

Agenda Item 3
780 Greenview Place
Limited Demolition
Family Room & Master Bedroom Addition

Staff Report
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Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey – Existing Conditions & Proposed Addition
Site Plan - Proposed
Existing Conditions - Photos
Elevations – Proposed
Roof Plan
Section – Proposed
Floor Plans – Proposed
Tree Survey
Conceptual Landscape Plan

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

780 Greenview Place

Consideration of a request for approval of a limited demolition of portions of the residence to allow a rear, two story addition, an at grade patio, and additional landscaping in the affected area.

Property Owners: William and Rae Lynn Gruetzmacher
Project Representative: Tom Dobbins, Architect

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for approval of a two story rear addition to accommodate a larger family room, master bedroom, and a mudroom. Minor alterations are proposed on the front façade. The addition of hardscape in the rear yard is proposed and a conceptual landscape plan for the impacted areas is presented.

Description of Property

The subject property is located on the north side of Greenview Place and is the first home north of Wooded Lane. The subject property is zoned R-1. Lots throughout the neighborhood are generally similar in size. Homes are modest, with detached garages, located mostly in the rear yards.

1. The residence was constructed in 1947, and the detached rear garage was constructed in 1953. Based on available City records, a rear porch was constructed and enclosed in the 1950's, and a fence installed in 1973. In 2018, a sitting room was converted to a master bathroom and closet, the kitchen remodeled, exterior doors replaced, a new roof installed, and the driveway repaved.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

Changes to the footprint of the residence are reflected in the plans with a two story rear addition to accommodate a larger family room, master bedroom, and mudroom. A covered rear porch and an at grade patio are also proposed.

The proposed modifications to the front of the home are cosmetic in nature with an upgrade to the front eave, and new posts and railings to the existing covered entry. The brick façade of the home will be painted and the roof replaced.

The modifications to the rear require the demolition of the existing two story addition. The footprint of the proposed addition will cover the demolished footprint and expand the home to the north and east. The existing home includes a chimney and a bay window along the east elevation before the proposed addition steps out roughly 2 feet 6 inches beyond the existing residence. At the point of furthest extent, the eave or edge of the gutter, the proposed addition will be nearly 11 feet from the east property line and compliant with the interior side yard setback requirements. The property directly to the east is a reversed corner lot that fronts Wooded Place with the rear yard of the property adjacent to the east side yard of the subject property. The proposed two story addition will present a significant mass adjacent to the private area, the rear yard, of the neighboring home.

A rear covered porch will provide access to the proposed mudroom at the northwest corner of the addition. The existing rear patio will be demolished and a new at grade patio will expand out from the existing location to the adjacent driveway to the west. No changes are proposed to the driveway or garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,560 square feet is permitted on the property. In addition, a garage of up to 576 square feet is permitted along with up to 256 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The existing residence totals 1,475 square feet and complies with the allowable square footage.
- The existing home has a total of 106 square feet of design elements of the permitted 256 square feet.
- The petitioner proposes a rear covered porch of 35 square feet and a rear bay window of 11 square feet. The additional 46 square feet of new design elements is added to the existing for a total 152 square feet, less than the permitted design element bonus. The design elements are not included in the square footage total for the residence.
- First-floor additions of 321 square feet and second-floor additions of 509 square feet are proposed. The total square footage proposed (830 square feet) is more than half of the square footage of the existing residence.
- In conclusion, with the proposed additions, the house will total 2,112 square feet. The total square footage is 18% or 448 square feet below the maximum square footage permitted on a lot of this size.

The height of the addition is 25'-6" and remains slightly below the height of the main mass of the existing house (26').

Elevations – This standard is met.

The proposed additions are consistent with the character, style, detailing and materials of the existing residence.

The two story rear addition will project 2 feet 6 inches from the home and extend 30 feet along the side (east) elevation. The length of the proposed addition as it extends to the rear will more than double the length of the existing home. The addition will be 2 feet longer than the length of the existing home. The stepping out (and in) of the east wall helps to break up the massing. The wall closest to the east property line features a horizontal detail which distinguishes it from the other stepped in walls of the addition. This stylistic detail visually helps to break up the appearance of mass. The design is in keeping with the architecture of the home.

A second story bay window is located above the first floor set of windows on the portion stepped out furthest into the rear (north) yard and is supported by wood brackets. The house steps in with a single double hung window located above the covered porch which features a singular column at the corner and provides access to the mudroom. The existing home steps in further to allow for the reconfigured at grade patio.

The side (west) elevation features a set of double doors on the first floor to provide access to the rear patio. There is a balance of solid wall to window openings on all three elevations. The windows are evenly placed. While the four windows on the second floor of the east elevation are of a different size than windows found elsewhere on the home, the location of the wall in relation to the neighboring property and residence, supports this deviation in window sizing.

Overall, the design appears generally consistent with the City's Design Guidelines however, the significant increase in mass and length of the house will change the relationship of the residence to the neighboring property.

Type, color, and texture of materials – This standard is met.

The exterior materials proposed on the additions appear generally consistent with those on the existing residence.

The primary siding material on the additions is noted as white wood clapboard siding. Painted wood shingles on the second floor, with a painted wood crown separating the first floor horizontal lap siding are featured on the furthest stepped out portion of the east elevation. The stepped in portions of the east elevation addition feature horizontal lap siding. The use of wood shingles and the wood crown on the portion stepped furthest out help to break up the

massing along the east elevation. The petitioner should identify the color paint for the shingles and wood crown.

The existing brick façade is to be painted. The petitioner should specify the color paint to be used for the brick. Fiberglass clad wood double hung casement windows in white are proposed with simulated divided lites, featuring muntins affixed to the inside and outside of the glass. The trim and fascia, soffits, and rakeboards will all be wood. The roof will be architectural asphalt shingles. The gutters will be aluminum. The hardscape patio in the rear of the home will be comprised of flagstone. The conceptual landscape plan shows brick pavers in the covered porch area and outside the double doors on the west elevation. The proposed materials are consistent with the existing materials and style of the home.

Staff Comment: Material samples of all exterior materials and a complete color palette should be presented at the Board meeting.

Landscaping and Hardscape - This standard is partially met.

A tree survey and a conceptual landscape plan, with limited detail, are included in the Board's packet.

The petitioner states the intention to preserve a 25 inch White Oak tree located 10 feet from the proposed addition along with two American Elms on the east side of the home. The City's Certified Arborist visited the property and concurred with the tree survey assessment of the condition of the three trees. However, the City's Arborist is concerned about the long term viability of the White Oak and the 16" American Elm tree located furthest north due to unavoidable impacts from construction. An escrow payment will be required at time of permit to cover replacement of the trees should the trees experience decline within three years after construction concludes. To support the trees during construction, a plan, prepared by a Certified Arborist, for pre and post construction treatment of the trees will be required at the time of submittal for permit and will be subject to review and approval by the City's Certified Arborist. Protective fencing will also be required on the site to minimize activity around the trees to the extent possible.

Other vegetation runs along the east property line and may be affected. Additional year round screening in the areas affected by the construction will be required at the time of submittal for permit.

The conceptual landscape plans identifies foundation plantings on the east side of the addition and around the proposed patio on the north façade. Foundation plantings are also required where the addition steps furthest out to the rear. The final landscape plan should detail foundation plantings at the base of all areas of the addition, including the north

façade. Three boxwoods are shown in the area closest to the existing HVAC equipment along the east property line. Plantings should be reflected on the final landscape plan to screen the HVAC equipment. Adjustments to the landscape plan may be required after the addition begins to take shape. The limited space and light will dictate the type and amount of plantings that will be possible to help soften the impact of the addition on the neighboring property.

The final landscape plan will be subject to staff review and approval prior to the issuance of permits.

Staff Recommendation: An escrow deposit will be required at time of permit for double inch-for-inch replacement of the White Oak (25") and American Elm (16") trees should they experience decline within three years after the end of construction.

Staff Recommendation: Submit a plan, prepared by a Certified Arborist, for pre and post construction treatment of the trees.

Staff Recommendation: A detailed landscape plan, submitted with the building permit application and plans, will be subject to review and approval by City staff. The plan should identify the location of tree protection fencing, include foundation plantings along all areas of the proposed addition, and east property line to soften the impact of the length and height of the addition on the neighboring home, and provide for screening of the HVAC equipment.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. The petitioner included with their application materials three letters of support from neighbors immediately adjacent to the residence. Those letters are included with the staff report packet materials.

Recommendation

Recommend approval of the limited demolition and construction of a rear addition and at-grade patio along with the associated hardscape. The landscape plan is addressed in the conditions of approval. The recommendation is subject to the following conditions of approval

1. All modifications to the plans including those made in response to Board direction or discussion and those made as the result of final design development shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in

consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval.

2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction to protect vegetation intended to remain on the subject property, and on adjacent properties.
- b. An escrow deposit will be required at time of permit for double inch-for-inch replacement of the White Oak (25") and American Elm (16") trees should they experience decline within three years after the end of construction.
- c. A plan prepared by a Certified Arborist shall be submitted for pre and post construction treatment of the trees.
- d. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around all areas of the proposed addition, identify year-round screening along the east property line of the addition, and provide for screening of the HVAC equipment. The landscape plan shall specify the quantity, species, and size of plant materials at the time of planting.

Drainage and Grading

- e. Detailed drainage and grading plans. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to the neighboring properties.

Exterior Lighting

- f. Details of all proposed exterior lighting on the residence and on the garage and all landscape lighting, if any, shall be included with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging and Tree Protection

- g. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

3. Submit as-built drawings prior to rough inspections to verify that the building height and setback conforms to the approved plans as measured by the lowest adjacent grade to the tallest peak of the roof, and by the furthest extent of the structure (i.e., gutter/eave).

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 780 Greenview Place Owner(s) William & Rae Lynn Gruetzmacher
 Architect Tom Dobbins Reviewed by: S. Thomas
 Date 8.6.2026
 Lot Area 9000 sq. ft. Allowable Square Feet 2560

Square Footage of Residence -- Existing

1st floor 1038 + 2nd floor 437 + 3rd floor = 1475 sq. ft.

Design Element Allowance = 256 sq. ft.

Total Actual Design Elements = 106 sq. ft. Excess = 0 sq. ft.

Garage 544 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 24 ft. *may not exceed 24' in width on lots
18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 1475 sq. ft.
 (minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = -1085 sq. ft.
Under Maximum

Square Footage of House and Proposed Addition:

1st floor 321 + 2nd floor 509 + 3rd floor 0 = 830 sq. ft.

Area Demolished 193 Less = 193 sq. ft.

New Garage 0 sq. ft. Excess = 0 sq. ft.

New Design Elements 46 sq. ft. Excess = 0 sq. ft.

TOTAL SQUARE FOOTAGE = 2112 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 2560 sq. ft.

DIFFERENTIAL = 448 sq. ft.
Under Maximum

NET RESULT:

448 sq. ft. is

Allowable Height: 30 ft. Actual Height 26 ft.

18% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 256 sq. ft.

Open Porches = 0 sq. ft.

Screen Porches = 0 sq. ft.

Covered Entries = 65 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

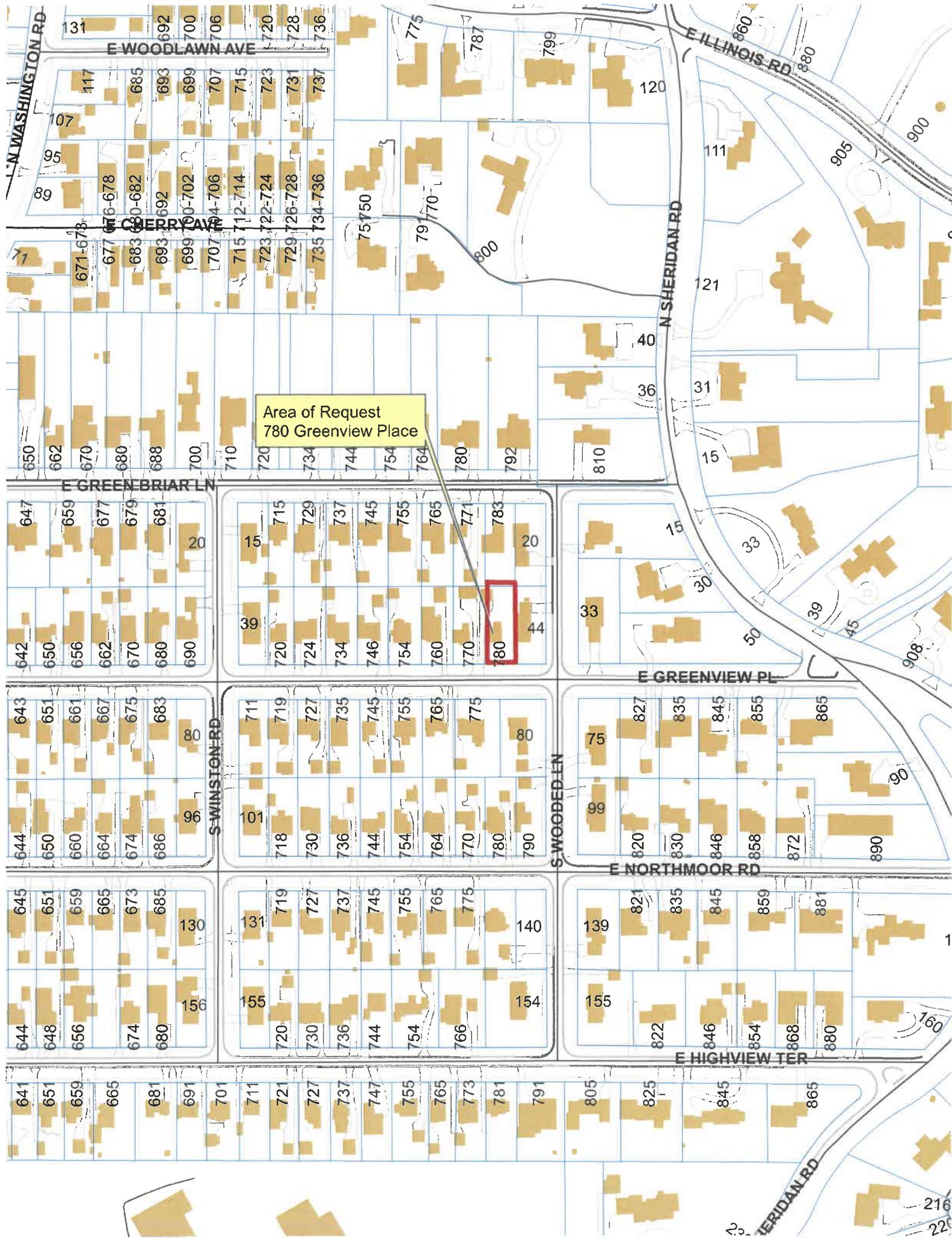
Pergolas = 0 sq. ft.

Individual Dormers = 64 sq. ft.

Bay Windows = 23 sq. ft.

Total Actual Design Elements = 152 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
780 Greenview Place

N WASHINGTON RD
131
117
107
95
89
71
E WOODLAWN AVE
685
693
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707
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731
737
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682
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702
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683-682
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707-706
715-712
723-722
729-726
735-734

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N SHERIDAN RD
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THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 780 GREENVIEW PLACE

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
☐ New Residence	☐ New Building
☐ New Accessory Building	☐ Addition/Alteration
☒ Addition/Alteration	☐ Height Variance
☐ Building Scale Variance	☐ Other
☐ Demolition Complete	☐ Landscape/Parking
☒ Demolition Partial	☐ Lighting
☐ Height Variance	☐ Signage or Awnings
☐ Other	

PROPERTY OWNER INFORMATION

William & Paelyn Gruetzmacher
Owner of Property

780 Greenview Place
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

847-710-3564
Phone Number

raesunderman@gmail.com
Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

TOM DOBBINS
Name and Title of Person Presenting Project

THE DOBBINS GROUP
Name of Firm

403 EVANSTON AVE
Street Address

LAKE BLUFF, IL 60044
City, State and Zip Code

847 456 7621
Phone Number

tdobbins@dobbinsgroup.com
Email Address

W. Thomas Dobbins II
Representative's Signature (Architect/Builder)



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- ☐ Stone
☐ Brick
☒ Wood Clapboard Siding
☐ Stucco – True Cement
☐ Wood Shingle
Individual or Panels? _____

- ☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Color of Material **WHITE**

Window Treatment

Primary Window Type

- ☒ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☒ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish **WHITE**

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other _____

Foundation Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other **CONCRETE**

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☒ Asphalt Shingles
 - ☐ Standard
 - ☒ Architectural Asphalt
- ☐ Metal
- ☐ Synthetic Product _____
- ☐ Manufacturer _____
- ☐ Other _____

Flashing Material

- ☐ Copper
- ☐ Sheet Metal
- ☐ Other _____

Skylights

- ☐ Proposed
- ☐ Existing
- ☐ None

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone/Gravel
- ☐ Other _____

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☒ Other **FLAGSTONE**

Garage Doors

- ☐ Solid
- ☐ Windows
- ☐ Material _____

NA

Accessory Structure

- ☐ Type _____
- ☐ Materials _____
- ☐ Color _____

Gruetzmacher Remodel/Addition

Project Description

Background

Will and Rae Gruetzmacher have lived in their current home in Lake Forest for 7 years and have a growing family of three children. They would like to upgrade their home on Greenview Place to add a Bedroom and Family Room. The current house has three (3) Bedrooms and a very small Family Room. The proposed design removes a low-quality addition that currently accommodates a small family room and primary bedroom bathroom. This existing addition is located entirely in the back of the house and is generally unattractive. The proposed addition engulfs the footprint of the existing addition and endeavors to save all nearby adjacent trees. The project is 100% compliant with all code and bulk requirements. Adjacent neighbors have submitted supportive letters.

Design Objective/Concept

The design objective is to create a fourth bedroom that functions as a master bedroom suite and create a modern-day market standard family room along with an upgraded patio. The concept is to accommodate the proposed improvements entirely in the back of the house while preserving existing trees and complying with required setbacks.

Scope of Work

Demolish existing two story addition in the back of the house leaving the foundation

Construct a new addition encompassing the old addition footprint adding a primary bedroom/bathroom meeting current market standards as well as a family room/mud room and upgraded patio

Modest interior remodeling to accommodate proposed addition

Upgrade the front eave to create an aesthetically better appearance

Modest cosmetic upgrades to the front porch

Paint existing house and addition white, including the brick

Re-roof entire house and addition

Relocate overhead electric service to underground

Preserve existing nearby mature trees

Demolition Standards

The proposed scope of work includes a partial demolition of an existing two story addition that is generally considered unattractive.

Criteria 1 – The demolition of the existing addition does not negatively impact historical, architectural, aesthetic and cultural community considerations due to its location on the property and marginal appearance.

Criteria 2 – Adaptive reuse is not appropriate due to the existing addition's appearance and prohibitive cost.

Criteria 3 – The existing addition is unsuitable for reuse

Criteria 4 – The demolition will increase the quality and value of the property and in turn the neighborhood.

Criteria 5 – The demolition/replacement as proposed will be compatible with the existing house and neighborhood.

Architectural/Site Review

Standard 1 – The proposed site improvements are all compliant with Lake Forest requirements and are consistent with surrounding aesthetic context.

Standard 2 – The proposed scale and height are both below the maximum allowed and are sympathetic with the neighborhood. The entire proposed addition is behind the existing house to remain.

Standard 3 – Landscaping is limited to foundation plantings and modest accent plantings due to the scope and location of the addition. All landscaping will blend in to the existing trees and bushes. Existing trees will be preserved.

Standard 4 – The exterior materials – architectural grade roof shingles, horizontal wood siding, wood wall shingles, prefinished wood windows with simulated divided lites and painted wood eaves/decorative trim – are all well accepted by Lake Forest. Special consideration has been given to softening the east elevation by stepping the wall, changing the wall material and adding crown molding. A decorative bay window has also been included on the north elevation.

Standard 5 – The proposed addition is situated on the site entirely in the back of the house and is strategically located between existing trees and eastern setback. It is 100% compliant with LF requirements and is barely visible from the street. The proposed appearance is consistent with the neighborhood context.

Compelling Information

The current house does not meet modern market place standards; therefore, the proposed improvements are a reasonable request. All LF code and bulk requirements have been met.

The demolition of the existing addition and construction of the new addition will barely be visible from the street and will improve the appearance and property value.

The location of the addition can only go in one place given the existing constraints of trees and setbacks.

Extra-ordinary measures will be implemented to protect the existing white oak tree on the west side of the proposed addition. The closest underground construction will be a drilled pier supporting the covered porch post. Excavation for the crawl space will be over 15' away from the tree. The existing foundation will remain, further protecting the oak.

Each adjacent neighbor (3) have supplied letters of support after reviewing the proposed design.

EXACTA
LAND SURVEYORS, LLC



PROPERTY ADDRESS: 780 GREENVIEW PLACE, LAKE FOREST, ILLINOIS 60045

SURVEY NUMBER: 1902.2697

FIELD WORK DATE: 2/27/2019

REVISION DATE(S): (REV.1 3/1/2019)

19022697

BOUNDARY SURVEY
LAKE COUNTY

LOT 19 IN WOODLAND ADDITION TO LAKE FOREST, BEING A SUBDIVISION OF LOTS 1 AND 4, AND THAT PART OF LOT 5 LYING NORTH OF A STRAIGHT LINE FROM A POINT IN THE EAST LINE THEREOF, 26.5 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 5, TO A POINT INT HE WEST LINE OF SAID LOT 5, 28.73 FEET SOUTH OF THE NORTHWEST CORNER THEREOF, ALL IN WINSTON AND MAY'S SUBDIVISION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF, RECORDED JUNE 22, 1923 AS DOCUMENT 225787, IN BOOK "L" OF PLATS, PAGE 92, IN LAKE COUNTY, ILLINOIS.

TABLE:

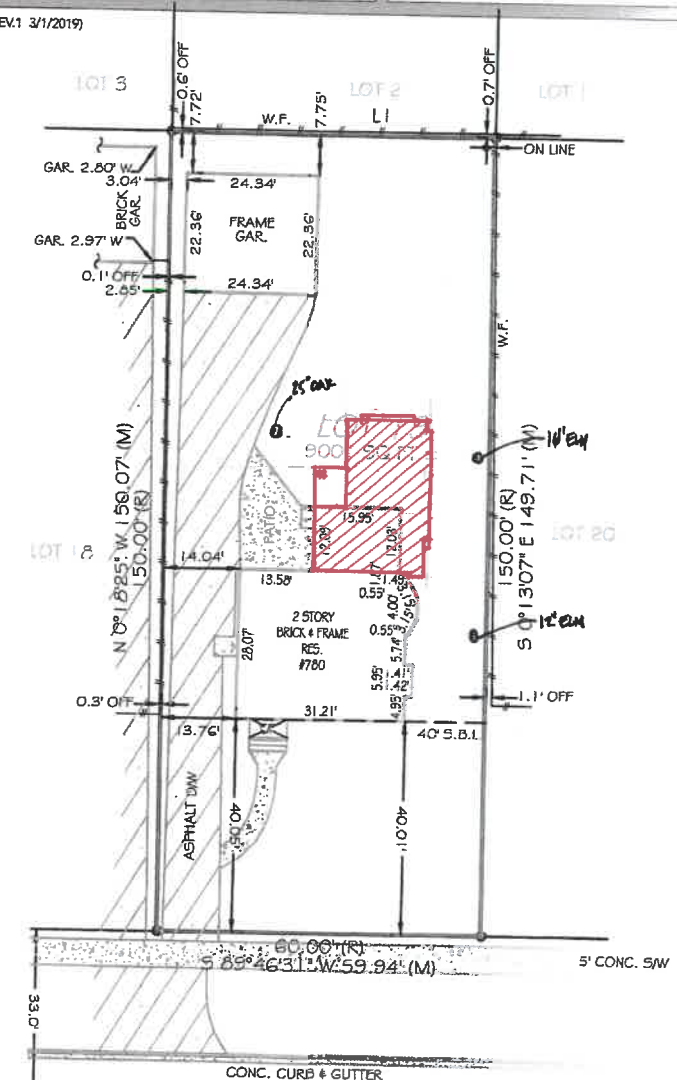
L1 60.00' (R)
S 89°53'15" E 60.17' (M)



STATE OF ILLINOIS } ss
COUNTY OF DuPAGE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS 1ST DAY OF MARCH, 2019 AT 312 S. MALE STREET IN WHEATON, IL 60187.

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
 LICENSE EXPIRES 11/30/2020
 EXACTA LAND SURVEYORS
 PROFESSIONAL DESIGN FIRM 184008059-0008



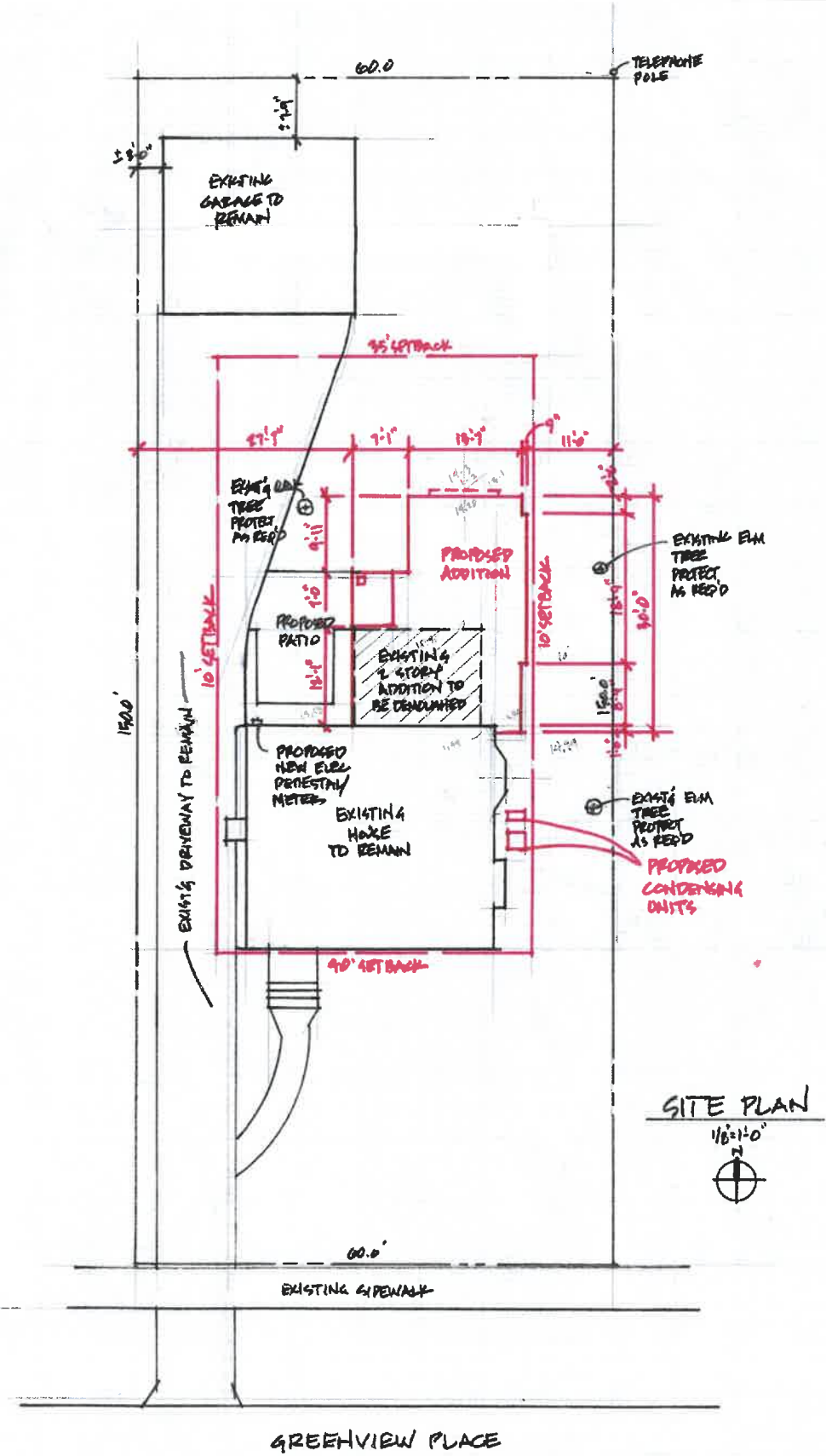
GREENVIEW PLACE (66' RW)



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.



ZONING ANALYSIS		
	REQUIRED ALLOWED	PROPOSED
LOT SIZE (60' X 150')	9,375 SF	EXISTING 9,000 SF GRANDFATHERED
LOT WIDTH	75'	EXISTING 60' GRANDFATHERED
HEIGHT	30'	+/- 24' - 6"
AREA (9,000 X .14) + 1,300 BELOW 15' FROM 1ST FLOOR	2,560 SF	2,405 SF
GARAGE EXCEPTION	576 SF	544 SF 24.34' WIDTH GRANDFATHERED
SETBACKS PRIMARY STRUCTURE		
FRONT	40'	EXISTING 40'
SIDE	10'	EXISTING 14.1'/14.95' PROPOSED 10.0'
REAR	35'	+/- 52'
SETBACKS ACCESSORY STRUCTURE		
FRONT	NA	
SIDE	5'	EXISTING 2.85' GRANDFATHERED
REAR	5'	EXISTING 7.72' GRANDFATHERED



THE DOBBINS GROUP

847 456 7621

BUILDING REVIEW 7-22-20
PROPOSED

GRUETZMACHER RESIDENCE
780 GREENVIEW PLACE
LAKE FOREST, ILLINOIS 60045

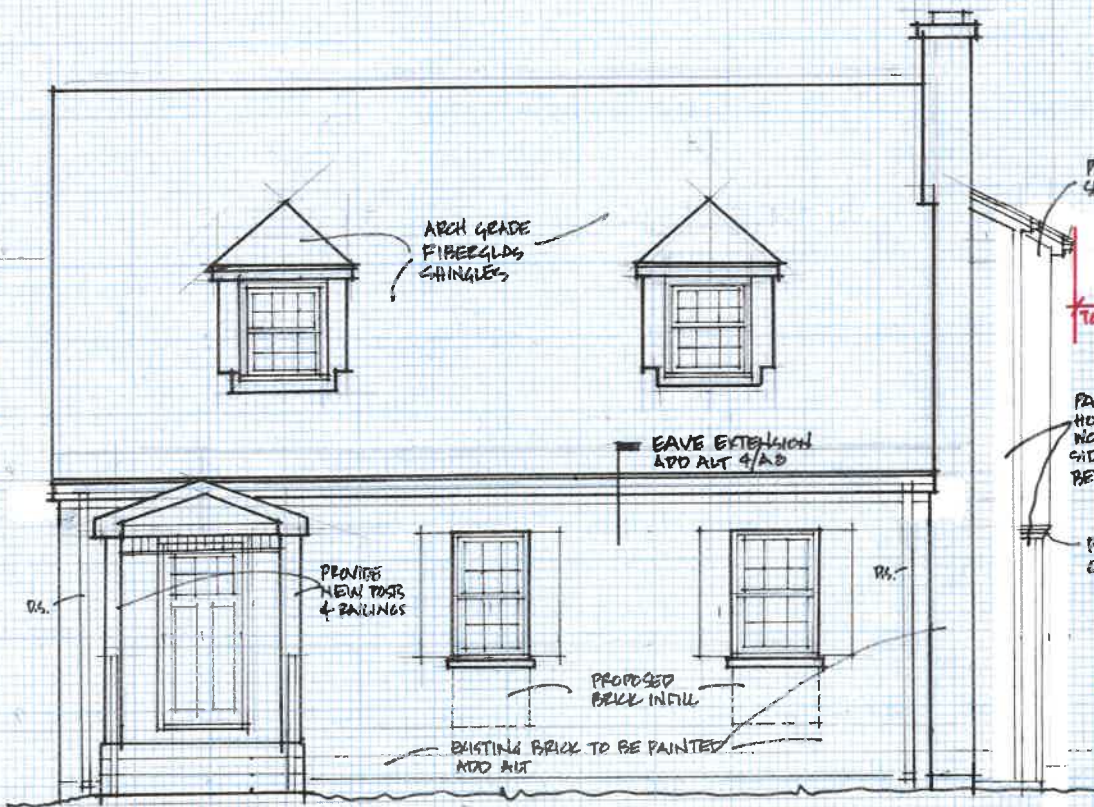
SITE PLAN

—

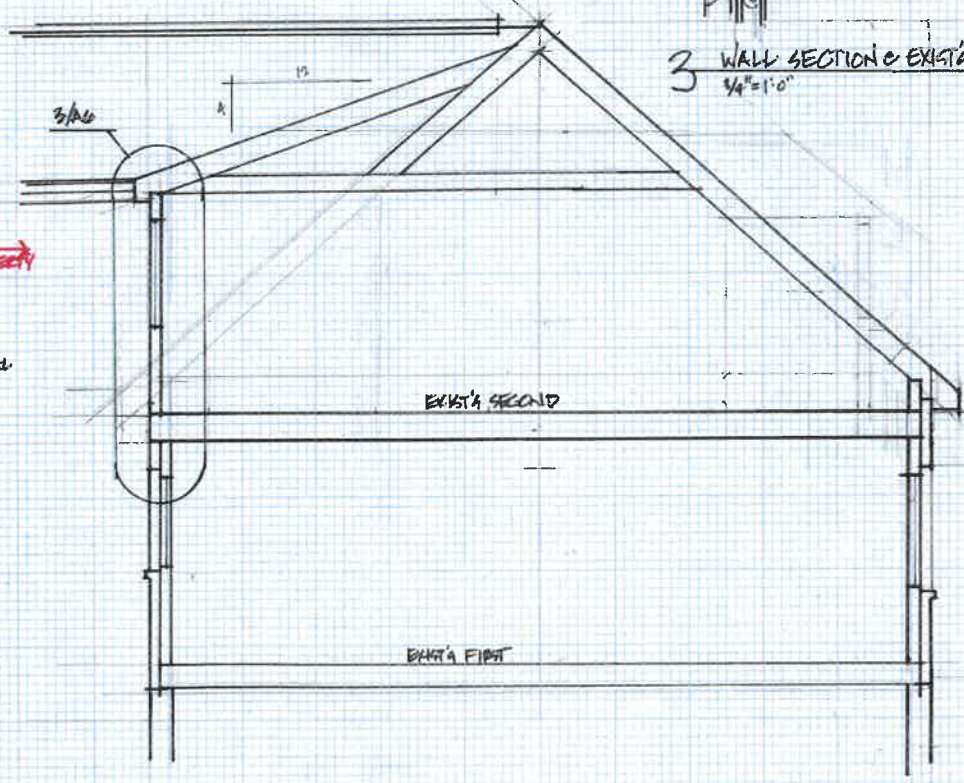


**GRUETZMACHER RESIDENCE
EXISTING CONDITIONS PHOTOGRAPHS
LAKE FOREST, ILLINOIS 60045**

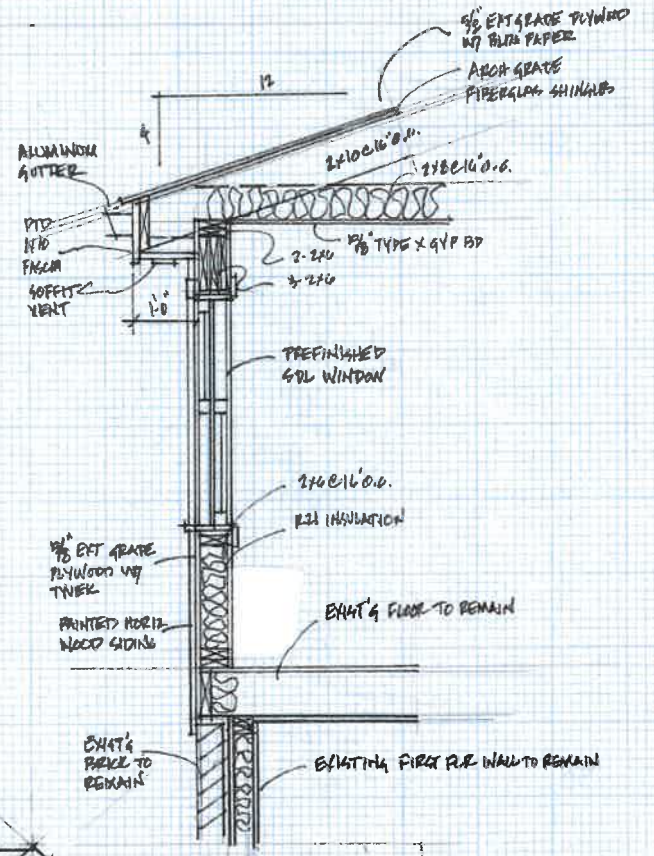




1 SOUTH ELEVATION (FRONT)
3/8" = 1'-0"



2 SECTION 2 EXISTING HOUSE
1/8" = 1'-0"



3 WALL SECTION 3 EXIST'G HOUSE CORNER
1/4" = 1'-0"

THE DOBBINS GROUP
847 456 7621

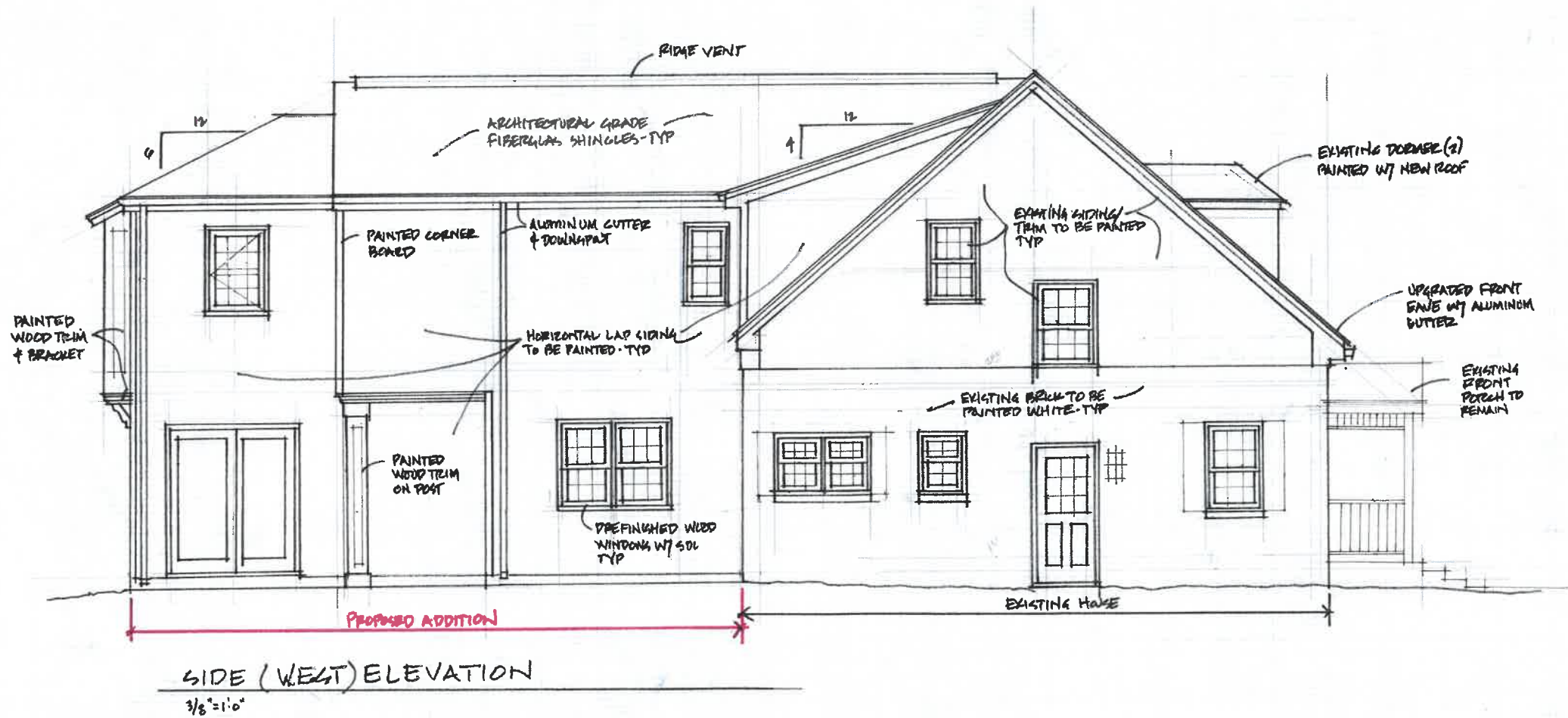
5-18-20 7-22-20
WALLS FOR PERMIT
BUILDING REVIEW
POSTED

GRUETZMACHER RESIDENCE
780 GREENVIEW PLACE
LAKE FOREST, ILLINOIS 60045

SOUTH
ELEVATION
&
BUILD SECTION

5

THE DOBBINS GROUP 847 456 7621
REVISION REVIEW 7-22-20 PROJ 1000
GRUETZMACHER RESIDENCE 780 GREENVIEW PLACE LAKE FOREST, ILLINOIS 60045
WEST ELEVATION
6



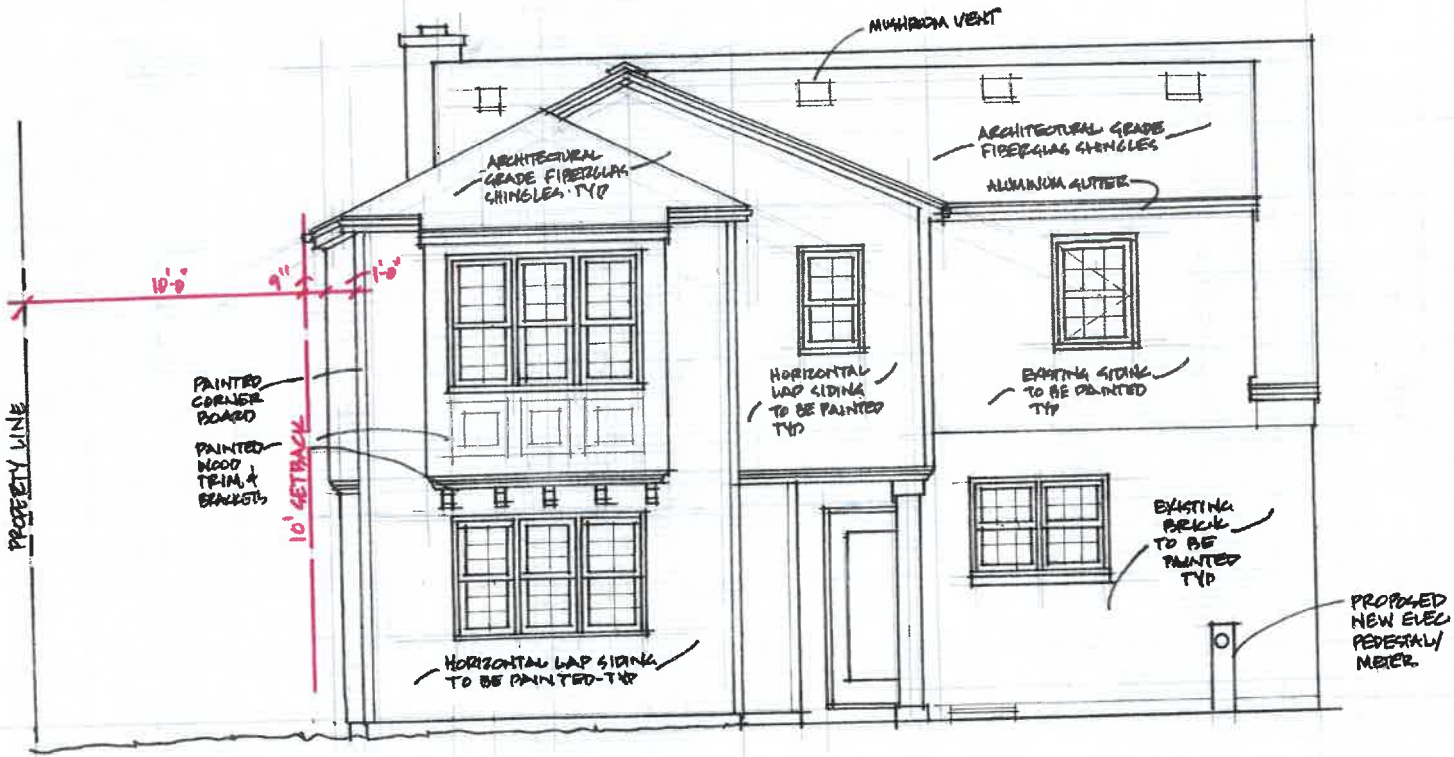
THE
DOBBINS
GROUP
847 456 7621

BUILDING REVIEW 7.22.20
BOARD

GRUETZMACHER RESIDENCE
780 GREENVIEW PLACE
LAKE FOREST, ILLINOIS 60045

NORTH
ELEVATION

8



REAR (NORTH) ELEVATION
3/8" = 1'-0"

THE
DOBBINS
GROUP

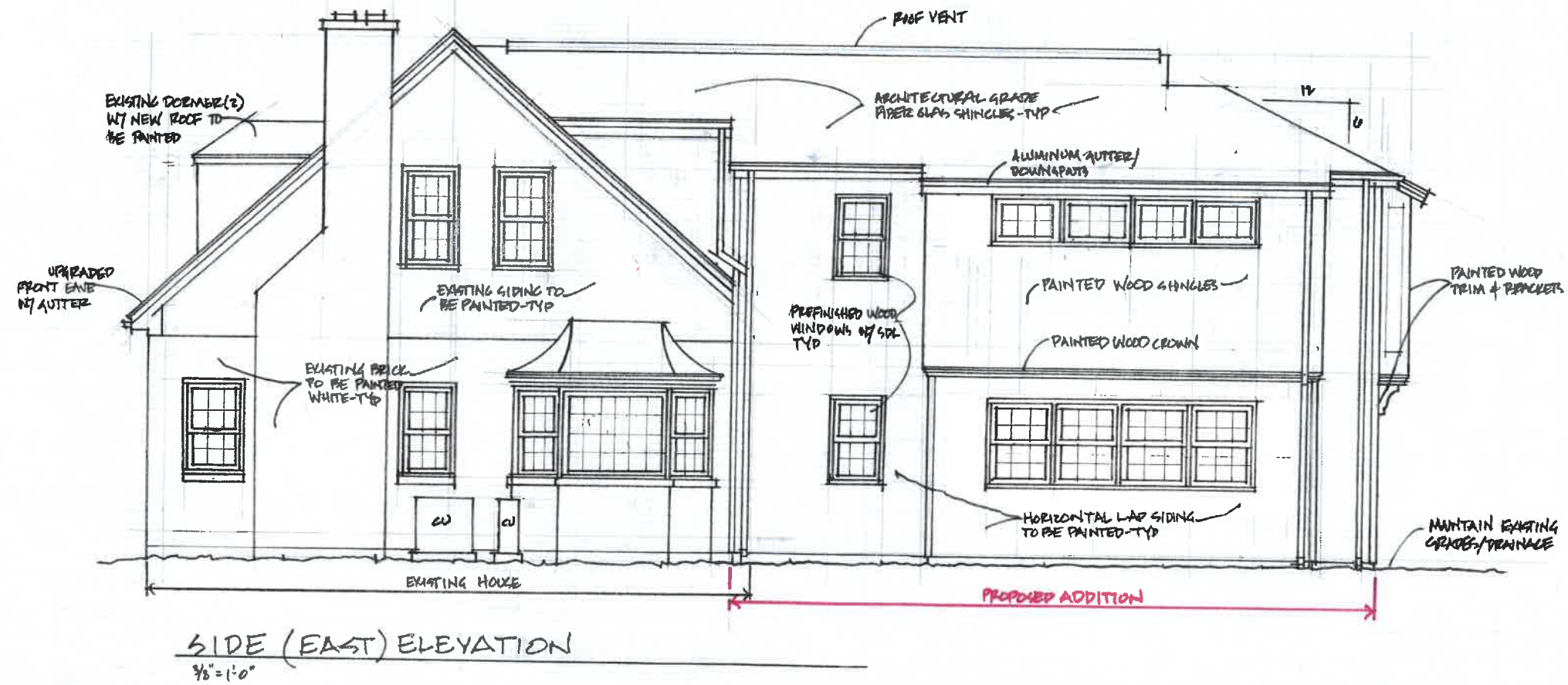
847 456 7621

02.28.20
BUILDING REVIEW
BOBBER

GRUETZMACHER RESIDENCE
780 GREENVIEW PLACE
LAKE FOREST, ILLINOIS 60045

EAST
ELEVATION

7



Agenda Item 4
1286 N. Sheridan Road
Building Scale Variance for a Detached Garage

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey – Existing Conditions
Proposed Site Plan with Tree Survey
Elevations
Streetscape Elevations
Renderings with Building Section
Floor Plans
Topography & Proposed Landscaping

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1286 N. Sheridan Road

Consideration of a recommendation in support of a request for approval of a building scale variance for a detached garage located in front of the residence.

**Property Owner: Hudson Family Trust
(Matthew Hudson 50%; Julia Hudson 50%)
Project Representative: Andrew Venamore**

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of a detached garage located in the southwest corner of the property. A building scale variance is requested to accommodate the proposed garage.

Description of Property

The subject property is a lot in depth and is located on the west side of Sheridan Road, north of Crab Tree Lane. Five lot in depth properties are accessed by a shared driveway that extends from Sheridan Road, west. The driveway terminates at the driveways for the subject property and the neighboring residence to the south, 1284 N. Sheridan Road. Located directly to the north of the subject property is the rear open area of Sheridan Elementary School. To the west are the rear yards of homes located on Edgewood Road. Homes along Edgewood Road are sited closer to the street and feature deep yards with detached garages.

The residence was constructed in 1985. Based on City records, the master bathroom was remodeled and the sunroom demolished in 2005. In 2010, the basement was remodeled.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

There are no proposed changes to the footprint of the single family residence. The home is setback roughly 108' feet from the access driveway. A paver block

driveway provides access to an existing attached sideloaded garage on the east side of the home and a circular parking court directly in front of the home.

The proposed accessory structure is located at the southwest corner of the lot, roughly 29 feet from the residence. A squared off parking pad located to the side of the existing circular drive provides access to the proposed detached garage. Additional information is needed to verify that the garage apron is adequately sized for functionality.

The residence directly to the south of the subject property features a detached, low profile, south facing garage that was built in 1963. The garage is partially visible from the access driveway and is located 2 feet south of the property line. The proposed garage for the subject property would be roughly 24 feet north the property line, in a similar location, with the garage doors facing east, visible from the access driveway.

There is existing vegetation which affords privacy to the subject property and partially concealing the southwest corner portion of the subject lot. Vegetation separates the two lots and helps to obscure some of the neighboring garage from the access driveway.

Staff Recommendation: Provide an auto turn study demonstrating functionality of the garage apron.

As proposed, the square footage of the accessory structure, in combination with the existing structures on the site, exceed the maximum allowable square footage for the lot. The proposed massing and height of the structure will contribute to its potential visibility from off of the site.

Building Massing and Height – A building scale variance is requested.

Based on the lot size, a residence of up to 5,636 square feet is permitted on the property. In addition, a garage of up to 800 square feet is permitted along with up to 564 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The existing residence totals 5,593 square feet and complies with the allowable square footage.
- The existing home has a total of 235 square feet of design elements of the permitted 564 square feet.
- The existing garage totals 818 square feet. The excess 18 square feet is added to the total square footage of the residence.
- The proposed detached garage totals 741 square feet.
- The total square footage of the residence, existing garage, and proposed garage is 6,334 square feet.

The proposed garage results in a square footage overage of 698 square feet, 12 percent over the maximum allowed.

At its tallest peak, the garage as measured from the lowest point of adjacent existing grade is 21 feet. The maximum allowable height for an accessory structure is 25 feet. For reference, the detached garage on the property to the south is 21 feet tall, however due to a change in grade, the ridge height of the neighboring garage will be the same as the height of the proposed garage. The height of the existing residence on the subject property is 25 feet.

Review of Building Scale Variance Standards and Staff Recommendation

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is generally met. The proposed detached garage relates to the materials and colors of the residence. The residence features windows without muntins, and the windows proposed for the garage similarly do not have muntins. However, the number and size of windows may warrant further study. The second floor features two shed dormers which step off the roof just under the ridge line. The dormers contribute to the appearance of bulkiness. Consideration should be given to reducing the appearance of mass of the dormers.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is partially met. The petitioner identified existing trees located on the property lines to the left (south) side and rear (west) of the garage. With the proposed planting of three “Green Giant” evergreen trees along the right (south) side property line, the appearance of the garage may be mitigated. However, additional plantings to the extent possible, should be required along both the south and west property lines and to the east of the proposed garage to minimize the appearance of mass from the private driveway. Healthy existing vegetation at the west end of the private driveway should be protected during construction.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the

proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard can be met. The location of the garage in the southwest corner of the lot may be visible from the access driveway and from neighboring properties but with additional vegetative screening, the appearance of mass may be mitigated. As noted above, the homes located west of the subject lot sit close to Edgewood Road and have deep rear yards. There should not be adverse impacts to light and views from neighboring homes to the west. The detached garage located on the property to the south separates the neighboring residence from the proposed garage and mitigates the impact of the proposed garage on the neighboring home.

Standard 4 – The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard can be met. The petitioner noted that while the height of the detached garage on the property to the south is shorter than the height for the proposed garage on the subject property because of the topography, the ridge heights of the two garages will be the same. The proposed long shed dormers on both sides of the roof is not compatible with other accessory structures within the lot in depth subdivision.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is located adjacent to a local historic district, but is not in the district. The property is not designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not met. The rear (north) yard of the subject property is adjacent to the rear yard of Sheridan Elementary School which features an expansive open area. However, this area is not a Conservation Easement or protected as permanent open space.

In summary, the criteria for a building scale variance can be satisfied as detailed in the findings presented above. The first, second, third, and fourth standards can be satisfied with maintenance of existing vegetative screening, along with enhancing the screening with year-round

landscaping and refinement to minimize the appearance of mass of the dormers.

Elevations – This standard is partially met.

The proposed additions are consistent with the character, style, detailing and materials of the existing residence.

The two story, detached garage faces east with a double garage door. Located above the garage door is a short shed roof. A single casement window sits in the gable end. As noted above, the south (left) and north (right) sides of the garage feature long shed dormers which step out just below the roof ridgeline and sit heavy on the structure contributing to a bulky appearance. The dormers found on the residence are individual gable dormers. Consideration should be given to aligning the proposed style of dormers to those found on the residence for design continuity between the structures.

Two sets of windows are featured on each dormer. The dormer window panes shown on the Streetscape Elevation provided by the petitioner differ from those shown on the Elevations. Similarly, the window reflected on the east (front) Streetscape Elevation shows a center pane that is not reflected on the Elevations. Clarification should be provided regarding the proposed window pane design.

There are no windows proposed for the west (rear) portion of the building. The right (north) side of the first floor includes a man door and two windows. The left (south) side includes a series of five rectangular, horizontally-oriented windows. The windows on the left (south) elevation are not consistent in size, shape or orientation as the other windows on the garage. While the window size, shape, and orientation may have been selected to minimize off-site light spillover to the property to the south, they are not found elsewhere on the structure and appear out of place. Greater consistency in window orientation, size and shape would benefit the structure. Additional consideration should be given to windows on the south elevation.

Staff Recommendation: Reconsider the shed dormers to reduce the appearance of bulk.

Staff Recommendation: Refine the windows to achieve greater consistency in style, size, and shape.

Type, color, and texture of materials – This standard is mostly met.

The exterior materials proposed on the garage appear generally consistent with those on the existing residence.

The garage will be comprised of both brick and stucco. True cement stucco should be used consistent with the stucco on the existing residence. The petitioner should clarify if the brick will be painted or stained. The brick shall be at least four inches thick.

The windows proposed are aluminum clad wood casement windows. The proposed door, window, fascia, and soffit trim is LP Smartside. Natural cedar is recommended for fascia, soffits, and trim, or a high quality synthetic product such as Boral. Architectural shingles are proposed for the roof. It does appear from the Renderings that a standing seam metal roof is proposed for over the garage door. Additional information is needed. Standing seam metal roof panels shall be no wider than 12 inches. The gutters are to be aluminum.

Staff Recommendation: True cement stucco is required.

Staff Recommendation: If used, the standing seam roof panels shall be no wider than 12 inches and the brick shall be at least four inches thick.

Staff Recommendation: Clarify if the brick will be stained or painted.

Staff Recommendation: Natural wood should be used for the fascia, soffit, and trim or a high quality synthetic product subject to approval by staff.

Staff Comment: Material samples and a complete color palette should be presented at the Board meeting. Details on the material and style of the garage doors are required.

Landscaping and Hardscape - This standard is partially met.

A conceptual landscape plan, with limited detail, is included in the Board's packet.

Any trees planned for removal should be identified in the final tree removal plan. Replacement inches for the trees removed will be determined pending submittal of a detailed plan showing existing trees and trees planned for removal.

The final landscape plan should detail foundation plantings at the base of the proposed garage. The proposed three Green Giant evergreen trees will add to the screening along the south property line; however, additional year-round screening will be required along the south and west property lines and to the east of the garage to the extent possible to mitigate the appearance of the structure and to prevent off-site light spillover.

The final landscape plan will be subject to staff review and approval prior to the issuance of permits.

Staff Recommendation: A tree removal plan and a detailed landscape plan should be submitted with the building permit application and plans and will be subject to review and approval by City staff.

Staff Recommendation: Maintain and enhance the vegetation at the entrance to the subject property to screen.

Staff Recommendation: Additional year-round screening will be required along the south and west property lines.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Forward a recommendation in support of the petition to the City Council and subject to the following conditions:

1. Prior to submittal for permit, the following shall be addressed and reflected on the materials submitted for permit:

Site Plan

- a. Provide an auto turn study demonstrating the functionality of the garage apron.

Elevations

- b. Reconsider the shed dormers to reduce the appearance of bulk.
- c. Refine the windows to achieve greater consistency in style, size, and shape.

Exterior Materials

- d. Specify true cement stucco.
- e. If used, standing seam roof panels shall be no wider than 12 inches and the brick shall be at least 4 inches thick.
- f. Clarify if the brick is to be stained or painted.
- g. Specify natural wood for the fascia, soffit, and trim or a high quality synthetic product subject to approval by staff.

2. All modifications to the plans including those made in response to Board direction or discussion and those made as the result of final design development shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in

consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval.

3. Prior to the issuance of a building permit the following shall be submitted and will be subject to review and approval by staff:

Tree Removal and Landscaping

- a. Tree removal and tree protection plans identifying the location of tree protection fencing to be installed prior to the start of construction to protect vegetation intended to remain on the subject property, and on adjacent properties.
- b. A detailed landscape plan. At a minimum, the plan must reflect foundation plantings around the garage, maintain and enhance the vegetation screening at the entrance of the subject property, and provide additional year-round screening along the south and west property lines. The landscape plan shall specify the quantity, species, and size of plant materials at the time of planting.

Exterior Lighting

- c. Details of all proposed exterior lighting on the garage and all landscape lighting, if any. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging and Tree Protection

- d. A plan for construction parking and materials' staging. The shared private driveway must remain open and accessible at all times. Vehicle parking and materials' staging must be accommodated on the site.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1286 N. Sheridan Road Owner(s) Julia & Matt Hudson

Architect Andrew Venamore Reviewed by: S. Thomas

Date 08.06.26

Lot Area 47947 sq. ft. Allowable Square Feet = 5636

Square Footage of Residence

1st floor 3567 + 2nd floor 2008 + 3rd floor 0 = 5575 sq. ft.

Design Element Allowance = 564 sq. ft.

Total Actual Design Elements = 235 sq. ft. Excess = 0 sq. ft.

Garage 818 sf actual ; 800 sf allowance Excess = 18 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5593 sq. ft.
(minus Design Elements, plus garage overage)

Square Footage of House and Proposed Addition:

1st floor 0 + 2nd floor 0 + 3rd floor 0 = 0 sq. ft.

New Design Elements 0 sq. ft. Excess = 0 sq. ft.

Garage 741 sq. ft. = 741 sq. ft.

TOTAL SQUARE FOOTAGE = 6334 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5636 sq. ft.

DIFFERENTIAL = 698 sq. ft. **NET RESULT:**
Over Maximum

698 sq. ft. is

Accessory Structure Allowable Height: 25 ft. Actual Height 21 ft. **12% over Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 564 sq. ft.

Front & Side Porches = 0 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

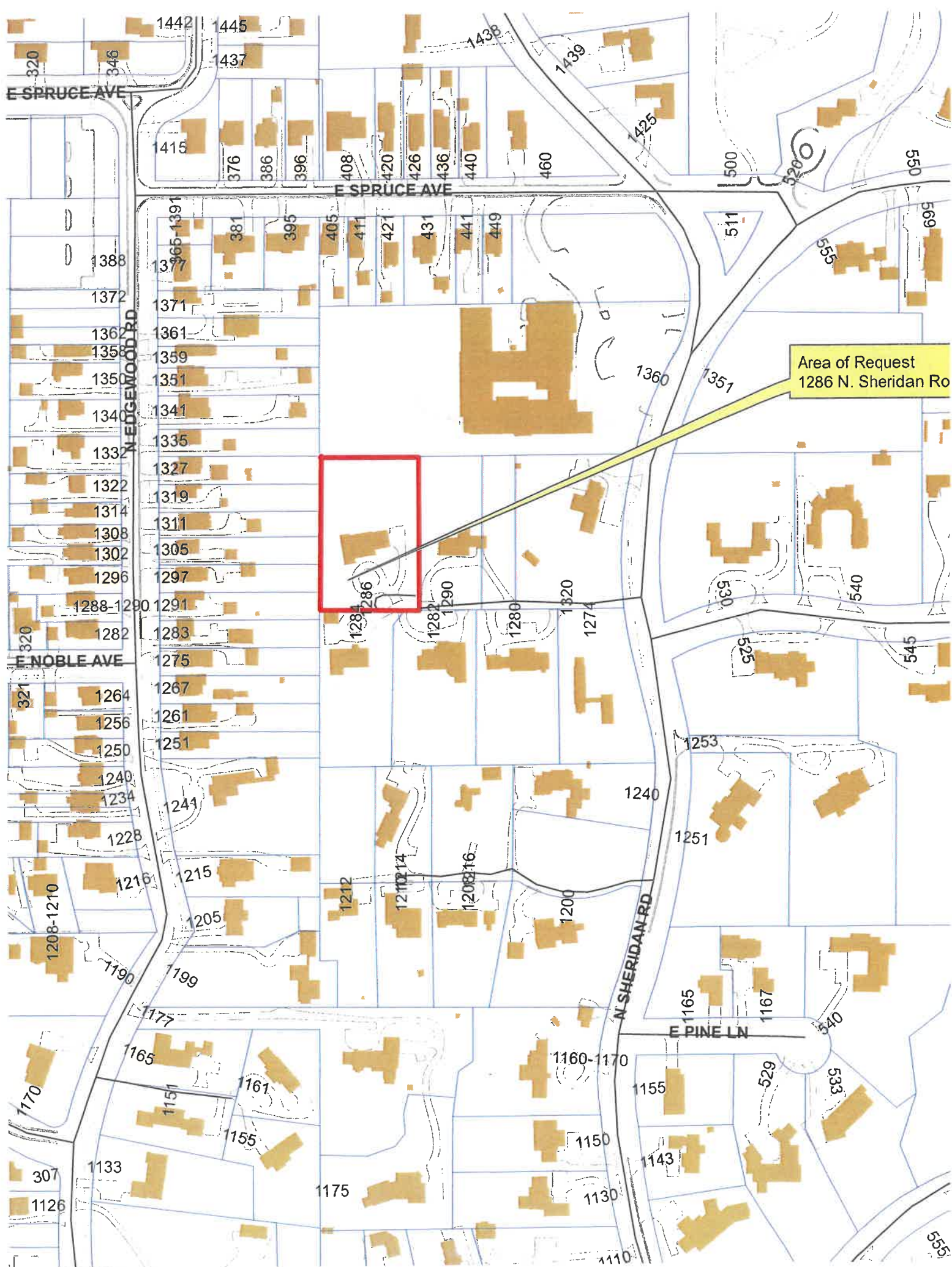
Pergolas = 0 sq. ft.

Individual Dormers = 196 sq. ft.

Bay Windows = 39 sq. ft.

Total Actual Design Elements = 235 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1286 N. Sheridan Rd



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS **1286 N. SHERIDAN ROAD**

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
☐ New Residence	☐ Demolition Complete	☐ New Building	☐ Landscape/Parking
☒ New Accessory Building	☐ Demolition Partial	☐ Addition/Alteration	☐ Lighting
☐ Addition/Alteration	☐ Height Variance	☐ Height Variance	☐ Signage or Awnings
☒ Building Scale Variance	☐ Other	☐ Other	

PROPERTY OWNER INFORMATION

MATT & JULIA HUDSON

Owner of Property

1286 N. SHERIDAN ROAD

Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045

City, State and Zip Code

(401) 742-7003

Phone Number

Fax Number

hudson.juliaanna@gmail.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

ANDREW VENAMORE

Name and Title of Person Presenting Project

Heartland Garage Builders

Name of Firm

602 ACADEMY DRIVE

Street Address

NORTHBROOK, IL 60062

City, State and Zip Code

(224) 619-4539

Phone Number

Fax Number

andrew@hlgbs.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

☐ OWNER ☒ REPRESENTATIVE

Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

☐ OWNER ☐ REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|---|
| ☐ Stone | ☐ Aluminum Siding |
| ☒ Brick | ☐ Vinyl Siding |
| ☐ Wood Clapboard Siding | ☐ Synthetic Stucco |
| ☒ Stucco | ☐ Other _____ |
| ☐ Wood Shingle | |
| Individual or Panels? _____ | |

Color of Material TO MATCH S.F.R.

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Color of Finish _____

Finish and Color of Windows

- ☐ Wood (recommended)
☒ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Window Muntins

- ☒ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Other LP SMARTSIDE

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Other LP SMARTSIDE

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other LP SMARTSIDE

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☐ Other N/A

Foundation Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other CONCRETE

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☐ Sheet Metal
- ☒ Other ARCHITECTURAL SHINGLES

Flashing Material

- ☐ Copper
- ☒ Sheet Metal
- ☐ Other

Skylights

- ☐ Proposed
- ☐ Existing
- ☒ None

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other

Driveway Material

- ☐ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☒ Other N/A

Terraces and Patios

- ☐ Bluestone
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☒ Other N/A

CITY OF LAKE FOREST - BUILDING REVIEW BOARD
STATEMENT OF INTENT
1286 N. Sheridan Road – Matt & Julia Huson

**STANDARDS FOR ARCHITECTURAL AND SITE DESIGN
REVIEW**

STANDARD 1: Site Plan:

All setbacks should be met or exceeded and disturbance to the natural landscaping on the property should be minimized. Driveway and parking areas should be screened to reduce the visual intrusions into surrounding properties. Screening, fencing, gates, and pillars should be consistent in design and materials with principal buildings and the surrounding neighborhood.

The proposed location for this new 2-car detached accessory building is compliant with all the zoning required setbacks and the location has been determined based on the physical and natural constraints on the property. There is a quite significant drop in grade on the lot past the rear of the home (north), in addition to which there are multiple large trees that occupy both side yards (west and east) of the home leading the proposed location to be the most effective on the site. Trying to place the garage into the rear yard would lead to the removal of numerous significant trees.

STANDARD 2: Elevations:

The scale and height of the project should comply with Code requirements and should be visually compatible with the landscaping, topography and buildings on the site and in the neighborhood. The visual continuity of roofs should be maintained in building development and redevelopment. To the extent possible, the project should be consistent with a chosen style of architecture. The elevations of a project should be proportional to the property and surrounding neighborhood.

The proposed garage is to be located towards the 'rear' of the property's circular driveway "entry court". This will allow the building to become part of the landscaping at that part of the property and the scale of the structure (at 23' wide x 26' deep) has been designed to disappear into the west sideyard landscaping. The gable roof of the main garage reflects the architecture of the home, while shed roof located on the north side of the home (over the attached garage) is an element that has been reflected on the proposed garage. The ridge height (at 21 feet) will roughly match the height of the vaulted family room located on the westerly side of the home, which is the most prominent element adjacent to the garage thus assisting the new structure to be consistent with the existing architecture of the home.

Since this specific location for the garage (and indeed the existing home) is some 4-feet lower than the garage and home to the south, the new garage will not be out of proportion with the locale as the most relevant building will be the home on the same property. The detached garage at 1284 N. Sheridan Road and the garages for the

CITY OF LAKE FOREST - BUILDING REVIEW BOARD
STATEMENT OF INTENT
1286 N. Sheridan Road – Matt & Julia Huson

homes on Edgewood Road are over 100 feet from this building's location and so the proposed will not have a significant bearing on surrounding properties and the new garage will have the same ridge height as the garage to the south when the elevation change is taken into consideration.

STANDARD 3: Landscaping:

Landscaping plans should be consistent with the natural environment of the site and surrounding properties. Existing natural features should be appropriately preserved and integrated into the project.

As noted previously, this building will be located into the area of the lot where significant existing landscaping is present. While some of that will certainly be removed in order to facilitate the construction, the owner's intent is to maintain this general landscaping while also providing additional green giants (arbor vitae) to help maintain a visual barrier between the south aspect of the garage and the neighboring property line. The elevated neighboring property and the slope between that and the new garage will be maintained and the natural drainage pattern will be accommodated by the establishment of a drain within the new garage foundation that will allow for the effective transfer of water from the south side of the garage into the drainage swale the current directs water into the rear yard storm sewer drainage system that is present on this lot.

STANDARD 4: Type, Color and Texture of Materials:

Exterior materials should be of the highest quality, appropriate for the intended use and consistent with the chosen architectural style. Imitation and synthetic substitutions should be avoided and the design, material, and color scheme should be compatible with and enhance the character of the property and the surrounding neighborhood.

Since the existing home has a (painted) masonry first floor with a stucco 2nd floor, the garage has been designed to reflect these elements. The windows will be black aluminum clad casements to match the home and the roof will be changed from the current synthetic material to a black architectural shingle (in preparation for the required change in the roof on the SFR which is getting close to its life expectancy).

STANDARD 5: Overall Site Layout:

The building layout should maximize the distance between buildings on the site and adjacent properties. The size, scale and nature of a building or project should be consistent with the existing streetscape and character of the neighborhood.

With 24.0 feet to the south property line, 24.5 feet to the west side yard and 29.0 feet in between the structures, the new garage has been proposed for a reasonably central

CITY OF LAKE FOREST - BUILDING REVIEW BOARD
STATEMENT OF INTENT
1286 N. Sheridan Road – Matt & Julia Huson
STANDARDS FOR APPROVAL OF A BUILDING SCALE
VARIANCE

STANDARD 1:

The project is consistent with the design standards in Section 147 of the City of Lake Forest Code.

With this proposal, the intent is to provide the necessary additional parking and storage space the owners need. As such, it is intended to preserve the character of this Private Drive by matching the architecture of the home while enhancing the general neighborhood property values. It will also enhance the natural and architectural environment of the city by matching the design of the home which will also assist in maintaining the diversity of housing stock in this neighborhood.

STANDARD 2:

Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

There is an extensive coverage of vegetation at this location that the owner's intend to maintain as part of the development. The plan is to locate the garage within the area of the property that is currently screened from neighboring lots and additional screening for the property to the south is proposed between the garage and the south property line (green giants) to assist with any light spillover that may occur. There are some existing mature trees that are interspersed along that south lot line, however the introduction of some fast-growing evergreens will assist in preserving the overall residential nature of the neighborhood.

STANDARD 3:

New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

Since the front elevation of the garage will really be the only aspect visible from the street, the garage has been sited in a manner that will help to minimize the perceived overall mass of the garage. As noted on the associated documentation, there is a significant elevation change (some 4 feet) between the property to the south and the subject lot and the garage's proposed location. With this in mind, the new structure will be lower than the home on the subject lot and will also not overwhelm the 1284

CITY OF LAKE FOREST - BUILDING REVIEW BOARD
STATEMENT OF INTENT
1286 N. Sheridan Road – Matt & Julia Huson

location in this front section of the lot. The garage will be compatible with the home from a massing and material standpoint and will be in character with the 6 other residences along this private drive.

CITY OF LAKE FOREST - BUILDING REVIEW BOARD
STATEMENT OF INTENT
1286 N. Sheridan Road – Matt & Julia Huson

Sheridan garage since it's ridge will be at essentially the same height and the overall size of that garage's footprint appears to be larger (at approximately 24'x28') than the subject.

STANDARD 4:

The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

As noted above, the height for this garage will be compatible with the elements within the immediate locale: the subject home and the neighboring garage at 1286 Sheridan. Since this property is located at the end of a Private Drive, the mass is related to those elements noted here and the new design will be generally compatible with those elements.

STANDARD 5:

The property is located in a local historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

While some of the properties on the easterly end of this Private Drive are designated within the local historic district, the (4) homes at the west end are not and so this project is not subject to preservation ordinance standards.

STANDARD 6:

The property is adjacent to land use and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

As noted previously, the garage is to be located in an area on the lot that has heavy vegetation, and will it be topographically lower (by 4 feet) than the neighboring lot to the south. Both these elements will help to mitigatge the sense of massing from the streescape and even from the neighboring properties.

Commonly known as: 1286 N SHERIDAN ROAD, LAKE FOREST, ILLINOIS.

CHAIN-LINK FENCE
IS 0.6' NORTH

CHAIN-LINK FENCE
IS 0.1' NORTH
AT CORNER

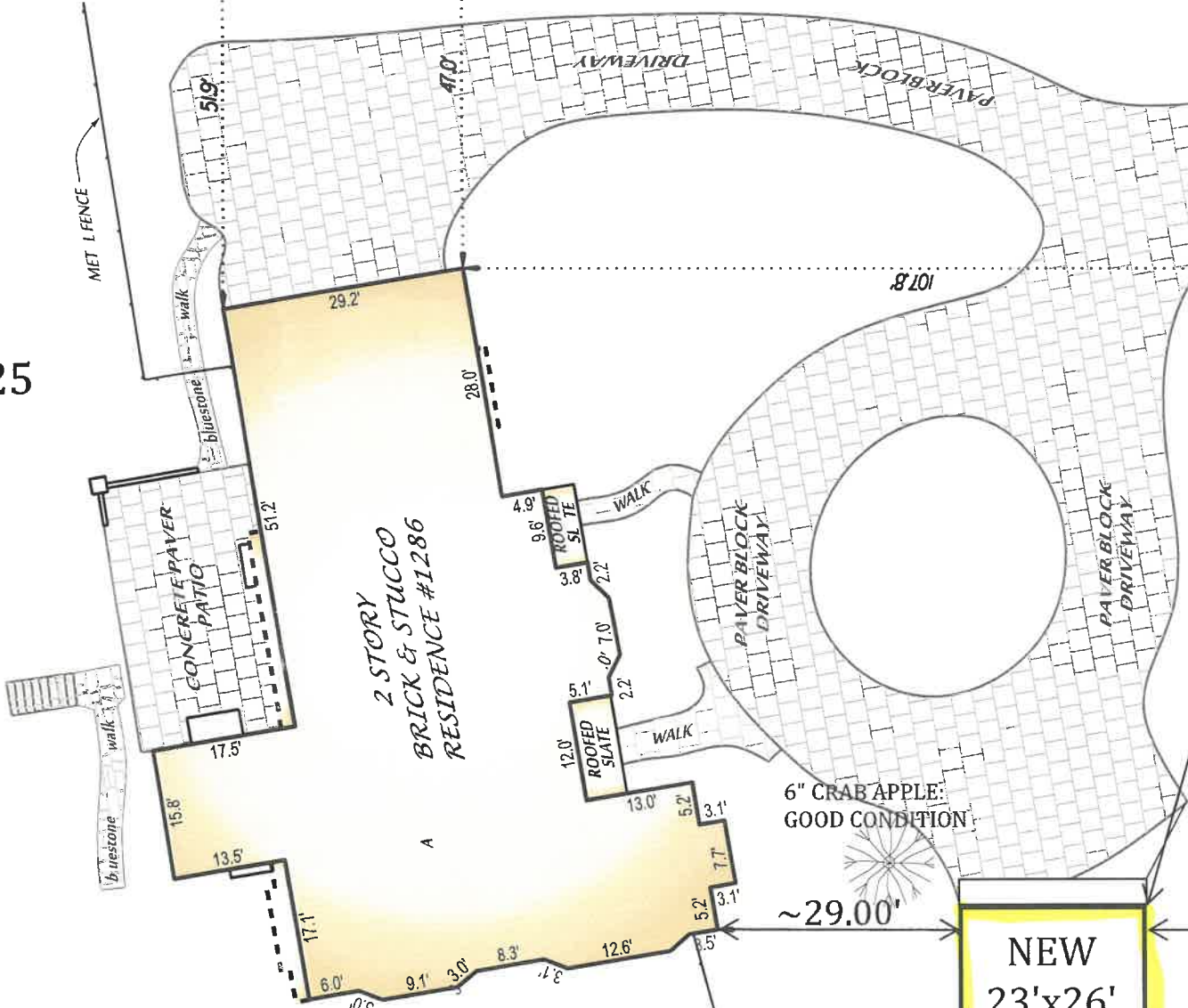
S89°48'06"E
174.79'

HGB PROPOSED SITE PLAN

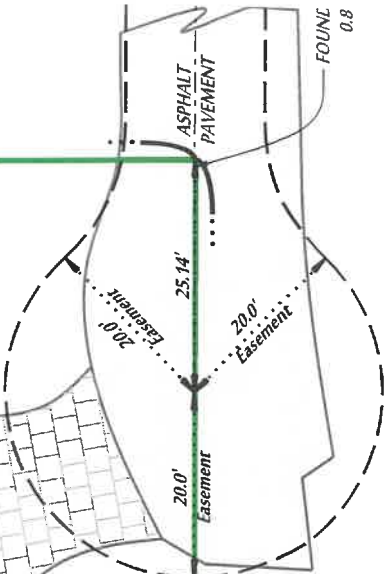
Lot 2

SURVEY AREA:
48,649 SQ. FT.

EXISTING S.F.R.
RIDGE HEIGHT IS 25
FEET.



PROPOSED SITE PLAN
WITH TREE SURVEY



17" AMERICAN
ELM:
GOOD CONDITION

175.55'
N89°48'43"W

6" EASTERN WHITE
PINE: FAIR CONDITION

STOCKADE FENCE
IS 0.4' SOUTH

22" WHITE
OAK: GOOD
CONDITION

8" AMERICAN ELM:
FAIR CONDITION

14" SHAGBARK
HICKORY: GOOD
CONDITION

6" CRAB APPLE:
GOOD CONDITION

REC.=278.1'
N00°01'41"E
277.74'

S00°07'41"E
277.71'

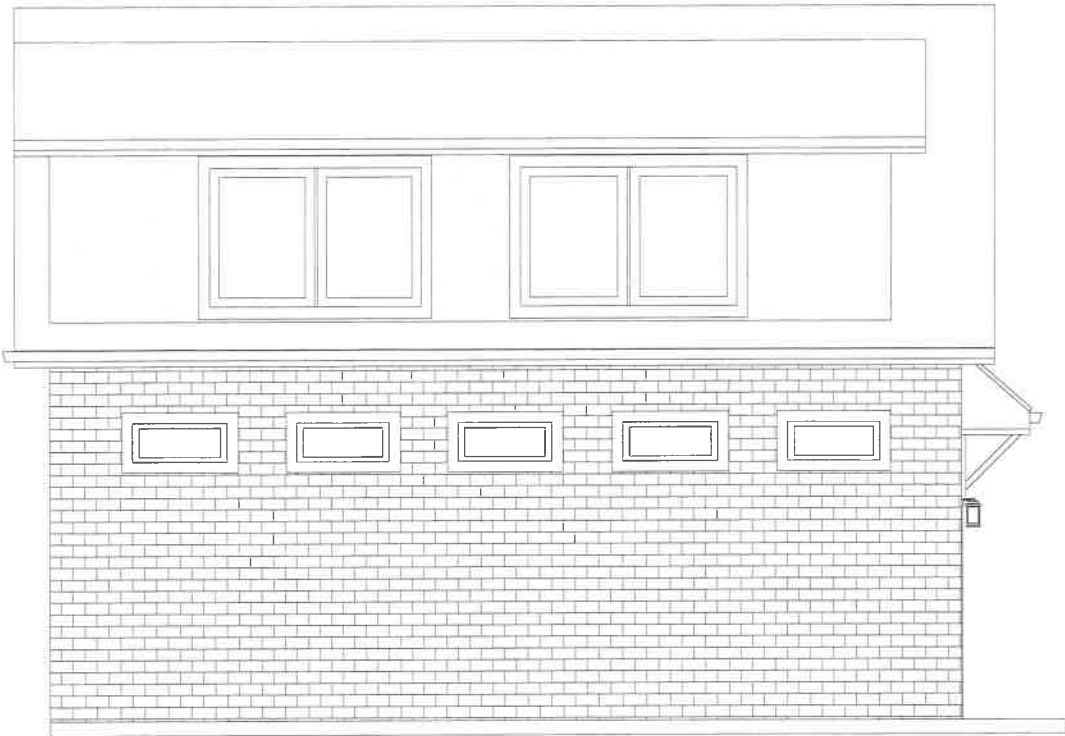
UNDERSTANDING
"THE HEARTLAND WAY"
DIFFERENCE ...

TYPICAL GARAGE CONSTRUCTION:

- CONCRETE: 'water ledge' & wire mesh provided, concrete sloping towards door.
- WALL FRAMING: 2x4 @ 16" O.C.
- CEILING FRAMING: 2x6 @ 32" O.C.
- ROOF FRAMING: 2x6 @ 16" O.C. w/ 25-year 3-tab shingle.
- HEADERS: (2) LVL's for OHD & (2) 2x6's for service door and windows.
- WALL & ROOF SHEATHING: 7/16" OSB (unless municipality requires plywood).
- ELECTRIC: installed with (1) 15-amp circuit for lights and (1) 20-amp circuit for outlets.

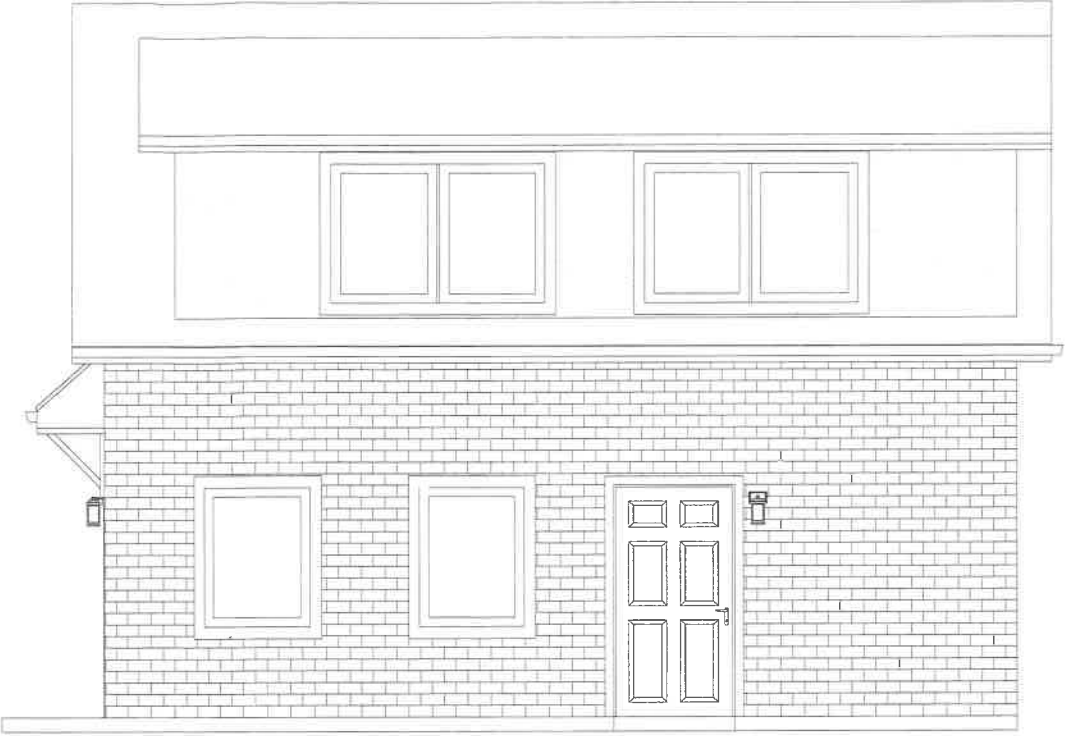
ADDITIONAL "STANDARD"
INCLUSIONS FOR YOUR
HEARTLAND GARAGE:

- Comprehensive permit services with **ALL permit fees and necessary municipal processes** included in your project.
- **SAME PRICE** for gable vs. hip roof.
- CONCRETE is **5" thick with (2) #5 rebar** in the footing along with **fibremesh**.
- HOUSE WRAP: **"Tyvek"** or similar used under the siding (per manufacturer's spec.).
- TRIM: **all window and door openings**, along with the fascia and soffit, are finished with **LP SMARTSIDE®**.
- **GUTTERS & DOWNSPOUTS** provided to keep water away from the new foundation.
- **DOORS & WINDOWS:** **OHD & fiberglass service door are insulated** and sliding windows are double-pane.
- Roofing: **ARCHITECTURAL** shingle compared to standard 3-tab shingle.
- **ELECTRICAL:** installed **'drywall ready'** to enable garage to be finished i.e., bored through the 2x4 walls, not surface mounted.
- **WI-FI** enabled garage door opener.
- **EPOXY FLOOR**, a commercial-grade epoxy floor included if selected by client.
- **MUNICIPAL INSPECTIONS** are scheduled and undertaken by HGB staff: owners are not required to be present.
- **2-YEAR WARRANTY.**



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



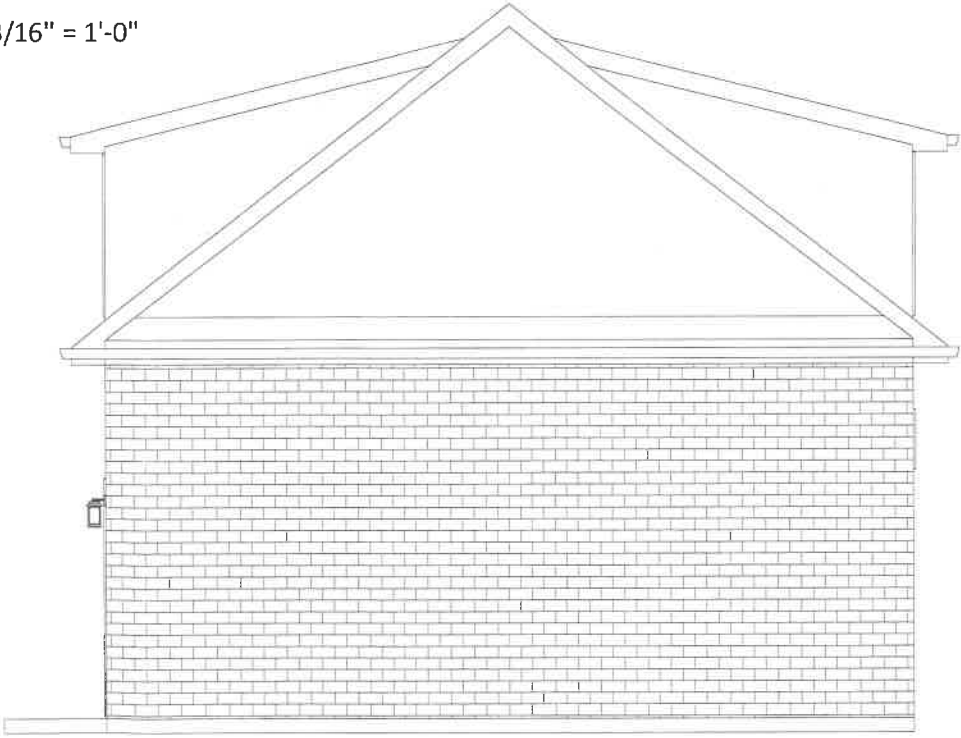
RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

* These drawings are for illustration purposes only. Vaulted ceiling or attic heights are approximate and will be confirmed with the permit submission plans.

* Exact materials, colors and styles will be selected on proposal.

Agenda Item 5
1091 Breckenridge Avenue
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey – Existing Conditions
Proposed Site Plan
Elevations
Roof Plan
Cross Section
Floor Plans
Streetscape Elevations
Tree Inventory
Conceptual Landscape & Hardscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1091 Breckenridge Avenue

Consideration of a new residence with an attached garage on a vacant property and consideration of the associated hardscape and a conceptual landscape plan.

Property Owner: James Passalino

Applicants: Liza and Idar Lamo

Architect: Richard Hunt

Presented by: James Passalino

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new single family residence with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

The lot is located in the Lake Forest Heights subdivision which was recorded in 1924. The surrounding established neighborhood contains homes of varying architectural styles that were mostly built in the 1980's. This is one of the few remaining vacant lots in the subdivision.

The lot is located on the east side of Breckenridge Avenue at the northeast corner of Breckenridge and Wilshire Road. The lot is a reversed corner lot where the front yard faces Breckenridge Avenue and the corner side yard faces Wilshire Road. The neighboring lot to the rear fronts Wilshire Road, while the neighboring lot to the north side yard fronts Breckenridge Avenue. The subject property is just over one-third of an acre in size.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The proposed residence is oriented west, toward Breckenridge Avenue. The home is sited approximately 42' from the front property line and complies with the zoning setbacks for the R-2 Zoning District and those prescribed for the lot in the plat of subdivision. A single curb cut is proposed. A sidewalk runs along the south (or corner side yard) along Wilshire Road and not in front of the proposed residence.

The asphalt driveway leads to a front-loaded, attached two-car garage. The predominant garage orientation within the subdivision is front loaded with some homes featuring side-loaded garages. A walkway leads to the front covered entrance. A brick and concrete paver patio is proposed in the rear.

The site plan indicates the amount of proposed impervious surface area on the site totals 4,431 square feet, equal to 29.5% of the lot area.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,400 square feet is permitted with allowances of 576 square feet for a garage and 340 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,393 square feet.
- In addition to the above square footage, 89 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 576 square feet and does not exceed the allowance.
- In total, the residence is 7 square feet, equal to .21% below the maximum allowable square footage.

At its tallest peak, the residence is approximately 30 feet. The maximum height allowed for a residence on this size lot is 30 feet.

Consistent with standard practice, as built surveys will be required during the construction process to verify the square footage and height as measured from the point of existing lowest grade to the highest peak conforms with the Code and with the approved plans.

Elevations – This standard is generally met.

The petitioner identifies American Farmhouse as the intended architectural style of the home. American Farmhouse style homes are recognized by their steep front gabled roofs and simple rooflines. The style features a centered or slightly off-set front entrance, tall, vertically proportioned windows, and board and batten siding with stone or brick bases. This architectural style is characterized by a restrained, clean profile with minimal ornamentation.

The west (front) elevation features various roof forms. The main mass of the home is a hipped roof. A central steep gabled roof with a first floor box bay vertically oriented window steps out from the main mass. The front entrance is located on the south portion of the home and steps in slightly from the central gabled mass. A smaller gable element frames an arched window with a smaller gable element centered on a shed

roof supported by two wooden columns steps out to create a covered entrance. Two windows on either side of the main door replicate the vertical orientation of the windows found on the box bay window.

The front-facing garage is stepped in from the central gable element. The garage features a gable roof with two large shed dormers visible on either side. The south facing garage dormer appears to be obscured by the central gable element on the house that extends in front of it. Even though it is set in, the garage remains a more prominent feature than the front entrance with the two shed dormers appearing heavy. A singular oval window is located on the saddle roof between the garage dormers and central gable. Simplification of the roof forms may be beneficial to achieve greater consistency with the intended style. Board input is requested on the roof forms, window sizes, and the garage dormers.

The west (right) side elevation faces Wilshire Road. Various roof forms are visible and contribute to the appearance of complex rooflines. A central hipped roof dominates with other roof forms stepping down and out on both the front and rear. Towards the front (or the left side of the elevation), an arched window is visible directly below the only gable roof on the west elevation. The entrance and central gabled mass of the front elevation are visible. There is a first floor shed dormer element on the central mass, towards the rear of the home, that disrupts the continuity of form. Towards the rear, a sunroom steps down and extends out. The roof is hipped but concludes with a gazebo roof and a gazebo shaped space at its furthest projection. The windows are of different sizes and may benefit from consistency. The west elevation could benefit from further study and refinement.

The south (rear) elevation features two hipped roof forms, set off from one another. An outdoor chimney is centrally located between two sets of French doors which lead out onto a hardscape patio. The sunroom at the south (left) side extends outward with a gazebo shaped room. The window shape and arrangement on the rear elevation could be improved to better balance solids to voids.

The north (east) side elevation again displays complex roof forms. The north shed dormer roof on the garage is visible and breaks up the continuity of form. The front central mass and front entrance are also visible, while the garage appears tucked back.

Staff Recommendation: Simplify complex roof forms. Create a clearer hierarchy of massing on the front elevation.

Staff Recommendation: Refine windows throughout to balance solids to voids and for consistency overall.

Type, color, and texture of materials – This standard is mostly met.

The primary exterior materials proposed are brick and fiber cement siding that will be in the form of vertical batten siding. Detail on the size of the panels should be provided during the presentation to the Board along with information on the proposed fiber cement product. The vertical batten siding is not used on all elevations. In the central gabled area on the front elevation where the vertical batten siding is the dominant material, a brick water table is shown. The brick veneer must be at least 4 inches thick.

The windows will be simulated divided lites with interior and exterior muntin bars affixed. Additional detail is needed regarding the finish and color of the proposed casement and sliding windows. The door and window trim is identified as brick; however, it appears the only window or door with brick trim is the circle window located on the rear elevation. Clarification of the door and window trim is needed. Wood is proposed for the fascia, soffits and rakeboards. The roof will feature architectural asphalt shingles. A metal roof is proposed for the sunroom. The panels should be no wider than 12 inches to provide a residential scale and character. The petitioner should specify the color of the metal seam roof. The gutters and downspouts are proposed as aluminum. The garage doors are also aluminum and include windows. As noted above, the driveway will be asphalt and brick and concrete pavers will be used for the front walkway and rear patio.

The petitioner is expected to provide samples of all exterior materials and the color palette at the meeting.

Staff Recommendation: Identify the fiber cement siding product and color.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches and the brick shall be at least four inches thick.

Staff Recommendation: Provide samples of all exterior materials and the proposed color palette for the house overall.

Staff Recommendation: Confirm brick will be used for door and window trim.

Staff Recommendation: Exterior materials should be consistently used on all four elevations, and all four elevations should be detailed to the same level.

Landscaping - This standard is met.

The tree survey identifies eleven trees for removal. Most of the trees identified are identified as dead, diseased or hazardous. The petitioner provided a preliminary grading plan which indicates that the entire lot will be regraded which will impact the viability of the remaining fifteen trees. Replacement tree inches will be determined after a final tree removal plan, drawn on the grading plan, is submitted. Plantings meeting the Code requirements for new homes and additional plantings for screening should be reflected on the landscape plan. There are City trees located in the parkway that will need to be protected during construction. Any parkway trees that, in the determination

of the City's Certified Arborist are negatively impacted will require payment to support replacement plantings by the City.

The conceptual landscape plan proposes seven ornamental/understory trees and four evergreens. Foundation plantings are indicated on most elevations. Foundation plantings are required around the perimeter base of the residence. As noted above, additional plantings should be reflected on the final landscape plan along the perimeter of the property to provide some level of year round screening especially if the grading of the lot results in the loss of the existing vegetative screening.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Clearly indicate all trees that will be impacted by grading and construction on the plans submitted for permit. Indicate replacement plantings for screening purposes around the perimeter of the property.

Staff Recommendation: Prepare a final landscape plan that fully meets Code requirements for new residences, including foundation plantings around the perimeter base of the residence, and provide additional screening along property lines.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no comments have been received in response to the public notice provided.

Recommendation

Recommend approval of a new residence with an attached garage on a vacant parcel at 1091 Breckenridge Avenue along with the associated hardscape. The landscape plan is addressed in the conditions of approval. The recommendation is subject to the following conditions of approval

1. Prior to submittal for permit, the following shall be addressed:

Elevations and Exterior Materials

- a. Simplify complex roof forms. Create a clearer hierarchy of massing on the front elevation.
- b. Refine windows throughout to balance solids to voids and for consistency overall.
- c. Identify the fiber cement siding product and color.

- d. Confirm brick will be used for door and window trim.
- e. Standing seam roof panels shall be no wider than 12 inches and the brick shall be at least four inches thick.
- f. Consistently use exterior materials on all elevations and all four elevations should be detailed to the same level.

Tree Removal and Landscape Plan

- a. Clearly indicate all trees that will be impacted by grading and construction on the plans submitted for permit. Indicate replacement plantings for screening purposes around the perimeter of the property.
 - b. Prepare a final landscape plan that fully meets Code requirements for new residences, including foundation plantings around the perimeter base of the residence, and provide additional screening along property lines.
2. All modifications to the plans, including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit the following shall be submitted and will be subject to staff review and approval:

Tree Protection

- a. A tree protection fencing plan. Fencing must be installed prior to issuance of permits.

Drainage and Grading

- b. Detailed drainage and grading plans. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- c. Details of all exterior lighting proposed on the structure and any landscape lighting with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be

fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- d. A plan for contractor parking and equipment and materials' staging. The adjacent and nearby streets must remain clean and passable throughout construction. Driveways may not be blocked.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 1091 Breckenridge Ave Owner James Passalino
 Representative: James Passalino Reviewed by: S. Thomas
 Date 8/6/2026
 Lot Area 15000 sq. ft. Allowed Square Footage 3400

Square Footage of Residence

1st floor 1751 + 2nd floor 1642 + 3rd floor 0 = 3393 sq. ft.

Design Element Allowance = 340 sq. ft.

Total Actual Design Elements = 89 sq. ft. Excess = 0 sq. ft.

Garage 576 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 3393 sq. ft.

TOTAL SQUARE FOOTAGE = 3393 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3400 sq. ft.

DIFFERENTIAL = 7 sq. f. **NET RESULT:**
Under Maximum 7 sq. ft. is

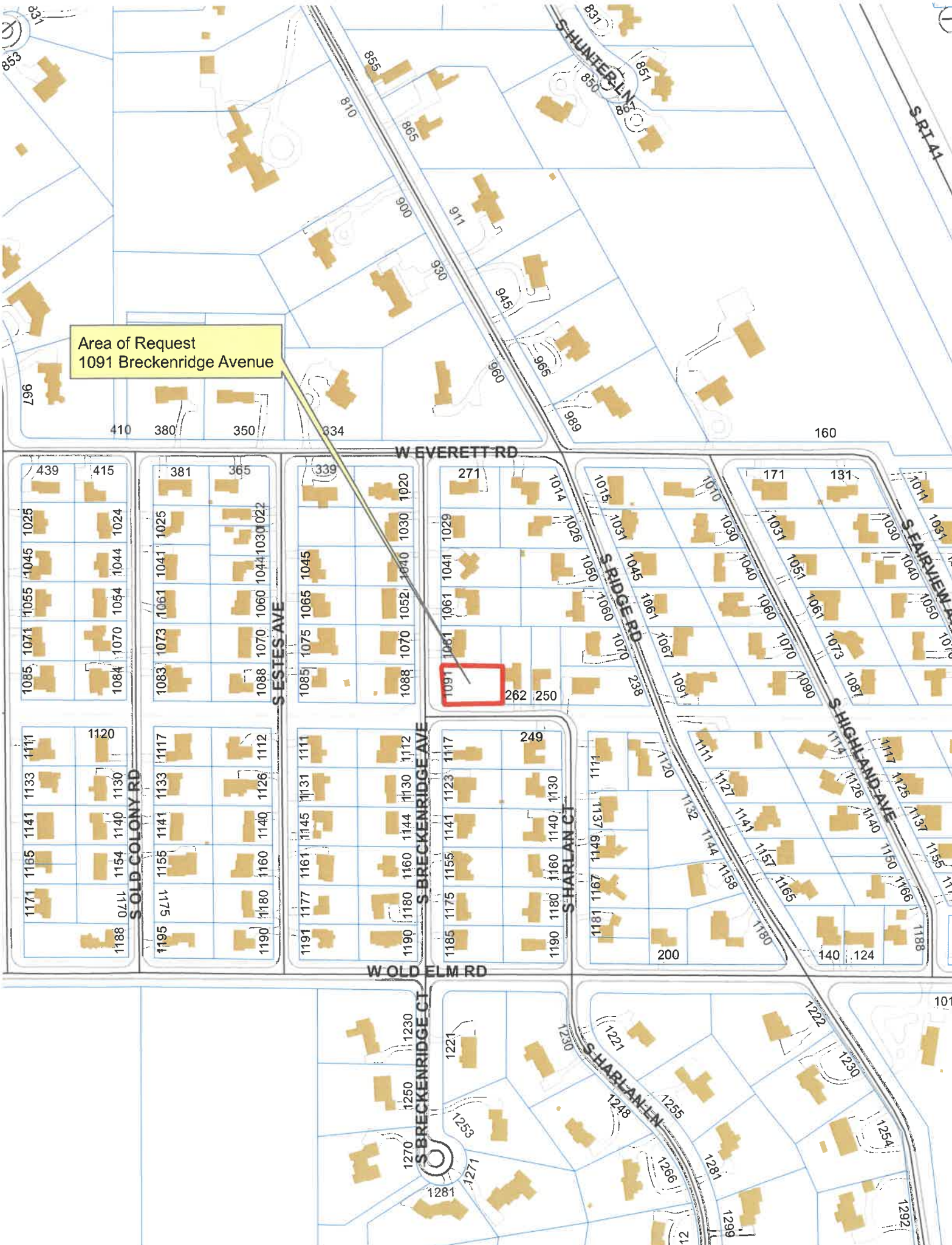
Allowable Height: 30 ft. Actual Height 30.0 ft. 0.21% under
 Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 340 sq. ft.

Open Porches = 0 sq. ft.
 Screen Porches = 0 sq. ft.
 Covered Entries = 68 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Dormers = 0 sq. ft.
 Bay Windows = 21 sq. ft.

Total Actual Design Elements = 89 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
1091 Breckenridge Avenue

W EVERETT RD

W OLD ELM RD

S OLD COLONY RD

S ESTATES AVE

S BRECKENRIDGE AVE

S CHARLTON CT

S RIDGE RD

S HIGHLAND AVE

S EARVIEW AVE

S BRECKENRIDGE CT

S CHARLTON LN

S R T 141



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

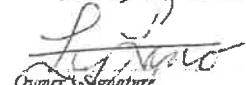
PROJECT ADDRESS 1091 BRECKENRIDGE, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
☐ New Residence	☐ Demolition Complete	☐ New Building	☐ Landscape/Parking
☐ New Accessory Building	☐ Demolition Partial	☐ Addition/Alteration	☐ Lighting
☐ Addition/Alteration	☐ Height Variance	☐ Height Variance	☐ Signage or Awnings
☐ Building Scale Variance	☐ Other	☐ Other	

PROPERTY OWNER INFORMATION

JAMES PASSALINO
2707 MILWAUKEE DR L440
Owner of Property 5101 WASHINGTON ST
2707 MILWAUKEE DR
Owner's Street Address (may be different from project address)
GURNEE, IL 60031
CHICAGO, IL 60614
City, State and Zip Code
847-528-1024 847-652-8131
Phone Number
jamespassalino@gmail.com
liza.passalino@gmail.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

JAMES PASSALINO - ATTORNEY
Name and Title of Person Presenting Project
SARITOGA PARTNERS, LLP
Name of Firm
5101 WASHINGTON ST #14
Street Address
GURNEE, IL 60031
City, State and Zip Code
847-652-8131
Phone Number
jamespassalino@gmail.com
Email Address

Representative's Signature (Architect/Builder)



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| ☒ Stone | ☐ Aluminum Siding |
| ☒ Brick | ☐ Vinyl Siding |
| ☐ Wood Clapboard Siding | ☐ Synthetic Stucco |
| ☐ Stucco - True Cement | ☐ Other <u>FIBERCEM SIDING</u> |
| ☐ Wood Shingle | |
| Individual or Panels? _____ | |

Color of Material _____

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☒ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish _____

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☒ Brick
☐ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☒ Brick
☐ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Foundation Material

- ☐ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Asphalt Shingles
 ☐ Standard
 ☒ Architectural Asphalt
☐ Metal
☐ Synthetic Product _____
 Manufacturer _____
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal
☐ Other _____

Skylights

- ☐ Proposed
☐ Existing
☒ None

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone/Gravel

☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Garage Doors

- ☐ Solid
☒ Windows
☐ Material _____

Accessory Structure

- ☐ Type 9'x8'
☐ Materials ALUMINUM
☐ Color _____

STATEMENT OF INTENT

1091 Breckenridge Ave.
Lake Forest, IL. 60045

Liza and Idar Lamo, the owners of the above property intend to construct a single family home on the above site in the for their growing family. It is the Lamo's deeply-held desire to become an integral part of the Lake Forest community in general and the Lake Forest Heights neighborhood specifically and so, they hope to present an outward-facing aspect to their friends and neighbors. The intended design of the residence seeks to combine Mr. Lamo's attraction to a clean-lined, minimalist approach, perhaps owing to his erstwhile Norwegian citizenship, (he has only recently become an American citizen), with Ms. Lamo's traditional, American aesthetic inculcated from her time here growing up in Lake Forest. In any case, inasmuch as the residence's architecture can evince the personalities of its owners, the Lamo's hope their home demonstrates their wish to become part of the fabric of the community.

The design combines two, different exterior architectural textures and colors, incorporating brick and siding to add interest and variety, as well as a roof that includes gables, hip and shed roofs to add interest. Special attention was paid to the west and south elevations. Approaching the structure from the south, the direction from which the house is most visible, the design then pivots on the dual-sided entry tower emphasizing the corner position of the lot and bringing the viewer's line of sight toward the front elevation. Square columns supporting a deep overhang flank the main entry door offering a focal point in the front facade.

The garage is positioned in the northwest corner of the lot to allow for more windows in the common rooms of the house and therefore, more direct, natural light on the quite prominent south elevation as well as in deference to the Lamo's neighbors to the north whose garage is located on the southwest corner of their floor plan and therefore, adjacent to the Lamo's garage. In addition to the garage, the north neighbor's south-facing elevation includes only a single window, an arrangement that minimizes the impact when viewing the north elevation of 1091 Breckenridge; this configuration dovetails well with the Lamo's north elevation which, again, includes the garage. The rear elevation includes a sunroom and chimney with outside fireplace, and a round, second story fixed window all intended to add depth, warmth and interest in equal measure. Those elements demonstrate the homey, family-friendly attitude of the homeowners toward their neighbors to the south.

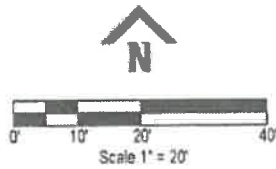
The four bedroom residence seeks to take its place among the other varied architectural styles extant on Breckenridge Ave., fitting with the family-oriented feel of Lake Forest Heights and providing an attractive addition to the neighborhood.

PLAT OF SURVEY

LOT 9 IN BLOCK 4 IN LAKE FOREST HEIGHTS, A SUBDIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER WEST OF THE CHICAGO AND NORTHWESTERN RAILWAY COMPANY AND THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER IN SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 9, 1924 AS DOCUMENT 237997, IN BOOK "M" OF PLATS, PAGE 70, IN LAKE COUNTY, ILLINOIS.



Digitally signed by Jack R. Bleck
DN: cn=Jack R. Bleck, o=Bleck
Engineering Co., Inc.,
ou=Professional Land Surveyor,
email=jrbleck@bleckeng.com, c=US
Date: 2025.09.19 14:29:20 -05'00



PLAT IS VOID IF IMPRESSED
SEAL DOES NOT APPEAR

STATE OF ILLINOIS } S.S.
COUNTY OF LAKE }

NOTE: ONLY THOSE BUILDING LINES OR EASEMENTS SHOWN ON THE RECORDED SUBDIVISION PLAT ARE SHOWN HEREON; CHECK LOCAL ORDINANCES BEFORE BUILDING. COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.

ON BEHALF OF BLECK ENGINEERING COMPANY, INC., I, JACK R. BLECK, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED IN THE ABOVE CAPTION WAS SURVEYED AND STAKED BY ME, OR UNDER MY DIRECTION, AND THE PLAT DRAWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY MEASUREMENTS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED AT LAKE FOREST, ILLINOIS, THIS 17TH DAY OF SEPTEMBER A.D., 2025.

BY Jack R. Black
REGISTERED ILLINOIS LAND SURVEYOR NO. 3591

lot 8

large along line ±

utility box

light

sign

lot 9

lot 10

lot 11

lot 12

lot 13

lot 14

lot 15

lot 16

lot 17

lot 18

lot 19

lot 20

lot 21

lot 22

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lot 368

lot 36

ABBREVIATIONS:
m. or meas. = measured
r. or rec. = record
CB = chord bearing
CH = chord length
R = radius
L = arc length
N = North
S = South
E = East
W = West
S.F. = square feet
FIP = found iron pipe
FIR = found iron rod

Project No. 70-1337-1

BLECK

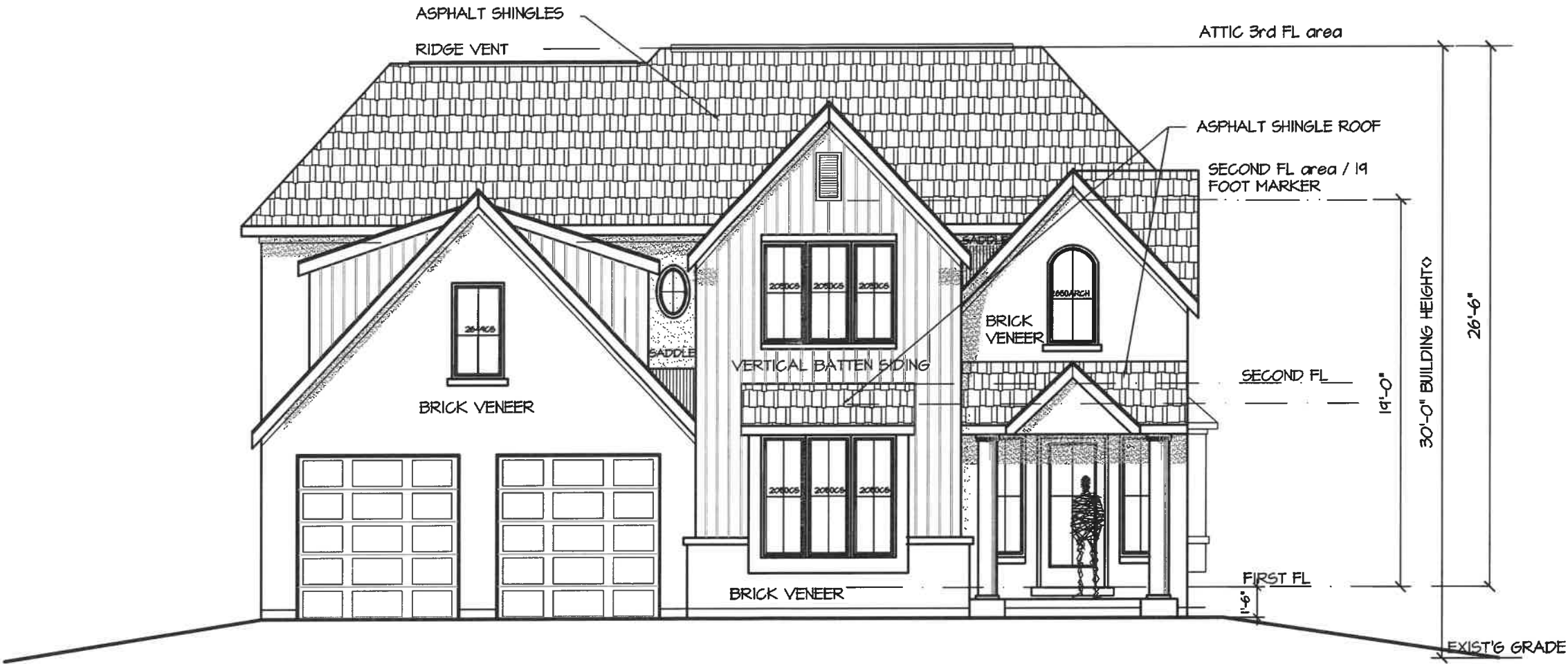
engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045

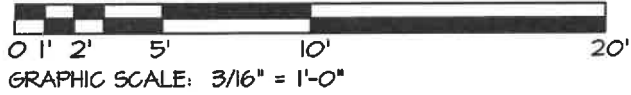
T 847.295.5200 F 847.295.7081
www.bleckeng.com

Drawing Name
Existing Conditions /
Site Grading Plan

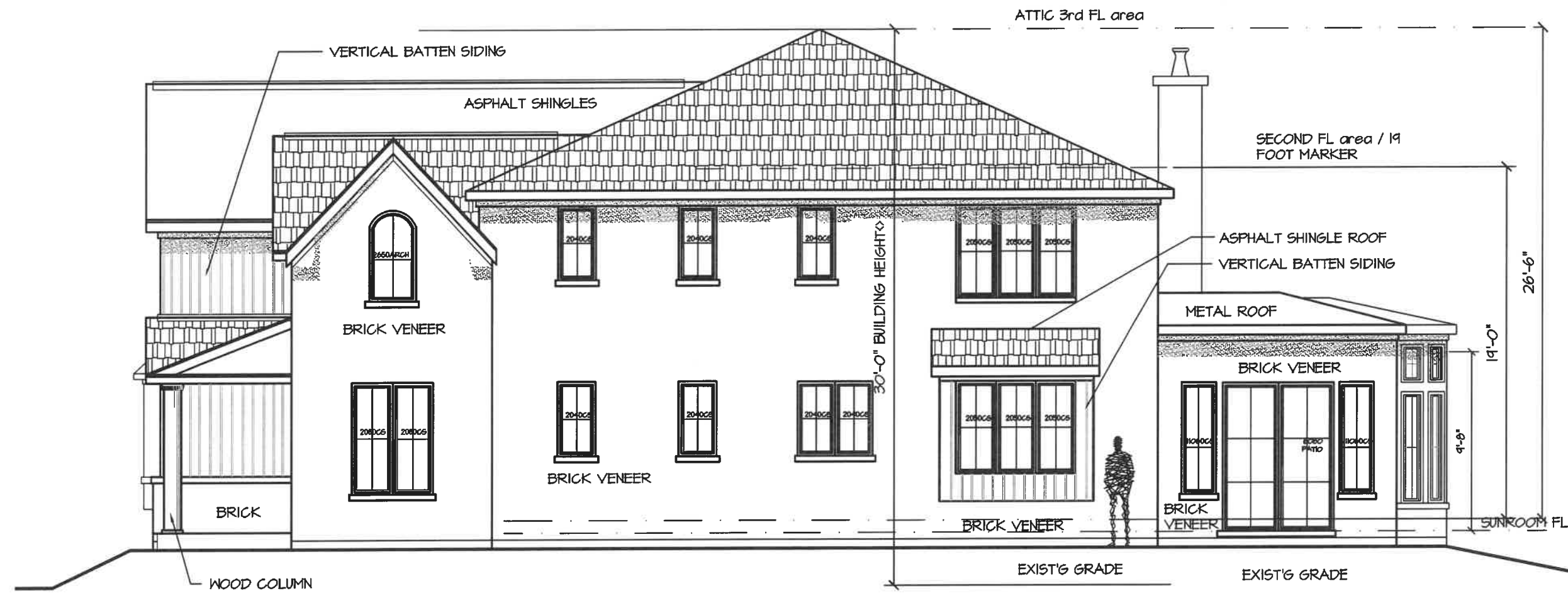
- ① **STABILIZED CONSTRUCTION ENTRANCE**
Temporary 6' Chain Link Fence w/ Steel Posts
- ② **TREE PRESERVATION & CONSTRUCTION LIMITS FENCE**
Tree protection fence
- ③ **SILT FILTER FENCE**
Shall comply with AASHTO Standard M 236-00
Silt fence
- ④ **MUD AND DUST CONTROL**
- ⑤ **TEMPORARY INLET PROTECTION**
All open lot structures to have Catch All Inlet Protector or approved equal.
- ⑥ **RESTORATION**
See landscape drawings for final stabilization.
- ⑦ **PORTA POTTY - MIN. 10' OFF PROPERTY LINE**
- ⑧ **DUMPSTER - MIN. 5' OFF PROPERTY LINE**
- ⑨ **MATERIAL STORAGE**
- ⑩ **DIRT STOCKPILE**
- ⑪ **CONTRACTOR PARKING**



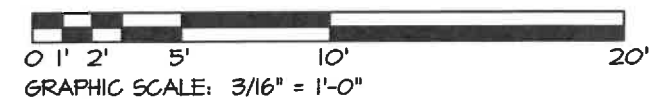
FRONT ELEVATION



	LAMO RESIDENCE 1091 BRECKENRIDGE, LAKE FOREST, IL	HUNT AND HUNT ARCHITECTS (312) 775-2670 40 SEQUOIA RD. / HAWTHORN WOODS, IL. 60047 GRHUNT@HUNTARCHITECTS.NET 20260717
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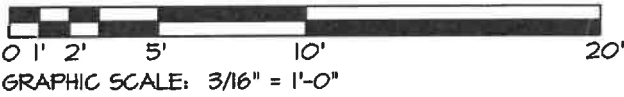
RIGHT SIDE ELEVATION



LAMO RESIDENCE 1091 BRECKENRIDGE, LAKE FOREST, IL	HUNT AND HUNT ARCHITECTS (312) 775-2670 40 SENOIA RD. / HAWTHORN WOODS, IL. 60047 GRHUNT@HUNTARCHITECTS.NET	20260717
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REAR ELEVATION



	LAMO RESIDENCE 1091 BRECKENRIDGE, LAKE FOREST, IL	HUNT AND HUNT ARCHITECTS (312) 775-2670 40 SEQUOIA RD. / HAWTHORN WOODS, IL. 60047 GRHUNT@HUNTARCHITECTS.NET	20260717
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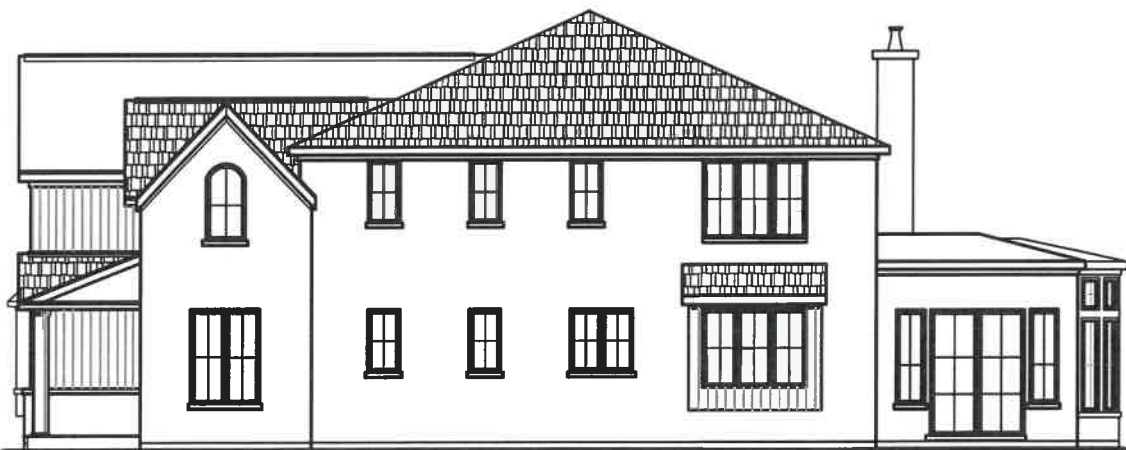
STREETSCAPE ELEVATIONS



BRECKENRIDGE ADJACENT PROPERTY FRONT ELEVATION
SCALE 1/4"=1'-0"



FRONT ELEVATION (@ BRECKENRIDGE AVE)
SCALE 1/4"=1'-0"



RIGHT SIDE ELEVATION (@WILSHIRE RD)
SCALE 1/4"=1'-0"



WILSHIRE RD ADJACENT PROPERTY FRONT ELEVATION
SCALE 1/4"=1'-0"