

Agenda Item 3
921 Hawthorne Place
Extension of approved Certificate of Appropriateness

Staff Memo
March 22, 2023 Certificate of Appropriateness
Certificate of Appropriateness Drawing Attachments

Materials Submitted by Petitioner
Extension Request Letter

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	June 26, 2024
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	921 Hawthorne Place, Previously Approved Certificate of Approval Expiration Extension

Petitioners

Roberto Perez

Property Location

921 Hawthorne Place

Historic Districts

East Lake Forest
Historical District

Project Representative

R. Nicholas Loope, the STUDIO @ Westmoreland Farm

Summary of the Petition

The petitioners are requesting an expiration extension of the Certificate of Appropriateness for partial demolition, addition, dormers, pergola and hardscape at 921 Hawthorne Place as previously approved on March 22, 2023. The requested extension is through June 2025.



Certificate of Appropriateness

On March 22, 2023, the City of Lake Forest Historic Preservation Commission voted to approve the following petition:

Petition Address: 921 Hawthorne Place
Property Owner: Roberto Perez
Representative: Richard Loope, architect

Project Description: Partial Demolition, Addition, Dormers, Pergola and Hardscape

The petition was approved based on the findings attached as Exhibit A and is subject to the following conditions of approval.

1. The plans shall be revised as follows.
 - a. The arched window on the front of the addition shall be refined with careful attention paid to the details of the trim and muntins.
 - b. The window on the north elevation of the addition shall be centered on the gable element as shown on the revised plans presented to the Commission at the March 22, 2023 meeting.
 - c. Landscaping or an architectural element shall be incorporated on the rear elevation of the addition to break up the solid brick wall.
 - d. The proportions of the dormer on the north elevation of the addition shall be refined.
2. Consideration should be given to applying a whitewash to the exterior brick or a paint color that presents a softer appearance.
3. Plans submitted for permit must reflect the project as presented to the Commission with the modifications noted above. If any additional modifications are proposed in response to Commission direction or as a result of design development, plans clearly detailing the areas of change must be included with the submission for permit along with the plans originally presented to the Commission and will be subject to review by staff, in consultation with the Chairman as appropriate, to verify that the plans are consistent with the intent of the Commission and the approvals granted.
4. Prior to the issuance of a building permit, a detailed, landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall provide for the required 10 replacement inches on site. If during construction, additional trees on the site are compromised in the opinion of the City's Certified Arborist, additional replacement inches or payment in lieu of on site planting may be required.
5. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.

6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
7. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction.

This approval is valid for a period of one year from the date of approval by the Historic Preservation Commission. Upon review of the final plans and a determination that the plans are consistent with the approvals and with all applicable Code provisions, permits will be issued to allow work on the site to begin. A building permit must be obtained and all applicable fees paid prior to the one year expiration date of this Certificate.

To facilitate the City review process and issuance of permits, please follow these procedures.

- ✓ All construction drawings submitted for permits should accurately reflect the approvals granted and respond to any conditions of approval.
- ✓ If the plans submitted for permit differ from the approvals, all changes including, but not limited to, changes to exterior materials, building massing, the site plan, grading, window or door placement or size, and architectural detailing need to be highlighted clearly on the plans.
- ✓ If the plans submitted differ from the approvals granted, further Board and City Council review of the project may be required.
- ✓ Please be aware that the City makes every effort to complete plan reviews within 15 to 20 working days after submittal of a complete application for building permit. The 15 to 20 days are active City review days. This time frame *excludes* periods during which the City is awaiting additional information from the applicant or contractor, submittal of revised plans or the installation of tree protection or erosion control measures.
- ✓ Once permits are issued, construction must begin within 90 days and all construction must be consistent with the approved plans.
- ✓ Construction must proceed diligently once a project is started out of consideration for the neighboring residents.

If you have any questions or need additional information, please contact Jennifer Bachr, Planner, in the Community Development Department, 800 Field Drive, by phone 847.810.3520, or email, baehrj@cityoflakeforest.com

cc: Property Owner and Representative
Notebook
Building Permit Application File

Exhibit A
Findings of Fact – 921 Hawthorne Place

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

This criterion is satisfied. The residence is identified as a Contributing Structure because it is within the time period of significance. The portion of the home proposed for demolition is a simple, single-story mass and is a relatively small portion of the home that does not reflect any architectural significance. The proposed demolition will not impact the main mass of the residence or any distinguishing features of the home. The gable roof above the living room does not reflect a significant architectural element that is worth preservation.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

This criterion is satisfied. The portions of the home proposed for demolition do not contribute in a distinctive way to the character of the existing home or to the Historic District.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

This criterion is satisfied. The partial demolition as proposed is not contrary to the purpose and intent of the Preservation Chapter of the Lake Forest Code. The portions of the home proposed for demolition are not architecturally significant.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

This criterion is satisfied. The existing residence was built in 1961, and the areas proposed for demolition are believed to be original to the home based on available records however, the home itself and the portions proposed for demolition are not of such old, unusual, or uncommon design, texture, or material that they could not be reproduced without great difficulty or expense.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

This criterion may be satisfied pending review by the Commission. Additions and alterations are proposed to the existing residence and are subject to review and approval by the Commission.

Standard 1 - Height:

This standard is met. A maximum allowable height of 40 feet is permitted for a lot of this size. The proposed addition reflects a single-story massing and is approximately 18 feet tall and is the same height as the existing single-story mass on the north end of the home and the garage mass at the south end of the home. The tallest point of the existing residence is 25 feet and 3 inches tall.

Standard 2 – Proportion of Front Façade:

This standard is met. The proposed addition on the north side of the home is similar to the existing massing on the south side of the residence and creates an anchor point that frames the center of the home. The proposed dormers break up the large center roof form and improves the balance along the front façade.

Standard 3 – Proportion of openings:

This standard is generally met. The existing residence presents mostly double windows with a variety of muntin patterns. The existing house also presents octagonal windows and small casement windows in the kitchen.

The proposed addition, like the existing house, presents mostly double hung windows with the exception of a large window with an arched top proposed on the front elevation. The arched window relates to the brick arches above the garage doors however, there are no other arched openings on the home. The front facing wall of the addition appears busy with multiple types of windows, the arched window, double hung windows and an octagonal window.

- Staff recommends eliminating the large arched window from the front of the addition and replacing it with a window that is more in keeping with the existing windows on the home.

Standard 4 Rhythm of Solids to Voids:

This standard is generally met. The existing home presents a mostly regular rhythm of solids to voids, with some larger groupings of windows on the rear. The north elevation of the proposed addition has a window that is slightly off center of the gable element. The rear elevation of the addition does not have any openings and presents a solid brick wall, which appears to stand out in relation to the rest of the home.

- Staff recommends that the window on the north elevation be centered on the gable element.
- Staff recommends incorporating some openings or an architectural element to break up the solid brick wall on the rear elevation of the addition.

Standard 5 – Spacing on the Street:

This standard is met. The proposed addition will not significantly change the spacing of structures along the street. The addition will not extend any closer to the north property line than the existing single-story mass on the north side of the residence. The addition will project forward from the main mass of the home and align with the front of the garage. The front of the addition will be approximately 60 feet from the front property line.

Standard 6 – Rhythm of Entrance Porches:

This standard is not applicable to the petition. The front entrance will remain in its current location.

Standard 7 – Relationship of Materials and Texture:

This standard is met. The proposed exterior materials will match the existing home. The addition

will have brick walls and a cedar shake roof. Wood windows with interior and exterior muntins are proposed. Wood, trim, fascia and soffits are proposed. The gutters and downspouts will be copper. The new chimney will be brick.

Clarification is needed on the materials proposed for the chimney caps, shutters and new dormer walls.

Standard 8 – Roof Shapes:

This standard is generally met. The roof of the existing residence is comprised of primarily gable roof forms with a 9:12 pitch and some shallow shed roof forms. The proposed addition will have gable roof forms that match the pitch of the existing gable roofs on the home. The proposed shed roof on the front of the home will match the shallow pitch of the existing shed roofs.

On the north elevation of the addition a pediment dormer is proposed on the east end. It appears that the proposed dormer is intended to match the dormers on the front of the home, however the proportions of the proposed dormer are more squat than the existing dormers since it is located on a smaller and shorter roof form. Based on the floor plans, there is no living space above the addition suggesting that this dormer may not be necessary.

- Staff recommends eliminating the dormer on the north elevation of the addition.

Standard 9 – Walls of continuity:

This standard is generally met. The style, massing, exterior materials and architectural detailing of the addition are mostly consistent with the existing home. As detailed above, staff is recommending some refinements that may result in a more cohesive appearance between the existing home and proposed addition.

Standard 10 - Scale:

This standard is met. The project as proposed complies with the building scale requirements. A residence of up to 6,261 square feet is permitted on the property based on the City's building scale regulations. In addition, design elements totaling 626 square feet and a garage allowance of 800 square feet are available. Based on the City's calculation, the existing residence along with the proposed addition totals 6,201 square feet and is under the allowable square footage by 60 square feet.

Standard 11 – Directional Expression of Front Elevation:

This standard is met. The existing residence presents a horizontal expression given the length and low-profile of the home. The proposed addition follows the horizontal expression of the existing home.

Standard 12 – Preservation of Historic Material:

This standard is met. The proposed addition and alterations do not impact any distinguishing qualities of the original residence.

Standard 13 – Preservation of natural resources:

This standard can be met. The proposed parking court will require removal of an Ash and Norway Maple tree in the front yard. Given the low-quality species, removal of these trees will not require replacement inches. Construction of the pergola at the rear of the home will impact a Honey Locust tree that is in fair condition. Removal of the Honey Locust tree will require 10 replacement inches.

The conceptual landscape plan provided by the petitioner reflects the existing trees and vegetation on the site that will remain and new plantings in the front yard. The proposed plantings include shade and ornamental trees, evergreens and flowering shrubs. Additional detail on the species and size of the proposed plantings are needed to confirm that the required replacement inches are satisfied.

Standard 14 – Compatibility:

This standard can be met. The addition is mostly designed in a manner that is consistent with the existing residence. As noted above, there are some areas that may benefit from some further refinement to present a more compatible appearance between the existing home and proposed addition.

Standard 15 – Repair to deteriorated features:

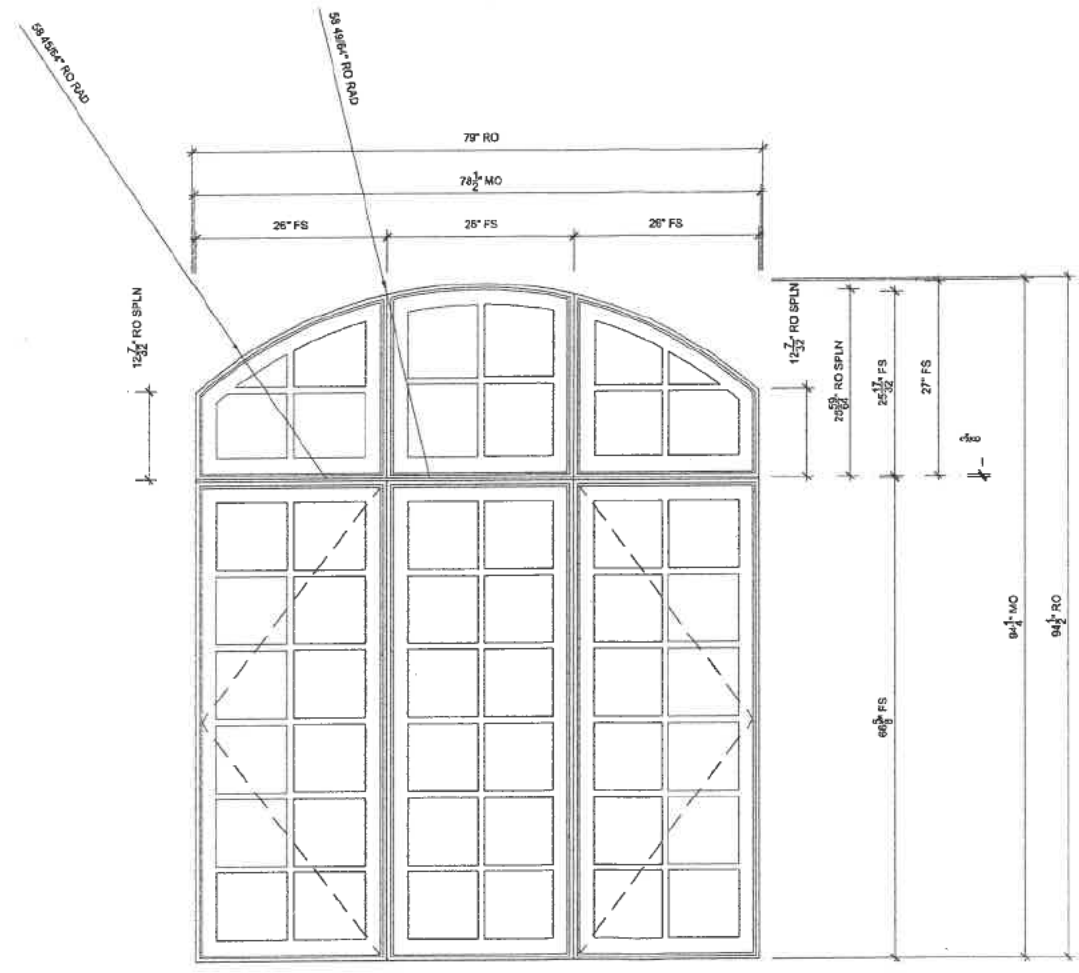
This standard is met. Based on the petitioner's statement of intent, repair work will be done as needed.

Standard 16 – Surface cleaning:

This standard is not applicable to this request.

Standard 17 – Integrity of historic property:

This standard is met. The addition is designed in a manner that is secondary to the existing residence and does not threaten the integrity of the original structure.



01
SCALE: 1" = 1'-0"

⊕ Head ⊕ Horizontal Mullion ⊕ Horizontal Mullion ⊕ Jamb ⊕ Vertical Mullion ⊕ Jamb ⊕ Vertical Mullion ⊕ Sill
 ⊕ SF ⊕ Divided Lite

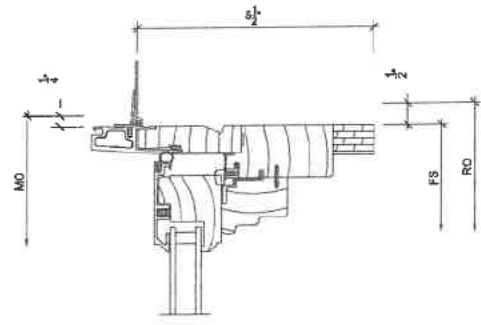
PROJ/JOB: 921 Hawthorne Place, Lake Forest / Petez Estébe
 DIST/DEALER: EVANSTON LUMBER
 DRAWN: NICK GRIMM
 QUOTE#: LQCZUDW PK VERSION: 0004.02.01

SHEET
 1
 OF 3

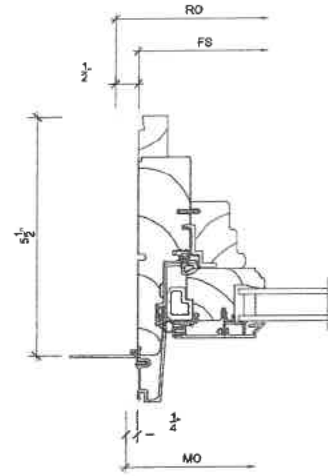
REVISION:

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Referencing the Marvins shop drawings for a product in these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Warsaw, Minnesota 55782. If the Marvin products included herein are ordered without reference to the approved shop drawings, Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

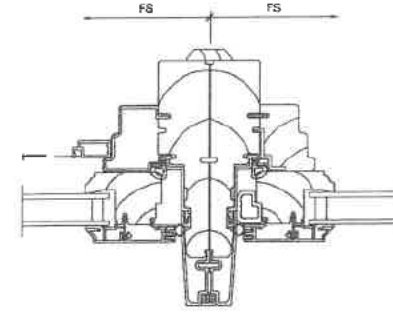




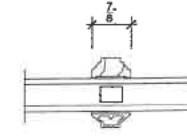
1
2 Head SCALE: 6" = 1'-0"



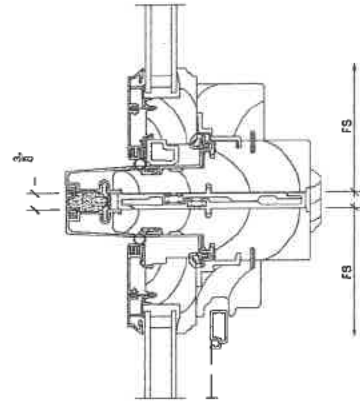
4
2 Jamb SCALE: 6" = 1'-0"



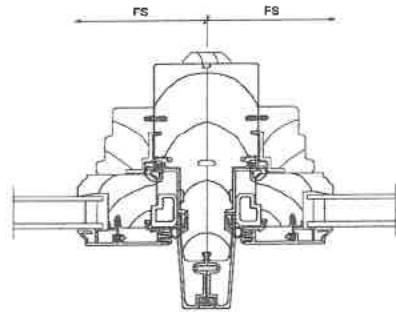
7
2 Vertical Mullion SCALE: 6" = 1'-0"



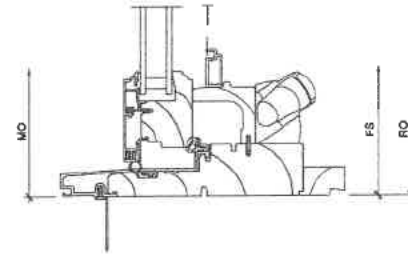
10
2 Divided Lite SCALE: 6" = 1'-0"



2
2 Horizontal Mullion SCALE: 6" = 1'-0"

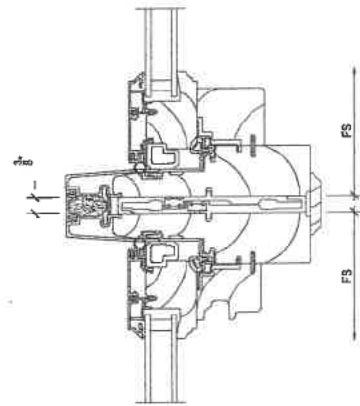


5
2 Vertical Mullion SCALE: 6" = 1'-0"

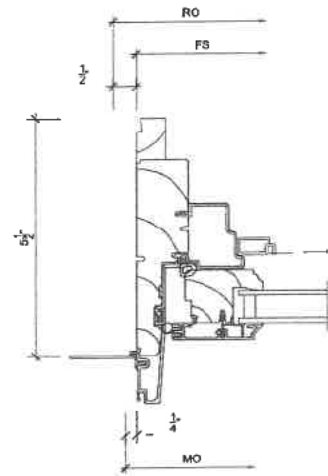


8
2 Sill SCALE: 6" = 1'-0"

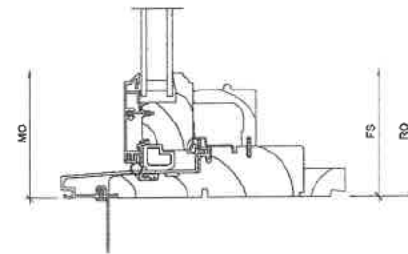
11
2 NOT USED SCALE: 6" = 1'-0"



3
2 Horizontal Mullion SCALE: 6" = 1'-0"



6
2 Jamb SCALE: 6" = 1'-0"



9
2 Sill SCALE: 6" = 1'-0"

12
2 NOT USED SCALE: 6" = 1'-0"



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an order form must be submitted to the Architectural Department, Marvin Windows & Doors, P.O. Box 100, Maple Grove, MN 55123. If no Marvin products included herein are ordered without reference to the approved shop drawings, Marvin Windows and Doors assumes no responsibility in quarantining product coordination with the drawings.

PROJECT: 921 Hawthorne Place, Lake Forest / Perez Estate

DIST/DEALER: EVANSTON LUMBER

DRAWN: NICK GRIMM

QUOTE#: LOC2UDW

PK VERSION: 0004.02.01

REVISION:



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
 Before ordering the Marvin Window and Door products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Wauwatosa, Wisconsin 53095. If the Marvin products included herein are ordered without reference to the approved shop drawings, Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

Product Line	Unit Description
Ultimate	Marvin Assembly

PROJ/JOB: 921 Hawthorne Place, Lake Forest / Perez Estab

DIST/DEALER: EVANSTON LUMBER

DRAWN: NICK GRIMM

QUOTE#: LQC2JUDW

PK VERSION: 0004.02.01

CREATED: 05/25/2023

REVISION:

SHEET

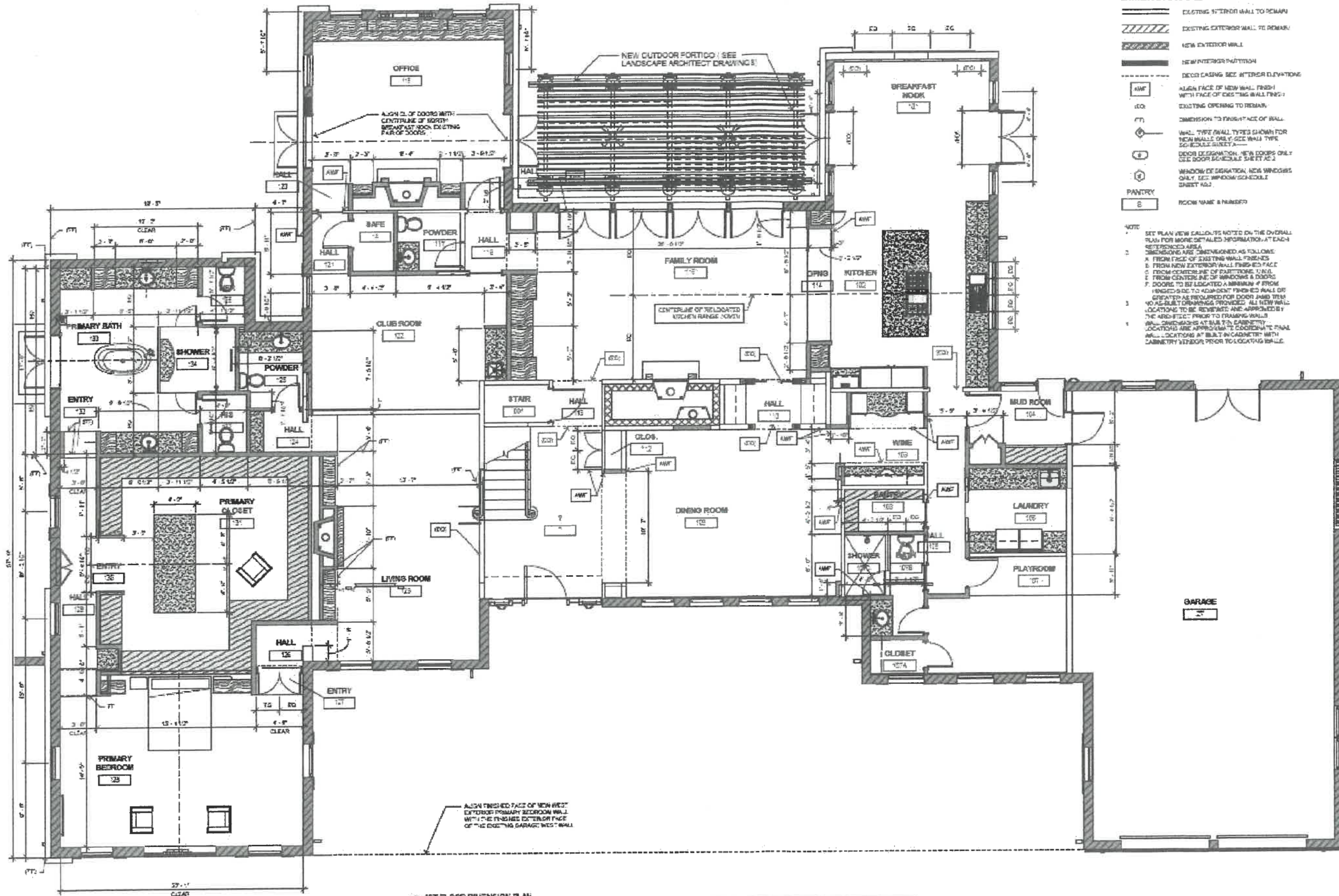
3

OF 3



Perez Estate Remodel
 921 Hawthorne Place
 Lake Forest, IL, 60045



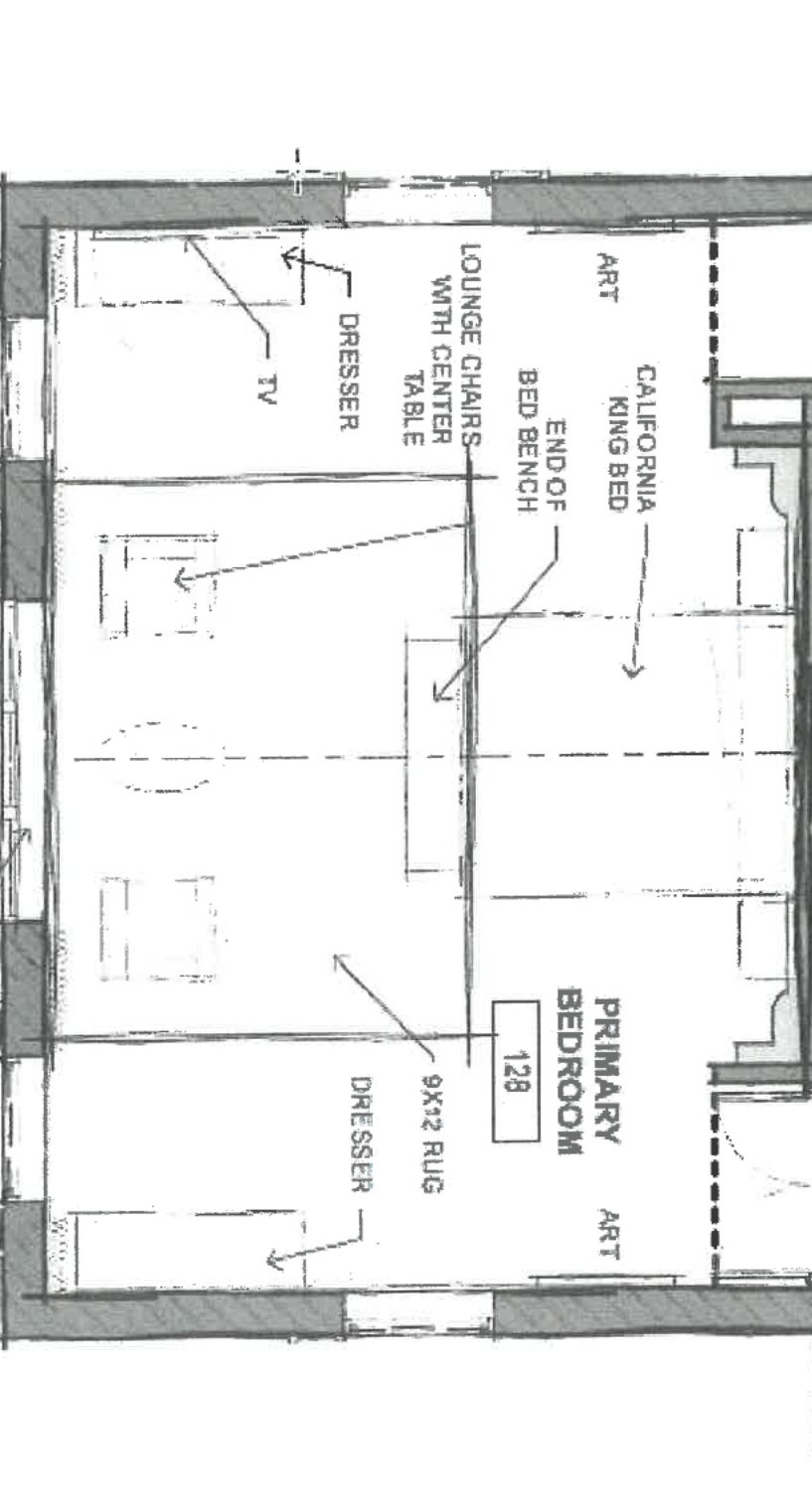
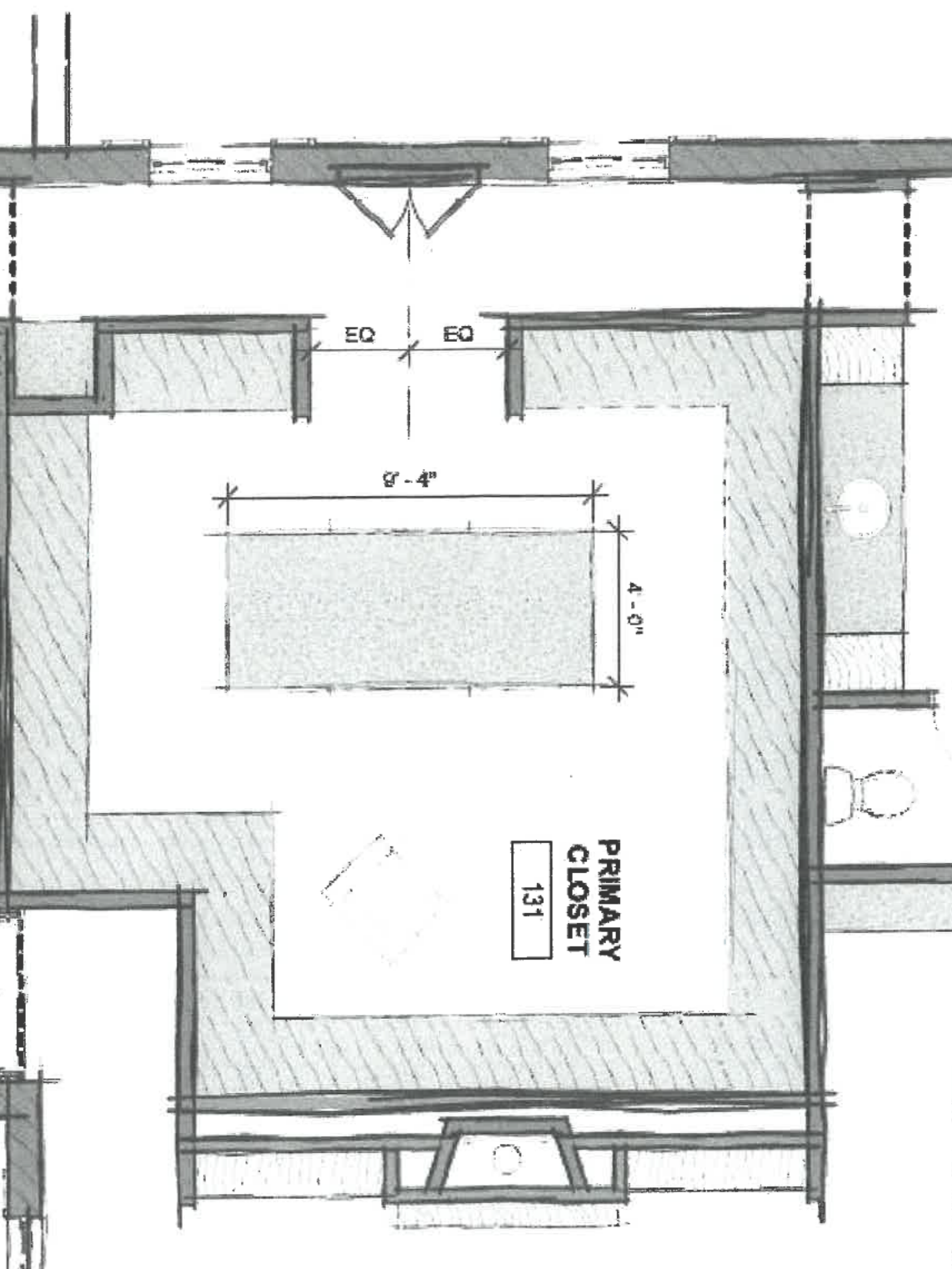
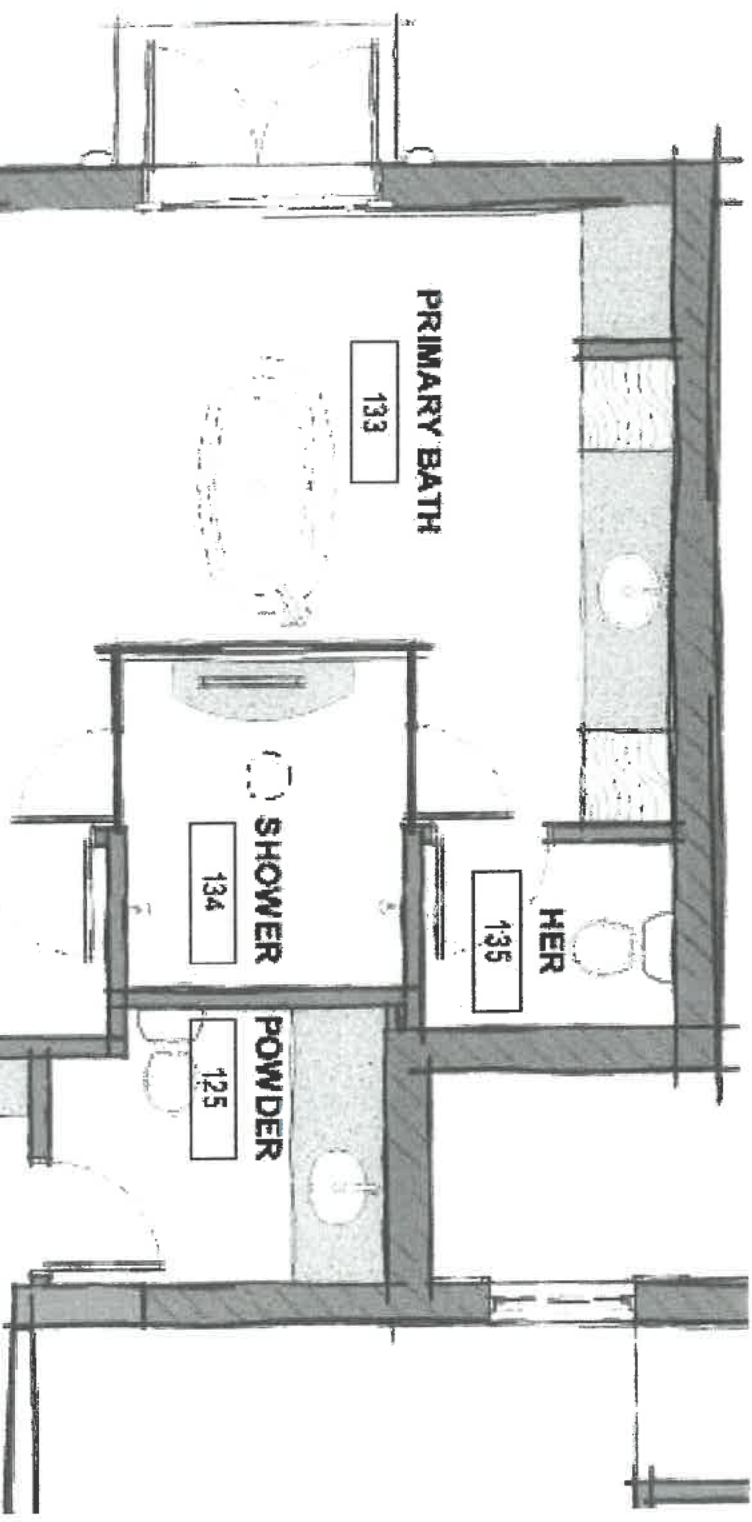


- ### DIMENSION PLAN LEGEND
- EXISTING INTERIOR WALL TO REMAIN
 - EXISTING EXTERIOR WALL TO REMAIN
 - NEW EXTERIOR WALL
 - NEW INTERIOR PARTITION
 - DOOR CASING SEE INTERIOR ELEVATIONS
 - ALIGN FACE OF NEW WALL FINISH WITH FACE OF EXISTING WALL FINISH
 - EXISTING OPENING TO REMAIN
 - DIMENSION TO FINISH FACE OF WALL
 - WALL TYPE (M, S, W) WALL TYPES SHOWN FOR NEW WALLS ONLY. SEE WALL TYPE SCHEDULE SHEET A-1.
 - DOOR DESIGNATION. NEW DOORS ONLY. SEE DOOR SCHEDULE SHEET A-2.
 - WINDOW DESIGNATION. NEW WINDOWS ONLY. SEE WINDOW SCHEDULE SHEET A-3.
 - PANTRY
 - ROOM NAME & NUMBER

NOTE:
 SEE PLAN VIEW CALLOUTS NOTED ON THE OVERALL PLAN FOR MORE DETAILED INFORMATION AT EACH REFERENCED AREA.
 DIMENSIONS ARE DIMENSIONED AS FOLLOWS:
 A. FROM FACE OF EXISTING WALL FINISH
 B. FROM NEW EXTERIOR WALL FINISH FACE
 C. FROM CENTERLINE OF PARTITION WALL
 D. FROM CENTERLINE OF WINDOWS & DOORS
 E. DOORS TO BE LOCATED A MINIMUM 4" FROM FINISHED SIDE TO ADJACENT FINISHED WALL OR GREATER AS REQUIRED FOR DOOR JAMB TRIM
 F. ALL NEW WALL LOCATIONS TO BE REVEALED AND APPROVED BY THE ARCHITECT PRIOR TO FRAMING WALLS
 G. ALL DIMENSIONS AT 1/8" = 1'-0" EXCEPT WHERE NOTED OTHERWISE
 H. ALL LOCATIONS AT BUILT-IN CABINETS WITH CABINETS TO BE INSTALLED PRIOR TO LOCATING WALLS.

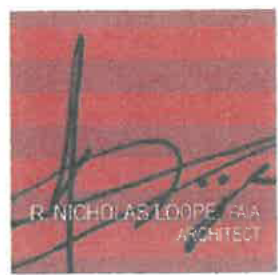
1ST FLOOR DIMENSION PLAN
 1/8" = 1'-0"





1 PRIMARY BEDROOM CONCEPT 3 PLAN
1/4" = 1'-0"

PALLADIAN ARCHED WINDOW



the
STUDIO
@
Westmoreland
Farm™
Architecture & Interior Design

06.15.24

To the Director of Community Development and the Historic Preservation Commission for the City of Lake Forest,

Please accept this request on behalf of our client Mr. Roberto Perez, who resides at 921 Hawthorne Place Lake Forest, IL 60045.

We respectfully request that the Certificate of Appropriateness granted March 22, 2023, for certain demolition, addition, dormers and hardscape, be extended to allow for an anticipated start of construction in June of 2025.

Thank you for your consideration.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Loope', with a large, sweeping flourish extending from the end of the signature.

R. Nicholas Loope, FAIA

Principal Architect

Agenda Item 4
121 North Green Bay Road
Main House Alterations, Garage and Pool House Additions and Landscaping

Staff Report
Changes Annotated by Staff
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application

Statement of Intent

Materials and Color Samples

Existing Plat of Survey

Rendering- Main House Alterations

Existing Exterior Photos

Property & Neighborhood Plan

Garage Addition Floor Plan

Garage Addition Roof Plan

Elevations

Pool House Plan and Elevations

Tree Removal Plan

Tree Removal Survey

Landscape Plan

Hardscape Plan

Fence Plan

Lighting Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



TO: Chairman Grinnell and members of the Historic Preservation Commission
DATE: June 26, 2024
FROM: Abigail Vollmers, Senior Planner
SUBJECT: **121 North Green Bay Road – Addition and Alterations**

PROPERTY OWNERS

Kevin and Jane Hoffmeyer
121 North Green Bay Road
Lake Forest, IL 60045

PROPERTY LOCATION

121 North Green Bay Road

HISTORIC DISTRICTS

Green Bay Road Local &
National Register Historic
District

PROJECT REPRESENTATIVE

Michael Hershenson, architect
Michael Hershenson Architects, Ltd

SUMMARY OF THE PETITION

This is a request for a Certificate of Appropriateness to approve a garage addition and a new pool house on an existing single-family residence that is currently over the allowable building square footage. Exterior alterations to change the windows and doors, driveway configuration, as well as landscaping are also proposed.

The statement of intent and supporting materials submitted by the petitioner are included in the Commissioners' packets and provide additional details on the proposed project.

DESCRIPTION OF PROPERTY

The property is a lot in depth, a lot with no street frontage, on the east side of Green Bay Road across from the Onwentsia Club dormitory. Access to the home is via a private drive shared with two other homes. The existing home was built in 1997- 1998 and is a red brick Tudor Eclectic style house with expansive non-traditional window forms used on the back and side of the house. The windows and doors are trimmed in thick limestone, and several octagonal shaped bays are placed around the house which all work together to give the house a distinctive nineties look.

STAFF EVALUATION

Site Plan

The property is 1.8 acres with direct access to the private drive on the northwest corner of the lot. The lot is trapezoidal in shape and the eastern edge borders the rear property lines of homes along Western Avenue. The lot is heavily landscaped and fully fenced with a large play area, screened in porch, playhouse, and pool in the back yard. A gated entrance with a large motor court exists in the front of the house with a connecting driveway to the garages on the north side of the house. There is a significant grade change from the front of the house to the rear of the yard which slopes down to the east. A large portion of the basement is fully exposed and at grade

on the back of the house which is a contributing factor in the over square footage calculation. The existing pool equipment is exposed and located on the eastern end of the property.

Proposed Additions and Alterations

The current residence and accessory structures are 21% over the maximum allowable square footage for the lot size. This does not include the square footage for the exposed basement and third floor since the home was built prior to the adoption of the Code provision that requires exposed basements to be factored into the calculation. The existing height of the home is 47'-9" which exceeds the current allowable building height of 40' for a lot of this size. The proposed garage and pool house additions will add an additional 17% to the current square footage overage bringing the total to 38% over the allowable building size.

The petitioner proposes to eliminate some of the existing square footage by removing the existing screen porch and playhouse (503 SF). An additional single car garage with connection to the house, a pool house near the existing pool, and a new screened in porch adjacent to the side of the new garage are proposed. The proposed changes are an add of 1,427 square feet.

Additions

The new garage is planned on the northeast side of the existing double car garage where the current mechanicals are located. The air conditioners will be relocated to the side of the new garage and the generators will be moved to the south side of the house near the southwest corner. The garage has a gable that mimics the existing garages and grounds the screened in porch and the covered entry to the back door. The covered service entry is a simple post and timber structure with a flat roof. A slat fence is proposed to the east of the covered service entry to shield the wall mounted air conditioners.

The screen porch has a large masonry chimney on the north wall that contains a fireplace and wood storage area. The mass separates the back yard patio from the driveway and the neighbors to the north. The screen porch is also a simple post and timber structure with a flat roof.

The pool house is proposed at the southeast corner of the existing pool deck and meets the accessory structure rear yard setback. The parapeted gables are punctuated with sliding doors on the south elevation and a serving counter window on the north elevation. The west elevation contains a large glass wall system that opens out onto the pool deck. A Flemish gable extends eastward and ends in a solid wall that collects the mechanical units on the outside wall. A tall fence is placed beyond the mechanical units providing screening to the homes to the east. When plans are submitted for permit, the placement of the mechanical units will be further reviewed for compliance with required setbacks and with attention to the potential need for sound attenuation to avoid negatively impacting adjacent homes. The pool deck extends along the north and east elevations with a small patio on the south side.

Alterations

Replacement windows and doors are planned for the main house on all elevations. Several changes to the overall size of the windows, removal of some windows, and removal of the Palladian window form are proposed. The muttons sizing is planned to increase which creates fewer panes per opening. The result is a simplified elevation where the windows feel more in scale with the large house. The existing half wood front door, front side door, and existing patio sliding doors are intended to be replaced with all-glass doors and sidelights that match the mutton sizing and verticality of the windows.

Findings

A staff review of the applicable standards in the City Code is provided below. Preliminary findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height.

This standard is met. The height of the existing house is not changing. The pool house is a single story and falls below the 25' height limitation for an accessory structure. The garage is well below the maximum height of 40' since it is attached to the primary structure.

Standard 2 – Proportion of Front Façade.

This standard is met. The front façade is not changing except for the removal of a second story balcony and lights located on the gable at the north end, and a similar second story railing and lighting over the front entrance.

Standard 3 – Proportion of Openings.

This standard is met. A proposed elevation sheet for all four elevations with proposed changes as annotated by staff is included with this report.

Front Elevation- A small window over the front side entrance is proposed to be bricked in with a herringbone inset and the second story doors on the north gable and main entrance gable will be converted into windows that are smaller in size. These changes will remove a balcony and balustrade railing, exterior lights, and improve the overall façade by simplifying it. The front entrance door and side entrance door are also proposed to be replaced with all glass doors and sidelights that match the window mullion size and shape.

East (Rear) Elevation- The existing elevation is extremely busy with three hexagonal bays that contain several window forms and sizes and one oriel window bay. The proposed changes will convert the dramatic second floor Palladian window to a regular sized window, and one second story window will be bricked in with a herringbone inset panel. The left hexagonal windows on the first floor are proposed to be lowered to align with the center hexagonal bay windows. The first-floor windows on the right hexagonal bay are proposed to be converted into doors, and the existing sliding doors are to be replaced with sliding panel doors. These changes collectively simplify the elevation but do not reduce the overall perception of the mass of the home.

North Elevation – The existing windows in the garage gables will be reduced in height to accommodate interior considerations. This modification allows for more wall space between the new covered entry porch and the windows. The addition of the garage, covered walkway, and screened porch are proposed to be added to the east of the existing garage and will cover the ornamental brickwork of the existing chimney. However, the new screened in porch has a new chimney that mimics the style of the existing and provides an architectural focal point to the elevation. The new elements are anchored by the garage and the gable provides a scale transition to the existing house and the garage gables which unifies the elevation.

South Elevation – The Palladian windows on the hexagonal bay are proposed to be removed and replaced with rectangular window forms. A second window on the elevation is proposed to be bricked in with the ornamental herringbone brickwork insets. The result leaves the elevation feeling calmer and more restful to the eye. The ornamental brickwork on both sides of the hexagonal bay provide some architectural interest other than windows on this elevation.

Standard 4 – Rhythm of Solids to Voids.

This standard is met. The window refinements the removals and sizing changes to the rear and side elevations improve the overall rhythm of the voids on these elevations.

Standard 5 – Spacing on the Street.

This standard is not applicable. The house is not visible from the street.

Standard 6 – Rhythm of Entrance Porches.

This standard is met. The proposed door changes to the front door and front side entrance do not affect the overall placement or change the relationship to the house.

Standard 7 – Relationship of Materials and Texture.

This standard is met. The basic materiality of the house is being maintained. The use of paint on the home to darken the limestone trim and stain to lighten the brick will reverse the dark and light aspects of the house without lessening the quality of the materials. The question of overall maintenance and potential long term impact of painting the stone and brick surfaces will need to be addressed by the homeowner.

The new hardscape is a mix of materials including blue stone chips, cobblestones, cut limestone, and limestone pavers. Bricks painted to match the house are also proposed for planter bed areas and the edge of the pool. A portion of the driveway will also be paved in asphalt.

Standard 8 – Roof Shapes.

This standard is met. The gable roof of the garage addition is consistent with the roof structure of the house. The roof shape of the pool house is appropriate with the existing roof structure of the house.

Standard 9 – Walls of Continuity.

This standard is not applicable.

Standard 10 – Scale.

This standard is mostly met with the only considerations around window openings and sizes being addressed under Standard 4.

As noted above, a building scale variance is requested.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. Based on the findings presented in this report, the additions and alterations proposed refine the existing residence in a manner to better aligns with the City's Design Guidelines than the existing conditions.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. As noted earlier in this staff report, the residence is not visible from the streetscape. Significant landscape screening exists and is intended to be maintained and enhanced by the petitioner.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. The proposed addition and pool house are not visible from the streetscape and are sited in compliance with the required setbacks providing a reasonable distance from neighboring homes. Light fixtures will need to comply with the dark sky character of the area, directing light downward.

Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. Structures on surrounding properties consist of single-story and multi-story homes. Both of the new structures proposed are low-profile, single-story structures.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is met. The property is located in the Green Bay Road Historic District. The changes proposed address some of the original design features that do not align closely with the City's Design Guidelines and the Commission's standards. The original approval of the residence predates the City's adoption of the Historic Preservation Chapter in the Code and the establishment of the Commission.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not met.

In summary, the criteria for a building scale variance are satisfied. Five of the above standards are satisfied based on staff's review.

Standard 11 – Directional Expression of Front Elevation.

This standard is not applicable.

Standard 12 – Preservation of Historic Material.

This standard is not applicable to this request.

Standard 13 – Protection of Natural Resources.

This standard is met. The tree removals consist of landscaping trees installed when the home was built or afterwards. The species being removed are blue spruce, arbor vitae, white spire birch, lilacs, hawthorn, honey locust, and Japanese maple, as well as some Norway spruce. The replacement landscaping proposed includes several hardwood species including Princeton America elms as well as large conifers for year-round shading and ornamental trees. Adequate or improved screening for the neighbors is included on the plan.

Standard 14 – Compatibility.

This standard is not applicable to this request.

Standard 15 – Repair to deteriorated features.

This standard is not applicable to this request.

Standard 16 – Surface cleaning.

This standard is not applicable to this request.

Standard 17 – Integrity of historic property.

This standard is not applicable to this request.

PUBLIC COMMENT

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff has received one email in support of the project and been contacted by one neighboring property owner who had questions and concerns about the project.

RECOMMENDATION

Grant a Certificate of Appropriateness approving the alterations to the existing single-family residence and landscaping and a building scale variance to allow the addition of a pool house and garage as proposed. The recommendation is based on the findings presented in this staff report. Staff recommends the following conditions of approval.

1. Plans submitted for permit must reflect the project as presented to the Commission. Any refinements made in response to direction from the Commission or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Commission shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Commission's direction and approval prior to the issuance of any permits.
2. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect any trees identified for preservation during construction as well as trees on neighboring properties, must be submitted and will be subject to review and approval by the City's Certified Arborist.
3. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall be sensitive to the impacts on the public park and the wood land across the street and the dark sky character of the neighborhood.
4. Grading and filling on the site shall be kept to the absolute minimum necessary to achieve proper drainage consistent with good engineering practices.
5. Prior to the issuance of a building permit, a materials' staging and construction vehicle parking plan must be submitted to the City for review and will be subject to City approval in an effort to minimize and manage impacts on the neighborhood, neighboring properties and existing trees and landscaping during construction. Given the limited access to the area from the private road, off site

parking for contractors may be required. The private drive must remain open and passable at all times.



1 PROPOSED NORTH ELEVATION
A2.1 Scale: 1/4" = 1'-0"

NORTH SIDE ELEVATION



2 PROPOSED SOUTH ELEVATION
A2.1 Scale: 1/4" = 1'-0"

SOUTH SIDE ELEVATION

KEY OF DRAWINGS

TS	TIME FRAME
PCT 1	GENERAL NOTES
PCT 2	FOUNDATION
PCT 3	FLOORING
PCT 4	ROOFING
PCT 5	MECHANICAL
PCT 6	ELECTRICAL
PCT 7	PLUMBING
PCT 8	PAINTING
PCT 9	LANDSCAPE
PCT 10	GENERAL CONTRACTOR
PCT 11	ARCHITECT
PCT 12	ENGINEER
PCT 13	PLUMBER
PCT 14	ELECTRICIAN
PCT 15	PAINTER
PCT 16	LANDSCAPER
PCT 17	GENERAL CONTRACTOR
PCT 18	ARCHITECT
PCT 19	ENGINEER
PCT 20	PLUMBER
PCT 21	ELECTRICIAN
PCT 22	PAINTER
PCT 23	LANDSCAPER
PCT 24	GENERAL CONTRACTOR

GRAPHIC SCALES

0	1	2	3	4	5	6	7	8	9	10
0	1	2	3	4	5	6	7	8	9	10
0	1	2	3	4	5	6	7	8	9	10
0	1	2	3	4	5	6	7	8	9	10
0	1	2	3	4	5	6	7	8	9	10
0	1	2	3	4	5	6	7	8	9	10

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC) AND THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODE (IEEC) AND THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODE (IEEC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING CODE (IGBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING CODE (IGBC).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODE (ISDCC) AND THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODE (ISDCC).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC) AND THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY MANAGEMENT SYSTEM CODE (IQMS) AND THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY MANAGEMENT SYSTEM CODE (IQMS).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PROJECT DELIVERY CODE (IPDC) AND THE LATEST EDITIONS OF THE INTERNATIONAL PROJECT DELIVERY CODE (IPDC).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RISK MANAGEMENT CODE (IRMC) AND THE LATEST EDITIONS OF THE INTERNATIONAL RISK MANAGEMENT CODE (IRMC).
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL COMPLIANCE AND ETHICS CODE (ICE) AND THE LATEST EDITIONS OF THE INTERNATIONAL COMPLIANCE AND ETHICS CODE (ICE).
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PROFESSIONAL CONDUCT CODE (IPC) AND THE LATEST EDITIONS OF THE INTERNATIONAL PROFESSIONAL CONDUCT CODE (IPC).
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS AND PRACTICES CODE (ISAP) AND THE LATEST EDITIONS OF THE INTERNATIONAL STANDARDS AND PRACTICES CODE (ISAP).
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BEST PRACTICES CODE (IBPC) AND THE LATEST EDITIONS OF THE INTERNATIONAL BEST PRACTICES CODE (IBPC).
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INNOVATION AND LEADERSHIP CODE (IIL) AND THE LATEST EDITIONS OF THE INTERNATIONAL INNOVATION AND LEADERSHIP CODE (IIL).
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DEVELOPMENT GOALS CODE (ISDG) AND THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DEVELOPMENT GOALS CODE (ISDG).
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL DIGITAL TRANSFORMATION CODE (IDT) AND THE LATEST EDITIONS OF THE INTERNATIONAL DIGITAL TRANSFORMATION CODE (IDT).
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CYBERSECURITY CODE (IC) AND THE LATEST EDITIONS OF THE INTERNATIONAL CYBERSECURITY CODE (IC).
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PRIVACY AND DATA PROTECTION CODE (IPDP) AND THE LATEST EDITIONS OF THE INTERNATIONAL PRIVACY AND DATA PROTECTION CODE (IPDP).
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY CODE (IA) AND THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY CODE (IA).
21. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL UNIVERSAL DESIGN CODE (IUD) AND THE LATEST EDITIONS OF THE INTERNATIONAL UNIVERSAL DESIGN CODE (IUD).
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INCLUSIVE DESIGN CODE (IID) AND THE LATEST EDITIONS OF THE INTERNATIONAL INCLUSIVE DESIGN CODE (IID).
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SOCIAL RESPONSIBILITY CODE (ISR) AND THE LATEST EDITIONS OF THE INTERNATIONAL SOCIAL RESPONSIBILITY CODE (ISR).
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ETHICAL Sourcing CODE (IES) AND THE LATEST EDITIONS OF THE INTERNATIONAL ETHICAL Sourcing CODE (IES).
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TRANSPARENCY CODE (IT) AND THE LATEST EDITIONS OF THE INTERNATIONAL TRANSPARENCY CODE (IT).
26. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCOUNTABILITY CODE (IA) AND THE LATEST EDITIONS OF THE INTERNATIONAL ACCOUNTABILITY CODE (IA).
27. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL INTEGRITY CODE (II) AND THE LATEST EDITIONS OF THE INTERNATIONAL INTEGRITY CODE (II).
28. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HONESTY CODE (IH) AND THE LATEST EDITIONS OF THE INTERNATIONAL HONESTY CODE (IH).
29. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FAIRNESS CODE (IF) AND THE LATEST EDITIONS OF THE INTERNATIONAL FAIRNESS CODE (IF).
30. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESPECT CODE (IR) AND THE LATEST EDITIONS OF THE INTERNATIONAL RESPECT CODE (IR).
31. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL KINDNESS CODE (IK) AND THE LATEST EDITIONS OF THE INTERNATIONAL KINDNESS CODE (IK).
32. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL EMPATHY CODE (IE) AND THE LATEST EDITIONS OF THE INTERNATIONAL EMPATHY CODE (IE).
33. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GUTTENBERG CODE (IG) AND THE LATEST EDITIONS OF THE INTERNATIONAL GUTTENBERG CODE (IG).
34. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING CODE (IP) AND THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING CODE (IP).
35. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BOOK DESIGN CODE (IBD) AND THE LATEST EDITIONS OF THE INTERNATIONAL BOOK DESIGN CODE (IBD).
36. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TYPE DESIGN CODE (ITD) AND THE LATEST EDITIONS OF THE INTERNATIONAL TYPE DESIGN CODE (ITD).
37. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL COLOR MANAGEMENT CODE (ICM) AND THE LATEST EDITIONS OF THE INTERNATIONAL COLOR MANAGEMENT CODE (ICM).
38. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL DIGITAL COLOR MANAGEMENT CODE (IDCM) AND THE LATEST EDITIONS OF THE INTERNATIONAL DIGITAL COLOR MANAGEMENT CODE (IDCM).
39. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING AND DIGITAL COLOR MANAGEMENT CODE (PDCM) AND THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING AND DIGITAL COLOR MANAGEMENT CODE (PDCM).
40. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING AND DIGITAL COLOR MANAGEMENT CODE (PDCM) AND THE LATEST EDITIONS OF THE INTERNATIONAL PRINTING AND DIGITAL COLOR MANAGEMENT CODE (PDCM).

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/12/24
2	REVISION PER CITY SUGGESTIONS	08/13/24
3	REVISION PER CITY SUGGESTIONS	08/14/24
4	REVISION PER CITY SUGGESTIONS	08/15/24
5	REVISION PER CITY SUGGESTIONS	08/16/24
6	REVISION PER CITY SUGGESTIONS	08/17/24
7	REVISION PER CITY SUGGESTIONS	08/18/24
8	REVISION PER CITY SUGGESTIONS	08/19/24
9	REVISION PER CITY SUGGESTIONS	08/20/24
10	REVISION PER CITY SUGGESTIONS	08/21/24
11	REVISION PER CITY SUGGESTIONS	08/22/24
12	REVISION PER CITY SUGGESTIONS	08/23/24
13	REVISION PER CITY SUGGESTIONS	08/24/24
14	REVISION PER CITY SUGGESTIONS	08/25/24
15	REVISION PER CITY SUGGESTIONS	08/26/24
16	REVISION PER CITY SUGGESTIONS	08/27/24
17	REVISION PER CITY SUGGESTIONS	08/28/24
18	REVISION PER CITY SUGGESTIONS	08/29/24
19	REVISION PER CITY SUGGESTIONS	08/30/24
20	REVISION PER CITY SUGGESTIONS	08/31/24
21	REVISION PER CITY SUGGESTIONS	09/01/24
22	REVISION PER CITY SUGGESTIONS	09/02/24
23	REVISION PER CITY SUGGESTIONS	09/03/24
24	REVISION PER CITY SUGGESTIONS	09/04/24
25	REVISION PER CITY SUGGESTIONS	09/05/24
26	REVISION PER CITY SUGGESTIONS	09/06/24
27	REVISION PER CITY SUGGESTIONS	09/07/24
28	REVISION PER CITY SUGGESTIONS	09/08/24
29	REVISION PER CITY SUGGESTIONS	09/09/24
30	REVISION PER CITY SUGGESTIONS	09/10/24
31	REVISION PER CITY SUGGESTIONS	09/11/24
32	REVISION PER CITY SUGGESTIONS	09/12/24
33	REVISION PER CITY SUGGESTIONS	09/13/24
34	REVISION PER CITY SUGGESTIONS	09/14/24
35	REVISION PER CITY SUGGESTIONS	09/15/24
36	REVISION PER CITY SUGGESTIONS	09/16/24
37	REVISION PER CITY SUGGESTIONS	09/17/24
38	REVISION PER CITY SUGGESTIONS	09/18/24
39	REVISION PER CITY SUGGESTIONS	09/19/24
40	REVISION PER CITY SUGGESTIONS	09/20/24
41	REVISION PER CITY SUGGESTIONS	09/21/24
42	REVISION PER CITY SUGGESTIONS	09/22/24
43	REVISION PER CITY SUGGESTIONS	09/23/24
44	REVISION PER CITY SUGGESTIONS	09/24/24
45	REVISION PER CITY SUGGESTIONS	09/25/24
46	REVISION PER CITY SUGGESTIONS	09/26/24
47	REVISION PER CITY SUGGESTIONS	09/27/24
48	REVISION PER CITY SUGGESTIONS	09/28/24
49	REVISION PER CITY SUGGESTIONS	09/29/24
50	REVISION PER CITY SUGGESTIONS	09/30/24

HOFFMEYER RESIDENCE
ACCORDING TO THE CITY OF LAKE FOREST, ILLINOIS
121 N. GREEN BAY ROAD
LAKE FOREST, IL 60045

STATE OF ILLINOIS
OFFICE OF PROFESSIONAL REGULATION
ARCHITECTS
Michael Haskawa
LICENSE NO. 0012054
ISSUED 11.05.2018

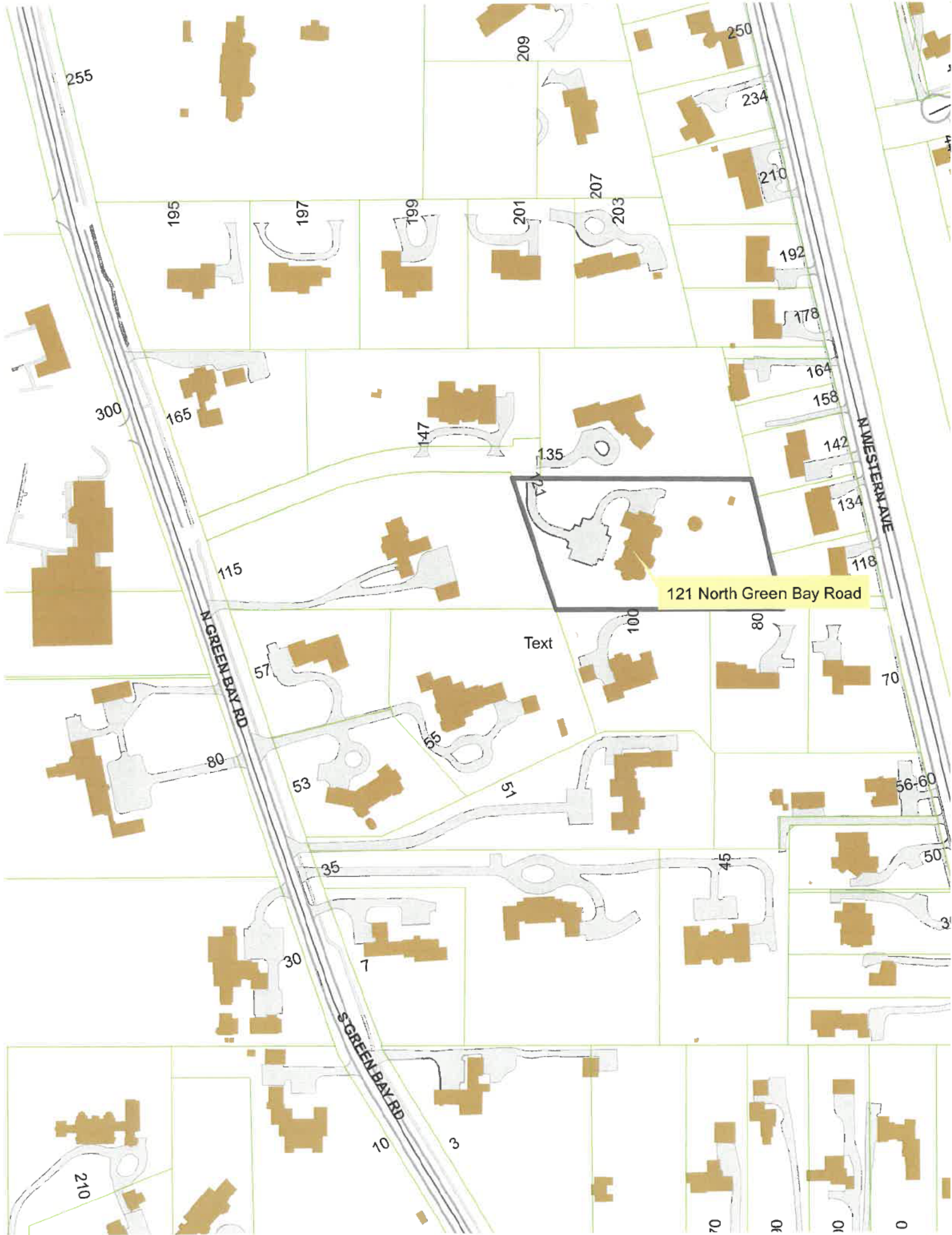
1515 Sherman Ave #2 Suite
Evanston, IL 60201
Tel: 847.329.1100
Fax: 847.329.1101
www.mhaskawa.com

PROPOSED NORTH AND SOUTH ELEVATIONS

Scale: As Shown

Drawn By:	Shawn Haskawa
Checked By:	
Date:	A2.1

CHANGES ANNOTATED BY STAFF



121 North Green Bay Road

Text



121 North Green Bay Road



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 121 North Green Bay Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

Kevin and Jane Hoffmeyer

Owner of Property

121 North Green Bay Road

Owner's Street Address (may be different from project address)

Lake Forest, IL 60025

City, State and Zip Code

847.736.0804

Phone Number

Fax Number

kevinhoffmeyer@mac.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Michael Hershenson

Name and Title of Person Presenting Project

Michael Hershenson Architects, Ltd

Name of Firm

1515 Sherman Ave. Suite #2

Street Address

Evanston, IL 60201

City, State and Zip Code

847.869.7700

Phone Number

Fax Number

michael@mhadesign.com

Email Address

Michael Hershenson

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Wood Shingle
- Cementitious Stucco
- Other _____

Color and/or Type of Material _____

Foundation Material

Exposed Foundation Material concrete

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Color of Finish _____

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Other _____
- Sheet Metal

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other Paving material for curbs and driveway apron

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other Decorative grave and natural stone paver patios (to be decided)



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

P 847.869.7700
F 847.869.7707

mhadesign.com

STATEMENT OF INTENT
121 NORTH GREEN BAY ROAD
May 15, 2024
Revised June 20, 2024

Proposed Project Description:

Renovation of and additions to existing single family residence exterior, including:

- Demolition of existing detached accessory structures, including a 385.15 SF screened porch, a 117.89 SF Playhouse, and a 900 SF Swing Set
- the addition of a 477.72 SF one car garage (previously 388.36 SF before accommodating staff's suggestions).
- the addition of a 913 SF pool house adjacent to the existing pool.
- The addition of a screened porch and covered porch (over trash receptacles) falling under the category of design elements. All but 43 SF are exempt from the bulk calculations.
- New landscaping and hardscapes (see the presentation from Midwest Arbor).
- Installing new Marvin aluminum clad casement and picture windows (color: Ebony) with SDL with muntin bars inside, outside and between the glass. The new windows have less muntin bars than the existing windows, creating a cleaner and more serene composition.
- staining of the brick and limestone to tone down the contrast between the limestone and the existing brick.

New Structures:

The Owners would like the attached one car garage for additional storage of bikes and sporting equipment. The pool house is desired to enjoy the pool, which is 86' from the existing kitchen.

Garage location:

Two attached garage locations were possible: one in front of the existing garage, and one behind the existing garage, in the current location of the air conditioning condensers and generator.

The location in front of the existing garage had no positives. The addition there would require additional side yard setback relief. Also, we believe the addition in that location would mar the harmony of the existing composition of the front elevation.

On the other hand, the garage in the proposed location requires no side yard relief. The proposed location currently is occupied by an unsightly collection of mechanical equipment.

Our original submission to the staff on May 15, 2024 featured a garage with a flat roof, with the mechanical equipment relocated behind parapet walls on the roof. Based on recommendations by staff, we revised the garage structure to have a sloping slate roof more harmonious with the sloping roofs of the existing garage. Also based on the staff recommendations, we relocated the mechanical equipment back to ground level, in order to minimize noise transfer to neighbors. As a result of locating the mechanical equipment to the ground, we needed to move the attached garage 6' further to the east, requiring an increase in area to the garage from 388.36 to 477.72 SF. To minimize this area increase, special, more expensive wall mounted condensers are being proposed.

The proposed garage is configured to protect an existing 20" dia. American Linden.



MICHAEL HERSEHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

P 847.869.7700

F 847.869.7707

mhadesign.com

New Structures (Cont.)

Pool house location:

We considered two locations for the pool house:

The first location was centered on the pool directly east of the pool. The pros of that location were that 1) aesthetically, the building looked nice centered on the pool, and 2) access to the bar and bathroom were close to the pool. However, the negatives from the neighbor's point of view were that the pool house was closer to the rear property line, and its location was directly behind (west of) 134 N. Western Ave.

The second and proposed location, although further from the pool, is located further from the rear property line. Furthermore, the proposed location straddles the extension west of the side property line between 118 and 134 N. Western, minimizing the impact of the structure to either of the neighbors.

The proposed new structures are only one story. They will match the brick and limestone materials of the existing residence. The structures will be screened from the adjacent properties with new landscaping. The pool house includes an area for the pool equipment, which will be screened visually with a 7'-0" tall wood fence. This screening will also reduce noise to the east. This is an improvement over the location of existing pool equipment, which is now out in the open without any screening.

Bulk Calculations

The existing residence was constructed in 1997 and 98. According to city staff, the house was approved at that time being 21% over the allowable bulk. Under the current rules, large amounts of the basement and attic areas count for bulk. We are asking to increase our existing bulk by 17%.

Impervious Surface

Although we are adding the garage addition and the pool house, as well as adding the design elements of a screened porch and roof covering for trash, we are decreasing the impervious surface on the property from 19,086.45 SF to 14,985.68 SF (from 24.1% to 18.9%, 50% allowable). Note: these numbers do not include gravel drives or walks.

Colors and Materials

The existing and new brick will be stained a medium grey, and the limestone a slightly darker grey. The goal is to tone down the contrast between the limestone and the red brick. The new colors complement the existing slate roof and copper gutters and downspouts. We believe the new colors will be more timeless than the red brick and limestone combination of the 1990's.

The slate roof of the existing house will be maintained. The pool house and new attached garage feature a new matching slate roof, along with side gables that match the form of the existing residence.

In addition, painted Tru-exterior trim and siding will be used for the fascias of the screened porch and trash area. Painted Tru-exterior siding will be used to re-clad the existing stucco bay on the rear elevation, as well as for some sections of wall on the pool house.



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

F 847.869.7700

F 847.869.7707

mhadesign.com

Uniqueness of Property

The property is unique in that it cannot be seen from any public way. Furthermore, the additions will be screened from the adjacent properties with landscaping and fencing. Please see the landscaping plan from Midwest Arbor.

Please see the following pages explain how project meets the 17 Standards of the Historic Preservation Ordinance and the 6 Standards for Approval of a Building Scale Variance.

HISTORIC PRESERVATION ORDINANCE STANDARDS

For Review of Replacement Structures, New Construction, Additions and Alterations *(summary from Ordinance)*

Standard 1 Height. Height shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

The proposed additions are only one story and are visually compatible with the existing residence. The one story garage has a sloping slate roof matching the pitch and materials of the existing garages. The screened porch has a flat roof to not block the light, view and air to the existing second floor bedroom. The roof of the pool house is slate to match the existing residence, and the gable end walls match the existing front gables of the existing residence in form and details.

Standard 2 Proportion of Front Façade. The relationship of the width to the height of the front elevation shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

This question is not applicable. There are no front facades.

Standard 3 Proportion of Openings. The relationship of the width to height of windows and doors shall be visually compatible with properties, structures, sites, public ways, objects, and places to which the building is visibly related.

At the garage, the new garage door opening matches the height and style of the existing garages. At the screened porch, the openings are large as required to fit the definition of a screened porch and permit air flow.

At the pool house, the openings are large again, to permit air flow and to link the interior space to the exterior.

Standard 4 Rhythm of Solids to Voids in Front Façade. The relationship of solids to voids in the front façade of a structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

This question is not applicable. There are no front facades.



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

T 847.869.7700
F 847.869.7707

mhadesign.com

Standard 5 Rhythm of Spacing and Structures on Streets. The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

We believe the additions are visually compatible with the spaces that they are adjacent to. The garage and screened porch are subservient to the other masses of the east elevation and do not compete with the existing structure.

Standard 6 Rhythm of Entrance Porches, Storefront Recesses, and other Projections. The relationship of entrances and other projections to sidewalks shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

not applicable

Standard 7 Relationship of Materials and Texture. The relationship of the materials and texture of the façade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The proposed new structures will match the brick and limestone materials of the existing residence. The pool house and garage will have a slate roof matching the existing residence.

Standard 8 Roof Shapes. The roof shape of a structure shall be visually compatible with the structures to which it is visually related.

The roof shape of the pool house matches the roof shape of the existing residence. Based on staff's recommendation, the proposed attached one car garage now has a sloping roof to make the structure more compatible with the existing roofs. The screened porch has flat roof in order to not block the view and air to the existing 2nd floor bedroom.

Standard 9 Walls of Continuity. Facades and property and site structures, such as masonry walls, fences, and landscape masses, shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects, and places which such elements are visually related.

Not applicable

Standard 10 Scale of a Structure. The size and mass of structures in relation to open spaces, windows, door openings, porches, adjacent structures, and balconies shall be visually compatible with the properties, structures, and balconies shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related.

We believe the size and mass of the additions are visually compatible with the spaces that they are adjacent to. The garage and screened porch are subservient to the other masses of the east elevation and do not compete with the existing structure.

The pool house roof is oriented so the neighbor to the rear only sees roof, and not a taller gable end.



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

P 847.869.7700

F 847.869.7707

mhadesign.com

Standard 11 Directional Expression of Front Elevation. A structure shall be visually compatible with properties, structures, sites, public ways, objects, and places to which it is visibly related in its directional character, whether this be vertical, horizontal or non-directional character.

Not applicable.

Standard 12 Preserving Distinguishing Features. The distinguishing original qualities or character of a property, structure, site, or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

The proposed garage addition is being located in the space currently occupied by the AC condensers and generator, and does not block or alter any significant architectural features.

Standard 13 Protection of Resources. Every reasonable effort shall be made to protect and preserve archeological and natural resources affected by, or adjacent to any project.

Adjacent trees at the garage and pool house will be protected. At the proposed attached garage, the garage door is located to preserve an existing 20" dia. American Linden.

Standard 14 New Construction. In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for compatibility.

Not applicable

Standard 15 Repair to Deteriorated Features. Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior Standards for Treatment of Historic Properties. Repair or replacement should be based on accurate duplications of features and should match the material being replaced in composition, design, color, texture and other visual qualities.

Not applicable

Standard 16 Surface Cleaning. The surface cleaning of historic material and distinctive architectural features shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the significant materials shall not be undertaken.

Not applicable



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, IL 60201

P 847.869.7700

F 847.869.7707

mhadesign.com

Standard 17 Reversibility of Additions and Alterations. Whenever possible, additions or alterations to historic properties shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

The garage addition, screened porch, covered roof at the trash bins, and the pool house can all be removed in the future if necessary.

STANDARDS FOR APPROVAL OF A BUILDING SCALE VARIANCE

The Historic Preservation Commission is required by Ordinance to consider the following standards when determining whether an exception should be made to allow a variance from the maximum floor area requirements. An exception may be granted when the Commission finds that one or more of the following standards apply (Building Code, Chapter 150, Section 148)

Standard 1 The project is consistent with the design standards in Section 148 of the City of Lake Forest Code.

We believe the proposed project is consistent with the design standards in Section 148 of the City of Lake Forest Code.

Standard 2 Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

The House and additions are screened by existing and proposed landscaping, as well as fencing. The house and additions cannot be seen from public ways.

Standard 3 New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape.

Although the house is not visible from the street, the attached garage addition has been positioned to be as far away from the front of the house as possible so as not to affect the design of the front of the house.

In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

The garage addition is separated from the neighbor's house to the north by a closest dimension of 100' which is consistent with the 50' building setbacks of existing lot(s), and the detached pool house is 95' from the house to the east. The proposed structures will not have any impact to light to the neighboring homes.



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston. IL 60201

P 847.869.7700

F 847.869.7707

mhadesign.com

Standard 3 (cont.):

Also, the garage structure is screened from the adjacent neighbor to the north by an existing planting of maturing blue spruce evergreen trees which are being enhanced by a planting of new Norway spruce (in place of removed birch trees) to obstruct views from the neighbor to the north. The pool house is screened from the house to the west by existing maturing Norway spruce and Red Maple plantings which will be enhanced by new plantings of a Norway Spruce, Witch Hazel and Doublefile Viburnums in void areas/where trees are removed for construction to increase the level of screening between the properties. In addition, the pool equipment view and noise will be screened by a new 7' fence. Currently, the existing pool equipment is out in the open and unscreened. There is also an existing stockade fence between the subject property and the properties to the east, which will be restored.

Standard 4 The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

The pool house accessory structure will be approximately the same height as the homes to the east.

The proposed one story garage addition is isolated from the neighbor to the north. The height of the garage is below the height of the two story residence to the north.

Standard 5 The property is located in a local historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

The additions are consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

Standard 6 The property is adjacent to land use and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

Not applicable



MICHAEL HERSEHENSON ARCHITECTS

1515 Sherman Ave. 22 South
Evanston, IL 60201

F 847.669.7700

F 847.669.7707

mhadesign.com

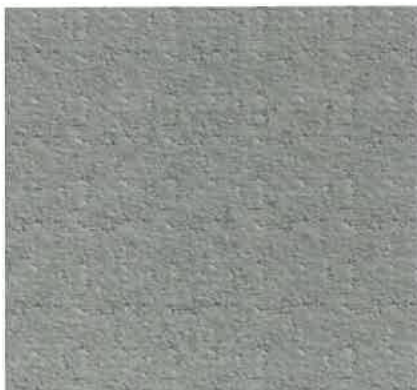
**Material and Color Samples
121 NORTH GREEN BAY ROAD
May 17, 2024**



**Existing and new brick to be
Stained a custom color.**



**Dormer field color will be
“Baltic Grey” by Benjamin
Moore.”**



**Existing and new limestone
to be stained a custom
color.**



MICHAEL HERSHENSON ARCHITECTS

1515 sherman ave / 2 south
evanston, il 60201

☎ 847 869 7700

☎ 847 869 7707

mhade@q.com



**Trim to be “Tru-Exterior”
and the color will be “Flint”
by Restoration Hardware**



**Brick (in recessed areas)
to be stained a custom
color.**

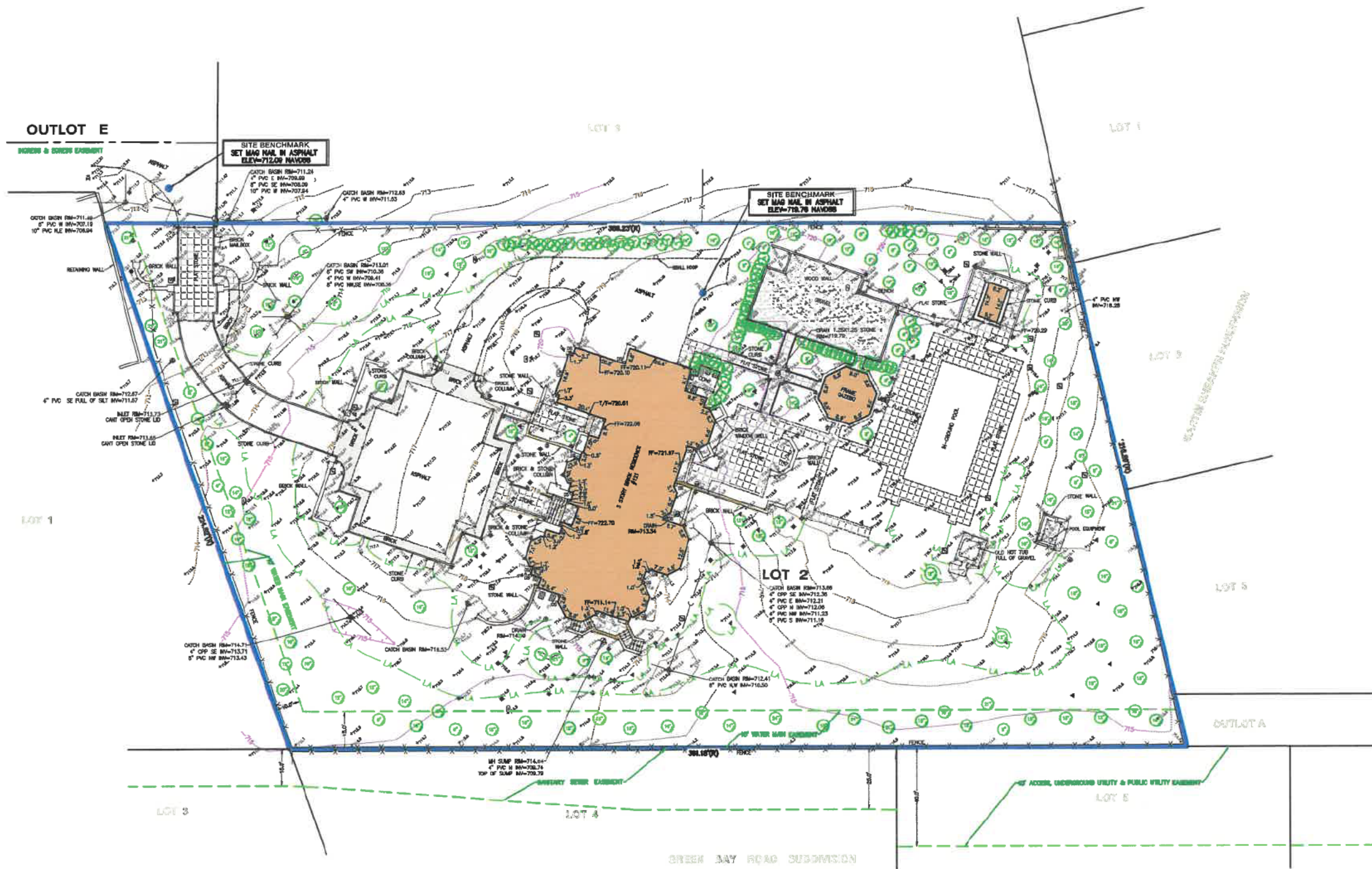


**Window exterior to be
ebony by “Marvin”.**

TOPOGRAPHIC SURVEY

Lot 2 in Defang Subdivision of part of the South Half of the South Half of Section 33, Township 44 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof recorded July 28, 1961 on Document No. 304577, in Lake County, Illinois.

EXISTING
PLAT OF SURVEY

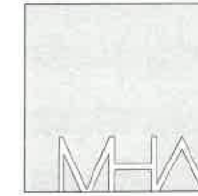


HOFFMEYER RESIDENCE

121 N. GREEN BAY ROAD , LAKE FOREST, IL 60045

ADDITION AND RENOVATION TO A SINGLE - FAMILY RESIDENCE

MICHAEL HERSHENSON ARCHITECTS



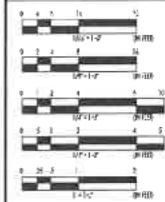
1515 Sherman Ave., Suite 2S
 Evanston, Illinois 60201
 Telephone: 847.869.7700
 Facsimile: 847.869.7707
 © 2024 Michael Hershenson Architects



INDEX OF DRAWINGS

- T01 TITLE PAGE
- PRELIMINARY SITE PLAN
- PRELIMINARY FLOOR PLAN
- PRELIMINARY ELEVATIONS
- PRELIMINARY SECTION
- PRELIMINARY EXTERIOR FINISHES
- PRELIMINARY INTERIOR FINISHES
- PRELIMINARY MECHANICAL
- PRELIMINARY ELECTRICAL
- PRELIMINARY PLUMBING
- PRELIMINARY LANDSCAPE

GRAPHIC SCALES



GENERAL NOTES

1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
2. FINISHES ARE TO BE AS SHOWN ON THE FINISHES SCHEDULE.
3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NATIONAL MECHANICAL CODE, NATIONAL PLUMBING CODE, AND NATIONAL FIRE ALARMS CODE.
5. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL GREENING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ENERGY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL HEALTH CARE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL TRANSPORTATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL WATER SUPPLY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
11. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL WASTE MANAGEMENT CODE AND ALL APPLICABLE LOCAL ORDINANCES.
12. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL AIR POLLUTION CONTROL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
13. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL SOUND AND VIBRATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
14. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL RADIO FREQUENCY INTERFERENCE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
15. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL TELECOMMUNICATIONS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
16. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL INFORMATION TECHNOLOGY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
17. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL SECURITY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
18. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL DEFENSE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
19. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL SPACE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
20. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ATOMIC ENERGY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
21. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL NUCLEAR REGULATORY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
22. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL ENVIRONMENTAL PROTECTION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
23. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL OCCUPATIONAL SAFETY AND HEALTH CODE AND ALL APPLICABLE LOCAL ORDINANCES.
24. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE NATIONAL LABOR CODE AND ALL APPLICABLE LOCAL ORDINANCES.

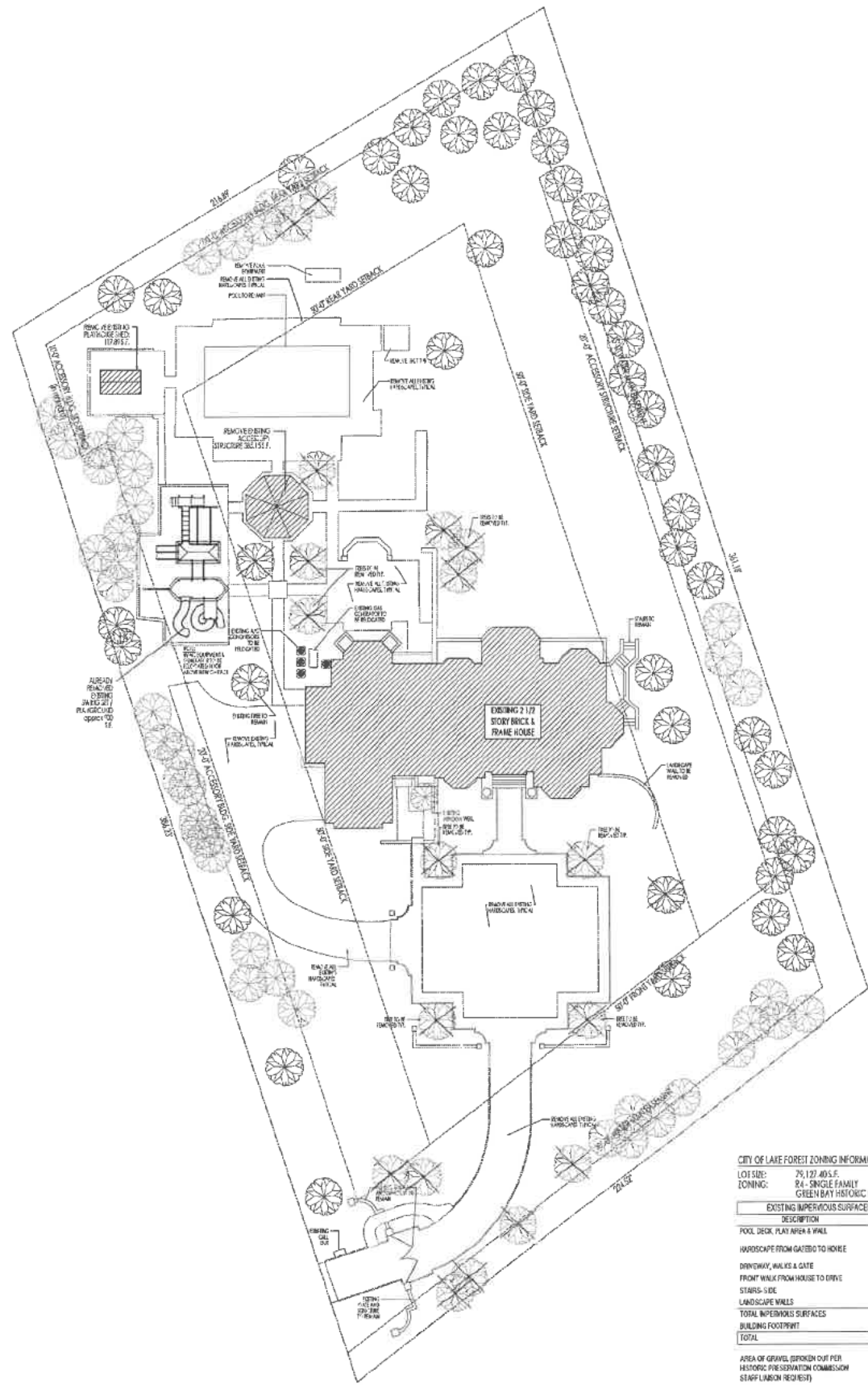
24	REVISION	06/20/24
23	REVISION	06/19/24
22	REVISION	06/18/24
21	REVISION	06/17/24
20	REVISION	06/16/24
19	REVISION	06/15/24
18	REVISION	06/14/24
17	REVISION	06/13/24
16	REVISION	06/12/24
15	REVISION	06/11/24
14	REVISION	06/10/24
13	REVISION	06/09/24
12	REVISION	06/08/24
11	REVISION	06/07/24
10	REVISION	06/06/24
9	REVISION	06/05/24
8	REVISION	06/04/24
7	REVISION	06/03/24
6	REVISION	06/02/24
5	REVISION	06/01/24
4	REVISION	05/31/24
3	REVISION	05/30/24
2	REVISION	05/29/24
1	REVISION	05/28/24

HOFFMEYER RESIDENCE
 ADDITION AND RENOVATION TO A
 SINGLE-FAMILY RESIDENCE
 121 N. GREEN BAY ROAD
 LAKE FOREST, IL 60045



DATE: 11.30.2021
 MICHAEL HERSHENSON ARCHITECTS
 1515 Sherman Ave. 2nd Fl.
 Evanston, IL 60201
 Telephone: 847.869.7700
 Fax: 847.869.7707
 www.michaelhershenson.com

TITLE PAGE
 Scale: As Shown
 Drawn By: [Name]
 Checked By: [Name]
 Date: TO.0



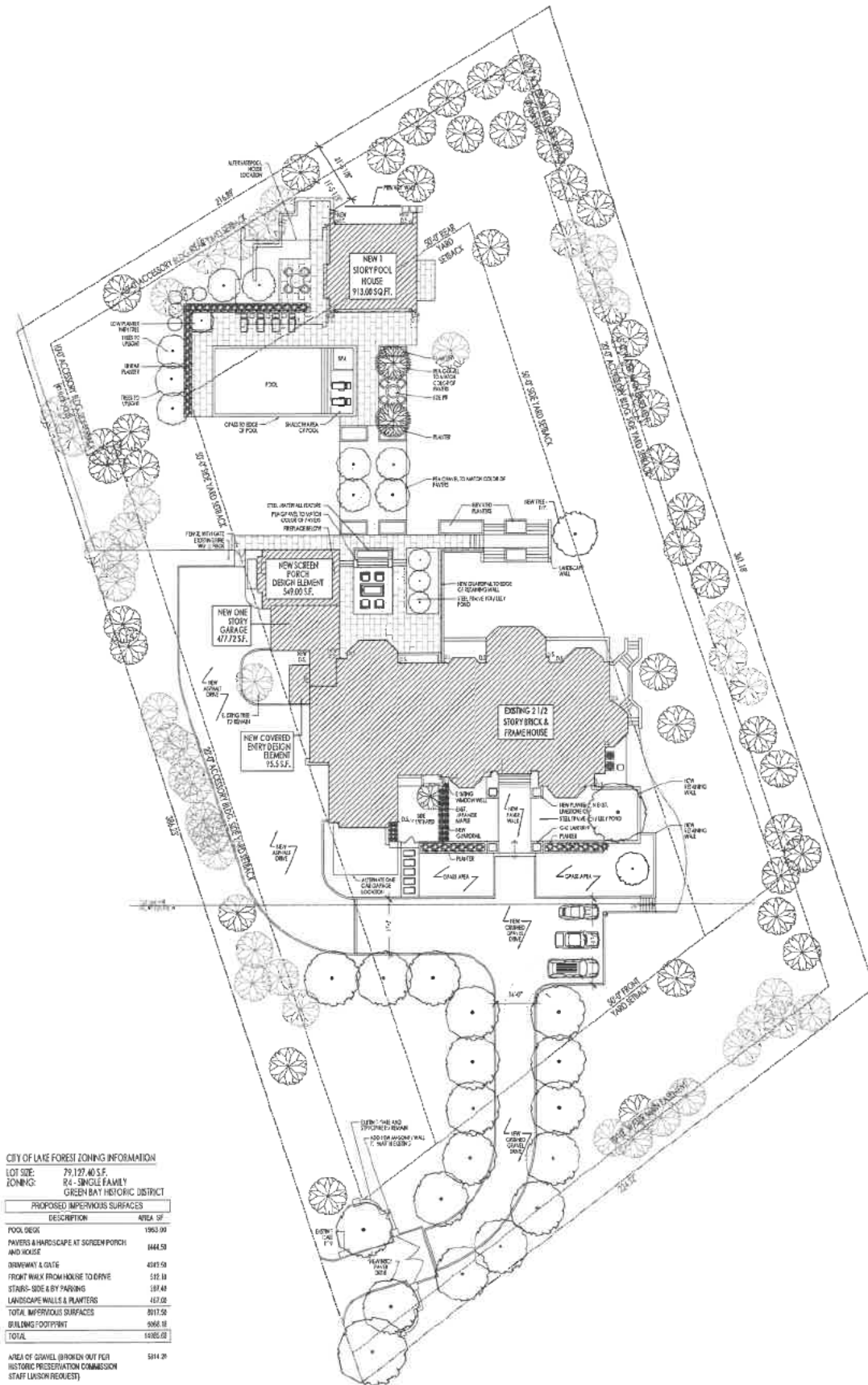
1 SITE DEMOLITION PLAN
A0.0 Scale: 1" = 16'-0"



CITY OF LAKE FOREST ZONING INFORMATION
LOT SIZE: 79,127.40 S.F.
ZONING: R4 - SINGLE FAMILY GREEN BAY HISTORIC DISTRICT

EXISTING IMPERVIOUS SURFACES	AREA SF
POOL DECK, PATIO AREA & WALK	2643.39
HARDSCAPE FROM GATEWAY TO HOUSE	1385.27
DRIVEWAY, WALKS & GATE	1811.27
FRONT WALK FROM HOUSE TO DRIVE	352.30
STAIRS - SIDE	210.87
LANDSCAPE WALLS	184.76
TOTAL IMPERVIOUS SURFACES	5147.86
BUILDING FOOTPRINT	5221.88
TOTAL	10369.74

AREA OF GRAVEL (BROKEN OUT PER HISTORIC PRESERVATION COMMISSION STAFF LIAISON REQUEST)



2 PROPOSED SITE PLAN
A0.0 Scale: 1" = 16'-0"

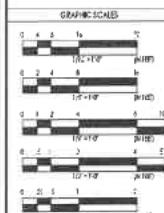


CITY OF LAKE FOREST ZONING INFORMATION
LOT SIZE: 79,127.40 S.F.
ZONING: R4 - SINGLE FAMILY GREEN BAY HISTORIC DISTRICT

PROPOSED IMPERVIOUS SURFACES	AREA SF
POOL DECK	1963.00
PAVERS & HARDSCAPE AT SCREEN PORCH AND HOUSE	1448.50
DRIVEWAY & GATE	4343.50
FRONT WALK FROM HOUSE TO DRIVE	352.30
STAIRS - SIDE & BY PARKING	187.40
LANDSCAPE WALLS & PLANTERS	187.60
TOTAL IMPERVIOUS SURFACES	8122.30
BUILDING FOOTPRINT	5966.00
TOTAL	14088.30

AREA OF GRAVEL (BROKEN OUT PER HISTORIC PRESERVATION COMMISSION STAFF LIAISON REQUEST)

- INDEX OF DRAWINGS
- 101 SITE PLAN
 - 102 EXISTING LOT LAYOUT
 - 103 EXISTING LOT LAYOUT
 - 104 EXISTING LOT LAYOUT
 - 105 EXISTING LOT LAYOUT
 - 106 EXISTING LOT LAYOUT
 - 107 EXISTING LOT LAYOUT
 - 108 EXISTING LOT LAYOUT
 - 109 EXISTING LOT LAYOUT
 - 110 EXISTING LOT LAYOUT
 - 111 EXISTING LOT LAYOUT
 - 112 EXISTING LOT LAYOUT
 - 113 EXISTING LOT LAYOUT
 - 114 EXISTING LOT LAYOUT
 - 115 EXISTING LOT LAYOUT
 - 116 EXISTING LOT LAYOUT
 - 117 EXISTING LOT LAYOUT
 - 118 EXISTING LOT LAYOUT
 - 119 EXISTING LOT LAYOUT
 - 120 EXISTING LOT LAYOUT
 - 121 EXISTING LOT LAYOUT
 - 122 EXISTING LOT LAYOUT
 - 123 EXISTING LOT LAYOUT
 - 124 EXISTING LOT LAYOUT
 - 125 EXISTING LOT LAYOUT
 - 126 EXISTING LOT LAYOUT
 - 127 EXISTING LOT LAYOUT
 - 128 EXISTING LOT LAYOUT
 - 129 EXISTING LOT LAYOUT
 - 130 EXISTING LOT LAYOUT
 - 131 EXISTING LOT LAYOUT
 - 132 EXISTING LOT LAYOUT
 - 133 EXISTING LOT LAYOUT
 - 134 EXISTING LOT LAYOUT
 - 135 EXISTING LOT LAYOUT
 - 136 EXISTING LOT LAYOUT
 - 137 EXISTING LOT LAYOUT
 - 138 EXISTING LOT LAYOUT
 - 139 EXISTING LOT LAYOUT
 - 140 EXISTING LOT LAYOUT
 - 141 EXISTING LOT LAYOUT
 - 142 EXISTING LOT LAYOUT
 - 143 EXISTING LOT LAYOUT
 - 144 EXISTING LOT LAYOUT
 - 145 EXISTING LOT LAYOUT
 - 146 EXISTING LOT LAYOUT
 - 147 EXISTING LOT LAYOUT
 - 148 EXISTING LOT LAYOUT
 - 149 EXISTING LOT LAYOUT
 - 150 EXISTING LOT LAYOUT
 - 151 EXISTING LOT LAYOUT
 - 152 EXISTING LOT LAYOUT
 - 153 EXISTING LOT LAYOUT
 - 154 EXISTING LOT LAYOUT
 - 155 EXISTING LOT LAYOUT
 - 156 EXISTING LOT LAYOUT
 - 157 EXISTING LOT LAYOUT
 - 158 EXISTING LOT LAYOUT
 - 159 EXISTING LOT LAYOUT
 - 160 EXISTING LOT LAYOUT
 - 161 EXISTING LOT LAYOUT
 - 162 EXISTING LOT LAYOUT
 - 163 EXISTING LOT LAYOUT
 - 164 EXISTING LOT LAYOUT
 - 165 EXISTING LOT LAYOUT
 - 166 EXISTING LOT LAYOUT
 - 167 EXISTING LOT LAYOUT
 - 168 EXISTING LOT LAYOUT
 - 169 EXISTING LOT LAYOUT
 - 170 EXISTING LOT LAYOUT
 - 171 EXISTING LOT LAYOUT
 - 172 EXISTING LOT LAYOUT
 - 173 EXISTING LOT LAYOUT
 - 174 EXISTING LOT LAYOUT
 - 175 EXISTING LOT LAYOUT
 - 176 EXISTING LOT LAYOUT
 - 177 EXISTING LOT LAYOUT
 - 178 EXISTING LOT LAYOUT
 - 179 EXISTING LOT LAYOUT
 - 180 EXISTING LOT LAYOUT
 - 181 EXISTING LOT LAYOUT
 - 182 EXISTING LOT LAYOUT
 - 183 EXISTING LOT LAYOUT
 - 184 EXISTING LOT LAYOUT
 - 185 EXISTING LOT LAYOUT
 - 186 EXISTING LOT LAYOUT
 - 187 EXISTING LOT LAYOUT
 - 188 EXISTING LOT LAYOUT
 - 189 EXISTING LOT LAYOUT
 - 190 EXISTING LOT LAYOUT
 - 191 EXISTING LOT LAYOUT
 - 192 EXISTING LOT LAYOUT
 - 193 EXISTING LOT LAYOUT
 - 194 EXISTING LOT LAYOUT
 - 195 EXISTING LOT LAYOUT
 - 196 EXISTING LOT LAYOUT
 - 197 EXISTING LOT LAYOUT
 - 198 EXISTING LOT LAYOUT
 - 199 EXISTING LOT LAYOUT
 - 200 EXISTING LOT LAYOUT



- GENERAL NOTES
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 13. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 14. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 15. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 16. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	DATE
1	ISSUED TO CITY OF LAKE FOREST	06/20/24
2	ISSUED TO CITY OF LAKE FOREST	06/20/24
3	ISSUED TO CITY OF LAKE FOREST	06/20/24
4	ISSUED TO CITY OF LAKE FOREST	06/20/24
5	ISSUED TO CITY OF LAKE FOREST	06/20/24
6	ISSUED TO CITY OF LAKE FOREST	06/20/24
7	ISSUED TO CITY OF LAKE FOREST	06/20/24
8	ISSUED TO CITY OF LAKE FOREST	06/20/24
9	ISSUED TO CITY OF LAKE FOREST	06/20/24
10	ISSUED TO CITY OF LAKE FOREST	06/20/24
11	ISSUED TO CITY OF LAKE FOREST	06/20/24
12	ISSUED TO CITY OF LAKE FOREST	06/20/24
13	ISSUED TO CITY OF LAKE FOREST	06/20/24
14	ISSUED TO CITY OF LAKE FOREST	06/20/24
15	ISSUED TO CITY OF LAKE FOREST	06/20/24
16	ISSUED TO CITY OF LAKE FOREST	06/20/24
17	ISSUED TO CITY OF LAKE FOREST	06/20/24
18	ISSUED TO CITY OF LAKE FOREST	06/20/24
19	ISSUED TO CITY OF LAKE FOREST	06/20/24
20	ISSUED TO CITY OF LAKE FOREST	06/20/24
21	ISSUED TO CITY OF LAKE FOREST	06/20/24
22	ISSUED TO CITY OF LAKE FOREST	06/20/24
23	ISSUED TO CITY OF LAKE FOREST	06/20/24
24	ISSUED TO CITY OF LAKE FOREST	06/20/24
25	ISSUED TO CITY OF LAKE FOREST	06/20/24
26	ISSUED TO CITY OF LAKE FOREST	06/20/24
27	ISSUED TO CITY OF LAKE FOREST	06/20/24
28	ISSUED TO CITY OF LAKE FOREST	06/20/24
29	ISSUED TO CITY OF LAKE FOREST	06/20/24
30	ISSUED TO CITY OF LAKE FOREST	06/20/24
31	ISSUED TO CITY OF LAKE FOREST	06/20/24
32	ISSUED TO CITY OF LAKE FOREST	06/20/24
33	ISSUED TO CITY OF LAKE FOREST	06/20/24
34	ISSUED TO CITY OF LAKE FOREST	06/20/24
35	ISSUED TO CITY OF LAKE FOREST	06/20/24
36	ISSUED TO CITY OF LAKE FOREST	06/20/24
37	ISSUED TO CITY OF LAKE FOREST	06/20/24
38	ISSUED TO CITY OF LAKE FOREST	06/20/24
39	ISSUED TO CITY OF LAKE FOREST	06/20/24
40	ISSUED TO CITY OF LAKE FOREST	06/20/24
41	ISSUED TO CITY OF LAKE FOREST	06/20/24
42	ISSUED TO CITY OF LAKE FOREST	06/20/24
43	ISSUED TO CITY OF LAKE FOREST	06/20/24
44	ISSUED TO CITY OF LAKE FOREST	06/20/24
45	ISSUED TO CITY OF LAKE FOREST	06/20/24
46	ISSUED TO CITY OF LAKE FOREST	06/20/24
47	ISSUED TO CITY OF LAKE FOREST	06/20/24
48	ISSUED TO CITY OF LAKE FOREST	06/20/24
49	ISSUED TO CITY OF LAKE FOREST	06/20/24
50	ISSUED TO CITY OF LAKE FOREST	06/20/24
51	ISSUED TO CITY OF LAKE FOREST	06/20/24
52	ISSUED TO CITY OF LAKE FOREST	06/20/24
53	ISSUED TO CITY OF LAKE FOREST	06/20/24
54	ISSUED TO CITY OF LAKE FOREST	06/20/24
55	ISSUED TO CITY OF LAKE FOREST	06/20/24
56	ISSUED TO CITY OF LAKE FOREST	06/20/24
57	ISSUED TO CITY OF LAKE FOREST	06/20/24
58	ISSUED TO CITY OF LAKE FOREST	06/20/24
59	ISSUED TO CITY OF LAKE FOREST	06/20/24
60	ISSUED TO CITY OF LAKE FOREST	06/20/24
61	ISSUED TO CITY OF LAKE FOREST	06/20/24
62	ISSUED TO CITY OF LAKE FOREST	06/20/24
63	ISSUED TO CITY OF LAKE FOREST	06/20/24
64	ISSUED TO CITY OF LAKE FOREST	06/20/24
65	ISSUED TO CITY OF LAKE FOREST	06/20/24
66	ISSUED TO CITY OF LAKE FOREST	06/20/24
67	ISSUED TO CITY OF LAKE FOREST	06/20/24
68	ISSUED TO CITY OF LAKE FOREST	06/20/24
69	ISSUED TO CITY OF LAKE FOREST	06/20/24
70	ISSUED TO CITY OF LAKE FOREST	06/20/24
71	ISSUED TO CITY OF LAKE FOREST	06/20/24
72	ISSUED TO CITY OF LAKE FOREST	06/20/24
73	ISSUED TO CITY OF LAKE FOREST	06/20/24
74	ISSUED TO CITY OF LAKE FOREST	06/20/24
75	ISSUED TO CITY OF LAKE FOREST	06/20/24
76	ISSUED TO CITY OF LAKE FOREST	06/20/24
77	ISSUED TO CITY OF LAKE FOREST	06/20/24
78	ISSUED TO CITY OF LAKE FOREST	06/20/24
79	ISSUED TO CITY OF LAKE FOREST	06/20/24
80	ISSUED TO CITY OF LAKE FOREST	06/20/24
81	ISSUED TO CITY OF LAKE FOREST	06/20/24
82	ISSUED TO CITY OF LAKE FOREST	06/20/24
83	ISSUED TO CITY OF LAKE FOREST	06/20/24
84	ISSUED TO CITY OF LAKE FOREST	06/20/24
85	ISSUED TO CITY OF LAKE FOREST	06/20/24
86	ISSUED TO CITY OF LAKE FOREST	06/20/24
87	ISSUED TO CITY OF LAKE FOREST	06/20/24
88	ISSUED TO CITY OF LAKE FOREST	06/20/24
89	ISSUED TO CITY OF LAKE FOREST	06/20/24
90	ISSUED TO CITY OF LAKE FOREST	06/20/24
91	ISSUED TO CITY OF LAKE FOREST	06/20/24
92	ISSUED TO CITY OF LAKE FOREST	06/20/24
93	ISSUED TO CITY OF LAKE FOREST	06/20/24
94	ISSUED TO CITY OF LAKE FOREST	06/20/24
95	ISSUED TO CITY OF LAKE FOREST	06/20/24
96	ISSUED TO CITY OF LAKE FOREST	06/20/24
97	ISSUED TO CITY OF LAKE FOREST	06/20/24
98	ISSUED TO CITY OF LAKE FOREST	06/20/24
99	ISSUED TO CITY OF LAKE FOREST	06/20/24
100	ISSUED TO CITY OF LAKE FOREST	06/20/24

HOFFMEYER RESIDENCE
ADDITION AND RENOVATION TO A
SINGLE-FAMILY RESIDENCE
121 N. GREEN BAY ROAD
LAKE FOREST, IL 60045

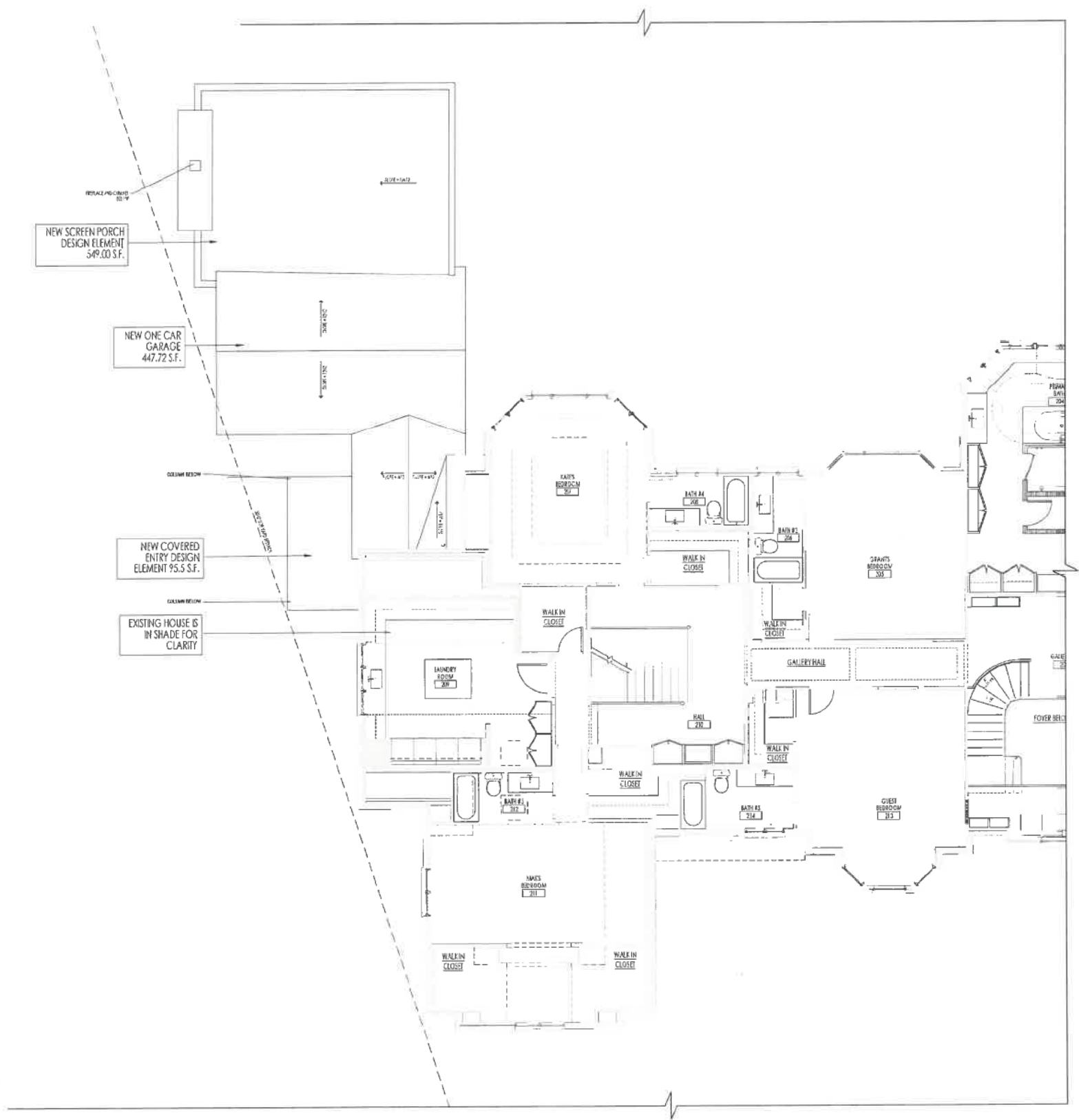


DATE: 11.29.2024
MICHAEL HOFFMEYER ARCHITECTS
1010 Green Bay Road, Suite 100
Lake Forest, IL 60045
Phone: 847.933.7722
Fax: 847.933.7723
www.michaelhoffmeyer.com

SITE DEMOLITION PLAN

Scale as Noted
Drawn By: Michael Hoffmeyer
Checked By: Michael Hoffmeyer
Date: 11.29.2024

Scale: A0.0



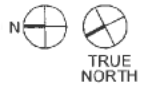
NEW SCREEN PORCH
DESIGN ELEMENT
549.00 S.F.

NEW ONE CAR
GARAGE
447.72 S.F.

NEW COVERED
ENTRY DESIGN
ELEMENT 95.5 S.F.

EXISTING HOUSE IS
IN SHADE FOR
CLARITY

1 PROPOSED PARTIAL SECOND FLOOR PLAN
A1.2 Scale: 1/4" = 1'-0"



MODEL OF DRAWINGS

TS1	TITLE PAGE
PT1.1	GENERAL NOTES
PT1.2	FOUNDATION PLAN
PT1.3	FIRST FLOOR PLAN
PT1.4	SECOND FLOOR PLAN
PT1.5	THIRD FLOOR PLAN
PT1.6	FOURTH FLOOR PLAN
PT1.7	FIFTH FLOOR PLAN
PT1.8	SIXTH FLOOR PLAN
PT1.9	SEVENTH FLOOR PLAN
PT1.10	EIGHTH FLOOR PLAN
PT1.11	NINTH FLOOR PLAN
PT1.12	TENTH FLOOR PLAN
PT1.13	ELEVENTH FLOOR PLAN
PT1.14	TWELFTH FLOOR PLAN
PT1.15	THIRTEENTH FLOOR PLAN
PT1.16	FOURTEENTH FLOOR PLAN
PT1.17	FIFTEENTH FLOOR PLAN
PT1.18	SIXTEENTH FLOOR PLAN
PT1.19	SEVENTEENTH FLOOR PLAN
PT1.20	EIGHTEENTH FLOOR PLAN
PT1.21	NINETEENTH FLOOR PLAN
PT1.22	TWENTY FLOOR PLAN
PT1.23	TWENTY FIRST FLOOR PLAN
PT1.24	TWENTY SECOND FLOOR PLAN
PT1.25	TWENTY THIRD FLOOR PLAN
PT1.26	TWENTY FOURTH FLOOR PLAN
PT1.27	TWENTY FIFTH FLOOR PLAN
PT1.28	TWENTY SIXTH FLOOR PLAN
PT1.29	TWENTY SEVENTH FLOOR PLAN
PT1.30	TWENTY EIGHTH FLOOR PLAN
PT1.31	TWENTY NINTH FLOOR PLAN
PT1.32	TWENTY TENTH FLOOR PLAN
PT1.33	TWENTY ELEVENTH FLOOR PLAN
PT1.34	TWENTY TWELFTH FLOOR PLAN
PT1.35	TWENTY THIRTH FLOOR PLAN
PT1.36	TWENTY FOURTH FLOOR PLAN
PT1.37	TWENTY FIFTH FLOOR PLAN
PT1.38	TWENTY SIXTH FLOOR PLAN
PT1.39	TWENTY SEVENTH FLOOR PLAN
PT1.40	TWENTY EIGHTH FLOOR PLAN
PT1.41	TWENTY NINTH FLOOR PLAN
PT1.42	TWENTY TENTH FLOOR PLAN
PT1.43	TWENTY ELEVENTH FLOOR PLAN
PT1.44	TWENTY TWELFTH FLOOR PLAN
PT1.45	TWENTY THIRTH FLOOR PLAN
PT1.46	TWENTY FOURTH FLOOR PLAN
PT1.47	TWENTY FIFTH FLOOR PLAN
PT1.48	TWENTY SIXTH FLOOR PLAN
PT1.49	TWENTY SEVENTH FLOOR PLAN
PT1.50	TWENTY EIGHTH FLOOR PLAN
PT1.51	TWENTY NINTH FLOOR PLAN
PT1.52	TWENTY TENTH FLOOR PLAN
PT1.53	TWENTY ELEVENTH FLOOR PLAN
PT1.54	TWENTY TWELFTH FLOOR PLAN
PT1.55	TWENTY THIRTH FLOOR PLAN
PT1.56	TWENTY FOURTH FLOOR PLAN
PT1.57	TWENTY FIFTH FLOOR PLAN
PT1.58	TWENTY SIXTH FLOOR PLAN
PT1.59	TWENTY SEVENTH FLOOR PLAN
PT1.60	TWENTY EIGHTH FLOOR PLAN
PT1.61	TWENTY NINTH FLOOR PLAN
PT1.62	TWENTY TENTH FLOOR PLAN
PT1.63	TWENTY ELEVENTH FLOOR PLAN
PT1.64	TWENTY TWELFTH FLOOR PLAN
PT1.65	TWENTY THIRTH FLOOR PLAN
PT1.66	TWENTY FOURTH FLOOR PLAN
PT1.67	TWENTY FIFTH FLOOR PLAN
PT1.68	TWENTY SIXTH FLOOR PLAN
PT1.69	TWENTY SEVENTH FLOOR PLAN
PT1.70	TWENTY EIGHTH FLOOR PLAN
PT1.71	TWENTY NINTH FLOOR PLAN
PT1.72	TWENTY TENTH FLOOR PLAN
PT1.73	TWENTY ELEVENTH FLOOR PLAN
PT1.74	TWENTY TWELFTH FLOOR PLAN
PT1.75	TWENTY THIRTH FLOOR PLAN
PT1.76	TWENTY FOURTH FLOOR PLAN
PT1.77	TWENTY FIFTH FLOOR PLAN
PT1.78	TWENTY SIXTH FLOOR PLAN
PT1.79	TWENTY SEVENTH FLOOR PLAN
PT1.80	TWENTY EIGHTH FLOOR PLAN
PT1.81	TWENTY NINTH FLOOR PLAN
PT1.82	TWENTY TENTH FLOOR PLAN
PT1.83	TWENTY ELEVENTH FLOOR PLAN
PT1.84	TWENTY TWELFTH FLOOR PLAN
PT1.85	TWENTY THIRTH FLOOR PLAN
PT1.86	TWENTY FOURTH FLOOR PLAN
PT1.87	TWENTY FIFTH FLOOR PLAN
PT1.88	TWENTY SIXTH FLOOR PLAN
PT1.89	TWENTY SEVENTH FLOOR PLAN
PT1.90	TWENTY EIGHTH FLOOR PLAN
PT1.91	TWENTY NINTH FLOOR PLAN
PT1.92	TWENTY TENTH FLOOR PLAN
PT1.93	TWENTY ELEVENTH FLOOR PLAN
PT1.94	TWENTY TWELFTH FLOOR PLAN
PT1.95	TWENTY THIRTH FLOOR PLAN
PT1.96	TWENTY FOURTH FLOOR PLAN
PT1.97	TWENTY FIFTH FLOOR PLAN
PT1.98	TWENTY SIXTH FLOOR PLAN
PT1.99	TWENTY SEVENTH FLOOR PLAN
PT1.100	TWENTY EIGHTH FLOOR PLAN
PT1.101	TWENTY NINTH FLOOR PLAN
PT1.102	TWENTY TENTH FLOOR PLAN
PT1.103	TWENTY ELEVENTH FLOOR PLAN
PT1.104	TWENTY TWELFTH FLOOR PLAN
PT1.105	TWENTY THIRTH FLOOR PLAN
PT1.106	TWENTY FOURTH FLOOR PLAN
PT1.107	TWENTY FIFTH FLOOR PLAN
PT1.108	TWENTY SIXTH FLOOR PLAN
PT1.109	TWENTY SEVENTH FLOOR PLAN
PT1.110	TWENTY EIGHTH FLOOR PLAN
PT1.111	TWENTY NINTH FLOOR PLAN
PT1.112	TWENTY TENTH FLOOR PLAN
PT1.113	TWENTY ELEVENTH FLOOR PLAN
PT1.114	TWENTY TWELFTH FLOOR PLAN
PT1.115	TWENTY THIRTH FLOOR PLAN
PT1.116	TWENTY FOURTH FLOOR PLAN
PT1.117	TWENTY FIFTH FLOOR PLAN
PT1.118	TWENTY SIXTH FLOOR PLAN
PT1.119	TWENTY SEVENTH FLOOR PLAN
PT1.120	TWENTY EIGHTH FLOOR PLAN
PT1.121	TWENTY NINTH FLOOR PLAN
PT1.122	TWENTY TENTH FLOOR PLAN
PT1.123	TWENTY ELEVENTH FLOOR PLAN
PT1.124	TWENTY TWELFTH FLOOR PLAN
PT1.125	TWENTY THIRTH FLOOR PLAN
PT1.126	TWENTY FOURTH FLOOR PLAN
PT1.127	TWENTY FIFTH FLOOR PLAN
PT1.128	TWENTY SIXTH FLOOR PLAN
PT1.129	TWENTY SEVENTH FLOOR PLAN
PT1.130	TWENTY EIGHTH FLOOR PLAN
PT1.131	TWENTY NINTH FLOOR PLAN
PT1.132	TWENTY TENTH FLOOR PLAN
PT1.133	TWENTY ELEVENTH FLOOR PLAN
PT1.134	TWENTY TWELFTH FLOOR PLAN
PT1.135	TWENTY THIRTH FLOOR PLAN
PT1.136	TWENTY FOURTH FLOOR PLAN
PT1.137	TWENTY FIFTH FLOOR PLAN
PT1.138	TWENTY SIXTH FLOOR PLAN
PT1.139	TWENTY SEVENTH FLOOR PLAN
PT1.140	TWENTY EIGHTH FLOOR PLAN
PT1.141	TWENTY NINTH FLOOR PLAN
PT1.142	TWENTY TENTH FLOOR PLAN
PT1.143	TWENTY ELEVENTH FLOOR PLAN
PT1.144	TWENTY TWELFTH FLOOR PLAN
PT1.145	TWENTY THIRTH FLOOR PLAN
PT1.146	TWENTY FOURTH FLOOR PLAN
PT1.147	TWENTY FIFTH FLOOR PLAN
PT1.148	TWENTY SIXTH FLOOR PLAN
PT1.149	TWENTY SEVENTH FLOOR PLAN
PT1.150	TWENTY EIGHTH FLOOR PLAN
PT1.151	TWENTY NINTH FLOOR PLAN
PT1.152	TWENTY TENTH FLOOR PLAN
PT1.153	TWENTY ELEVENTH FLOOR PLAN
PT1.154	TWENTY TWELFTH FLOOR PLAN
PT1.155	TWENTY THIRTH FLOOR PLAN
PT1.156	TWENTY FOURTH FLOOR PLAN
PT1.157	TWENTY FIFTH FLOOR PLAN
PT1.158	TWENTY SIXTH FLOOR PLAN
PT1.159	TWENTY SEVENTH FLOOR PLAN
PT1.160	TWENTY EIGHTH FLOOR PLAN
PT1.161	TWENTY NINTH FLOOR PLAN
PT1.162	TWENTY TENTH FLOOR PLAN
PT1.163	TWENTY ELEVENTH FLOOR PLAN
PT1.164	TWENTY TWELFTH FLOOR PLAN
PT1.165	TWENTY THIRTH FLOOR PLAN
PT1.166	TWENTY FOURTH FLOOR PLAN
PT1.167	TWENTY FIFTH FLOOR PLAN
PT1.168	TWENTY SIXTH FLOOR PLAN
PT1.169	TWENTY SEVENTH FLOOR PLAN
PT1.170	TWENTY EIGHTH FLOOR PLAN
PT1.171	TWENTY NINTH FLOOR PLAN
PT1.172	TWENTY TENTH FLOOR PLAN
PT1.173	TWENTY ELEVENTH FLOOR PLAN
PT1.174	TWENTY TWELFTH FLOOR PLAN
PT1.175	TWENTY THIRTH FLOOR PLAN
PT1.176	TWENTY FOURTH FLOOR PLAN
PT1.177	TWENTY FIFTH FLOOR PLAN
PT1.178	TWENTY SIXTH FLOOR PLAN
PT1.179	TWENTY SEVENTH FLOOR PLAN
PT1.180	TWENTY EIGHTH FLOOR PLAN
PT1.181	TWENTY NINTH FLOOR PLAN
PT1.182	TWENTY TENTH FLOOR PLAN
PT1.183	TWENTY ELEVENTH FLOOR PLAN
PT1.184	TWENTY TWELFTH FLOOR PLAN
PT1.185	TWENTY THIRTH FLOOR PLAN
PT1.186	TWENTY FOURTH FLOOR PLAN
PT1.187	TWENTY FIFTH FLOOR PLAN
PT1.188	TWENTY SIXTH FLOOR PLAN
PT1.189	TWENTY SEVENTH FLOOR PLAN
PT1.190	TWENTY EIGHTH FLOOR PLAN
PT1.191	TWENTY NINTH FLOOR PLAN
PT1.192	TWENTY TENTH FLOOR PLAN
PT1.193	TWENTY ELEVENTH FLOOR PLAN
PT1.194	TWENTY TWELFTH FLOOR PLAN
PT1.195	TWENTY THIRTH FLOOR PLAN
PT1.196	TWENTY FOURTH FLOOR PLAN
PT1.197	TWENTY FIFTH FLOOR PLAN
PT1.198	TWENTY SIXTH FLOOR PLAN
PT1.199	TWENTY SEVENTH FLOOR PLAN
PT1.200	TWENTY EIGHTH FLOOR PLAN

GRAPHIC SCALES

0	1	2	3	4	5	6	7	8	9	10
1" = 1'-0"										
0	1	2	3	4	5	6	7	8	9	10
1/2" = 1'-0"										
0	1	2	3	4	5	6	7	8	9	10
1/4" = 1'-0"										

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

REVISIONS

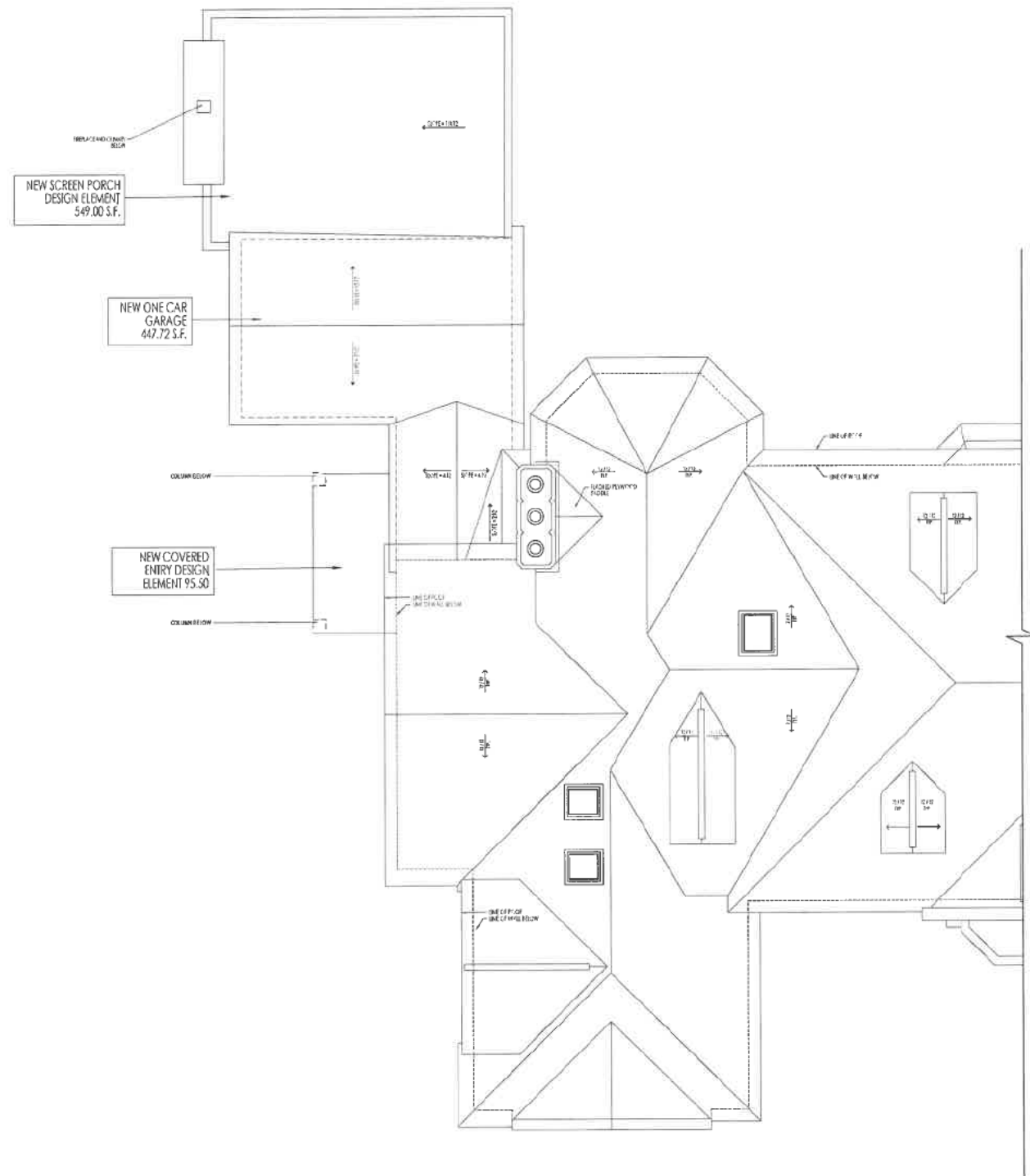
24	REBUILT TO THE CITY OF LAKE FOREST P.C.	06/20/24
23	REBUILT TO THE CITY OF LAKE FOREST P.C.	06/13/24
22	REVIEW PER CITY BUDGETING FOR REVIEW	06/11/24
21	ISSUED TO FRENCH STEEL CO.	06/04/24
20	CITY OF LAKE FOREST	05/11/24
19	PROGRESS SET OF DRAWINGS	05/06/24
18	POOL HOUSE OFFERS	04/29/24
17	MEETING WITH CITY	04/24/24
16	REVIEW	04/16/24
15	REVIEW	02/22/24
14	REVISED SCREEN PORCH PLAN	02/19/24
13	REVIEW	02/22/24
12	TO PAUL VIRIBAD	01/18/24
11	REVIEW	01/18/24
10	REVIEW	01/18/24
9	REVIEW	01/18/24
8	REVIEW	01/18/24
7	REVIEW	02/09/24
6	REVIEW	02/09/24
5	REVIEW	01/18/24
4	REVIEW	01/18/24
3	REVIEW	01/18/24
2	REVIEW	01/18/24
1	REVIEW	01/18/24

HOFFMEYER RESIDENCE
 ADDITIONAL INFORMATION TO A SINGLE-FAMILY RESIDENCE
 121 N. GREEN BAY ROAD
 LAKE FOREST, IL 60045



ARCHITECT: MICHAEL HERSHMAN
 2115 S. MICHIGAN AVE. (2nd FL)
 CHICAGO, ILLINOIS 60605
 TEL: 312.467.1111
 FAX: 312.467.1112
 WWW.MICHAELHERSHMAN.COM

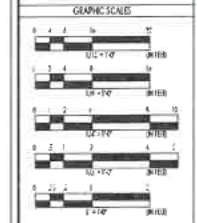
PROPOSED PARTIAL SECOND FLOOR PLAN
 Scale: As Noted
 Drawn By: [Blank]
 Checked By: [Blank]
 Date: A1.2



1 PROPOSED PARTIAL ROOF PLAN
 A1.3 Scale: 1/4" = 1'-0" N TRUE NORTH

INDEX OF DRAWINGS

TS	TITLE PAGE
PX.1	ARCHITECT DRAWING
PX.2	PROPOSED PARTIAL ROOF PLAN
PX.3	PROPOSED PARTIAL ROOF PLAN
PX.4	PROPOSED PARTIAL ROOF PLAN
PX.5	PROPOSED PARTIAL ROOF PLAN
PX.6	PROPOSED PARTIAL ROOF PLAN
PX.7	PROPOSED PARTIAL ROOF PLAN
PX.8	PROPOSED PARTIAL ROOF PLAN
PX.9	PROPOSED PARTIAL ROOF PLAN
PX.10	PROPOSED PARTIAL ROOF PLAN
PX.11	PROPOSED PARTIAL ROOF PLAN
PX.12	PROPOSED PARTIAL ROOF PLAN
PX.13	PROPOSED PARTIAL ROOF PLAN
PX.14	PROPOSED PARTIAL ROOF PLAN
PX.15	PROPOSED PARTIAL ROOF PLAN
PX.16	PROPOSED PARTIAL ROOF PLAN
PX.17	PROPOSED PARTIAL ROOF PLAN
PX.18	PROPOSED PARTIAL ROOF PLAN
PX.19	PROPOSED PARTIAL ROOF PLAN
PX.20	PROPOSED PARTIAL ROOF PLAN
PX.21	PROPOSED PARTIAL ROOF PLAN
PX.22	PROPOSED PARTIAL ROOF PLAN
PX.23	PROPOSED PARTIAL ROOF PLAN
PX.24	PROPOSED PARTIAL ROOF PLAN
PX.25	PROPOSED PARTIAL ROOF PLAN
PX.26	PROPOSED PARTIAL ROOF PLAN
PX.27	PROPOSED PARTIAL ROOF PLAN
PX.28	PROPOSED PARTIAL ROOF PLAN
PX.29	PROPOSED PARTIAL ROOF PLAN
PX.30	PROPOSED PARTIAL ROOF PLAN
PX.31	PROPOSED PARTIAL ROOF PLAN
PX.32	PROPOSED PARTIAL ROOF PLAN
PX.33	PROPOSED PARTIAL ROOF PLAN
PX.34	PROPOSED PARTIAL ROOF PLAN
PX.35	PROPOSED PARTIAL ROOF PLAN
PX.36	PROPOSED PARTIAL ROOF PLAN
PX.37	PROPOSED PARTIAL ROOF PLAN
PX.38	PROPOSED PARTIAL ROOF PLAN
PX.39	PROPOSED PARTIAL ROOF PLAN
PX.40	PROPOSED PARTIAL ROOF PLAN
PX.41	PROPOSED PARTIAL ROOF PLAN
PX.42	PROPOSED PARTIAL ROOF PLAN
PX.43	PROPOSED PARTIAL ROOF PLAN
PX.44	PROPOSED PARTIAL ROOF PLAN
PX.45	PROPOSED PARTIAL ROOF PLAN
PX.46	PROPOSED PARTIAL ROOF PLAN
PX.47	PROPOSED PARTIAL ROOF PLAN
PX.48	PROPOSED PARTIAL ROOF PLAN
PX.49	PROPOSED PARTIAL ROOF PLAN
PX.50	PROPOSED PARTIAL ROOF PLAN



- GENERAL NOTES**
1. CONSULT ALL APPLICABLE CODES AND REGULATIONS.
 2. PROVIDE ALL NECESSARY MATERIALS AND LABOR.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
 4. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 5. PROVIDE ALL NECESSARY FLASHING AND DRAINAGE.
 6. PROVIDE ALL NECESSARY VENTILATION.
 7. PROVIDE ALL NECESSARY INSULATION.
 8. PROVIDE ALL NECESSARY STRUCTURAL SUPPORTS.
 9. PROVIDE ALL NECESSARY WEATHER RESISTING BARRIER.
 10. PROVIDE ALL NECESSARY GUTTERS AND DOWNSPUTS.
 11. PROVIDE ALL NECESSARY TRIM AND FINISHES.
 12. PROVIDE ALL NECESSARY PAINTS AND COATINGS.
 13. PROVIDE ALL NECESSARY ELECTRICAL AND MECHANICAL WORK.
 14. PROVIDE ALL NECESSARY PLUMBING WORK.
 15. PROVIDE ALL NECESSARY HVAC WORK.
 16. PROVIDE ALL NECESSARY FLOORING WORK.
 17. PROVIDE ALL NECESSARY WALL AND CEILING FINISHES.
 18. PROVIDE ALL NECESSARY DOOR AND WINDOW FINISHES.
 19. PROVIDE ALL NECESSARY EXTERIOR FINISHES.
 20. PROVIDE ALL NECESSARY INTERIOR FINISHES.
 21. PROVIDE ALL NECESSARY LIGHTING FIXTURES.
 22. PROVIDE ALL NECESSARY SWITCHES AND OUTLETS.
 23. PROVIDE ALL NECESSARY THERMOSTATS.
 24. PROVIDE ALL NECESSARY SECURITY SYSTEMS.

24	RESUBMITTED TO THE CITY OF LAKE FOREST P.C.	06/20/24
23	RESUBMITTED TO THE CITY OF LAKE FOREST P.C.	06/10/24
22	REVIEW PER CITY ENGINEERING FOR REVIEW	06/10/24
21	ISSUE TO FRESH STEEL CO.	06/09/24
20	CITY OF LAKE FOREST	06/10/24
19	PROGRESS SET OF DRAWINGS	05/09/24
18	POOL HOUSE OPTIONS	04/26/24
17	MEETING WITH CITY	04/25/24
16	REVIEW	04/15/24
15	REVIEW	04/05/24
14	REVISED SCREEN PORCH PLAN	03/29/24
13	REVIEW	03/29/24
12	TO PAUL VUKURU	03/19/24
11	REVIEW	03/19/24
10	REVIEW	03/19/24
9	REVIEW	03/15/24
8	REVIEW	03/15/24
7	REVIEW	03/08/24
6	REVIEW	02/29/24
5	REVIEW	01/19/24
4	REVIEW	10/26/23
3	REVIEW	08/29/23
2	DISCUSS OFF GOLF AND THEATRE	08/09/23
1	AGREEMENT GOLF AND THEATRE	07/01/23

HOFFMEYER RESIDENCE
 ADDITION AND RENOVATION TO A SINGLE-FAMILY RESIDENCE
 121 N. GREEN BAY ROAD
 LAKE FOREST, IL 60045



MHA
 MICHAEL HOFFMEYER ARCHITECTS
 1101 BURNING TREE DRIVE
 ESTATES, ILLINOIS 60120
 TEL: 847.888.7700
 FAX: 847.888.7701
 WWW.MHA-ARCHITECTS.COM

PROPOSED PARTIAL ROOF PLAN
 Scale: As Noted

Drawn By	Sheet Number
Checked By	A1.3
Date	



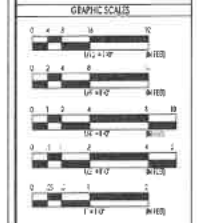
1 EXISTING NORTH ELEVATION
EX2.1 Scale: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
EX2.1 Scale: 1/4" = 1'-0"

INDEX OF DRAWINGS

T03	TRILEAF
T07.1	AREA, NET GROSS
T07.2	AREA, NET GROSS
T07.3	AREA, NET GROSS
A01	FOUNDATION PLAN
A02	FOUNDATION PLAN
A03	FOUNDATION PLAN
A04	FOUNDATION PLAN
A05	FOUNDATION PLAN
A06	FOUNDATION PLAN
A07	FOUNDATION PLAN
A08	FOUNDATION PLAN
A09	FOUNDATION PLAN
A10	FOUNDATION PLAN
A11	FOUNDATION PLAN
A12	FOUNDATION PLAN
A13	FOUNDATION PLAN
A14	FOUNDATION PLAN
A15	FOUNDATION PLAN
A16	FOUNDATION PLAN
A17	FOUNDATION PLAN
A18	FOUNDATION PLAN
A19	FOUNDATION PLAN
A20	FOUNDATION PLAN
A21	FOUNDATION PLAN
A22	FOUNDATION PLAN
A23	FOUNDATION PLAN
A24	FOUNDATION PLAN
A25	FOUNDATION PLAN
A26	FOUNDATION PLAN
A27	FOUNDATION PLAN
A28	FOUNDATION PLAN
A29	FOUNDATION PLAN
A30	FOUNDATION PLAN
A31	FOUNDATION PLAN
A32	FOUNDATION PLAN
A33	FOUNDATION PLAN
A34	FOUNDATION PLAN
A35	FOUNDATION PLAN
A36	FOUNDATION PLAN
A37	FOUNDATION PLAN
A38	FOUNDATION PLAN
A39	FOUNDATION PLAN
A40	FOUNDATION PLAN
A41	FOUNDATION PLAN
A42	FOUNDATION PLAN
A43	FOUNDATION PLAN
A44	FOUNDATION PLAN
A45	FOUNDATION PLAN
A46	FOUNDATION PLAN
A47	FOUNDATION PLAN
A48	FOUNDATION PLAN
A49	FOUNDATION PLAN
A50	FOUNDATION PLAN



GENERAL NOTES

1. SEE ARCHITECTURAL SPECIFICATIONS TO THIS SET.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODE (IMC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODE (IECC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SCHEDULING CODE (ISC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SECURITY CODE (ISC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SOUND AND VIBRATION CODE (ISV) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL TRANSPORTATION CODE (ITC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL UTILITIES CODE (IUC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WASTE MANAGEMENT CODE (IWM) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WATER SUPPLY CODE (IWS) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WIND LOADS AND EFFECTS CODE (IWLE) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WOOD PRESERVATION CODE (IWP) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL YACHTING CODE (IYC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ZONING CODE (IZC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ZONING CODE (IZC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

24	REMITTED TO THE CITY OF LAKE FOREST P.C.	06/20/24
23	REMITTED TO THE CITY OF LAKE FOREST P.C.	06/19/24
22	REVIEW PER CITY SUGGESTING FOR REVIEW	06/11/24
21	ISSUED TO FRANK SHEE, CO.	06/04/24
20	CITY OF LAKE FOREST	06/01/24
19	PROGRESS SET OF DRAWINGS	05/28/24
18	POOL HOUSE OPTIONS	04/29/24
17	MEETING WITH CITY	04/23/24
16	REVIEW	04/16/24
15	REVIEW	03/22/24
14	REVISED SCREEN PORCH PLAN	03/19/24
13	REVIEW	02/29/24
12	TO PAUL VINSOLA	03/18/24
11	REVIEW	03/18/24
10	REVIEW	03/01/24
9	REVIEW	02/27/24
8	REVIEW	02/12/24
7	REVIEW	02/06/24
6	REVIEW	01/25/24
5	REVIEW	01/19/24
4	REVIEW	10/26/23
3	REVIEW	09/25/23
2	EXHIBIT GOLF CLUB THEATRE	08/23/23
1	EXHIBIT GOLF CLUB THEATRE	07/01/23

HOFFMEYER RESIDENCE
 ADDITION AND MODIFICATION TO SINGLE-FAMILY RESIDENCE
 121 N. GREENBAY ROAD
 LAKE FOREST, IL 60045

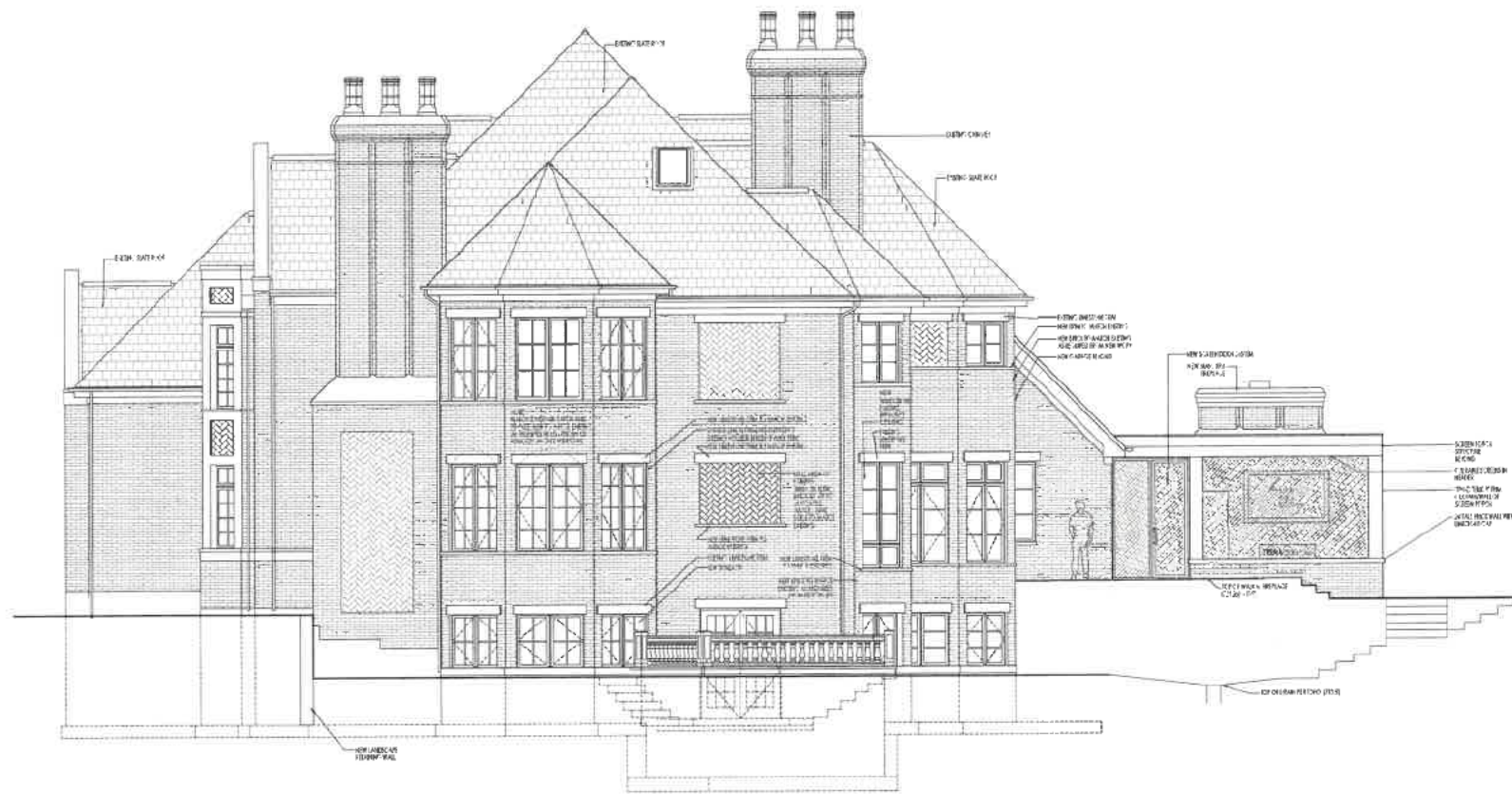


1118 Sherman Ave. / 2nd Fl.
 Evanston, Illinois 60201
 Evanston, IL 60201
 Evanston, IL 60201

EXISTING NORTH AND SOUTH ELEVATIONS
 Scale: As Noted
 Drawn By: [Blank]
 Checked By: [Blank]
 Date: EX2.1



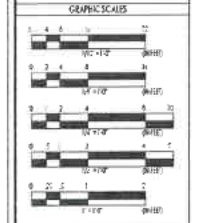
1 PROPOSED NORTH ELEVATION
A2.1 Scale: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A2.1 Scale: 1/4" = 1'-0"

INDEX OF DRAWINGS

001	TITLE PAGE
002	GENERAL NOTES
003	EXISTING FLOOR PLAN
004	PROPOSED FLOOR PLAN
005	PROPOSED FOUNDATION PLAN
006	PROPOSED ROOF PLAN
007	PROPOSED EXTERIOR WALL SECTION
008	PROPOSED EXTERIOR WALL SECTION
009	PROPOSED EXTERIOR WALL SECTION
010	PROPOSED EXTERIOR WALL SECTION
011	PROPOSED EXTERIOR WALL SECTION
012	PROPOSED EXTERIOR WALL SECTION
013	PROPOSED EXTERIOR WALL SECTION
014	PROPOSED EXTERIOR WALL SECTION
015	PROPOSED EXTERIOR WALL SECTION
016	PROPOSED EXTERIOR WALL SECTION
017	PROPOSED EXTERIOR WALL SECTION
018	PROPOSED EXTERIOR WALL SECTION
019	PROPOSED EXTERIOR WALL SECTION
020	PROPOSED EXTERIOR WALL SECTION
021	PROPOSED EXTERIOR WALL SECTION
022	PROPOSED EXTERIOR WALL SECTION
023	PROPOSED EXTERIOR WALL SECTION
024	PROPOSED EXTERIOR WALL SECTION
025	PROPOSED EXTERIOR WALL SECTION
026	PROPOSED EXTERIOR WALL SECTION
027	PROPOSED EXTERIOR WALL SECTION
028	PROPOSED EXTERIOR WALL SECTION
029	PROPOSED EXTERIOR WALL SECTION
030	PROPOSED EXTERIOR WALL SECTION
031	PROPOSED EXTERIOR WALL SECTION
032	PROPOSED EXTERIOR WALL SECTION
033	PROPOSED EXTERIOR WALL SECTION
034	PROPOSED EXTERIOR WALL SECTION
035	PROPOSED EXTERIOR WALL SECTION
036	PROPOSED EXTERIOR WALL SECTION
037	PROPOSED EXTERIOR WALL SECTION
038	PROPOSED EXTERIOR WALL SECTION
039	PROPOSED EXTERIOR WALL SECTION
040	PROPOSED EXTERIOR WALL SECTION
041	PROPOSED EXTERIOR WALL SECTION
042	PROPOSED EXTERIOR WALL SECTION
043	PROPOSED EXTERIOR WALL SECTION
044	PROPOSED EXTERIOR WALL SECTION
045	PROPOSED EXTERIOR WALL SECTION
046	PROPOSED EXTERIOR WALL SECTION
047	PROPOSED EXTERIOR WALL SECTION
048	PROPOSED EXTERIOR WALL SECTION
049	PROPOSED EXTERIOR WALL SECTION
050	PROPOSED EXTERIOR WALL SECTION
051	PROPOSED EXTERIOR WALL SECTION
052	PROPOSED EXTERIOR WALL SECTION
053	PROPOSED EXTERIOR WALL SECTION
054	PROPOSED EXTERIOR WALL SECTION
055	PROPOSED EXTERIOR WALL SECTION
056	PROPOSED EXTERIOR WALL SECTION
057	PROPOSED EXTERIOR WALL SECTION
058	PROPOSED EXTERIOR WALL SECTION
059	PROPOSED EXTERIOR WALL SECTION
060	PROPOSED EXTERIOR WALL SECTION
061	PROPOSED EXTERIOR WALL SECTION
062	PROPOSED EXTERIOR WALL SECTION
063	PROPOSED EXTERIOR WALL SECTION
064	PROPOSED EXTERIOR WALL SECTION
065	PROPOSED EXTERIOR WALL SECTION
066	PROPOSED EXTERIOR WALL SECTION
067	PROPOSED EXTERIOR WALL SECTION
068	PROPOSED EXTERIOR WALL SECTION
069	PROPOSED EXTERIOR WALL SECTION
070	PROPOSED EXTERIOR WALL SECTION
071	PROPOSED EXTERIOR WALL SECTION
072	PROPOSED EXTERIOR WALL SECTION
073	PROPOSED EXTERIOR WALL SECTION
074	PROPOSED EXTERIOR WALL SECTION
075	PROPOSED EXTERIOR WALL SECTION
076	PROPOSED EXTERIOR WALL SECTION
077	PROPOSED EXTERIOR WALL SECTION
078	PROPOSED EXTERIOR WALL SECTION
079	PROPOSED EXTERIOR WALL SECTION
080	PROPOSED EXTERIOR WALL SECTION
081	PROPOSED EXTERIOR WALL SECTION
082	PROPOSED EXTERIOR WALL SECTION
083	PROPOSED EXTERIOR WALL SECTION
084	PROPOSED EXTERIOR WALL SECTION
085	PROPOSED EXTERIOR WALL SECTION
086	PROPOSED EXTERIOR WALL SECTION
087	PROPOSED EXTERIOR WALL SECTION
088	PROPOSED EXTERIOR WALL SECTION
089	PROPOSED EXTERIOR WALL SECTION
090	PROPOSED EXTERIOR WALL SECTION
091	PROPOSED EXTERIOR WALL SECTION
092	PROPOSED EXTERIOR WALL SECTION
093	PROPOSED EXTERIOR WALL SECTION
094	PROPOSED EXTERIOR WALL SECTION
095	PROPOSED EXTERIOR WALL SECTION
096	PROPOSED EXTERIOR WALL SECTION
097	PROPOSED EXTERIOR WALL SECTION
098	PROPOSED EXTERIOR WALL SECTION
099	PROPOSED EXTERIOR WALL SECTION
100	PROPOSED EXTERIOR WALL SECTION



CONSTRUCTION NOTES

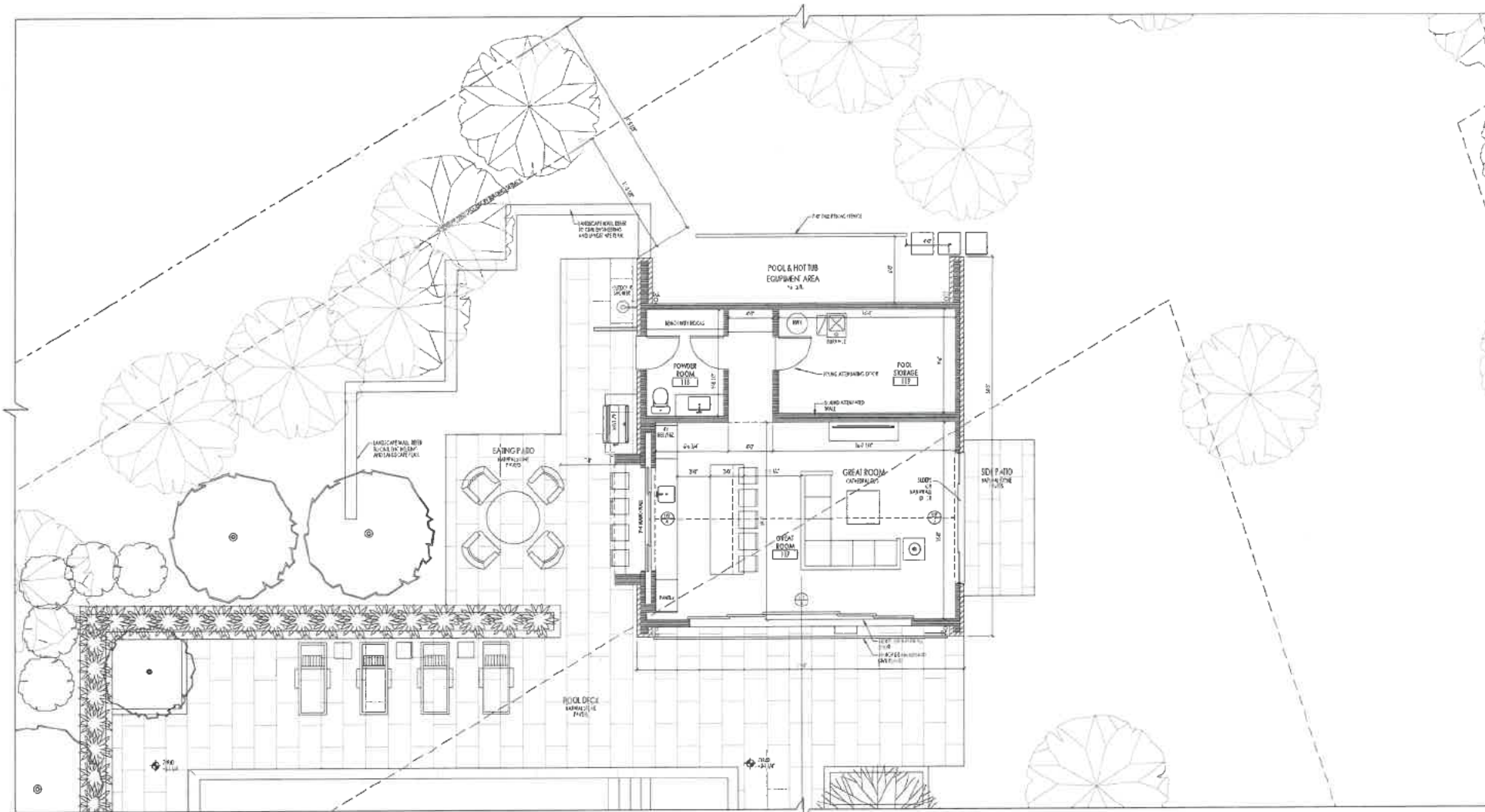
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE (IECC).
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.

REVISIONS

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	08/20/24
02	REVISIONS TO PERMITS	08/20/24
03	REVISIONS TO PERMITS	08/20/24
04	REVISIONS TO PERMITS	08/20/24
05	REVISIONS TO PERMITS	08/20/24
06	REVISIONS TO PERMITS	08/20/24
07	REVISIONS TO PERMITS	08/20/24
08	REVISIONS TO PERMITS	08/20/24
09	REVISIONS TO PERMITS	08/20/24
10	REVISIONS TO PERMITS	08/20/24
11	REVISIONS TO PERMITS	08/20/24
12	REVISIONS TO PERMITS	08/20/24
13	REVISIONS TO PERMITS	08/20/24
14	REVISIONS TO PERMITS	08/20/24
15	REVISIONS TO PERMITS	08/20/24
16	REVISIONS TO PERMITS	08/20/24
17	REVISIONS TO PERMITS	08/20/24
18	REVISIONS TO PERMITS	08/20/24
19	REVISIONS TO PERMITS	08/20/24
20	REVISIONS TO PERMITS	08/20/24
21	REVISIONS TO PERMITS	08/20/24
22	REVISIONS TO PERMITS	08/20/24
23	REVISIONS TO PERMITS	08/20/24
24	REVISIONS TO PERMITS	08/20/24
25	REVISIONS TO PERMITS	08/20/24
26	REVISIONS TO PERMITS	08/20/24
27	REVISIONS TO PERMITS	08/20/24
28	REVISIONS TO PERMITS	08/20/24
29	REVISIONS TO PERMITS	08/20/24
30	REVISIONS TO PERMITS	08/20/24
31	REVISIONS TO PERMITS	08/20/24
32	REVISIONS TO PERMITS	08/20/24
33	REVISIONS TO PERMITS	08/20/24
34	REVISIONS TO PERMITS	08/20/24
35	REVISIONS TO PERMITS	08/20/24
36	REVISIONS TO PERMITS	08/20/24
37	REVISIONS TO PERMITS	08/20/24
38	REVISIONS TO PERMITS	08/20/24
39	REVISIONS TO PERMITS	08/20/24
40	REVISIONS TO PERMITS	08/20/24
41	REVISIONS TO PERMITS	08/20/24
42	REVISIONS TO PERMITS	08/20/24
43	REVISIONS TO PERMITS	08/20/24
44	REVISIONS TO PERMITS	08/20/24
45	REVISIONS TO PERMITS	08/20/24
46	REVISIONS TO PERMITS	08/20/24
47	REVISIONS TO PERMITS	08/20/24
48	REVISIONS TO PERMITS	08/20/24
49	REVISIONS TO PERMITS	08/20/24
50	REVISIONS TO PERMITS	08/20/24
51	REVISIONS TO PERMITS	08/20/24
52	REVISIONS TO PERMITS	08/20/24
53	REVISIONS TO PERMITS	08/20/24
54	REVISIONS TO PERMITS	08/20/24
55	REVISIONS TO PERMITS	08/20/24
56	REVISIONS TO PERMITS	08/20/24
57	REVISIONS TO PERMITS	08/20/24
58	REVISIONS TO PERMITS	08/20/24
59	REVISIONS TO PERMITS	08/20/24
60	REVISIONS TO PERMITS	08/20/24
61	REVISIONS TO PERMITS	08/20/24
62	REVISIONS TO PERMITS	08/20/24
63	REVISIONS TO PERMITS	08/20/24
64	REVISIONS TO PERMITS	08/20/24
65	REVISIONS TO PERMITS	08/20/24
66	REVISIONS TO PERMITS	08/20/24
67	REVISIONS TO PERMITS	08/20/24
68	REVISIONS TO PERMITS	08/20/24
69	REVISIONS TO PERMITS	08/20/24
70	REVISIONS TO PERMITS	08/20/24
71	REVISIONS TO PERMITS	08/20/24
72	REVISIONS TO PERMITS	08/20/24
73	REVISIONS TO PERMITS	08/20/24
74	REVISIONS TO PERMITS	08/20/24
75	REVISIONS TO PERMITS	08/20/24
76	REVISIONS TO PERMITS	08/20/24
77	REVISIONS TO PERMITS	08/20/24
78	REVISIONS TO PERMITS	08/20/24
79	REVISIONS TO PERMITS	08/20/24
80	REVISIONS TO PERMITS	08/20/24
81	REVISIONS TO PERMITS	08/20/24
82	REVISIONS TO PERMITS	08/20/24
83	REVISIONS TO PERMITS	08/20/24
84	REVISIONS TO PERMITS	08/20/24
85	REVISIONS TO PERMITS	08/20/24
86	REVISIONS TO PERMITS	08/20/24
87	REVISIONS TO PERMITS	08/20/24
88	REVISIONS TO PERMITS	08/20/24
89	REVISIONS TO PERMITS	08/20/24
90	REVISIONS TO PERMITS	08/20/24
91	REVISIONS TO PERMITS	08/20/24
92	REVISIONS TO PERMITS	08/20/24
93	REVISIONS TO PERMITS	08/20/24
94	REVISIONS TO PERMITS	08/20/24
95	REVISIONS TO PERMITS	08/20/24
96	REVISIONS TO PERMITS	08/20/24
97	REVISIONS TO PERMITS	08/20/24
98	REVISIONS TO PERMITS	08/20/24
99	REVISIONS TO PERMITS	08/20/24
100	REVISIONS TO PERMITS	08/20/24

HOFFMEYER RESIDENCE
REVISION AND MODIFICATION TO A
SINGLE-FAMILY RESIDENCE
121 N. GREEN BAY ROAD
LAKE FOREST, IL 60045

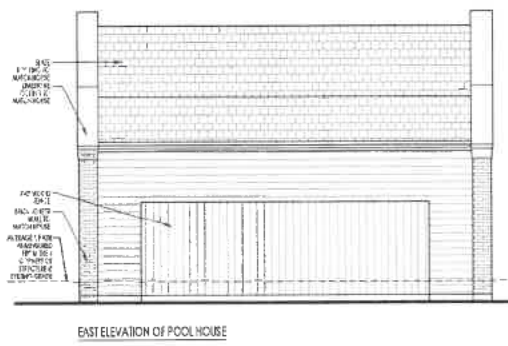
STATE OF ILLINOIS
DEPARTMENT OF REVENUE
ARCHITECT'S SEAL
Michael Hoffmeyer
REGISTERED ARCHITECT
NO. 001234567
EXPIRES 11/30/2024
1615 Sherman Ave #11 South
Evanston, Illinois 60201
Tel: 847.866.1700
Fax: 847.866.1701
www.michaelhoffmeyer.com



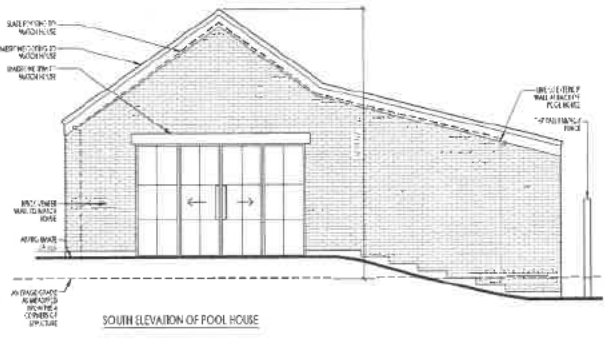
1 PROPOSED POOL HOUSE PLAN
A3.0 Scale: 1/4" = 1'-0"



NORTH ELEVATION OF POOL HOUSE



EAST ELEVATION OF POOL HOUSE



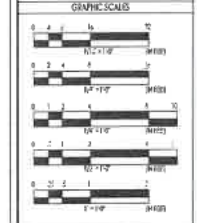
SOUTH ELEVATION OF POOL HOUSE



WEST ELEVATION OF POOL HOUSE

2 PROPOSED POOL HOUSE ELEVATIONS
A3.0 Scale: 1/4" = 1'-0"

- INDEX OF DRAWINGS**
- 1.0 SITE PLAN
 - 2.0 GENERAL NOTES
 - 3.0 EXTERIOR FINISHES
 - 4.0 INTERIOR FINISHES
 - 5.0 MECHANICAL
 - 6.0 ELECTRICAL
 - 7.0 PLUMBING
 - 8.0 PAINT
 - 9.0 LANDSCAPING
 - 10.0 LIGHTING
 - 11.0 FURNITURE
 - 12.0 FIXTURES
 - 13.0 EQUIPMENT
 - 14.0 ACCESSORIES
 - 15.0 DETAILS
 - 16.0 NOTES



GENERAL NOTES

1. THIS DRAWING SHALL BE USED TO CONSTRUCT THE POOL HOUSE AS SHOWN HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAKE FOREST, ILLINOIS.

24	RESUBMITTED TO THE CITY OF LAKE FOREST I.P.C.	06/05/24
23	RESUBMITTED TO THE CITY OF LAKE FOREST I.P.C.	05/15/24
22	REVISED PER CITY SUGGESTIONS FOR REVIEW	05/14/24
21	HEARD TO FREEDOM STEEL CO.	05/07/24
20	CITY OF LAKE FOREST	05/07/24
19	PROGRESS SET OF DRAWINGS	05/06/24
18	POOL HOUSE OPTIONS	04/29/24
17	MEETING WITH CITY	04/25/24
16	REVIEW	04/18/24
15	REVIEW	03/22/24
14	REVISED SCREEN PORCH PLAN	03/21/24
13	REVIEW	03/09/24
12	TO PAUL VERBILD	02/19/24
11	REVIEW	02/16/24
10	REVIEW	02/15/24
9	REVIEW	02/09/24
8	REVIEW	02/09/24
7	REVIEW	02/06/24
6	REVIEW	02/02/24
5	REVIEW	01/19/24
4	REVIEW	12/29/23
3	REVIEW	12/05/23
2	BASEMENT GOLF RM & THEATRE	09/05/23
1	BASEMENT GOLF RM & THEATRE	07/20/23

HOFFMEYER RESIDENCE
ADDITION AND RENOVATION TO A SINGLE-FAMILY RESIDENCE
121 N. GREEN BAY ROAD
LAKE FOREST, IL 60049

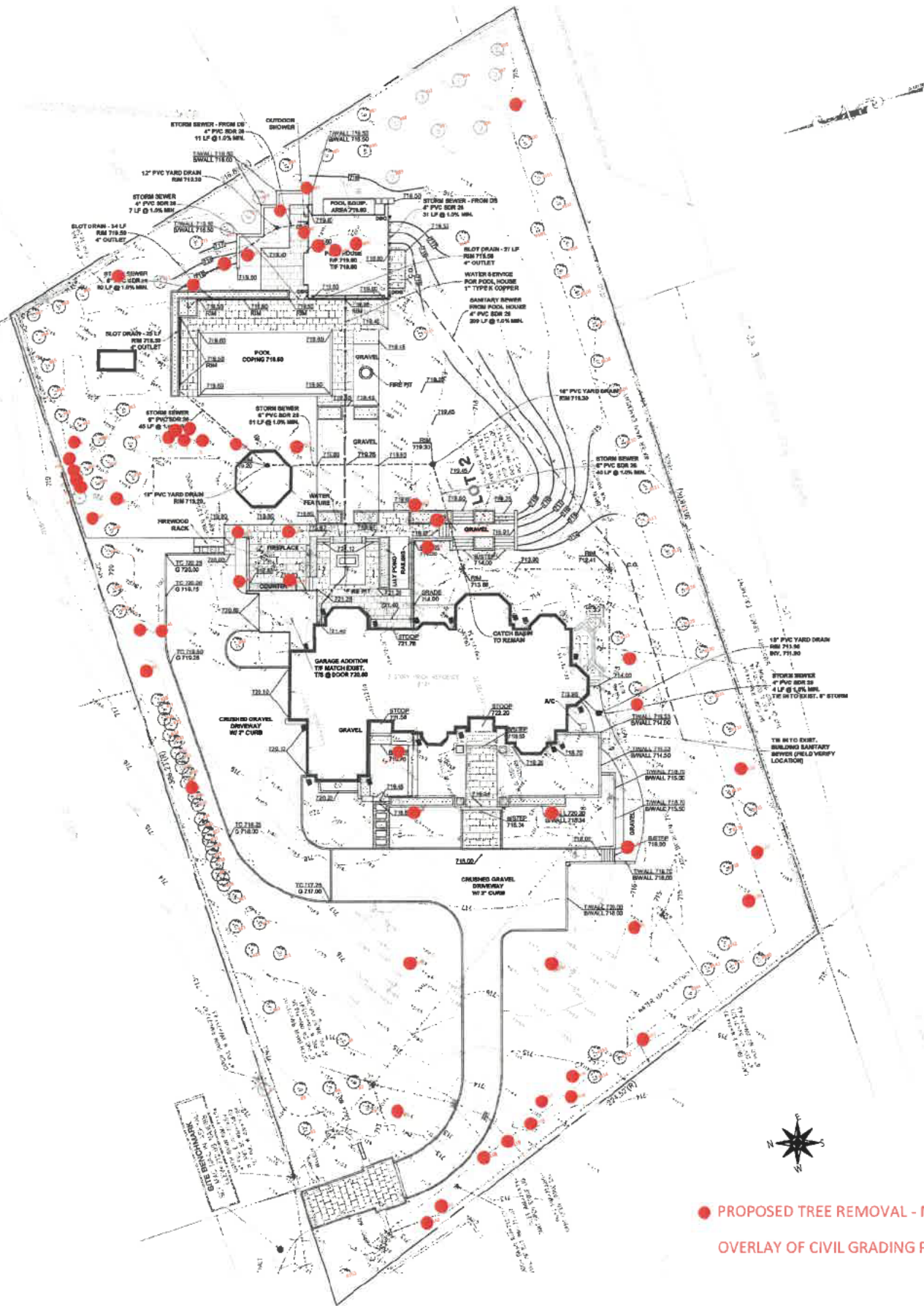
POOL HOUSE PLANS & ELEVATIONS
Scale: As Shown
Drawn By: [Signature]
Checked By: [Signature]
Date: A3.0

NOTES:

1. PROPOSED TOP OF NEW FOUNDATION AS NOTED ON PLANS. EXPOSED FOUNDATION SHALL BE MINIMUM OF 4" AND A MAXIMUM OF 6".
2. A SPOT SURVEY IS REQUIRED TO BE APPROVED PRIOR TO FRAMING.
3. PROPOSED GROUND ELEVATION AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD. SLOPE AREA TO DRAIN AWAY FROM HOUSE.
4. RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS AND DIRECTED TO DOWNSPOUTS. ALL DOWNSPOUTS TO CONNECT TO BELOW-GRADE DISCHARGE.
5. REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED STRUCTURE'S EXACT SETBACKS FROM PROPERTY LINES.
6. CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED.
8. CONTRACTOR SHALL ENSURE ADJACENT ROADS REMAIN CLEAR AND FREE OF CONSTRUCTION DEBRIS AT ALL TIMES.
9. EXISTING TOPOGRAPHY SURVEYED BY BONO CONSULTING.
10. REFER TO CITY OF LAKE FOREST ORDINANCES FOR UTILITY INSTALLATION.
11. BONO CONSULTING IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SAFETY.
12. CONTRACTOR IS RESPONSIBLE FOR COMPARING ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
13. THE OWNER MUST FURNISH AN "AS-BUILT" SITE PLAN CERTIFIED BY THE ORIGINAL PLAN PREPARER STATING THAT THE FINISHED LOT GRADES, UTILITIES AND IMPERVIOUS COVERAGE CALCULATIONS CONFORM TO THE APPROVED SITE PLAN PRIOR TO THE ISSUANCE OF THE TEMPORARY OCCUPANCY PERMIT AND RELEASE OF ENGINEERING ESCROW.

SEWER & WATER NOTES

1. ALL CITY OF LAKE FOREST MAINTAINED PAVEMENT SHALL BE EITHER DIRECTIONAL BORED OR AUGERED UP TO THE CONNECTION POINT ON THE MAIN, TRENCHING ACROSS STREET NOT ALLOWED.
2. INSTALL TIE-INS TO SATISFACTION OF CITY.
3. MINIMUM 12" DISTANCE BETWEEN NEW SEWER AND WATER SERVICES.
4. NEW 4-1/2" WATER SERVICE TIE-IN TO EXISTING BOX IN ACCORDANCE WITH CITY REQUIREMENTS. BACKFILL OPENING AND PATCH SURFACE TO MATCH EXISTING.
5. UTILITIES UNDER PAVEMENT, WALKS AND PATIO SHALL BE TRENCH BACKFILLED.



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- EXISTING SANITARY
- CONNECTION SEWER
- PROPOSED SANITARY SEWER
- PROPOSED CONNECTION SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATERMAIN
- PROPOSED WATERMAIN
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND CABLE
- EXISTING TREE
- REMOVE TREE
- TEMPORARY TREE FENCE
- TEMPORARY ST / CONSTRUCTION FENCE
- SLUMP PUMP (PROPOSED/EXISTING)
- DOWNSPOUT (IN-PROGRESS) (PROPOSED)
- SWALE (PROPOSED)
- OUTLET / POP-UP GUTTER
- CATCH BASIN
- STORM SEWER
- SANITARY SEWER
- CLEANOUT
- 8 BOX
- WOOD UTILITY POLE
- LIGHT POLE
- FLARED END SECTION (F.E.S.)
- W/LET / DRAIN
- WATER VALVE VAULT / WATER VETER
- SIGN
- MANHOLE (UNCLASSIFIED)
- FIRE HYDRANT
- TRIVE TAG NO.
- STOP LIGHT
- GAS VALVE
- ROOT PRUNE
- TOP OF GARAGE SLAB
- TOP OF FOUNDATION
- TOP OF WALL

● PROPOSED TREE REMOVAL - MIDWEST ARBOR
 OVERLAY OF CIVIL GRADING PLAN BY BONO CONSULTING

DATE	05.16.2024
PROJECT STAFF	PROJECT MANAGER: [Name], ENGINEER: [Name], SURVEYOR: [Name], TECHNICIAN: [Name]
PROPOSED GRADING & UTILITY PLAN SITE IMPROVEMENT PLANS 121 N. GREEN BAY ROAD, LAKE FOREST, ILLINOIS	
COPYRIGHT: THIS DRAWING SHALL NOT BE REPRODUCED, REPHOTOCOPIED, MOVED, OR ADDED TO IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.	
PROJECT NO.:	240690
DATE FILED:	
SHEET FILE:	
ISSUE DATE:	MAY 16, 2024
SCALE:	1"=20'
SHEET NUMBER C-2	

Tree Removals Summary - 121 Green Bay Rd, Lake Forest, IL

Notes Added by Midwest Arbor Corp for HPC Review

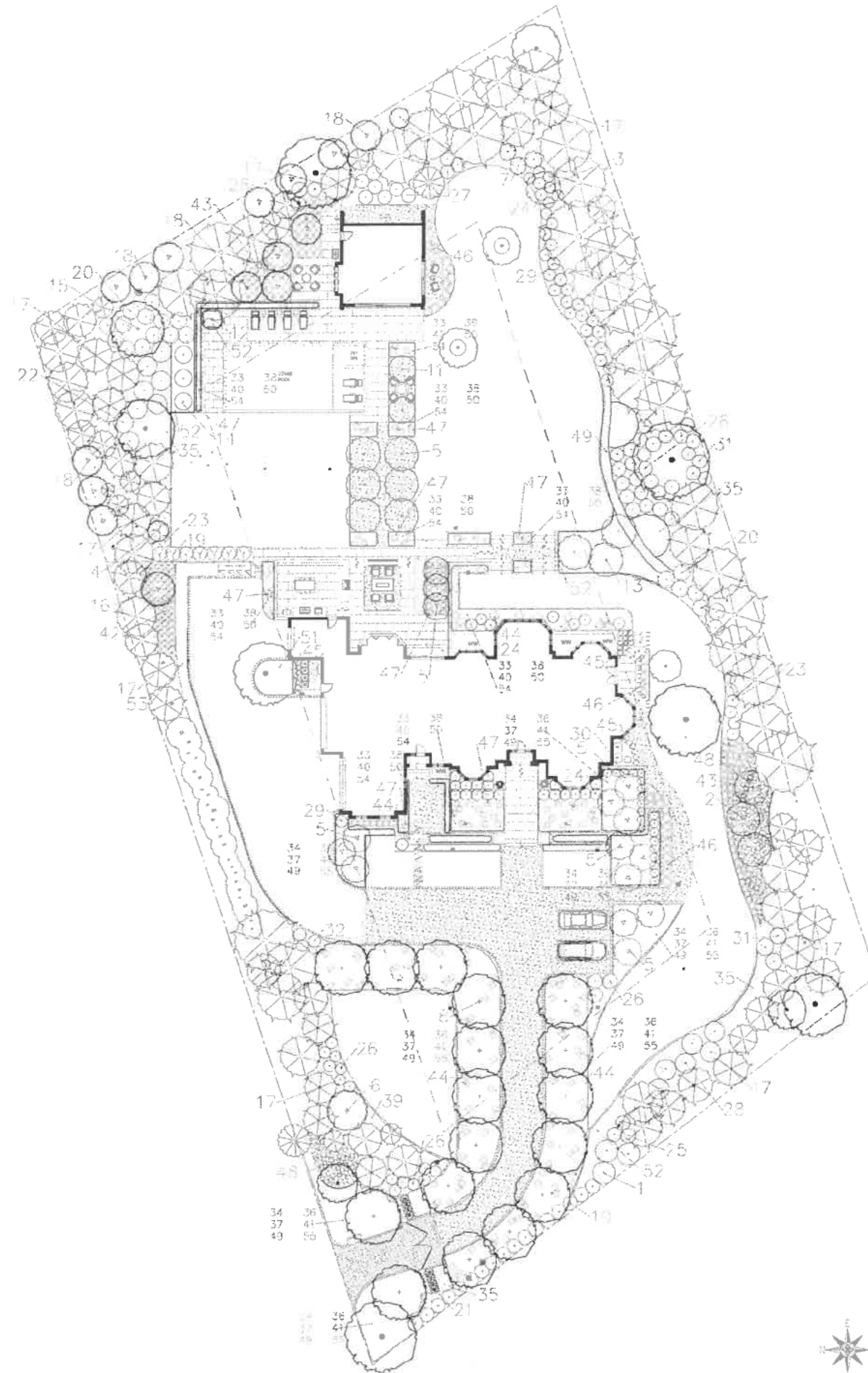
Survey by Dan Runyon - IL 5107A - 9-12-2023

TAG #	SIZE	SPECIES	CONDITION 0-5 (0=DEAD, 5=EXCELLENT)	ARBORIST NOTES	STATUS
5	12	Blue Spruce		2	Proposed Removal - Midwest Arbor
27	8	Arborvitae		0 Dead	Proposed Removal - Midwest Arbor
39	10	Whitespire Birch		0 Recommend Removal	Proposed Removal - Midwest Arbor
40	8	Whitespire Birch		1 Recommend Removal	Proposed Removal - Midwest Arbor
41	8	Whitespire Birch		3	Proposed Removal - Midwest Arbor
47	10	Whitespire Birch		2 Recommend Removal	Proposed Removal - Midwest Arbor
48	10	Whitespire Birch		2 Recommend Removal	Proposed Removal - Midwest Arbor
50	4	Arborvitae		0 Recommend Removal	Proposed Removal - Midwest Arbor
51	4	Arborvitae		0 Recommend Removal	Proposed Removal - Midwest Arbor
52	4	Arborvitae		0 Recommend Removal	Proposed Removal - Midwest Arbor
53	4	Arborvitae		0 Recommend Removal	Proposed Removal - Midwest Arbor
54	4	Norway Spruce		0 Recommend Removal	Proposed Removal - Midwest Arbor
70	36	Norway Maple		2 Large Cavity on Main Trunk	Remove per good forestry practices, invasive
76	5	American Elm		3	Proposed Removal - Midwest Arbor
79	8	Norway Spruce		3	Proposed Removal - Midwest Arbor
80	10	Norway Spruce		3	Proposed Removal - Midwest Arbor
81	8	Blue Spruce		0 Dead	Proposed Removal - Midwest Arbor
82	10	Norway Spruce		3	Proposed Removal - Midwest Arbor
83	15	Norway Spruce		3	Proposed Removal - Midwest Arbor
90	10	Norway Spruce		3	Proposed Removal - Midwest Arbor
99	12	Norway Spruce		1 Recommend Removal	Proposed Removal - Midwest Arbor
116	7	Hawthorn		4	Proposed Removal - Midwest Arbor
117	8	Hawthorn		4	Proposed Removal - Midwest Arbor
118	10	Hawthorn		4	Proposed Removal - Midwest Arbor
119	10	Hawthorn		4	Proposed Removal - Midwest Arbor
120	6	Hawthorn		4	Proposed Removal - Midwest Arbor
121	8	Hawthorn		4	Proposed Removal - Midwest Arbor
122	15	Norway Maple		3	Remove per good forestry practices, invasive
123	12	Norway Maple		3	Remove per good forestry practices, invasive
124	12	Norway Maple		3	Remove per good forestry practices, invasive
133	6	Norway Spruce		0 Recommend Removal	Proposed Removal - Midwest Arbor
137	6	Norway Spruce		0 Recommend Removal	Proposed Removal - Midwest Arbor
139	12	Blue Spruce		1 Recommend Removal	Proposed Removal - Midwest Arbor
145	10	American Beech		4	Proposed Removal - Midwest Arbor
146	10	Sugar Maple		3	Proposed Removal - Midwest Arbor
147	18	Honey Locust		4	Proposed Removal - Midwest Arbor
148	15	Honey Locust		4	Proposed Removal - Midwest Arbor
149	15	Honey Locust		4	Proposed Removal - Midwest Arbor
150	15	Honey Locust		4	Proposed Removal - Midwest Arbor
151	12	Norway Spruce		0 Recommend Removal	Proposed Removal - Midwest Arbor
155	14	Norway Spruce		3	Proposed Removal - Midwest Arbor
156	6	Blue Spruce		0 Recommend Removal	Proposed Removal - Midwest Arbor
157	10	Blue Spruce		2	Proposed Removal - Midwest Arbor
158	8	Blue Spruce		2	Proposed Removal - Midwest Arbor
159	10	Blue Spruce		2	Proposed Removal - Midwest Arbor
160	8	Blue Spruce		2	Proposed Removal - Midwest Arbor
161	21	Norway Maple		3	Remove per good forestry practices, invasive
162	21	Norway Maple		3	Remove per good forestry practices, invasive
E	6	Lilac		4 No tag	Proposed Removal - Midwest Arbor
F	6	Lilac		4 No tag	Proposed Removal - Midwest Arbor
G	4	Lilac		4 No tag	Proposed Removal - Midwest Arbor
H	6	Lilac		4 No tag	Proposed Removal - Midwest Arbor
I	6	Lilac		4 No tag	Proposed Removal - Midwest Arbor
J	3	Japanese Maple		1 Recommend Removal/No tag	Proposed Removal - Midwest Arbor
K	4	Japanese Maple		3 No tag	Proposed Removal - Midwest Arbor
L	4	Japanese Maple		4 No tag	Proposed Removal - Midwest Arbor

TREE REMOVAL SURVEY

122 N GREEN BAY ROAD LAKE FOREST, IL 60045

	PLANT MATERIAL	SIZE	QUANTITY
1	ARBORVITAE - WESTERN	9'	3
2	ASPEN - QUAKING	3"	3
3	BEECH - AMERICAN	3"	1
4	BEECH - TRI COLOR EUROPEAN	2.5"	1
5	BIRCH - WHITESPIRE	9'	21
6	CRABAPPLE - JAPANESE FLOWERING	3"	1
7	DOGWOOD - CORNEALIAN CHERRY	6'	3
8	ELM - PRINCETON AMERICAN	3.5"	17
9	HORNBEAM - EUROPEAN	10'	3
10	JUNIPER - MOUNTBATTEN	5'	16
11	MAPLE - AUTUMN BLAZE	4'	2
12	MAPLE - JAPANESE BLOODGOOD	6'	1
13	MAPLE - SIENNA GLEN	4"	3
14	OAK - REGAL PRINCE ENGLISH	10'	3
15	OAK - SWAMP WHITE	4"	1
16	SERVICEBERRY	7'	1
17	SPRUCE - NORWAY	9'	16
18	WITCHHAZEL - COMMON	6'	14
19	YEW - CAPITATA	5'	7
20	BOTTLEBRUSH BUCKEYE	3'	20
21	BOXWOOD - GREEN MOUNTAIN	36"	8
22	BURNING BUSH - DWARF	4'	8
23	FOTHERGILLA - MOUNT AIRY	24"	11
24	HYDRANGEA - ANNABELLE	24"	35
25	HYDRANGEA - LIMELIGHT	30"	3
26	HYDRANGEA - LITTLE LIME	24"	41
27	HYDRANGEA - TARDIVA	30"	10
28	VIBURNUM - DOUBLEFILE	30"	9
29	VIBURNUM - FRAGRANT	36"	23
30	VIBURNUM - KOREANSPICE DWARF	30"	21
31	VIBURNUM - MOHICAN	36"	10
32	WEIGELA - WINE AND ROSES	24"	3
33	ALLIUM - MILLENIUM	1 gal	84
34	AMSONIA - BLUE STAR	1 gal	353
35	ASTILBE - BRIDAL VEIL	1 gal	228
36	ASTILBE - VISIONS IN WHITE	1 gal	353
37	CALAMINTHA - MONTROSE WHITE	1 gal	353
38	CATMINT - WALKERS LOW	1 gal	84
39	FERN - OSTRICH	1 gal	52
40	GERANIUM - BIKOVO	1 gal	84
41	GERANIUM - ROZANNE	1 gal	353
42	GRASS - AUTUMN MOOR	1 gal	53
43	GRASS - CARTEX PENNSYLVANICA	1 gal	353
44	GRASS - FOUNTAIN DWARF	1 gal	125
45	GRASS - KARL FORESTER	1 gal	47
46	GRASS - MAIDEN ADAGIO	1 gal	39
47	GRASS - TUFTED HAIR	1 gal	102
48	HOSTA - ELEGANS	1 gal	68
49	LADYS MANTLE	1 gal	421
50	LAMBS EAR - BIG EARS	1 gal	84
51	LILYTURF - GREEN	Quarts	94
52	PACHYSANDRA	2.5" pots	125
53	PURPLELEAF WINTERCREEPER	2.5" pots	54
54	RUSSIAN SAGE - LITTLE LACE	1 gal	84
55	SALVIA - MAY NIGHT	1 gal	353



LANDSCAPING PLAN



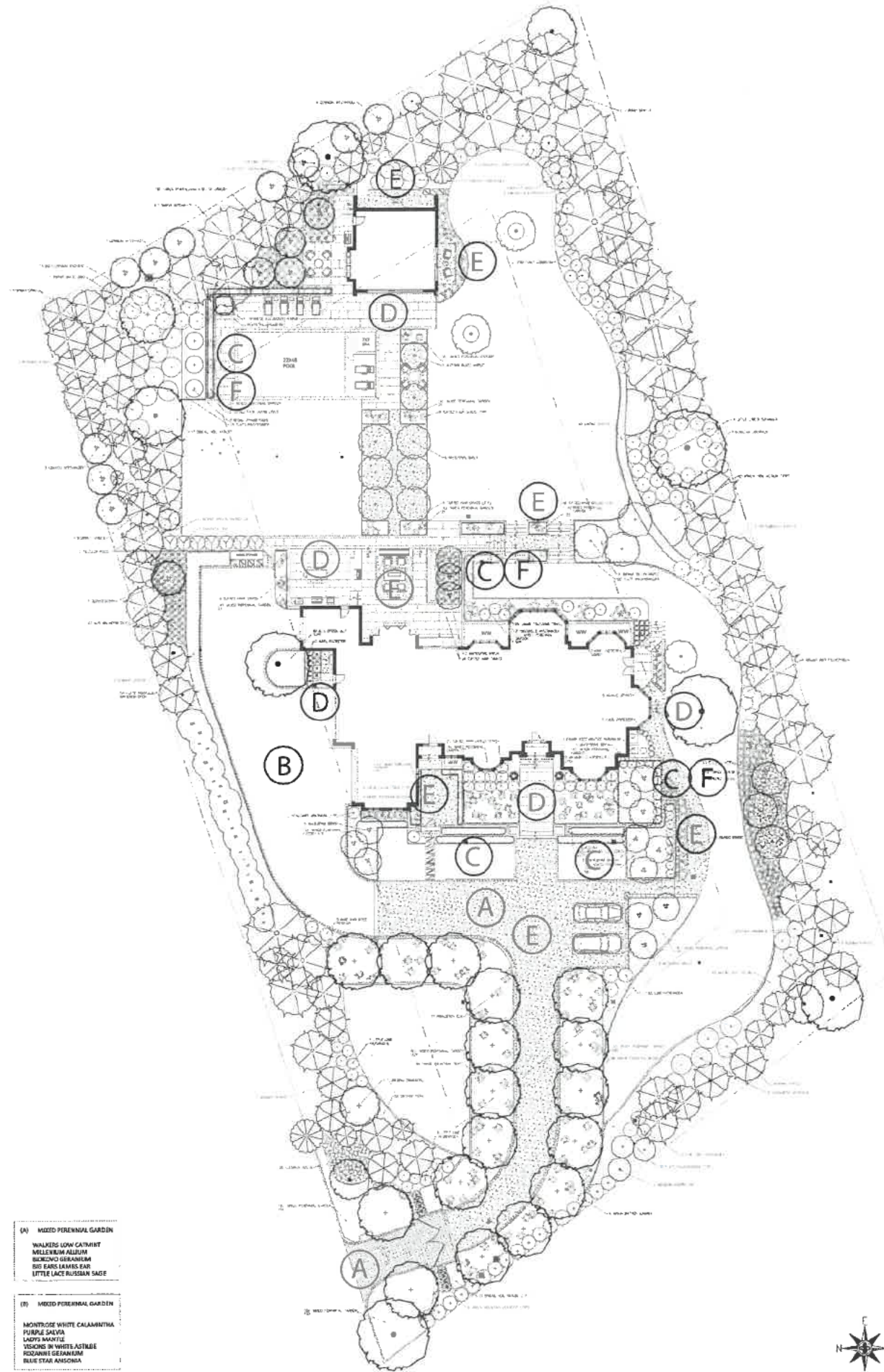
(A) GRANITE COBBLE



(B) ASPHALT



(C) PAINTED BRICK TO MATCH HOME



- (A) MIXED PERENNIAL GARDEN
WALKERS LOW CATMINT
MILLETGRASS ALLIUM
BURNING BUSH
BIG EAR LEAF
LITTLE LACE FLORIBUNDA
- (B) MIXED PERENNIAL GARDEN
MONTICLOSE WHITE CALAMINT
PURPLE SALVIA
LADY'S MANTLE
YOUNG WIFE'S ASTER
ROZANNE GERANIUM
BLACK STAR ANEMONE



(D) VALDERS

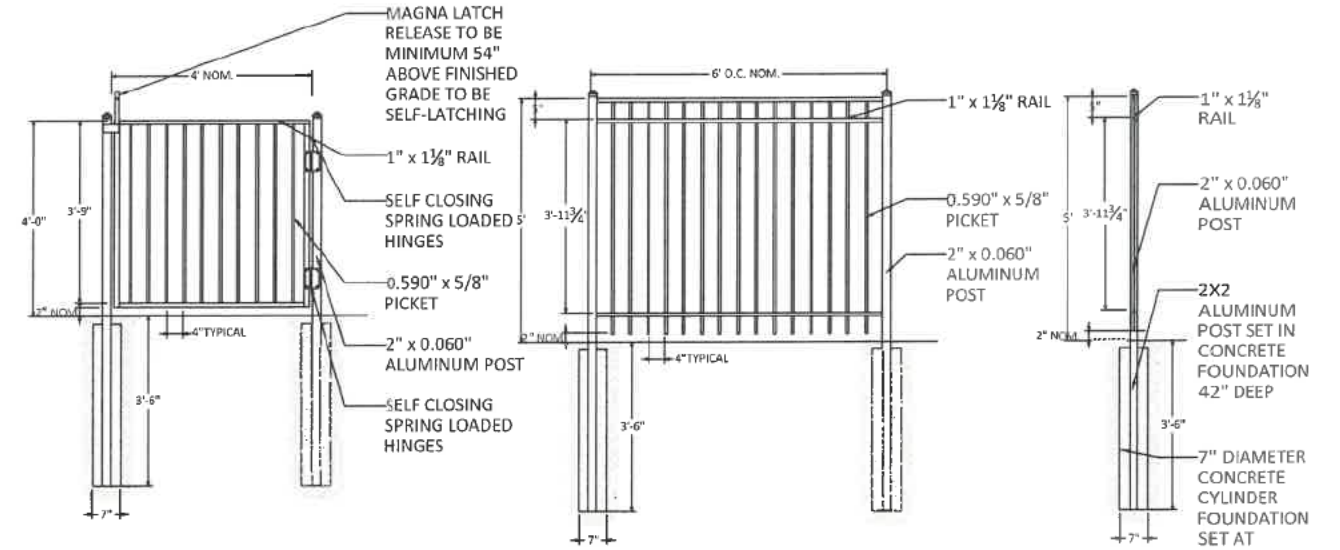
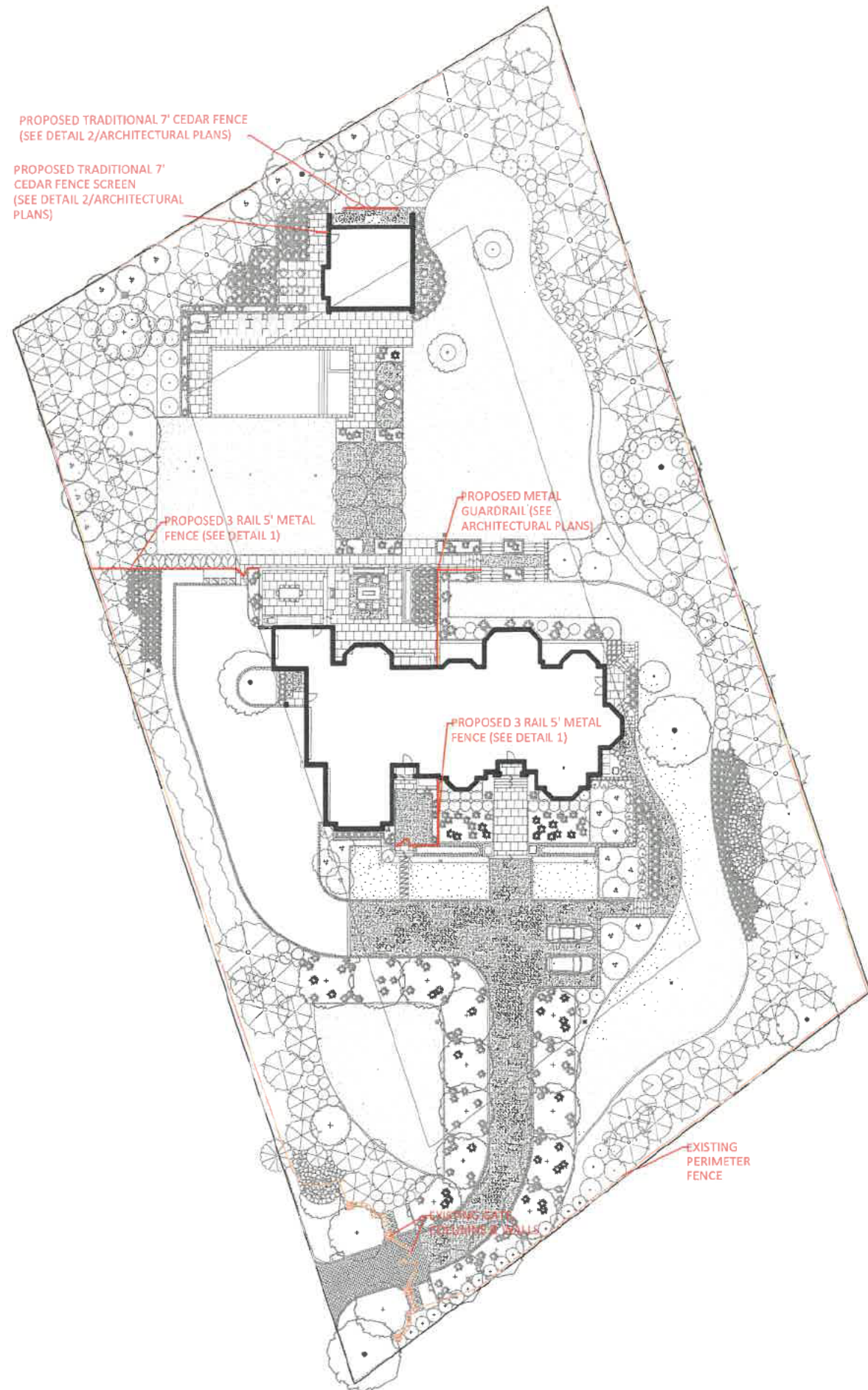


(E) BLUESTONE CHIP

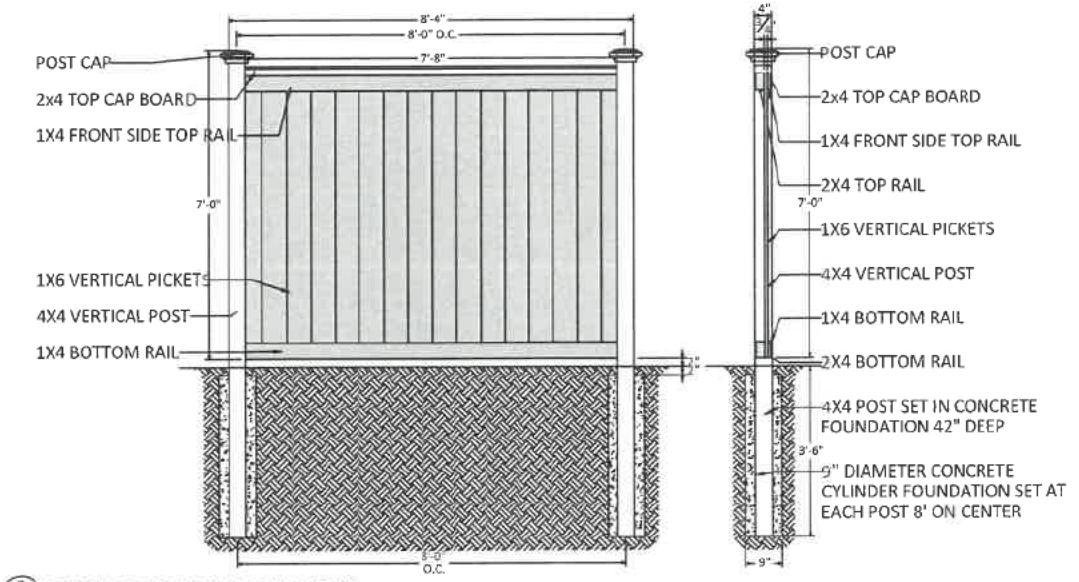


(F) LIMESTONE

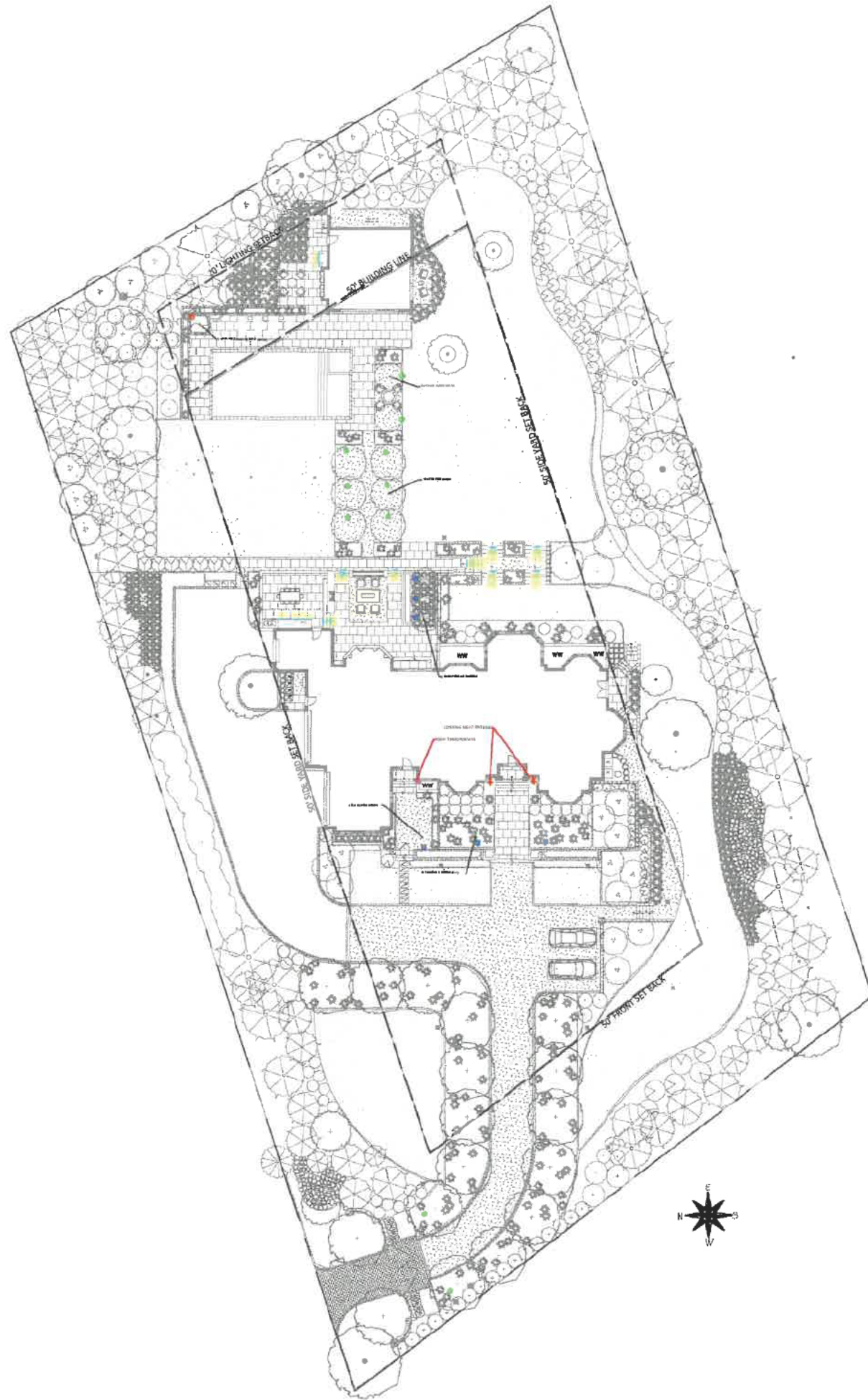
HARDSCAPING PLAN



1 5' ALUMINUM FENCE
SCALE: 3/8" = 1'-0"



2 TYPICAL 7' TRADITIONAL CEDAR FENCE
SCALE: 3/8" = 1'-0"



INSTALLATION NOTES:

1. THE PROPOSED LIGHTING FIXTURE SHALL BE A CYLINDER, CONE OR OTHER SIMILAR RECESSED TYPE LAMP FIXTURE WITH A MATTE, NON-REFLECTIVE INTERIOR WALL.
2. THE PROPOSED FIXTURE SHALL BE THE TYPE THAT CAN BE ADJUSTED AND LOCKED INTO POSITION AS REFLECTED ON THE APPROVED LIGHTING PLAN.
3. THE DIRECTION OF ALL LIGHT SOURCES SHALL BE AIMED INSIDE THE PROPERTY LINE SETBACKS.
4. LIGHT FIXTURES SHALL NOT BE LOCATED WITHIN THE SIDE YARD SETBACKS OR WITHIN THE REAR YARD SETBACKS OR 20 FEET OF THE REAR PROPERTY LINE, WHICHEVER IS LESS.
5. AT ALL PROPERTY LINES, THE LEVEL OF LIGHT SHALL NOT EXCEED 0.5 FOOT-CANDLES.
6. THE TOTAL NUMBER OF EXTERIOR LAMPS LOCATED IN FRONT OF THE HOUSE (DEFINED AS INCLUDING THE FRONT FACADE OF THE MAIN HOUSE AND EXTENDING OUTWARD TO THE FRONT PROPERTY LINE) SHALL BE 10 LAMPS OR LESS.
7. NO LIGHTS SHALL BE MOUNTED IN TREES OR ON POLES AS DOWN LIGHTING.
8. ALL LIGHTING, EXCEPT SECURITY AND ENTRANCE DOOR LIGHTING, SHALL BE CONTROLLED BY TIMERS AND SHALL BE SET TO GO OFF NO LATER THAN 11 PM.
9. SECURITY LIGHTING SHALL BE CONTROLLED AND ACTIVATED BY THE SECURITY ALARM SYSTEM OR A "PANIC BUTTON."

Lighting	
	TRANSFORMER
	UP-LIGHT - SMALL 35 DEGREE (8W)
	UP-LIGHT - SMALL 60 DEGREE (8W)
	12" HARDSCAPE LIGHT (2.9W)
	LARGE TREE UP-LIGHT - 35 DEGREE (12W)
	LARGE TREE UP-LIGHT - 60 DEGREE (12W)
	PATH-LIGHT (2W)

Agenda Item 5
61 South Stonegate Road
Demolition – No Replacement Structure

Staff Report
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application

Statement of Intent

Plat of Survey

Exterior Photos

Conceptual Landscaping Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and Members of the Historic Preservation Commission
DATE:	June 26, 2024
FROM:	Abigail Vollmers, Senior Planner Community Development
SUBJECT:	61 South Stonegate Road – Demolition of Existing Residence and Attached Garage – Property to be Consolidated with Adjacent Lot

Property Owners

Susan Svigos Revocable Trust

Property Location

East side of Stonegate Road, south of Illinois Road

Historic Districts

East Lake Forest Local & National Register Historic Districts

Representative

Paul & Susan Svigos

Summary of the Request

This is a request for a Certificate of Appropriateness to authorize the demolition of the existing residence and attached garage at 61 South Stonegate Road. No replacement structure or redevelopment of the 1.37-acre property is proposed. The owners intend to re-combine the property with the adjacent parcel to the east, 57 S. Stonegate Road, on which their home is located and rework the current driveway of their adjacent property at 57 South Stonegate Road to eliminate a blind corner and provide an approach that is more fitting for their significant historic home. , and The new drive will be located approximately where the current house at 61 South Stonegate Road is located. The 61 and 57 Stonegate Road properties will function as a single zoning lot.

Description of the Property and Surrounding Area

The property is located on the east side of Stonegate Road and is lot 4 in the Robert H. Wilson subdivision was approved in 1956 and was formerly part of the Cramer estate known as "Rathmore". The original house was built in 1904, prior to the subdivision of the property. The house on the 61 South Stonegate property was built in 1983-1984 by Lowell Homes, the architect was James M. Goldberg and is sited directly in front of the original home.

The home at 61 South Stonegate Road is a simple contemporary Aspen styled house with vertical wood siding, an asphalt shingle roof, and modest sized windows. There are no distinguishing architectural features of the house, and the surrounding landscape is managed but not ornate or overly well done.

The Svigos recently purchased the property with the intent of restoring in part the original more expansive land area around their home. The petitioners wish to raze the home in order to return the driveway to their historic house back to its likely original approximate location. After the house is demolished, a driveway plan and landscaping plan will be developed by the petitioners and will be subject to review and approval prior to any work proceeding to reconfigure the driveway.

Staff Review

The Historic Preservation Commission is charged with preserving and protecting structures and sites having a special historical, community or architectural interest or value to the community. The Commission is *not* charged with preserving all old structures. In fact, the integrity of the City's preservation ordinance itself is protected and strengthened through the due diligence with which the Commission considers each unique property and request. It is essential that the Commission is selective about determining which structures are worth preserving, those that are found to have a high level of historic importance, to be of exceptional architectural design with pure and accurate detailing, and constructed of quality materials. Neglect is not justification for demolition, however, the Commission is charged with looking beyond current conditions and considering the "bones" of structures, the original grandeur, the importance of the original or subsequent architects, and changes made over time and whether or not they served to preserve the historic integrity of the property.

Demolition

A review of the standards for demolition is provided below.

Demolition Criteria 1 -- Whether the property, structure or object is of such historic, cultural, architectural or archaeological significance that its demolition would be detrimental to the public interest and contrary to the general welfare of the people of the city and the state.

This structure, the residence and attached garage, is not historic. The residence was constructed in 1983 and owes its historical importance to the neighboring estate home at 57 South Stonegate Road, which is not being altered with the exception of modification to the driveway approach to the historic home. Removal of the 57 South Stonegate house will allow a driveway that likely will approximate the original driveway approach to be re-established.

Demolition Criteria 2 -- Whether the property, structure or object contributes to the distinctive historic, cultural, architectural or archeological character of the District as a whole and should be preserved for the benefit of the people of the city and the state.

There is no distinctive, cultural, or archeological character in this house worth preserving. The property itself, not the residence, contributes to the Historic District because of its location. The area around the house has been relandscaped with crab trees and spruce trees which are likely the same age as the house, many of which will be lost during the demolition, but are not of significant value. Re-landscaping will be done concurrent with establishing a reconfigured driveway.

Demolition Criteria 3 -- Whether demolition of the property, structure or object would be contrary to the purpose and intent of this Chapter and to the objectives of the historic preservation for the applicable District.

The property on which the residence is located is on a secluded street and acts as an obstruction in front of the historic Rathmore estate home. Demolition of this house is consistent with the objectives of the historic preservation ordinance and the East Lake

Forest Historical District. In fact, demolition of the house will strengthen the historic integrity of the original residence by returning the driveway approach to a more appropriate location in relation to the historic residence at 57 South Stonegate Road.

Demolition Criteria 4 -- Whether the property, structure or object is of such old, unusual or uncommon design, texture, and/or material that it could not be reproduced without great difficulty and/or expense.

The residence is not of such old, unusual, or uncommon design, texture, or material that it could not be reproduced without great difficulty or expense.

Demolition Criteria 5 -- Except in cases where the owner has no plans for a period of up to five years to replace an existing Landmark or property, structure or object in a District, no Certificate of Appropriateness shall be issued until plans for a replacement structure or object have been reviewed and approved by the Commission.

The current owners have no plans to replace the existing residence, no replacement structure is envisioned or designed. The owners do not have plans to construct a replacement structure on the property now or within five years.

If the demolition is approved, the structures on the 61 South Stonegate property will be removed along with the hardscape associated with the residence. All debris will be removed from the site. The site will be level graded, filled and compacted. The demolition will allow for future rework of the driveway and landscaping for 57 South Stonegate Road.

Although no redevelopment is planned by the owners, any future redevelopment of the site will require review and approval through the appropriate City processes.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at five public locations and on the City's website. As of the date of this writing, one comment in support of the demolition has been received and is included in the Commission's packet.

Recommendation

Based on the findings detailed in this staff report and incorporating the information submitted by the petitioner, staff recommends approval of a Certificate of Appropriateness authorizing the demolition of the residence and attached garage at 61 South Stonegate Road subject to the following conditions.

1. Until demolition occurs, the structure must remain secure, all windows and doors closed and locked to prevent unauthorized entry. General maintenance of the structure and overall property shall continue in compliance with all Code requirements.
2. During demolition activity, all trees and vegetation, unless approved before removal by the City's Certified Arborist, shall be protected from damage. If

determined to be necessary by the City's Certified Arborist, significant trees, if any, close to the areas of demolition activity shall be treated with pre and post construction measures to increase the chances of long-term survival.

3. The residence shall be removed in its entirety, including the basement and the site cleared of all debris. The area of the basement shall be filled with material approved by the City and graded even with existing grades on the site. The fill shall be compacted as directed by the City.
4. Beyond the footprint of the house, grades shall not be altered during demolition activity.
5. On an ongoing basis, before, during and after demolition, the property must be maintained. All grass shall be mowed on a regular basis and trees, shrubs and other vegetation shall be regularly maintained to avoid the appearance of an unkempt or overgrown property.
6. Any future redevelopment of the property will require review through all appropriate City processes.

STATEMENT OF INTENT

We have owned 57 South Stonegate Road "Rathmore" a historic property built in 1897 since 1994. We have recently purchased 61 South Stonegate Road. The property was subdivided from 57 South Stonegate Rathmore estate and a home was built on the property in 1983.

Our intent is to demolish the home built in 1983 and reincorporate the land to restore the historical architectural integrity of 57 South Stonegate Road. The driveway and entry to 57 South Stonegate Road will be situated through the 61 South Stonegate property in its original state prior to subdivision.

DEMOLITION CRITERIA

Our proposed plan to demolish the home on 61 South Stonegate Road meets all demolition criteria. The intent of demolition is to restore the distinctive historic architectural character and integrity of 57 South Stonegate as built in 1897. The home built in 1983 on 61 South Stonegate Road has no architectural significance. The home sits on property subdivided from the 1897 57 South Stonegate Road Rathmore estate.



THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS

PROJECT ADDRESS 61 S. Stonegate Road

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District Green Bay Road District Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District Other

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

Susan Siggs Revocable Trust
Owner of Property

N/A
Name and Title of Person Presenting Project

57 S. Stonegate
Owner's Street Address (may be different from project address)

Name of Firm

Lake Forest, IL 60045
City, State and Zip Code

Street Address

847.630.7129
Phone Number Fax Number

City, State and Zip Code

Susan@Siggs.com
Email Address

Phone Number Fax Number

[Signature]
Owner's Signature

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
Please email a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBER <u>360-62.3643</u>	TRUSTEE INFORMATION
	Name <u>Susan Svigos</u>
	Firm _____
	Address <u>57 S. Stonegate Road</u>
	<u>Lake Forest</u>
	Phone <u>847.630.7129</u>

Beneficiaries

Name <u>PAUL SVIGOS</u>	Name _____
Address <u>57 S. Stonegate</u>	Address _____
<u>Lake Forest</u>	
Trust Interest <u>100%</u>	Trust Interest _____%

UPON DEATH

Name <u>James Svigos</u>	Name <u>Elaine Svigos</u>
Address <u>1855 N Sheffield</u>	Address <u>1055 57 S. Stonegate</u>
<u>- Chicago</u>	<u>Lake Forest</u>
Trust Interest <u>25%</u>	Trust Interest <u>25%</u>

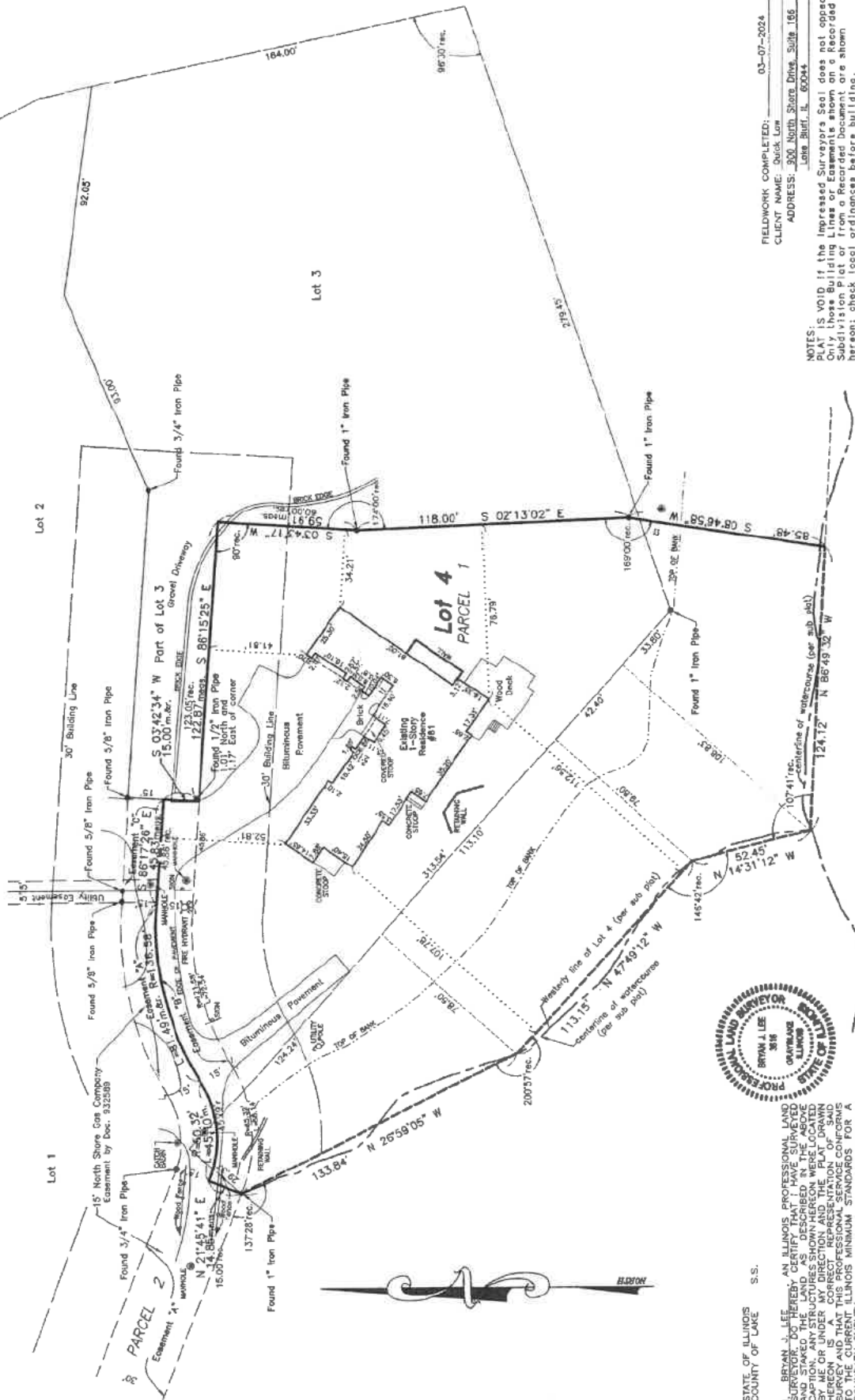
Name <u>Alexander Svigos</u>	Name <u>Faith Svigos</u>
Address <u>1855 N Sheffield</u>	Address <u>1855 N Sheffield</u>
<u>- Chicago</u>	<u>Chicago</u>
Trust Interest <u>25%</u>	Trust Interest <u>25%</u>

PLAT OF SURVEY

THE PREMISES COMMONLY KNOWN AS:
61 STONEGATE ROAD, LAKE FOREST, IL
PARCEL AREA = 89,202 S.F.
PIN: 16-03-201-008

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 30 FEET WIDE AS SHOWN AS EASEMENTS "A", "B" AND "C" ON THE PLAT OF ROBERT H. WILSON'S SUBDIVISION, AFORESAID, AS GRANTED BY DECLARATION OF PROTECTIVE COVENANTS RECORDED OCTOBER 26, 1956 AS DOCUMENT 928491, IN LAKE COUNTY, ILLINOIS

PARCEL 1: LOT 4 IN ROBERT H. WILSON'S SUBDIVISION OF PARTS OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 43 NORTH, RANGE 2 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 31, 1956 AS DOCUMENT 925470 IN BOOK 33 OF PLATS, PAGE 130, IN LAKE COUNTY, ILLINOIS.



FIELDWORK COMPLETED: 03-07-2024
CLIENT NAME: David Lee
ADDRESS: 300 North Shore Drive, Suite 196
Lake Bluff, IL 60044

NOTES: IS VOID if the Increased Surveyors Seal does not appear. Only those Building Lines or Easements shown on a Recorded Subdivision Plat or from a Recorded Document are shown hereon; check local ordinance before building.
Compare your description and site markings with this plat AT ONCE report any discrepancies which you may find.

R.E. ALLEN AND ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYORS
1015 N. CORPORATE CIRCLE, SUITE C
GRAYSLAKE, ILLINOIS 60030
PHONE: 847-223-0814 FAX: 847-223-0980



STATE OF ILLINOIS
COUNTY OF LAKE S.S.
BRYAN J. LEE
AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT I HAVE SURVEYED AND STAKED THE LAND AS DESCRIBED IN THE ABOVE CAPTION, AND THE STRUCTURES SHOWN HEREON WERE LOCATED HEREON BY ME OR UNDER MY SUPERVISION AND SAID SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
DATED AT GRAYSLAKE, ILLINOIS THIS 14th DAY OF MARCH, A.D. 20 24

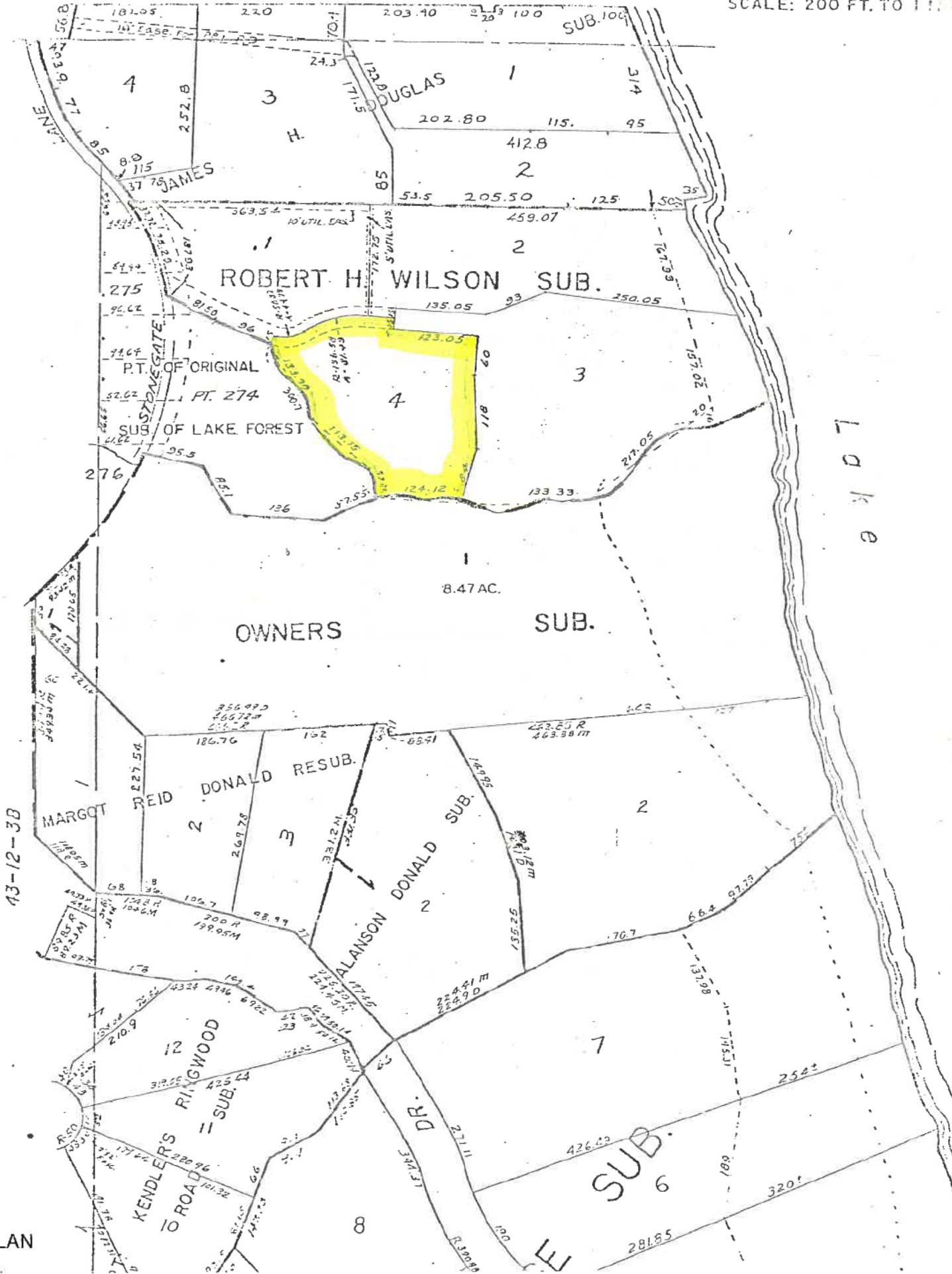
ILLINOIS PROFESSIONAL LAND SURVEYOR 35-3616
MY LICENSE EXPIRES 11-30-24
PROFESSIONAL DESIGN FIRM NO. 184-002732

Scale: 1" = 20'
FILE NO. 31-24
F3124.DWG

REVISED SURVEY 03-20-2024 B.J.L.

44-12-34D

SCALE: 200 FT. TO 1" = 100'



SITE PLAN



61 SOUTH STONEGATE ROAD

EXISTING HOUSE TO BE DEMOLISHED



61 SOUTH STONEGATE ROAD

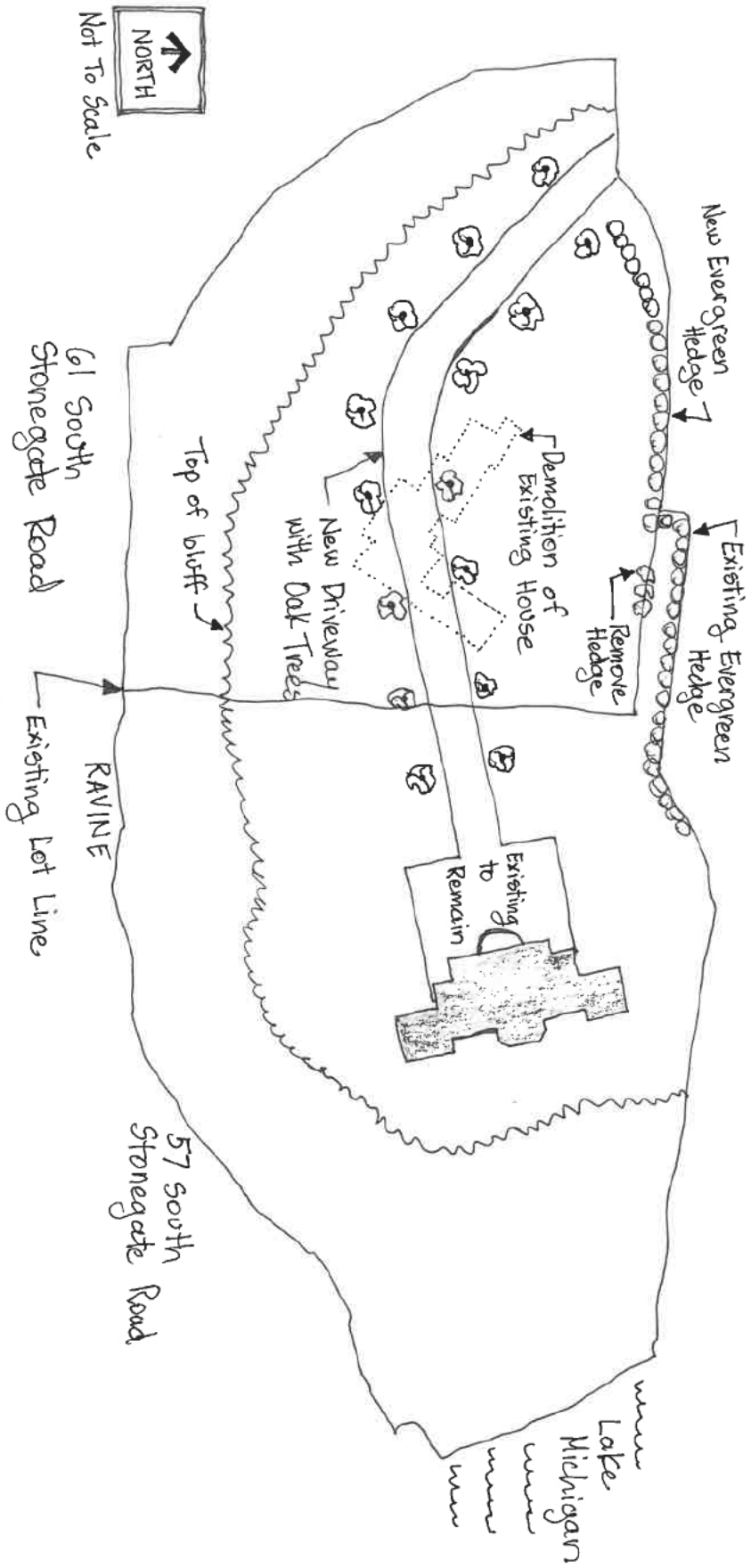
EXISTING HOUSE TO BE DEMOLISHED



61 SOUTH STONEGATE ROAD

EXISTING HOUSE TO BE DEMOLISHED

CONCEPTUAL SITE PLAN



Agenda Item 6
605 East College Road
Replacement Roof with Synthetic Shingles

Staff Report
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Plat of Survey
Statement of Intent
Checklist
2014 Tree Removal Plan
House Photo

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



STAFF REPORT AND RECOMMENDATION

TO:	Chairman Grinnell and members of the Historic Preservation Commission
DATE:	June 26, 2024
FROM:	Abigail Vollmers, Senior Planner
SUBJECT:	605 East College Road – Proposed Roof Replacement with Non-Historic Synthetic Material

Petitioners

Dr Mani and Dana Kumar
605 East College Road
Lake Forest, IL 60045

Property Location

SE Corner of College and
Washington Roads

Historic Districts

East Lake Forest Local &
National Historic District

Project Representative

Dr Mani and Dan Kumar

Summary of the Petition

The petitioners are requesting a Certificate of Appropriateness to allow replacement of the existing cedar shingle roof with a synthetic material. The house was designed by a significant architect and is considered a Contributing Structure to the historic district and consistent with the established procedures, is presented to the Commission for review.

Description of Property and Surrounding Area

This property, "Linden Lodge" is located on the southeast corner of College and Washington Roads and is just over an acre in size. The residence was designed by Frost and Granger and constructed in 1903 for former Lake Forest Mayor Henry Calvin Durand and his wife, Alice Platt Durand. The residence is identified as a Contributing Structure to the Historic District. Frost and Granger also designed Lake Forest City Hall in 1898 and many of the train stations along the North Shore and are listed on the Significant Architects List of Lake Forest.

Earlier this year, the Commission granted a Certificate of Appropriateness approving a porch addition, a connection between the residence and the garage, and related alterations. A cedar roof was specified on the plans submitted for that project.

Permit records in the City's archive show that a roof replacement permit was issued in May of 1993 for an asphalt shingle roof and in 2001, another permit was issued for a roof replacement. The cedar roof installed by the previous owners in 2001 appears to be the roof that exists on the home today. Early photos of the house show a monolithic appearing roof, more typical of asphalt than cedar roofing.

The strong simple façade of the house lends itself to either a cedar shake roof or an asphalt roof. This house being a significant Contributing Structure to the Historic District is subject to the expectation of maintaining the authentic historic materiality of the house, which is a factor in this roofing material decision. Staff believe the asphalt roofing material is more historically appropriate for the structure given the historic use and look of the material. The synthetic shingle material being proposed is one of the best product options available, but use of it would be an alternate material selection, not a replacement in kind.

Staff Evaluation

In considering applications for a Certificate of Appropriateness, the Commission is charged with applying the 17 Standards in the Historic Preservation chapter of the City Code. In the case of this petition, only a limited number of the Commission's standards apply. The applicable standards are highlighted below.

Findings

A staff review of the Historic Preservation standards in the City Code is provided below. As appropriate, findings in response to the standards are offered for the Commission's consideration.

Standard 1 – Height

This standard is not applicable to the petition. No changes are proposed to the height of the house.

Standard 2 – Proportion of Front Façade

This standard is not applicable to the petition. No changes are proposed to the proportions of the front façade.

Standard 3 – Proportion of Openings

This standard is not applicable to the petition. No changes are proposed to the proportions of the openings.

Standard 4 Rhythm of Solids to Voids

This standard is not applicable to the petition. No changes are proposed to the rhythm of solids to voids.

Standard 5 – Spacing on the Street

This standard is not applicable to the petition. No changes are proposed to the size or mass of the home, there is no change to the spacing of structures on the streetscape.

Standard 6 – Rhythm of Entrance Porches

This standard is not applicable to the petition. No changes are proposed to the entrance to the home.

Standard 7 – Relationship of Materials and Texture - The relationship of the materials and texture of the facade shall be visually compatible with the predominant materials used in the structures to which it is visually related.

The standard is mostly met. The proposed synthetic roofing material is a match in size to the current roof shakes. The look of the material mimics the existing cedar shakes but will look shinier and will be discernable as a synthetic product to the trained eye.

Standard 8 – Roof Shapes.

This standard is not applicable to the petition. No changes are proposed to the roof shape of the home.

Standard 9 – Walls of continuity – Facades, sites, and structures shall, when it is characteristic of the area, form cohesive walls of enclosure along a street, to ensure visual compatibility with the properties, structures, sites, public ways, objects and places to which such elements are visually related.

This standard is not met. In 2014 twelve trees were removed from the property by the previous owner, ten of which were American Ash trees, all of which were dead. These trees formed a landscaping buffer between the streetscape and the house. A condition of approval is recommended if the synthetic roof replacement is approved requiring plantings of additional trees on the site to, over time, soften views of the synthetic roof from the streetscapes. Submittal of a tree planting will be required and will be subject to review and approval by the City's Certified Arborist and the trees will need to be planted during the first available planting season and before the roofing permit can be closed out.

Standard 10 – Scale.

This standard is not applicable to the petition. No changes are proposed to the size or height of the home.

Standard 11 – Directional Expression of Front Elevation

This standard is not applicable to the petition. No changes are proposed to the directional expression of the front elevation.

Standard 12 – Preservation of Historic Material - The distinguishing original qualities or character of a property, structure, site or object and its environment shall not be destroyed or adversely affected in a material way. The alteration of any historic material or distinctive architectural features should be avoided when possible.

This standard is met. The existing roof material is neither original, nor historic. Replacement does not impact the overall character of the house, however, it would be an alternate material selection in lieu of a historically appropriate choice.

Standard 13 – Preservation of natural resources

This standard is not applicable to this petition. No tree or vegetation removal is proposed as part of this request.

Standard 14 – Compatibility of New Construction - In considering new construction, the Commission shall not impose a requirement for the use of a single architectural style or period, though it may impose a requirement for consistency with the chosen style.

This standard is not applicable.

Standard 15 – Repair to deteriorated features - Deteriorated architectural features shall be repaired rather than replaced, wherever possible, in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. In the event replacement is necessary, the new material need not be identical to but should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

This standard is not applicable as roofs are replaced periodically as a best practice.

Standard 16 – Surface cleaning.

This standard is not applicable to this request. Cleaning of the existing cedar roof shingles, which, according to City records were installed in 2001 is not proposed or appropriate due to the deteriorating condition of the shingles. A useful life of approximately 23 years is reasonable for cedar shingles.

Standard 17 – Reversibility of additions and alterations - Wherever possible, additions or alterations to historic properties shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the historic property would not be impaired.

This standard is met. The roof material can be removed in the future without impacting the essential form of the historic property. Any newly developed material without a proven track record is subject to the risk of potential failure over time. The replacement process for a failed roof is straightforward and the responsibility falls on the homeowner to remediate.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and residents and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no additional correspondence was received regarding this request.

Recommendation

Grant a Certificate of Appropriateness approving the synthetic roof product with the characteristics as specifically proposed in this petition by adopting the above findings as the basis for the Commission's decision.

AND

Acknowledge that the cedar roof reflected on the plans recently approved for a porch addition and related improvements will be modified to reflect a synthetic product consistent with the roof on the main part of the house.

The recommendation includes the following conditions of approval.

1. Submit a tree planting plan to, over time, enhance the buffer along College and Washington Roads. Species should be selected to provide a medium to tall visual buffer to the roof. Tree species and size at time of planting shall be detailed on the plan. The plan will be subject to review and approval by the City's Certified Arborist. Plantings shall be completed during the first available planting season after issuance of the roof replacement permit and shall be completed before the roof permit is finalized and closed.
2. City staff is directed to issue a revised Certificate of Appropriateness for the porch addition approved at the February 28, 2024 meeting to change the roofing material from cedar shakes to synthetic roofing material.
3. Submit a tree protection plan as needed and a construction parking and staging plan. The plans shall be subject to City approval prior to the issuance of building permits. On street parking is permitted however, the street must remain passable at all times and access to all neighboring driveways must be unobstructed.



Area of Request
605 College Road



**THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

PROJECT ADDRESS 605 College Road, Lake Forest, IL

APPLICATION TYPE synthetic Roof Request

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input checked="" type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

HISTORIC DISTRICT OR LOCAL LANDMARK (leave blank if unknown)

- East Lake Forest District
 Green Bay Road District
 Vine/Oakwood/Green Bay Road District
 Local Landmark Property or District
 Other

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

Dr Mani and Mrs Dana Kumar
Owner of Property

Name and Title of Person Presenting Project

605 College Road
Owner's Street Address (may be different from project address)

Name of Firm

Lake Forest, IL 60045
City, State and Zip Code

Street Address

Phone Number

Fax Number

City, State and Zip Code

Email Address

Phone Number

Fax Number

Email Address

Owner's Signature

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBER _____ Veeramani Kumar 2019 Trust	TRUSTEE INFORMATION Name <u>Veeramani Kumar</u> Firm _____ Address <u>605 College Rd. Lake Forest IL 60045</u> Phone [REDACTED]
--	--

Beneficiaries

Name <u>Dana E. Kumar</u> Address <u>605 College Rd. LF, IL 60045</u> Trust Interest <u>100</u> %	Name _____ Address _____ Trust Interest _____ %
---	---

Name _____ Address _____ Trust Interest _____ %	Name _____ Address _____ Trust Interest _____ %
---	---

Name _____ Address _____ Trust Interest _____ %	Name _____ Address _____ Trust Interest _____ %
---	---

TRUST OWNERSHIP (EXHIBIT C)

Please list the Trust number and name and address of the Trustee, as well as the names and addresses of all beneficiaries of the Trust, together with their respective interests in the Trust. The application shall be further verified by the applicant in his capacity as Trustee or by the beneficiary as a beneficial owner of an interest in the Trust and the application shall be signed individually by as many beneficiaries as are necessary to constitute greater than 50% ownership of the beneficial interest of the trust.

TRUST NUMBER _____ Dana E. Krueger 2015 Trust	TRUSTEE INFORMATION Name <u>Dana E. Kumar</u> Firm _____ Address <u>605 College Rd. Lake Forest IL 60045</u> Phone _____
--	---

Beneficiaries

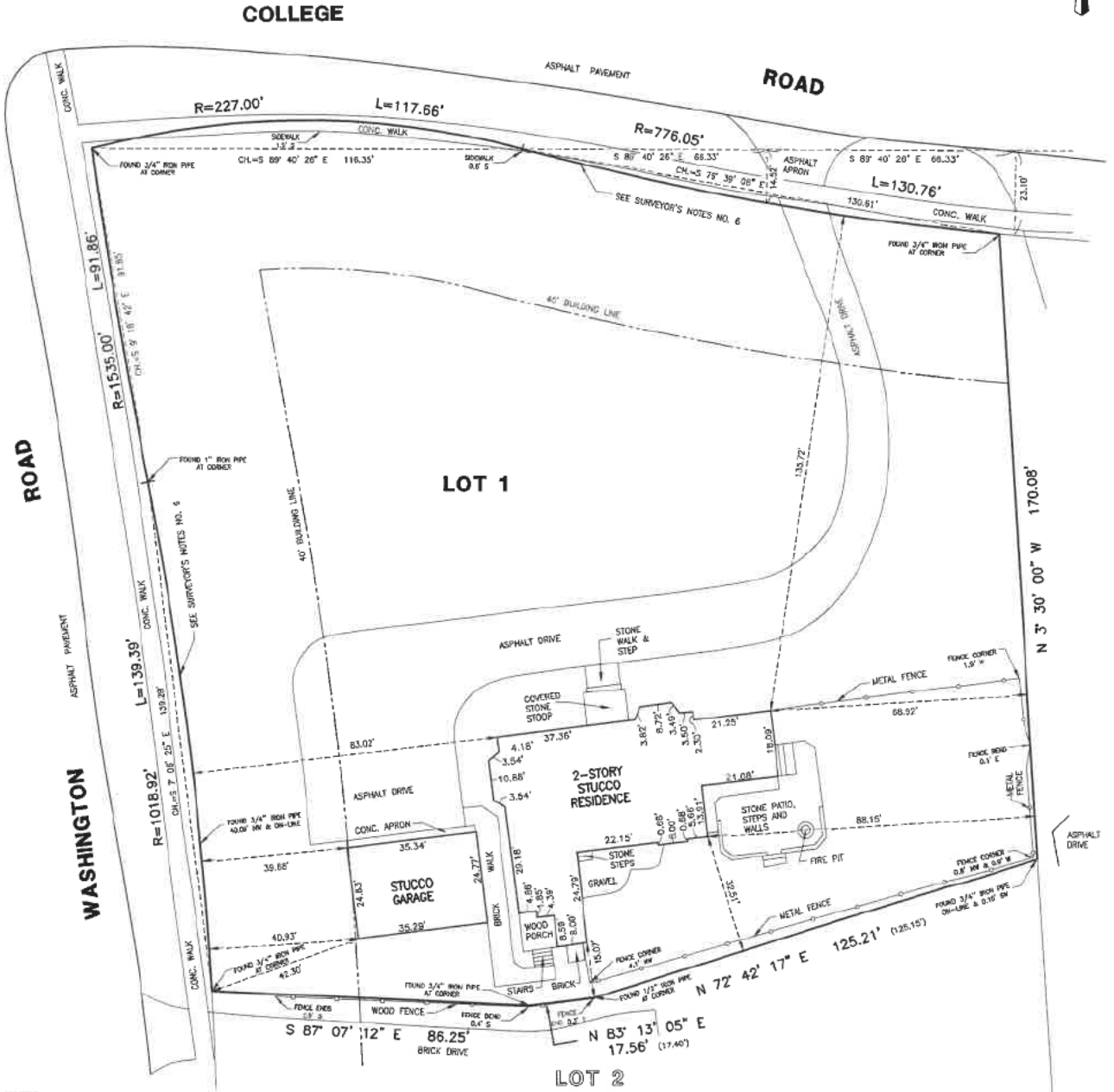
Name <u>Veeramani Kumar</u> Address <u>605 College Rd. LF, IL 60045</u> Trust Interest <u>100</u> %	Name _____ Address _____ Trust Interest _____ %
---	---

Name _____ Address _____ Trust Interest _____ %	Name _____ Address _____ Trust Interest _____ %
---	---

Name _____ Address _____ Trust Interest _____ %	Name _____ Address _____ Trust Interest _____ %
---	---

PLAT OF SURVEY

LOT 1 IN J. CLIFFORD COSGROVE SUBDIVISION, IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 44 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED FEBRUARY 2, 1978, IN BOOK 64 OF PLATS, PAGE 14, AS DOCUMENT 1886197, IN LAKE COUNTY, ILLINOIS.



SURVEYORS NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- () DENOTES RECORD DIMENSION.
- BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
- ORIGINAL CLIENTS: DR. LARRY & SARAH KILMER
- ORIGINAL FIELD WORK COMPLETED: 09-25-23
- THERE WAS NO RADAR INFORMATION SUPPLIED ON THE RECORDED PLAT OF SUBDIVISION. RADAR INFORMATION SHOWN HEREON ALONG THE NORTHERLY LINE WAS ESTABLISHED FROM INFORMATION SHOWN ON SAID SUBDIVISION PLAT AND REFLECTED HEREON. THE WASTERLY LINES WERE ESTABLISHED FROM MONUMENTATION FOUND IN THE FIELD.

GENERAL NOTES:

- BEARINGS ARE MARKED BY TEST AND ORIGINAL PLACES THEREOF.
- NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- ONLY THOSE BUILDING LINE RETRACKS AND SUBMITTALS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TIE-INS, POINTS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT TITLED, LOCAL ORDINANCES, ORD. TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND BALANCELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

STATE OF ILLINOIS } SS
 COUNTY OF LAKE }

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 2ND DAY OF OCTOBER, A.D., 2023.



GREENGARD, INC.
 111 BARCLAY BOULEVARD, SUITE 310
 LINCOLNSHIRE, ILLINOIS 60069

Joseph R. Sadoski
 JOSEPH R. SADOSKI
 ILLINOIS
 PROFESSIONAL LAND SURVEYOR NO. 3316
 MY RENEWABLE LICENSE EXPIRES 11-30-24.

C:\p\16\1601760.dwg (Survey) (59176-58.dwg) Oct. 02, 2023 - 10:54am

DATE	REVISIONS	BY

GREENGARD, INC.
 Engineers • Surveyors • Planners
 111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
 PHONE: 847-634-3683 E-MAIL: 231@GREENGARDINC.COM
 FAX: 847-634-0887 ILL. REGISTRATION NO. 184-000993

SCALE	1"=20'
DRAWING NO.	69176
SHEET	1 of 1

605 COLLEGE ROAD - LAKE FOREST, ILLINOIS
PLAT OF SURVEY

Statement of Intent
605 College Road

Due to extensive hail storm damage, we need to replace our roof at 605 College Road. Like the Commission, we have conducted extensive research, held discussions with multiple roofers and manufacturers of synthetic roofing products, as well as Illinois Landmarks, and examined synthetic shake and slate roofs installed on homes in Lake Forest and the North Shore. We have concluded that the best option for our replacement roof at this time is to use a synthetic product for the following reasons:

1. We understand that old growth cedar is no longer available due to preservation efforts and Canadian forest fires. Accordingly, cedar shake currently available is not as strong as the cedar shake that has historically been used on roofs and is likely more susceptible to hail damage.
2. We are concerned about widespread reports that insurance companies are increasingly reluctant to insure cedar shake roofs, requiring cedar shake to be replaced after just ten years, refusing to renew insurance, significantly increasing premiums and even cancelling coverage. If we were to suffer another hailstorm, we are concerned that our insurance could be cancelled or could become prohibitively expensive.
3. The synthetic products have evolved significantly over the past five to seven years, do not require maintenance and have a 50-year warranty. The Brava products have undergone advanced weather testing in chambers where they are subjected to significant levels of UV, wind, rain and hail to ensure their durability and that they will retain their original appearance.
4. The synthetic products are an environmentally friendly product – made from recycled products and recyclable at the end of their life.
5. Because our home has an extensive setback from the road and has a very high roof, we do not believe that the streetscape would be negatively impacted in any way. We further believe that it would be extremely difficult to discern from the street whether our roofing was natural or synthetic.

We are not inclined to replace our roof with asphalt as we believe that an asphalt roof would detract from the beauty of the home. Whereas a synthetic shake roof that is practically, if not entirely indistinguishable from a cedar shake roof, would not detract from the home's distinguished appearance.

We do, however, understand that the Commission may be more amenable to the look of synthetic slate. A number of Frost and Grainger buildings at Lake Forest College have slate roofs. We would be open to using synthetic slate on our roof if the Commission prefers.

Having grown up in a historic home in Lake Forest, one of the reasons we fell in love with 605 College Road is because of the many historic features of the home. We intend to be good stewards of our home, but we do not believe that replacing the roof with a synthetic roof would in any way detract from the home's appearance or historic look and we are concerned that replacing the roof with cedar shake will impair our ability to do other required maintenance to the home.



Synthetic Roof Products in the Historic Districts/Local Landmarks – *Application Submittal Checklist*

The required submittal materials are listed below.

- APPLICATION (Permit Application or Application for Commission review)
- COMPLETED CHECKLIST
- SURVEY
- DESCRIPTION OF EXISTING ROOFING MATERIAL
 - Material Cedar
 - Thickness .45 inches thick
 - Color Natural Cedar
- SAMPLE OF PROPOSED MATERIAL AND COLOR
 - Shingle Brava Cedar shake
 - Ridge and end Caps Brava
- PRODUCT SPECIFICATIONS
 - Texture Rough, looks like cedar, feels like hard plastic
 - Composition Composite
 - Color (monotone or variation) Has not chosen color, customer is waiting to see what the city will approve.
 - Finish Matte
- INSTALLATION METHOD
 - Drawing indicating how product will be applied to front facing gables with visible edges, if any Front facing gable will look similar to existing. No rake pieces are being installed. See attached installation guide.
- FLASHING
 - Material Copper
 - Color Copper
- PHOTOS OF HOUSING INCLUDING PHOTOS FROM STREETScape
- ADDRESSES OF PROPERTIES WHERE PROPOSED PRODUCT IS INSTALLED (same color, texture and characteristics) 561 Washington Rd, Lake Forest; 321 Belle Forret Ct, Lake Bluff, 1175 Arbor Ct, Lake Bluff
- LANDSCAPE ENHANCEMENT PLAN
 - If house is prominent on the streetscape and views of the roof are not softened by landscaping

Please contact Abigail Vollmers, Senior Planner, for assistance and additional information.
vollmersa@cityoflakeforest.com or 847-810-3505
Last Updated: March 22, 2024



Synthetic Roof Products in the Historic Districts/Local Landmarks – *Review Standards*

Synthetic roof products will be evaluated based on the following standards.

- THICKNESS OF PROPOSED MATERIAL IN COMPARISON TO THE PRE-EXISTING ROOF MATERIAL**
Similar
- THICKNESS OF PROPOSED MATERIAL IN COMPARISON TO THE MATERIAL IT IS INTENDED TO IMITATE**
Similar
- MATTE FINISH**
Yes
- SOFT/LIGHT TONE – AVOID STARK COLORS THAT CALL ATTENTION**
We can match as close to natural cedar as possible.
- COMPOSITION OF THE ROOF MATERIAL INCLUDES SOME NATURAL MATERIALS (limited materials are acceptable)**
- IMITATION SLATE IS RECOMMENDED OVER IMITATION WOOD IF SUPPORTED BY THE ARCHITECTURAL STYLE OF THE RESIDENCE** *Ok*
- FLASHING COLOR BLENDS WITH AS OPPOSED TO CONTRASTS WITH THE COLOR OF THE ROOFING PRODUCT** *Ok*
- VARIATION IN PRODUCT – COLOR, WIDTH**
Slight variation in color to appear as natural cedar, widths range from 4" - 10 "
- VARIATION ALONG STREETScape – MUST BE SOME DISTINCTION FROM ROOFS ON ADJACENT PROPERTIES**
- ADEQUATE LANDSCAPING EXISTS ON THE STREETScape SIDE OF THE RESIDENCE TO SOFTEN PROMINENCE OF ROOF FROM THE STREETScape OR, A LANDSCAPE PLAN IS PROVIDED DETAILING ADDITIONAL PLANTINGS PROPOSED TO OVER TIME, SOFTEN THE PROMINENCE OF THE SYNTHETIC ROOF PRODUCT FROM THE STREETScape**

Please contact Abigail Vollmers, Senior Planner, for assistance and additional information.
vollmersa@cityoflakeforest.com or 847-810-3505
Last Updated: March 22, 2024

PLAT OF SURVEY

Lot 1 in "J. CLIFFORD CONROVE SUBDIVISION", of part of Sec 227 in Lake Forest, in the N. 1/2 of Section 23, Township 46 North, Range 17 East of the 3rd P.M. according to the Plat thereof recorded Feb. 2, 1978, in Book 44 of Plats, page 14, in Lake County, Illinois.

STATE OF ILLINOIS)
 COUNTY OF LAKE)

I hereby certify that I have surveyed and located the building on the land described in the above caption, and shown correctly on this plat. Dated at Moline, Illinois, on Sept. 11, 1980.

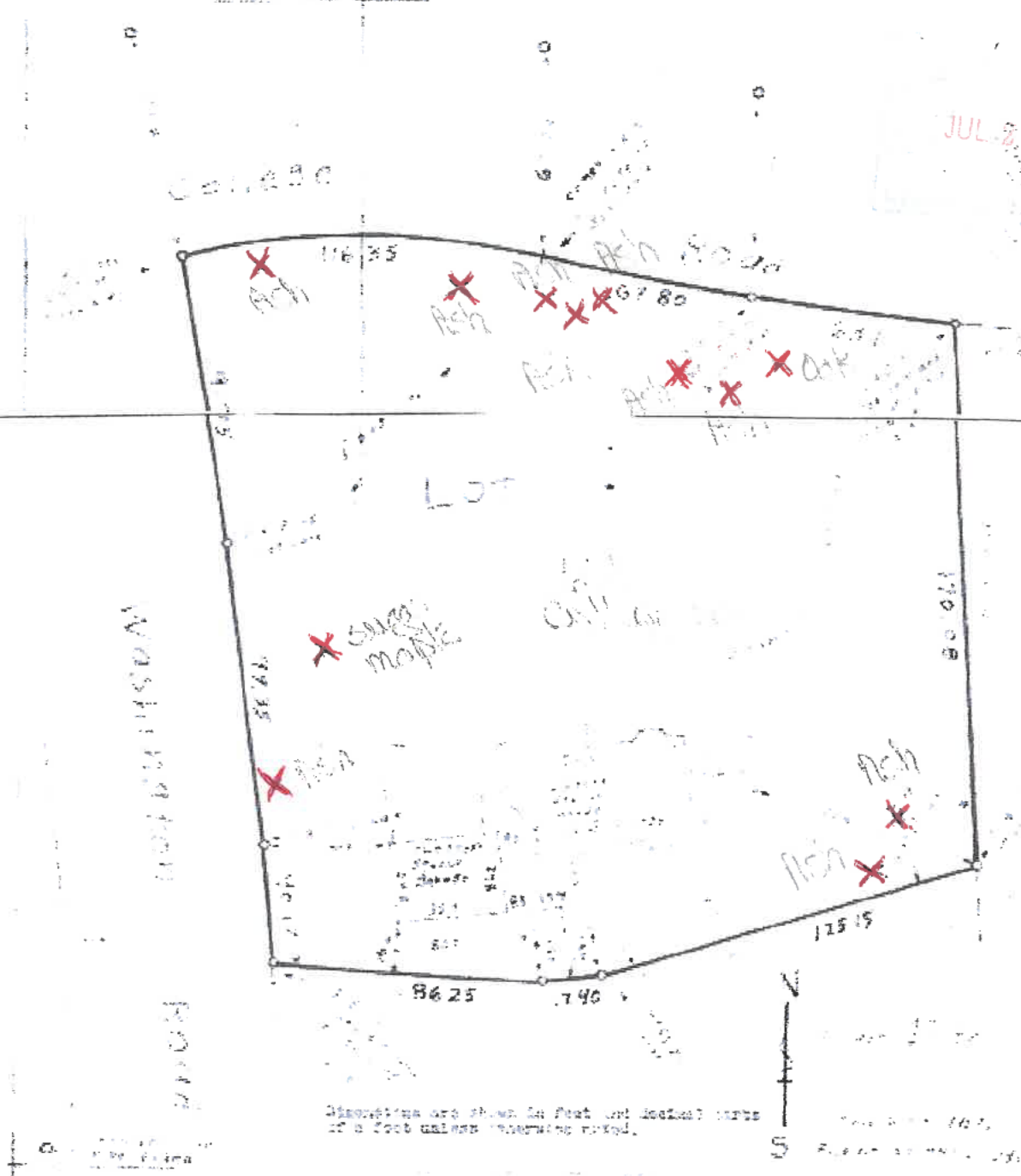
[Signature]
 Illinois Land Surveyor #1915

I HEREBY CERTIFY THAT I HAVE SURVEYED, PLATTED AND LOCATED THE BUILDING ON THE LAND DESCRIBED IN THE ABOVE CAPTION, AND SHOWN CORRECTLY ON THIS PLAT. Dated at Moline, Illinois, on Sept. 11, 1980.

FROM:
 LORNEE ANN GIBBINS
 LAKE FOREST, ILLINOIS

Illinois Land Surveyor #1915

JUL 28 2014



Distances are shown in feet and decimal parts of a foot unless otherwise noted.

N
 |
 S

[Faint handwritten notes]



605 EAST COLLEGE ROAD