States in 1911 and both worked briefly for Howard Van Doren Shaw before breaking out on their own one year later. Adler devoted his attention to domestic architecture designing many private homes and apartment houses in the city's suburbs, particularly on the North Shore. For most of his career, Adler worked alone, except for the years between 1917 and 1928, when he was associated with Robert Work. Adler became a member of the Chicago Chapter, A.I.A. in 1926, and in 1941 was elected a Fellow of the American Institute of Architects.

**Changes:**

Based on City permits, little or no exterior changes have taken place.

**Property Setting:**

Residential neighborhood; This property is located on the east side of Elm Tree two lots north of Woodland Road along the ravine.

**Associated Buildings:**



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 6336

There is a Gardener's Cottage on the property. The vacant lot to the east, containing formal gardens, is in common ownership with this parcel. Both lots were once associated with 1315 Lake Road, the Mrs. Stanley Keith House - David Adler, 1931.

**Sources of Information:**

City of Lake Forest Address and History Files.

**Certif. of Appropriateness Case #(s):**

<b>1235 N ELM TREE RD</b> Survey Date: May 1999	<b>Demolished:</b> <b>Demolition Date:</b>
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# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 2696

**Property Address:**

**Street:** 1310 N LAKE RD  
**City:** Lake Forest **State:** Illinois  
**County:** Lake

**Historic Property Name:** Mrs. Stanley Keith Gardener's Cottage

**Original Owner:** Mrs. Stanley Keith  
**Other Previous Owners:** John S. Reed 1984. Steven Bent 2008

**Present Owner:** ELM TREE ROAD LLC

**Current Property Name:**

**Resource Type:** Building  
**Date of Construction:** 1931  
**Use, Original:** Gardener's Cottage  
**Use, Present:** Single Family Residence  
**Theme:** Domestic, Estate Service Building  
**Secondary Theme:** Country Estate Era  
**Style:** Colonial Revival  
**Secondary Style:**

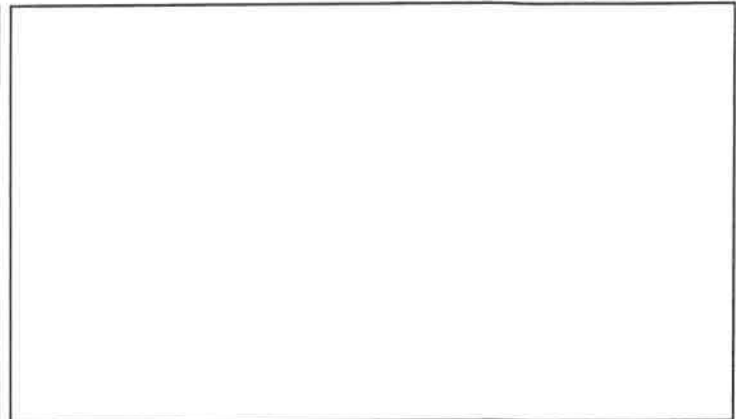
**Architect/Engineer:** David Adler

**Builder/Contractor:** Unknown  
**Landscape Architect:** Feruccio Vitale; Rose Nichols (planting);

**Plan Shape:** Irregular  
**Number of Stories:** 1 1/2  
**Structural Framing:** unknown  
**Foundation Material:** unknown  
**Facade Material:** Brick

**Roof Form:**

**Decorative Features & Surfacing:**



**Photo Name:**

**Demolished:** **Date:**

**Zoning District:** R4  
**Subdivision:** Lot 27 Original Lake Forest; platted 06/23/1857  
**Subdivided from:** Originally part of the Keith Estate - Main House, 1315 N. Lake Rd.

**Current Property Size (est.):** 6.65 acres  
**Original Property Size (est.):** 11.71 acres

**Facade Easement?:** None  
**Held by:**

**Conservation Easement?:** None  
**Held by:**

**Roof Material:**  
**Primary Window Type:** Double Hung  
**Porches:**  
**Integrity:** Excellent  
**Condition:** Good



# City of Lake Forest, Illinois Historic Resources Survey Form

ID: 2696

**Local Register:**

**Local Historic District:**

Local Ordinance Historic District

**Contributing Significance to Local District:**

Contributing

**Contributing Significant Resources:**

Mrs. Stanley Keith Gardener's Cottage - David Adler, 1931

**Is this Property Eligible for Local Landmark Designation?:**

Yes

**Local Landmark Designation:**

**Is this Property Identified as a Historic Resource located outside the Local Historic District?:**

**Other Districts:**

Historic Residential and Open Space Preservation District

**National Register:**

**National Register Historic District:**

Lake Forest

**Contributing Significance to National District:**

**Contributing Significant Resources:**

**Is this Property Eligible for National Register Listing?:**

**Individual National Register Listing :**

**Other Designations:**

**History and Significance:**

This property is identified as a contributing structure to the Historic District. This was originally the gardener's cottage to the Mrs. Stanley Keith estate at 1315 Lake Road. The development of this property to serve as the support functions to a larger estate is representative of an important pattern of development that occurred in east Lake Forest between the 1890s and 1940s, in which service buildings were constructed within the context of the estate neighborhoods. Many service buildings were located on the grounds of the main estate, and have since been subdivided or sold off and converted to single family residences. These types of service function outbuildings have become an important part of the estate era fabric of the historic district. These buildings collectively contribute to the character of the historic district and should be preserved.

This building was built by Helen Shedd Reed, daughter of John G. Shedd. In 1931, Mrs. Reed donated the Lake Forest Library building as a memorial to her first husband, Kersey Coates Reed. Mrs. Reed and her sister Laura Shedd Schweppe built the original building of the Shedd Aquarium at the south end of Grant Park. She was remarried to Stanley Keith.

David Adler (1882 - 1949) has been described as the last of the great eclectic architects. He designed at least fifty houses in a range of styles that included Italian Renaissance villas, French chateaux, Georgian, and American colonial. Though most of his houses were built on Chicago's North Shore, particularly in Lake Forest, some of his most important work is found from the East Coast to Honolulu.

A native of Milwaukee, Adler attended city schools and received a preparatory education at the Lawrenceville School in New Jersey. In 1894, Adler graduated from Princeton University and continued his studies at the Ecole des Beaux-Arts in Paris. While in Paris Adler became friends with Henry C. Dangler. This friendship proved worthy as they returned to United States in 1911 and both worked briefly for Howard Van Doren Shaw before breaking out on their own one year later. Adler devoted his attention to domestic architecture designing many private homes and apartment houses in the city's suburbs, particularly on the North Shore. For most of his career, Adler worked alone, except for the years between 1917 and 1928, when he was associated with Robert Work.

Adler became a member of the Chicago Chapter, A.I.A. in 1926, and in 1941 was elected a Fellow of the American Institute of Architects.

The term "Colonial Revival" refers to the entire rebirth of interest in the early English and Dutch houses of the Atlantic seaboard. The Georgian and Adam styles form the backbone of the Revival, with secondary influences from Post-medieval English or Dutch Colonial prototypes. Details from two or more of these precedents are freely combined in many examples so that pure copies of colonial houses are far less common than are eclectic mixtures.

**Changes:**

Based on available City records, little or no exterior changes have taken place.

**Property Setting:**

Residential neighborhood; This property is located on the east side of Elm Tree two lots north of Woodland Road along the Ravine.

**Associated Buildings:**



**City of Lake Forest, Illinois**  
**Historic Resources Survey Form**

ID: 2696

There is an indoor tennis court on the property. The vacant lot to the east, containing formal gardens, is in common ownership with this parcel. Both lots were once associated with 1315 Lake Road, the Mrs. Stanley Keith House - David Adler, 1931.

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**Sources of Information:**

City of Lake Forest address and history files.

**Certif. of Appropriateness Case #(s):**

<b>1310 N LAKE RD</b>	<b>Demolished:</b>
<b>Survey Date:</b>	<b>Demolition Date:</b>

**THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET**

Address 1235 Elm Tree Road - 1310 Lake Road Owner(s) Elm Tree Road LLC  
 Architect Nate Lielasus, AIA Northworks Reviewed by: A. Vollmers  
 Date 1/22/2025  
 Lot Area 233130 sq. ft. Tableland: 233,655 SF Non Tableland: 70,246 SF 233,655 SF Total Lot

**Square Footage of Residence -- New**

1st floor 13100 + 2nd floor 11411 + 3rd floor 4728 = 29239 sq. ft. (All Buildings)

Design Element Allowance = 2049 sq. ft.

Total Actual Design Elements = 620 sq. ft. Excess = 0 sq. ft.

Garage 800 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Garage Width \_\_\_\_\_ ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 3598 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Residence** = 32837 sq. ft.  
 (minus Design Elements, plus garage overage)

**DIFFERENTIAL (Existing)** = \_\_\_\_\_ sq. ft.

**Under Maximum**

**Square Footage of House and Proposed Addition:**

1st floor 217 + 2nd floor \_\_\_\_\_ + 3rd floor \_\_\_\_\_ = 217 sq. ft.

New Garage 568 sq. ft. Excess = 568 sq. ft.

New Design Elements 450 sq. ft. Excess = 0 sq. ft.

**TOTAL SQUARE FOOTAGE** = 33622 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 20492 sq. ft.

**DIFFERENTIAL** = 13130 sq. ft.

**Over Maximum**

**NET RESULT:**

13171 sq. ft. is

64% over  
**Max. allowed**

Allowable Height: 40 ft. Actual Height \_\_\_\_\_ ft.

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 2045 sq. ft.

Front & Side Porches = 0 sq. ft.  
 Rear & Side Screen Porches = 127 sq. ft.  
 Covered Entries = 0 sq. ft.  
 Portico = 0 sq. ft.  
 Porte-Cochere = 0 sq. ft.  
 Breezeway = 0 sq. ft.  
 Pergolas = 0 sq. ft.  
 Individual Dormers = 147 sq. ft.  
 Bay Windows = 0 sq. ft.

**Total Actual Design Elements** = 274 sq. ft.

**Excess Design Elements** = 0 sq. ft.



**THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A  
CERTIFICATE OF APPROPRIATENESS**

**PROJECT ADDRESS** 1130 Lake Road / 1235 Elm Tree Road

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**HISTORIC DISTRICT OR LOCAL LANDMARK** (leave blank if unknown)

- East Lake Forest District    
 Green Bay Road District    
 Vine/Oakwood/Green Bay Road District  
 Local Landmark Property or District    
 Other

**PROPERTY OWNER INFORMATION**

Elm Tree Road LLC  
*Owner of Property*

410 Hunt Club Way  
*Owner's Street Address (may be different from project address)*

Lake Geneva, WI 53147  
*City, State and Zip Code*

(262) 384-3701                      (262) 384-3715  
*Phone Number*                              *Fax Number*

wbell@bellandersonlaw.com  
*Email Address*

\_\_\_\_\_  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Nate Lielasus, Principal  
*Name and Title of Person Presenting Project*

Northworks Architects  
*Name of Firm*

1512 N Throop St.  
*Street Address*

Chicago, IL 60647  
*City, State and Zip Code*

(504) 931-5270  
*Phone Number*                              *Fax Number*

nlielasus@nwks.com  
*Email Address*

  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

*Please email a copy of the staff report*

OWNER      REPRESENTATIVE

*Please fax a copy of the staff report*

OWNER      REPRESENTATIVE

*I will pick up a copy of the staff report at the Community Development Department*

OWNER      REPRESENTATIVE

# PARTNERSHIP OWNERSHIP (EXHIBIT B)

Please list all partners, general and/or limited, with an individual or beneficial interest of 5% or greater.

<b>Name</b> Winslow S. Bent Trust dated 3/20/64	<b>Name</b> Seth L. Bent Trust dated 3/20/64
<b>Address</b> 410 Hunt Club Way Lake Geneva, WI 53147	<b>Address</b> 410 Hunt Club Way Lake Geneva, WI 53147
<b>Ownership Percentage</b> 50 %	<b>Ownership Percentage</b> 50 %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

<b>Name</b> _____	<b>Name</b> _____
<b>Address</b> _____	<b>Address</b> _____
<b>Ownership Percentage</b> _____ %	<b>Ownership Percentage</b> _____ %

## **1310 Lake Road – 1235 Elm Tree Road**

Lake Forest, Illinois

### City of Lake Forest – Historic Preservation Commission **Statement of Intent & Response to Standards for Review** January 16, 2025

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#### **Introduction**

The Tennis House property at 1310 Lake Road / 1235 Elm Tree Road was originally developed beginning in 1929 as part of an estate that included the Main House at 1315 Lake Road across the street.

The property has been owned for decades by an LLC set up by Stephen Bent. Mr. Bent has recently passed away and now his stepchildren are hoping to acquire the property.

The current owner of the Tennis House is the same LLC set up by Stephen Bent. Mr Bent - a direct descendant of the original owner, Mrs Kersey Coates (Helen Shedd) Reed, who commissioned David Adler to design the estate - purchased the property from his Uncle John Reed in 2008. During his ownership, Mr Bent has gone to considerable lengths to preserve and restore the integrity of the buildings and grounds.

With Mr Bent's recently passing, his stepchildren are ready to take on stewardship for the property. The new ownership and use of the property brings about the need for changes while also balancing protecting the historic character of the buildings and site.

Here is an overview of the proposed changes for each side of the property.

#### **1235 Elm Tree Road**

##### **Tennis House - Renovation**

The Tennis House has not been inhabited for decades and is only intermittently used for tennis and parties. Ethan Meers currently uses the adjacent Cottage as a weekend retreat for his family and now plans to shift that use to the Tennis House bringing new life to the structure. The Tennis House was briefly used as a home while the main house across Lake Road was constructed but it was not designed as a family home. While the layout largely works for modern living, some updates are needed. There is no full kitchen - only a small kitchenette - and the only entrance into the building leads directly into a large, paneled lounge without any nearby coat closet or place to leave your muddy shoes.

The large central paneled room overlooks the Tennis Court and is flanked by spaces for men and women to prepare for a game of tennis. On the west side there is a men's lounge, closets and men's bathroom as well as the stair which leads to the basement Tennis Court and second floor bedrooms. On the east side there is a women's lounge and restroom and a small kitchenette.

We propose combining the kitchenette, women's restroom and a hall to create one new larger kitchen. The remarkable women's lounge would be preserved as a breakfast room with a new large, cased opening to the new kitchen. A new mudroom addition will provide access from the exterior into the kitchen for use as a family entrance with plenty of space for coats and boots.

On the second floor, a new ensuite bathroom will be added to the east bedroom and the door to the west

bedroom will be relocated to make the existing hall bathroom ensuite to the bedroom. For the middle bedroom, the existing bathroom and closet will be remodeled to allow a shower and larger closet. All of the primary spaces in the Tennis House – including the paneled lounge, women’s lounge, men’s lounge and Tennis Court would be preserved. The new work will be compatible with the historic character of the building.

The two existing windows at the primary façade gable ends would be replaced with new French Doors to allow better circulation and more connection between outdoors and indoors. The new French Doors would be modeled on the existing central French Door and fit within the existing masonry opening width. The existing brick arch would be preserved.

New lighting would be installed over the new doors, at the right side of the existing front door, at the east and west elevations and at the new Mudroom Entrance.

#### Tennis House - New Mudroom Addition

An existing open porch at the east side of the Tennis Building will be demolished and replaced with a new larger mudroom addition. The new addition will be built with the same roof line and width as the existing porch, the length will be roughly doubled. The new addition will enclose the existing exterior basement stair and provide a new side entrance into the new kitchen. This entrance would occur within the width and height of an existing masonry opening for a window. The new Mudroom roof would have profiled rafter tails that would match the existing porch. The existing octagonal columns would also be replicated as corner boards.

It is unclear if the porch is original to David Adler’s design. While it has many hallmarks of an Adler design – including the profiled rafter tails and octagonal columns, the original drawings for the Tennis House show a trellis in this location that runs the length of the wall. The existing porch is in poor condition with rotted wood. Many parts of the porch have been replaced piecemeal overtime. The structure is currently in poor condition.

#### New Garage

A new two-car garage will be added to the southeast corner of the Cottage. The location was selected to be near the conveniently located to the side mudroom entrance to the Tennis House, while also minimizing the view of the garage from inside of the cottage and the Tennis House. The site of the new garage sets it amongst the array of existing structures. The garage would have a flat roof to keep the massing low. The garage would be detailed like the garden walls with corner pilasters and stone copings. The masonry would be a cream city brick to match the existing masonry on site. The flat roof would not be visible. The wall of the garage one would view when entering the property from the east would replace an existing landscape wall in the same location.

#### New Driveway and Hardscape

A new driveway could connect from Elm Tree Road to the existing driveway stub off the parking area at the Cottage and Garage. The chain link gate at Elm Tree Road would be replaced with a black metal gate. The existing asphalt parking area by the Cottage would be pulled back from the Cottage to allow a new garden. The hardscape patio at the front of the Tennis House would be expanded and wrapped around the sides of the Tennis House to create more outdoor living space. A low garden seat wall would define the south edge of the terrace. This wall would return around the sides of the Tennis House. The area between the Tennis House and Cottage would be in-filled with new gardens and pathways.

### **1310 Lake Road**

#### New Bocci Ball Court with Pergola

A new bocci court will replace the southwest garden bed. This bed is currently used as a seasonal pumpkin patch. The new bocci court will be 13’ x 76’ with a 12” stone border and will fit within the existing garden bed.

The court will be slightly depressed. A new open metal pergola structure will abut the bocci court and the existing gravel pathway

**Design rationale per standards given in the Historic Preservation Commission Application:**

**Standard 1 – Height**

There will be no change to the roofline of the Tennis House, Cottage or Garage structure. The proposed new garage will be under 15' tall and much shorter than the existing buildings on site. The mass of the garage was carefully studied to keep its presence low impact and to minimize view obstruction.

**Standard 2 – Proportion of Front Façade**

The buildings are situated along the Ravine and internally oriented to the lot. proposed garage would be connected to the existing cottage and carefully sited amongst the existing grouping of buildings to minimize the view of the garage from the grounds and within the Tennis House and Cottage. The garage doors face away from the other structures and streets.

**Standard 3 – Proportion of Openings**

Tennis House:

The new French Doors at the north façade of the Tennis House will match the scale of the existing French door that serves as the principal entrance.

Proposed Garage:

The proposed garage will be designed in the language of the masonry site walls. There will be no windows so that the walls of the garage read like extensions of the landscape walls. There will be two single car garage doors facing the proposed new driveway.

**Standard 4 – Rhythm of Solids to Voids in Front Façade**

Tennis House (New French Doors):

The proposed French Doors at the south facing gabled wings have been designed to fit into the overall design scheme. The new French doors will replace two existing windows. At the existing masonry openings, the brick below the sill will be removed to grade. The frame width and head height of the new French Doors will match the existing windows. The detailing of the French Doors and their shutters will be based on the existing French door that serves as the principal entrance. On the interior, the new French Doors will fit within the existing jambs to preserve existing interior finishes.

Tennis House (Addition):

The Mudroom addition to the Tennis House will be detailed similar to the existing open wood porch that will be replaced. The glassy structure will have an openness like the porch. Skylights will allow light to continue into the Tennis Court through the large windows that will be enclosed by the new addition.

Proposed Garage:

The proposed garage will have two single-car garage doors facing the proposed driveway.

**Standard 5 – Rhythm of Spacing and Structures on Streets**

The structures on the property are clustered along the ravine at the west side of the property. The proposed garage will be arranged as part of the ensemble continuing the rhythm of structures.

**Standard 6 – Rhythm of Entrance Porches, Storefront Recessed, and other Projections**

Openings into the new garage will be minimized to just the two single car garage doors. The new mudroom addition will be a glass-enclosed space to mimic the existing open porch that it will replace.

**Standard 7 – Relationship of Materials and Texture**

The existing buildings on site have a limited palette of Milwaukee Cream City Brick, limestone sills, slate roofs and painted white wood trim. The proposed garage would use the same material palette or cream city brick walls, white wood garage doors and trim.

**Standard 8 – Roof Shapes**

There is no change proposed to the shape of the existing roofs.

The proposed new garage would have a flat roof to keep the mass low. The walls would be designed in the language of the existing garden walls.

**Standard 9 – Walls of Continuity**

When architect David Adler developed the plan for the Kersey Coates Reed property, he re-clad the existing cottage in the same Milwaukee Cream City brick that he used for the Tennis House and Garage structure. The new proposed garage will be constructed of the same brick with similar detailing.

**Standard 10 – Scale of a Structure**

The proposed new garage structure will be smaller in scale and lower in height than the existing structures to minimize its presence.

**Standard 11 – Directional Expression of Front Elevation**

The existing buildings on site are all arranged along the ravine with front elevations facing away from the ravine. The new garage structure will follow this example.

**Standard 12 – Preservation of Distinguishing Original Qualities**

In the proposed plan, the distinguishing qualities of the site – the extensive gardens, mature trees and historic structures - will all be maintained. The new structures and site features will be designed to be compatible with the existing.

The new driveway will resurrect a historic drive across the property and will be sited to avoid any harm to existing mature trees.

**Standard 13 – Preservation of Natural Resources**

The lot is beautifully landscaped with mature trees. Because of the open nature of the lot, and the lack of buildings in the central portion of the property, large trees are situated throughout the grounds in a park-like setting. All the large, mature trees will be protected and maintained.

There is stand of mostly limbed up Norway Spruce trees that crowd the space between the Tennis House and Cottage. These large trees block out light from both buildings and obstruct views of the grounds. We propose to remove this stand of Norway Spruces and replace with three new red bud understory trees.

ID#	Common Name	DBH	Condition	Reason for Proposed Removal
2047	Norway Spruce	15	Fair	To open up lawn and sight lines, allow more light
2048	Norway Spruce	24	Fair	To open up lawn and sight lines, allow more light
2049	Norway Spruce	20	Fair	Within footprint of proposed garage
2050	Norway Spruce	23	Fair	Within footprint of proposed garage
2052	Norway Spruce	6	Good to Fair	To open up lawn and sight lines, allow more light
2053	Norway Spruce	20	Fair	To open up lawn and sight lines, allow more light
2054	Norway Spruce	8	Good to Fair	To open up lawn and sight lines, allow more light
2055	Norway Spruce	9	Good to Fair	To open up lawn and sight lines, allow more light

#### **Standard 14 – Compatibility**

The new structures will be compatible with the existing in both their materials, scale and detailing.

The new garage will be constructed on matching brick and will be detailed like the garden walls.

The new Mudroom entrance will be detailed to match the existing side porch. The height and depth of the new structure, in addition to the eave trim, will match the existing.

#### **Standard 15 – Repair to Deteriorated Features**

Deteriorated features will likely include wood exterior trim. Any rotted trim will be replaced in kind.

Deteriorating existing masonry will be repointed with a compatible lime-based mortar.

#### **Standard 16 – Surface Cleaning**

Not applicable

#### **Standard 17 – Historic Integrity**

All the existing buildings and major site features will be preserved and enhanced.



THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- Stone at east elevation of garage
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other \_\_\_\_\_

Color and/or Type of Material \_\_\_\_\_

**Foundation Material**

Exposed Foundation Material \_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

Color of Finish off white / cream

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone stone sills
- Brick
- Wood
- Other \_\_\_\_\_

**Window Trim**

- Limestone stone sills
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

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- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

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**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Other \_\_\_\_\_
- Sheet Metal

Color of Material \_\_\_\_\_

**Gutters and Downspouts**

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- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

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- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

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- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

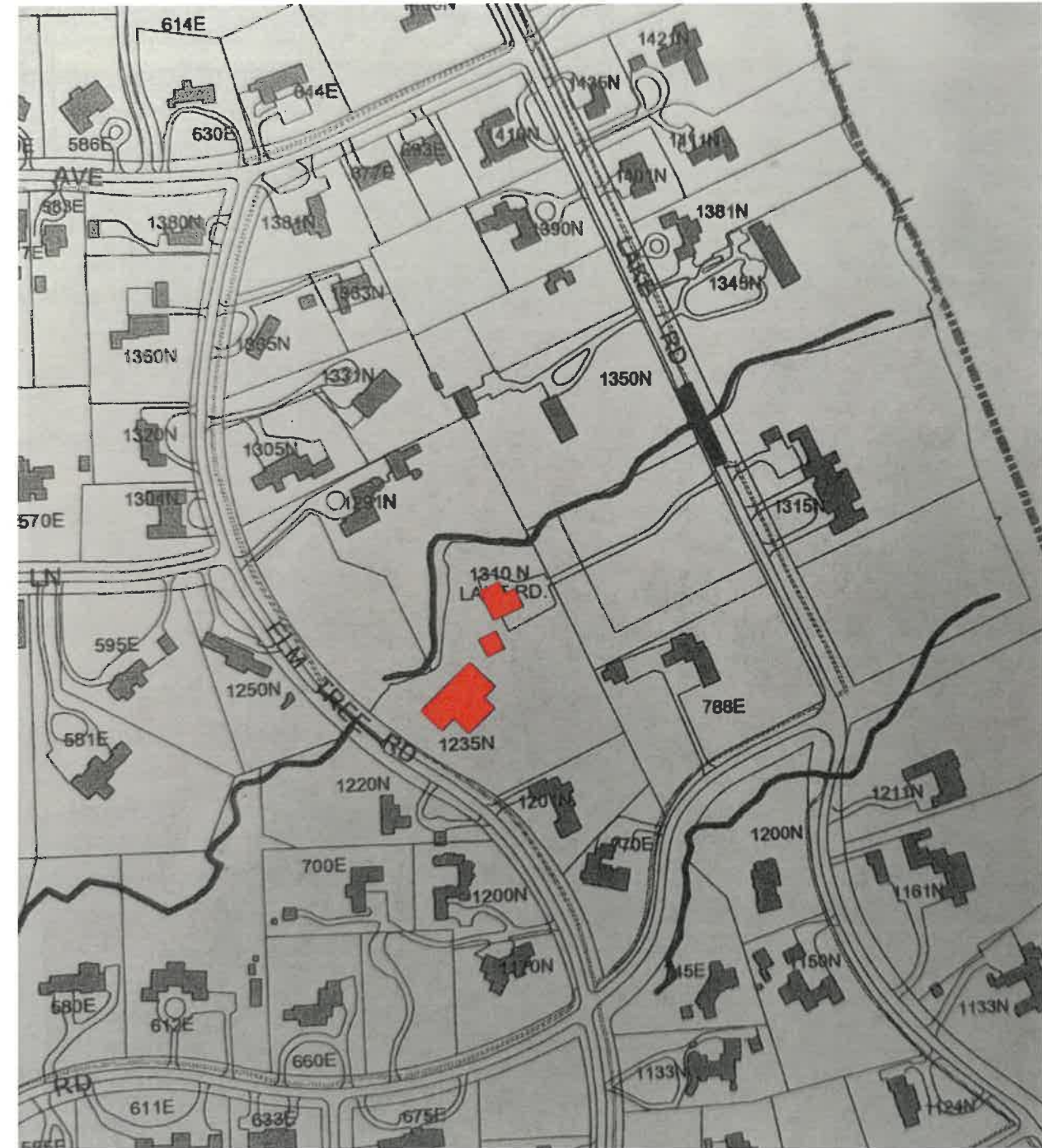


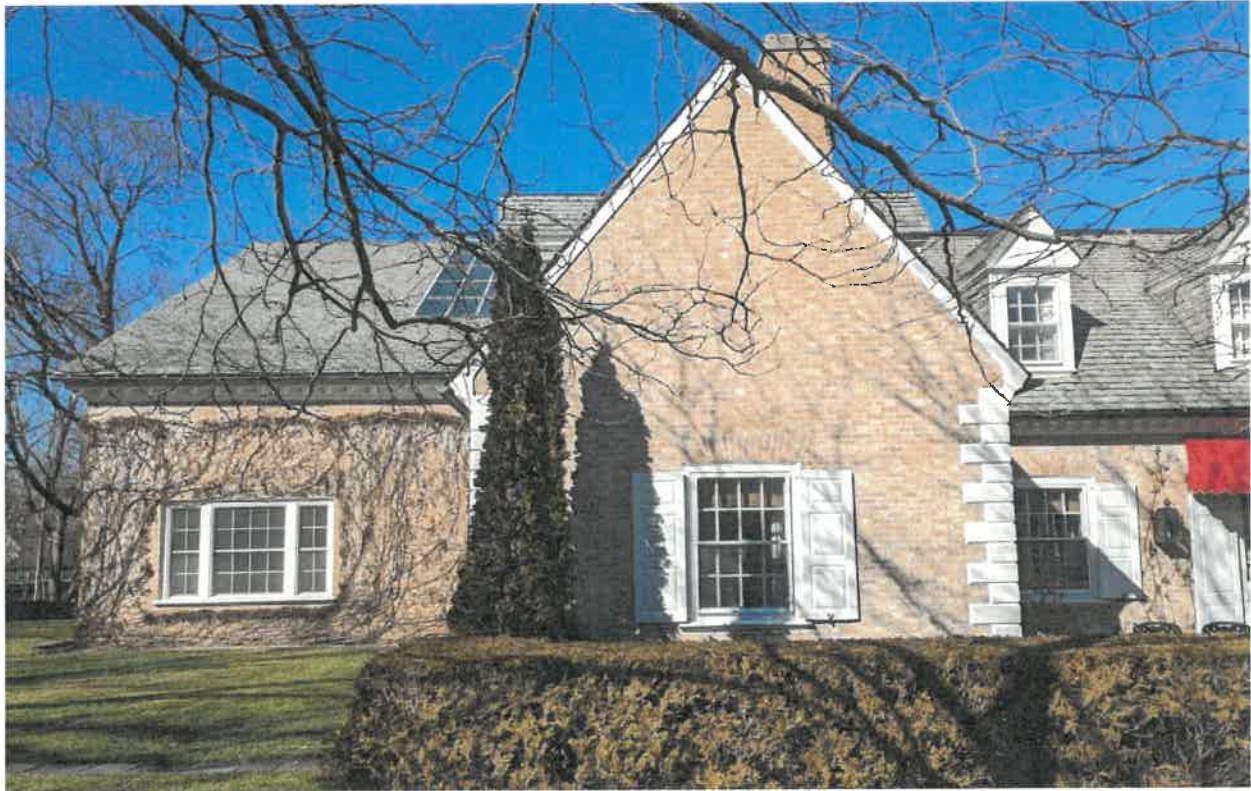
SOUTH ELEVATION



VIEW FROM SOUTHWEST

HISTORIC IMAGERY





EXISTING IMAGERY - TENNIS HOUSE



CORNER OF EXISTING COTTAGE WHERE GARAGE CONNECTION IS PROPOSED



EXISTING IMAGERY - AREA BETWEEN TENNIS HOUSE & COTTAGE



OPEN PORCH TO BE REMOVED AND REPLACED WITH ADDITION



EXISTING IMAGERY - ELM TREE ROAD STREETScape

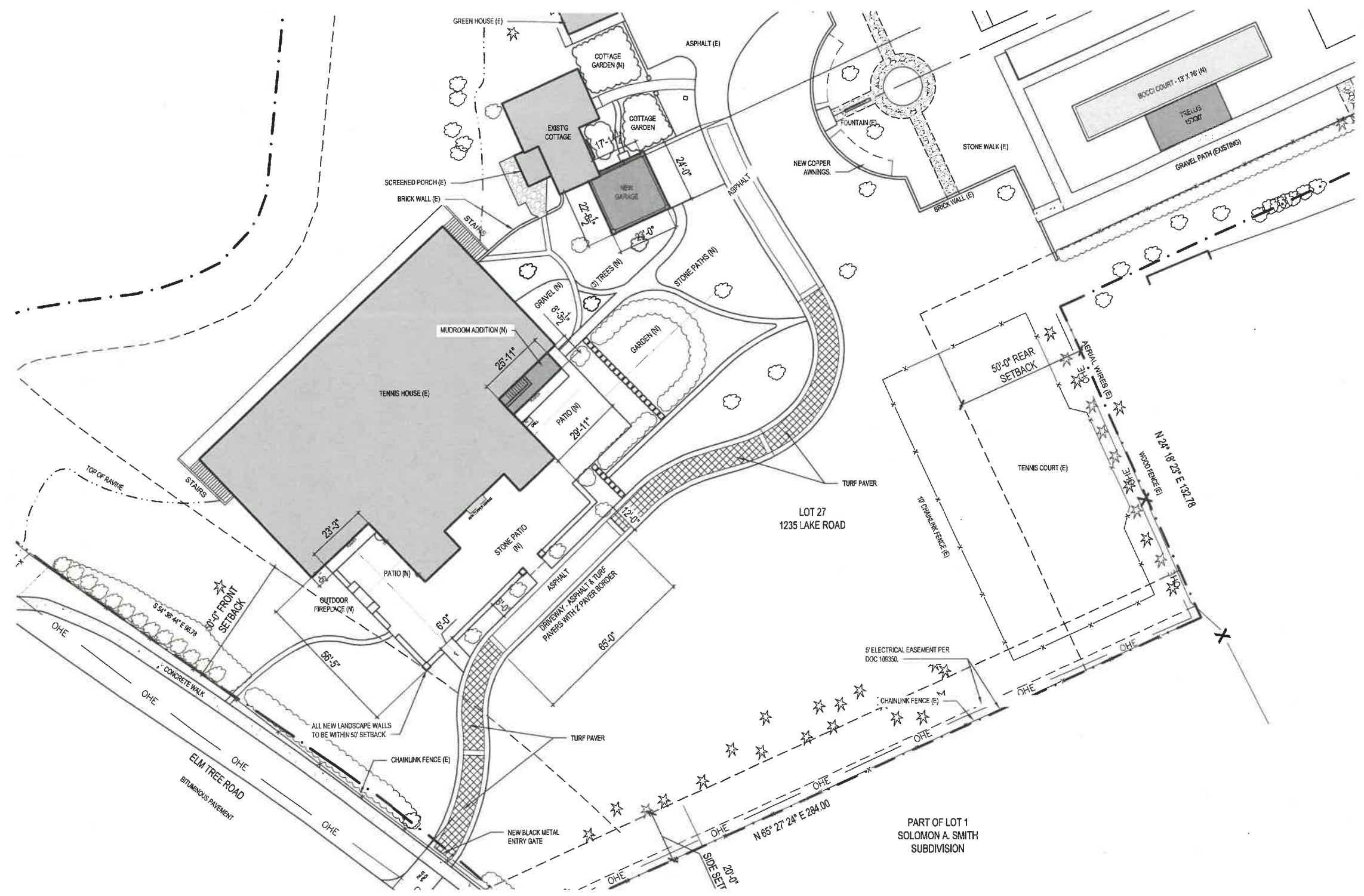


EXISTING IMAGERY - FOUNTAIN



EXISTING IMAGERY - GARDEN

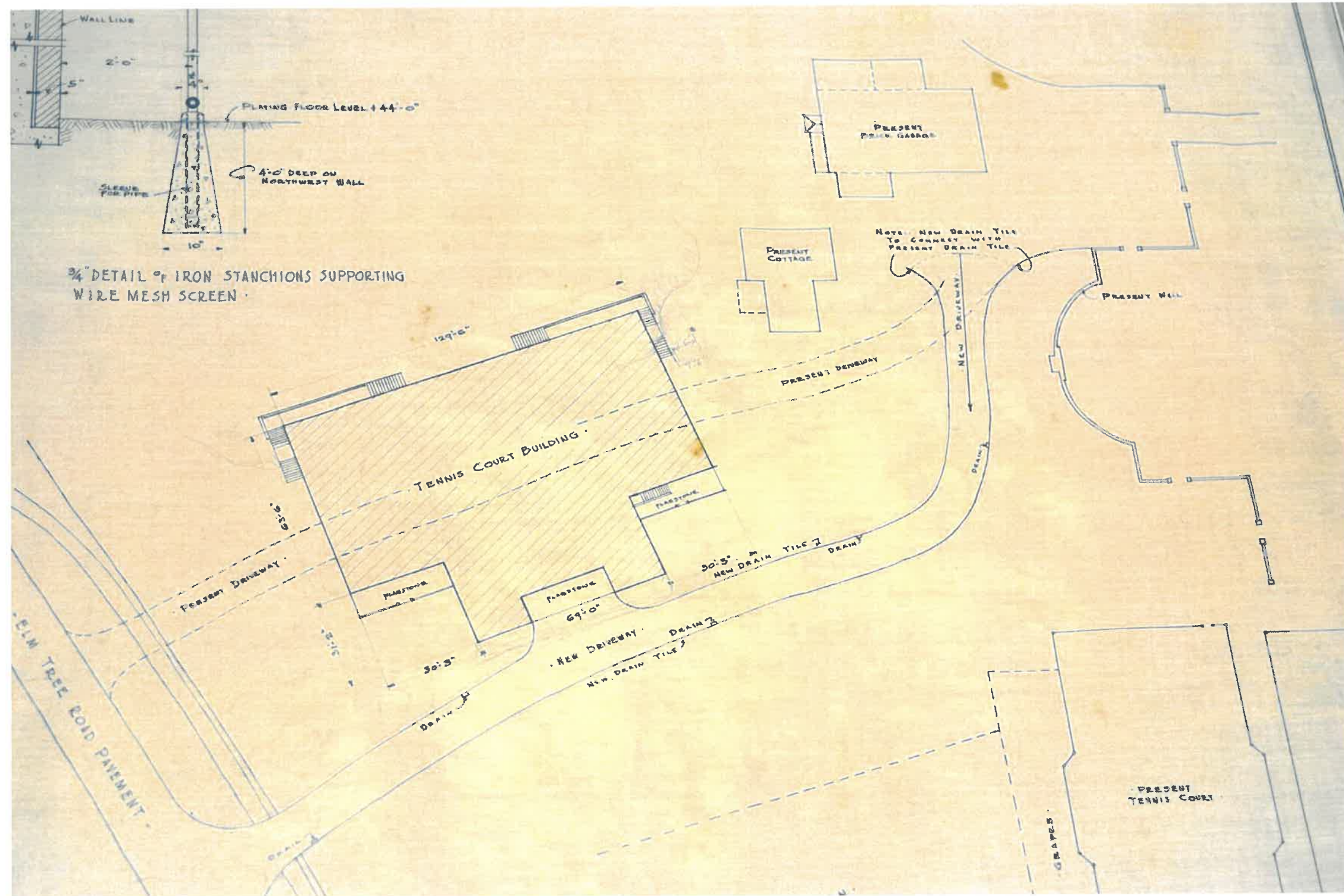




PROPOSED SITE PLAN - DETAIL



DEMOLITION SITE PLAN - DETAIL



ORIGINAL DRAWINGS - SITE PLAN



DEMOLITION - SOUTH ELEVATION



EXAMPLE OF AWNING



PROPOSED - SOUTH ELEVATION



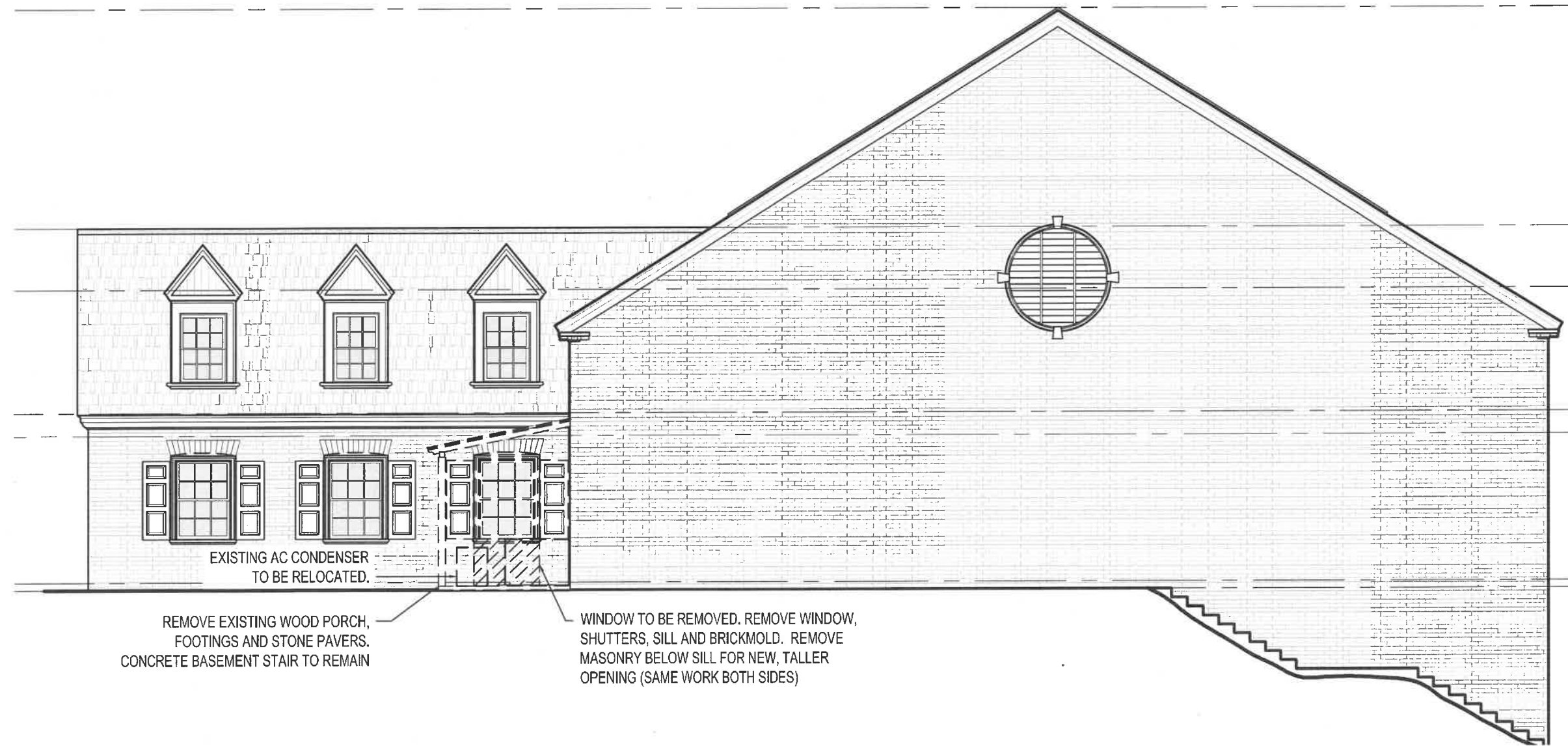
FRONT ELEVATION - VIEW OF PROPOSED ARCHITECTURE



FRONT ELEVATION - VIEW OF PROPOSED ARCHITECTURE



APPROACH FROM ROAD - VIEW OF PROPOSED ARCHITECTURE



DEMOLITION - EAST ELEVATION



PROPOSED - EAST ELEVATION



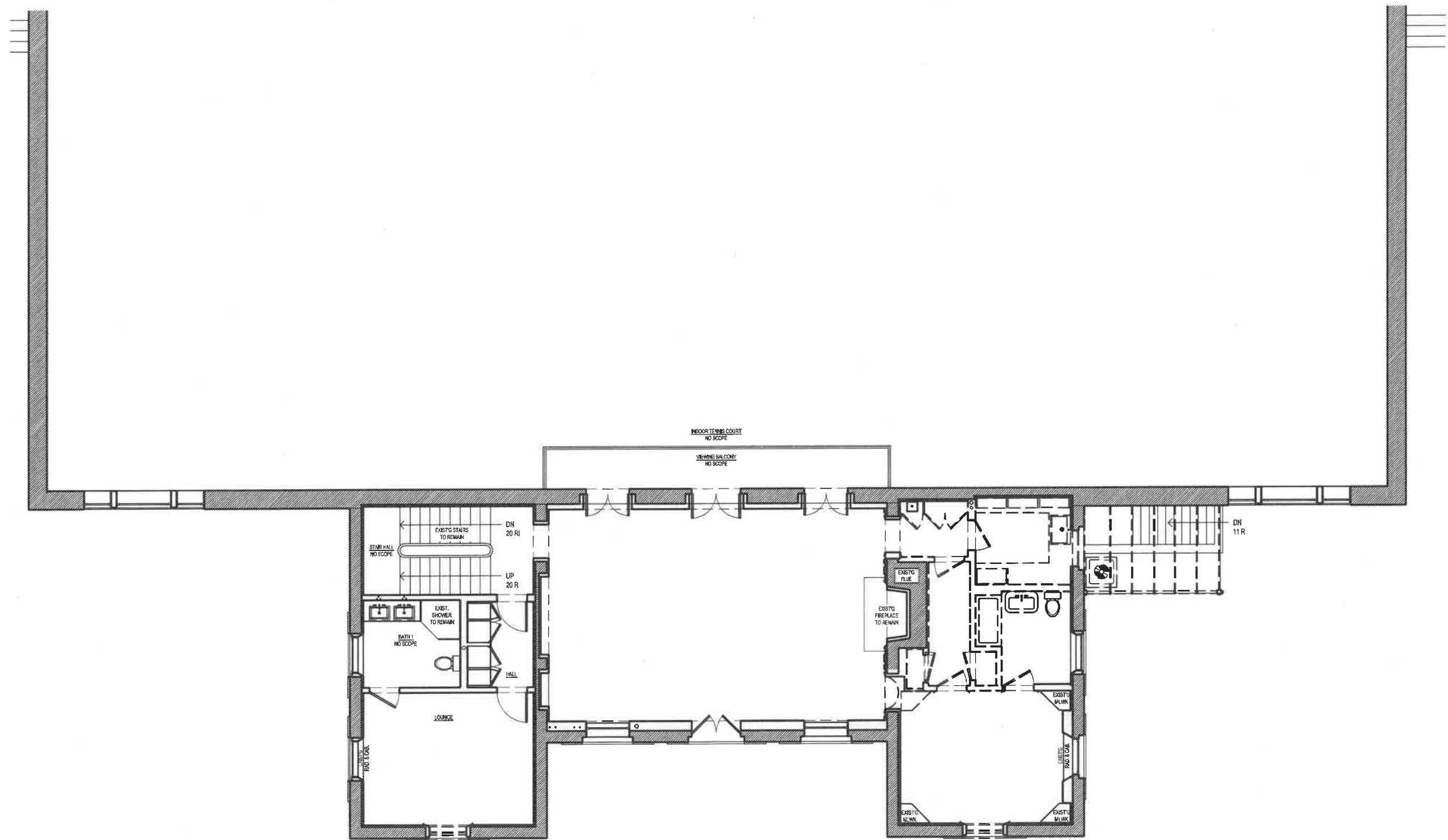
FRONT ELEVATION - VIEW OF PROPOSED ARCHITECTURE



AERIAL - VIEW OF PROPOSED ARCHITECTURE

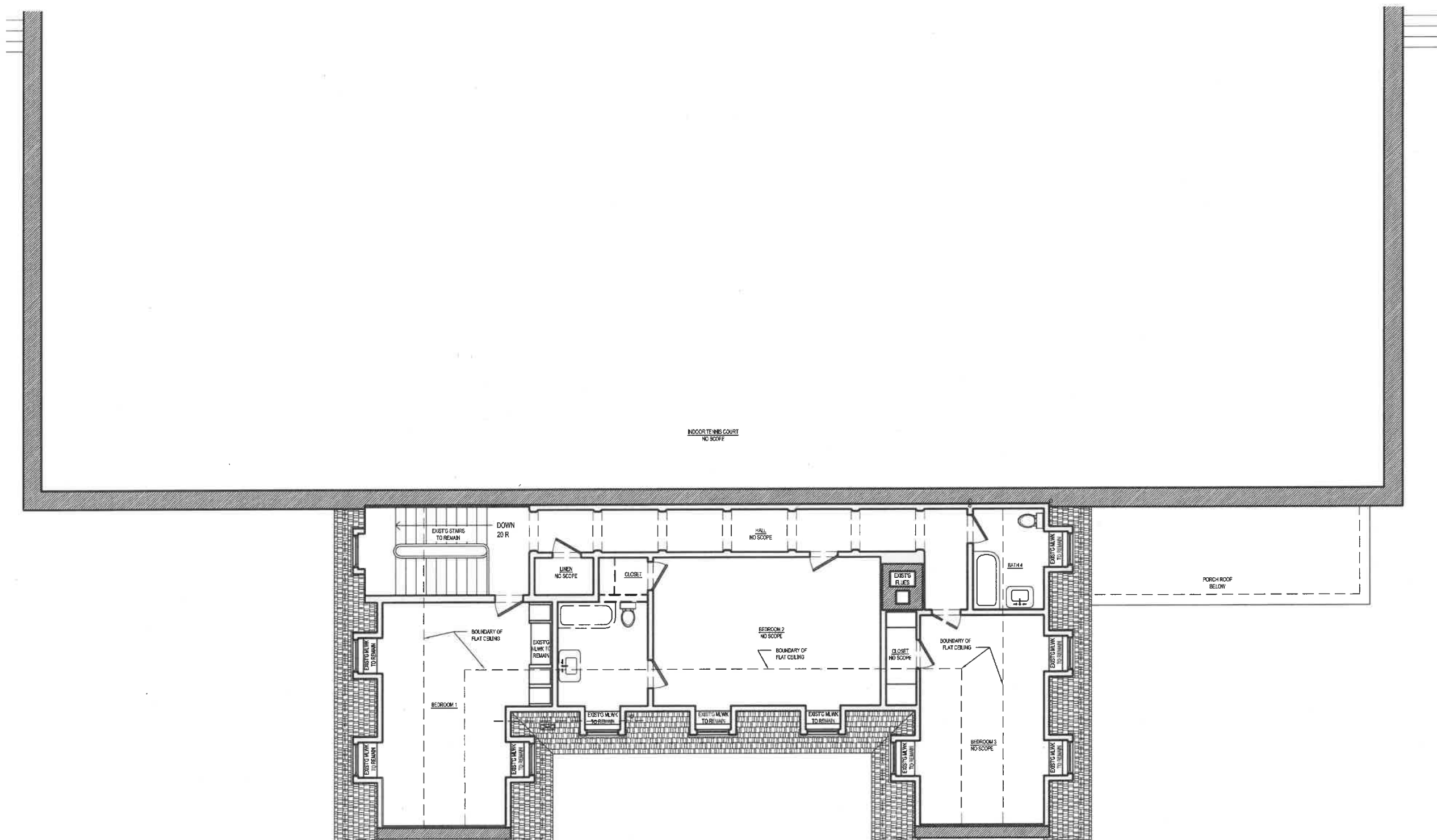


AERIAL - VIEW OF PROPOSED ARCHITECTURE

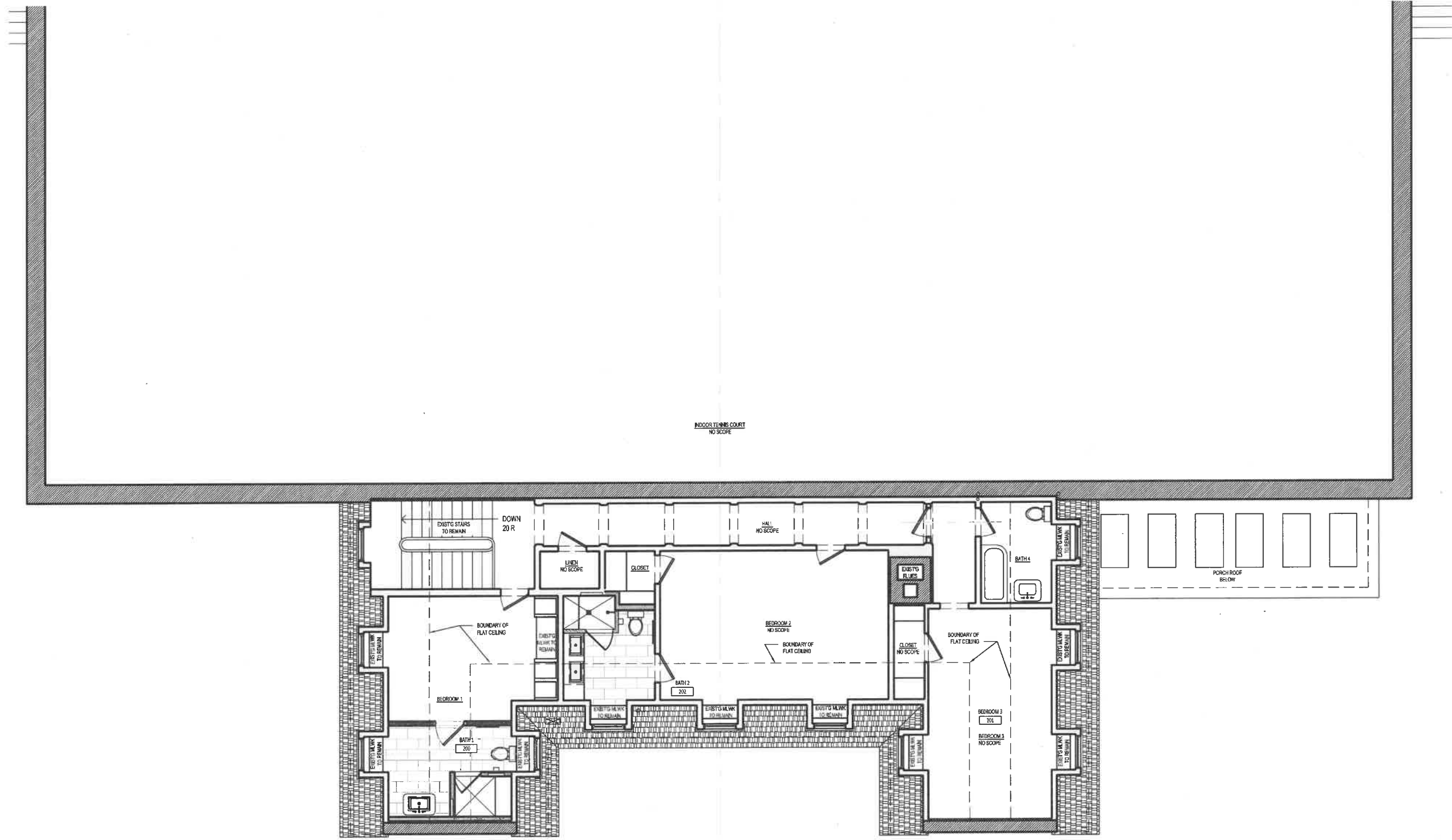


DEMOLITION PLAN - FIRST FLOOR

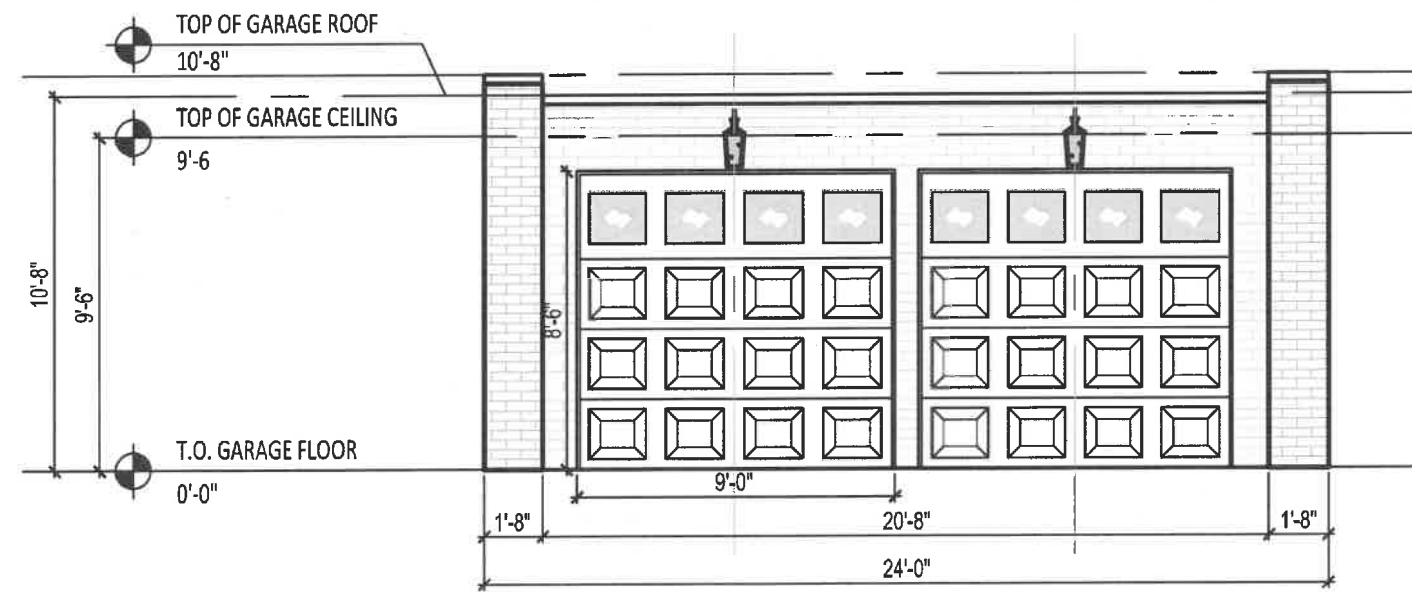




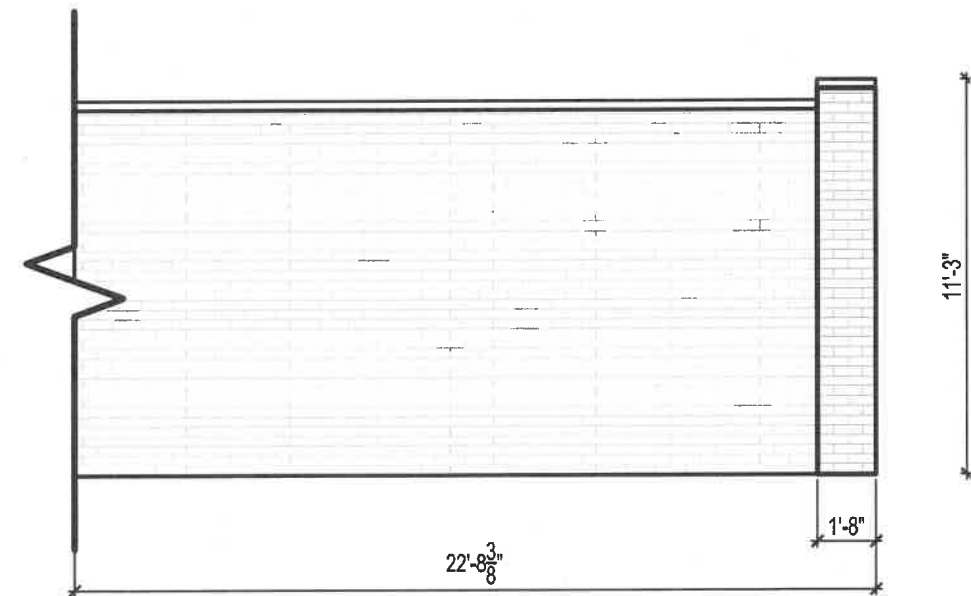
DEMOLITION PLAN - SECOND FLOOR



PROPOSED PLAN - SECOND FLOOR

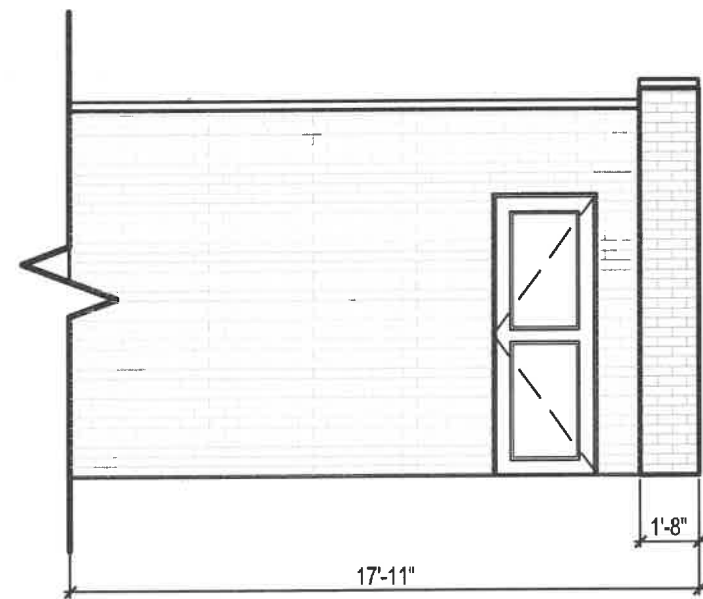


1 GARAGE ELEVATION SOUTH PROPOSED  
1/4" = 1'-0"

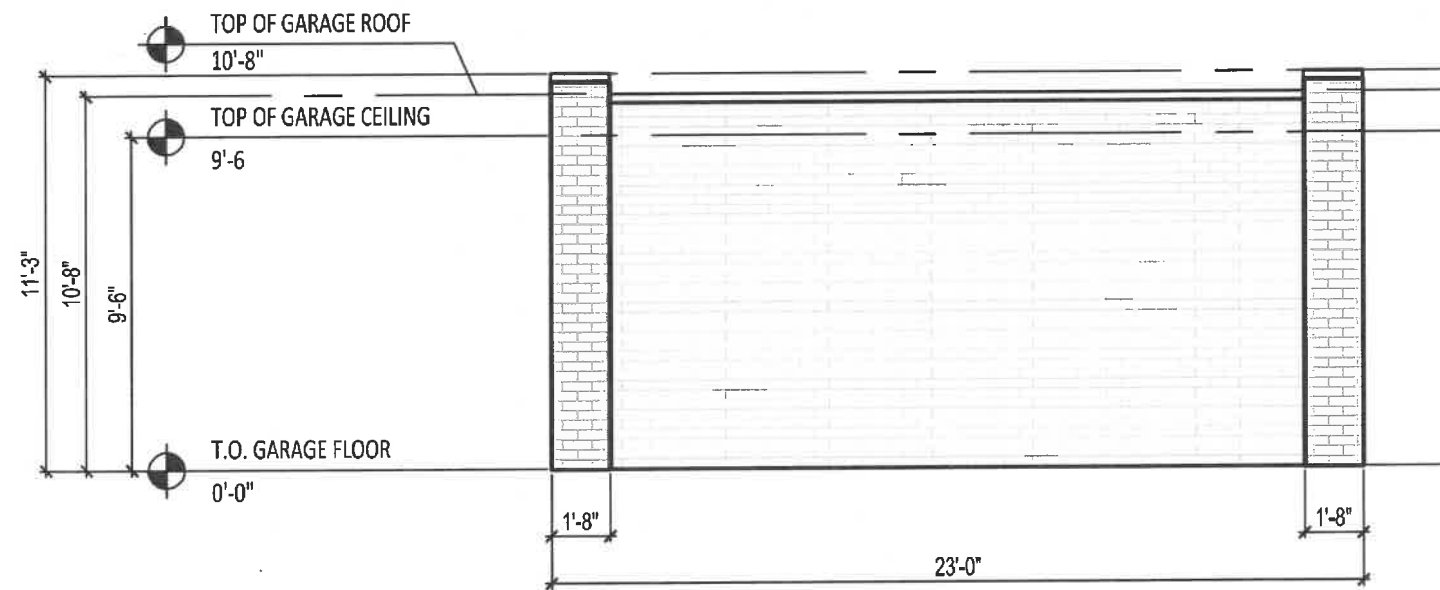


2 GARAGE ELEVATION NORTH PROPOSED  
1/4" = 1'-0"

PROPOSED -GARAGE ELEVATIONS



3 GARAGE ELEVATION EAST PROPOSED  
1/4" = 1'-0"



4 GARAGE ELEVATION WEST PROPOSED  
1/4" = 1'-0"

PROPOSED -GARAGE ELEVATIONS



AERIAL - VIEW OF PROPOSED ARCHITECTURE



VIEW OF PROPOSED ARCHITECTURE



PROPOSED - BOCCI COURT AND PAVILLION IMAGES