

**THE CITY OF LAKE FOREST
CITY COUNCIL AGENDA**

Monday, May 19, 2025
220 E. Deerpath
Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL

6:30pm

Honorable Mayor, Stanford R. Tack

Nancy Novit, Alderman First Ward

Nick Bothfeld, Alderman Third Ward

Peter Clemens, Alderman First Ward

Alice LeVert, Alderman Third Ward

Edward U. Notz, Jr., Alderman Second Ward

Eileen Looby Weber, Alderman Fourth Ward

John Powers, Alderman Second Ward

Richard Walther, Alderman Fourth Ward

PLEDGE OF ALLEGIANCE

REPORTS OF CITY OFFICERS

1. COMMENTS BY MAYOR

A. Resolution of Appreciation for Retired Chief Water Plant Operator John C. Gullede

A copy of the Resolution is included in the packet.

B. 2025-2026 Board and Commission Appointments and Reappointments

AUDIT

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Joy Larisey	REAPPOINT	4
Robert Nowlin	REAPPOINT	4

BUILDING REVIEW BOARD

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
John Looby III	REAPPOINT AS CHAIR 1- additional term	4
Justin Stamer	REAPPOINT	2
Eric Lohmueller	REAPPOINT	2
Scott Renken	REAPPOINT	1
Sarah Lamphere	APPOINT TO OWN TERM	3
Chris Collins	APPOINT	1

CEMETERY

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
John Anderson	REAPPOINT AS CHAIR 1- additional term	1
Robert Wayne	REAPPOINT	3
Lowell Dixon	REAPPOINT	1

GORTON BOARD

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Bob Scales	REAPPOINT	n/a
Michael Slover	REAPPOINT	n/a

HISTORIC PRESERVATION COMMISSION

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Lloyd Culbertson	APPOINT AS CHAIR	4
Leif Soderberg	REAPPOINT	1
Tina Dann-Fenwick	REAPPOINT	4
John Norkus	APPOINT	1

CROYA

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Julie Crouch	REAPPOINT	LFHS REP
Kate Leech	REAPPOINT	4
Kristen Lee	REAPPOINT	3

LIBRARY

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Josh Jackson	REAPPOINT	1
Robert Shaw	REAPPOINT	4

PLAN COMMISSION

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
----------------	-------------------	------

Mark Pasquesi	APPOINT AS CHAIR	4
Louis Pickus	REAPPOINT	2
Barrett Davie	REAPPOINT	2
Paul Thomas	REAPPOINT	3
David Hunt	APPOINT	1

SENIOR RESOURCE COMMISSION

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Jean Manning	REAPPOINT	3
Dennis Herman	REAPPOINT	4
Mark Dewart	REAPPOINT	LB
Charlie Notaras	APPOINT	1

ZONING BOARD OF APPEALS

NAME OF MEMBER	APPOINT/REAPPOINT	WARD
Ari Bass	REAPPOINT AS CHAIR	2
Mike Adams	REAPPOINT	3
Jeff Giannelli	APPOINT TO OWN TERM	3
Fred Brewer	APPOINT	3
Jan Gibson	APPOINT	3

BOARD OF POLICE AND FIRE COMMISSIONERS

Nancy Taubensee	REAPPOINT	n/a
Richard Price	REAPPOINT	n/a

BOARD OF TRUSTEES POLICE PENSION FUND

John Sonnier	APPOINT	n/a

HOUSING TRUST FUND

Don Schoenheider	REAPPOINT	n/a
Charles King	REAPPOINT	n/a

A copy of the volunteer profile sheet is available at City Hall upon request.

COUNCIL ACTION: Approve the Mayors Appointments and Reappointments

2. COMMENTS BY CITY MANAGER

- A. Community Spotlight**
 - Deer Path Art League - Emerging Artists**
 - Jennifer Turner, Executive Director**

3. OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL

4. COMMITTEE REPORTS

5. ITEMS FOR OMNIBUS VOTE CONSIDERATION

- 1. Approval of Monday, May 5, 2025, City Council Meeting Minutes, First and Second Session.**

A copy of the minutes is included in the packet.

COUNCIL ACTION: Approval of May 5, City Council Meeting Minutes, First and Second Session

- 2. Approval of a Resolution of Appreciation for Retiring Members of Boards and Commissions as follows:**

BOARD, COMMISSION OR COMMITTEE	NAME OF MEMBERS(S)
BUILDING REVIEW BOARD	Joanne Bluhm
HISTORIC PRESERVATION COMMISSION	Maureen Grinnell
PARKS & RECREATION BOARD	Kevin Carden, Mark Gorman, Marc Silver, Kaci Spirito, William Sheridan, Patrick Marshall, and John Norkus
PLAN COMMISSION	John Dixon
ZONING BOARD OF APPEALS	Laurie Rose, James Moorhead, and Arthur Miller

A copy of the resolution is included in the packet.

COUNCIL ACTION: Approve the Resolution of Appreciation for Retiring Members of Boards and Commissions

3. Approval for the purchase of a Zoll X series cardiac monitor, with an extended warranty, in an amount not to exceed \$54,793.14, and authorization to dispose of City property with a value of \$5,832.00.

STAFF CONTACT: Andrew Rick, Fire Chief (847-810-3864)

PURPOSE AND ACTION REQUESTED

Staff is requesting City Council's approval to purchase this equipment to replace a current Zoll monitor that has reached the end of its useful service life. Staff also requests approval to purchase the extended warranty. As part of the purchase, staff is also seeking authority to dispose of City property with a value in excess of \$4,000, as the vendor has offered a trade-in allowance of \$5,832 for the existing monitor.

BACKGROUND/DISCUSSION

As an organization, the Lake Forest Fire Department strives to provide our personnel with the proper equipment to treat and care for our citizens and guests, to our community, when a medical emergency happens. We go to great lengths and expense in training and equipping our firefighter/paramedics with the proper equipment capable of mitigating almost any hazardous situation; however, the cardiac monitor/AED's we currently use, in some cases are 13 years old, have limited functionality, and need of repairs and upgrades. They use technology that was developed and released in 2012, newer technology and innovations made to cardiac monitors would allow our personnel to better serve our community. These new monitors have the ability to transmit the acquired 12-lead findings directly to the cardiac facility where they can be reviewed by an emergency room physician and cardiologist. A new tool that has been providing prodigious results in the field of prehospital care is that of end-tidal carbon dioxide (EtCO₂) monitoring. Our community provides EMS care to residents who have pulmonary illnesses that require maintenance medications and constant monitoring. When one of these patients suffers a pulmonary event, our paramedics will be able to use this technology to provide the most effective care based on the findings. Carbon Monoxide poisoning claims the lives of nearly 3,800 Americans each year, and our aging monitors lack the ability to diagnose CO poisoning.

The new cardiac monitors are equipped with the ability to determine these levels in our patients, including our firefighters upon exiting a structure fire. Current monitors on the market have many improvements over our current ALS ambulance monitors that are in use, which can drastically improve patient care. The new cardiac monitor comes with a four-year extended warranty plan that will help defer maintenance expenses and keep the monitor up to date with the latest updates and equipment. The Fire Department is also seeking authorization to dispose of City property with a value exceeding \$4,000 (Trade in \$5,832).

BUDGET/FISCAL IMPACT

The funds for this purchase were approved in the CIP out of the General Fund in the FY26 budget. This also follows the approved monitor replacement plan that was developed to ensure our most critical lifesaving equipment is up to current standards and technology. The fire department has submitted multiple grant requests to try and fund purchases of cardiac monitors, but we have been denied all requests.

The Fire Department is also seeking authorization to dispose of City property with a value exceeding \$4,000 (Trade in \$5,832), per Administrative Directive 3-2 "Establishment of

procedures for disposal of City Property."

Has City staff obtained competitive pricing for proposed goods/services? **No**

If no, indicate the specific exception or waiver requested:

Administrative Directive 3-5, Section 6.1B – Sole Source Vendor – All of our ambulances are equipped with Zoll monitors which are also recommended by our EMS system through Northwestern Lake Forest Hospital. Our Paramedics are all trained exclusively to operate the Zoll monitors. We have a great relationship with our assigned Zoll area representative and look to continue working with Zoll.

Company Name	Dollar Amount Bid
ZOLL Medical Corporation - New Cardiac Monitor and Accessories	\$52,988.64
ZOLL Medical Corporation – Extended Warranty	\$7,636.50
ZOLL Medical Corporation – Trade In Allowance	(\$5,832.00)
Total	\$54,793.14

Below is an estimated summary of Project budget:

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
Fire Department – General Fund 311-7503-475.75-43	\$55,000	\$54,793.14	Y

COUNCIL ACTION:

Approval for the purchase of a Zoll X series cardiac monitor and extended warranty, in an amount not to exceed \$54,793.14, and authorization to dispose of City property with a value of \$5,832.00.

4. Award of a Five-Year Contract with Veolia for Technical Support Service included in the FY2026 – FY2030 Operating Budget for the sum of \$119,950

STAFF CONTACT: Dan Martin, Superintendent of Public Works (847-810-3561)

PURPOSE AND ACTION REQUESTED

The Public Works Committee and Staff requests City Council approval to award an agreement with Veolia to provide the Water Plant operations 24/7 technical support and process analyst services. The proposed agreement is intended to lock in a fixed five-year rate for these essential services.

BACKGROUND/DISCUSSION

Since the commissioning of the membrane filtration system in 2019, the Water Plant has relied on Veolia's Insight analytical platform for continuous performance monitoring. This real-time data analysis allows proactive adjustments to optimize operations and extend system life. In addition to Insight, Veolia provides 24/7 technical support and dedicated process analyst services, offering immediate assistance and plant-specific guidance to Water Plant staff. These services are essential to the reliable operation of the membrane system, support compliance with membrane warranty requirements, and strengthen the City's long-term partnership with Veolia.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	05/05/25	Reviewed and Recommended City Council Approval

BUDGET/FISCAL IMPACT

The annual cost of Veolia's technical support and process analyst services has historically increased year over year, creating ongoing budget pressure. To address this, staff negotiated a five-year service agreement with Veolia that locks in current pricing through FY2030. This fixed-rate approach stabilizes costs, eliminates the risk of future increases, and is projected to save the City approximately \$19,000 over the term of the agreement. The five-year technical services chart is provided below.

Fiscal Year	Annual Cost
FY2026	\$23,990
FY2027	\$23,990
FY2028	\$23,990
FY2029	\$23,990
FY2030	\$23,990

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
Water Fund 501-6071-435.35-10	\$25,000	\$23,990	Y

The above chart reflects the annual fiscal year budgeted amount of \$23,990. The grand total 5-year budgeted amount is \$119,950.

COUNCIL ACTION: Award of a Five-Year Contract with Veolia for Technical Support Service included in the FY2026 – FY2030 Operating Budget for the sum of \$119,950

5. Award of Proposal to Thelen Materials, LLC. for a Five-Year Compost Center Transferring Agreement included in the FY2026 – FY2030 Operating Budgets for the Sum of \$545,000

STAFF CONTACT: *Dan Martin, Superintendent of Public Works (847-810-3561)*

PURPOSE AND ACTION REQUESTED

The Public Works Committee and City staff are requesting City Council approval to award a proposal to Thelen Materials, LLC to provide transfer trailers to the City to have its yard waste delivered to Thelen's facility. The City's current agreement with Thelen Materials, LLC. to transfer yard waste at the Compost Center ends June 1, 2025.

BACKGROUND/DISCUSSION

Since the State of Illinois banned yard waste from landfills in 1990, the City has utilized contractors to process yard waste materials, historically at the Route 60 Compost Facility. In 2020, the City transitioned to a transfer model due to the cost efficiencies associated with offsite hauling compared to the high costs of onsite processing. Under this model, yard waste generated by City crews and residents including leaves, grass, brush, and tree limbs is loaded into transfer trailers by Public Works staff and transported to an offsite composting facility at a per-cubic-yard rate. The contract also includes the annual return of 500 cubic yards of finished compost for resident use.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	05/05/25	Reviewed and Recommend Approval

BUDGET/FISCAL IMPACT

On April 24, 2025, the City received two proposals for a transfer agreement to haul yard waste to an offsite composting facility. Thelen Materials LLC submitted the lowest responsive bid, as detailed in the chart below. Based in Antioch, Illinois, Thelen Materials owns and operates a 40-acre site dedicated to large-scale commercial composting. They have served as the City's yard waste transfer contractor for the past five years, consistently delivering reliable and cost-effective service. Based on their proven performance and competitive pricing, staff recommends that the City Council approve a new five-year agreement with Thelen Materials LLC.

Has City staff obtained competitive pricing for proposed goods/services? **Yes**

Company Name	Year 1	Year 2	Year 3	Year 4	Year 5
Thelen Materials, LLC	\$6.61	\$6.72	\$6.83	\$6.94	\$7.06
Patriot Acres, LLC	\$8.90	\$9.15	\$9.15	\$9.15	\$9.52

Note: 5-year annual yard waste range 11,000 -14,000 cubic yards

FY2026 -2030 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
101-5245-435.35-10	\$109,000	\$109,000	Yes

The above chart reflects the annual fiscal year budgeted amount of \$109,000. The grand total 5-year budgeted amount is \$545,000.

COUNCIL ACTION: Award of Proposal to Thelen Materials, LLC. for a Five-Year Compost Center Transferring Agreement included in the FY2026 – FY2030 Operating Budgets for the Sum of \$545,000

- 6. Award of Bid to Midwest Power Industry Inc for Elevated Tank Generator Replacement Project in the amount of \$54,403, to include a 10% or \$5,440 contingency for a total cost of \$59,843**

STAFF CONTACT: Dan Martin, Superintendent of Public Works (847-810-3561)

PURPOSE AND ACTION REQUESTED

The Public Works Committee and staff request City Council approval to award the bid for replacement of the emergency generator at the Elevated Tank to Midwest Power Industry. This generator is a critical component that ensures uninterrupted operation of the Water Plant and supports essential Public Safety communications and infrastructure during power outages.

BACKGROUND/DISCUSSION

The Elevated Tank is equipped with a 50kW emergency backup generator that was installed in 1995. This generator provides essential backup power to maintain continuous operation of the Elevated Tank's SCADA system and supports critical Police and Fire radio communications infrastructure. As the unit has reached the end of its useful life, maintenance demands have increased significantly, prompting the need for replacement to ensure ongoing system reliability and public safety support.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	05/05/25	Reviewed and approved

BUDGET/FISCAL IMPACT

This project followed the City's standard public bidding procedures. The invitation to bid was publicly advertised in accordance with legal requirements, and the bid opening was held on May 1, 2025. Three qualified contractors.

Has City staff obtained competitive pricing for proposed goods/services? **Yes**

On May 1, 2025, staff received the following bids to replace the Elevated Tank Generator:

Company Name	Dollar Amount Bid
Midwest Power Industry Inc	\$54,403
Powerlink Electric Inc	\$57,890
Superb Steel and Construction Inc.	\$92,000

Upon review of the bids received, staff recommend awarding the contract to Midwest Power Industry, the lowest responsive bidder. Midwest Power Industry, Inc. has a strong record of successful generator-related projects for the City and is currently under contract for the maintenance of generators at various City-owned facilities. Their proven performance—including the Water Plant Generator Radiator Rebuilds and the Water Plant VFD Replacement—demonstrates their ability to deliver reliable results. The proposed generator also includes a five-year comprehensive warranty, providing added value and long-term assurance for this critical infrastructure investment.

Below is an estimated summary of Project budget:

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
Water Capital Fund 508-6003-467.67-71	\$85,000	\$59,843	Y

COUNCIL ACTION: Award of Bid to Midwest Power Industry Inc for Elevated Tank Generator Replacement Project in the amount of \$54,403, to include a 10% or \$5,440 contingency for a total cost of \$59,843

7. Award of a One-Year Extension of the City’s Contract with Xylem Dewatering Solutions Doing Business As Wachs Water Services for Valve Exercising Service included in the Operating Capital Budget for the sum of \$22,828

STAFF CONTACT: *Dan Martin, Superintendent of Public Works (847-810-3561)*

PURPOSE AND ACTION REQUESTED

The Public Works Committee and Staff request City Council approval of a one-year contract extension for the Valve Exercising Contract to Xylem Dewatering Solution DBA Wachs Water Services as provided for in the current contract. The current three-year agreement ended in July 2024 and included two option years.

BACKGROUND/DISCUSSION

The City's Water & Sewer Section for many years has provided valve exercising service for approximately 1,800 valves in the water distribution system. The Section transitioned from performing the program using in-house staff to contracting out the services to take advantage of the efficiencies gained using contractors that specialize in valve exercising services. The valve exercising program is a preventative maintenance measure that prevents valve rust or debris build up that could render the valves inoperable or prevent tight shutoffs. This ensures reliability to immediately isolate water lines for main breaks and extends valves useful life. The 1,800 valves are divided into five service zones with approximately 375 valves in each zone. One zone per year will be operated. The Contractor will fully exercise each valve according to American Water Works Association (A.W.W.A.) standards and will verify and update the valve size, rotation, and location in the GIS-database.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
City Council	5/6/2024	City Council Approved First One-Year Contract Extension
Public Works Committee	4/7/2025	Reviewed and Recommended City Council Approval for Final One-Year Contract Extension

BUDGET/FISCAL IMPACT

This Valve Exercising Program was bid as part of the Municipal Partnering Initiative (MPI) program with Glenview, Lake Forest, Niles and North Chicago. MPI is a program that takes advantage of economies of scale by securing low bid prices among neighboring municipalities who bid similar projects each year.

Based on a bid process conducted in 2021, the City Council approved a three-year agreement on July 19, 2021, that included an option for two additional one-year extensions

upon agreement by both parties.

Has competitive pricing been obtained for proposed goods/services? **Yes**

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
Water Capital 501-6078-475.75-02	\$ 25,000	\$22,828	Y

COUNCIL ACTION: Award of a One-Year Extension of the City’s Contract with Xylem Dewatering Solutions Doing Business As Wachs Water Services for Valve Exercising Service included in the Operating Capital Budget for the sum of \$22,828

8. Approval of a Three-Year Contract with M.E. Simpson Company, Inc. for Leak Detection Service Contract included in the FY2026 –FY2028 Operating Capital Budget for the Sum of \$148,750

STAFF CONTACT: Dan Martin, Superintendent of Public Works (847-810-3561)

PURPOSE AND ACTION REQUESTED

The Public Works Committee and Staff requests City Council approval for a three-year proposal for Leak Detection Contract to M.E Simpson Company Inc.

BACKGROUND/DISCUSSION

The City of Lake Forest water distribution system consists of approximately 6,800 private residential service connections, 170 miles of water main ranging in pipe sizes from 4" to 36", 1,500 fire hydrants and 1,800 valves throughout the system. Water lost through leaking pipe fittings, faulty valves, connectors, or cracked pipes are regarded as unaccounted water that is a revenue loss. Many leaks come to the surface and are immediately repaired, but some go undetected because they are smaller leaks that do not surface or drain directly into storm sewers, ravines or ditches. These types of leaks result in significant water loss over time. To address this, the City over the last twenty years has hired leak detection services to pinpoint these undetected leaks through an acoustic leak detection method. Technicians utilizing specialized listening devices that are placed on valves and hydrants work systematically to cover the entire distribution system listening and identifying leaks. A report listing the address, asset type, and estimated gallons per minute lost is submitted at the study's conclusion. Major leaks are reported daily for immediate repair. If a service line leak is found, the Water & Sewer Supervisor notifies the residents of the location and repair responsibility.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	05/05/25	Reviewed and Recommended City Council Approval

BUDGET/FISCAL IMPACT

Consulting Engineering Inc., in the second and final option year, declined to renew its

contract this year. When the project was bid in 2021, three proposals were received. Consulting Engineering submitted the lowest bid, with a three-year total of \$60,960, substantially below the other bids of \$94,860 and \$134,300, which were more in line with market rates and consistent with current pricing.

Based on Consulting Engineering, Inc. decision to decline renewal of their contract, the leak detection services were re-bid as part of the Municipal Partnering Initiative (MPI) program with Arlington Heights, Lake Forest, Glenview, Highland Park, Morton Grove, and Northfield. MPI is a program that takes advantage of economies of scale by securing low bid prices among neighboring municipalities who bid similar projects each year.

Bids were opened on March 24, 2025, with M.E. Simpson Company, Inc. as the sole responsive bidder. They have a strong track record, having worked in Highland Park, Morton Grove, and Northfield, and have previously performed well under contract with the City. Due to their local presence, they are also currently used for emergency leak detection services.

Has competitive pricing been obtained for proposed goods/services? **Yes**

Company Name	Dollar Amount Bid
M.E. Simpson Company, Inc.	\$ 148,750 (3 Years)

The table below shows the M.E. Simpson Company, Inc. contract cost for each year:

Item Description	Cost per Year
Year 1 – Leak Detection	\$ 48,450
Year 2 – Leak Detection	\$ 50,150
Year 3 – Leak Detection	\$ 50,150
3 Year Total	\$148,750

Staff is recommending that the City Council approve a three-year agreement. The budget overage will be funded from Water Fund balance reserves. If necessary, a supplemental appropriation would be requested at the fiscal year-end.

Below is an estimated summary of the Leak Detection budget:

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
Water Operating Capital 501-6078-435.35-15	\$ 30,000	\$ 48,450	Y

COUNCIL ACTION: Approval of a Three-Year Contract with M.E. Simpson Company, Inc. for Leak Detection Service Contract included in the FY2026 –FY2028 Operating Capital Budget for the Sum of \$148,750

9. Approval of a Third Year Renewal with Hoerr Construction, Inc. for the 2025 Sewer Lining Program, and Authorize the City Manager to Execute an Agreement in the Amount Not to Exceed \$639,031

STAFF CONTACT: *Byron Kutz, Superintendent of Engineering (847-810-3555)*

PURPOSE AND ACTION REQUESTED

The Public Works Committee and staff request City Council approval of the contract for the Lake Forest share of the 2025 Sewer Lining Program to Hoerr Construction.

BACKGROUND/DISCUSSION

The City maintains 140 miles of mainline sanitary sewers and 219 miles of storm sewer throughout the City. The pipe material that was predominantly used in the past to construct the sewers was a clay material. The clay pipes are most susceptible to deterioration from natural elements and root intrusions resulting in broken pipes and leaking joints. With a deteriorated pipe, the functionality of the pipe to carry the flows is compromised thereby creating surcharges and/or backups. This reconstruction technique is performed without the expensive and disruptive excavation process. The process provides for the insertion of a special liner inside the pipe, creating a new smooth-surfaced, long-lasting pipe within the old sewer.

If approved by City Council, the project would commence in late summer/ early fall and be completed in a few weeks. Upon confirming the start date of the project, a letter will be sent to the residents within the limits of the project two weeks prior to start of construction. The City's website, under "Construction Updates", will also provide details on the construction schedule.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	5/5/2025	Reviewed & Recommended City Council Approval
Finance Committee	11/12/2024	Included with FY '26 Capital Plan

BUDGET/FISCAL IMPACT

If approved, this will be the 3rd of 3 option years on this contract. The 2025 contract unit prices will increase 2.8% over last year per the terms of the 2022 contract. This project was bid under the Municipal Partnering Initiative (MPI) with Highland Park, and Mundelein, with Lake Forest as the lead agency. The agreement was awarded at the June 6, 2022 City Council meeting and allowed for the contract to be renewed for up to three additional and consecutive one-year terms, upon the mutual written consent of the City and Contractor. All three communities are recommending extending their portion of the contract to Hoerr Construction at their respective Council/Board meetings in the next few months. The contractor has worked in Lake Forest on previous contracts with satisfactory results.

Has City staff obtained competitive pricing for proposed goods/services? **Yes**

Below is a summary of project budget by funding source:

FY 2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted Y/N
Capital Fund 311-3703-467.67-25	\$50,000	\$50,000	Y
Water and Sewer Fund 508-6103-467.67-46	\$285,000	\$285,000	Y
Water and Sewer Fund 508-3703-477.77-16	*\$600,000	*\$304,031	*N

* The Water and Sewer Fund had \$600,000 budgeted for inflow and infiltration repairs. Of that amount, \$274,229 was approved for the I&I project by the City Council on February 18, 2025, and \$21,740 was approved for similar repairs as part of the resurfacing project on March 17, 2025. The remaining \$304,031 is now being requested for the sewer lining project to repair leaking storm and sanitary pipes. Both the February 18 and March 17 City Council write-ups included language recommending that any remaining budget be applied to this sewer lining project.

The I&I project approved earlier this year on February 18 addressed the remaining public areas identified in the 2023/2024 RJN dye and smoke testing report. With those areas now covered, the additional savings can be directed toward neighborhoods with older sanitary sewer pipes to help extend their lifespan and avoid the need for full replacement.

COUNCIL ACTION: Approval of a Third Year Renewal with Hoerr Construction, Inc. for the 2025 Sewer Lining Program, and Authorize the City Manager to Execute an Agreement in the Amount Not to Exceed \$639,031

10. Approve to purchase 3 safety boats from Racine Riverside Marine in the amount of \$68,001.00 for the Recreation Department Sailing Program from the FY26 Capital Improvement Program.

STAFF CONTACT: *Jason Busdeker, Facility Manager, Rec Center and Fitness Center (847-810-3934)*

PURPOSE AND ACTION REQUESTED

Staff is requesting City Council approval to purchase 3 safety boats for the Recreation Department Sailing Program in the amount of \$68,001.00. Under the City's financial policies, the safety boat purchase was put through the formal bid process in April 2025.

BACKGROUND/DISCUSSION

The Recreation Department currently utilizes the rigid hull inflatable boats of varying sizes for the Sailing Program. These boats are used by the Sailing Coaches and Instructors to allow them to be on the water alongside the sailing participants providing real time coaching and feedback during practices and competitions. These boats are also used as a safety tool if a situation should arise. This purchase will replace 3 other boats which were deemed to be past their useful life and no longer useable. This purchase is part of a long-term replacement plan for the entire fleet of rigid hull inflatable boats.

Public notice to solicit bids was provided on April 23, 2025, with a bid opening date of May 5,

2025. The chosen timetable was driven by the upcoming Summer Camp season which is the highest volume use of the safety boats.

BUDGET/FISCAL IMPACT

Funding for purchase of the 3 safety boats has been budgeted in the FY26 Capital Improvement Program.

Has City staff obtained competitive pricing for proposed goods/services? **Yes**

Staff received four bids for the purchase of 3 safety boats. The proposed pricing is listed in the chart below.

Recommended Bidder/Proposer is BOLDED

Company Name	Dollar Amount Bid
Racine Riverside Marine	\$68,001.00
Inmar	\$89,351.25
Zodiac of North America	\$106,400.00
Ribcraft	\$118,558.00

Below is an estimated summary of Project budget:

FY2026 Funding Source	Amount Budgeted	Amount Requested	Budgeted? Y/N
311-8003-475.75-01	\$75,000.00	\$68,001.00	Y

COUNCIL ACTION: Approval to purchase 3 safety boats from Racine Riverside Marine in the amount of \$68,001.00 for the Recreation Department Sailing Program from the FY26 Capital Improvement Program.

11. Approval of an Illinois Department of Transportation Resolution Appropriating \$109,144 in Rebuild Illinois Funds (RBI) Funds to be used for Phase I Design Engineering Services of the Ringwood Bridge Project

STAFF CONTACT: *Byron Kutz, Superintendent of Engineering (847-810-3555)*

PURPOSE AND ACTION REQUESTED

The Public Works Committee and Staff request approval of appropriating an additional \$109,144 of Rebuild Illinois (RBI) funds to be used for phase I design of the Ringwood Bridge. This is in addition to the \$42,811 of RBI funds that was approved earlier this year at the March 17, 2025 City Council Meeting. This is pursuant an April 8, 2025 email from IDOT stating that the City still has remaining unused RBI funds. The Illinois Highway Code requires each municipality to submit a City Council Resolution appropriating RBI funds similar to the process for Motor Fuel Tax funds (MFT). Staff are proposing to reduce the use of MFT and local capitals funds to allow usage of this additional \$109,144 of RBI funds prior to the July 1, 2025 obligation deadline. The total amount of the design engineering services agreement is unchanged. Staff requests authority to execute necessary IDOT agreements related to the appropriation of this RBI funding. There have not been any changes to the project, just simply an accounting change for the funds being utilized in order to ensure all RBI funds can be obligated prior to the July 1, 2025 deadline.

BACKGROUND/DISCUSSION

The Ringwood Bridge is a single-span concrete spandrel arch bridge over a ravine, located on Ringwood Road just northeast of the Westleigh and Sheridan intersection. The bridge was constructed in 1913 with a new deck and bridge railings constructed in 1989. City staff have been monitoring the deteriorating condition, and in October 2022 submitted for construction grant funds via the Illinois Special Bridge Program (ISBP) to fund potential future reconstruction of the bridge. Although the grant application was unsuccessful, IDOT provided positive feedback that the bridge is a good candidate for this program and would be more favorable for future grant awards following completion of a Phase I design. The 2022 sufficiency rating of the bridge was 18 (the IDOT Bridge Sufficiency Rating Scale is from 1 to 100 with 1 being the worst and greater than 50 considered satisfactory per Federal guidelines). The load rating of the bridge has been previously reduced (restricting the weight of trucks allowed to cross the bridge) following findings from a thorough inspection performed as part of the City's bridge study. The 2022 study states *'based on the chloride profiles from previous core samples, concrete removal and overlay of the deck would need to be deeper than the top layer of reinforcement, which would require a reinforced overlay, making replacement a reasonable alternative.'* The project will remove the existing bridge and replace it with a structure that will recognize and be compatible with the historic character of the surrounding historic district. The project is proceeding within the context that federal funding will be utilized for construction. The utilization of federal funds for construction will require an extensive public input process via the National Environmental Policy Act (NEPA). The public will be given the opportunity to provide their opinions and feedback on the bridge-type.

This RBI resolution is the first step in fulfilling IDOT's requirements for the use of RBI funds. The City is required to follow IDOT guidelines in terms of project design and contract specifications. The Phase I design engineering services was previously awarded to the Ciorba Group at the December 2, 2024 City Council meeting. Due to the bridge's current low Sufficiency Rating, staff recommends that the City proceed with completing Phase I design. Completion of Phase I milestones will better the City's chances with future grant applications. Once completed, the design will be submitted to IDOT for their review and comments. The anticipated phase I duration including review time by IDOT is a minimum of 24 months. Projects reviewed by IDOT (all federally funded projects) typically have three distinct phases with the Phase I (or the project Study) phase consisting of developing the project scope, conducting public input, environmental and drainage studies, utility coordination, and preliminary design of a project. The consultant will provide concepts for different proposed bridge types, with two or three being recommended to the Historic Preservation Commission and the community. The first 6-9 months of the Phase I process will be initial set up and IDOT coordination in which the City Council preference for bridge-types is not yet necessary. This will allow for City Council decisions to be made first for the Lake Woodbine Bridge project which will then help guide the aesthetic direction for the Ringwood Bridge. A Tentative construction date would be determined upon award of federal funds, however, is estimated around 2029/2030 at the earliest.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	5/5/2025	Reviewed & Recommended City Council Approval for Appropriating an Additional \$109,144 in Rebuild Illinois Funds (RBI) to be used for Phase I Design Engineering Services
City Council	3/17/2025	City Council Approval for Appropriating \$42,811 in Rebuild Illinois Funds (RBI) to be used for Phase I Design Engineering Services
Public Works Committee	3/3/2025	Reviewed & Recommended City Council Approval for Appropriating \$42,811 in Rebuild Illinois Funds (RBI) to be used for Phase I Design Engineering Services
City Council	12/2/2024	City Council Approved Appropriating \$150,000 in MFT Funds, and Award of Phase I Design Engineering to Ciorba Group
Public Works Committee	11/18/2024	Reviewed & Recommended City Council Approval for Appropriating \$150,000 in MFT Funds, and Award of Phase I Design Engineering to Ciorba Group
Finance Committee	11/12/2024	Additional \$25,000 Included in Capital Plan
Finance Committee	11/13/2023	\$225,000 Included in Capital Plan

BUDGET/FISCAL IMPACT

Approval of RBI funds is similar to that of MFT funds, as City Council approval will initiate the process with IDOT to authorize the use of RBI funds for the phase I design of the Ringwood Bridge. Construction of this project is currently unfunded and dependent on receiving an Illinois Special Bridge Program (ISBP) grant award with the remaining balance to be funded by MFT funds. Any design and construction amount above that would be local capital funds. The current estimated construction cost is \$4,000,000, which is solely a rough estimate as a bridge-type has not yet been determined.

Has City staff obtained competitive pricing for proposed goods/services? **N/A**

Below is an estimated summary of project budget:

The Phase I design engineering services was previously awarded to the Ciorba Group at the December 2, 2024 City Council meeting in the amount of \$249,344 which includes a 5% Contingency.

Funding Source	Amount Budgeted	Amount Requested	Budgeted Y/N
Rebuild Illinois Funds 202-3703-478.78-92	\$42,811	\$151,955*	N
Motor Fuel Tax Fund (FY2025) 202-3703-478.78-76	\$150,000	\$0**	Y
Capital Fund (FY2026) 311-5103-467.67-23	\$25,000	\$22,389***	Y
Capital Fund (FY2025) 311-5103-467.67-23	\$75,000	\$75,000	Y

*This previously authorized amount of \$42,811 is requested to increase by \$109,144 for a total of \$151,955.

**The usage of MFT funds was previously shown as \$107,189 but now with the additional RBI funds is being reduced to \$0. The remaining MFT funds will stay in the City's bank account for future use.

***This amount was previously shown as \$24,344 but now with the additional RBI funds is being reduced by \$1,955 to a total of \$22,389.

In terms of background for RBI funding, according to the May 1, 2020, Circular Letter- The Illinois Department of Transportation (IDOT) was authorized to implement a \$1.5 billion grant program using proceeds from general obligation (transportation, series A) bonds authorized in the Rebuild Illinois capital program to provide Local Public Agencies (LPAs) with the funds for capital projects. Grants are allotted among LPAs based on the regular Motor Fuel tax (MFT) formula. The money for Rebuild Illinois grants comes from proceeds of general obligation bonds authorized pursuant to subsection (a) of Section 4 of the General Obligation Bond Act (30 ILCS 330/4). IDOT is authorized to use these funds to make grants "for planning, engineering, acquisition, construction, reconstruction, development, improvement, extension, and all construction-related expenses of the public infrastructure and other transportation improvement projects." Funds received from these Rebuild Illinois grants must be deposited into the LPA's MFT account. However, grant funds are separately accounted for, and expenditures must be in accordance with purposes authorized in subsection (a) of Section 4 of the General Obligation Bond Act. The City has previously determined that it had expended all of its RBI funds but pursuant further coordination with IDOT the City is looking to authorize this additional \$109,144 for flexibility in finalizing final bills to ensure that all RBI funds are used. City Staff received previous approval from IDOT that design for the Ringwood Bridge utilizing the City's remaining RBI funds is an applicable stated use.

COUNCIL ACTION: Approval of an Illinois Department of Transportation Resolution Appropriating \$109,144 in Rebuild Illinois Funds (RBI) Funds to be used for Phase I Design Engineering Services of the Ringwood Bridge Project

12. Consideration of a Waiver of the Plan Review and Permit Fees for Interior Alterations at Deer Path Middle School, 95 W. Deerpath, in the Amount of \$16,889.50. (Approval by Motion)

STAFF CONTACT: Catherine Czerniak, Director of Community Development (847-810-3504)

PURPOSE AND ACTION REQUESTED

As provided for in the City's Administrative Directives, 3 – 7, City Council approval is required for the waiver of fees in excess of \$5,000.

BACKGROUND/DISCUSSION

A permit was issued to School District 67 authorizing an upgrade to the cafeteria and the restrooms at Deer Path Middle School. The City of Lake Forest owns the property and as is customary with City owned property, a recommendation in support of waiving the fees associated with this project is presented for Council action.

BUDGET/FISCAL IMPACT

Minimal impact. Avoids transfer of taxpayer dollars from one local entity to another.

Plan Review, Permit, Connection Fees	Total City Assessed Fees	Waiver Requested
Deer Path Middle School Remodeling Project	\$16,889.50	\$16,889.50

COUNCIL ACTION: If desired by the City Council, by motion, approve the waiver of plan review and permit fees for interior alterations at Deer Path Middle School, 95 W. Deerpath, in the Amount of \$16,889.50.

13. Consideration of Ordinances Approving Recommendations from the Building Review Board for 172 Atteridge Road, 360 Butler Drive and 1425 Telegraph Road. (First Reading and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Catherine Czerniak, Director of Community Development (847-810-3504)*

PURPOSE AND ACTION REQUESTED

The following recommendations from the Building Review Board are presented to the City Council for consideration as part of the Omnibus Agenda.

BACKGROUND/DISCUSSION

172 Atteridge Road - The Board recommended approval of a rear, second story addition to the residence and a height variance to allow a small portion of the addition to align with the height of the original residence. Public testimony was presented by a neighbor in support of the petition. (Approved - 5 to 0)

360 Butler Drive - The Board recommended approval of a replacement detached garage with a small family living space above. The Board recommended approval of the associated building scale variance. No public testimony was presented on this item. (Approved - 4 to 0)

1425 Telegraph Road - The Board recommended approval of a new single family residence with an attached garage on the site of a previous demolition. The Board also recommended approval of the hardscape plan and conceptual landscape plan. (Approved - 7 to 0)

Ordinances approving the petitions as recommended by the Building Review Board with key exhibits attached are included in the Council packet. The Ordinances, complete with all

exhibits, are available for review in the Community Development Department.

COUNCIL ACTION: If determined to be appropriate by the City Council, waive first reading and grant final approval of the Ordinances approving the petitions for 172 Atteridge Road, 360 Butler Drive and 1425 Telegraph Road in accordance with the Building Review Board's recommendations.

14. Consideration of an Ordinance Approving a Recommendation from the Historic Preservation Commission in Support of Granting a Building Scale Variance for Additions and a Pool Cabana at 1360 Elm Tree Road. (First Reading and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Catherine Czerniak, Director of Community Development*
(847-810-3504)

PURPOSE AND ACTION REQUESTED

The following recommendation from the Historic Preservation Commission is presented to the City Council for consideration as part of the Omnibus Agenda.

BACKGROUND/DISCUSSION

1360 Elm Tree Road – The Commission recommended approval of an Ordinance granting a building scale variance for small additions to the residence and construction of a pool cabana. The Commission has final authority over design related decisions however, City Council action is required for building scale variances based on a recommendation from the Commission. No public testimony was presented on this item. This petition was also considered by the Zoning Board of Appeals as detailed in the following agenda item. (Approved - 6 to 0)

An Ordinance approving a building scale variance for 1360 Elm Tree Road with key exhibits attached, is included in the Council packet. The Ordinance with complete exhibits is available for review in the Community Development Department.

COUNCIL ACTION: If determined to be appropriate by the City Council, waive first reading and grant final approval of an Ordinance approving a building scale variance for additions and a pool cabana on property at 1360 Elm Tree Road as recommended by the Historic Preservation Commission.

15. Consideration of Ordinances Approving Recommendations from the Zoning Board of Appeals for 1360 Elm Tree Road, 1510 Willow Street, 270 Overlook Drive, and 587-589 Ivy Court. (First Reading, and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Catherine Czerniak, Director of Community Development*
(847-810-3504)

PURPOSE AND ACTION REQUESTED

The following recommendations from the Zoning Board of Appeals are presented to the City Council for consideration as part of the Omnibus Agenda along with the associated Ordinances.

BACKGROUND/DISCUSSION

1360 Elm Tree Road – The Zoning Board of Appeals recommended approval of an Ordinance granting a front yard setback variance to allow a small addition to align with the existing residence. No public testimony was presented on this petition. This petition was also considered by the Historic Preservation Commission as detailed in the previous agenda item. (Approved – 6 to 0)

1510 Willow Street – The Zoning Board of Appeals recommended approval of an Ordinance granting variances to allow expansion of the driveway within the front and side yard setbacks. A neighbor spoke in support of the petition. (Approved – 5 to 0 with one abstention)

270 Overlook Drive – The Zoning Board of Appeals recommended approval of an Ordinance granting a variance to allow an addition to the residence within the steep slope setback. No public testimony was presented on this petition. (Approved – 6 to 0)

587-589 Ivy Court – The Zoning Board of Appeals recommended approval of an Ordinance granting variances for a replacement detached garage within the side and rear yard accessory structure setbacks. No public testimony was presented on this petition. (Approved 6 to 0)

Ordinances approving variances as recommended by the Zoning Board of Appeals, with key exhibits attached, are included in the Council packet. The Ordinances, complete with all exhibits, are available for review in the Community Development Department.

COUNCIL ACTION: If determined to be appropriate by the City Council, waive first reading and grant final approval of Ordinances approving variances from zoning setbacks for 1360 Elm Tree Road, 1510 Willow Street, 270 Overlook Drive and 587-589 Ivy Court in accordance with the Zoning Board of Appeals' recommendations.

16. Consideration of an Amendment to the Lake Forest Code relating to Service Regulations. (First Reading and if Desired by the City Council, Final Approval)

STAFF CONTACT: *Margaret Boyer, City Clerk (847-810-3674)*

PURPOSE AND ACTION REQUESTED

Staff are recommending an amendment to the existing liquor code to provide clearer guidance on alcohol service regulations. Chapter 111, Section 111.076, "Prohibitions Regarding Minors".

BACKGROUND/DISCUSSION

City staff regularly reviews portions of the municipal code to ensure clarity and consistency with state law. This proposed amendment clarifies that individuals aged 18 or older may serve or deliver alcohol as employees of an on-premises licensee. In alignment with state law, the prohibition remains in place that individuals under 21 may not sell, pour, or mix alcohol, nor tend bar. This update mirrors ordinances in other communities that permit individuals 18 and older to serve alcohol.

The proposed ordinance is included in the packet.

COUNCIL ACTION: Consideration of an Amendment to the Lake Forest Code relating to Service Regulations. (First Reading and if Desired by the City Council, Final Approval)

COUNCIL ACTION: Approve the sixteen (16) omnibus items as presented

6. OLD BUSINESS

1. Award of Contracts for Bank Lane Streetscape Construction

STAFF CONTACT: *Byron Kutz, Superintendent of Engineering (847-810-3555)*

PURPOSE AND ACTION REQUESTED

The Public Works Committee and City staff are requesting approval of the Bank Lane Streetscape Project to D'Land Construction. Three construction-delivery options are presented, which includes a full day option, a day/night hybrid option, and a full night-time construction option.

BACKGROUND/DISCUSSION

Based on the Comprehensive Land Use Plan and direction from the City Council, the Bank Lane Streetscape Enhancement Plan was developed through a public process with a focus on:

- Compatibility with the historic visual character of the Central Business District and Market Square.
- Functionality and pedestrian safety and friendliness.
- Creating a unique and memorable experience.
- Ability to accommodate service needs of businesses.
- Durability, ease of maintenance.
- Sustainability.
- Coordination with other planned improvements: Deerpath Streetscape improvements
- Infrastructure upgrades.

Implementation of the Bank Lane Streetscape Plan is intended to occur in phases recognizing the unique character and function of each of the five blocks that extend from Vine to Wisconsin Avenues. The construction being presented for approval now is just the first phase of streetscape enhancements on the block of Bank Lane immediately north of Deerpath, from Deerpath to Southgate. Proceeding with enhancements to this block of Bank Lane at this time is based on several factors.

- This block of Bank Lane will be impacted by the Deerpath Streetscape improvements and constructing both projects together will help improve the efficiency of construction. Moving directly into construction of the streetscape enhancements on this block will avoid multi-year impacts on businesses and pedestrians in the immediate area.
- The Deerpath Streetscape improvements “turn the corner” on to this block of Bank Lane, carrying the improvements the full extent of the block assures consistency in materials, detailing, and is cost effective.
- A portion of Bank Lane, near the intersection with Deerpath, has been used informally as a seasonal seating area. The proposed enhancements formalize gathering and seating areas on this block with attention to safety.

- The proposed improvements are intended to accommodate and encourage closure of the block for not only special events, but also on a more regular basis to allow dining and gathering in the street while still providing for service needs of businesses during the day.

More specifically, the construction scope includes the reconstruction of Bank Lane with decorative streetscape materials including brick pavers, decorative sidewalk, granite cobble curb, masonry walls and columns, LED lighting, landscaping, bollards for closing the road temporarily to traffic for events, and other associated work to make the project complete.

The schedule anticipates construction beginning on June 9 and concluding by October 31, 2025, with close coordination planned alongside the adjacent Deerpath Streetscape project to minimize disruption to nearby residents and businesses.

The bid package included options for performing the work either fully during the day-time or during the night-time. Staff presented these two options to the Public Works Committee as well as a third hybrid day/night option which utilized the night-pricing for more impactful work (removals, excavation, aggregate placement, and concrete pours). All three options have the same start and completion date milestones. Staff recommended the day/night hybrid construction option to the Public Works Committee to reduce pedestrian-equipment interactions in the narrow corridor during the day and to shift more disruptive work, such as dust and noise near businesses and patios, to nighttime hours. The Public Works Committee recommended proceeding with the day-time construction option, or alternatively, allowing businesses that would benefit from reduced disruption to cover the additional cost of upgrading to the day/night hybrid option. Staff did explore this with one of the larger restaurants on Bank Lane whom stated that they will be negatively impacted by the construction and that they could not bear additional costs.

PROJECT REVIEW/RECOMMENDATIONS

Reviewed	Date	Comments
Public Works Committee	5/5/2025	Reviewed and Recommended City Council Approval of Day-Time Construction
City Council	1/21/2025	City Council Approval of Final Design
Finance Committee	11/12/2024	Construction Included with FY26 Capital Plan

BUDGET/FISCAL IMPACT

As part of the FY 2025 budget, the City Council approved funding for development of the construction/engineering plans necessary to implement the first phase of the Bank Lane streetscape enhancements. Construction funding was included as part of the FY 2026 budget.

Construction:

Nine contractors picked up plans, with a total of three bids received. City engineering staff will oversee the contractor for the day option, with varying consultant assistance for the options

consisting of night-work. The project-team will work with the City's Communications team to ensure progress updates are provided weekly to the public.

Has City staff obtained competitive pricing for the construction? Yes

The following is a summary of the three construction bids received which included options for performing the work either fully during the day-time or during the night-time. As aforementioned, the night-time option was included as an alternate option to mitigate construction inconveniences for the adjacent businesses.

Company Name	<u>Day-Time</u> Bid Amount	Night-Time Bid Amount	*Day/Night Hybrid Amount
D'Land Construction, LLC	\$1,264,094	\$1,825,716	\$1,461,267
Landmark Contractors, Inc.	\$1,411,903	No bid	N/A
Alliance Contractors Inc.	\$1,542,280	\$2,542,280	\$2,542,280

*The Day/Night hybrid option was not included as part of the original bid package. The costs were determined by calculating the costs by utilizing the contractor-provided day prices for the majority of work and night prices for the more disruptive construction operations.

The low bidder, D'Land Construction, is currently performing the construction for the adjacent Deerpath Streetscape project. As D'Land is already working on Deerpath it will benefit the construction of Bank Lane with coordinated scheduling, resource sharing, logistical efficiency, and improved coordination. Below is a project cost breakdown for the day-time, night-time, and day/night hybrid options utilizing the prices from D'Land as they were the low-bidder for all three options:

Option	Construction Cost	*Construction Contingency	Sub-Total Bank Lane Costs	**Project Allowance	Total Construction Costs
Day-Time	\$1,264,094	\$126,410	\$1,390,504	\$25,000	\$1,415,504
Day/Night	\$1,461,267	\$146,127	\$1,607,394	\$25,000	\$1,632,394
Night-Time	\$1,825,716	\$182,572	\$2,008,288	\$25,000	\$2,033,288

*The Construction Contingency was calculated based on the Bank Lane construction costs and no contingency for project allowances was included.

** The project allowance is intended to cover incidental expenses that may arise during the course of the work. Given the project's tight constraints, this could include costs the City may incur, such as window-washing for private businesses affected by construction dust. Additionally, staff is working with the owner of a nearby private parking lot to arrange construction access, and the allowance may be used to cover any necessary repairs to that area, if needed.

Inspection:

City staff typically inspects most construction projects during day-time hours, allowing for

consistent monitoring of work progress, coordination with contractors, and effective communication with local stakeholders such as residents and businesses. During the evaluation of various construction delivery options aimed at minimizing disruptions to nearby businesses, staff recognized the operational challenges associated with assigning one City staff member exclusively to oversee night work. Such a commitment would significantly affect the Engineering Section's ability to maintain service levels across other active projects and daily responsibilities. Therefore, the City solicited pricing for assistance as needed for the night-time options, and for shop-drawing reviews for the day-time option. Shop-Drawing review in the amount of \$5,000 is shown for the day-time construction option, while part-time consultant assistance in the amount of \$50,000 is shown for the Day/Night hybrid option. The Engineering Section solicited Request for Proposals (RFP) from professional engineering firms to perform inspection for the full night-time construction option. Twelve firms acquired the RFP package, and one submitted a proposal. The proposals were reviewed by City Staff.

Has City staff obtained competitive pricing for the full night-time inspection services? Yes

One proposal was received for the full night-time construction inspection option from Thomas Engineering in the amount of \$258,363.

Overall Total:

Below is an estimated summary of the project budget for which the FY26 Funding Source is Local Capital Funds Account Number 311-3703-478.78-22:

Amount Budgeted	Option	Total Construction Costs	Inspection Costs	Amount Requested	Budgeted Y/N
\$1,700,000	<u>Day-Time</u>	\$1,415,504	*\$5,000	\$1,420,504	Y
	Day/Night	\$1,632,394	\$50,000	\$1,682,394	Y
	Night-Time	\$2,033,288	\$258,363	**\$2,291,651	Y

*This \$5,000 is within staff-authority per the purchasing policies, and therefore not included within the proposed council action tonight.

**Should the full night-time construction option be selected, the amount in excess of the budget will be funded from Capital Improvement Fund reserves. A supplemental appropriation would be submitted for City Council approval at a later date if needed.

COUNCIL ACTION: Award of Contracts for Bank Lane Streetscape Construction:

1) Award of the Low Bid for the Bank Lane Streetscape Project for Day-Work to D'Land Construction, LLC. and Authorize the City Manager to Execute an Agreement in the Amount of \$1,289,094 and a Contingency in the Amount of \$126,410 for a Total Project Cost of \$1,415,504

2) Award of the Low Bid for the Bank Lane Streetscape Project for Day/Night-Work Hybrid to D'Land Construction, LLC. and Authorize the City Manager to Execute an Agreement in the Amount of \$1,486,267 and a Contingency in the Amount of \$146,127 for a Total Project Cost of \$1,632,394. Also, Approval of Part-Time Construction Inspection Services for the Bank Lane Streetscape Project to Thomas Engineering Group and Authorize the City Manager to Execute an Agreement in the Amount Not to Exceed \$50,000.

3) Award of the Low Bid for the Bank Lane Streetscape Project for Night-Work to D'Land Construction, LLC. and Authorize the City Manager to Execute an Agreement in the Amount of \$1,850,716 and a Contingency in the Amount of \$182,572 for a Total Project Cost of \$2,033,288. Also, Approval of Full-Time Construction Inspection Services for the Bank Lane Streetscape Project to Thomas Engineering Group and Authorize the City Manager to Execute an Agreement in the Amount Not to Exceed \$258,363.

7. NEW BUSINESS

8. ADDITIONAL ITEMS FOR DISCUSSION/ COMMENTS BY COUNCIL MEMBERS

9. ADJOURNMENT

A copy of the Decision Making Parameters is included with this agenda following this page.

Office of the City Manager

May 19, 2025

The City of Lake Forest is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact City Manager Jason Wicha, at (847) 234-2600 promptly to allow the City to make reasonable accommodations for those persons.



Resolution of Appreciation

WHEREAS, JOHN C. GULLEDGE has been a dedicated employee of The City of Lake Forest since June 14, 1999; and

WHEREAS, JOHN C. GULLEDGE honorably retired from the City on January 24, 2025; and

WHEREAS, JOHN C. GULLEDGE served the City as a Maintenance Worker II in both the Streets and Building Maintenance Sections, where he helped develop the City's first salt brine system for snow and ice control, served as a main line plow driver, and used his trade skills to enhance City facilities and promote a safe, healthy environment for staff and residents. His work on facility projects ranged from running data lines to full office buildouts, which he always carried out with a positive attitude, professionalism, and a strong sense of how each task contributed to the City's broader goals. He also served on the Department's Safety Committee and Accident Review Board; and

WHEREAS, JOHN C. GULLEDGE in 2011 was promoted to Chief Water Plant Operator, where his leadership and dedication were key to maintaining the high standards of the City's Water Treatment Plant, lift and pump stations, and elevated tank. From 2012 to 2017, he also served as Supervisor to both the Water Plant and Water & Sewer Sections, demonstrating a strong work ethic, positive attitude, and effective leadership. John played a critical role in the 2017 Water Membrane Filtration Project, overseeing the design, implementation, and construction of the membrane replacement. Since 2019, he has provided ongoing Operator support to the City of Highwood, reflecting his continued commitment to regional collaboration and service; and

WHEREAS, JOHN C. GULLEDGE held an Illinois Environmental Protection Agency Class – A Public Water Supply Operator license, served on the Water Utility Committee for the Illinois Section American Water Works Association, and was an active member of the West Shore Water Producers Association, demonstrating his professional leadership and commitment to the advancement of the water utility industry.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAKE FOREST that the Council, on behalf of the administration and residents of the community, hereby expresses its appreciation and gratitude to **JOHN C. GULLEDGE** for a public service faithfully performed; and

BE IT FURTHER RESOLVED that this Resolution be appropriately inscribed and conveyed to **John**, with a copy to be included in the official minutes of the May 19, 2025 meeting of the Lake Forest City Council.

The City of Lake Forest
CITY COUNCIL MEETING MINUTES
Proceedings of the Monday, May 5, 2025 6:30 pm
First Session
 City Council Meeting – City Council Chambers
220 E Deerpath, Lake Forest, IL 60045

CALL TO ORDER AND ROLL CALL: Honorable Mayor Tack called the meeting to order at 6:30 p.m., and City Clerk Margaret Boyer called the roll of Council members.

Present: Honorable Mayor Tack, Alderman Novit, Alderman Clemens, Alderman Notz, Alderman Powers, Alderman Goshgarin, Alderman LeVert, Alderman Weber and Alderman Walther.

Absent: none

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE was recited by all.

REPORTS OF CITY OFFICERS

COMMENTS BY MAYOR

COMMENTS BY CITY MANAGER

A. McClory Bike Path Update
-Byron Kutz, Superintendent of Engineering

City Manager Jason Wicha introduced Byron Kutz, Superintendent of Engineering. Mr. Kutz reported that the McClory Bike Path was identified as a priority based on the 2023 community-wide survey. The City applied for IDNR grant and received an award letter dated 10/24/24. The FY2026 Budget total \$450,000 (50/50 Grant not to exceed \$200,000; Local: \$250,000) The City received 4 bids- March 13, 2025 (see chart)

Contractor Firm	Bid Amount
Maneval Construction	\$236,664
Everlast Blacktop Inc	\$281,739
Peter Baker & Son Co	\$292,422
Schroeder Asphalt Services, Inc.	\$294,448

Anticipated construction from July 7 to August 1. Other construction in the neighborhood was discussed along with detour options.

B. Deerpath Streetscape Project- Monthly Update
- Byron Kutz, Superintendent of Engineering

City Manager Jason Wicha introduced Byron Kutz, Superintendent of Engineering. Mr. Kutz gave a monthly update that included the following recent work completed: North Shore Gas completed the gas main replacement (Oakwood to Western), IDOT executed the Construction Agreement, and sidewalk saw-cutting began, and mobilization of equipment is underway. Mr. Kutz stated that Phase I is complete. Other general updates included: Project-Team attended Chamber Meetings, monitoring detours and traffic signals, Streetscape Project-Team walking businesses frequently, Regular communication with businesses and

Chamber, Field-office hours: Open to Public Thursdays 1-2 pm. Lastly, he reported that Deerpath Road would be closed on May 6 in the morning. He also reviewed Phase 2 Streetscape Enhancements to include: Deerpath is closed to vehicle traffic between Oakwood Ave and Western Ave, but remains open to pedestrians. Bank Lane (north of Deerpath to South Gate) will be closed to vehicles. Bank Lane (south of Deerpath) will return to two-way traffic while Deerpath is closed. The Oakwood/Deerpath and Western/Deerpath intersections will close for approximately two weeks for crosswalk installation, and Bank Lane Enhancements from Deerpath to South Gate are expected to begin in June.

The City Council had a discussion on delivery accessibility, communications with businesses and residents.

OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL

Romy Lopat asked questions to the City Council regarding surplus funds and their allocation.
Art Mertes offered his opinion to the City Council in opposition to the Legal Committee Ordinance.
Susan Garrett offered her opinion to the City Council in opposition to the Legal Committee Ordinance.

COMMITTEE REPORTS

PUBLIC WORKS COMMITTEE

1. **Consideration to Approve Agreements and Contingencies for the Deerpath Streetscape Project as follows:**

a. Approval of Temporary Traffic Signal Services to John Thomas Inc., and authorize the City Manager to execute an Agreement in the Amount Not to exceed \$52,200; and

b. Approval of a Construction Contingency in the Amount of \$150,000 for Invoices to the State of Illinois Department of Transportation; and

c. Approval of a Construction Contingency and Miscellaneous Services Related to the Project in the Amount of \$150,000 to D'Land Construction, LLC.

Byron Kutz, Superintendent of Engineering, gave a brief overview of each item emphasizing that IDOT agreements do not include local contingencies above the award amount. And that awarding a 10% contingency is consistent with our local construction practices. Additionally, splitting a \$300,000 contingency 50/50 between IDOT and work, payable directly to D'Land, and contingency for any unforeseen items, or small scope changes, any unused contingency remains in the Capital Fund, and lastly, the current temporary Westminster signal contract expires; staff are seeking a contract extension.

Mayor Tack asked if there was anyone from the public who would like to comment on this item. Seeing none, he asked for a motion.

Alderman Goshgarian made a motion to approve Agreements and Contingencies for the Deerpath Streetscape Project, seconded by Alderman Notz. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, Goshgarian, LeVert, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

ITEMS FOR OMNIBUS VOTE CONSIDERATION

1. **Approval of the April 7, 2025 City Council Meeting Minutes**
2. **Approval of the April 21, 2025 City Council Meeting Minutes**

3. **Approval of the Check Register for the Period of March 22–April 19, 2025**
4. **Consideration of Ordinances Amending the City of Lake Forest Code Sections 97.020, 97.021, and 97.022 pertaining to the Park and Recreation Board and Section 32.095 pertaining to the Legal Committee. (Final Approval)**
5. **Consideration of an Ordinance amending Chapter 39 of the City Code of Ordinances regarding municipal grocery taxes with the adoption of a 1% grocery tax effective January 1, 2026 (Final Reading)**
6. **Approval of a Public Works Committee Recommendation to Award a Bid Extension to Midwest Power Industries, Inc., for a One-Year Generator Maintenance Contract in the amount of \$26,925.**
7. **Approval of Design Engineering Services for the Cherokee Road Storm Sewer Improvements Project to Christopher B. Burke Engineering, Ltd., and Authorize the City Manager to Execute an Agreement in the Amount of \$59,876 to Include a 5% Contingency in the Amount of \$2,994 for a Total Cost of \$62,870**
8. **Award of the Low Bid for the 2025 McClory Bike Path Resurfacing project to Maneval Construction, and Authorize the City Manager to Execute an Agreement in the Amount of \$236,664 as well as Approving a 10% Contingency in the Amount of \$23,666 for a Total Cost of \$260,330**
9. **Approval of a 10% Construction Contingency for the Cherokee School Sidewalk Connection Project in the Amount of \$24,614 for Invoices to the State of Illinois Department of Transportation**
10. **Approval to Authorize the City Manager to enter into a contract with American Sealcoating of Indiana for South Park Tennis and Basketball Court Resurfacing Services, in the Amount of \$27,100 to include a Contingency in the Amount of \$2,900 for a Total Cost of \$30,000.**

COUNCIL ACTION: Approve the ten (10) omnibus items as presented

Mayor Tack asked the Council if there were any items to be removed or taken separately. Items # 4 & #5 were removed. Seeing no other items to be removed, he asked for a motion.

Alderman Weber made a motion to approve the eight (8) Omnibus items as presented, seconded by Alderman Goshgarian. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, Goshgarian, LeVert, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Items removed to be taken separately.

(# 5) Consideration of an Ordinance amending Chapter 39 of the City Code of Ordinances regarding municipal grocery taxes with the adoption of a 1% grocery tax effective January 1, 2026 (Final Reading)

City Manager Jason Wicha gave a summary of this item noting that currently the State of Illinois serves as a pass through, and the City received approximately \$525,000 dollars annually from the tax.

Mayor Tack offered public comment on this item.

Romy Lopat offered her opinion to the City Council on this matter.

Seeing no other comments, Mayor Tack asked for a motion.

Alderman Walther made a motion to approve an Ordinance amending Chapter 39 of the City Code of Ordinances regarding municipal grocery taxes with the adoption of a 1% grocery tax effective January 1, 2026 (Final Reading), seconded by Alderman Weber. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, LeVert, Weber and Walther. The following "abstained": Alderman Goshgarian. The following voted "Nay": none. 7-Ayes, 1-abstention, 0-Nays, motion carried.

(# 4) Consideration of Ordinances Amending the City of Lake Forest Code Sections 97.020, 97.021, and 97.022 pertaining to the Park and Recreation Board and Section 32.095 pertaining to the Legal Committee. (Final Approval)

Mayor Tack opened discussion on this topic. Members of the City Council asked to have the ordinance amendments separated. The role of each committee was discussed at length by all members of the City Council, along with the potential creation of Ad hoc Committees should the need arise.

Mayor Tack offered public comments.

Romy Lopat offered comments to the City Council on the Legal Committee's role.
Art Mertes offered his opinion in opposition to the amendment related to the Legal Committee.
Susan Garrett offered her opinion on opposition to the amendment related to the Legal Committee.

Mayor Tack asked for a motion to amend the City of Lake Forest Code Sections 97.020, 97.021, and 97.022 pertaining to the Park and Recreation Board. (final approval)

Alderman Notz made a motion to amend the City of Lake Forest Code Sections 97.020, 97.021, and 97.022 pertaining to the Park and Recreation Board (final approval), seconded by Alderman Goshgarian. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, Goshgarian, LeVert, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Mayor Tack asked for a motion to amend the City of Lake Forest Code Section 32.095 pertaining to the Legal Committee.

Alderman Novit made a motion to table the discussion on this item, seconded by Alderman Goshgarian.

Information such as Purpose and Action Requested, Background/Discussion, Budget/Fiscal Impact, Council Action and a Staff Contact as it relates to the Omnibus items can be found on the agenda.

OLD BUSINESS

7. NEW BUSINESS

1. Consideration of a Request for Naming Rights for the Baseball Field at Everett Park in Memory of Steven Malin Jr. (By Motion)

Alderman Ara Goshgarian stated Steven's memory lives on, his vibrancy, zest for life, and love of baseball are memorialized through enhancements to the baseball field at Everett Park. The enhancements were made possible through the efforts of his family and through generous in kind and monetary contributions from many totaling \$329,700. The improvements included, but were not limited to, fencing and screening for dugouts, home run fencing and padding, installation of a score board, a landscaped memorial area, and hardscape

improvements. The improvements remain today and have elevated this neighborhood ball field above standard ball fields found throughout the community.

Mr. & Mrs. Malin thanked the City Council for their consideration.

COUNCIL ACTION: If desired by the Council, approve a motion granting naming rights for the baseball field at Everett Park to the Malin Family in memory of Steven Malin, Jr. and direct that signage be finalized and a Resolution documenting the Council's approval be presented at a future meeting.

Alderman Clemens made a motion granting naming rights for the baseball field at Everett Park to the Malin Family in memory of Steven Malin, Jr. and direct that signage be finalized and a Resolution documenting the Council's approval be presented at a future meeting, seconded by Alderman Weber. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, Goshgarian, LeVert, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Mayor Tack, on behalf of the City Council, extended heartfelt condolences and wished comfort to the Malin family.

ADDITIONAL ITEMS FOR COUNCIL DISCUSSION/COMMENTS BY COUNCIL MEMBERS
--

With Thanks and Appreciation

-City Manager Jason Wicha

Jason Wicha, City Manager, presented Alderman Goshgarian with a certificate for a tree to be planted in his honor, along with a personalized City street sign.

1. Final words for departing Council Member from remaining Council Members for Alderman Goshgarian

The City Council expressed sincere gratitude for the service of departing Alderman Goshgarian, saying a few words regarding his service to the City.

2. Final comments from Alderman Goshgarian

Alderman Goshgarian made closing remarks to the Council, Residents, and Staff about his tenure and accomplishments on the City Council.

ADJOURNMENT

There being no further business Mayor Tack asked for a motion to adjourn. Alderman Goshgarian made a motion to adjourn, seconded by Alderman Powers. The motion was carried unanimously by voice vote at 9:05 p.m.

Respectfully Submitted,
Margaret Boyer, City Clerk

A video of the City Council meeting is available for viewing at the Lake Forest Library and on file in the Clerk's office at City Hall. You can also view it on the website by visiting www.cityoflakeforest.com. Click on I Want To, then click on View, then choose Archived Meetings Videos.

The City of Lake Forest
CITY COUNCIL MEETING
SECOND SESSION
Proceedings of the Monday, May 5, 2025
 City Council Meeting – City Council Chambers
 220 E Deerpath, Lake Forest, IL 60045

CALL FOR ORGANIZATION OF THE 2025-2026 LAKE FOREST CITY COUNCIL

The City Clerk Called for the Organization of the 2025-2026 Lake Forest City Council and asked the Alderman Elect to step forward to have the Oath of Office administered. Photos were taken.

CITY CLERK ADMINISTERS THE OATH OF OFFICE TO:

- First Ward Alderman-Elect - - Pete Clemens
- Second Ward Alderman-Elect - - John Powers
- Third Ward Alderman-Elect - - Nick Bothfeld
- Fourth Ward Alderman-Elect - - Richard Walther

CITY CLERK ADMINISTERS THE OATH OF OFFICE TO:

- Mayor-Elect - - Stanford R. Tack

CALL TO ORDER AND ROLL CALL

9:12 P.M.

Honorable Mayor, Stanford R. Tack

- | | |
|---|--|
| Nancy Novit, Alderman First Ward | Alice LeVert, Alderman Third Ward |
| Peter Clemens, Alderman First Ward | Nick Bothfeld, Alderman Third Ward |
| Edward U. Notz, Jr., Alderman Second Ward | Eileen Looby Weber, Alderman Fourth Ward |
| John Powers, Alderman Second Ward | Richard Walther, Alderman Fourth Ward |

PLEDGE OF ALLEGIANCE was recited by all those present.

ELECTION AND APPOINTMENT OF CITY OFFICERS

1. ELECTION BY THE CITY COUNCIL AND APPOINTMENTS BY THE MAYOR AS REQUIRED BY CHARTER AND CITY CODE

- | | |
|----------------------------|----------------------------|
| City Supervisor | Jason Wicha |
| City Treasurer | Katie Skibbe |
| City Clerk | Margaret Boyer |
| City Marshal & Collector | John Burke |
| City Attorney | Ancel Glink |
| City Surveyor and Engineer | Gewalt Hamilton Associates |

COUNCIL ACTION: Approve the Mayors Appointments

Alderman Novit made a motion to approve the Mayors Appointments, seconded by Alderman Weber. Motion passed unanimously by voice vote.

REPORTS OF CITY OFFICERS

COMMENTS BY MAYOR

A. Resolution of Appreciation for Ward 3 Alderman Ara Goshgarian

Mayor Tack read the resolution, and photos were taken.

COUNCIL ACTION: Approve the Resolution of Appreciation

Alderman LeVert made a motion to approve the Resolution of Appreciation, seconded by Alderman Powers. Motion passed unanimously by voice vote.

COMMENTS BY CITY MANAGER

City Manager Wicha congratulated and welcomed Alderman Bothfeld to the City Council noting what a reward public service can be when we all work toward a collective vision.

OPPORTUNITY FOR CITIZENS TO ADDRESS THE CITY COUNCIL

COMMITTEE REPORTS

ITEMS FOR OMNIBUS VOTE CONSIDERATION

- 1. Approval of the Regularly Scheduled Meetings of the Lake Forest City Council for the year 2026**
- 2. Approval of Resolutions Required for Bank Purposes to Amend Authorized Signers on City bank accounts.**
- 3. Approval of a Resolution Appointing a Delegate and Alternate Delegate to the Intergovernmental Risk Management Agency (IRMA).**

COUNCIL ACTION: Approve the three (3) omnibus items as presented

Mayor Tack asked if anyone would like an item removed or taken separately. Seeing none he asked for a motion.

Alderman Weber made a motion to approve the three (3) Omnibus items as presented, seconded by Alderman Novit. The following voted "Aye": Alderman Novit, Clemens, Notz, Powers, LeVert, Bothfeld, Weber and Walther. The following voted "Nay": none. 8-Ayes, 0-Nays, motion carried.

Information such as Purpose and Action Requested, Background/Discussion, Budget/Fiscal Impact, Council Action and a Staff Contact as it relates to the Omnibus items can be found on the agenda.

OLD BUSINESS

NEW BUSINESS

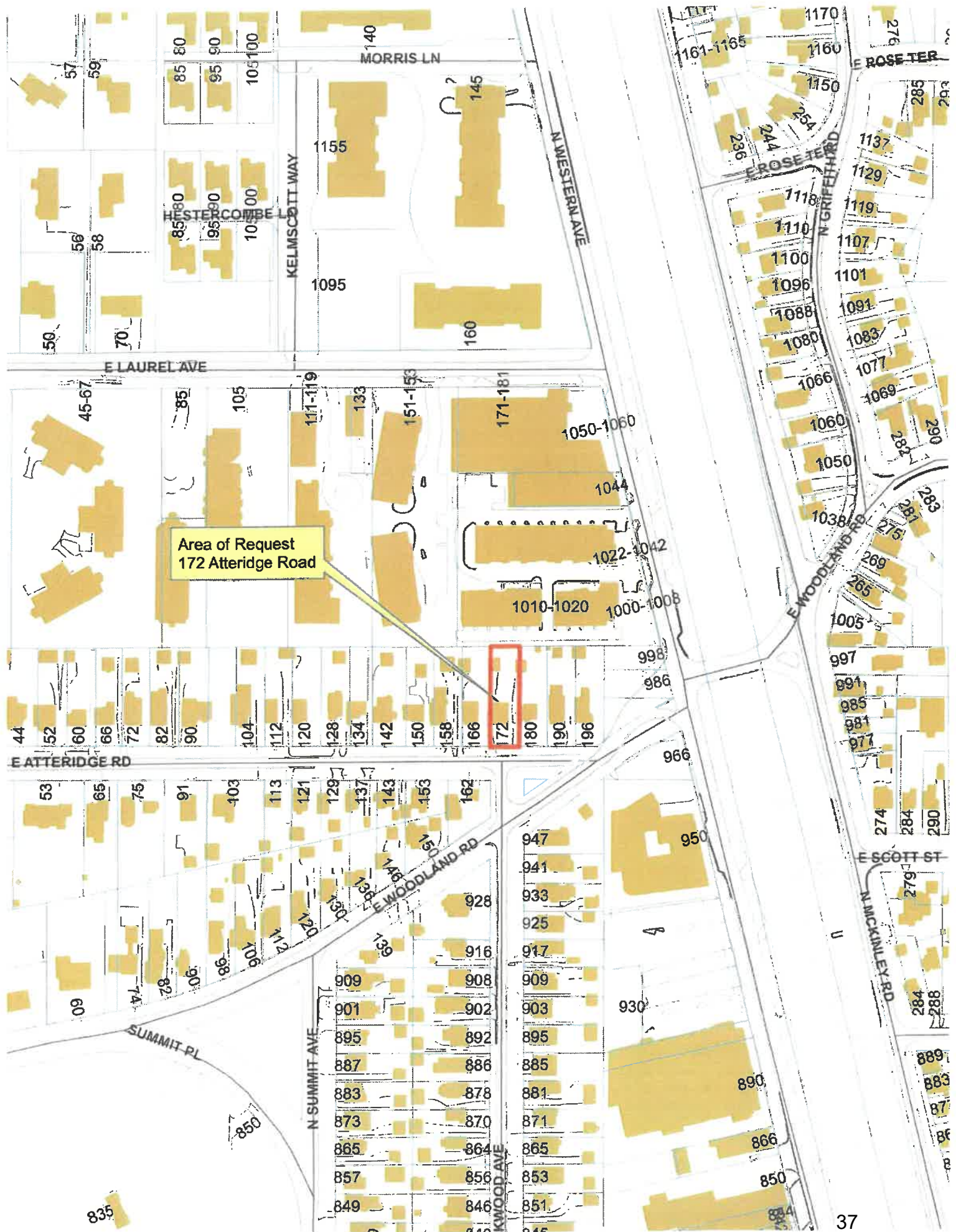
ADDITIONAL ITEMS FOR COUNCIL DISCUSSION/COMMENTS BY COUNCIL MEMBERS

ADJOURNMENT

There being no further business Mayor Tack asked for a motion to adjourn. Alderman Clemens made a motion to adjourn, seconded by Alderman LeVert. Motion carried unanimously by voice vote at 9:20 p.m.

Respectfully Submitted,
Margaret Boyer, City Clerk

A video of the City Council meeting is available for viewing at the Lake Forest Library and on file in the Clerk's office at City Hall. You can also view it on the website by visiting www.cityoflakeforest.com. Click on I Want To, then click on View, then choose Archived Meetings Videos.



Area of Request
172 Atteridge Road

THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-____

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN
REVIEW AND GRANTING A HEIGHT VARIANCE FOR THE PROPERTY LOCATED AT 172
ATTERIDGE ROAD

WHEREAS, Richard and Kathleen Hanson ("**Owners**") are the owners of that certain real property commonly known as 172 Atteridge Road, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-1, Single Family Residence District; and

WHEREAS, the Owners desire to construct a second story addition at the rear and make other alterations to the house ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") to permit the construction of the Improvements and were required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, a small portion of the Improvements as depicted on the Plans would exceed the allowable height as set forth in Section 150.148 (C) of the City Code in order to align with the height of the existing residence; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on April 2, 2025; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-1 District under the City Code,
2. Owners propose to construct the Improvements as depicted on the Plans,
3. as depicted on the Plans, a portion of the Improvements exceed the allowable height as set forth in Section 150.148(C) of the City Code,
4. the Improvements align with the height of the existing residence and as a result, are consistent with the design standards in Section 150.147 of the City Code,
6. the Improvements are sited in a manner that minimizes the appearance of mass from the streetscape,
7. the proposed Improvements will not have a significant negative impact on the light to or views from neighboring homes,
7. the Improvements will generally be compatible with the height of the existing structure and structures on adjacent lots, buildings on the street and on adjacent streets, and other residences in the same neighborhood,
8. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with this Ordinance, the recommended conditions, and the Plans, will meet the standards and requirements of Sections 150.147 and 150.148 of the City Code,

and recommended that the City Council approve the Application and the Plans and grant an exception to the allowable height consistent with the Plans subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application and exception to the

maximum allowable height, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council further determine in the exercise of the City's home rule powers that it is in the best interests of the City and its residents to grant Owners' request for exceptions to the otherwise applicable maximum allowable height, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Maximum Height Exception Granted. Pursuant to Section 150.148 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant an exception to the height requirements set forth in Section 150.148(D) of the City Code, as more fully depicted on the Plans, by allowing a small portion of the addition to exceed the maximum allowable height by three inches, not to exceed 30'3".

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and are hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on Exhibit C, Notice of Action – Board Recommendation, attached hereto.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

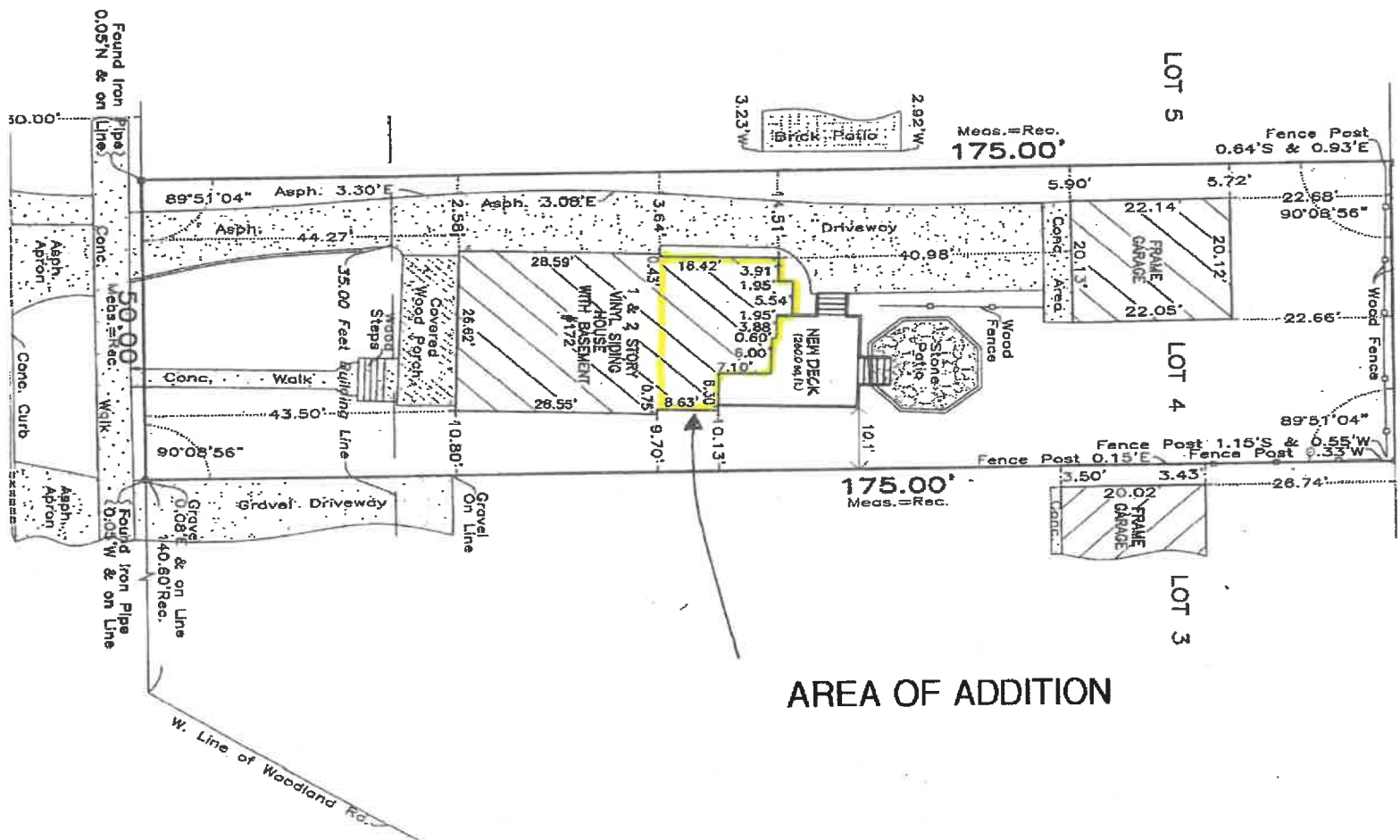
GROUP EXHIBIT B

The Plans

ENLARGED SITE PLAN

© COPYRIGHT AND SUPPORTING ARCHITECTS: 1-878-887-8888, www.rafferty.com
 THESE PLANS ARE RESTRICTED TO THE ORIGINAL CLIENT, SITE AND PURPOSE FOR WHICH THEY WERE PREPARED.
 ALL RIGHTS RESERVED. AN UNPUBLISHED WORK. TO COPY A PLAN OR PORTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RAFFERTY ARCHITECTS IS PROHIBITED. ANY REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RAFFERTY ARCHITECTS IS PROHIBITED. ANY REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RAFFERTY ARCHITECTS IS PROHIBITED. ANY REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RAFFERTY ARCHITECTS IS PROHIBITED.

GENERAL NOTES
 THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND AGENCIES.



AREA OF ADDITION

SITE PLAN
 Scale: 1" = 20 feet

REVISIONS	DATE

CUSTOM ADDITION
 DESIGNED SPECIALLY FOR BOB AND KATHLEEN HANSON
 LOT 4 IN GREEN BAY ADDITION
 172 ATTERIDGE ROAD
 LAKE FOREST, ILLINOIS

rafferty/architects
 57 Witt Road
 South Berlingon, IL 60010
 phone: (847) 581-6289
 www.raffertyarchitects.com
 Michael P. Rafferty, Architect
 Nancy K. Rafferty, Architect

DRAWN
CHECKED
DATE
03/20/25
SCALE
JOB NO.
SHEET
C-1
OF
SHEETS

GROUP EXHIBIT B

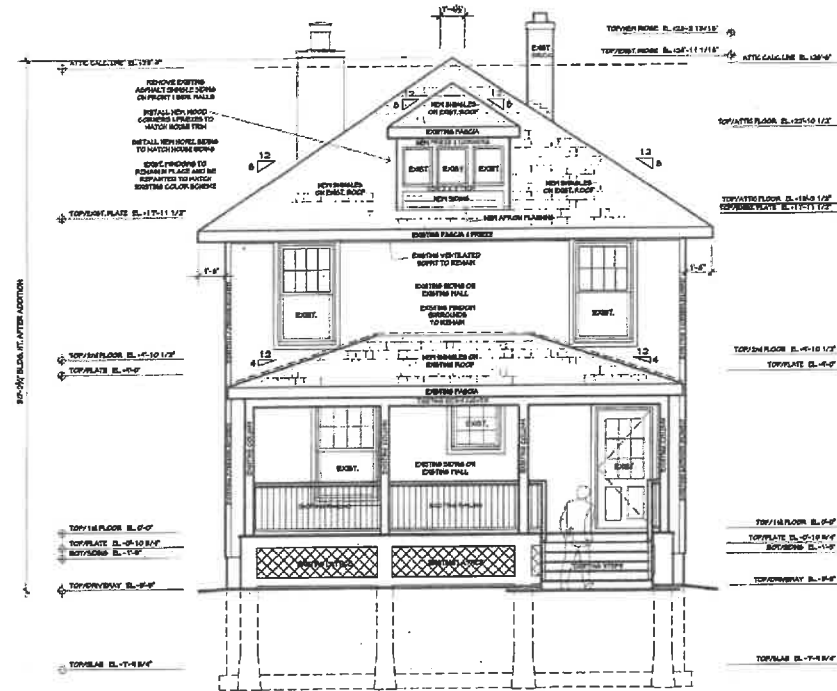
The Plans

PROPOSED NORTH AND SOUTH ELEVATIONS

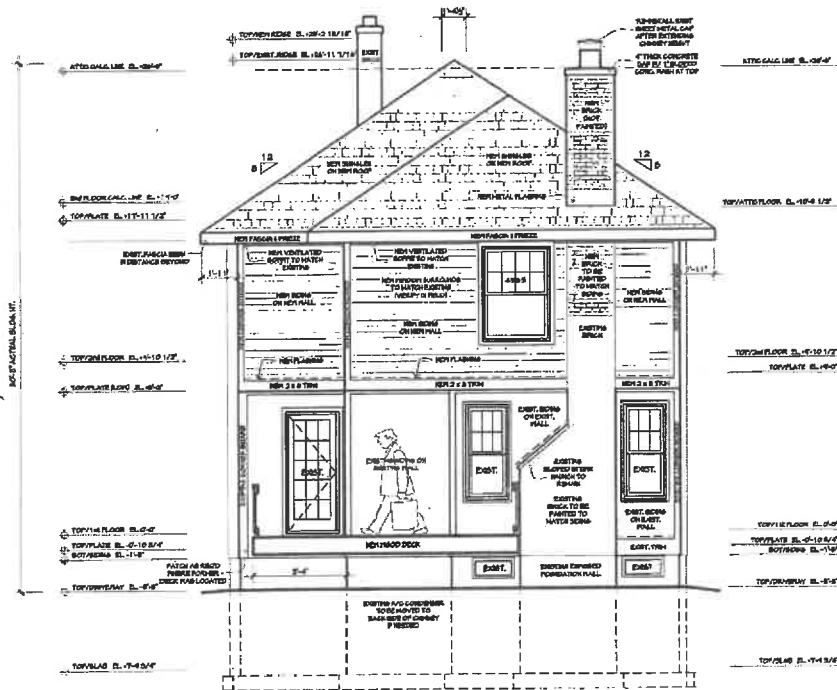
GENERAL NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS OF ALL AGENCIES, COORDINATING ALL NECESSARY INSURANCE COVERAGE, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL PLANS AND CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL NECESSARY INSURANCE COVERAGE AND FOR ALL NECESSARY PERMITS.

© COPYRIGHT 2025 RAFFERTY ARCHITECTS South Barrington, IL 60010
 THESE PLANS ARE RESTRICTED TO THE ORIGINAL CLIENT, NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RAFFERTY ARCHITECTS. ALL RIGHTS RESERVED. ANY UNPUBLISHED WORK TO COPY A PLAN, ELEVATION OR DETAIL, WHETHER IN WHOLE OR IN PART, ACTS AS A VIOLATION AND BREACH OF CONTRACT TO PAY A \$20,000 FEE TO THE ARCHITECT AS COMPENSATION FOR THEIR DEVELOPMENT COSTS AND LOST PROFITS.



FRONT ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"



REAR ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

SOUTH ELEVATION

NORTH ELEVATION

REVISIONS	DATE

COPYRIGHT NOTATION
 THESE PLANS ARE THE PROPERTY OF RAFFERTY ARCHITECTS AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RAFFERTY ARCHITECTS. ALL RIGHTS RESERVED. ANY UNPUBLISHED WORK TO COPY A PLAN, ELEVATION OR DETAIL, WHETHER IN WHOLE OR IN PART, ACTS AS A VIOLATION AND BREACH OF CONTRACT TO PAY A \$20,000 FEE TO THE ARCHITECT AS COMPENSATION FOR THEIR DEVELOPMENT COSTS AND LOST PROFITS.

CUSTOM ADDITION
 DESIGNED ESPECIALLY FOR MICHAEL AND KATHLEEN MANNION
 LOT 4 IN GREEN BAY ADDITION
 172 AFTERIDGE ROAD
 LAKE FOREST, ILLINOIS

rafferty/architects
 57 Win Road
 South Barrington, IL 60010
 phone: (847) 381-6289
 www.raffertyarchitects.com
 Michael P. Rafferty, Architect
 Katy F. Rafferty, Architect

DRAWN
DESIGNED
DATE 08/21/25
SCALE
JOB NO.
SHEET
A-7
OF SHEETS

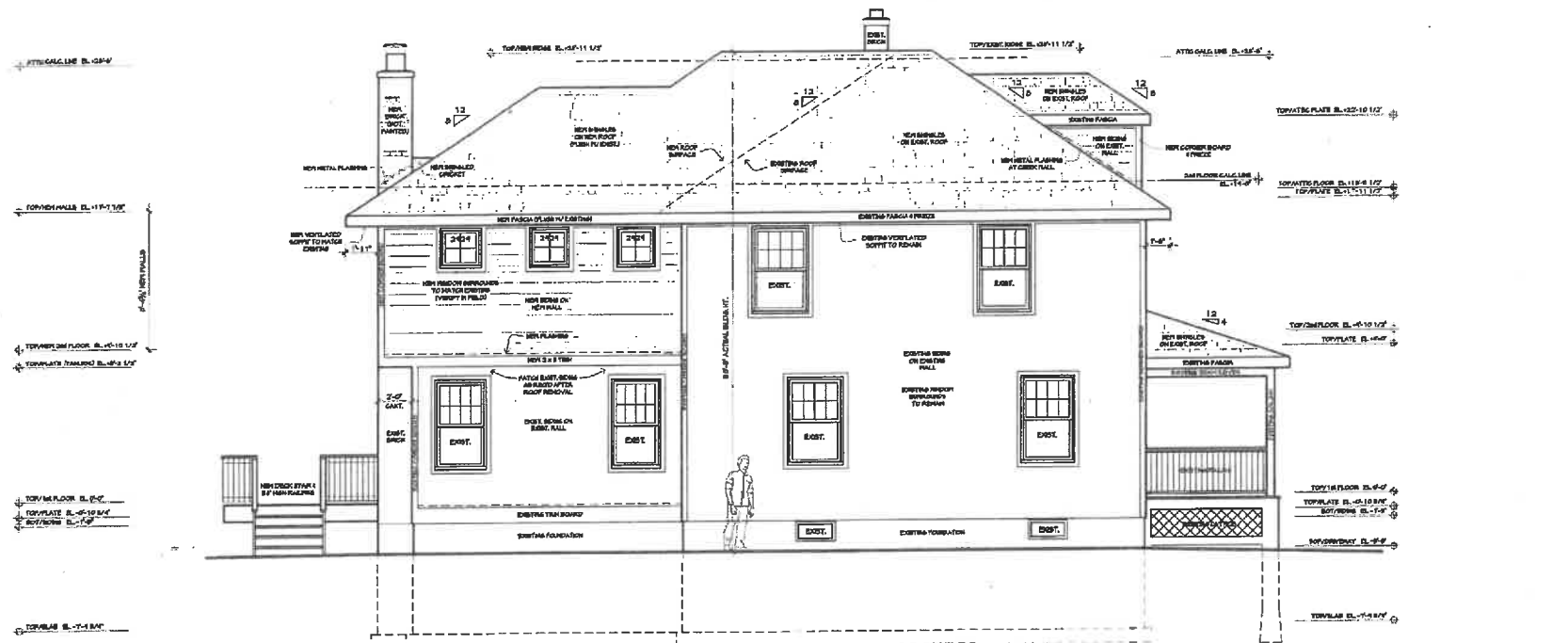
GROUP EXHIBIT B

The Plans

PROPOSED EAST AND WEST ELEVATIONS

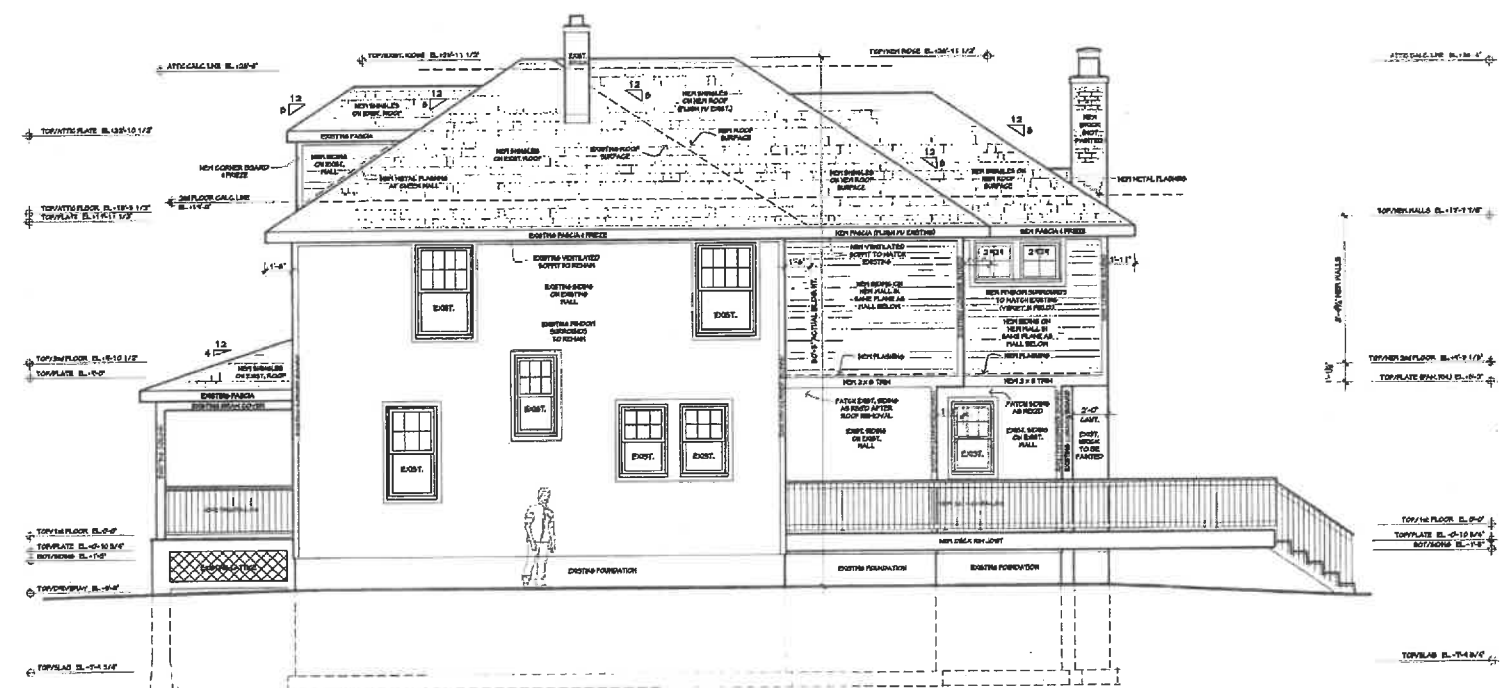
GENERAL NOTES
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, MATERIALS, CLEARANCES, AND FINISHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, MATERIALS, CLEARANCES, AND FINISHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

ALL RIGHTS RESERVED. AN UNPUBLISHED WORK. TO COPY A PLAN ELEVATION OR DRAWING, WHETHER WHOLE OR IN PART, ACTS AS A VIOLATION OF FEDERAL COPYRIGHT LAW AND IS SUBJECT TO THE PENALTIES THEREOF. THIS DOCUMENT IS THE PROPERTY OF RAFFERTY ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



LEFT SIDE ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

WEST ELEVATION



RIGHT SIDE ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

EAST ELEVATION

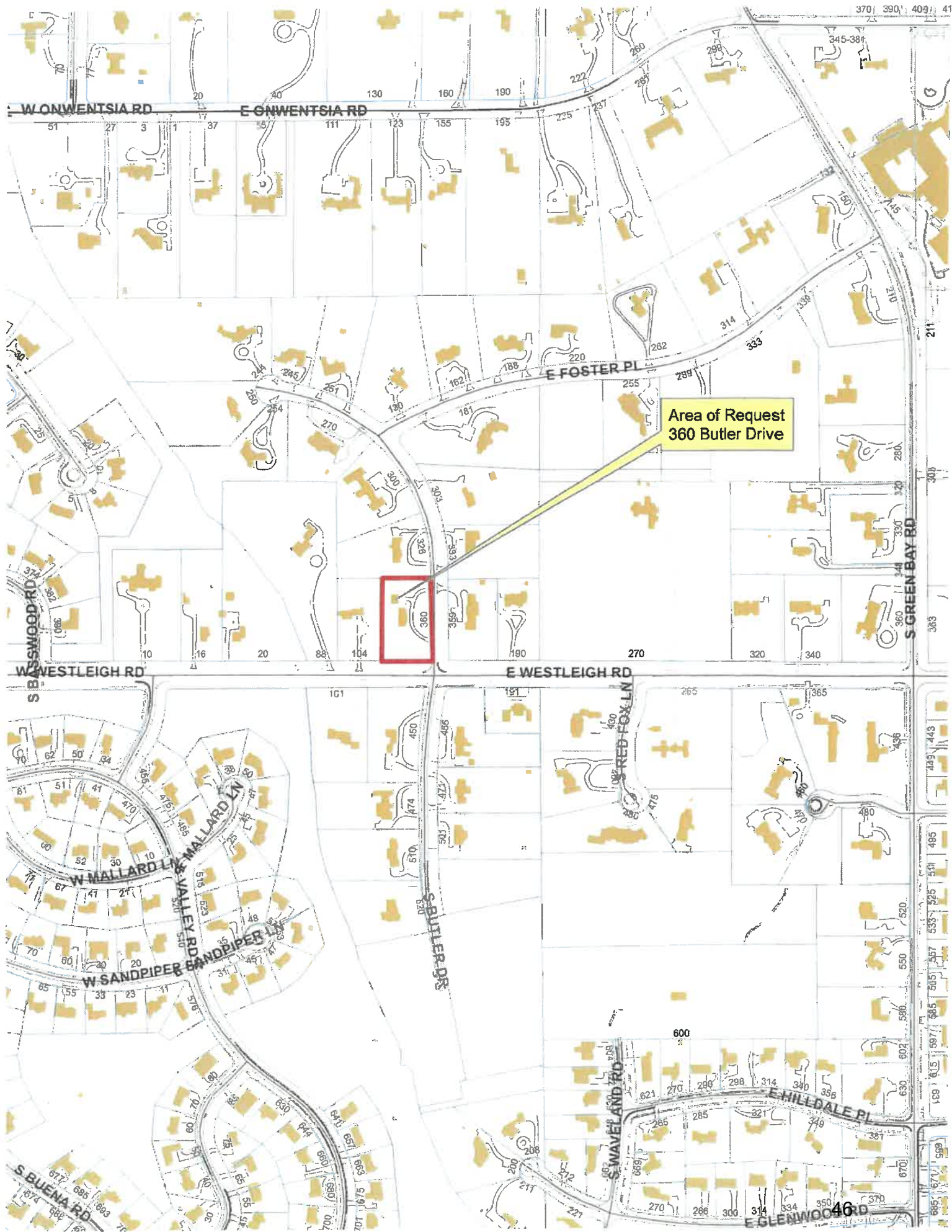
REVISIONS	DATE

RAFFERTY ARCHITECTS
 57 Wirt Road
 South Barrington, IL 60010
 phone: (847) 381-6289
 www.raffertyarchitects.com
 William R. Rafferty, Architect
 Kelly P. Rafferty, Architect

CUSTOM ADDITION
 DESIGNED SPECIALLY FOR RICH AND MARLENE HANSON
 LOT 4 IN GREEN BAY ADDITION
 1714 GREEN FOREST ROAD
 LAKE FOREST, ILLINOIS

rafferty/architects
 57 Wirt Road
 South Barrington, IL 60010
 phone: (847) 381-6289
 www.raffertyarchitects.com
 William R. Rafferty, Architect
 Kelly P. Rafferty, Architect

DRAWN
CHECKED
DATE 03/21/25
SCALE
JOB NO.
SHEET
A-8
OF SHEETS



Area of Request
360 Butler Drive



THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-___

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN
REVIEW AND GRANTING A FLOOR AREA EXCEPTION FOR
THE PROPERTY LOCATED AT 360 BUTLER DRIVE

WHEREAS, Caitlin Dore and Tim Volk ("**Owners**") are the owners of that certain real property commonly known as 360 Butler Drive, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-4, Single Family Residence District; and

WHEREAS, the Owners desire to construct a replacement detached garage ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as **Group Exhibit B** ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") to permit the construction of the Improvements and were required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, the Improvements as depicted on the Plans would exceed the maximum floor area allowances as set forth in Section 150.148 (C) of the City Code, which apply to new construction on, or additions and alterations to existing construction on, residential property; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on August 8, 2024; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-4 District under the City Code,
2. Owners propose to construct the Improvements as depicted on the Plans,
3. as depicted on the Plans, a portion of the Improvements exceed the maximum floor area allowances set forth in Section 150.148(C) of the City Code,
4. the Improvements are consistent with the design standards in Section 150.147 of the City Code,
5. the existing vegetation along the west property line effectively mitigates the appearance of excessive mass of the structure and as a result, the proposed development of the Improvements as set forth on the Plans are in keeping with the streetscape and overall neighborhood,
7. the proposed Improvements will not have a significant negative impact on the light to or views from neighboring homes,
7. the height and mass of the Improvements will generally be compatible with the height and mass of the existing residence, structures on adjacent lots, buildings on the street and on adjacent streets, and other residences in the neighborhood,
8. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with this Ordinance, the recommended conditions, and the Plans, will meet the standards and requirements of Sections 150.147 and 150.148 of the City Code,

and recommended that the City Council approve the Application and the Plans and grant an exception to the maximum allowable floor area consistent with the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application and exception to the maximum allowable floor area, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council further determine in the exercise of the City's home rule powers that it is in the best interests of the City and its residents to grant Owner's request for exceptions to the otherwise applicable maximum floor area requirements, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Maximum Floor Area Exception Granted. Pursuant to Section 150.148 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant an exception to the maximum floor area requirements set forth in Section

150.148(D) of the City Code, as more fully depicted on the Plans, by allowing the Improvements in combination with all other structures on the Property to have a maximum square footage not to exceed 6,903 square feet.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and are hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance.

Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

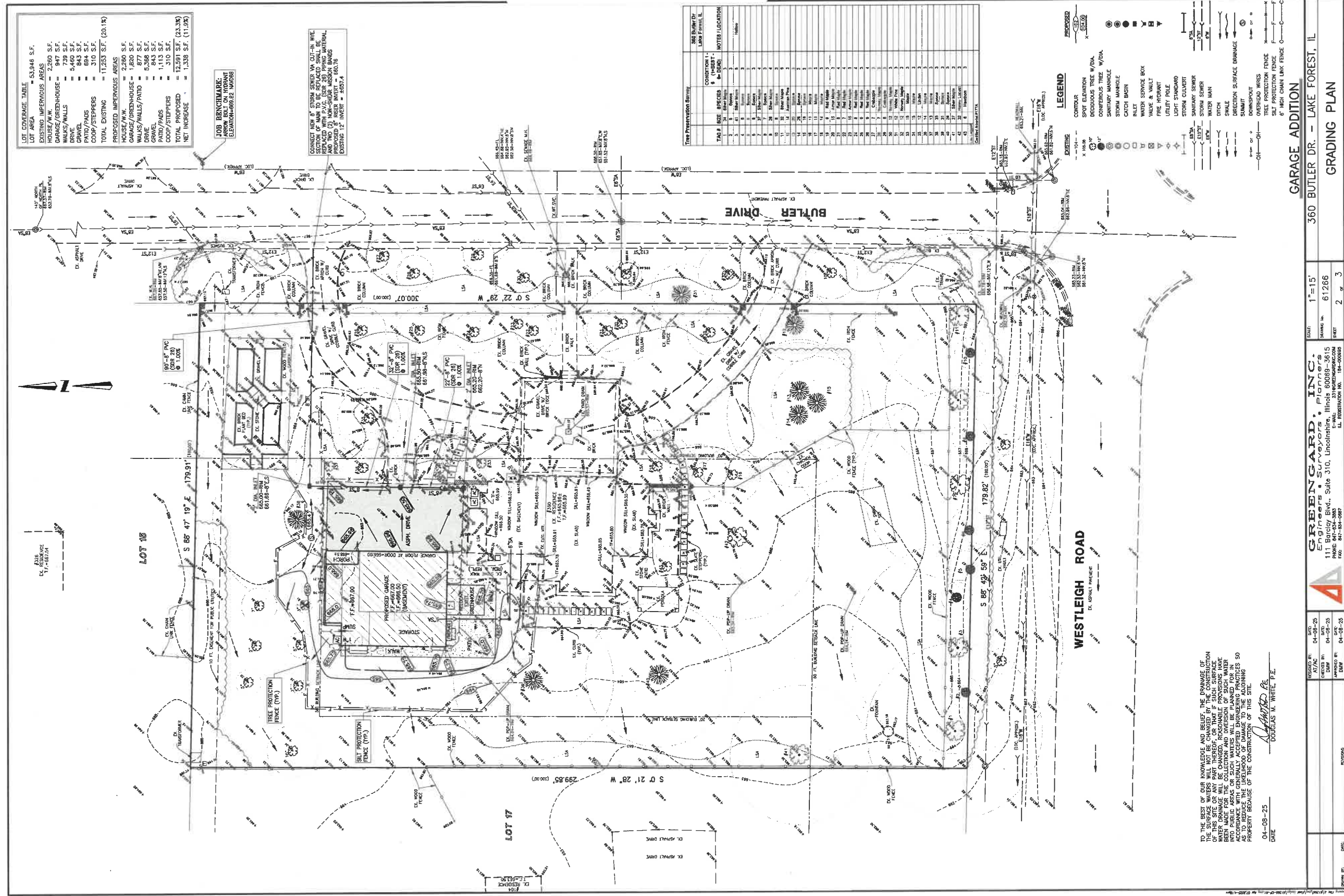
Mayor

ATTEST:

City Clerk

GROUP EXHIBIT B

The Plans



LOT COVERAGE TABLE

LOT AREA	= 53,946 S.F.
EXISTING IMPERVIOUS AREAS	
HOUSE/W.W.	= 2,260 S.F.
DRIVE	= 1,972 S.F.
WALKS/WALLS	= 739 S.F.
DRIVE	= 5,460 S.F.
DRIVE	= 843 S.F.
DRIVE	= 894 S.F.
COOP/STEEPERS	= 310 S.F.
TOTAL EXISTING	= 11,233 S.F. (20.1%)
PROPOSED IMPERVIOUS AREAS	
HOUSE/W.W.	= 2,260 S.F.
GARAGE/DRIVEHOUSE	= 1,820 S.F.
WALKS/WALLS/PATIO	= 877 S.F.
DRIVE	= 5,396 S.F.
DRIVE	= 843 S.F.
DRIVE	= 894 S.F.
COOP/STEEPERS	= 310 S.F.
TOTAL PROPOSED	= 12,591 S.F. (23.3%)
NET INCREASE	= 1,358 S.F. (11.9%)

JOB BENCHMARK:
ARROW HEAD OF SURVEY
ELEVATION: 855.10

CONCRETE AND GROUT SHALL BE REPLACED WITH P.C. (SR 20) PUMP MATERIAL. ALL REINFORCING SHALL BE #4 BARS. PROPOSED 12" INVERT = 850.75. EXISTING 12" INVERT = 850.74.

Tree Preservation Survey

TAG #	SIZE	SPECIES	CONDITION	REMARKS	NOTES / LOCATION
1	12"	Red Maple	1	Good	...
2	14"	Red Maple	1	Good	...
3	16"	Red Maple	1	Good	...
4	18"	Red Maple	1	Good	...
5	20"	Red Maple	1	Good	...
6	22"	Red Maple	1	Good	...
7	24"	Red Maple	1	Good	...
8	26"	Red Maple	1	Good	...
9	28"	Red Maple	1	Good	...
10	30"	Red Maple	1	Good	...
11	32"	Red Maple	1	Good	...
12	34"	Red Maple	1	Good	...
13	36"	Red Maple	1	Good	...
14	38"	Red Maple	1	Good	...
15	40"	Red Maple	1	Good	...
16	42"	Red Maple	1	Good	...
17	44"	Red Maple	1	Good	...
18	46"	Red Maple	1	Good	...
19	48"	Red Maple	1	Good	...
20	50"	Red Maple	1	Good	...
21	52"	Red Maple	1	Good	...
22	54"	Red Maple	1	Good	...
23	56"	Red Maple	1	Good	...
24	58"	Red Maple	1	Good	...
25	60"	Red Maple	1	Good	...
26	62"	Red Maple	1	Good	...
27	64"	Red Maple	1	Good	...
28	66"	Red Maple	1	Good	...
29	68"	Red Maple	1	Good	...
30	70"	Red Maple	1	Good	...
31	72"	Red Maple	1	Good	...
32	74"	Red Maple	1	Good	...
33	76"	Red Maple	1	Good	...
34	78"	Red Maple	1	Good	...
35	80"	Red Maple	1	Good	...
36	82"	Red Maple	1	Good	...
37	84"	Red Maple	1	Good	...
38	86"	Red Maple	1	Good	...
39	88"	Red Maple	1	Good	...
40	90"	Red Maple	1	Good	...
41	92"	Red Maple	1	Good	...
42	94"	Red Maple	1	Good	...
43	96"	Red Maple	1	Good	...
44	98"	Red Maple	1	Good	...
45	100"	Red Maple	1	Good	...

- LEGEND**
- EXISTING: CONTOUR, SPOT ELEVATION, REDWOOD TREE W/DIA, SPERMATOPHYTES W/DIA, CONIFERS W/DIA, STORM MANHOLE, CATCH BASIN, PALET, WATER SERVICE BOX, VALVE & WALT, FREE HYDRANT, UTILITY POLE, LIGHT STANDARD, STORM CULVERT, SANITARY SEWER, STORM SEWER, WATER MAIN, DITCH, SWALE, DIRECTION SURFACE DRAINAGE, DOWNSPOUT, TREE PROTECTION FENCE, 6" INCH CHAIN LINK FENCE
 - PROPOSED: CONTOUR, SPOT ELEVATION, REDWOOD TREE W/DIA, SPERMATOPHYTES W/DIA, CONIFERS W/DIA, STORM MANHOLE, CATCH BASIN, PALET, WATER SERVICE BOX, VALVE & WALT, FREE HYDRANT, UTILITY POLE, LIGHT STANDARD, STORM CULVERT, SANITARY SEWER, STORM SEWER, WATER MAIN, DITCH, SWALE, DIRECTION SURFACE DRAINAGE, DOWNSPOUT, TREE PROTECTION FENCE, 6" INCH CHAIN LINK FENCE

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS PROJECT. THE DRAINAGE OF THE SURFACE WATERS WILL BE CHANGED BY THE COLLECTION AND DIVERSION OF SUCH WATER BEING MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATER ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SITE.

DATE: 04-08-25
 BY: [Signature]
 DOUGLAS M. WHITE, P.E.

GARAGE ADDITION

360 BUTLER DR. - LAKE FOREST, IL

GRADING PLAN

SCALE: 1" = 15'

DATE: 04-08-25

PROJECT NO: 61266

SHEET: 2 OF 3

GRENGARD, INC.
 111 Bayview Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
 PHONE: 847-524-3800
 FAX: 847-524-0887

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]

GROUP EXHIBIT B

The Plans

GENERAL NOTES AND SCOPE OF WORK:

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING HIS BID AND TAKE INTO ACCOUNT EXISTING CONDITIONS. POINTS OF NEW CONNECTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING HIS BID. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE GIVEN CONSIDERATION FOR COMPENSATION DUE TO HIS FAILURE TO DO SO.
2. PIPING WHICH IS REMOVED SHALL NOT BE REUSED. ALL NEW CONNECTIONS SHALL BE MADE WITH NEW FACTORY FABRICATED PIPE, FITTINGS, VALVES, ETC.
3. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE PROJECT SITE FOR ACCESSIBILITY, STORAGE, AND EGRESS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INTERFERE WITH OTHER BUILDING TENANT OPERATIONS.
4. ALL EXISTING SYSTEMS SHALL REMAIN IN OPERATION DURING THE CONSTRUCTION PROCESS. SHUTDOWNS WILL ONLY BE PERMITTED WHICH HAVE BEEN APPROVED BY THE OWNER.
5. PROVIDE COMPLETE SYSTEMS AS CALLED FOR, AND/OR SHOWN, AND/OR SPECIFIED. PLUMBING CONTRACTOR TO FURNISH AND COMPLETELY INSTALL THE SYSTEM, SERVICE, EQUIPMENT, OR MATERIAL NAMED, TOGETHER WITH OTHER ASSOCIATED DEVICES, EQUIPMENT, MATERIALS, WIRING, PIPING, ETC. AS REQUIRED FOR A COMPLETE SATISFACTORY OPERATING INSTALLATION. OTHER SUBCONTRACTORS, AS REQUIRED TO PERFORM WORK CALLED FOR, SHALL BE RESPONSIBLE TO THE PLUMBING CONTRACTOR, SECURE ALL PERMITS FOR WORK AND INSPECTIONS AS REQUIRED.
6. PLUMBING SYSTEM PROVIDED SHALL INCLUDE BUT SHALL NOT BE LIMITED TO:

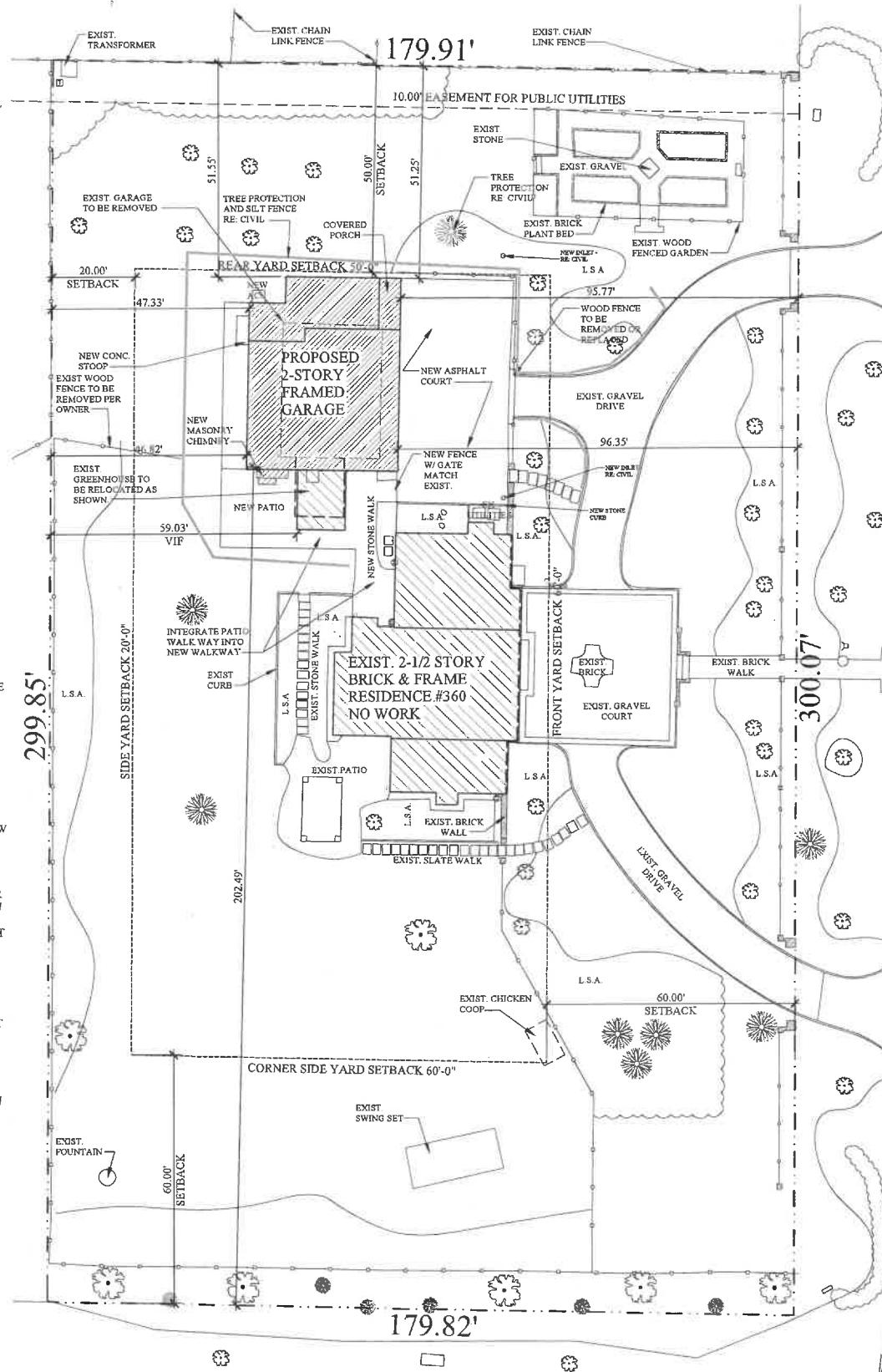
STANDARDS, CODES REGULATIONS, COORDINATION, GUARANTY, SHOP DRAWINGS, PRESENT EQUIPMENT AND CONSTRUCTION, APPROVED MAKE EQUIPMENT, DETERMINATION OF POINTS, SPECIAL SUPERVISION, CUTTING, CAPPING AND PATCHING, CLEANING, AND TESTING.

WATER PIPING, DRAIN/WASTE/VENT PIPING, SANITARY SEWER PIPING, PIPING ACCESSORIES AND INSTALLATION, PLUMBING FIXTURES, WATER HEATERS, PIPING INSULATION, VALVES.

EQUIPMENT, DEVICES, APPARATUS AND INSTALLATIONS TO BE IN FULL COMPLIANCE WITH APPLICABLE STANDARDS, REQUIREMENTS, RULES, REGULATIONS, CODES, STATUTES, ORDINANCES, ETC.: LOCAL, CITY, COUNTY, STATE, GOVERNMENT, OWNER'S INSURANCE COMPANY, AMERICAN DISABILITIES ACT, NATIONAL ASSOCIATION OF ROOFING CONTRACTORS, LOCAL GAS AND ELECTRIC UTILITY COMPANIES, LABOR REGULATIONS. CHANGES REQUIRED TO CONFORM TO REQUIREMENT SHALL BE MADE WITHOUT INCREASE IN CONTRACT PRICE AS APPROVED BY THE OWNER.

ELECTRICAL EQUIPMENT, WIRING, GAS BURNING EQUIPMENT, HANDLING AND STORAGE EQUIPMENT. ALL WATER/DRAIN/WASTE/VENT PIPING, AS PIPING, INSULATING MATERIALS, ETC. SHALL COMPLY WITH REQUIREMENTS OF NFPA, NEC, UL, A.G.A., OSHA, EPA, BOCA, COUNTY, STATE, AND FEDERAL SAFETY CODES. FOR A PARTICULAR TYPE INSTALLATION AND SHALL BE SO LABELED WHERE APPLICABLE.
7. MATERIALS TO BE OF NEW GRADE, U.S. MAKE AND QUALITY AS SPECIFIED.
8. COORDINATE WITH OTHER MECHANICAL TRADES, ELECTRICAL AND MECHANICAL CONTRACTOR, ETC. TO AVOID INTERFERENCE AND CONFLICTS OF WORK INDICATED. WORK MUST BE COMPLETED AS SCHEDULED.
9. PLUMBING CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, APPARATUS, MATERIALS, AND WORKMANSHIP ENTERING INTO THIS CONTRACT AND SHALL REPLACE ALL PARTS AT HIS OWN EXPENSE WHICH HAVE PROVEN DEFECTIVE WHICH ONE (1) YEAR FROM FORMAL ACCEPTANCE. INDIVIDUAL ITEMS SHALL BE GUARANTEED AS CALLED FOR IN ADDITION TO THE ABOVE.
10. THE RUN OF ALL LINES SHOWN ON DRAWINGS IS TO BE REGARDED AS DIAGRAMMATIC AND TENTATIVE. CONTRACTOR SHALL CAREFULLY DETERMINE LOCATION, DEPTH AND SIZE OF LINE, SEWER, SERVICE, ETC. TO WHICH CONNECTION IS PROPOSED. BEFORE INSTALLING ANY SERVICE.

11. CLEAN ALL EQUIPMENT INSTALLED AND WORK AREAS PRIOR TO FINAL ACCEPTANCE. VALVES, PIPING, LAVS, WATER CLOSETS, DRAINS, EQUIPMENTS, ETC. TO BE FLUSHED, TESTED, INSPECTED PRIOR TO FINAL ACCEPTANCE.
12. WIRING TO BE IN COMPLIANCE WITH LATEST N.E.C. AND ALL APPLICABLE CODES, ALL MOTORS, EQUIPMENT, WIRING, CABLING, DEVICES, ETC., TO BE NON-RADIO INTERFERING. LINE WIRES, OF PROPER SIZE, SHALL BE FURNISHED TO THE EQUIPMENT WITH FINAL POWER CONNECTIONS MADE BY ELECTRICAL CONTRACTOR, SHALL BE RESPONSIBLE FOR PROVIDING RESPECTIVE CONTROLS FOR ALL OF HIS EQUIPMENT, PROVIDE CONTROL DEVICES, PANELS, DISCONNECT SWITCHES, STARTERS, INTERLOCKS, CONTROLS, ETC. TO GIVE A COMPLETE OPERATING SYSTEM. PLUMBING CONTRACTOR WILL DO ALL CONTROL WIRING, INTERLOCK WIRING, ETC.
13. INTERIOR DOMESTIC CW. AND HW PIPING SHALL BE TYPE "L" COPPER PER ASTM B88 WITH COPPER SOLDER JOINTS PER ANSI B16.22 JOINTS SHALL BE LEAD FREE SOLDER OR BRAZED AS ALLOWED BY STATE AND LOCAL CODES.
15. PURGE ALL WATER DISTRIBUTION PIPING SYSTEMS. USE THE PURGING AND DISINFECTION PROCEDURE PROSCRIBED BY THE AUTHORITY HAVING JURISDICTION OR, IN CASE A METHOD IS NOT PRESCRIBED BY THAT AUTHORITY, THE PROCEDURE DESCRIBED IN EITHER AWWA C651 OR C652.
16. VALVES SHALL BE CRANE, NIBCO, POWELL, HAMMOND, APOLLO, WALWORTH, JENKINS, STOCKHAM OR APPROVED WITH METAL HANDLES BUILT FOR 125 PSI WORKING PRESSURE FOR ALL USES. VALVES PROVIDED SHALL BE SUITABLE FOR INTENDED SERVICE THROTTLING TYPE SHALL HAVE GLOBE PATTERN. SHUT-OFF TYPE SHALL BE BALL TYPE. VALVES AND COCKS MUST BE ACCESSIBLE FOR SERVICING AND MUST HAVE FLEXIBLE SWING CONNECTIONS AND UNIONS IF NOT FLANGED CONNECTED.
17. NO PLUMBING FIXTURES, SPECIAL EQUIPMENT, DEVICE, OR PIPING, SHALL BE INSTALLED WHICH WILL CROSS-CONNECT A DISTRIBUTING SUPPLY OF DRINKING WATER OR DOMESTIC WATER AND A POLLUTED SUPPLY SYSTEM. A SUITABLE BACKFLOW PREVENTION DEVICE SHALL BE USED TO PREVENT ALL POSSIBILITIES. DUAL CHECK VALVES TO BE WATT 7.
18. NO PLUMBING EQUIPMENT REQUIRING REGULAR ACCESS OR MAINTENANCE SHALL BE INSTALLED IN THE CEILING CAVITY. LOCATE SUCH ITEMS ABOVE ACOUSTIC TILE CEILINGS ONLY. NOTIFY ARCHITECT IF ANY SUCH ITEMS ARE INDICATED ABOVE DRYWALL CEILINGS. SUBMIT LAYOUT OF ALL REQUIRED ACCESS PANELS, FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO THE ONSET OF INSTALLATION.
19. PROVIDE PROPERLY DESIGNED AIR CHAMBER AT ALL DOMESTIC WATER FIXTURES.
20. PRIOR TO COMMENCING WORK AND UPON VERIFICATION IN THE FIELD OF EXISTING CONDITIONS, PLUMBING CONTRACTOR TO SUBMIT SHOP DRAWINGS SHOWING PROPOSED DEMOLITION OF EXISTING PIPING AND CAPS AT MAINS AND NEW PIPING LAY OUT INCLUDING ISOLATION VALVES AND CONNECTIONS TO THE EXISTING PLUMBING SYSTEMS FOR PRE-APPROVAL.
21. ALL PLUMBING FIXTURES ARE TO BE PRE-APPROVED BY ARCHITECT/OWNER PRIOR TO INSTALLATION. SUBMIT 10 COPIES OF DATA SUBMITTAL BOOKS TO ARCHITECT/OWNER FOR APPROVAL.
22. THREE COMPLETE SETS OF PLUMBING SYSTEM OPERATION AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE ARCHITECT/ENGINEER AND OWNER UPON COMPLETION OF THE SYSTEM INSTALLATION. THIS INFORMATION SHALL BE PROVIDED OF ALL EQUIPMENT, DEVICES, SPECIALITIES, AND ACCESSORIES.



ARCHITECT'S SITE NOTES	
1. SURVEY INFORMATION SHOWN HEREIN IS TAKEN FROM PLAT OF SURVEY PREPARED BY GREENGARD, INC., LINCOLNSHIRE, IL 60069-3615. PHONE (847-634-3883), PROJECT NO. (61246).	
2. NO WARRANTY IS MADE REGARDING THE ACCURACY OF THE SURVEY.	
3. ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ARCHITECT OF DISCREPANCIES SHALL VOID THIS DESIGN.	
SITE ENGINEERING NOTES	
SITE PLAN FOR ARCHITECTURAL PURPOSES ONLY - SEE CIVIL DRAWINGS FOR SITE ENGINEERING	
ZONING INFO & COMPLIANCE	
PARCEL NO. 1604102023	
ZONING DISTRICT: R4	
LOT AREA = 53,946 SF	
SETBACKS:	
STREET FRONT = 60 FT	
CORNER STREETSIDE = 60 FT	
SIDE = 20 FT	
REAR = 50 FT	
BUILDING HEIGHT: 25 FT	
EXIST. DETACHED GARAGE BLDG. COVERAGE = 780 SF	
PROPOSED DETACHED GARAGE BLDG. COVERAGE = 1632 SF	
SQUARE FOOTAGE TALLY	
PROPOSED BULK SQUARE FOOTAGE:	
1ST FLOOR - 1580.75 SF	
2ND FLOOR - 1249.4 SF	
TOTAL - 2830.15 SF - 800 SF (GARAGE ALLOWANCE) = 2030.15 SF	
PROPOSED DESIGN ELEMENTS:	
DORMERS - 37 SF	
COVERED ENTRIES - 61.56 SF	
COVERED PORCH - 64.44 SF	
TOTAL - 163 SF (UNDER ALLOWANCE)	
SITE PLAN ELEV. KEY	
TOP OF FIRST FLOOR:	
ELEV: 667.00 ON SITE PLAN (ARCHITECTURALS: 0'-0")	
TOP OF SECOND FLOOR:	
ELEV: 676.67 (ARCHITECTURALS: 9'-7")	
TOP OF BASEMENT FLOOR SLAB:	
ELEV: 655.58 (ARCHITECTURALS: -11'-5")	
TOP OF GARAGE FLOOR SLAB (AT DOOR):	
ELEV: 666.07 ON SITE PLAN (ARCHITECTURALS: -1'-0")	

Professional Design Firm
License No. 184 00714

DATE: 04.15.2025
DRAWING SET: Permit & Construction Set

Volk Dore Residence
360 Butler Drive
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS + INTERIORS
500 Green Bay Road #101
Lake Forest, IL 60045-1110

Sheet No. **A002**
Project No. 23 54

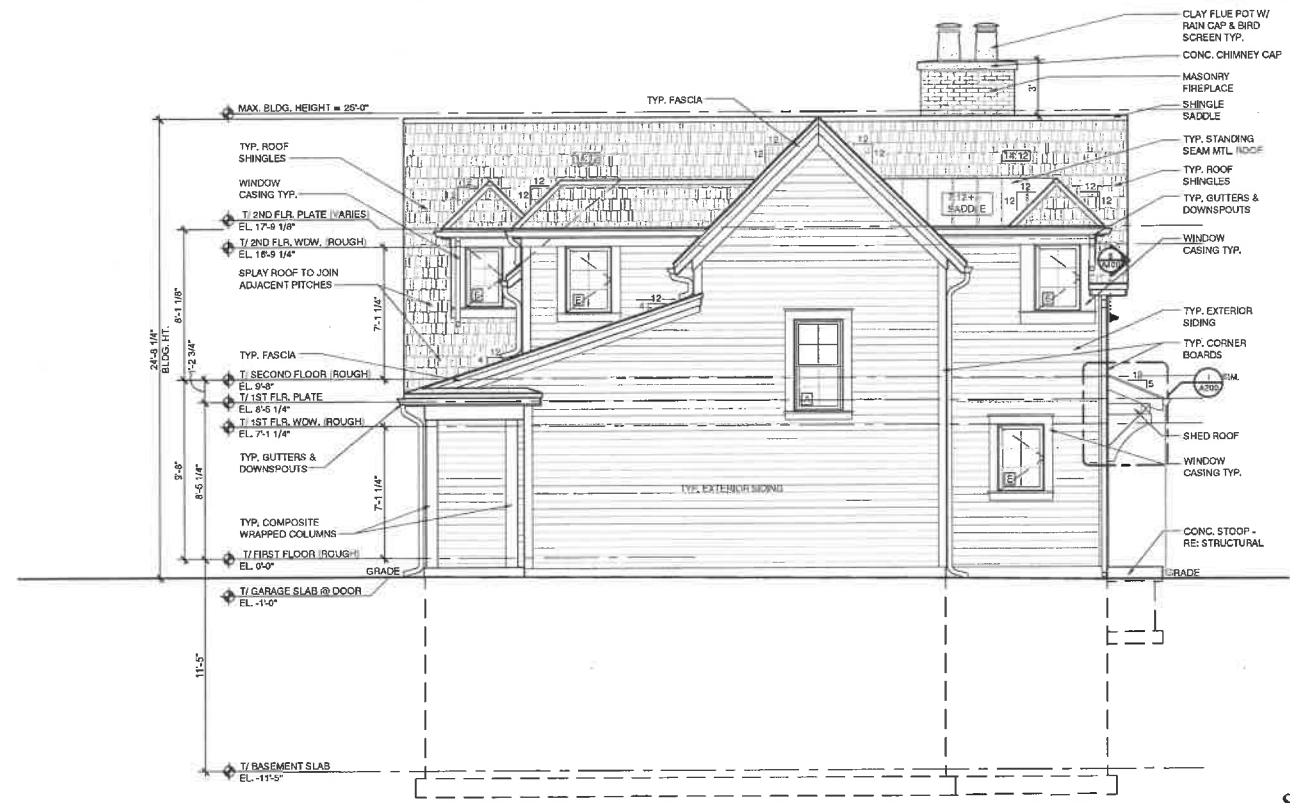
Site Plan
SCALE: 1" = 15'-0"

GROUP EXHIBIT B

The Plans



Front Elevation - East
SCALE: 1/4" = 1'-0"



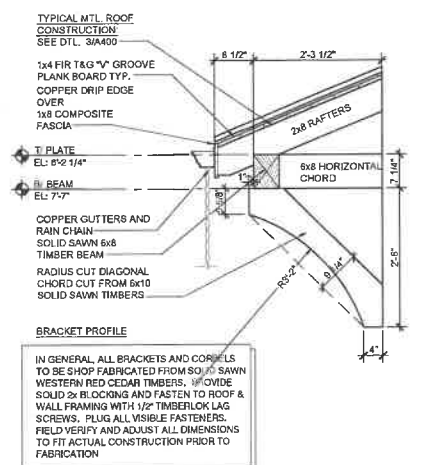
Side Elevation - North
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:	
ITEM	DESCRIPTION
ROOF - SHINGLES SLOPES PER PLAN	CEDAR SHINGLES, OR 'BRAVA' OR ARCHITECTURAL ASPHALT SHINGLES PER OWNERS SELECTION
ROOF - METAL SLOPES PER PLAN	STANDING SEAM COPPER ROOF @ 16" O.C. - RE: ROOF PLAN
ROOF - FLAT SLOPES PER PLAN	FLAT SEAM COPPER ROOF ON ALL LOW SLOPE APPLICATIONS - RE: ROOF PLAN
GUTTERS & DOWNSPOUTS	5" COPPER 'K' STYLE GUTTERS AND ROUND DOWNSPOUTS. TO MATCH MAIN RESIDENCE.
WINDOWS	MARVIN ULTIMATE ALUM. CLAD WINDOWS - 6IP SCL'S STANDARD STICKING PROFILE - EXTERIOR: COLOR BY OWNER - INTERIOR: PRIMED WHITE - ELEVATIONS AS VIEWED FROM EXTERIOR - DIVIDED LIGHT PATTERNS PER ELEVATIONS - SEE A600 FOR WINDOW SCHEDULE
EXTERIOR DOORS	- SEE A600 FOR DOOR SCHEDULE
GARAGE DOORS	- SEE A600 FOR DOOR SCHEDULE
EXTERIOR SIDING	5/8"x8 1/4" (6" EXPOSURE) SMOOTH HARBOR PLANK CEMENT BOARD HORIZONTAL LAP SIDING BY JAMES HARDIE OR APPROVED EQUAL
WINDOW TRIM BOARDS	2X6 'BORAL' TRU EXTERIOR BOARDS. SHAPE PER ELEVATION
CORNER BOARDS	5 1/2" 'BORAL' TRU EXTERIOR BOARDS
TYP. FASCIA	1X3 SMOOTH COMPOSITE TRIM ON 1X8 SMOOTH COMPOSITE FASCIA - RE: A600
TYP. SOFFIT	VENTED 'UP SMARTSIDE' SOFFIT, OR APPROVED EQUAL, OR 1" X 3" GROOVE FIR PLANKING FOR PAINT PER OWNERS SELECTION
TYP. EXTERIOR COLUMNS	6x6 TREATED PSL POSTS WRAPPED IN 'BORAL' FOR 7 1/2" X 7 1/2" FINISHED DIMENSION



Professional Design Firm
License NO 184 007114

DATE: 04/15/2025
DRAWING SET: Permit & Construction Set



Shed Roof Detail
SCALE: 3/4" = 1'-0"

Volk Dore Residence

360 Butler Drive
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #101
Lake Forest, IL 60045-4110

Sheet No.
A200
Project No. 23.54

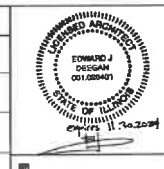
GROUP EXHIBIT B

The Plans



EXTERIOR FINISHES:

ITEM	DESCRIPTION
ROOF - SHINGLES SLOPES PER PLAN	CEDAR SHINGLES, OR "BRAVA" OR ARCHITECTURAL ASPHALT SHINGLES PER OWNERS SELECTION
ROOF - METAL SLOPES PER PLAN	STANDING SEAM COPPER ROOF @ 1/2" O.C. - RE: ROOF PLAN
ROOF - FLAT SLOPES PER PLAN	FLAT SEAM COPPER ROOF ON ALL LOW SLOPE APPLICATIONS - RE: ROOF PLAN
GUTTERS & DOWNSPOUTS	5" COPPER "K" STYLE GUTTERS AND ROUND DOWNSPOUTS, TO MATCH MAIN RESIDENCE.
WINDOWS	"MARVIN LA TIMATE" ALUM. CLAD WINDOWS - 3/8" SILL'S STANDARD STICKING PROFILE - EXTERIOR: COLOR BY OWNER - INTERIOR: PRIMED WHITE - ELEVATIONS AS VIEWED FROM EXTERIOR - DIVIDED LIGHT PATTERNS PER ELEVATIONS - SEE A500 FOR WINDOW SCHEDULE
EXTERIOR DOORS	- SEE A500 FOR DOOR SCHEDULE
GARAGE DOORS	- SEE A500 FOR DOOR SCHEDULE
EXTERIOR SIDING	5/8"x8 1/4" (6" EXPOSURE) SMOOTH "HARDIE PLANK" CEMENT BOARD HORIZONTAL LAP SIDING BY JAMES HARDIE OR APPROVED EQUAL
WINDOW TRIM BOARDS	2X6 "BORAL" "TRUEXTERIOR" BOARDS, SHAPE PER ELEVATION
CORNER BOARDS	5 1/2" "BORAL" "TRUEXTERIOR" BOARDS
TYP. FASCIA	1x3 SMOOTH COMPOSITE TRIM ON 1x8 SMOOTH COMPOSITE FASCIA - RE: A400
TYP. SOFFIT	VENTED 1/2" SMARTSIDE SOFFIT, OR APPROVED EQUAL, OR 1" TAG & GROOVE FR. PLANKING FOR PAINT PER OWNERS SELECTION
TYP. EXTERIOR COLUMNS	6x4 TREATED PSL POSTS WRAPPED IN "BORAL" FOR 7 1/2"x7 1/2" FINISHED DIMENSION



Professional Design Firm
License NO. 184 007114

DATE: DRAWING SET
04.15.2025 Permit &
Construction Set

Rear Elevation - West
SCALE: 1/4" = 1'-0"



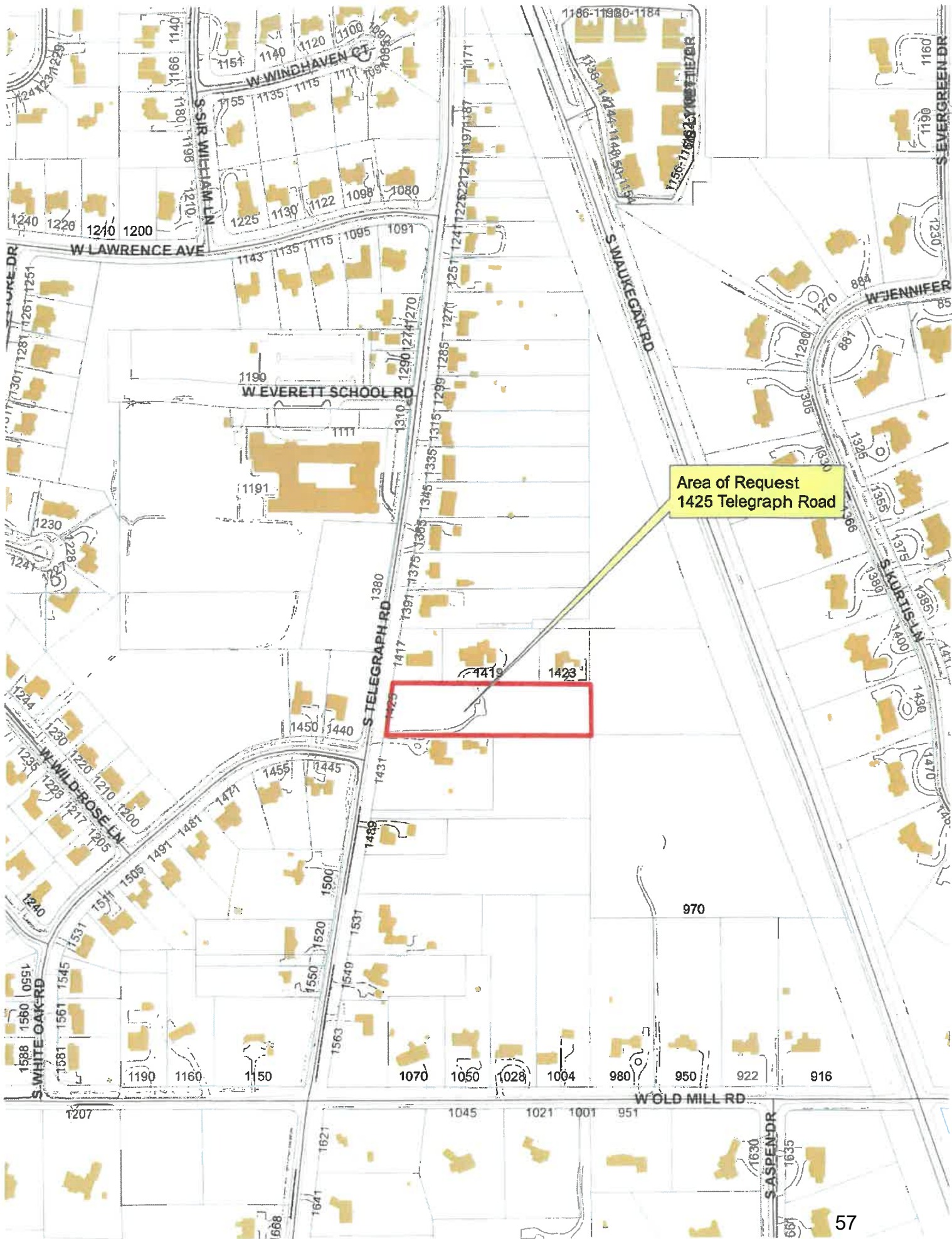
Side Elevation - South
SCALE: 1/4" = 1'-0"

Volk Dore Residence

360 Butler Drive
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
5600 Greenway Drive, Suite 100
Naperville, IL 60563
(630) 355-1100

Sheet No.
A201
Project No. 23-54



Area of Request
1425 Telegraph Road

THE CITY OF LAKE FOREST
ORDINANCE NO. 2025- ____

AN ORDINANCE APPROVING ARCHITECTURAL AND SITE DESIGN FOR THE
PROPERTY LOCATED AT 1425 TELEGRAPH ROAD

WHEREAS, Forest Lake, LLC (Teresa Rygielski and Conrad Karbowski) ("**Owner**") is the owner of that certain real property commonly known as 1425 Telegraph Road, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-3 Single Family Residence Zoning District; and

WHEREAS, the Owner desires to construct a new residence, attached garage, and install hardscape and landscape ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as **Group Exhibit B ("Plans")**; and

WHEREAS, the Owner submitted an application ("**Application**") to permit the construction of the Improvements and was required to present the Plans to the Building Review Board ("**BRB**") for its evaluation and recommendation; and

WHEREAS, pursuant to notice duly published, the BRB reviewed and evaluated the Plans at a public hearing held on September 4, 2024 and December 4, 2024; and

WHEREAS, the BRB, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-3, Single Family Residence District under the City Code,
2. Owner proposes to construct the Improvements as depicted on the Plans,
3. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with the recommended conditions and the Plans, will meet the design standards and requirements of Section 150.147 of the City Code,

and recommended that the City Council approve the Application and the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the BRB, have determined that it is in the best interests of the City and its residents to grant approval to the Application, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 150.147 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and

limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters 150, regarding buildings and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- E. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations as reflected on **Exhibit C**, Notice of Action – Board Recommendation, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit D** and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()
NAYS: ()
ABSENT: ()
ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

Mayor

ATTEST:

City Clerk

The Plans



ZONING INFORMATION:

ZONING REQUIREMENTS	
ZONING DISTRICT	R-3
ZONING DESCRIPTION	SINGLE FAMILY RESIDENTIAL
LOT AREA:	82,673 SQ FT
MAXIMUM BUILDING HEIGHT:	40 FT.
MAXIMUM BUILDING SIZE	(82673 X 0.69) + 1400 = 5,413.84 SQ FT
SETBACK REQ:	
FRONT YARD	40' MIN.
SIDE YARD	15' MIN.
REAR YARD	40' MIN.

BUILDING AREA:

BUILDING HEIGHT:	38.5'
BUILDING FOOTPRINT (WITH ATTACHED GARAGE):	4,349.27 SQ FT.
1ST FL.:	3,422.46 SQ FT.
2ND FL.:	2128.00 SQ FT.
UNFINISHED ATTIC	1099.81 SQ FT.
ATTACHED GARAGE*	926.81 SQ FT.
TOTAL BUILDING SIZE INCLUDE ATTACHED GARAGE:	6,477.27 SQ FT.
SETBACK:	
FRONT YARD	188.34'
SIDE YARD	5- 35.98', N-26, 40'
REAR YARD	291.85'

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

NOTICE TO CONTRACTOR:

1. THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
2. ADMINISTRATION OF THE CONTRACT SHALL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
3. THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT - THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
4. DECISIONS OF THE ARCHITECT REGARDING THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT WILL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
5. THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND DRAWINGS. THE CONTRACTOR MUST VISIT THE SITE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATIONS BEFORE SUBMITTING HIS BID. FAILURE TO GIVE NOTICE OR OBTAIN CLARIFICATION WILL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
6. THE CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE.
7. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
8. ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR CONCRETE.
9. ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE BEST INDUSTRY STANDARDS.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS GENERATED BY THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.
11. PLUMBER / ELECTRICIAN AND MECHANICAL CONTRACTOR MUST BE REGISTERED WITH THE CITY.
12. COPY OF THE ILLINOIS PLUMBER'S LICENSE SHALL BE PROVIDED TO THE CITY.
13. A LETTER OF INTENT SHALL BE TO THE CITY FROM THE ILLINOIS LICENSED PLUMBER SIGNED AND NOTARIZED WITH A CORPORATE SEAL IF INCORPORATED.
14. COPY OF THE ILLINOIS PLUMBING CONTRACTOR REGISTRATION SHALL BE PROVIDED TO THE CITY.

APPLICABLE CODES:

- INTERNATIONAL RESIDENTIAL CODE FOR ONE/TWO FAMILY DWELLING, 2021 EDITION
- INTERNATIONAL MECHANICAL CODE, 2021 EDITION
- INTERNATIONAL FUEL GAS CODE, 2021 EDITION
- NATIONAL ELECTRICAL CODE, 2020 EDITION
- ILLINOIS STATE PLUMBING CODE, 77 I.L. ADM. CODE 890
- NFPA 1 FIRE CODE, 2021 EDITION
- LIFE SAFETY CODE NFPA 101, 2021 EDITION
- NFPA 72, FIRE ALARM CODE, 2019 EDITION
- NFPA 13, 15B, FIRE SPRINKLER CODES, 2019 EDITION

ENERGY CONSERVATION STATEMENT

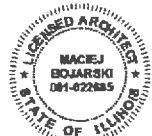
I CERTIFY THAT I AM REGISTERED ENERGY PROFESSIONAL (REP.) AND I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR

1425 Telegraph Rd, Lake Forest, IL 60045

() FULLY COMPLY () NEED NOT COMPLY

WITH THE REQUIREMENTS OF CONSERVATION OF INTERNATIONAL ENERGY CONSERVATION CODE - 2018 STATE OF IL

SIGNED: *Maciej Bojarski* DATE: 02/22/2024
 (Arch, S.E. or P.E.) Illinois License Number: 001-022855



CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE CITY OF LAKE FOREST BUILDING AND ZONING CODE.

SIGNED: *Maciej Bojarski* DATE: 02/22/2024
 Illinois License Number: 001-022855 Exp: 2026



DRAWING INDEX

Sheet Name	Sheet Number
------------	--------------

AREA CALCULATION	A100.2
WALL BRACING	A105
SITE	A100.1
RENDER	A203
RENDER	A204
COVER PAGE	A100
FOUNDATION PLANS	A101
1ST FLOOR PLAN	A102
2ND FLOOR PLAN	A103
ROOF PLAN & TRUSS DETAIL	A104
ELEVATIONS	A202
ELEVATIONS	A201
SECTION & DETAILS	A301
SECTION & DETAILS	A302
MECHANICAL	M101
MECHANICAL	M102
ELECTRICAL	E101
ELECTRICAL	E102
PLUMBING	P101

MACIEJ BOJARSKI
 ARCHITECT OF RECORD
 ILLINOIS REG. NO. 001-022685
 EXP. NOVEMBER 2026
 TEL: 312-498-8307
 bojarski@comcast.net

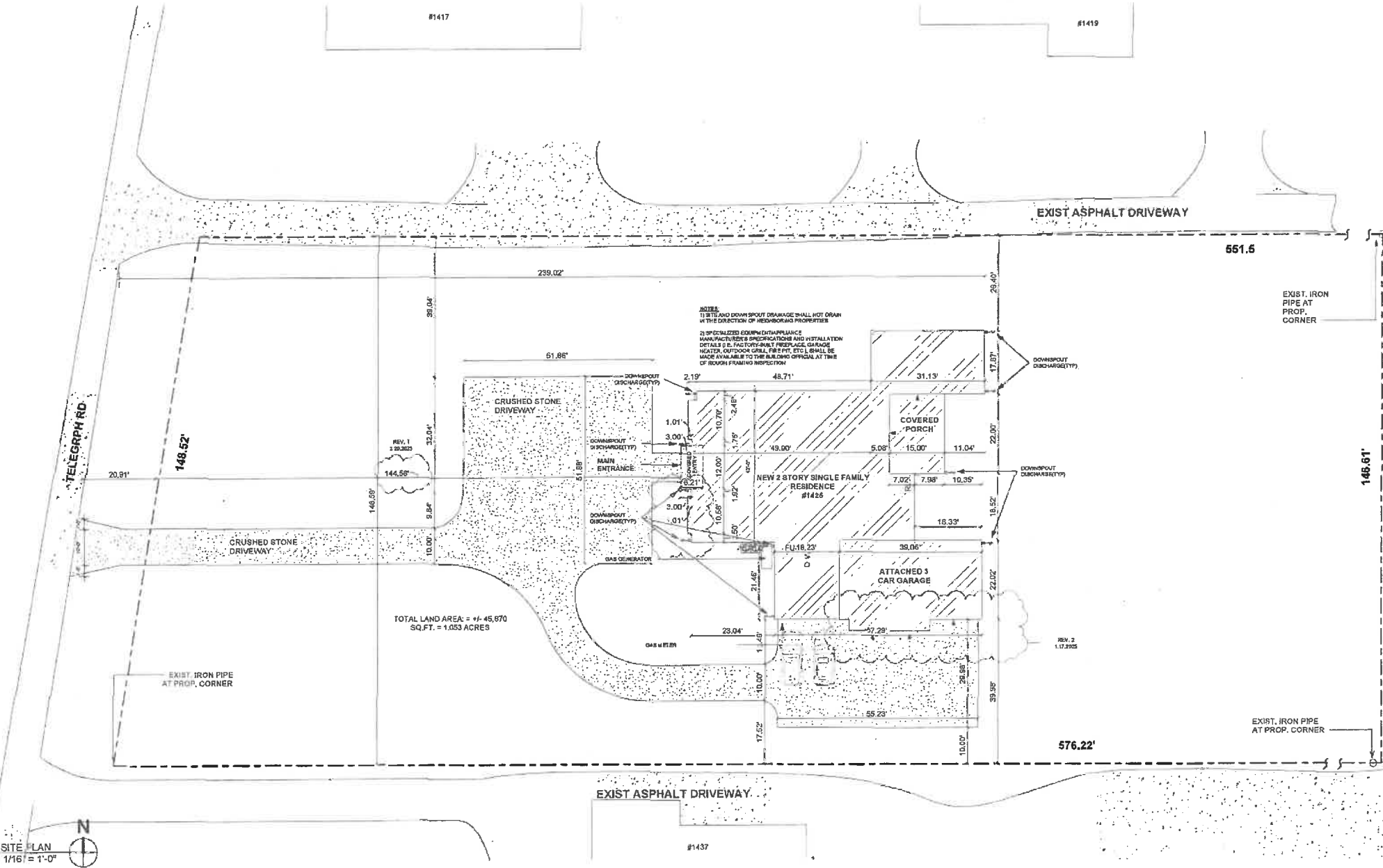
NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
 Lake Forest, IL 60045

DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT
10/25/2024	REV. 1
1/17/2025	REV. 2



SHEET No. **A100**



SITE PLAN
 1/16" = 1'-0"

GROUP EXHIBIT B

The Plans

ELEVATION GENERAL NOTES:

TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
 A. GLASS GREATER THAN 9 S.F. IN AREA.
 B. BOTTOM OF GLASS WITHIN 18" OF THE FLOOR.

ALL SAFETY GLASS FOR GLAZING IN HAZARDOUS LOCATION (INCLUDING WET LOCATIONS) INDICATED IN THE PROJECT SHOULD BE TEMPERED GLASS.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.

ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION.

PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN.)

PROVIDE 28 G.A. (MIN.) GALV. W/VALLEYS UNDERLAD WITH NO. 15 MIN. ROOFING FELT

PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY, STEP AND REGGLED INTO THE MORTAR

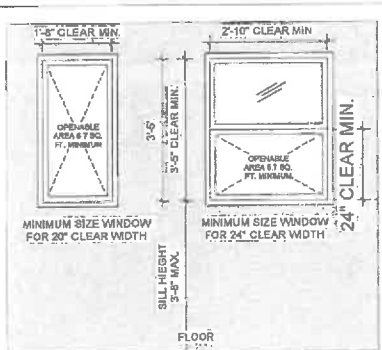
PROVIDE FLASHING, COUNTER FLASHING AND CAULK AT ALL SKYLIGHTS, AS PER MANUFACTURERS SPECIFICATIONS
 *EGRESS-EGRESS WINDOW
 *TEMP-SAFETY GLASS WINDOW

ROOF VENTS TO BE LOCATED ON BACK SLOPE OF THE ROOF. NUMBER AND LOCATION SHALL BE BASED ON TOTAL AREA OF VENTS REQUIRED EQUAL TO 1/500th OF ROOF AREA.

ALL WINDOWS BEING INSTALLED MUST HAVE A U-FACTOR VALUE OF 0.30 OR LESS.

ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHER-STRIPPED AND INSULATED TO THE LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FOUR AIR CHANGES PER HOUR (4 ACH) BY A BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY WITH A SIGNED-RESULTS TEST REPORT SUBMITTED DURING FINAL INSPECTIONS



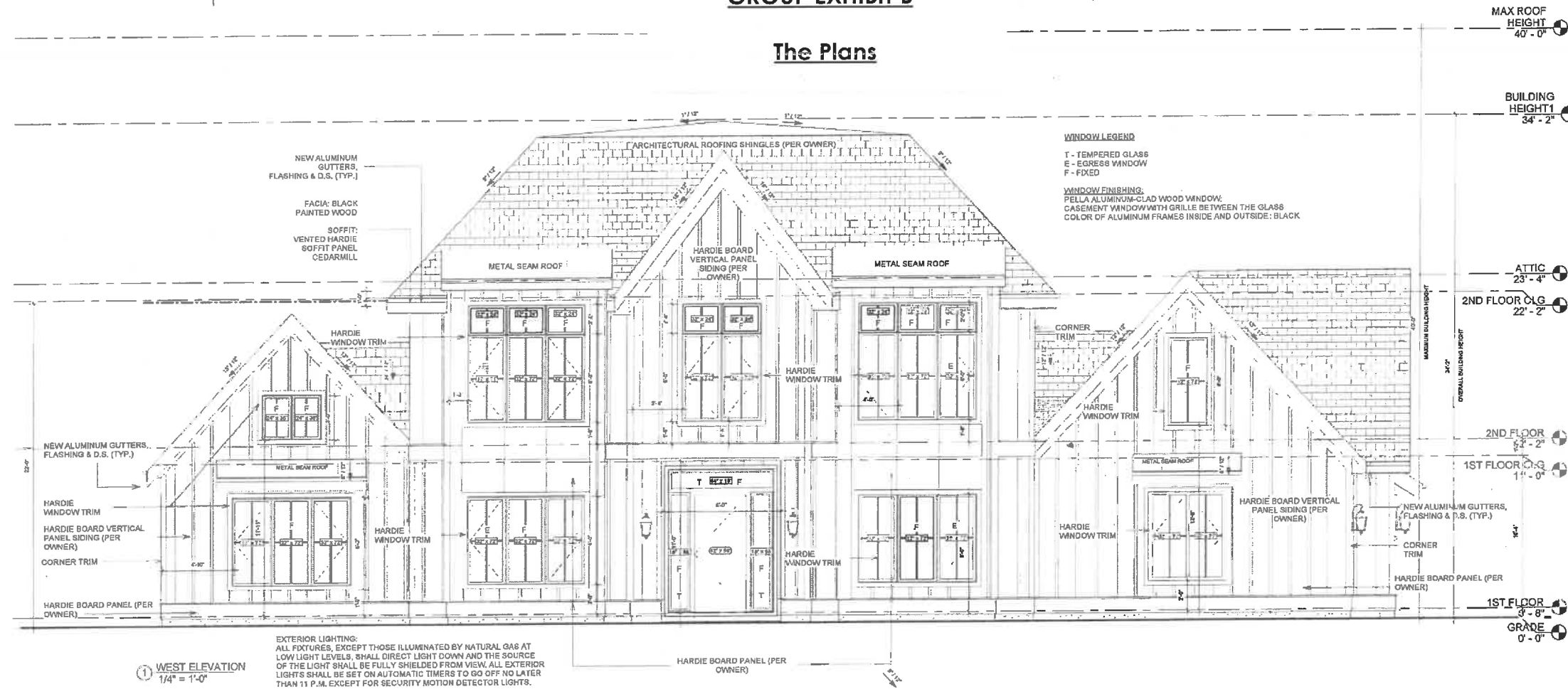
EGRESS WINDOW SIZE & LOCATION REQUIREMENTS

EGRESS WINDOW MUST HAVE:
 A MINIMUM CLEAR OPENABLE WIDTH OF 20 INCHES
 A MINIMUM CLEAR OPENABLE HEIGHT OF 24 INCHES
 A MINIMUM CLEAR OPENABLE AREA OF 5.7 SQUARE FEET (TO OBTAIN THE 5.7 SQUARE FOOT OPENABLE AREA, ONE OR BOTH DIMENSIONS MUST BE INCREASED.)
 A FINISHED SILL HEIGHT THAT IS NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR

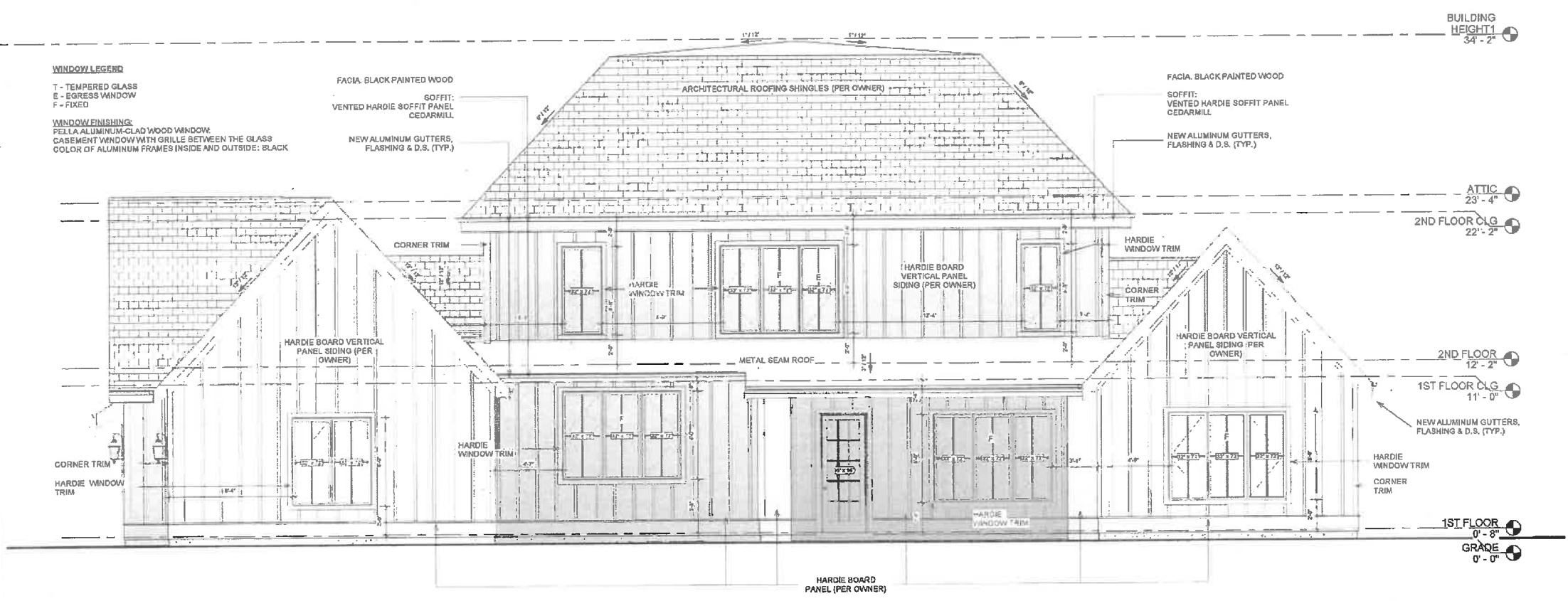
WINDOW WELLS

IF THE EMERGENCY ESCAPE WINDOW OPENING IS BELOW GRADE, A WINDOW WELL MUST BE INSTALLED ON THE OUTSIDE OF THE BUILDING. THE WINDOW MUST:

BE A MINIMUM OF 36 INCHES WIDE AND GIVE ACCESS TO AN AREA THAT IS A MINIMUM OF 8 SQUARE FEET WITH WINDOW FULLY OPEN HAVE A MINIMUM OF 6-INCH DROP FROM THE WINDOW SILL TO THE GROUND INCLUDE LATTER IF THE WELL IS MORE THAN 44 INCHES DEEP



1 WEST ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
 Lake Forest, IL 60045

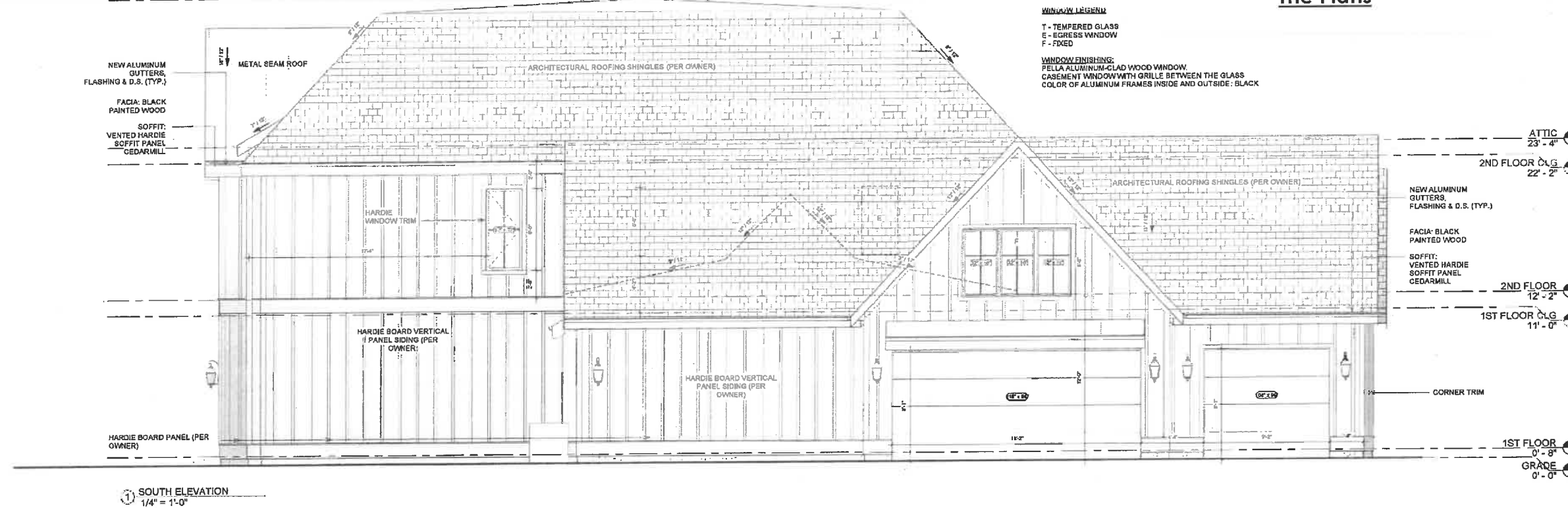
DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT
10/25/2024	REV.1
1/17/2026	REV.2

Exp 11/30/2028

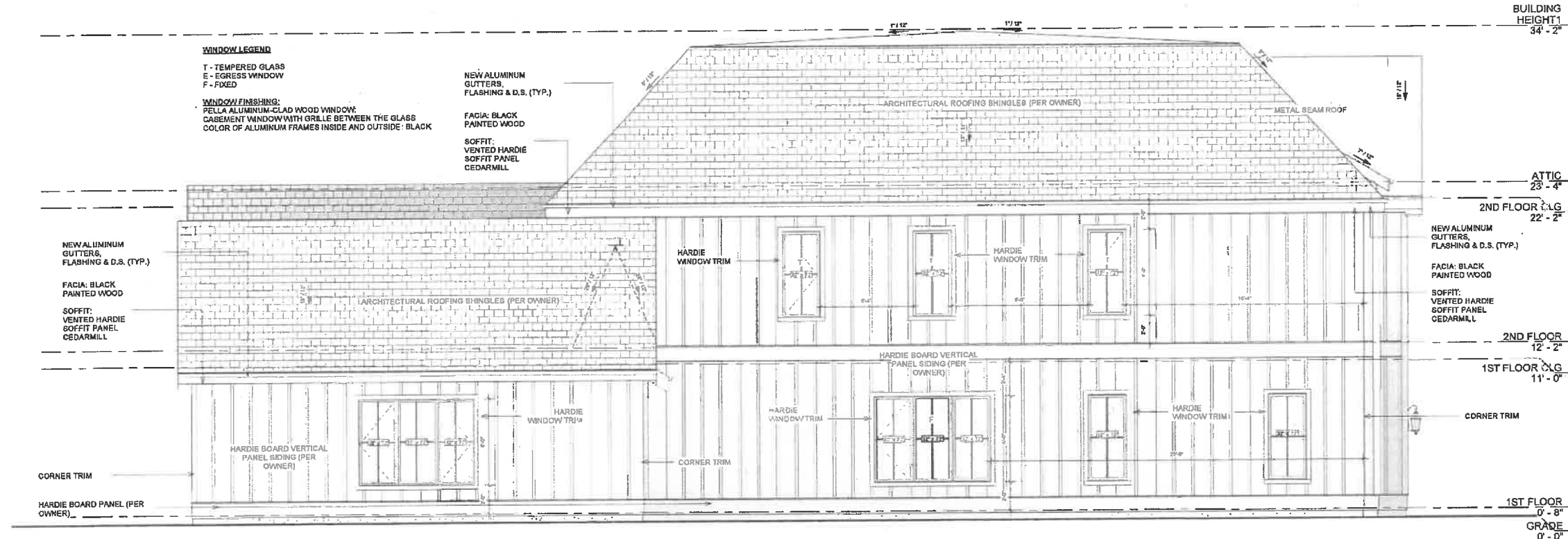
SHEET No. A201

The Plans

BUILDING HEIGHT 1 34' - 2"



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT* CLIMATE ZONE 5

ROOF	CEILING	WOOD FRAME WALL	MASS WALL	FLOOR	BASEMENT WALL	WOOD FRAME WALL	SLAB	SLAB EDGE	CRAWL SPACE WALL	DUCTS	OPAQUE DOOR	GLAZED FENESTRATION UFACTOR	GLAZED FENESTRATION SHGC	SKYLIGHT UFACTOR
R-30	R-49	R-20	R-20	R-30	R-13 + R-5	R-20	R-5	R-10	R-15 + R-5	R-9	U-0.30	U-0.30	NR	

*R-values are minimums. U-factors and SHGC are maximums.
NOTE: ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT Baffle OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED, THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.

EXCEPTION: VERTICAL DOORS THAT PROVIDE ACCESS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS 1" TABL R402.1.2 BASED ON THE APPLICABLE CLIMATE ZONE SPECIFIED IN CHAPTER 3.

NOTE: PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL, LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN OR ON CEILINGS, ROOFS, WALLS, FOUNDATION (SLAB, BASEMENT WALLS, CRAWL SPACE WALLS AND FLOORS), DUCTS OUTSIDE CONDITIONED SPACES, U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, RESULTS OF AIR LEAKAGE TEST DONE FOR DUCT SYSTEMS AND BUILDING ENVELOPE. THE CERTIFICATE SHALL ALSO INDICATE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

EQUIPMENT PERFORMANCE	TYPE	EFFICIENCY	AIR LEAKAGE TEST RESULTS*
HEATING SYSTEM	GAS FURNACE (MECHANICAL)	90% AFUE	BLOWER DOOR _____ ACH50 PA
COOLING SYSTEM	AIR CONDITIONER W/ CONDENSER UNITS (MECHANICAL)	14 SEER	DUCT TESTING _____ CFM100/SQFT
WATER HEATER	GAS TANK WATER HEATER	HIGH EF	

*NOTE: AIR LEAKAGE TEST SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
Lake Forest, IL 60045

DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT
10/25/2024	REV.1
1/17/2025	REV.2

Exp: 11/30/2028

SHEET No. **A202**

The Plans

Landscape Development Plan

LAKE FOREST RESIDENCE

EXISTING TREE REMOVALS

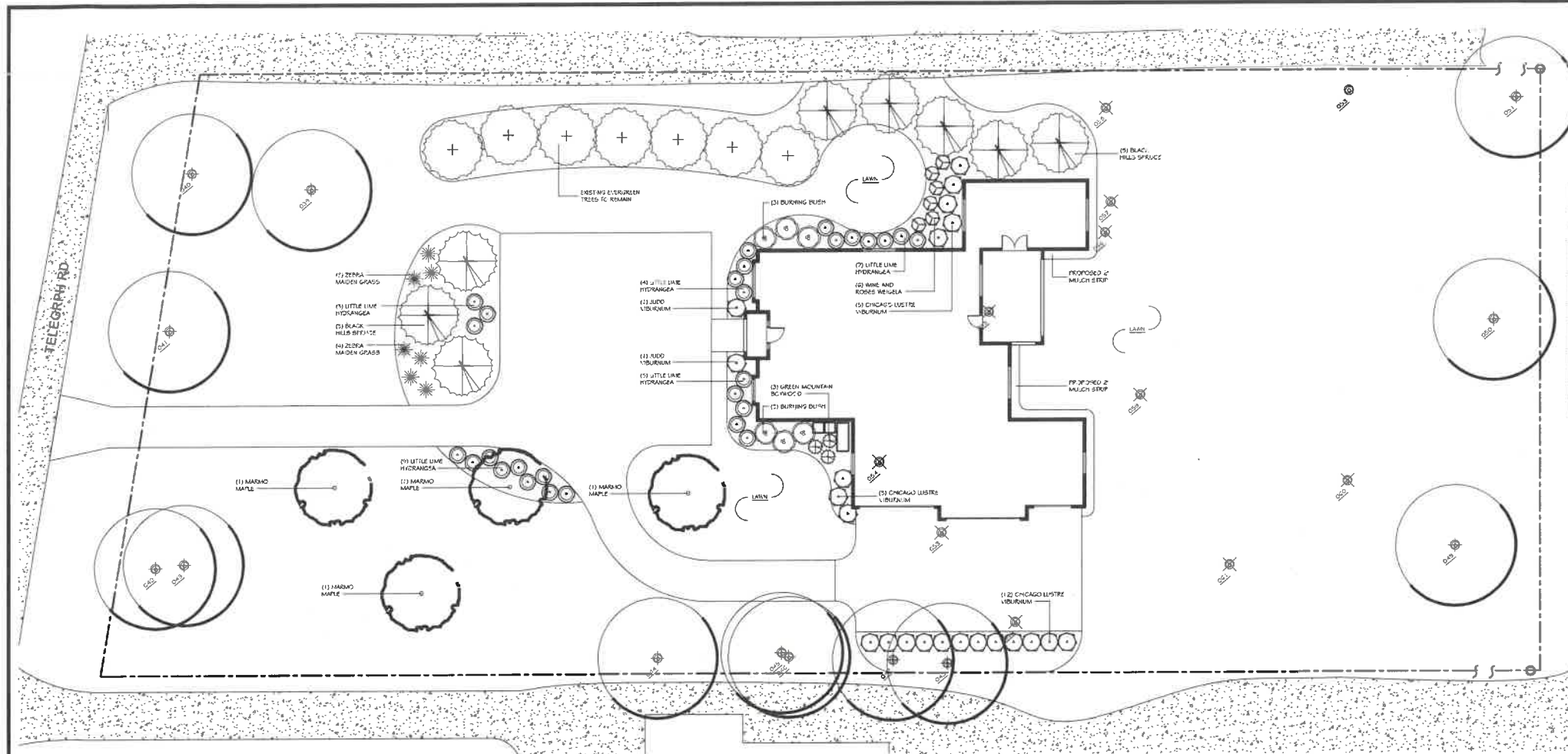
NO.#	DIA. (INCHES)	SPECIES	CONDITION
052	20"	SILVER MAPLE	POOR
053	18"	SILVER MAPLE	POOR
054	11"	COLORADO SPRUCE	POOR
055	23"	COTTONWOOD	POOR
056	13"	COLORADO SPRUCE	POOR
057	9"	COLORADO SPRUCE	POOR
058	7"	COLORADO SPRUCE	POOR
059	7"	WALNUT	POOR
060	15.7"	SILVER MAPLE	POOR
061	25.7"	SILVER MAPLE	POOR

EXISTING TREES

NO.#	DIA. (INCHES)	SPECIES	CONDITION
039	40"	COTTONWOOD	FAIR
040	32"	OAK	GOOD
041	36"	OAK	GOOD
042	21"	COTTONWOOD	FAIR
043	21"	COTTONWOOD	FAIR
044	14"	SILVER MAPLE	FAIR
045	12"	SILVER MAPLE	FAIR
046	15"	SILVER MAPLE	FAIR
047	12"	SILVER MAPLE	FAIR
048	12"	SILVER MAPLE	FAIR
049	30"	SILVER MAPLE	FAIR
050	10"	SILVER MAPLE	FAIR
051	18"	SILVER MAPLE	FAIR

PLANT SCHEDULE

SHADE TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Narmo Maple	<i>Acer x freemanii 'Narmo'</i>	D4B	3"	4
EVERGREEN TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Black Hills Spruce	<i>Picea glauca var. densata</i>	B4B	6"	6
DECIDUOUS SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Judd Viburnum	<i>Viburnum x juddii</i>	D4B	36"	2
Chicago Lustre Viburnum	<i>Viburnum dentatum 'Synnestevedt'</i>	D4B	36"	20
Little Lime Hydrangea	<i>Hydrangea paniculata 'Janie' TM</i>	D4B	36"	25
Burning Bush	<i>Euonymus alatus</i>	D4B	36"	6
Wine and Roses Weigela	<i>Weigela florida 'Alexandra'</i>	POT	5 gal	6
EVERGREEN SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Green Mountain Dogwood	<i>Buxus x 'Green Mountain'</i>	B4B	36"	3
ORNAMENTAL GRASSES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Zebra Maiden Grass	<i>Miscanthus sinensis 'Zebrinus'</i>	POT	3 gal	7

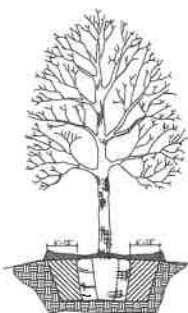


Lake Forest Landscape Requirements:

- (2) shrubs, with a minimum height of 36" must be planted for every 10 linear feet of foundation along the portion of the building facing a public or private street.
 - Front foundation along public street is 80 linear feet
 - North side foundation along private street is 80 linear feet
 - 160 linear feet total = (32) shrubs minimum at 36" in height
 - (62) proposed shrubs with a minimum height of 36"
- (2) shade trees, with a minimum of 3" caliber for each 100 linear feet of foundation, or portion thereof, along the front and corner side yards.
 - 160 linear feet total = (4) shade trees minimum of 3" caliber
 - (4) proposed shade trees with a minimum of 3" caliber
- (3) evergreen trees, with a minimum of 6' in height must be planted on the site for each 100 linear feet of foundation, or portion thereof along the front and side yards.
 - 160 linear feet total = (6) evergreen trees minimum height of 6'
 - (8) proposed evergreen trees with a minimum height of 6'
- Planting beds around the perimeter of the building must be covered with groundcover or mulch.

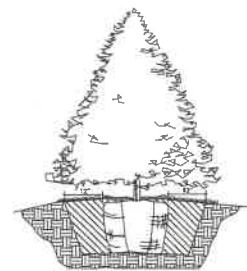
Landscape Notes:

- Seed/ Sod limit line is approximate. Seed/ Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded/ sodded areas.
- Tree mulch rings in turf areas are 5' diameter. Contractor shall provide a mulch ring around all existing trees within the limits of work. Remove all existing grass from area to be mulched and provide a typical spade cut edge. Landscape Fabric shall not be installed under mulch.
- Bedlines are to be spade cut to a minimum depth of 3". Curved bedlines are to be smooth and not segmented.
- All planting, beds shall receive top dressing of mulch. Landscape fabric shall not be installed under mulch.
- Do not locate plants within 10' of utility structures or within 5' horizontally of underground utility lines unless otherwise shown on plans. Consult with Landscape Architect if these conditions exist.
- For Lump Sum Contracts, plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
- It is the responsibility of the contractor to locate and provide plant material as specified on this plan. The contractor may submit a request to provide substitutions for the specified plant material under the following conditions:
 - Any substitutions proposed shall be submitted to the project owner's representative within two weeks of the award of contract. Substitutions must meet equivalent design and functional goals of the original materials as determined by the owner's representative. Any changes must have the approval of the owner's representative.
 - The request will be accompanied by at least three notices from plant material suppliers that the plant material specified is not available and will not be available prior to construction.
- Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies. Commencement of work shall constitute acceptance of conditions and responsibility for corrections.
- A minimum of two working days before performing any digging, call underground service alert for information on the location of natural gas lines, electric cables, telephone cables, etc. The contractor shall be responsible for location and protection of all utilities, and repair of any damage resulting from his work at no additional cost to the owner.
- Contractor shall promptly repair all damages to existing site at no cost to owner.
- Refer to landscape specifications for additional conditions, standards, and notes.



DECIDUOUS / ORNAMENTAL TREE PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BAC'S BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SUBEXISTING GRADE.
 - REMOVE V-CUTTED STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PLANT PLANTS AFTER PLANTING IF NEEDED.
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.
 - REMOVE BAC'S BURLAP FROM TOP OF BALL AND REMOVE TWINE.



EVERGREEN TREE PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BAC'S BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SUBEXISTING GRADE.
 - REMOVE V-CUTTED STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PLANT PLANTS AFTER PLANTING IF NEEDED.
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.
 - REMOVE BAC'S BURLAP FROM TOP OF BALL AND REMOVE TWINE.



DECIDUOUS / EVERGREEN SHRUB PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BAC'S BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SUBEXISTING GRADE.
 - REMOVE V-CUTTED STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PLANT PLANTS AFTER PLANTING IF NEEDED.
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.
 - REMOVE BAC'S BURLAP FROM TOP OF BALL AND REMOVE TWINE.



PERENNIAL / GRASS / GROUNDCOVER PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BAC'S BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SUBEXISTING GRADE.
 - REMOVE V-CUTTED STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PLANT PLANTS AFTER PLANTING IF NEEDED.
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.
 - REMOVE BAC'S BURLAP FROM TOP OF BALL AND REMOVE TWINE.

1425 Telegraph Road
Lake Forest, Illinois

sheet:

date: 18 SEPTEMBER 2024

project no.:



north:

drawn: TM

checked: TM

scale: 1" = 16'-0"

1 10/23/24

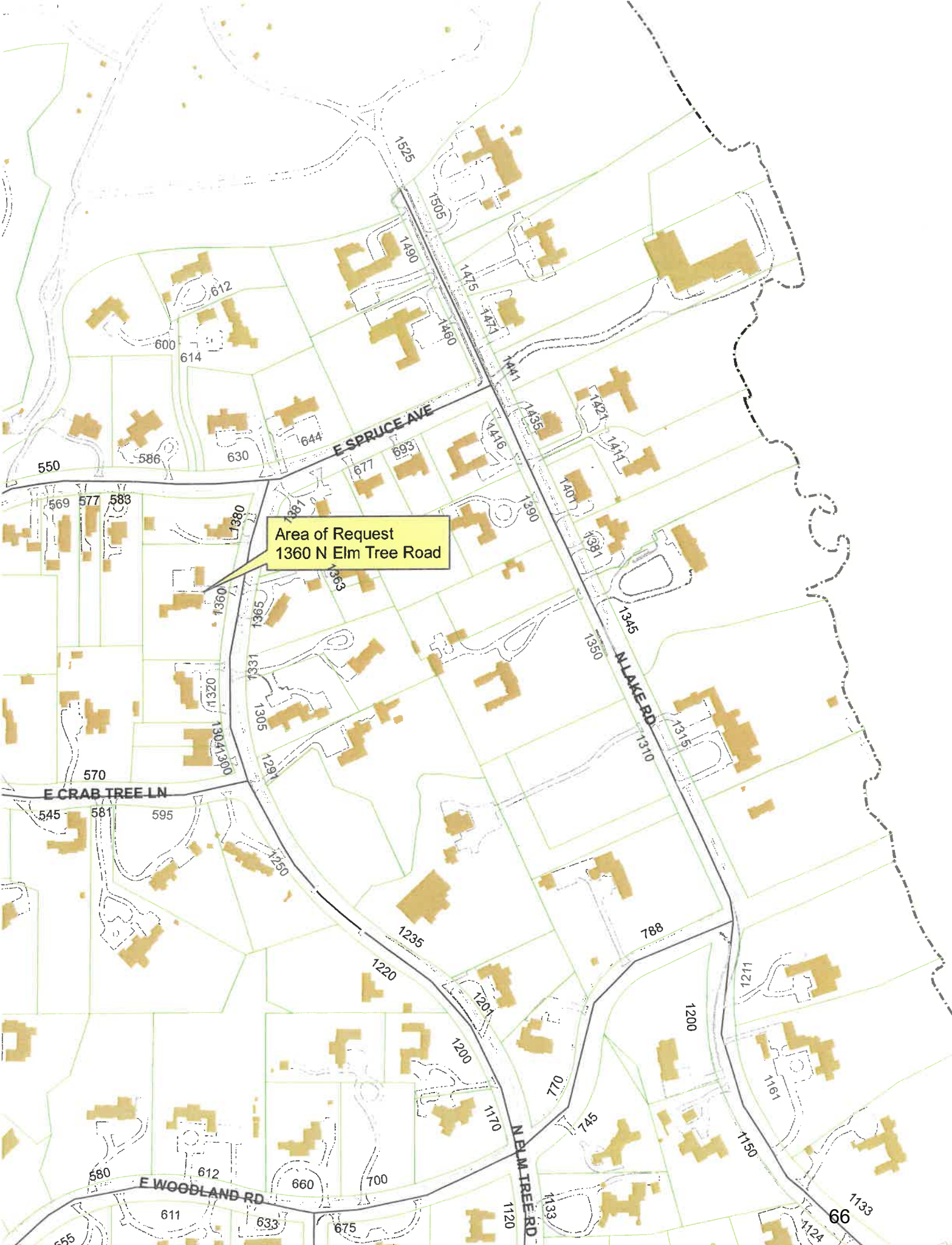
2 2/26/25

revisions:



TOMEK DESIGN
landscape architectural design

Area of Request
1360 N Elm Tree Road



THE CITY OF LAKE FOREST

ORDINANCE NO. 2025 - ____

AN ORDINANCE GRANTING A FLOOR AREA EXCEPTION FOR
THE PROPERTY LOCATED AT 1360 ELM TREE ROAD

WHEREAS, Scott and Anne-Marie D'Angelo ("**Owners**") are the owners of that certain real property commonly known as 1360 Elm Tree Road, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property has been designated as a Local Landmark or included in a Local Historic District pursuant to Chapter 155 of the City Code; and

WHEREAS, the Property is in the R-4, Single Family Residence Zoning District; and

WHEREAS, the Owners desire to construct improvements including a partial demolition, replacement addition, a new pool and pool house and make other alterations ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, in order to construct the Improvements, Section 155.07 of the City Code requires the Owner to obtain a Certificate of Appropriateness ("**CoA**") from the Historic Preservation Commission ("**HPC**");

WHEREAS, some of the Improvements as depicted on the Plans would exceed the maximum floor area allowances set forth in Section 150.148(D), which apply to new construction on, or additions and alterations to existing construction on, residential property; and

WHEREAS, pursuant to notice duly published, the HPC reviewed and evaluated the Plans at a public hearing held on April 23, 2025; and

WHEREAS, the HPC, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. the Property is located within the R-4 District under the City Code,

2. Owners propose to construct the Improvements as depicted on the Plans,
3. as depicted on the Plans, the Improvements exceed the maximum floor area allowances set forth in Section 150-148(D) of the City Code,
4. the Improvements are consistent with the design standards in Section 150.147 of the City Code,
5. the Property is in a local historic district or is designated as a Local Landmark and the Improvements are consistent with the standards in the Historic Preservation Ordinance, and approval of the Improvements as depicted on the Plans would further the purpose of the Historic Preservation Ordinance,
6. the HPC has determined that the Plans qualify for a Certificate of Appropriateness under the standards set forth in Section 155.08 of the City Code;
7. the location, massing and architectural detailing of the Improvements will mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development of the Improvements as set forth on the Plans is in keeping with the streetscape and overall neighborhood,
8. the Improvements are sited in a manner that minimizes the appearance of mass from the streetscape and neighboring residences due to existing fencing and vegetation. In addition, the proposed Improvements will not have a significant negative impact on the light to or views from neighboring homes.
9. the height and mass of the Improvements will generally be compatible with the existing improvements on the site and with neighboring homes, will be subordinate to the existing structure and to structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision,
10. the evidence presented indicates that the construction of the Improvements, if undertaken in conformity with this Ordinance, the recommended conditions, and the Plans, will meet the standards and requirements of Sections 150.147 and 150.148 of the City Code,

and recommended that the City Council approve the Application and the Plans and grant an exception to the maximum allowable floor area consistent with the Plans, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' request for exceptions to the maximum floor area requirements set forth in Section 150.148 of the City Code and the findings and recommendations of the HPC, have determined that it is in the best interests of the City and its residents to grant such exceptions, subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council further determine in the exercise of the City's home rule powers that it is in the best interests of the City and its residents to grant Owners' request for exceptions to the otherwise applicable maximum floor area requirements, subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Maximum Floor Area Exception Granted. Pursuant to Section 155.08 of the City Code, and subject to the limitations therein and the conditions set forth in Section Three of this Ordinance, the City Council does hereby grant an exception to the maximum floor area requirements set forth in Section 150.148(D) of the City Code, as more fully depicted on the Plans, by allowing the Improvements which together with other structures on the Property will have a maximum square footage not to exceed 6,730 square feet, 1.8% over the allowable square footage.

SECTION THREE: Conditions on Approval. The approval granted pursuant to Section Two of this Ordinance shall be, and is hereby, conditioned upon and limited by the following

conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.

- B. Compliance with Laws. Chapters 150, regarding building, 156, regarding subdivisions, 159, regarding zoning, and 155, regarding historic preservation, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.

- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.

- D. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.

- E. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

- F. Other Conditions. The improvements shall be substantially in conformance with the Commission's deliberations as reflected on Exhibit C, Certification of Appropriateness, attached hereto.

SECTION FOUR: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form

attached hereto as Exhibit D and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

Mayor

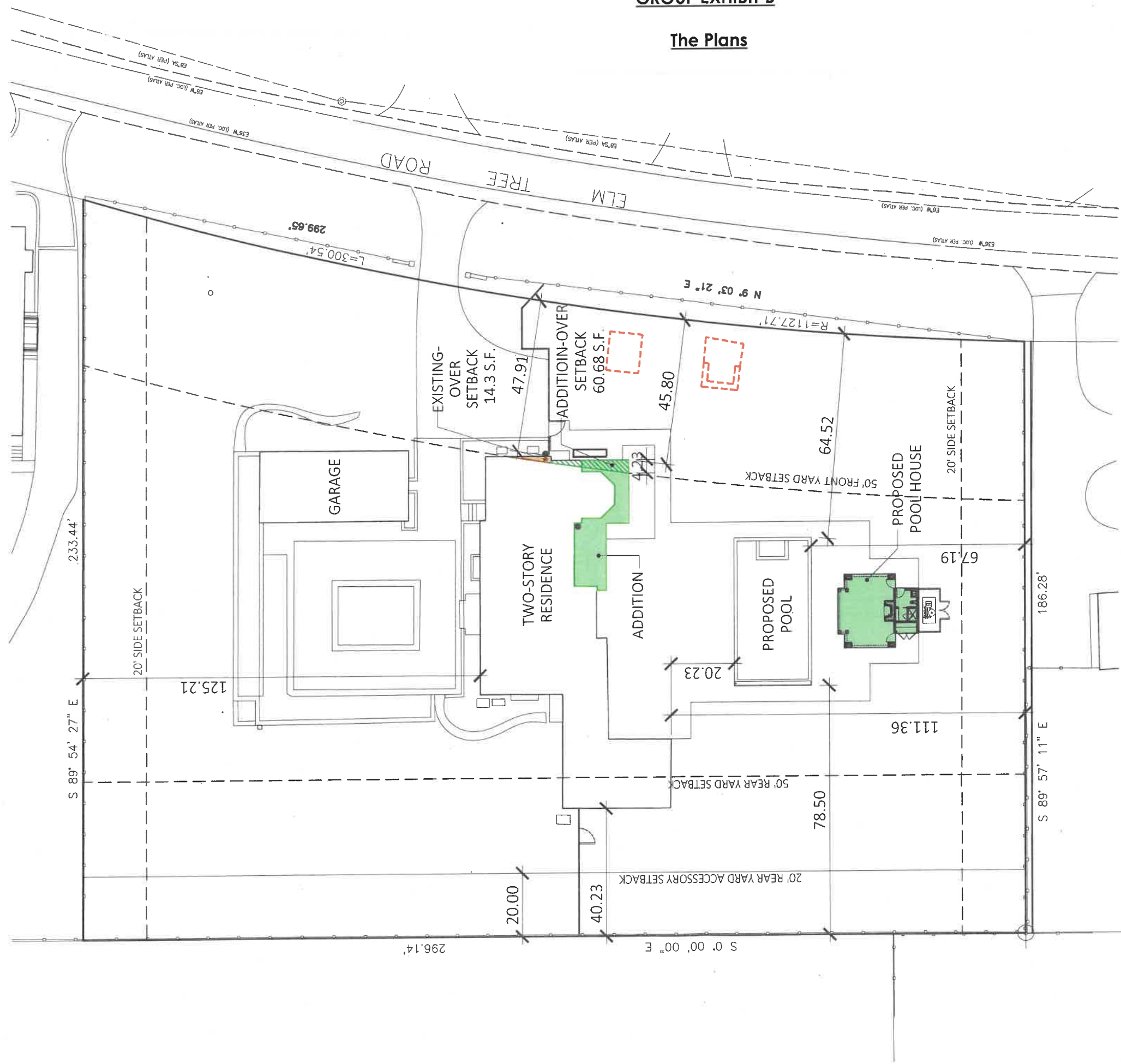
ATTEST:

City Clerk

PROPOSED SITE PLAN

GROUP EXHIBIT B

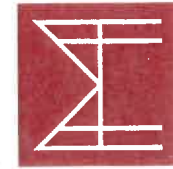
The Plans



PRELIMINARY
NOT FOR CONSTRUCTION

TITLE: PROPOSED SITE PLAN

SCALE: 1"=0"=1/32"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE: 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

JOB NO.: 2066

ISSUE: 03/21/2025



GROUP EXHIBIT B
The Plans

1 SOUTH (REAR) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

DRAWING LEGEND
PROPOSED ADDITION

TITLE: PROPOSED EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

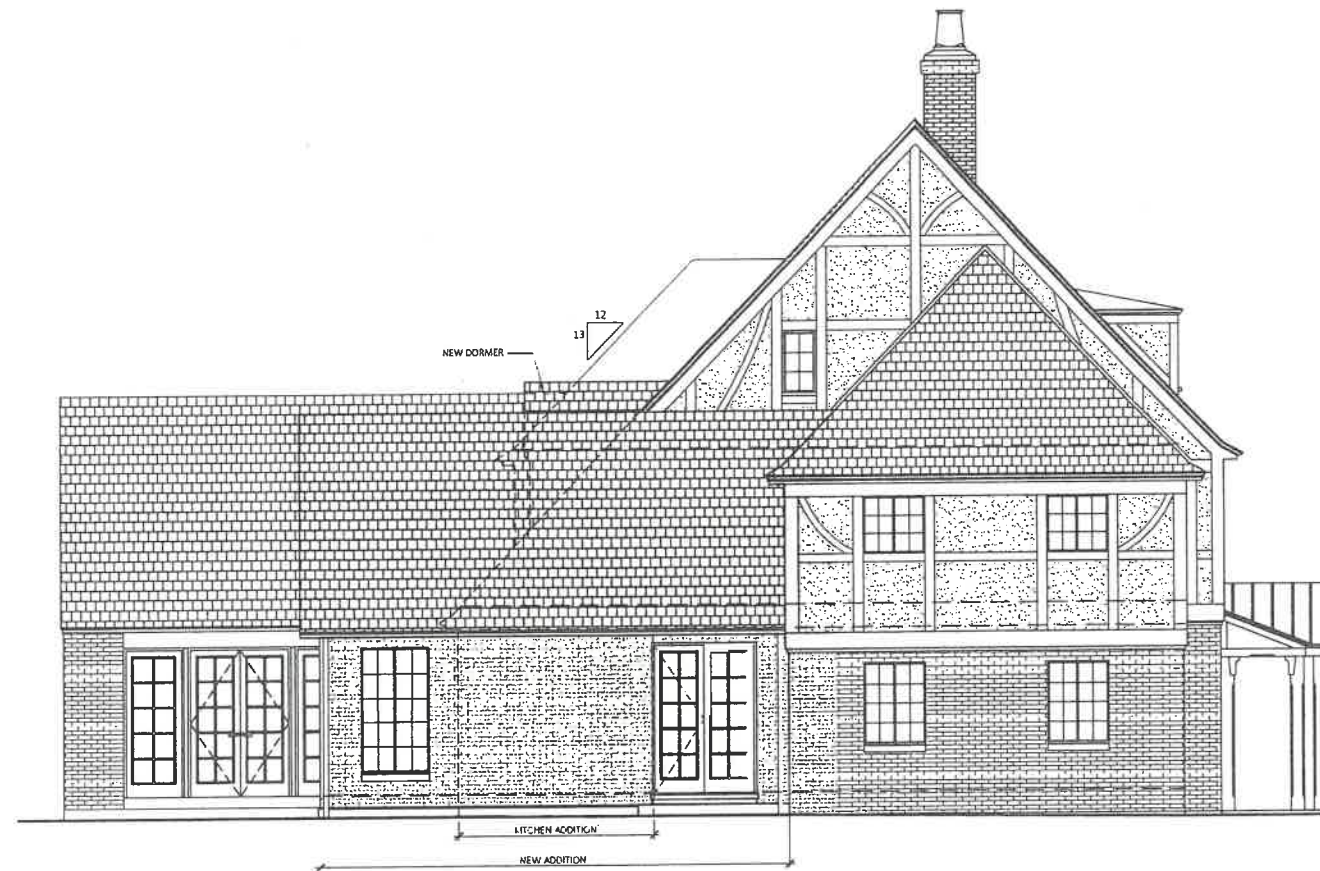
207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE: 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

PRELIMINARY
NOT FOR CONSTRUCTION

JOB NO.: 2066
ISSUED: 03/26/2025

GROUP EXHIBIT B
The Plans



1 EAST (SIDE) EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

DRAWING LEGEND
PHASED ADDITION

TITLE: PROPOSED EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE: 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

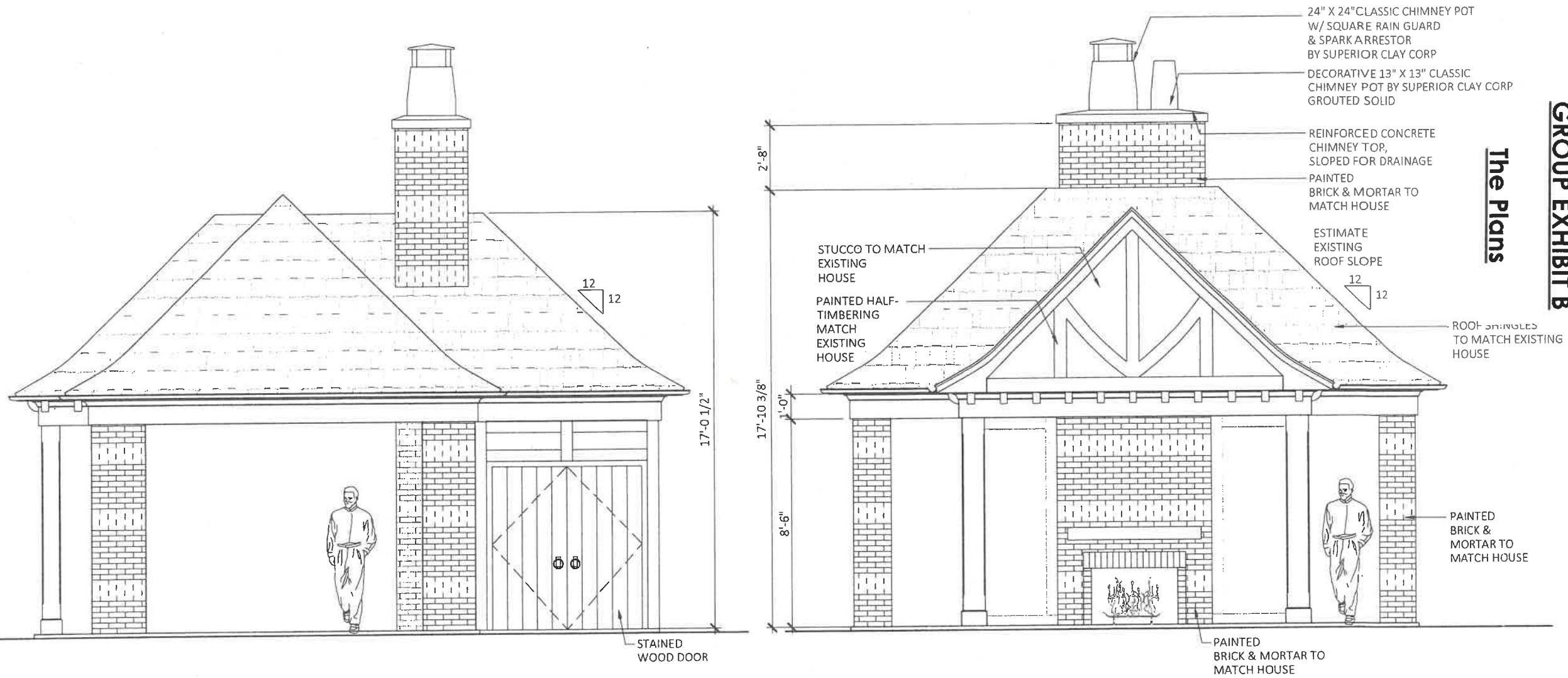
PRELIMINARY
NOT FOR CONSTRUCTION

JOB NO.: 2066
ISSUED: 03/26/2025

POOL HOUSE EXTERIOR ELEVATIONS

GROUP EXHIBIT B

The Plans



1 POOL HOUSE SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

2 POOL HOUSE WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

TITLE: PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE: 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

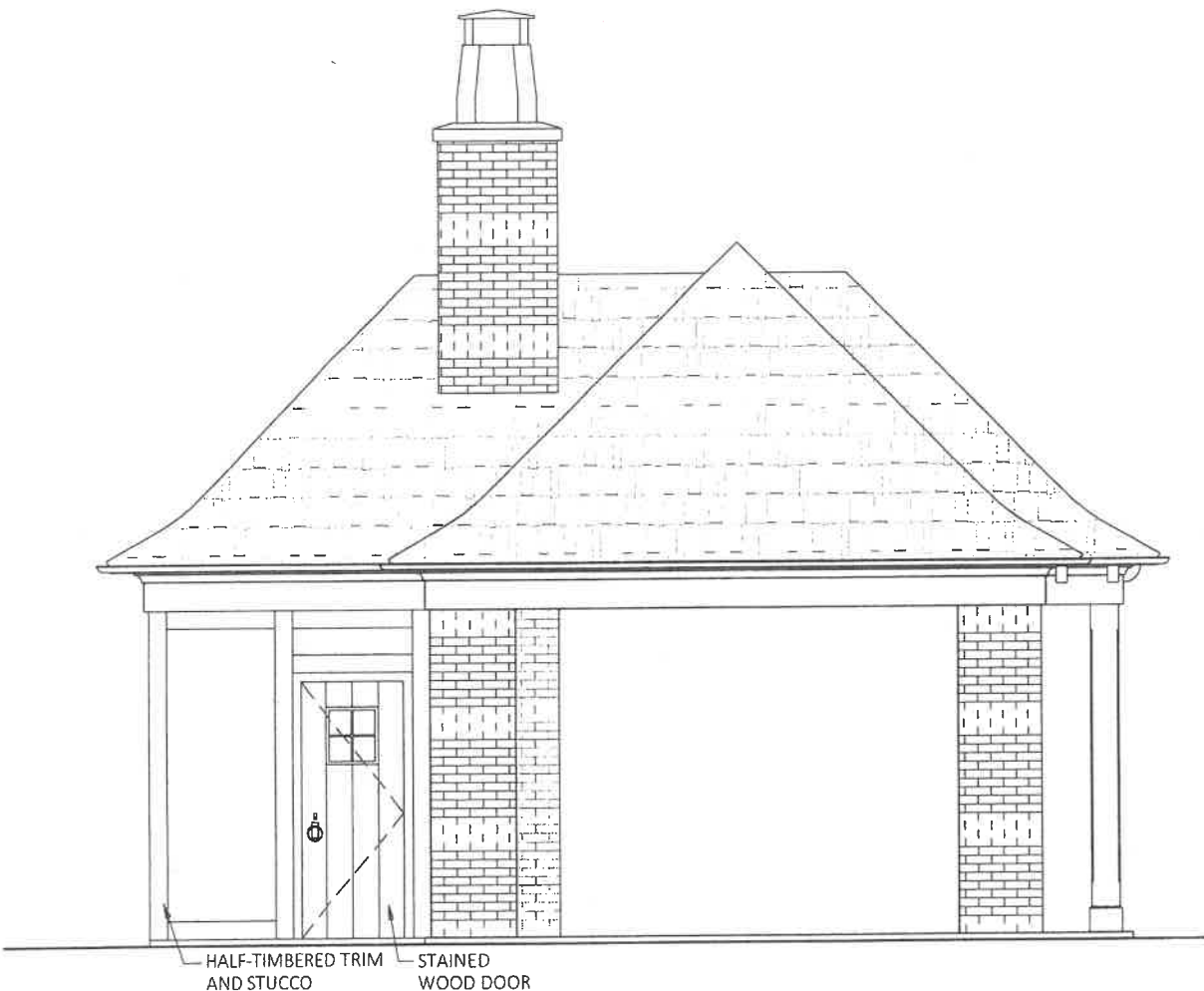
PRELIMINARY
NOT FOR CONSTRUCTION

JOB NO.: 2066
ISSUED: 3/21/2025

POOL HOUSE EXTERIOR ELEVATIONS

GROUP EXHIBIT B

The Plans



HALF-TIMBERED TRIM AND STUCCO STAINED WOOD DOOR

1 POOL HOUSE NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



HALF-TIMBERED TRIM AND STUCCO SCREEN DOOR

2 POOL HOUSE EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

TITLE: PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE

207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE: 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

PRELIMINARY
NOT FOR CONSTRUCTION

JOB NO.: 2066

ISSUED: 3/21/2025

LANDSCAPE PLAN



1925 IRRADIATION WAY
LIBERTYVILLE, IL 62448
724.113.5275

D'ANGELO RESIDENCE

1360 ELM TREE ROAD
LAKE FOREST, IL

MELICHAR ARCHITECTS
JULIA HAMER
JULIA@MELICHARARCHITECTS.COM
207 E. WESTWINDRIVER SUITE 104
LAKE FOREST, IL

GREENGARD ENGINEERING
DOUGLAS WHITE
DWHITE@GREENGARDINC.COM
111 BARCLAY BLVD., SUITE 310
LINCOLN SQUARE, IL

DESIGNED BY: DM
ISSUE DATE: 2025/03/18

REV. #	DESCRIPTION	DATE
#1	SUBMITTA	2025/03/11
#2	REVISED	2025/04/01

GROUP EXHIBIT B
The Plans

CONCEPT DRAWINGS

SCALE: 3/32" = 1'-0"
N

REAR-YARD PLAN

L-1

Tree Preservation Survey				1360 Elm Tree Rd Lake Forest, IL	
TAG #	SIZE	SPECIES	CONDITION 1-5 (1=BEST - 5=DEAD)	Form	NOTES / LOCATION
1	25	Sugar Maple	3		Parlway
2	20	Hickory	3		
3	12	Norway Maple	3		
4	19	Hawthorn	3		
5	18	Norway Maple	3		
6	20	Norway Maple	3		
7	12	Norway Maple	3		
8	13	Norway Maple	3		
9	20	Silver Maple	3		
10	8	Norway Maple	3		
11	12	Norway Maple	3		
12	12	Norway Maple	4		
13	16	Norway Maple	4		
14	7	Norway Maple	4		Uprooting
15	7	Norway Maple	4		Uprooting
16	15	Norway Maple	4		
17	16	Spruce	3		
18	11	Spruce	3		
19	16	Spruce	3		
20	19	Spruce	3		
21	11	Spruce	3		
22	6	Spruce	4		
23	16	Spruce	3		
24	23	Spruce	3		
25	8	Hawthorn	3		
26	9	Hawthorn	3		
27	14	Box Elder	3		
28	10	Spruce	4		
29	15	Apple	6		
30	7	Spruce	5		
31	8	Silver Maple	2		
32	32	Box Elder	4		
33	7	Ash	8		
34	17	American Elm	5		
35	12	Spruce	3		
36	12	Spruce	3		
37	18	Spruce	3		
38	8	Spruce	4		
39	7	Spruce	4		
40	8	Cedapple	4		
41	25	Spruce	3		
42	10	Spruce	3		
43	8	Spruce	3		
44	14	White Pine	3		
45	20	Cedapple	3		
46	19	Tree Lilac	3		
47	12	Tree Lilac	3		
48	14	Hawthorn	3		
49	15	White Pine	3		
50	15	White Pine	3		
51	20	White Pine	3		
52	38	White Oak	3		
53	35	White Oak	4		Decay at base
54	7	Spruce	4		
55	8	Spruce	4		
56	23	Box Elder	5		DEAD
57	7	Spruce	6		Topped
58	12	Spruce	2		
59	11	Spruce	6		
60	13	Spruce	5		
61	14	Spruce	3		
62	14	Sugar Maple	3		
63	17	Red Maple	6		Large Canopy
64	6	Hedge Spruce	6		
65	16	Red Maple	3		
66	16	Spruce	3		
67	11	Spruce	3		
68	11	Spruce	3		
69	6	Spruce	3		
70	16	Norway Maple	3		
71	16	Red Maple	3		
72	30	Norway Maple	4		
73	17	Spruce	3		
74	12	Spruce	3		
75	12	Spruce	3		
76	10	Hawthorn	3		
77	17	Spruce	3		
78	17	American Elm	6		
A	17	Pear	5		

Thank you,
Lou Legger
Certified Arborist #177
847-561-7061

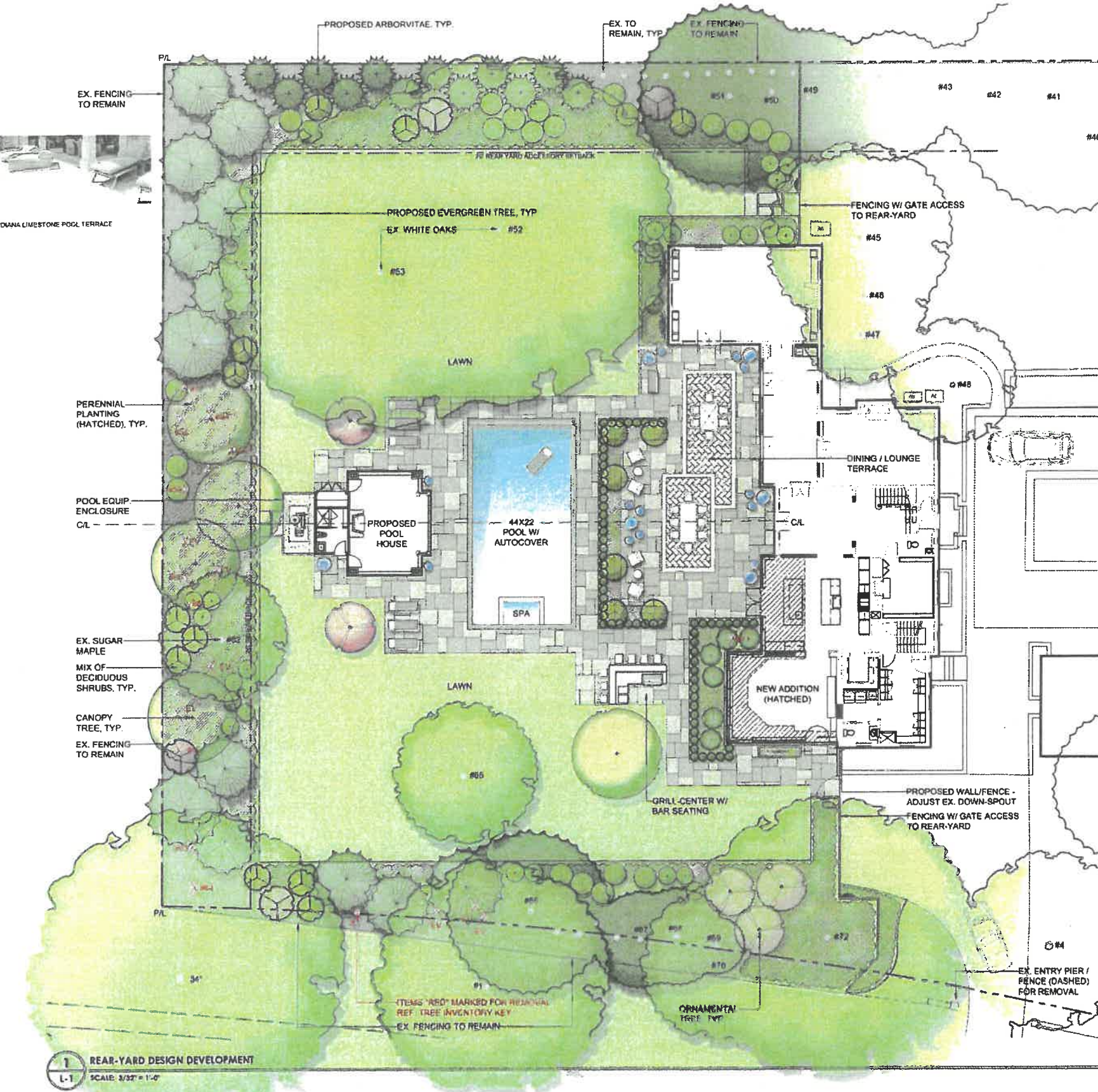
TOTAL CALIPER INCH REMOVAL: 133"
TOTAL CALIPER INCH REPLACEMENT: 128.5"
CANOPY TREE (5 @ 8" CAL): 30"
EVERGREEN TREE (4) @ 10" @ 5', (5) @ 12" @ 5.5', (4) @ 16" @ 6': 71.5"
MULTI-TRUNKS (5) @ 10" @ 5': 25"

TOTAL LOT AREA: 60,131 SF

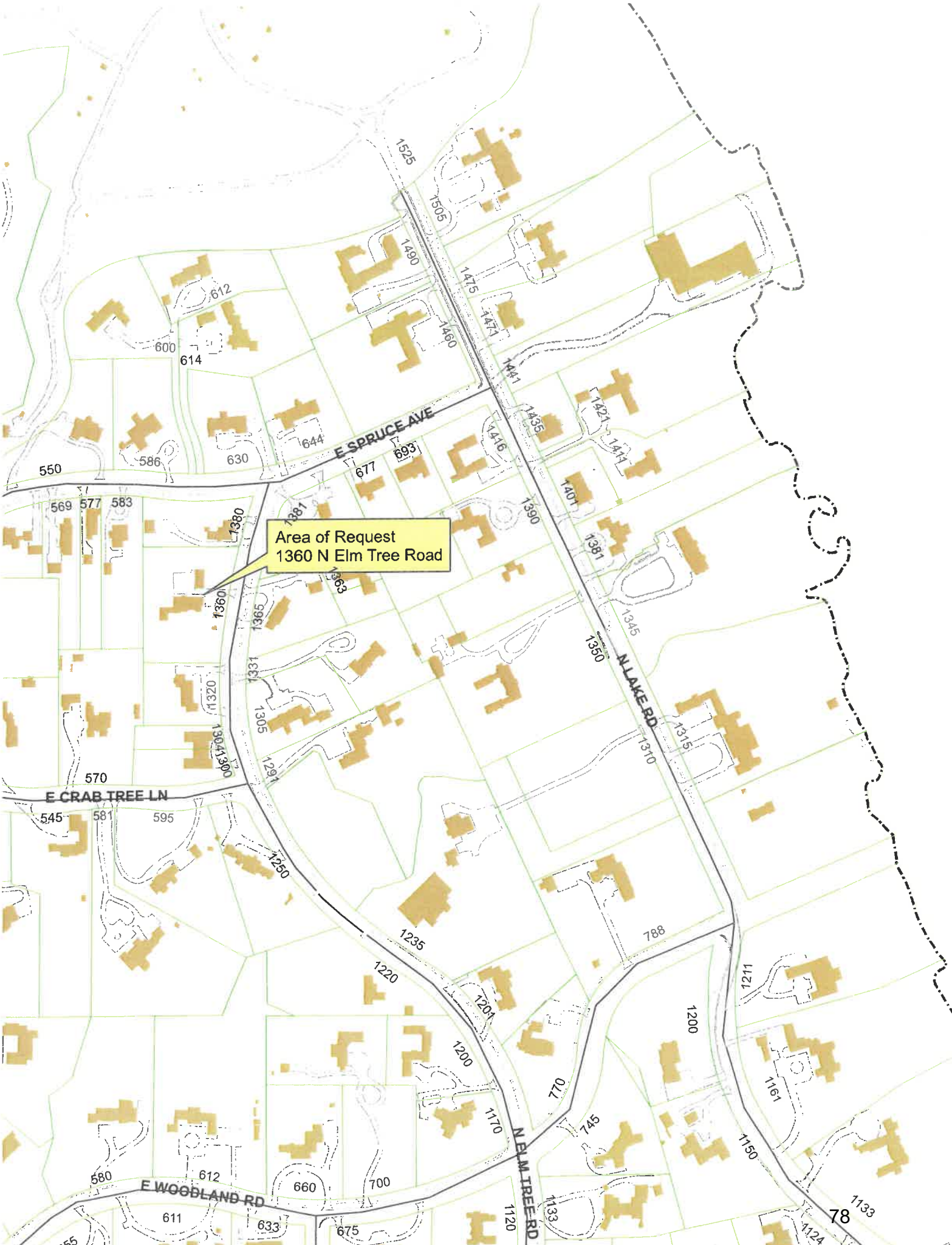
EXISTING IMPERVIOUS SURFACE
RESIDENCE: 3,495.19 SF
DETACHED GARAGE: 1,021.84 SF
DRIVEWAY: 4,912.84 SF
WALLS/PIERS: 846.00 SF
WALKS / STOOPS / PADS: 2,493.84 SF
SHEDS: 282.04 SF
EXISTING TOTAL: 12,830.56 SF = 21%

PROPOSED IMPERVIOUS SURFACE
RESIDENCE: 3,891.17 SF (ADDITION = 396.51 +/-)
DETACHED GARAGE: 1,021.84 SF
DRIVEWAY: 4,912.84 SF
WALLS/PIERS: 569.67 SF
WALKS / STOOPS / PADS: 4,553.07 SF
POOL HOUSE: 501.85 SF
PROPOSED TOTAL: 15,450.77 SF = 25.6%

NOTE: PROPOSED DECORATIVE GRASS, UTILITY AREA AND POOL NOT CALCULATED IN IMPERVIOUS CALCS



Area of Request
1360 N Elm Tree Road



Are THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-__

AN ORDINANCE GRANTING A VARIANCE FROM THE FRONT YARD SETBACK FOR
PROPERTY LOCATED AT 1360 ELM TREE ROAD

WHEREAS, Scott and Anne-Marie D'Angelo, ("**Owners**") are the owners of that certain real property commonly known as 1360 Elm Tree Road, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-4, Single Family Residence Zoning District; and

WHEREAS, the Owners desire to add a small addition ("**Improvements**") as depicted on the site plan attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") requesting approval of a variance from Section 159.082, R-4 Single Family Residence District, of the City of Lake Forest Code to allow construction of the Improvements within the front yard setback; and

WHEREAS, pursuant to notice duly published, the ZBA reviewed and evaluated the Plans at a public hearing held on April 28, 2025; and

WHEREAS, the ZBA, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify made the following findings:

1. The minimal encroachment of the proposed addition into the front yard setback will not alter the essential character of the property or the streetscape of the neighborhood. With the existing landscaping, views of the addition will be partially screened.
2. The conditions upon which the variance is requested are generally unique to this property given the original siting of the house and the curved property line on the east side of the lot.
3. The difficulty or hardship results from the creation of the lot prior to the application of the current R-4 zoning and current setbacks to the property.
4. The variance and the resulting addition will not impair light or ventilation to adjacent properties, increase congestion, or endanger public safety.

and recommended that the City Council approve the variance subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property and the findings and recommendations of the ZBA, have determined that it is in the best interests of the City and its residents to grant approval of the requested variance subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 159.042 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Zoning Setback Variances Granted. Based on the findings presented above, the City Council does hereby grant approval of the requested variance to allow an addition to encroach no more than 4'9" into the front yard setback.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.
- B. Compliance with Laws. Chapters, 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations

of all other federal, state, and local governments and agencies having jurisdiction.

- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Staging, Parking and Storage. Prior to the issuance of building permits, a plan for staging and storage of construction and demolition materials and a plan for parking construction vehicles shall be submitted and will be subject to City review and approval.
- E. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans which detail the porch as an open, rather than an enclosed, element.
- F. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit C and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

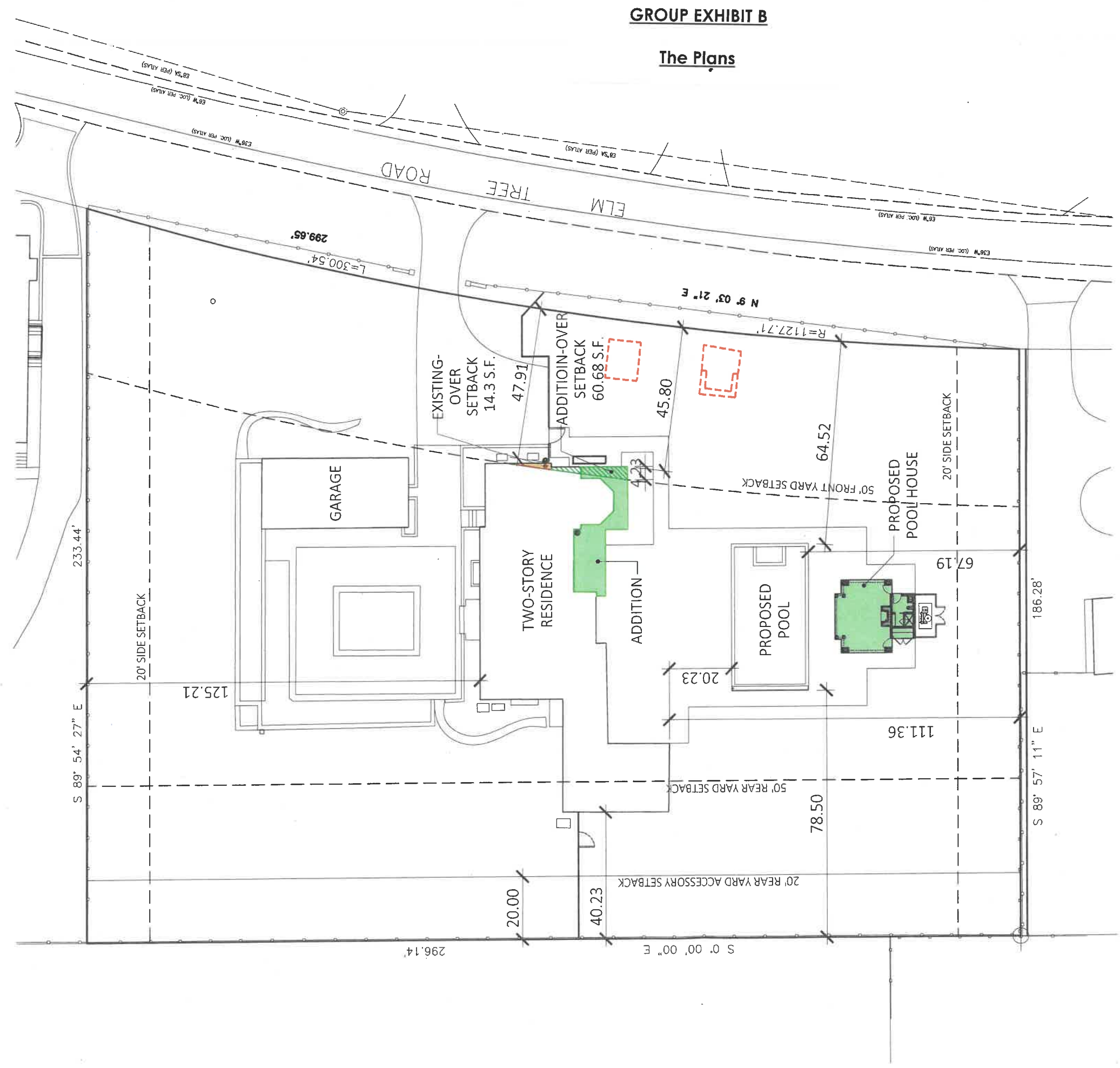
PASSED THIS __ DAY OF _____, 2025.

Mayor

ATTEST:

City Clerk

PROPOSED SITE PLAN



GROUP EXHIBIT B
The Plans

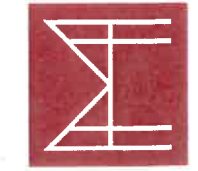
DRAWING LEGEND

	DEMO EXISTING STRUCTURE
	PROPOSED ADDITION

PRELIMINARY
NOT FOR CONSTRUCTION

SCALE: 1"=0"=1/32"

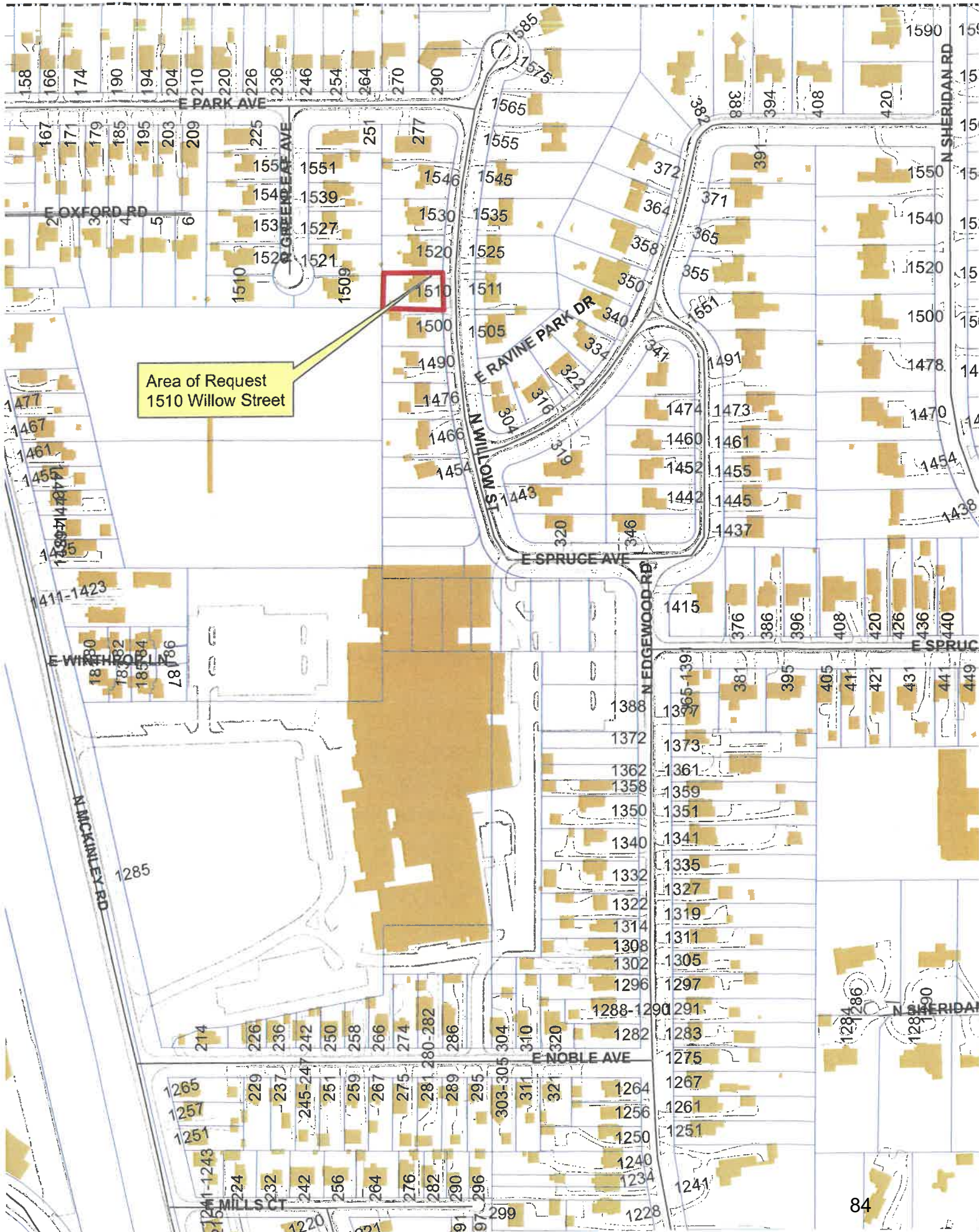
TITLE: PROPOSED SITE PLAN



MELICHAR ARCHITECTS
THE PRACTICE OF FINE ARCHITECTURE
207 EAST WESTMINSTER, LAKE FOREST, ILLINOIS 60045
OFFICE 847-295-2440 © 2024 MELICHAR ARCHITECTS

D'ANGELO RESIDENCE
1360 ELM TREE ROAD
LAKE FOREST, IL

JOB NO.: 2066



Area of Request
1510 Willow Street

THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-__

AN ORDINANCE GRANTING VARIANCES FROM THE FRONT AND SIDE YARD
SETBACKS FOR PROPERTY LOCATED AT 1510 WILLOW STREET

WHEREAS, Michael Giannelli ("**Owner**") is the owner of that certain real property commonly known as 1510 Willow Street, Lake Forest, Illinois and legally described in **Exhibit A**, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the R-1, Single Family Residence Zoning District; and

WHEREAS, the Owner desires to expand the existing driveway within the front and side yard setbacks ("**Improvements**") as depicted on the site plan attached hereto as **Exhibit B** ("**Plan**"); and

WHEREAS, the Owner submitted an application ("**Application**") requesting approval of a variance from Section 159.085, R-1, Single Family Residence District, of the City of Lake Forest Code to allow construction of the Improvements within the front and side yard setback areas; and

WHEREAS, pursuant to notice duly published, the ZBA reviewed and evaluated the Plans at a public hearing held on April 28, 2025; and

WHEREAS, the ZBA, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. The variances will not alter the essential character of the neighborhood. Similar conditions are found on nearby properties. The neighborhood is comprised of narrow lots with relatively short driveways and front facing garages. Parked vehicles in front of homes are common.
2. The conditions upon which the variances are requested are generally unique to this neighborhood and to this property and are not generally applicable to other properties in the same zoning district throughout the City. The house is sited within the front and side yard setbacks, in compliance with the setbacks in effect at the time of construction, limiting the available area to accommodate today's vehicles.
3. The hardship in conforming to the required setbacks is a result of a change in the setback requirements since the original construction.
4. The variances and the resulting driveway modifications will not impair light or ventilation to adjacent properties, increase congestion, endanger public

safety, or diminish property values. Drainage can be accommodated in the three foot space between the expanded driveway and the property line.

and recommended that the City Council approve the variances subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property and the findings and recommendations of the ZBA, have determined that it is in the best interests of the City and its residents to grant approval of the requested variances subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 159.042 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Zoning Setback Variances Granted. Based on the findings presented above, the City Council does hereby grant approval of the requested variance to allow expansion of the driveway to a maximum of 17 feet and no closer than three (3) feet to the side (north) property line as depicted on the proposed site plan.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly

applied for, paid for, and granted in accordance with applicable law.

- B. Compliance with Laws. Chapters, 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Staging, Parking and Storage. Prior to the issuance of building permits, a plan for staging and storage of construction and a plan for parking construction vehicles shall be submitted and will be subject to City review and approval.
- E. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans as presented.
- F. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if the Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as **Exhibit C** and by this reference made a part hereof, to

accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

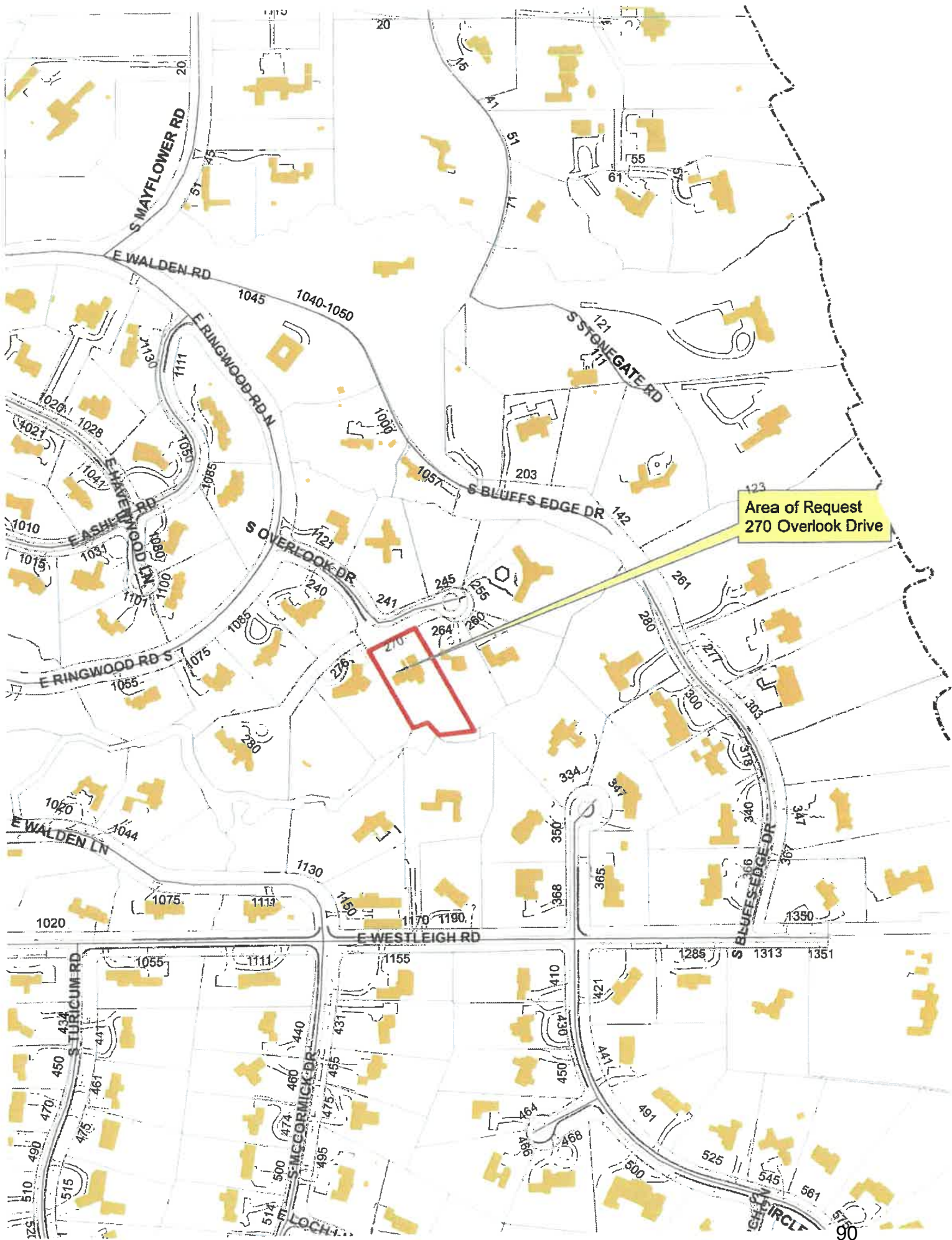
ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

Mayor

ATTEST:

City Clerk



Area of Request
270 Overlook Drive

THE CITY OF LAKE FOREST
ORDINANCE NO. 2023-___

**AN ORDINANCE GRANTING A STEEP SLOPE VARIANCE FOR
PROPERTY LOCATED AT 270 OVERLOOK DRIVE**

WHEREAS, Brian and Veronica DeNicolo ("**Owners**") are the owners of that certain real property commonly known as 270 Overlook Drive, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is in the R-3, Single Family Residence Zoning District; and

WHEREAS, the Owners desire to construct improvements, an addition ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owners submitted an application ("**Application**") requesting approval of a variance from Section 159.015, Steep Slopes of the City of Lake Forest Code to allow construction of the Improvements within the steep slope setback area; and

WHEREAS, pursuant to notice duly published, the ZBA reviewed and evaluated the Plans at a public hearing held on April 28, 2025; and

WHEREAS, the ZBA, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. The proposed basement addition will not alter the essential character of the neighborhood. The addition, except for the proposed skylights, will extend no more than 3.5 feet above grade and the visual impact of the addition is mitigated by vegetative screening. The addition will have a green roof.
2. The conditions upon which the steep slope setback variance is requested are generally unique to this neighborhood and this specific property. These conditions include the site's geography, the original siting of the house in proximity to a ravine, and the fact that the addition is proposed on the street side of the house, away from the ravine. These conditions are not commonly applicable to other properties in the same zoning district throughout the City.

3. The hardship which necessitates a steep slope variance is the siting of the home near the ravine, prior to the adoption of the steep slope setback regulations.
4. No evidence has been submitted that indicates the steep slope setback variance if approved, will increase congestion, endanger public safety, or diminish property values in the neighborhood.

and recommended that the City Council approve the variance subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owners' Application to construct the Improvements on the Property, and the findings and recommendations of the ZBA, have determined that it is in the best interests of the City and its residents to grant approval of the requested variance subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 159.042 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Steep Slope Setback Variance Granted. Based on the findings presented above, the City Council does hereby grant approval of the requested steep slope setback variance to allow construction of the Improvements no further than 16.5 into the steep slope setback, as depicted on the Plans.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this

Ordinance except only after all permits, approvals, and other authorizations for such work have been properly applied for, paid for, and granted in accordance with applicable law.

- B. Compliance with Laws. Chapters 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owners will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Approval by City Engineer. Prior to the issuance of a building permit, detailed plans, prepared and stamped by a licensed structural engineer and all supporting documentation shall be submitted to the City and shall be subject to review and approval by the City Engineer. The plans shall reflect all measures determined to be necessary by the City Engineer to preserve, protect and stabilize the ravine including but not limited to a retaining wall/soil retention system at the top of the slope and any work determined to be necessary at the toe of the slope.
- E. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans.
- F. Landscape Plan. A detailed final landscape plan, including existing vegetation and any proposed vegetation, which will screen the addition and mitigate the light spillover from the propose skylights, shall be submitted to the City and will be subject to review and approval by the City's Certified Arborist prior to the issuance of any permits authorizing work on the site.
- G. Fees and Costs. The Owners shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owners shall reimburse the City for all of its costs (including without limitation engineering, planning, and

legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the discretion of the City Council, be of no force or effect if Owners have not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit C and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

PASSED THIS __ DAY OF _____, 2025.

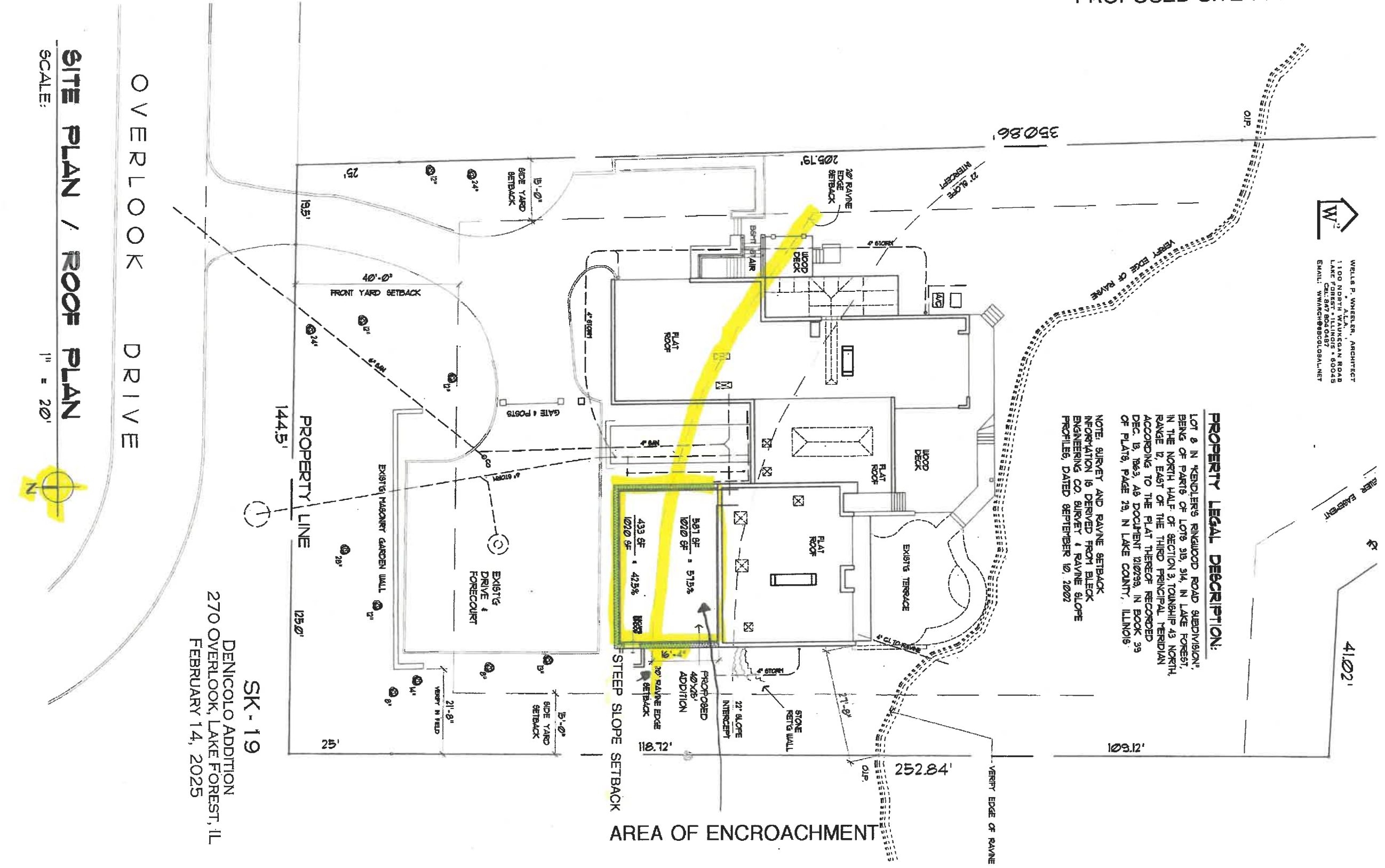
Mayor

ATTEST:

City Clerk

The Plans

PROPOSED SITE PLAN



WELLS P. WINKLER, ARCHITECT
 1100 NORTH VAUGHAN ROAD
 LAKE FOREST, ILLINOIS 60045
 TEL: 847.234.1100
 EMAIL: WWINKER@BCCGLOBAL.NET

PROPERTY LEGAL DESCRIPTION:

LOT 6 IN 'KENDLER'S RINGWOOD ROAD SUBDIVISION', BEING OF PARTS OF LOTS 33, 34, IN LAKE FOREST, IN THE NORTH HALF OF SECTION 3, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED DEC. 19, 1963, AS DOCUMENT 210229, IN BOOK 39 OF PLATS, PAGE 29, IN LAKE COUNTY, ILLINOIS

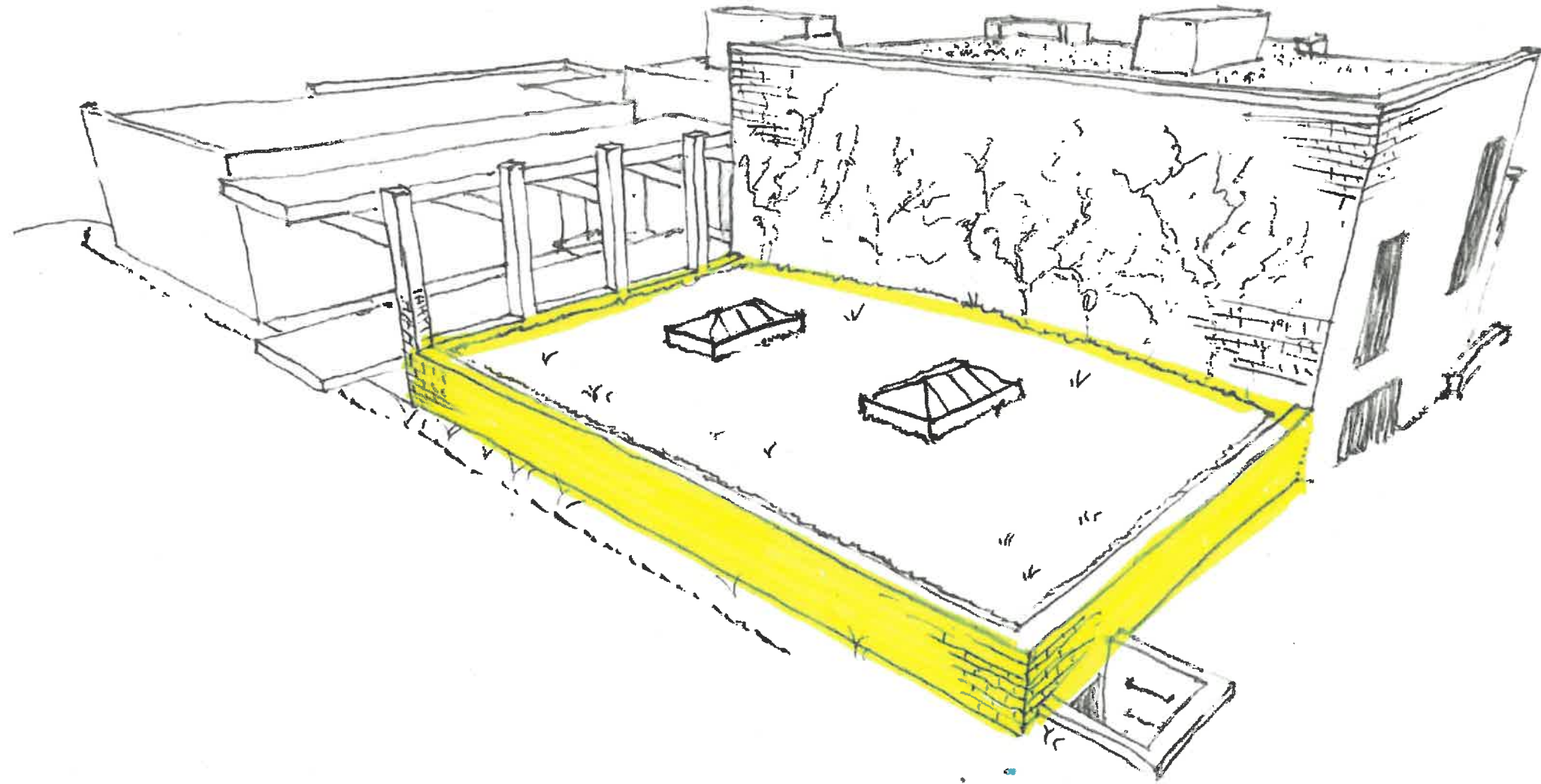
NOTE: SURVEY AND RAVINE SETBACK INFORMATION IS DERIVED FROM BLECK ENGINEERING CO. SURVEY & RAVINE SLOPE PROFILES, DATED SEPTEMBER 10, 2002

SK-19
 DENICOLA ADDITION
 270 OVERLOOK, LAKE FOREST, IL
 FEBRUARY 14, 2025

SITE PLAN / ROOF PLAN
 SCALE: 1" = 20'



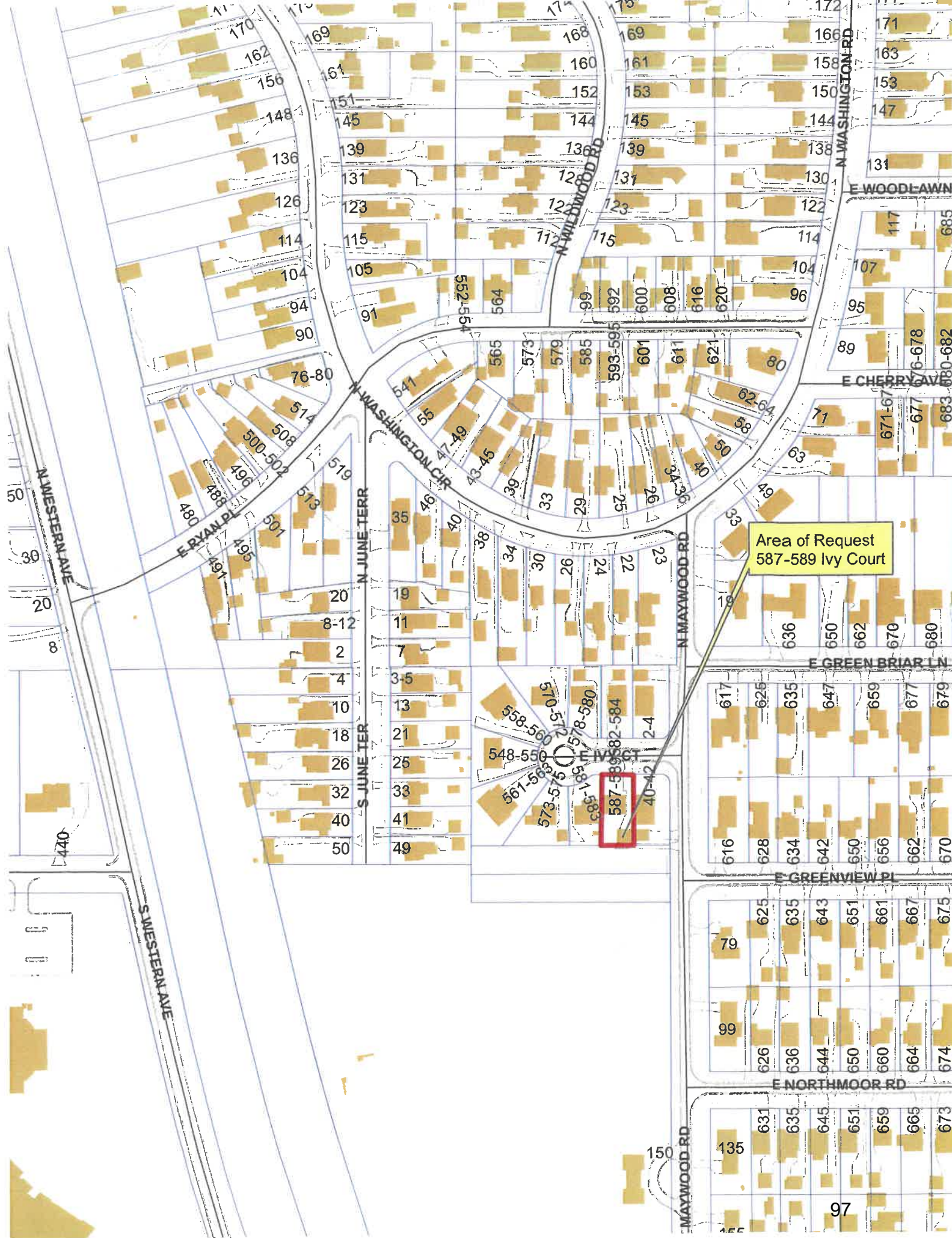
PROPOSED CONCEPTUAL DRAWING - NORTHWEST PERSPECTIVE



SK - 22
DENICOLO ADDITION
270 OVERLOOK, LAKE FOREST, IL
FEBRUARY 14, 2025



WELLS P. WHEELER, ARCHITECT
A.L.A.
1100 NORTH WAUKEGAN ROAD
LAKE FOREST • ILLINOIS • 60045
CEL: 847 804 0487
EMAIL: WWARCH@SBCGLOBAL.NET



Area of Request
587-589 Ivy Court

587-589

THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-___

AN ORDINANCE GRANTING VARIANCES FROM THE SIDE AND REAR YARD
ACCESSORY STRUCTURE SETBACKS FOR PROPERTY LOCATED AT 587-589 IVY
COURT

WHEREAS, McIlvaine Enterprises, Inc. (Bruce McIlvaine) ("**Owner**") is the owner of that certain real property commonly known as 587-589 Ivy Court, Lake Forest, Illinois and legally described in Exhibit A, attached hereto ("**Property**"); and

WHEREAS, the Property is located in the GR-3, General Residence Zoning District; and

WHEREAS, the Owner desires to construct improvements, including a replacement detached garage ("**Improvements**") as depicted on the site plan and architectural drawings that are attached hereto as Group Exhibit B ("**Plans**"); and

WHEREAS, the Owner submitted an application ("**Application**") requesting approval of variances from Section 159.087, GR-3, General Residence District, of the City of Lake Forest Code to allow construction of the Improvements within the side and rear yard accessory structure setbacks; and

WHEREAS, pursuant to notice duly published, the ZBA reviewed and evaluated the Plans at a public hearing held on April 28, 2025; and

WHEREAS, the ZBA, having fully heard and having considered the evidence and testimony by all those attending the public hearing who wished to testify, made the following findings:

1. The variances will not alter the essential character of the subject property, the surrounding area, or the larger neighborhood in which the property is located. The garage will be replaced in the same location in which it has existed for over 50 years.
2. The conditions upon which the variances are requested are unique to the property and the existing character of the neighborhood and are not universally applicable to other properties in the same zoning district in other areas of the community.
3. The difficulty or hardship in conforming with the setback requirements has not been created by any person presently or formerly having an interest in the property as the existing garage was in conformance with the applicable Code at the time of construction.

4. The variances will not impair light or ventilation to adjacent properties, increase congestion, endanger public safety, or substantially diminish property values. The proposed garage will replace a deteriorating structure and will be an improvement to the neighborhood.

and recommended that the City Council approve the variances subject to the terms and conditions hereinafter set forth; and

WHEREAS, the Mayor and City Council, having considered Owner's Application to construct the Improvements on the Property, and the findings and recommendations of the ZBA, have determined that it is in the best interests of the City and its residents to grant approval of the requested variances subject to the terms and conditions hereinafter set forth;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LAKE FOREST, COUNTY OF LAKE, STATE OF ILLINOIS, as follows:

SECTION ONE: Recitals. The foregoing recitals are hereby incorporated into and made a part of this Ordinance as if fully set forth.

SECTION TWO: Approval of Application. Pursuant to Section 159.042 of the City Code, and subject to the limitations therein and the conditions set forth in Section Four of this Ordinance, the City Council does hereby grant approval of the Application to allow the construction of the Improvements on the Property, as more fully depicted on the Plans.

SECTION THREE: Zoning Setback Variance Granted. Based on the findings presented above, the City Council does hereby grant approval of the requested variances to allow the construction of the Improvements as fully depicted on the Plans; no closer than two feet to the east (side yard) property line and two feet to the south (rear) property line.

SECTION FOUR: Conditions on Approval. The approval granted pursuant to Sections Two and Three of this Ordinance shall be, and is hereby, conditioned upon and limited by the following conditions, the violation of any of which shall, in the discretion of the Mayor and City Council, render void the approvals granted by this Ordinance:

- A. No Authorization of Work. This Ordinance does not authorize commencement of any work on the Property. Except as otherwise specifically provided in writing in advance by the City, no work of any kind shall be commenced on the Property pursuant to the approvals granted in this Ordinance except only after all permits, approvals, and other authorizations for such work have been properly

applied for, paid for, and granted in accordance with applicable law.

- B. Compliance with Laws. Chapters, 150, regarding building and construction, 156, regarding subdivisions, and 159, regarding zoning, of the City Code, and all other applicable ordinances and regulations of the City shall continue to apply to the Property, and the development and use of the Property shall be in compliance with all laws and regulations of all other federal, state, and local governments and agencies having jurisdiction.
- C. Tree Preservation. The Owner will fully comply with Chapter 99 of the City Code, regarding trees, as it relates to the construction of the Improvements.
- D. Staging, Parking and Storage. Prior to the issuance of building permits, a plan for staging and storage of construction and demolition materials and a plan for parking construction vehicles shall be submitted and will be subject to City review and approval.
- E. Compliance with the Plans. The Improvements must be developed on the Property in substantial compliance with the Plans which detail the porch as an open, rather than an enclosed, element.
- F. Fees and Costs. The Owner shall be responsible for paying all applicable fees relating to the granting of the approvals set forth herein in accordance with the City Code. In addition, the Owner shall reimburse the City for all of its costs (including without limitation engineering, planning, and legal expenses) incurred in connection with the review, consideration, approval, implementation, or successful enforcement of this Ordinance. Any amount not paid within 30 days after delivery of a demand in writing for such payment shall, along with interest and the costs of collection, become a lien upon the Property, and the City shall have the right to foreclose such lien in the name of the City as in the case of foreclosure of liens against real estate.
- G. Other conditions. The improvements shall be substantially in conformance with the Board's deliberations.

SECTION FIVE: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law; provided, however, that this Ordinance shall, in the

discretion of the City Council, be of no force or effect if the Owner has not (i) executed and (ii) thereafter filed with the City Clerk, within 90 days following the passage of this Ordinance, the unconditional agreement and consent, in the form attached hereto as Exhibit C and by this reference made a part hereof, to accept and abide by each and all of the terms, conditions, and limitations set forth herein. The City Clerk is hereby directed to record this Ordinance and such agreement and consent with the Recorder of Deeds of Lake County.

PASSED THIS __ DAY OF _____, 2025.

AYES: ()

NAYS: ()

ABSENT: ()

ABSTAIN: ()

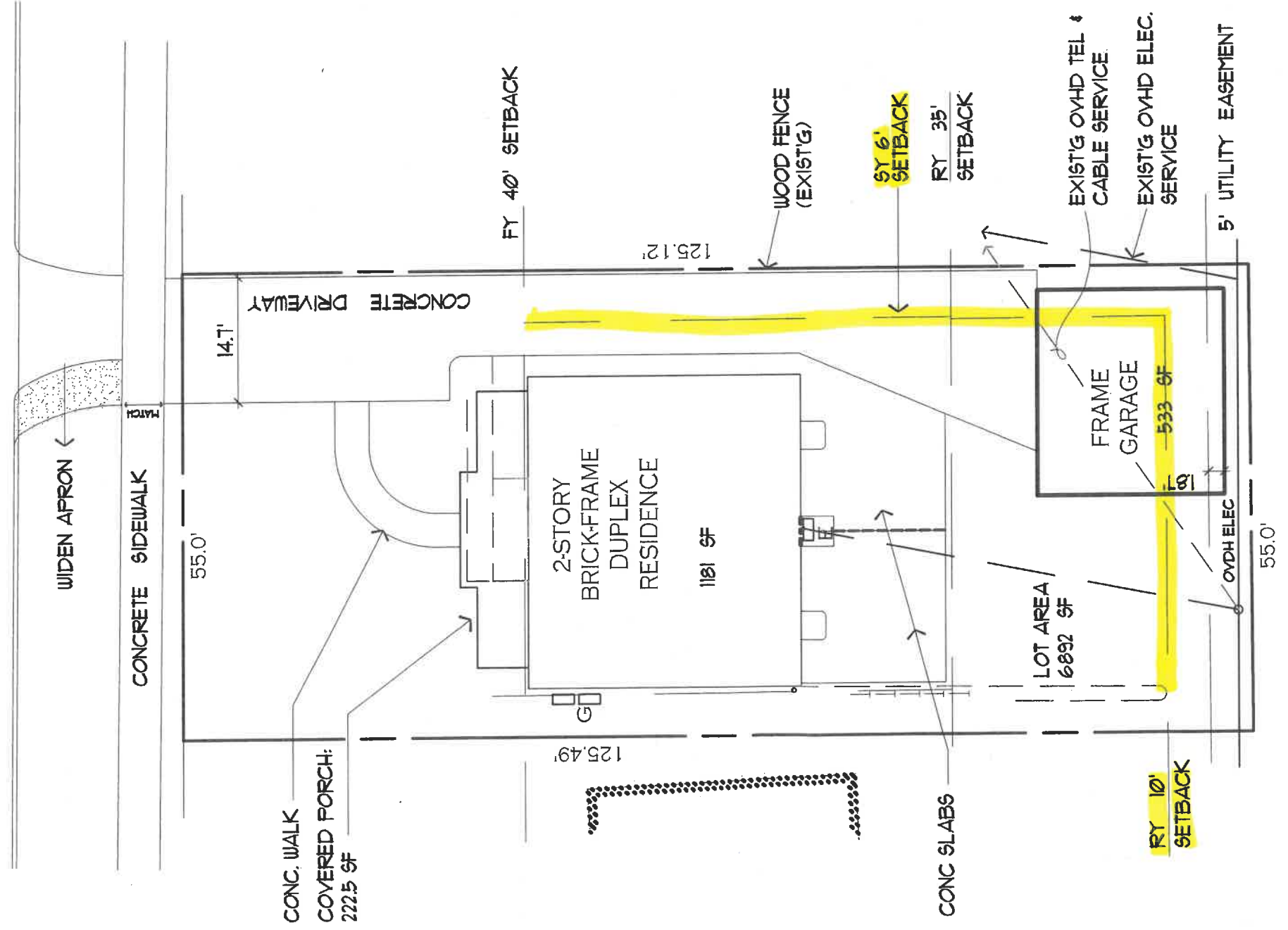
PASSED THIS __ DAY OF _____, 2025.

Mayor

ATTEST:

City Clerk

IVY COURT



ZONING DISTRICT: GR-3
 FY: 40'
 SY: 6'
 RY: 35'

ACCESSORY:
 FY 40'
 SY 6'
 RY 10'

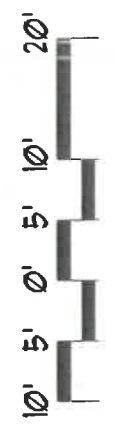
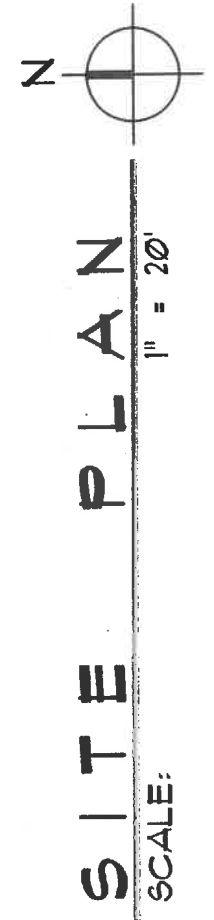
LOT SIZE: 6892 SF
 FOOTPRINT: 1181 SF

1st FLOOR: 1135 SF
 2nd FLOOR: 1135 SF
 GARAGE: 533 SF
 PORCH ADD'N: 179 SF

REVISED IMPERVIOUS: 3866 SF

LEGAL DESCRIPTION

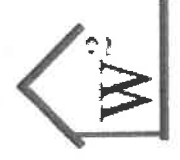
Lot 10 in Wolfe and Dahmer Subdivision, being a Resubdivision of Lots 1 to 4, inclusive, of Schneider and Nahin's Second Addition to Northmoor Terrace, in part of the Northeast Quarter of Section 4, Township 43 North, Range 12, East of the Third Principal Meridian, according to the Plat of said Wolfe and Dahmer Subdivision, recorded June 1, 1959 as Document 1032104, in Book 34 of Plats, Page 117, in Lake County, Illinois.



SK - 02

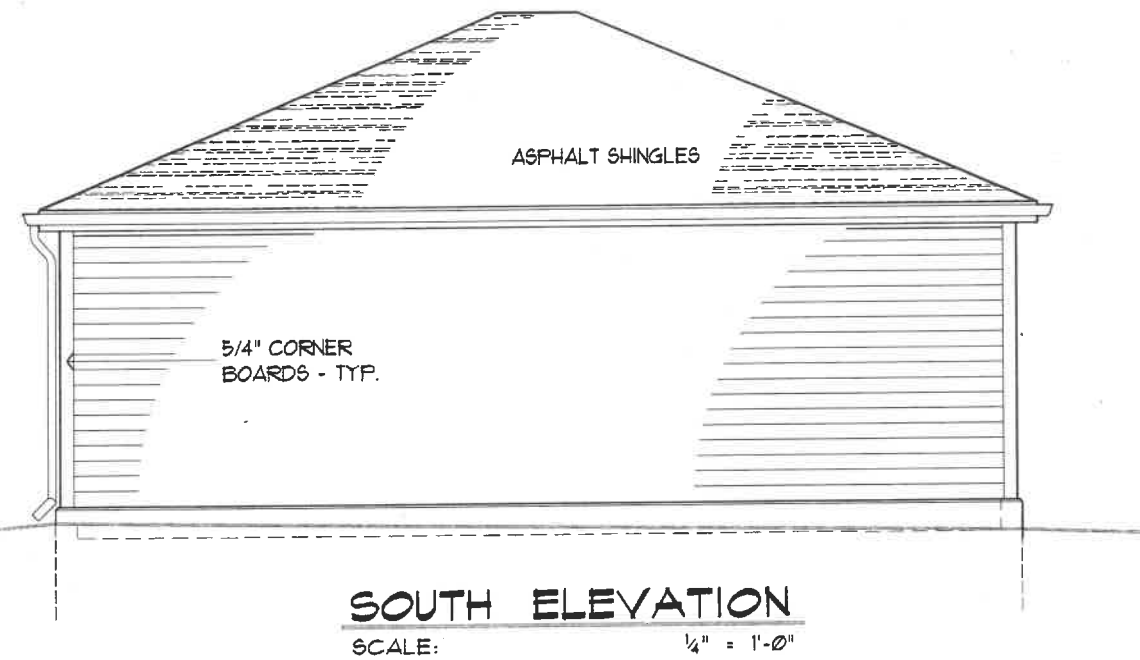
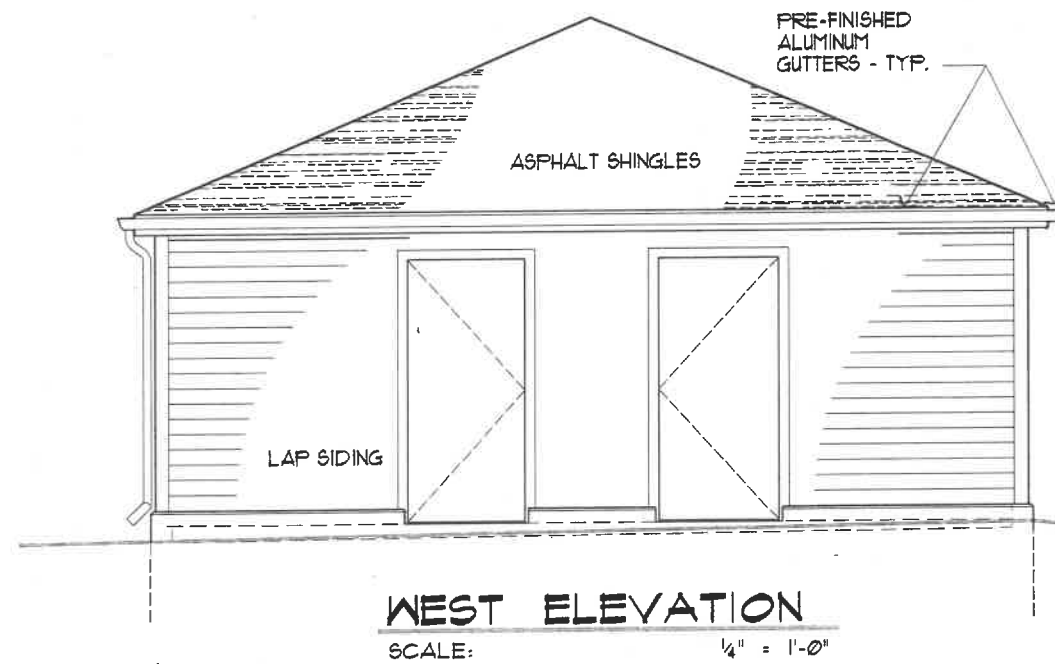
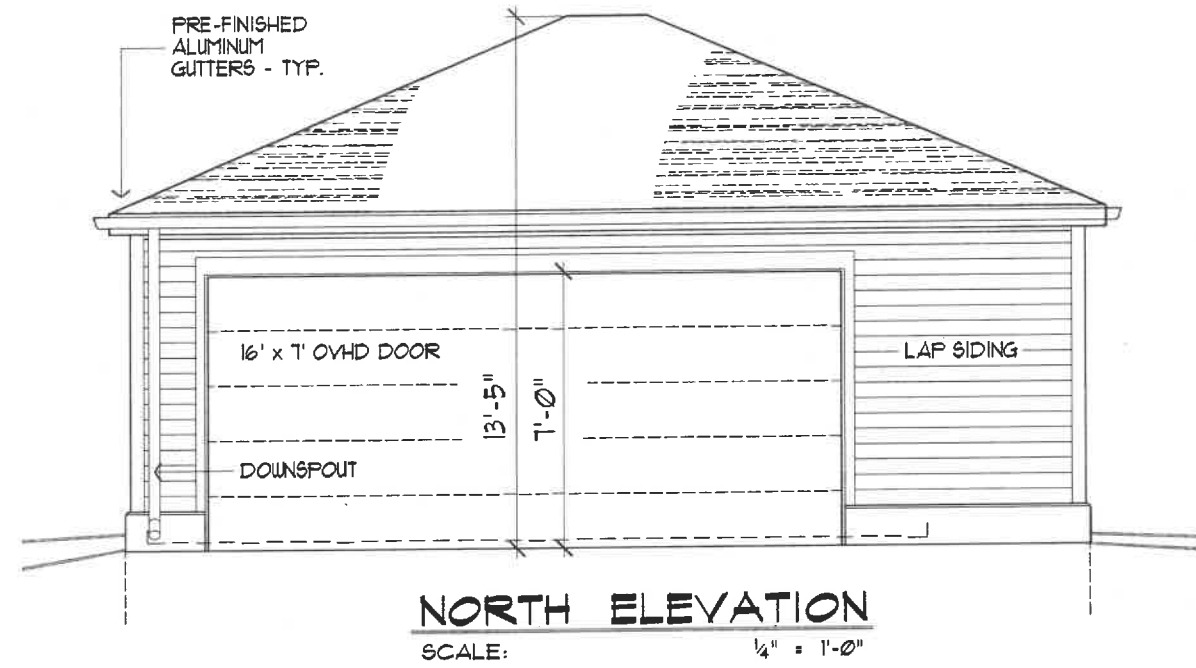
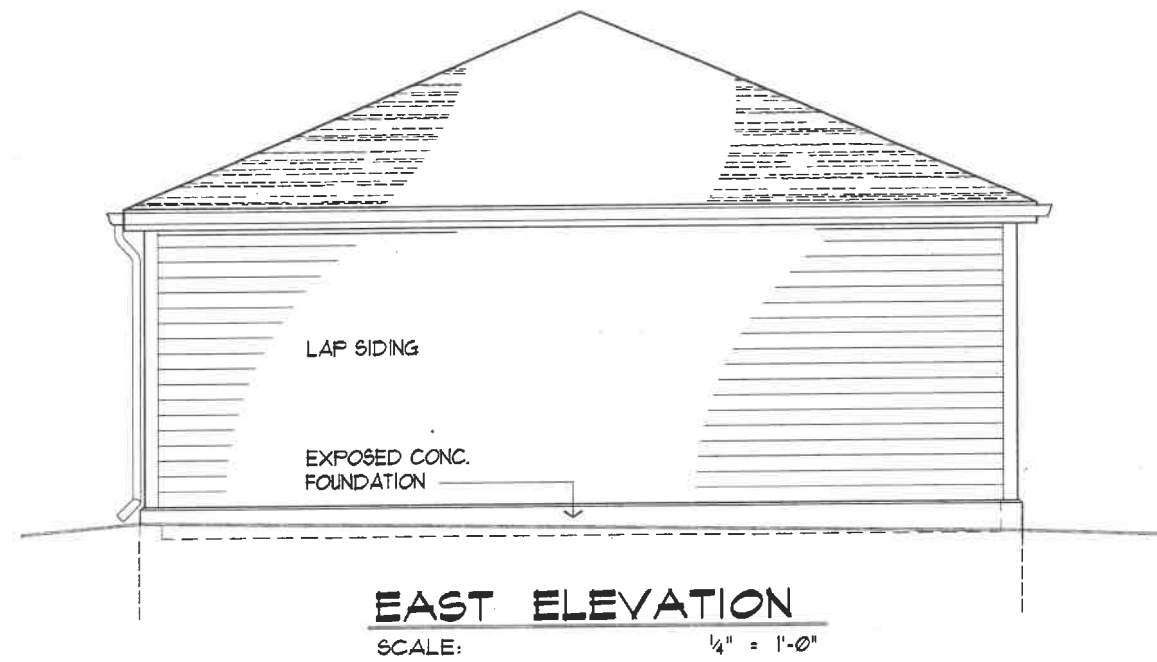
MCILVAINE DUPLEX
 PRELIMINARY GARAGE PROPOSAL
 587-589 IVY COURT
 LAKE FOREST ILLINOIS 60045

MARCH 5, 2025



WELLS P. WHEELER, ARCHITECT
 A.L.A.
 1100 NORTH WAUKEGAN ROAD
 LAKE FOREST, ILLINOIS 60045
 CELL: 847 804 0487
 EMAIL: WWARCH@SBCGLOBAL.NET

The Plans



MCILVAINE DUPLEX
587-589 IVY COURT
LAKE FOREST ILLINOIS 60045

SK - 05
PRELIMINARY GARAGE PROPOSAL
MARCH 5, 2025



WELLS P. WHEELER, ARCHITECT
• A.L.A. •
1100 NORTH WAUKEGAN ROAD
LAKE FOREST • ILLINOIS • 60045
CEL: 847.804.0487
EMAIL: WWARCH@SBCGLOBAL.NET

THE CITY OF LAKE FOREST

ORDINANCE NO. 2025-____

**AN ORDINANCE AMENDING THE LAKE FOREST CITY CODE
REGARDING LIQUOR SERVICE REGULATIONS**

Adopted by the City Council
of the City of Lake Forest
this ____ day of _____ 2025

Published in pamphlet form by direction
and authority of The City of Lake Forest
Lake County, Illinois
this ____ day of _____ 2025

THE CITY OF LAKE FOREST
ORDINANCE NO. 2025 - _____

**AN ORDINANCE AMENDING THE LAKE FOREST CITY CODE
REGARDING LIQUOR SERVICE REGULATIONS**

WHEREAS, the City of Lake Forest is a home rule, special charter municipal corporation;
and

WHEREAS, the City has adopted certain alcoholic beverage regulations designed to protect the health, safety and welfare, which regulations are codified in Chapter 111 of the City Code of Lake Forest, 2013 ("**Liquor Code**"); and

WHEREAS, the Illinois Liquor Control Act of 1934 permits municipalities to regulate the presence of persons under 21 years of age at licensed retail establishments where alcoholic liquor is served, to regulate the drawing, pouring, or mixing any alcoholic liquors or tending bar by minors in any licensed retail premises, and to enact further regulations on the issuance and operations under local licenses not inconsistent with law as the public good and convenience may require (235 ILCS 5/4-1); and

WHEREAS, the City desires to clarify the Liquor Code relating to the regulations for the serving of alcohol by employees of licensed establishments aged eighteen (18) years or older but younger than twenty-one (21) years of age, as set forth in this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of The City of Lake Forest, County of Lake, and State of Illinois, as follows:

SECTION ONE: Recitals. The foregoing recitals are incorporated as the findings of the City Council and are hereby incorporated into and made a part of this Ordinance.

SECTION TWO: Amendment to Section 111.076. Subsection (D), entitled "Handling Prohibited," of Section 111.076 of the City Code, entitled "Prohibitions Regarding Minors," is amended as follows (additions shown in **bold and underline text**, deletions shown in ~~strikethrough text~~):

** * *

(D) ~~Handling prohibited.~~ It shall be unlawful for a person to tend any bar in a licensed premises when such person is prohibited by law or ordinance from purchasing, accepting, having in possession or consuming alcoholic liquors. **Sale and Service by Minors.**

(1) **It shall be unlawful for any licensee to allow a person under the age of 21 years to tend any bar, or to sell, draw, pour, or mix any alcoholic liquor.**

(2) **Employees of a licensee that allows for on-premises consumption that are least 18 years of age may serve and deliver alcoholic liquor that has been opened, prepared, or mixed by an employee of the licensee who is at least 21 years of age or older.**

* * *

SECTION THREE: Effective Date. This Ordinance shall be in full force and effect upon its passage, approval, and publication in pamphlet form in the manner provided by law.

SECTION FOUR: REPEAL OF CONFLICTING PROVISIONS. All ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance, are to the extent of the conflict, expressly repealed on the effective date of this Ordinance.

Passed this ____ day of _____, 2025.

AYES:

NAYS:

ABSENT:

ABSTAIN:

Approved this __ day of _____, 2025.

Mayor

ATTEST:

City Clerk