

Agenda Item 3
1175 Old Colony Road
Request for Extension of Previous Approval
New Single-Family Residence on a Vacant Lot

Staff Memo
Vicinity Map
Meeting Action Summary 6.5.2026
Excerpt of the Building Review Board Minutes 6.5.2026

Materials Submitted by Petitioner

Extension Request
Application
Site Plan
Elevations
Preliminary Landscape Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



MEMORANDUM

To: Chairman Looby and members of the Building Review Board

From: Luis Prado, Planner

Date: July 29, 2026

Subject: **1175 Old Colony – Request for an Extension of Approval**

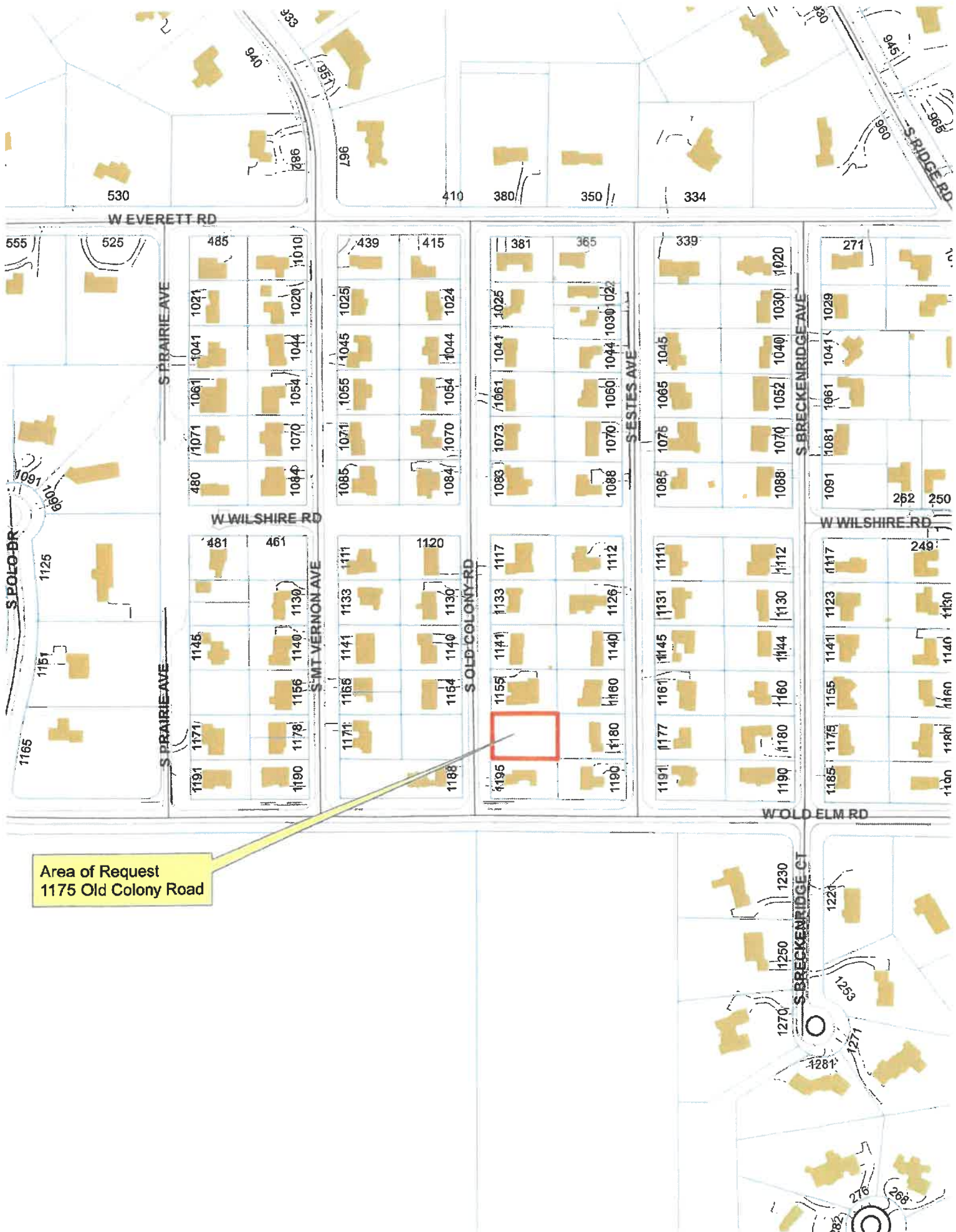
This is a request for an extension of the previous approval of a new single family residence on a vacant property at 1175 Old Colony Road. Based on a recommendation from the Building Review Board, the City Council approved the petition on August 5, 2024. Approvals are valid for two years, the approvals for this petition will expire on August 5, 2026.

Prior to the expiration of the approvals, all required plans and information must be on file with the City and permits issued. Construction need not be complete. To date, no permits have been issued for this project. The property owner, who is the original petitioner, did not pursue construction of the home due to personal circumstances. No changes to the site plan or the residence are proposed. The previously approved conditions of approval remain the same.

Attached to this memorandum, please find the previously approved plans, the staff report and an excerpt of the minutes from the June 2024 meeting. The Meeting Action Summary from June 2024 is also attached.

Staff Recommendation

Based on the previous review and approval of this petition, staff recommends that the Board approve a motion extending the approval of the petition for an additional two years, until August, 2028. This extension will require that the building permits for the project are picked up and all associated fees paid prior to that date.



Area of Request
1175 Old Colony Road



BUILDING REVIEW BOARD Meeting Action Summary

On June 5th, 2024, the City of Lake Forest Building Review Board considered the following petition.

Petition Address: 1175 Old Colony Road
Property Owner: Mary Milligan Funk
Representative: Mary Milligan Funk
Project Description: New Single-Family Residence on a Vacant Lot
(Continued)

Board Action: The Board voted 5 to 0 to recommend approval subject to the follow conditions.

1. Detail the exterior materials on the plans submitted for permit. The exterior materials and color palette will be subject to staff review for compliance with the materials as represented to the Board.
2. All modifications and refinement made to the plans in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review significant changes in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and recommendation for approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit, a detailed tree survey must be submitted to the City for review. Tree species, condition, and size must be provided. City staff will review the existing trees in the context of the drainage and grading plan and determine the required replacement tree inches and if appropriate, require pre and post construction treatment of the trees intended to remain.
4. Prior to the issuance of a building permit, the following materials must be provided and will be subject to review and approval by the City.
 - a. A detailed landscape and hardscape plan. The plan shall, at a minimum, meet the landscape standards for new residences detailed in the Code

- and all required replacement tree inches on site for trees removed to the extent possible using good forestry practices. Any inches not able to be accommodated on the site shall be compensated through a payment in lieu of on site planting and will be used to plant parkway trees in the general area of the property. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
- b. A plan to protect the parkway trees, trees on neighboring properties, and trees on the site intended for preservation that may be impacted during site preparation and construction.
 - c. A drainage and grading plan. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
 - d. A lighting plan including cut sheets for all light fixtures proposed outside the house and on the site. All fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
 - e. A plan for construction parking and materials' staging. Old Colony Road shall remain passable and free of mud and debris at all times.
-

This approval is valid for a period of 2 years from the date of final approval by the City Council. Upon review of the final plans and a determination that the plans are consistent with the approvals granted and with all applicable Code provisions, permits will be issued to allow work on the site to begin. A building permit must be obtained, and all applicable fees paid prior to the 2-year expiration date.

Following the guidelines below will help expedite the City's review of your plans and the issuance of permits for your project.

- ✓ All construction drawings submitted for permit should accurately reflect the approvals granted and respond to all conditions of approval.
- ✓ If the plans submitted for permit differ from the approvals, all changes including, but not limited to, changes to exterior materials, building massing, the site plan, grading, window or door placement or size, or architectural detailing should be highlighted clearly on the plans.
- ✓ If the plans submitted differ from the approvals granted, further Board and City Council review of the project may be required.
- ✓ Construction must begin within 90 days of the issuance of the permit. All construction must be consistent with the approved plans and must

proceed in a diligent manner. If changes are desired or necessary after work is underway, please contact City staff to discuss the process for review of proposed revisions to the approved plans.

If you have any questions or need additional information, please contact Luis R. Prado, Assistant Planner at pradol@cityoflakeforest.com at 847-810-3520.

cc: Property Owner/Architect
Permit File – BSA

Excerpt
**The City of Lake Forest
Building Review Board
Proceedings of June 5, 2024 Meeting**

A regular meeting of the Lake Forest Building Review Board was held on Wednesday, June 5, 2024 at 6:30 p.m., at the Municipal Services Building, 800 Field Drive, Lake Forest, Illinois.

Building Review Board members present: Chairman John Looby and Board members Scott Renken, Joanne Bluhm, Sarah Lamphere, and Sally Downey

Building Review Board members absent: Eric Lohmueller and Justin Stamer

Staff present: Luis Prado, Assistant Planner, Abigail Vollmers, Senior Planner, and Catherine Czerniak, Director of Community Development

**3. Continued consideration of a new residence on a vacant lot at 1175 Old Colony Road.
A conceptual landscape plan will also be presented.**

Owned and Presented by: Mary Milligan Funk

Chairman Looby asked the Board members for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Ms. Milligan Funk reviewed that a two story home is proposed on a third of an acre vacant parcel. She stated that her goal is to build a healthy house, using materials that promote the health of its occupants. She stated that the house will be slab on grade and the windows and doors will be inset to provide depth and richness. She reviewed the proposed exterior materials noting that zinc colored 12 inch wide standing seam metal, wood trim and shutters, and aluminum gutters are proposed. She stated that the house complies with the allowable square footage and height limitations. She addressed comments from the last Board meeting noting that the driveway is reconfigured to comply with the maximum width of 16 feet within the front yard setback and noted that the intended rear patio is now reflected on the site plan. She stated that the plans overall now reflect greater detail including clarification on the attic and enhanced detail on each elevation. She stated the intent to preserve as many trees on the site as possible and that landscaping that exceeds the minimum required by the Code for a new house will be added to the site in the future. She stated that a gravel driveway is planned with a brick or bluestone border adding that the patio will also be brick or bluestone. She stated that in response to comments from the Board, the gutters, scuppers, and downspouts will be consistent around the home. She stated that the images presented reflect the actual garage door. She compared the elevations presented at the last meeting to the elevations as now proposed and pointed out areas of change including the addition of windows and

shutters in some areas, modifications to some of the window groupings and sizes, and the addition of a dormer on the east elevation. She stated that in response to questions from the Board, white stucco is proposed with a smooth finish. She provided an illustration of the inset windows and doors adding that limestone sills are proposed along with simulated divided lites. She presented a sample of the green color planned for the doors. She stated that the light fixtures over the garage door and the front door will be natural gas.

Mr. Prado stated that the revised plans presented by the petitioner take into account the comments and questions offered by the Board at the last meeting. He stated that findings are presented in the staff report in support of the petition as now presented along with recommended conditions of approval.

Chairman Looby invited questions and comments from the Board.

Board member Bluhm complimented the changes made and thanked the petitioner for her responsiveness.

In response to a question from Board member Lamphere, Ms. Milligan Funk confirmed that the chimney will be masonry with a stucco finish.

Board member Downey thanked the petitioner for her responsiveness to the Board's previous comments. She stated that in her opinion, a stucco chimney is appropriate.

Board member Renken stated that the changes make the project even better than it was when originally presented. He noted that the revisions address the concerns about proportions and the lack of detail on the expansive, unbroken walls.

In response to questions from Board member Renken, Ms. Milligan Funk acknowledged that backing out of the garage will be tight but noted that the driveway cannot exceed 16 feet in width in the front yard setback. She stated that the house cannot be pushed back due to trees in the rear yard that are intended for preservation. She stated that lightweight concrete block will be used for the wall construction and will also serve as insulation.

Chairman Looby stated appreciation for the time and effort put in by the petitioner to respond to the Board's comments. He thanked the petitioner for providing samples of the exterior materials.

In response to a question from Chairman Looby, Ms. Milligan Funk stated that she has not yet determined the material that will be used for the base of the driveway.

Hearing no further questions from the Board, Chairman Looby invited public. Hearing none, he invited final questions or comments from the Board. Hearing none, he invited a motion.

Board member Downey made a motion to recommend approval of a new residence and attached garage at 1175 Old Colony Road based on the findings presented in this staff report which are adopted by the Board as part of the motion and incorporating the Board's deliberations as additional findings subject to the following conditions of approval.

1. Detail the exterior materials on the plans submitted for permit. The exterior materials and color palette will be subject to staff review for compliance with the materials as represented to the Board.
2. All modifications and refinement made to the plans in response to Board direction or as the result of final design development, shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review significant changes in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and recommendation for approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit, a detailed tree survey must be submitted to the City for review. Tree species, condition, and size must be provided. City staff will review the existing trees in the context of the drainage and grading plan and determine the required replacement tree inches and if appropriate, require pre and post construction treatment of the trees intended to remain.
4. Prior to the issuance of a building permit, the following materials must be provided and will be subject to review and approval by the City.
 - a. A detailed landscape and hardscape plan. The plan shall, at a minimum, meet the landscape standards for new residences detailed in the Code and all required replacement tree inches on site for trees removed to the extent possible using good forestry practices. Any inches not able to be accommodated on the site shall be compensated through a payment in lieu of on site planting and will be used to plant parkway trees in the general area of the property. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.
 - b. A plan to protect the parkway trees, trees on neighboring properties, and trees on the site intended for preservation that may be impacted during site preparation and construction.
 - c. A drainage and grading plan. No grading or filling shall be permitted except the absolute minimum necessary to meet accepted engineering standards and practices.
 - d. A lighting plan including cut sheets for all light fixtures proposed outside the house and on the site. All fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

- e. A plan for construction parking and materials' staging. Old Colony Road shall remain passable and free of mud and debris at all times.

The motion was seconded by Board member Renken and was approved by a vote of 5 to 0.

Prado, Luis

From: Mary Milligan-Funk <mary.restorativehomes@gmail.com>
Sent: Tuesday, June 16, 2026 2:41 PM
To: Prado, Luis
Subject: BRB Approval Extension Request

Follow Up Flag: Follow up
Flag Status: Completed

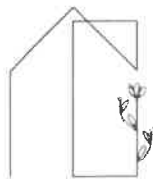
CAUTION: This email originated from outside the organization. Verify the legitimacy of the email with the sender before clicking links or opening attachments from unexpected sources.

Hi Luis,
Per your request:

The Lake Forest BRB approved plans for new construction at 1175 Old Colony Road on June 5, 2024. Due to family obligations and circumstances the project was delayed. I am writing to request you would kindly grant us an eight month extension on this approval. Thank you for your consideration.

Kind regards,
Mary Milligan Funk

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RESTORATIVE HOMES

MARY MILLIGAN FUNK
RESTORATIVE HOMES, INC.
STEAMBOAT SPRINGS, CO 80487
MARY.RESTORATIVEHOMES@GMAIL.COM



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1175 Old Colony Rd.

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
☒ New Residence	☐ Demolition Complete	☐ New Building	☐ Landscape/Parking
☐ New Accessory Building	☐ Demolition Partial	☐ Addition/Alteration	☐ Lighting
☐ Addition/Alteration	☐ Height Variance	☐ Height Variance	☐ Signage or Awnings
☐ Building Scale Variance	☐ Other	☐ Other	

PROPERTY OWNER INFORMATION

Mary Milligan Funk
Owner of Property

Owner's Street Address (may be different from project address)

City, State and Zip Code

847-269-7897
Phone Number Fax Number

Mary.restorativehomes@gmail.com
Email Address

Mary Milligan Funk
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Mary Milligan Funk
Name and Title of Person Presenting Project

Restorative Homes, Inc.
Name of Firm

1959 Indian Trl
Street Address

Stamboat Springs, Co 80487
City, State and Zip Code

847-269-7897
Phone Number Fax Number

Mary.restorativehomes@gmail.com
Email Address

Mary Milligan Funk
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

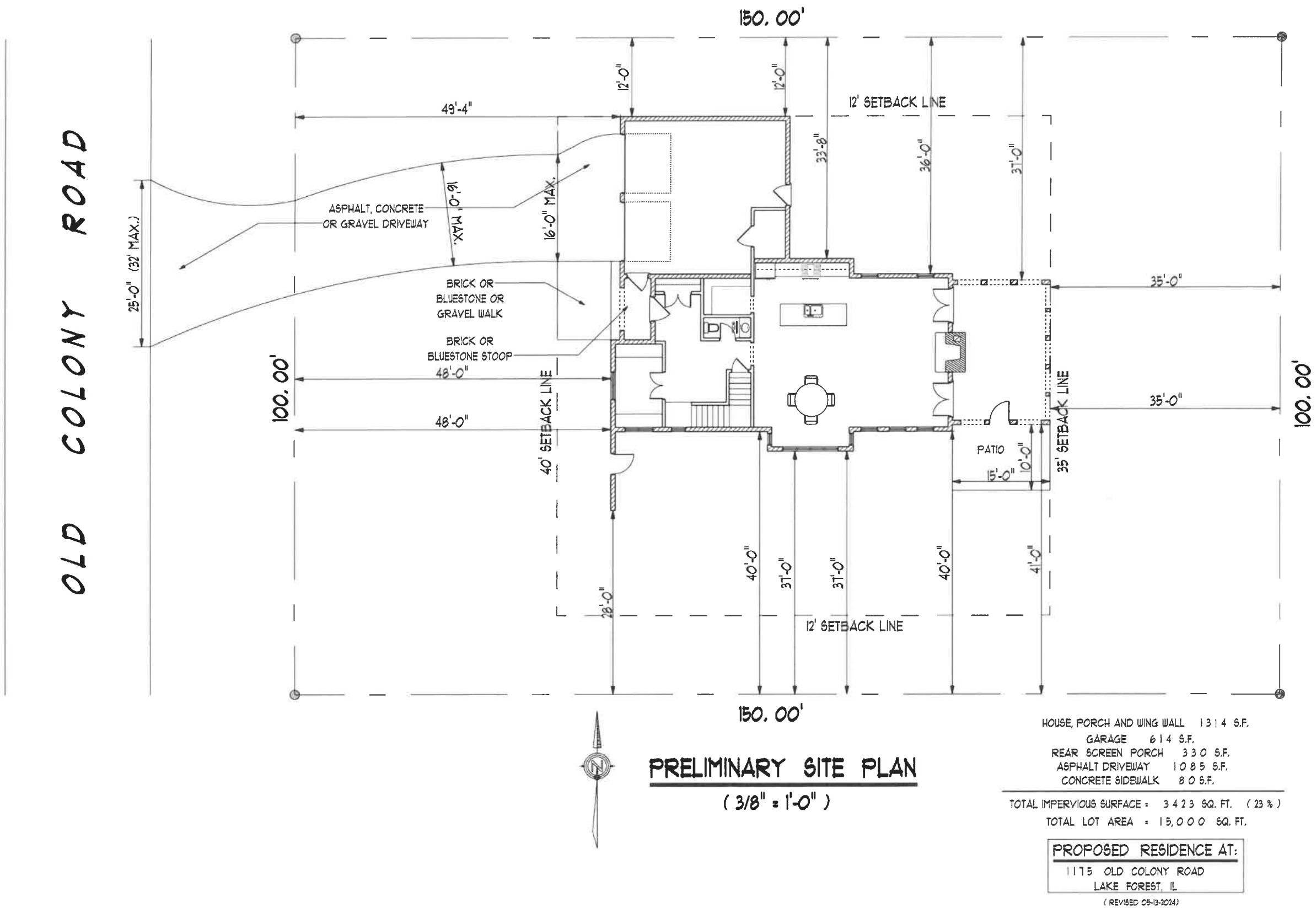
☒ OWNER ☒ REPRESENTATIVE

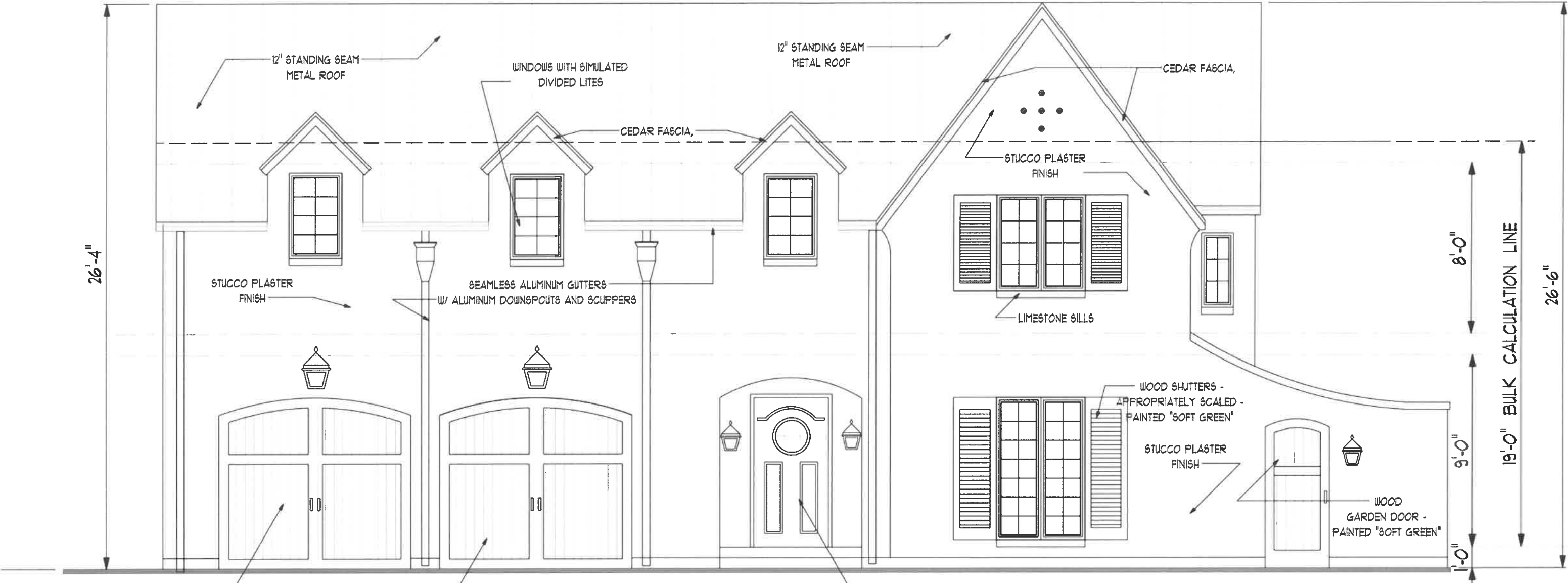
Please fax a copy of the staff report

☐ OWNER ☐ REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

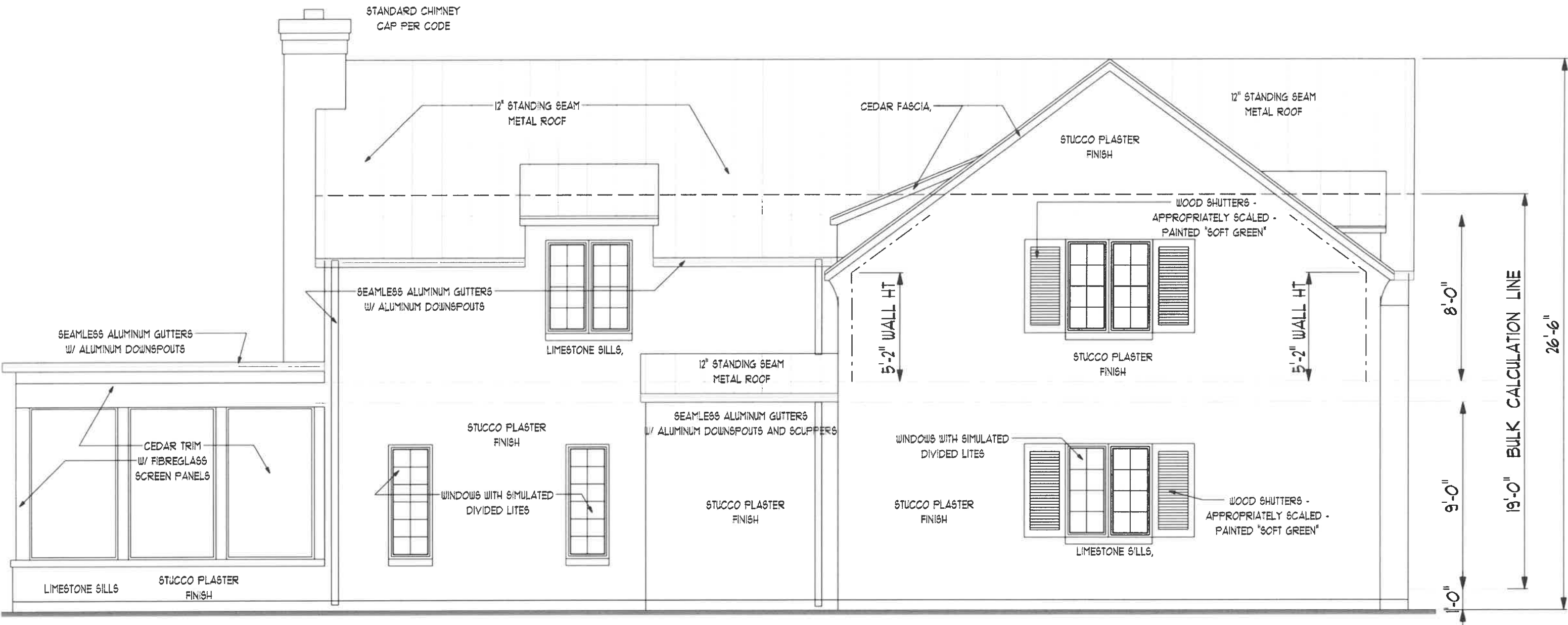
☐ OWNER ☐ REPRESENTATIVE





FRONT (WEST) ELEVATION

PROPOSED RESIDENCE AT:
1175 OLD COLONY ROAD
LAKE FOREST, IL
(REVISED 05-13-2024)

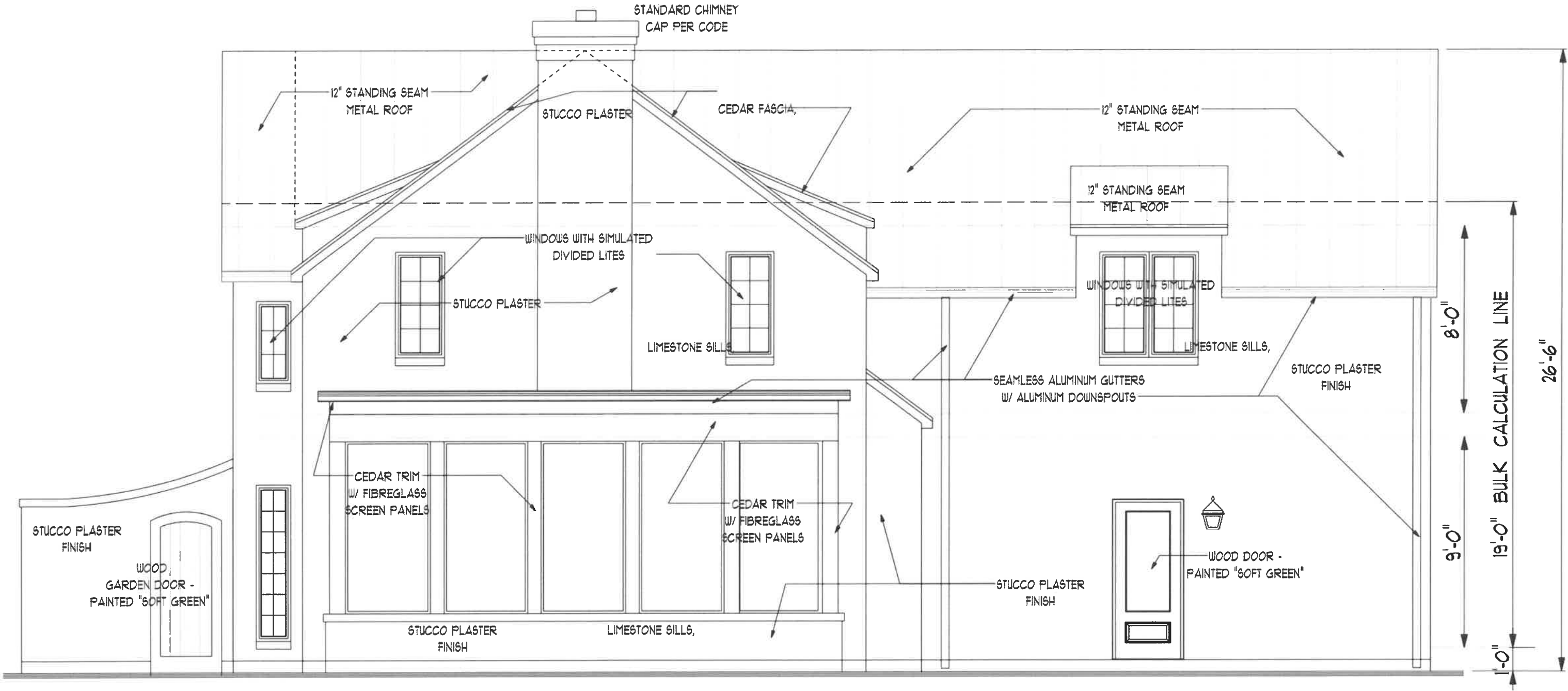


LEFT (NORTH) ELEVATION

PROPOSED RESIDENCE AT:

1115 OLD COLONY ROAD
LAKE FOREST, IL

(REVISED 05-13-2024)

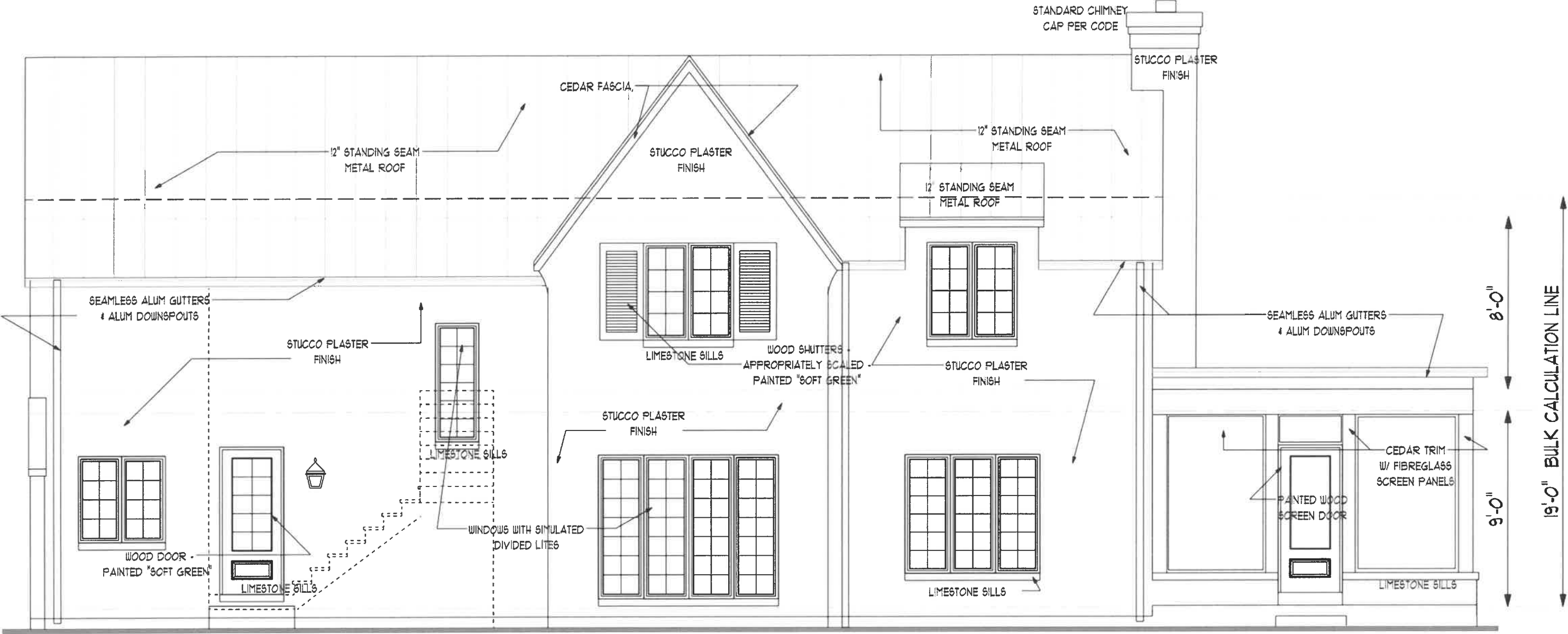


BACK (EAST) ELEVATION

PROPOSED RESIDENCE AT:

1115 OLD COLONY ROAD
LAKE FOREST, IL

(REVISED 05-13-2024)



RIGHT (SOUTH) ELEVATION

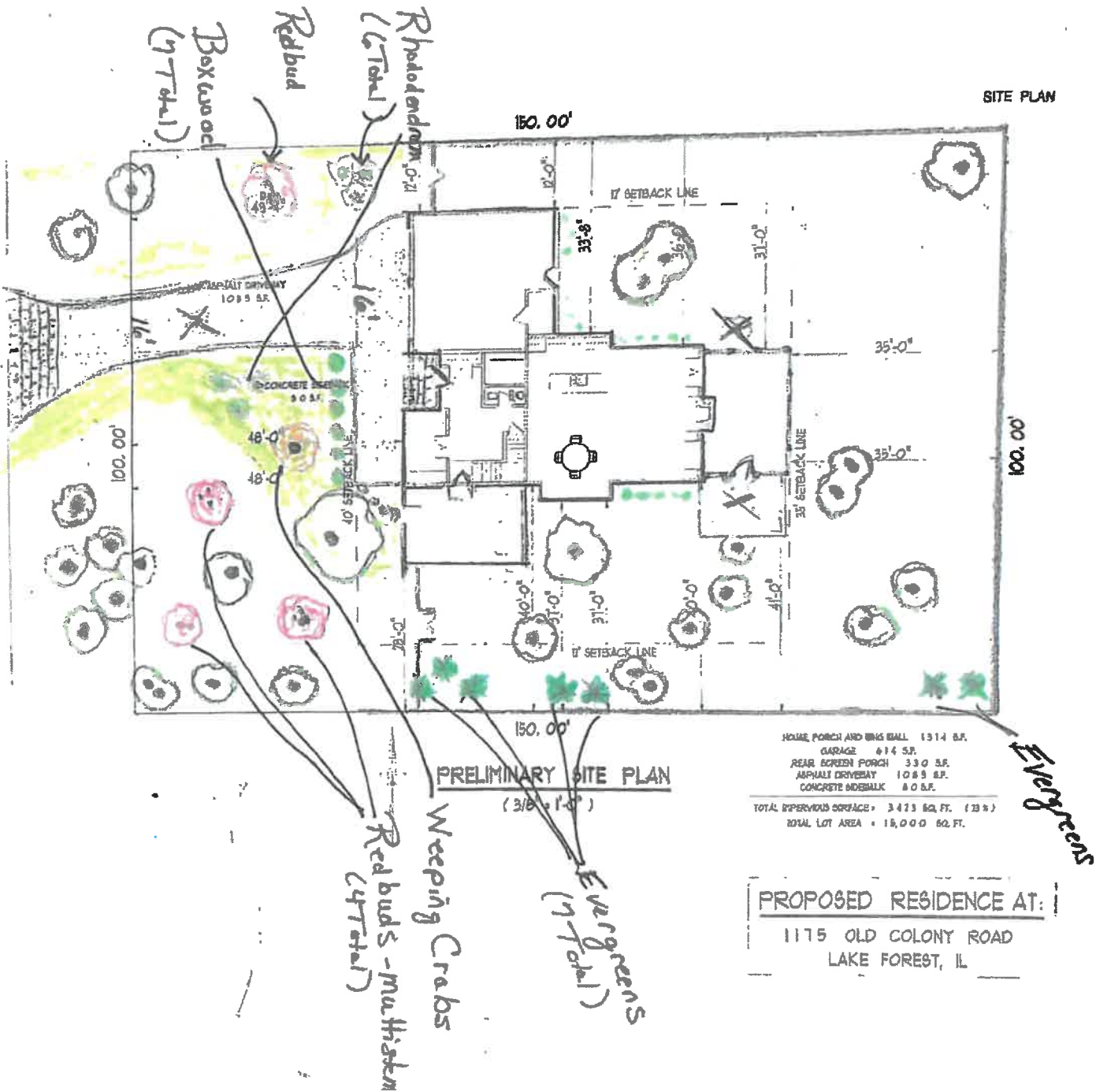
PROPOSED RESIDENCE AT:

1115 OLD COLONY ROAD
LAKE FOREST, IL
(REVISED 05-13-2024)

PRELIMINARY LANDSCAPE PLAN

Preliminary Landscape Plan

OLD COLONY ROAD 070



Agenda Item 4
347 Cherokee Road
Expanded Garage and Sunroom
First Floor Additions

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey – Existing Conditions
Site Plan – Proposed
Elevations – Proposed
Section – Proposed
First Floor Plan – Proposed
Elevations – Existing
First Floor Plan – Existing

Materials from BRB Meeting (November 4, 2015)

Site Plan
Elevations

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

347 Cherokee Road

Consideration of a request for approval of revisions to a previously approved plan for additions and modifications to an existing residence.

Property Owner: Erik and Elizabeth Lekberg

Project Representative: Shawn Purnell, Architect

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for approval of additions and modifications to an existing residence. The additions consist of an expansion of the garage to the front, toward Cherokee Road, and construction of a sunroom in the rear of the residence. This petition is similar to one presented to and supported by the Building Review Board by the Lekbergs in 2015. The additions approved at that time were never constructed. The plans now presented eliminate the previously proposed second floor addition above the garage.

Description of Property

The subject property is located on the south side of Cherokee Road, west of Green Bay Road. The property is Lot 5 in Campbell's Lake Forest Addition Subdivision and is approximately 21,000 square feet, or .5 acres. The neighborhood consists of a wide variety of homes of differing architectural styles including ranch and split level homes constructed in the 1960s and 1970s, and newer, larger homes.

The existing structure is a two-story Colonial Revival house with an attached garage and is generally consistent with the size and height of other homes in the surrounding neighborhood when viewed from the street. The residence was constructed in 1960 by Jacob T. Mauer for the original owner, W.S. Rhodes. A portion of the exterior was re-sided with wood shingles in 2003. In the years since receiving initial approval for the proposed additions, the owners replaced the windows.

The residence is sited toward the front of the property. The property has very few trees in the front of the lot making the house fully visible from the street. There is an asphalt driveway at the west end of the property. The lot is narrow and does not meet the current minimum lot width requirement. The residence is non-conforming with respect to current zoning regulations and encroaches about two feet into the 12 foot interior side yard setback. The proposed addition to the front of the garage encroaches to the same extent as the house. The Zoning Board of Appeals will hear a request from the petitioner for the required variance.

The original project, which included a second floor addition above the proposed extended garage, was previously supported by the Zoning Board of Appeals in 2015.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

As noted above, the existing residence encroaches into the east and west interior side yard setbacks. The existing footprint will be modified with an expanded garage which encroaches into the setback the same distance as the residence and an addition to the rear of the residence.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,060 square feet is permitted on the property. In addition, a garage of up to 600 square feet is permitted along with up to 406 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The existing residence totals 1,959 square feet and complies with the allowable square footage.
- The existing home has a total of 76 square feet of design elements of the permitted 406 square feet.
- The existing garage has a total of 452 square feet of the permitted 600 square feet.
- The proposed garage extension will add an additional 164 square feet of garage space to the existing 452 square feet. The garage will total 616 square feet. The excess 16 square feet will be added to the total square footage of the residence.
- The proposed first-floor rear addition of 293 square feet will be added to the total square footage of the residence.
- In conclusion, with the proposed additions, the house will total 2,268 square feet. The total square footage is less than the allowable by 1,792 square feet, equal to 44 percent *less than* the total permitted square footage.

The height of the rear sunroom addition is 13' 6". The height of the garage is 14' 6".

Elevations – This standard is met.

The proposed additions are consistent with the character, style, detailing and materials of the existing residence.

As noted above, the garage will be expanded to the north toward the street. A portion of the existing garage will be converted into a mudroom, leaving the existing footprint of the living room unchanged. The proposed single-story sunroom will step in on either side of the rear living room wall and extend outward 17 feet. It will be modest in size and does not visually add to the mass of the house from the streetscape.

The garage will feature a gable roof with a decorative window near the peak. A double garage door is proposed. Additional details are needed regarding the height, width, style, and material of the garage door. A double hung window matching the size of the existing window on the west elevation is proposed, along with a smaller double hung window centered in between the two windows. The smaller double hung window is also featured on the west elevation of the proposed sunroom.

The rear of the sunroom features a gable roof with two double hung windows. The east elevation of the proposed sunroom features single double hung windows located on either side of a double French door which provides access to the rear terrace. No windows are proposed for the east elevation of the extended garage.

Staff Recommendation: Provide details on the garage doors.

Type, color, and texture of materials – This standard is met.

The exterior materials proposed on the additions appear generally consistent with those on the existing residence.

The garage will match the existing brick veneer and feature cedar shingles on the gable element. The side of the garage and rear sunroom addition will be composed of the cedar shingle siding. Copper gutters and wood trim are proposed and will match the existing home.

Vinyl clad double hung windows in White Dove, are proposed with affixed interior and exterior muntin bars. The proposed window material is consistent with the existing windows in the home. The petitioner notes shutters in the soft fern color as a proposed material, however they are not reflected on the elevations. If shutters are proposed, they should be proportional to the windows and installed consistently on all elevations.

Staff Recommendation: Clarify the location of shutters if proposed.

Staff Recommendation: If shutters are proposed, the shutters should be proportional to the windows and installed consistently on all elevations, where appropriate.

Landscaping and Hardscape - This standard is not yet met.

A conceptual landscape plan has not been provided. Foundation plantings will be required around the additions.

Staff Recommendation: A detailed landscape plan should be submitted with the building permit application reflecting plantings around the additions. The plans will be subject to review and approval by City staff.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Forward a recommendation in support of the petition to the City Council and subject to the following conditions.

1. This recommendation is subject to approval of a variance for the garage addition.
2. Provide the following details on the plans submitted for permit:
 - a. Details for the garage doors including design and materials.
 - b. Reflect proportional shutters on all elevations if shutters are proposed.
3. All modifications to the plans including those made in response to Board direction or discussion and those made as the result of final design development shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval.
4. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction to protect

vegetation intended to remain on the subject property, on the parkway, and on adjacent properties.

- b. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan must reflect foundation plantings or hardscape around the additions. The landscape plan shall specify the quantity, species, and size of plant materials at the time of planting.

Exterior Lighting

- c. If additional exterior lights are proposed, details of all proposed and existing exterior lights on the residence and on the garage and all landscape lighting, if any, shall be included with the plans submitted for permit. Cut sheets for all new light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging and Tree Protection

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 347 Cherokee Road Owner(s) Erik and Lisa Lekberg
 Architect Shawn Purrell Reviewed by: S. Thomas
 Date 07.29.2026
 Lot Area 21215 sq. ft. Allowable Square Feet = 4060

Square Footage of Residence

1st floor 1247 + 2nd floor 712 + 3rd floor 0 = 1959 sq. ft.

Design Element Allowance = 406 sq. ft.

Total Actual Design Elements = 76 sq. ft. Excess = 0 sq. ft.

Garage 452 sf actual ; 600 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 1959 sq. ft.

(minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = 2101 sq. ft.

Under Maximum

Square Footage of House and Proposed Addition:

1st floor 293 + 2nd floor 0 + 3rd floor 0 = 293 sq. ft.

New Design Elements 0 sq. ft. Excess = 0 sq. ft.

New Garage 164 sq. ft. Excess = 16 sq. ft.

TOTAL SQUARE FOOTAGE = 2268 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4060 sq. ft.

DIFFERENTIAL = 1792 sq. ft.

Under Maximum

NET RESULT:

1792 sq. ft. is

44% under
Max. allowed

Allowable Height: 35 ft. Actual Height 25 ft.

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 406 sq. ft.

Front & Side Porches = 76 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

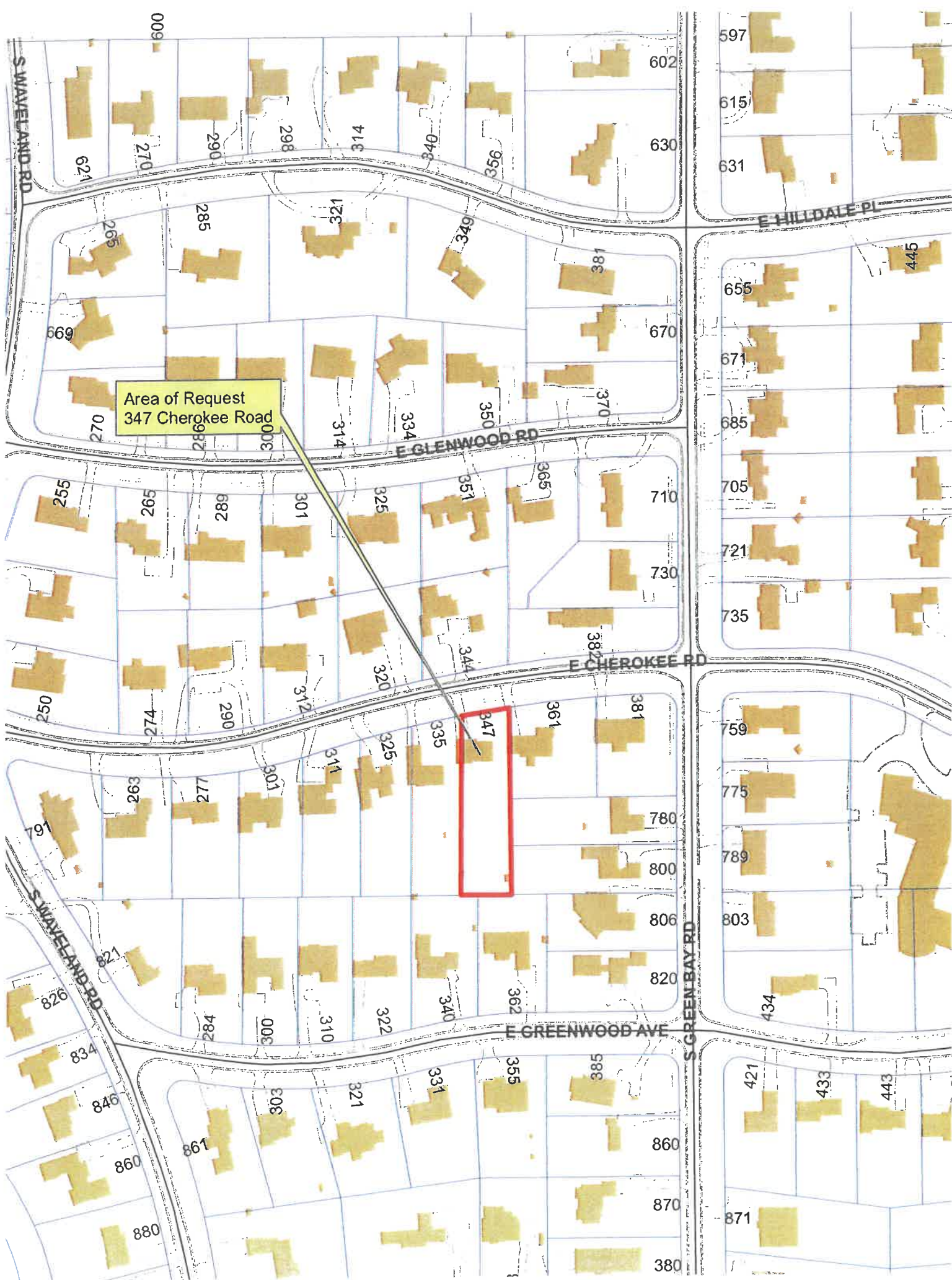
Pergolas = 0 sq. ft.

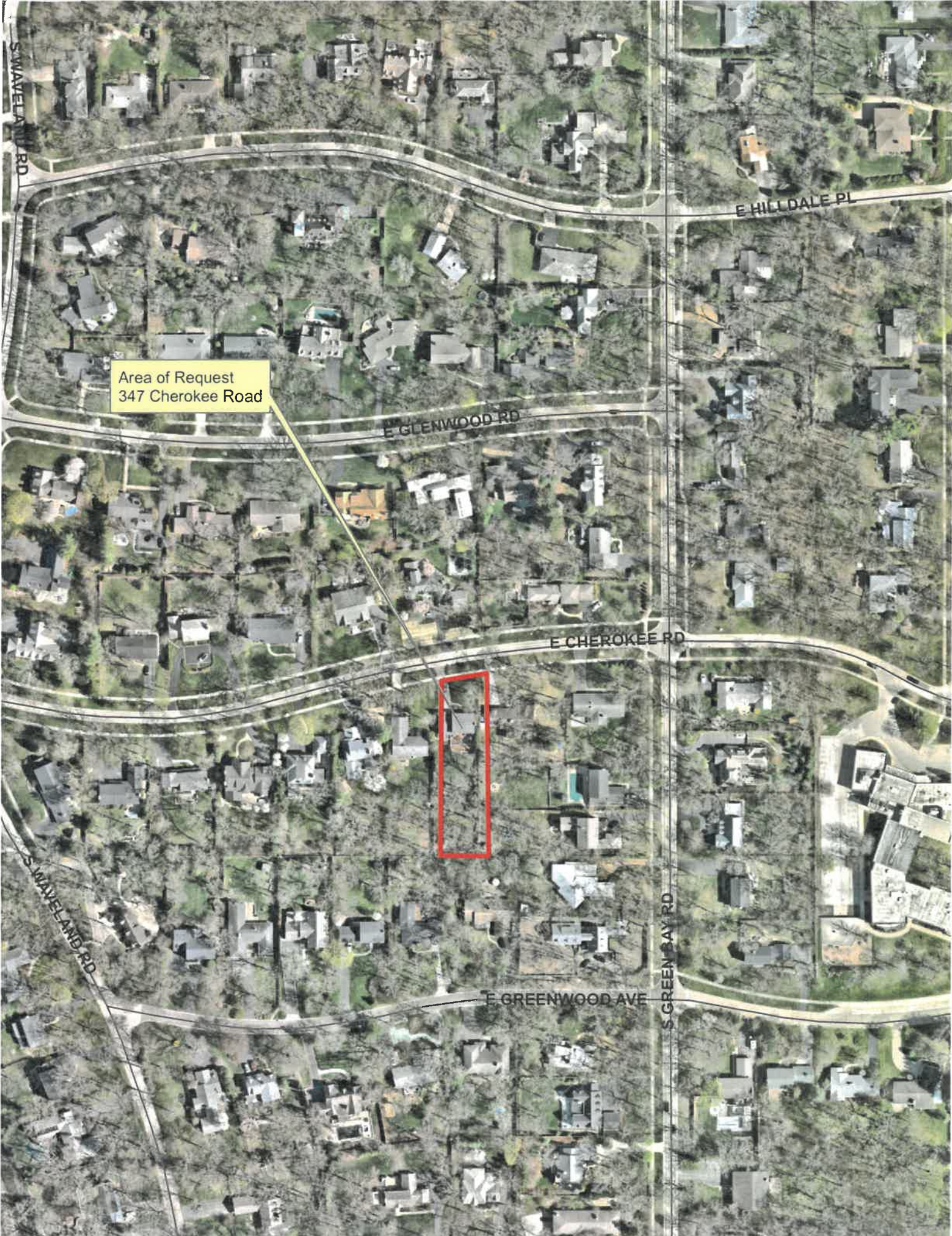
Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 76 sq. ft.

Excess Design Elements = 0 sq. ft.





Area of Request
347 Cherokee Road

E GLENWOOD RD

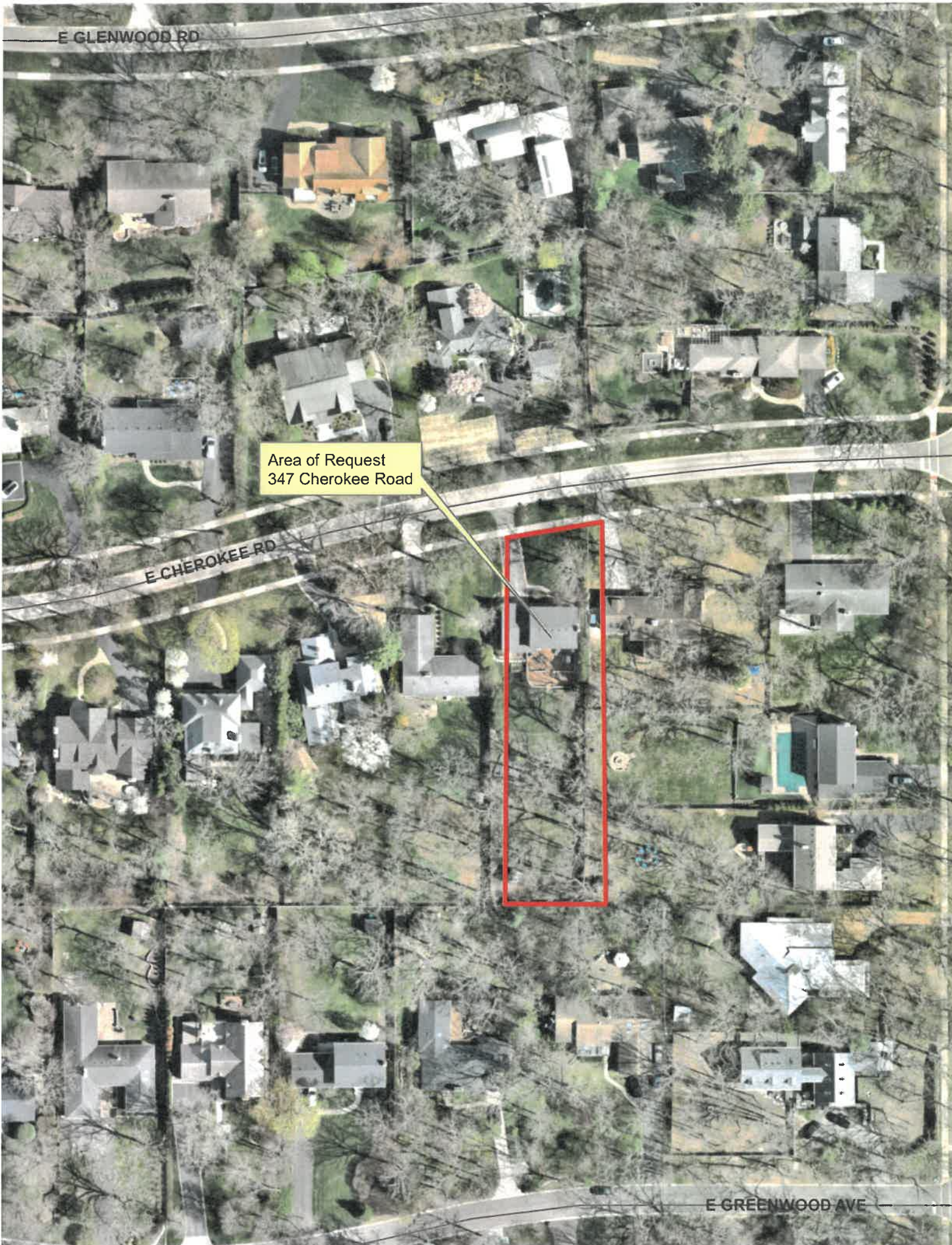
E HILLDALE PL

E CHEROKEE RD

S WAVELEND RD

S GREEN BAY RD

E GREENWOOD AVE



E GLENWOOD RD

Area of Request
347 Cherokee Road

E CHEROKEE RD

E GREENWOOD AVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 347 Cherokee

APPLICATION TYPE

RESIDENTIAL PROJECTS	COMMERCIAL PROJECTS
☐ New Residence	☐ New Building
☐ New Accessory Building	☐ Addition/Alteration
☒ Addition/Alteration	☐ Height Variance
☐ Building Scale Variance	☐ Other
☐ Demolition Complete	☐ Landscape/Parking
☐ Demolition Partial	☐ Lighting
☐ Height Variance	☐ Signage or Awnings
☐ Other	

PROPERTY OWNER INFORMATION

Erik + Elizabeth Lekberg
Owner of Property
347 Cherokee Rd
Owner's Street Address (may be different from project address)
Lake Forest, IL 60045
City, State and Zip Code
847-977-9736 NA
Phone Number Fax Number
brush1979@yahoo.com
Email Address
Elizabeth Lekberg
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Shawn Purnell Architect
Name and Title of Person Presenting Project
Purnell Architects Inc.
Name of Firm
20 Hawley Ct.
Street Address
Graylake IL 60030
City, State and Zip Code
847-989-2772
Phone Number Fax Number
Shawn@shawnpurnell.com
Email Address
Shawn Purnell
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	☐ OWNER	☐ REPRESENTATIVE
Please fax a copy of the staff report	☐ OWNER	☐ REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	☐ OWNER	☐ REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| ☐ Stone | ☐ Aluminum Siding |
| ☒ Brick | ☐ Vinyl Siding |
| ☐ Wood Clapboard Siding | ☐ Synthetic Stucco |
| ☐ Stucco | ☐ Other _____ |
| ☒ Wood Shingle | |
| Individual or Panels? _____ | |

Color of Material White Dove

Window Treatment

Primary Window Type

- ☒ Double Hung
☐ Casement
☐ Sliding
☐ Other Shutters soft Corn

Finish and Color of Windows

- ☐ Wood (recommended)
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish White Dove

Window Muntins

- ☐ Not Provided
☐ True Divided Lites

Simulated Divided Lites

- ☒ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☐ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☒ Brick
☐ Stone
☐ Stucco
☐ Other _____

Foundation Material

- ☐ Brick
☐ Stone
☐ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☒ Composition Shingles Grey
☐ Sheet Metal _____
☐ Other _____

Flashing Material

- ☐ Copper
☐ Sheet Metal
☐ Other _____

Skylights

- ☐ Proposed
☐ Existing
☐ None

Gutters and Downspouts

- ☒ Copper
☐ Aluminum
☐ Other _____

Driveway Material

- ☒ Asphalt
☐ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone
☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☐ Concrete Pavers
☐ Poured Concrete
☐ Other _____

SHAWN PURNELL
ARCHITECT, AIA

6-26-2026

Statement of Intent

This project is intended to add expanded garage space, mudroom, and a rear-yard sunroom to the existing two-story home. The additions are designed to compliment the scale and design of the existing colonial home while adding necessary space.

The existing residence is located 10' away from the lot line on the west side. The required sideyard setback is 12' at this location. The existing house and garage are non-conforming.

The proposed front addition would extend the existing garage to allow for the addition of a mudroom between the garage and house. The garage would need to expand towards Cherokee to allow a minimal parking depth. Providing a 24" offset at the garage to meet the sideyard setback is not possible because the garage width would be reduced and make the garage unusable.

The rear Sunroom addition would be conforming and is not visible from the street.

Standards for Architectural and Site Design Review

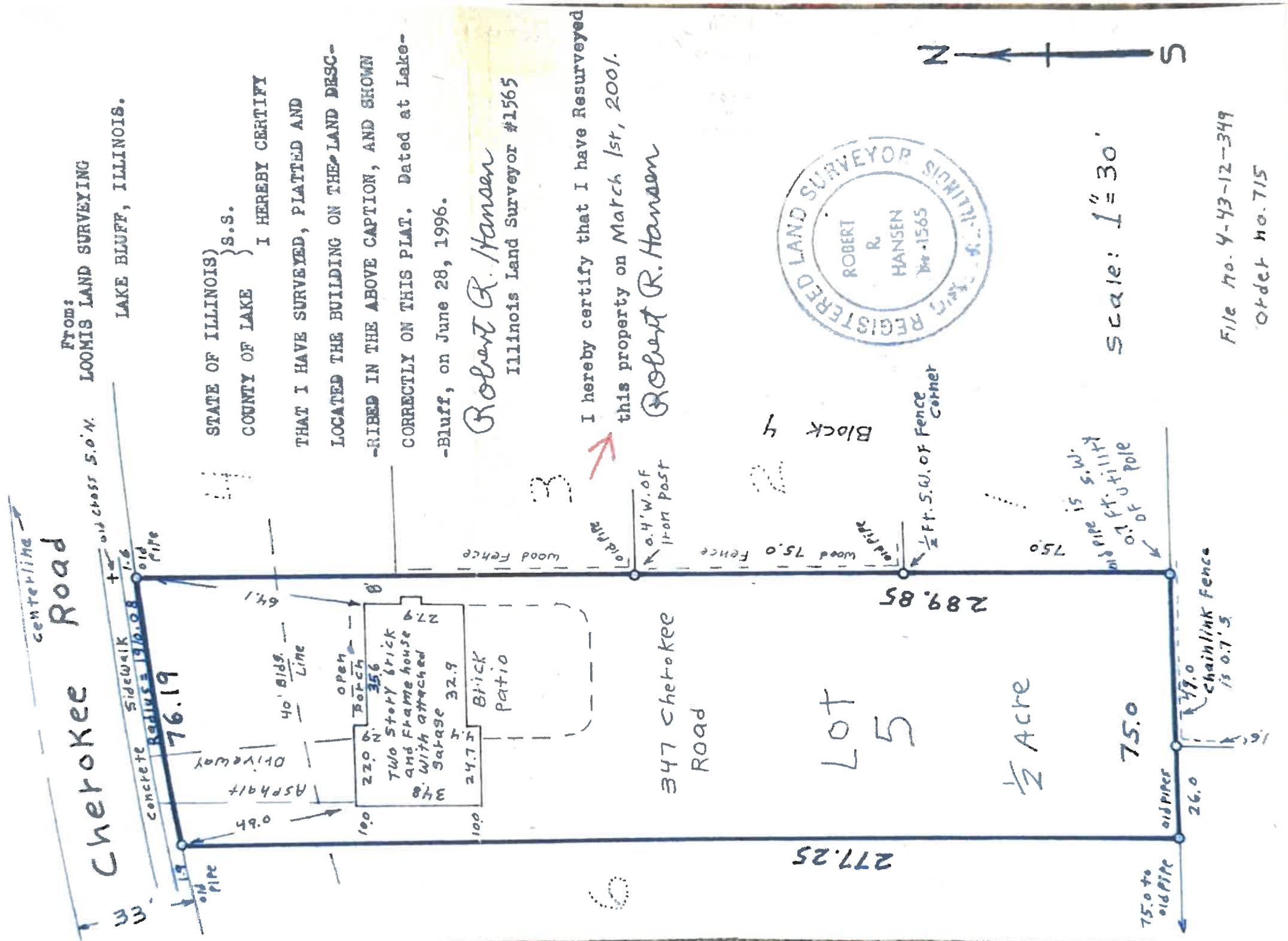
1. No disturbance to the natural landscaping is proposed. A variance to the side-yard setback is requested to allow the garage extension to align with the current construction.
2. The scale and height of the project is compatible with both the existing residence and the neighborhood. The proposed gable roof design and the materials selected are compatible with the existing country vocabulary of the existing home.
3. No modifications to the existing landscape design are proposed.
4. The existing brick veneer, wood shingle siding, copper gutters, wood trim, and gray shingles will all match the proposed home and compatible with the architectural style as well as the character of the neighborhood.
5. The proposed garage extension is a minor expansion which is line with the existing garage location and scale. The proposed sunroom at the rear of the home creates a subordinate accent extension which is appropriate in scale and location relative to the main body of the existing home.

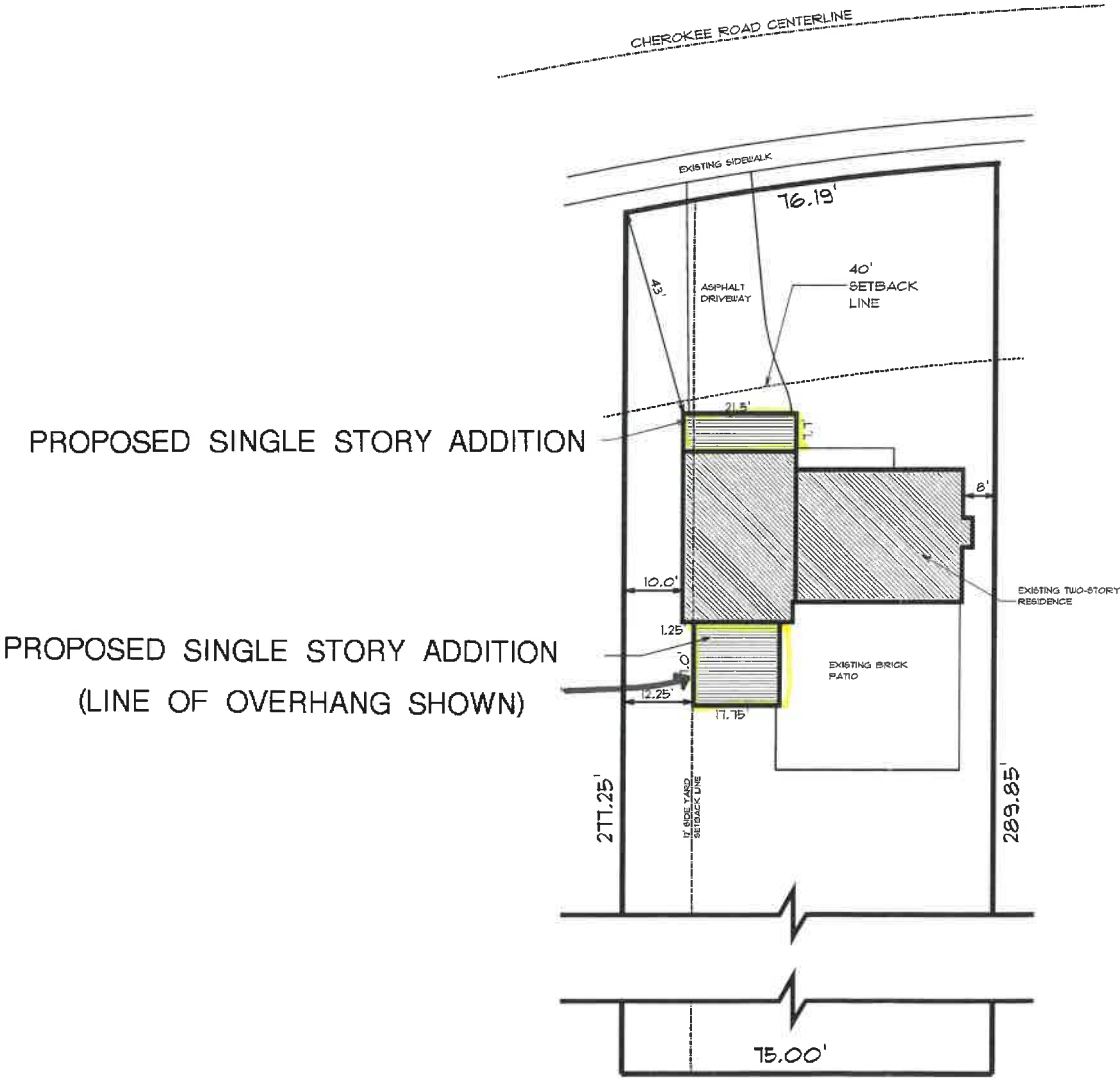
Respectfully Submitted,
Shawn Purnell
Architect, AIA

PLAT OF SURVEY

Lot 5 in Block 4 in CAMPBELL'S LAKE FOREST ADDITION, a Subdivision of Lots 5, 6, 7 and 8 of Geo. F. Brown's Subdivision of the E. $\frac{1}{4}$ of the S.W. $\frac{1}{4}$ of Section 4, Township 43 North, Range 12 East of the 3rd P.M. according to the Plat thereof recorded April 21, 1925, as Document 255931, in Book "N" of Plats, page 86, in Lake County, Illinois.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS OF A FOOT, UNLESS OTHERWISE NOTED.





6-19-2026

ADDITION FOR
EXISTING RESIDENCE
347 CHEROKEE ROAD LAKE FOREST IL

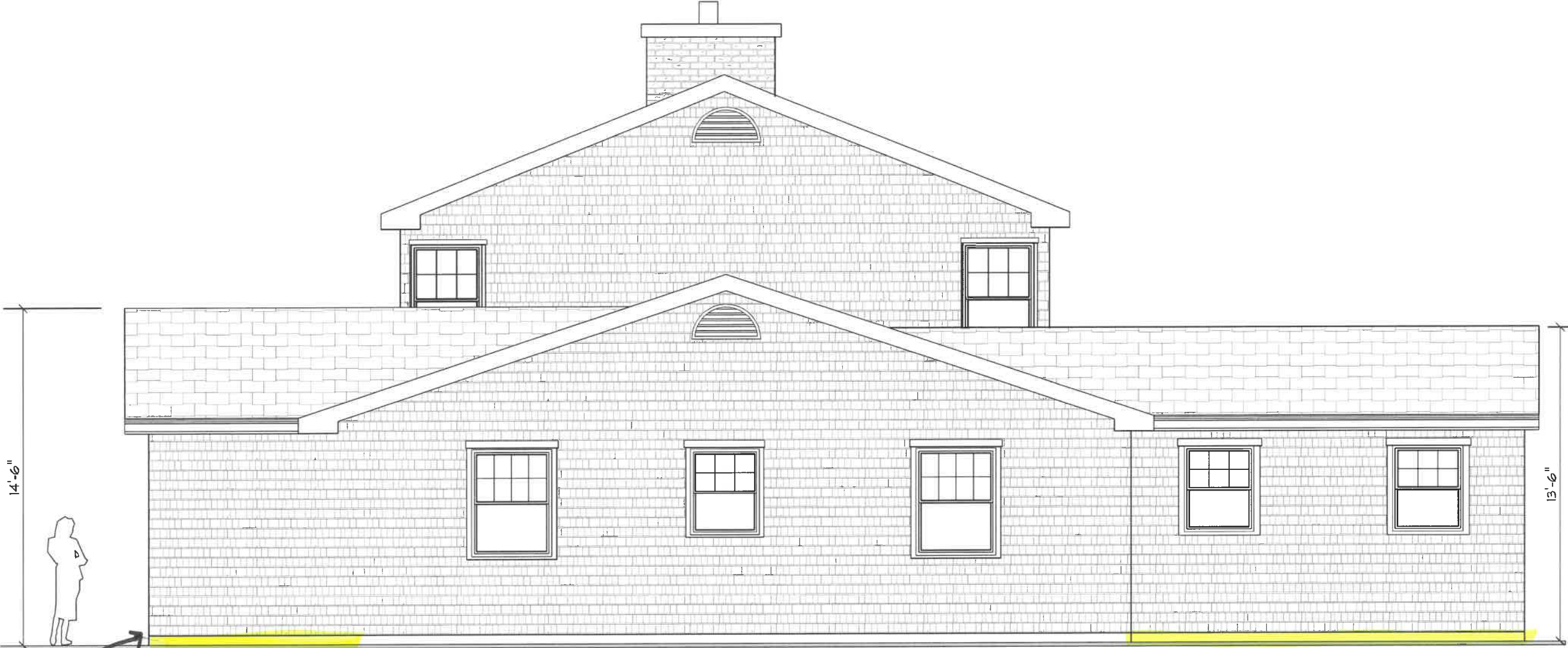
PUERNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shawn@shawnpuernell.com 847-989-2772

1



PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"



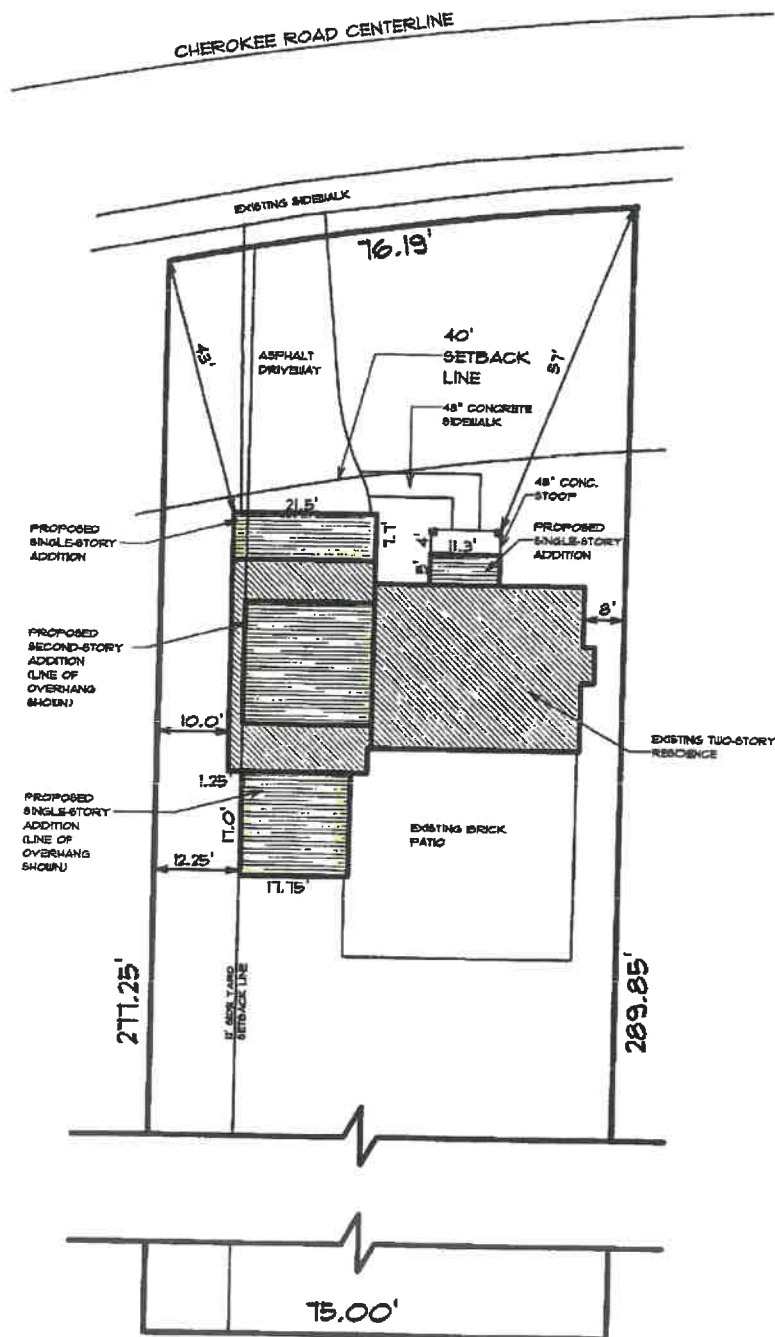




PROPOSED LEFT ELEVATION
SCALE 1/4" = 1'-0"

***Materials from BRB Meeting
(November 4, 2015)***

SITE PLAN - 11/4/2015
PREVIOUSLY APPROVED



SITE DIAGRAM
SCALE 1/16" = 1'-0"

SHAWN PURNELL, ARCHITECT

1607 NORTH AVE. ROUND LAKE BEACH ILLINOIS 60073
PHONE: 847.999.2772 FAX: 847.710.1611
STP-ARCHITECTURE @ GMAIL.COM

ADDITION AND RENOVATIONS
TO SINGLE-FAMILY RESIDENCE
347 CHEROKEE LAKE FOREST IL

Agenda Item 5
745 Broadsmoore Drive
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey – Existing Conditions
Proposed Site Plan
Elevations
Roof Plan
Vehicle Turn Exhibits
Cross Section
Floor Plans
Conceptual Landscape & Hardscape Plan

Additional Information Provided by Staff

585 Whitehall Lane – Approved Front Elevation
725 Broadsmoore Drive – Approved Front Elevation

Correspondence

HOA Approval

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

745 Broadsmoore Drive

Consideration of a new residence with an attached garage on a vacant property and consideration of the associated hardscape and a conceptual landscape plan.

**Property Owner: MS Lot 9 Whitehall Lane, LLC
(Art Marti 50%; Nick Stratigakes 50%)**

Presented by: Teresa and Art Marti (Redwood Developers, Triple M Partners)

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new single family residence on a vacant lot and an attached garage accessed through a porte cochere.

Description of Property

The lot is located in the Whitehall Meadows subdivision which was recorded in 2004 and created 10 lots from the original Whitehall estate. The original historically significant estate house and coach house were built in 1929 and remain on separate lots on the east side of the subdivision, and to the east of the subject lot, and are accessed from Ridge Road.

The property is the third in the subdivision to be proposed for development. In May 2022, the Building Review Board recommended approval of a petition for construction of a single family residence on the subject property that was presented by a previous owner. The home was never constructed.

The site is approximately 1.6 acres in size. There is a 125 foot wide stormwater detention easement on the south side of the site. Within that easement, along the rear (south) property line is a 10 foot wide public utility easement. A 7.5 foot wide public utilities and access easement runs along the west property line before concluding at the stormwater detention easement. No improvements are permitted in the stormwater and access easement areas. Limited plantings may be permitted at the edges of the stormwater easement subject to review and approval by the City Engineer.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is mostly met.

The proposed residence faces north, toward Broadsmoore Drive. The home is sited approximately 51' from the front property line and 20' from the east property line. The home complies with the zoning setbacks for the R-4 Zoning District. A single curb cut is proposed. The driveway is located outside of the cul-de-sac bulb. Composed of poured concrete, the driveway leads to a porte-cochere and private parking court with an attached four-car frontloaded garage beyond. On the left (east) side of the porte cochere, is a separate smaller garage identified for storage or the parking of smaller vehicles. It is accessed from the parking court. A second floor room spans above the smaller garage and porte cochere, connecting to the main residence. A concrete walkway from the driveway provides access to the front of the home. A covered and open patio composed of concrete and brick pavers are proposed in the rear.

An auto turn study was provided for the parking court. The study shows the parking court is functional.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,498 square feet is permitted with allowances of 800 square feet for a garage and 750 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 7,437 square feet.
- In addition to the above square footage, 777 square feet of design elements are incorporated into the design of the residence, 27 square feet more than the maximum allowed. The excess design element square footage is included in the overall square footage of the residence.
- The proposed garage totals 1,448 square feet. The garage square footage over and above the allowed 800 square feet is added to the total square footage of the residence.
- In total, the residence is 61 square feet, equal to 0.81% percent below the maximum allowable square footage.

At its tallest peak, the residence is approximately 33 feet. The maximum height allowed for a residence on this size lot is 40 feet.

Elevations – This standard can be met.

The petitioner identifies French Country as the architectural style of the home. French Country style homes are recognized by their tall, steep hipped roofs with multiple rooflines, tall, narrow, arched windows and doorways, symmetrical facades, and brick stone or stucco materials. The style features a mixture of roof heights, gently sloped rooflines, and decorative wrought-iron railings.

On the north (front) elevation, the central mass of the home is balanced with two smaller gable elements. The porte cochere, located on the east side of the façade, is

balanced between two gable elements (one of which is shared with the central mass). There is continuity in form with these elements. Moving to the west, a turret type element with a standing seam metal roof is located between the lower gable element to the east and a taller gable which projects from the front façade. West of the understated front entrance to the home, there is a fourth gable element. Unlike the other three front facing gable elements, the westernmost gable is faced with stone rather than stucco. All of the front facing gables terminate with a swoop which together with the various details, forms, and materials, may be an unnecessary feature. The turret overall appears to add unnecessary complexity to the front elevation.

The casement windows on the front elevation have regularly arranged muntins and arched transoms. This arched feature extends to an arched doorway and the porte cochere entrance. A rectangular transom on the first floor window in the turret differs from the other transoms on the front elevation but does reflect the rectangular ribbon of windows on the garage doors. The tops of the shutters on the façade feature a gentle slope which is not found on the shutters on the window in the turret. Consideration could be given to eliminating the shutters in that location.

On the side (west) elevation, the windows are evenly arranged with regular proportions. The elevation features only rectangular window transoms and no arched window features except for a decorative window under the gable on the side of the garage. The central body of the home on the side elevation features a chimney which breaks up the window fenestration before concluding with an open rear patio. The roof lines appear complex. Set back from the open patio is a covered porch and balcony. The porch features arched stone molding opening which replicate those found above the porte cochere entrance and front entrance. Directly above, on the second floor balcony, metal railings are supported by stone piers. Located behind and extending further into the rear is the side of the garage which features a man door and decorative second floor window.

On the west side of the rear (south) elevation, pairs of French doors with rectangular transoms lead out onto the open patio and covered porch. The transom over the middle set of doors appears inconsistent with the transoms on either side. The windows are evenly arranged. French doors on the second floor lead out onto a balcony where the metal railing is carried around to the rear. Directly below, are arched entries to the covered porch. A staircase to the basement is set in against the façade. The garage steps out from the house and the wall expanse is broken up by a pair of windows.

The side (east) elevation features the side of the attached garage. A large parking court separates the main garage from the porte cochere garage to the north. Set back is the main residence with a man door and transom window above. The window immediately adjacent includes a rectangular transom window but it is of a different design. Consistency in the transoms on the elevation should be considered. The roof lines appear complex. The porte cochere garage is located toward the front elevation.

Various roof forms of the main residence are visible. The east elevation of the residence and porte cochere could benefit from further study and refinement.

Courtyard elevations of the main, attached garage show two sets of double faux barn doors with similar molding detailing found elsewhere on the home. The style is replicated on the porte cochere garage door immediately to the north of the attached garage.

Staff Recommendation: On the front elevation:

- Eliminate the turret element.
- Eliminate the swoop on the front facing gables.
- Consider opportunities to make the front entrance more prominent.
- Use shutters that are consistent in style and placement.

Staff Recommendation: On the rear (south) and side (east) elevations:

- Ensure the transom windows above the French doors are alike in style.
- Detail all elevations to the same level.

Type, color, and texture of materials – This standard is met.

The primary exterior materials proposed are stone in a tan/brown shade and true cement stucco in a tan/cream color. Four inch thick limestone is used for a water table that wraps the home on all elevations. Limestone and wood are proposed for trim. Aluminum gutters and downspouts are proposed. The use of copper gutters and downspouts could elevate the overall appearance of the home.

The casement windows will be fiberglass clad windows in a black or bronze color with true divided lites. As noted above, transom windows should be consistent on each elevation. A standing seam metal roof is proposed only on the turret. The roof material is a DaVinci synthetic product that imitates slate. The chimney is stone and includes a pair of chimney caps. The garage doors are metal or wood. Clarification on the color and material is needed. Decorative finials are present on the various roof elements. Limiting the finials to the most prominent points could help to simplify the overall composition. Further information regarding the material, design and color of the finials should be provided.

As noted above, the driveway will be poured concrete. The patios and walkways will be brick and concrete pavers.

The petitioner is expected to provide samples of all exterior materials and the color palette at the meeting.

Staff Recommendation: True cement stucco is required.

Staff Recommendation: If used, the standing seam roof panels shall be no wider than 12 inches and the stone shall be at least four inches thick.

Staff Recommendation: All elevations should be detailed to the same level and exterior materials should be consistently used on all four elevations.

Staff Recommendation: Transom windows should match on a given elevation.

Staff Recommendation: Provide additional information on the style, color and material of the proposed finials.

Landscaping - This standard is met.

There are no trees located on the lot. However, there is a tree in the parkway and it will need to be protected during construction. Any parkway trees that may be impacted by construction must be identified and any removals are subject to the review and approval of the City's Certified Arborist. Any impacted parkway trees will require replacement as directed by the City's Certified Arborist.

As noted above, improvements, including planting, are prohibited in the 125-foot stormwater detention easement located in the rear yard and in the access easement. Limited plantings at the north and south edges of the detention easement may be permitted at the discretion of the City Engineer after a determination that the stormwater capacity of the easement will not be impacted. Various trees and plantings are currently proposed in the detention easement and will need to be removed from the final landscape plan.

Without including the trees proposed in the stormwater easement, the plan proposes eight shade trees, six understory or ornamental trees and eighteen evergreen trees and foundation plantings on every elevation. Five arborvitae trees are proposed opposite the parking court, along the east property line to provide year round screening.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Clearly indicate all trees that will be impacted by construction on the plans submitted for permit.

Staff Recommendation: Prepare a final landscape plan that eliminates plantings in the stormwater and access easements, fully meets Code requirements for new residences and provides year-round screening along properties lines including but not limited to the east property line and along the south property line if permitted by the City Engineer.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, the City received

letters of support from the Homeowners' Association and from a neighboring resident, and a letter asking that the construction process be closely monitored for compliance with the approved plans.

Recommendation

Continue consideration of the petition to allow further refinement and the comments and direction of the Board to be addressed as detailed below.

Elevations and Exterior Materials

- a. On the front elevation:
 - Eliminate the turret element.
 - Eliminate the swoop on the front facing gables.
 - Consider opportunities to make the front entrance more prominent.
 - Use shutters that are consistent in style and placement.
- b. On the rear and side (east) elevations:
 - Ensure the transom windows above the French doors are alike in style.
 - Detail all elevations to the same level.

Type, color, and texture of materials

- a. True cement stucco is required.
- b. If used, standing seam roof panels shall be no wider than 12 inches and the stone shall be at least 4 inches thick.
- c. All elevations should be detailed to the same level and exterior materials should be consistently used on all four elevations.
- d. Transom windows should match on a given elevation.
- e. Provide additional information on the style, color and material of the proposed finials.

Landscape Plan

- a. Clearly indicate all trees that will be impacted by construction on the plans submitted for permit.
- b. Prepare a final landscape plan that eliminates plantings in the stormwater and access easements, fully meets Code requirements for new residences and provides year-round screening along properties lines including but not limited to the east property line and along the south property line if permitted by the City Engineer.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 745 Broadsmoore Lane Owner Art & Teresa Marti

Representative: Art & Teresa Marti Reviewed by: S. Thomas

Date 7.29.2026

Lot Area 71230 sq. ft. Allowed Square Footage 7498 sq. ft.

Square Footage of Residence

1st floor 2838 + 2nd floor 3318 + 3rd floor 606 = 6762 sq. ft.

Design Element Allowance = 750 sq. ft.

Total Actual Design Elements = 777 sq. ft. Excess = 27 sq. ft.

Garage 1448 sf actual ; 800 sf allowance Excess = 648 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 7437 sq. ft.

TOTAL SQUARE FOOTAGE = 7437 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 7498 sq. ft.

DIFFERENTIAL = 61 sq. f **NET RESULT:**
under Maximum 61 sq. ft. is

Allowable Height: 40 ft. Actual Height 33.0 ft. 0.81% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 750 sq. ft.

Open Porches = 527 sq. ft.

Screen Porches = 0 sq. ft.

Covered Entries = 34 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 216 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 777 sq. ft. **Excess Design Elements** = 27 sq. ft.



Area of Request
745 Broadmoore Drive

Area of Request
745 Broadsmoore Drive



Area of Request
745 Broadsmoore Drive



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
☒ Stone
☐ Stucco
☐ Other _____

Foundation Material

- ☐ Brick
☒ Stone
☒ Stucco
☐ Other _____

Roofing

Primary Roof Material

- ☐ Wood Shingles
☐ Wood Shakes
☐ Slate
☐ Clay Tile
☐ Asphalt Shingles
 ☐ Standard
 ☐ Architectural Asphalt
☐ Metal
☒ Synthetic Product
Manufacturer Divina
☐ Other _____

Flashing Material

- ☐ Copper
☒ Sheet Metal
☐ Other _____

Skylights

- ☐ Proposed
☐ Existing
☒ None

Gutters and Downspouts

- ☐ Copper
☒ Aluminum
☐ Other _____

Driveway Material

- ☐ Asphalt
☒ Poured Concrete
☐ Brick Pavers
☐ Concrete Pavers
☐ Crushed Stone/Gravel

☐ Other _____

Terraces and Patios

- ☐ Bluestone
☒ Brick Pavers
☒ Concrete Pavers
☐ Poured Concrete
☐ Other _____

Garage Doors

- ☐ Solid
☒ Windows
☐ Material METAL OR WOOD

Accessory Structure

- ☐ Type _____
☐ Materials _____
☐ Color _____



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- ☒ Stone
☐ Brick
☐ Wood Clapboard Siding
☒ Stucco - True Cement
☐ Wood Shingle

- ☐ Aluminum Siding
☐ Vinyl Siding
☐ Synthetic Stucco
☐ Other _____

Individual or Panels? _____

Color of Material STONE - TAN/BROWN / TAN/CREAM
STONE - NATURAL COLOR / STUCCO

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☐ Aluminum Clad
☐ Vinyl Clad
☐ Other _____

Color of Finish BLACK or BRONZE

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☐ Muntin bars contained between the glass

Trim Material

Door Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Other _____

Window Trim

- ☒ Limestone
☐ Brick
☒ Wood
☐ Other _____

Fascias, Soffits, Rakeboards

- ☒ Wood
☐ Other _____



TRIPLE M
PARTNERS

City of Lake Forest
Community Development Office

Dear Members of the Community Development Office,

My name is Art Marti, President of Redwood Developers and Triple M Partners, and the owner of the property at 745 Broadsmoore Lane in Lake Forest.

My intent is to build a thoughtfully designed French Country home that reflects the character, quality, and timeless style of Lake Forest. As both the homeowner and builder, I want to create a residence that feels appropriate for the neighborhood and adds lasting value to the community.

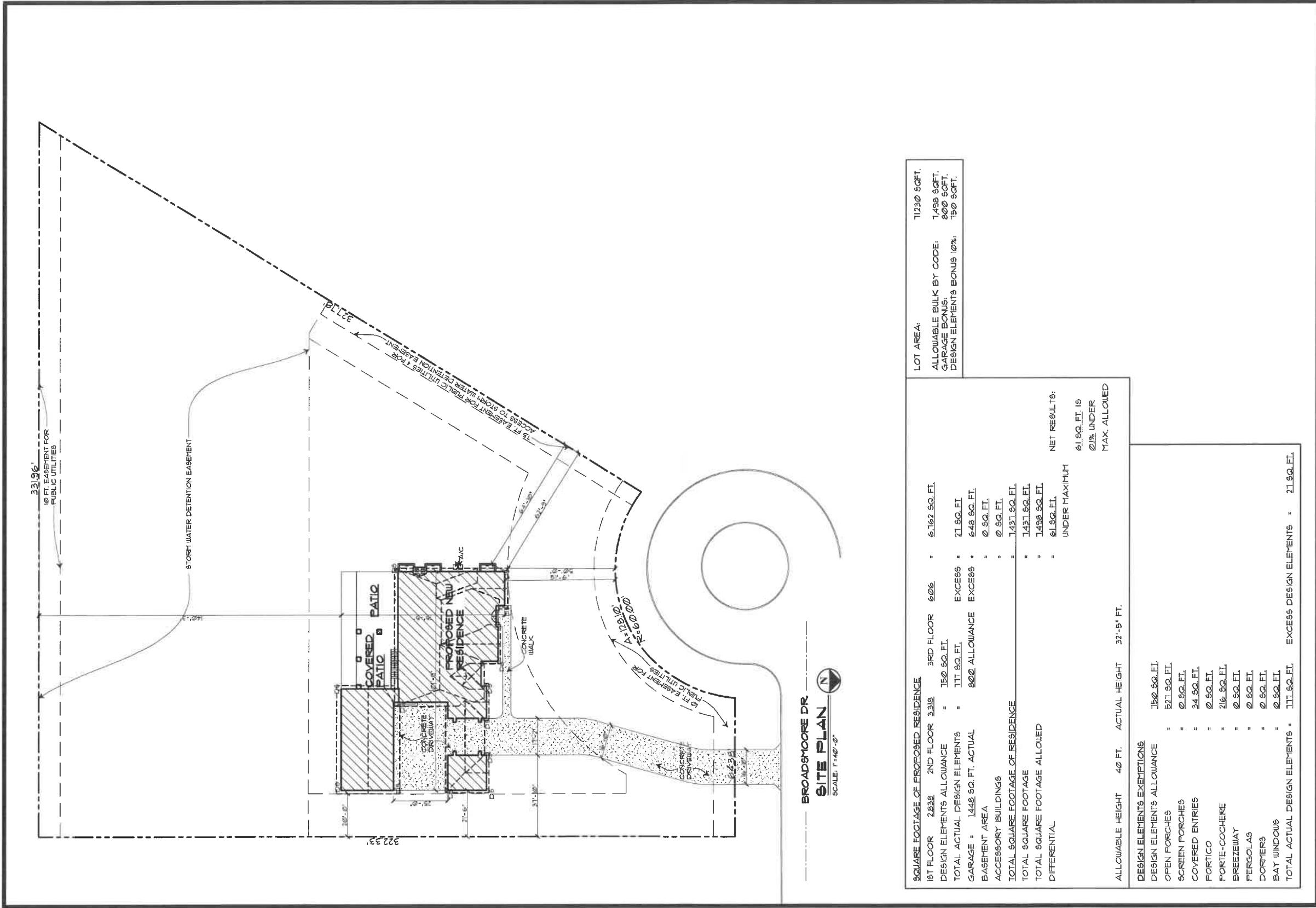
The proposed home will include two stories, a finished basement, and a four-car garage. The exterior will feature natural stone, a DaVinci slate roof, divided-light windows, shutters, and traditional architectural details.

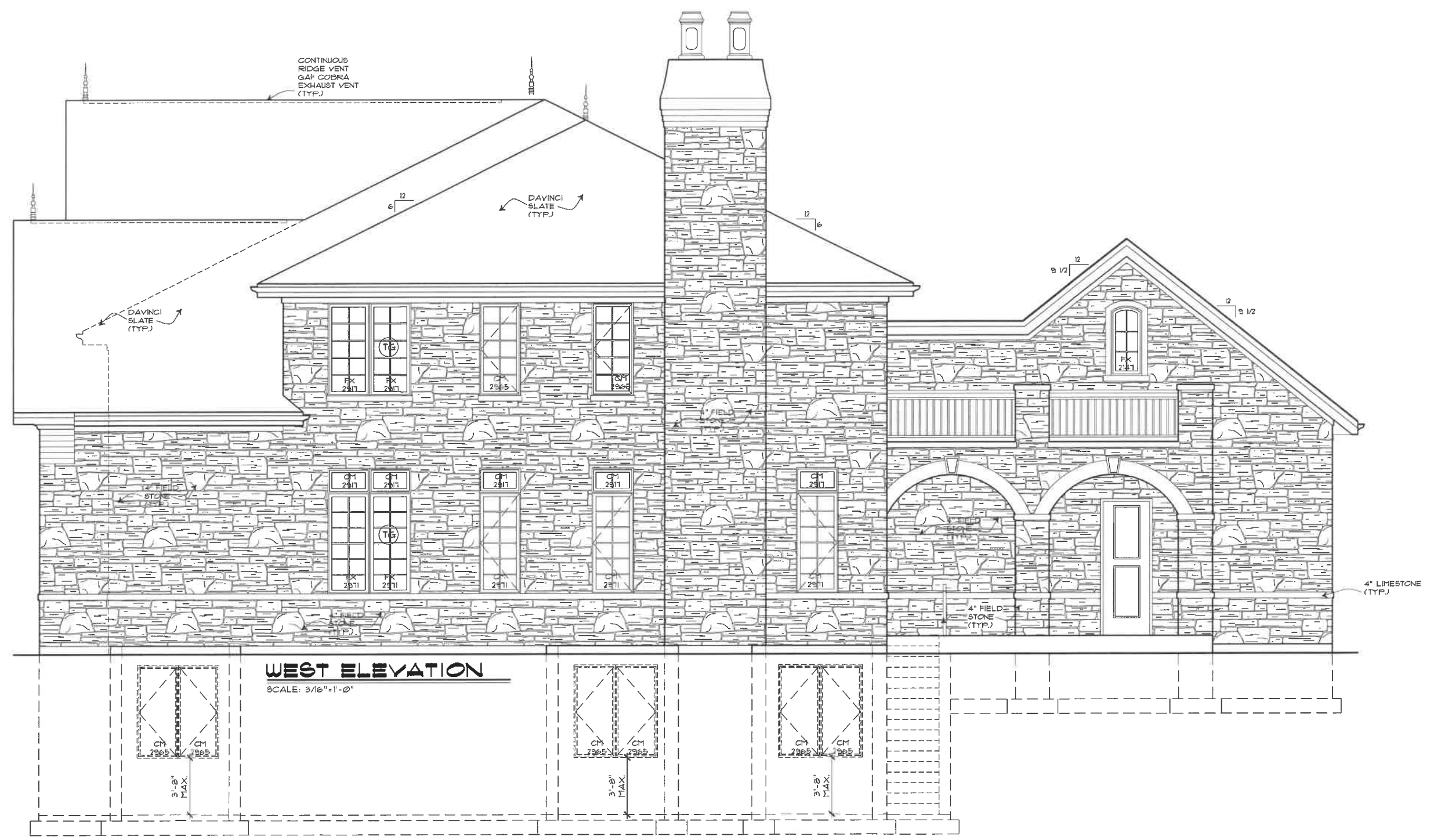
The home will include five bedrooms, six bathrooms, a first-floor primary suite, study, dining room, chef's kitchen, butler's pantry, spacious mudroom, and a finished lower level with a media room, wine room, exercise space, and recreation areas. The design also includes covered outdoor living areas and a private courtyard between the garages and the main home.

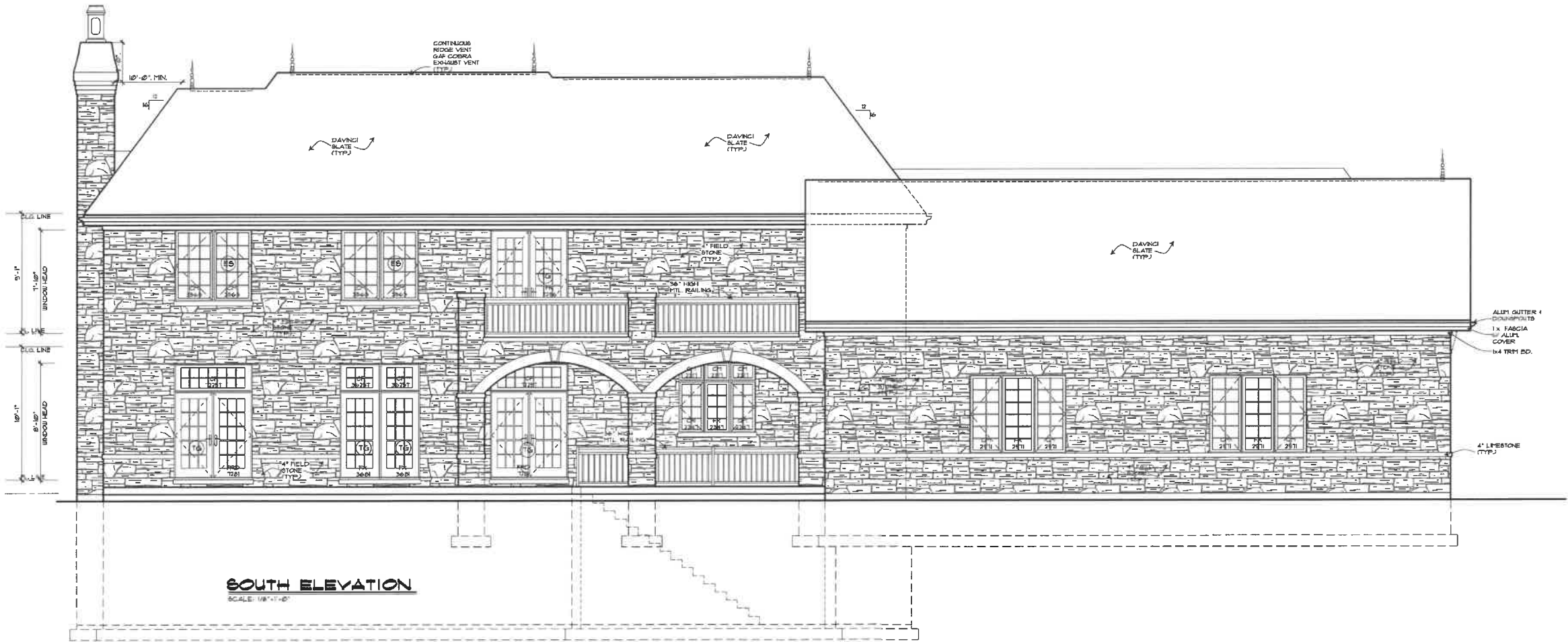
I have been building custom homes for many years and take great pride in quality construction, thoughtful design, and lasting craftsmanship. My goal is to build a home that will be a positive addition to Lake Forest for many years to come.

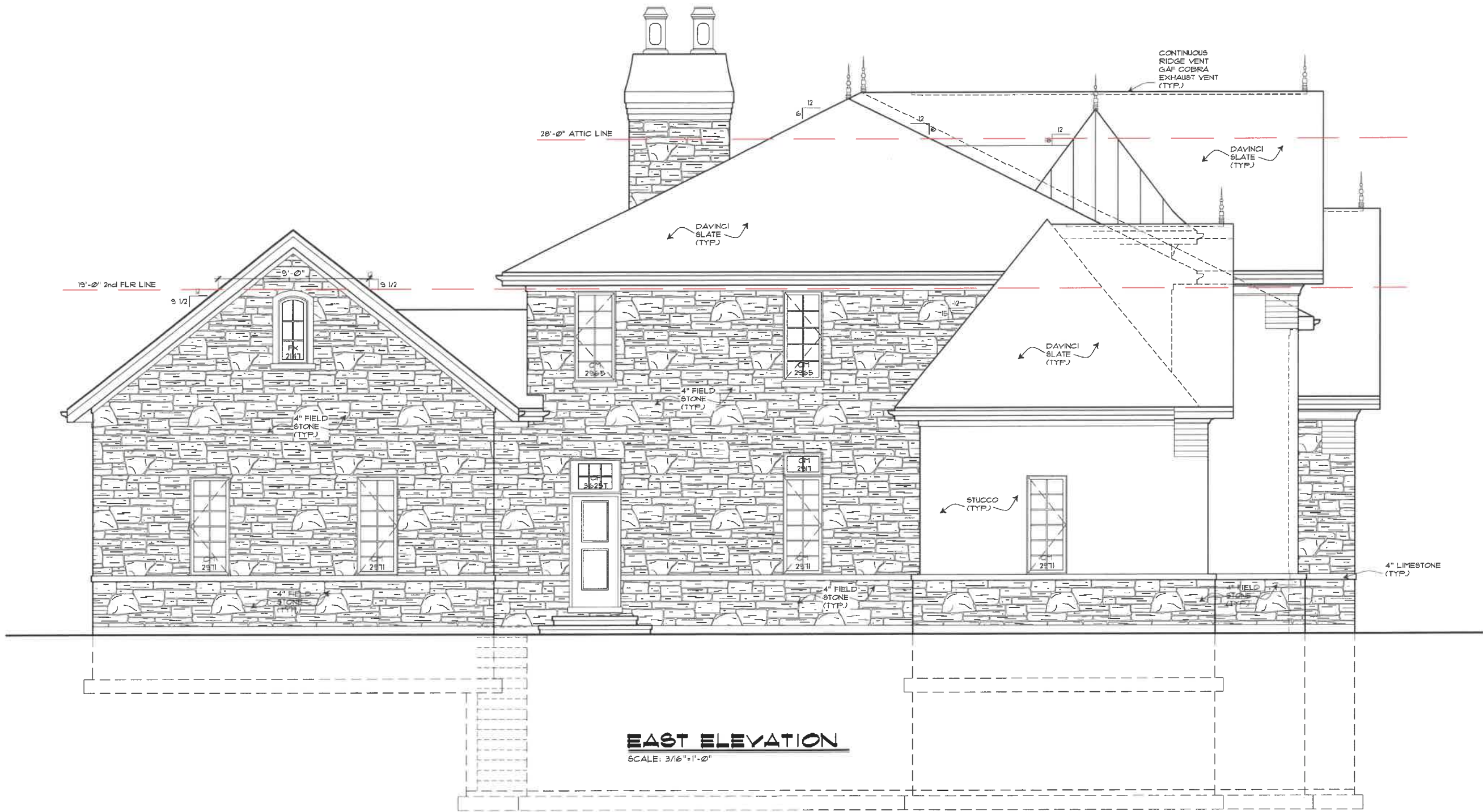
Thank you for your consideration.

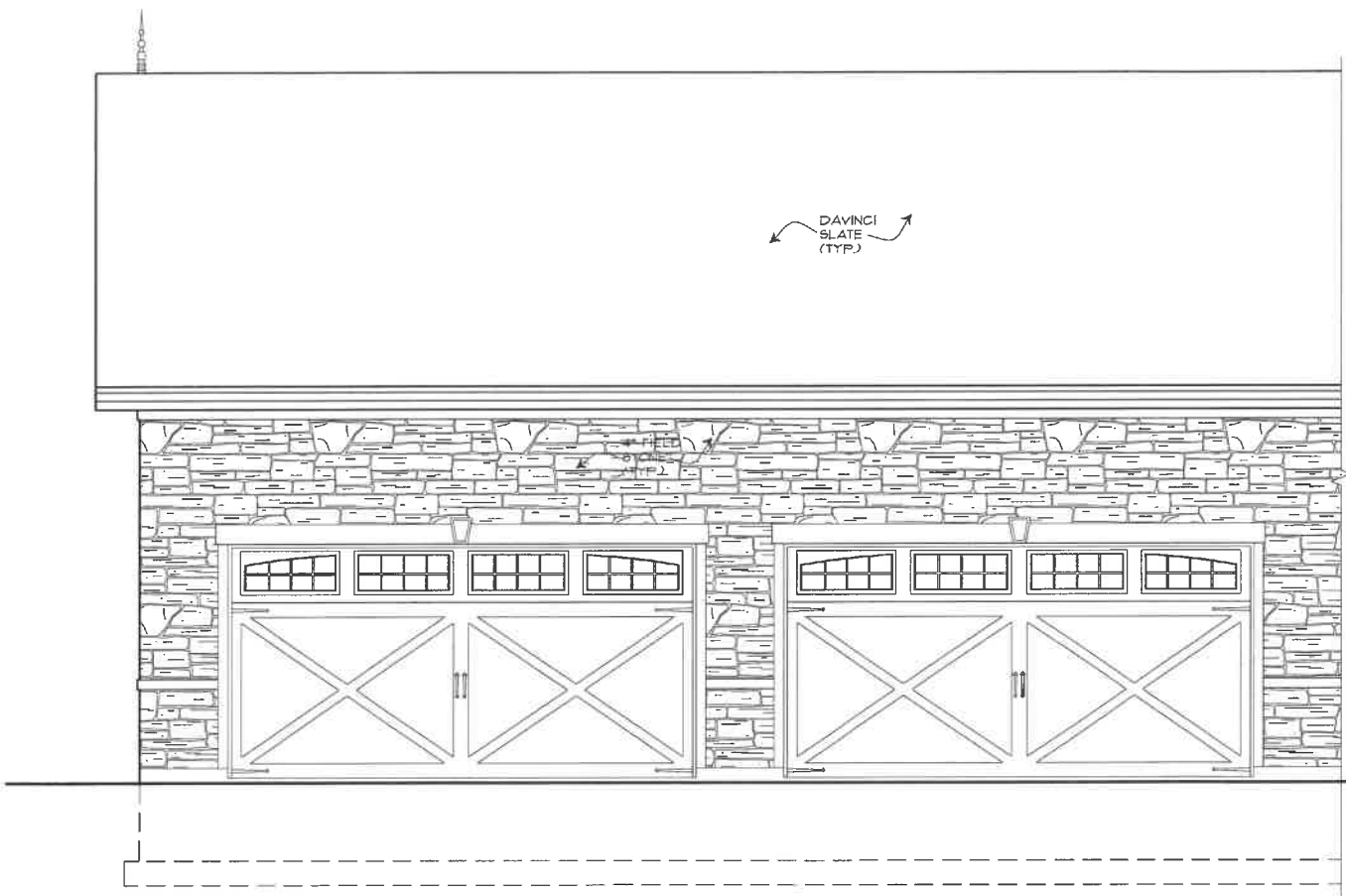
Sincerely,
Art Marti
President
Redwood Developers
Triple M Partners



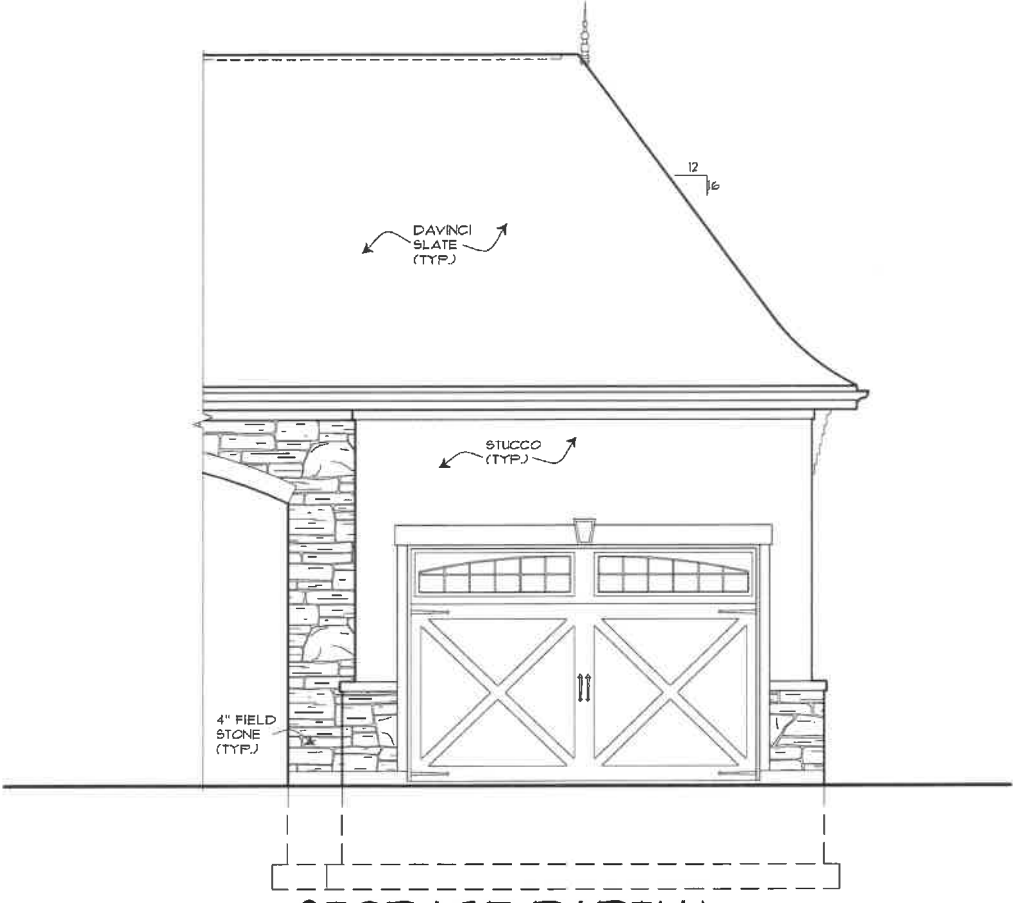




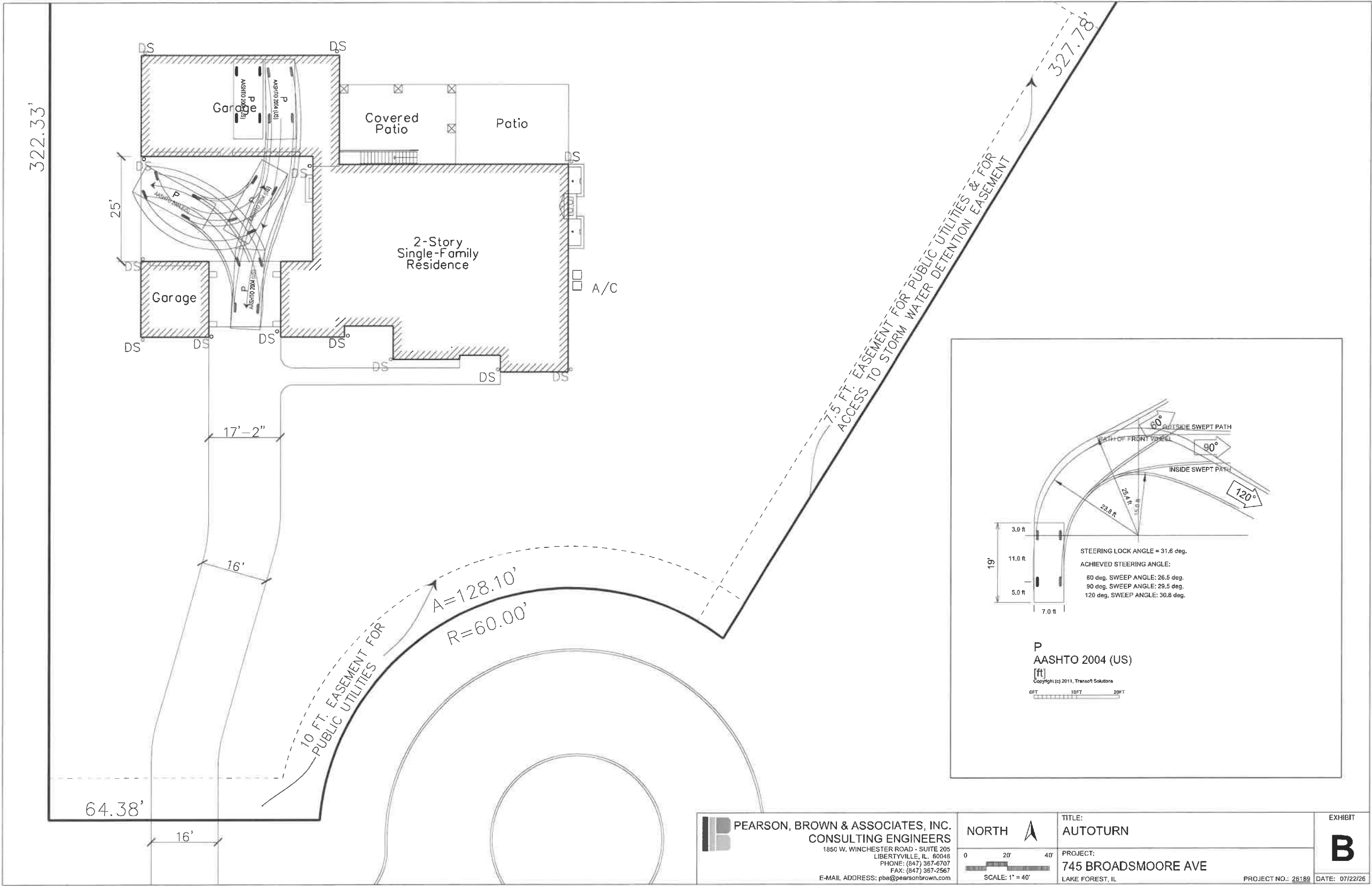




**COURTYARD
GARAGE ELEVATION**
SCALE: 1/8"=1'-0"



**STORAGE PARTIAL
COURTYARD ELEVATION**
SCALE: 1/8"=1'-0"

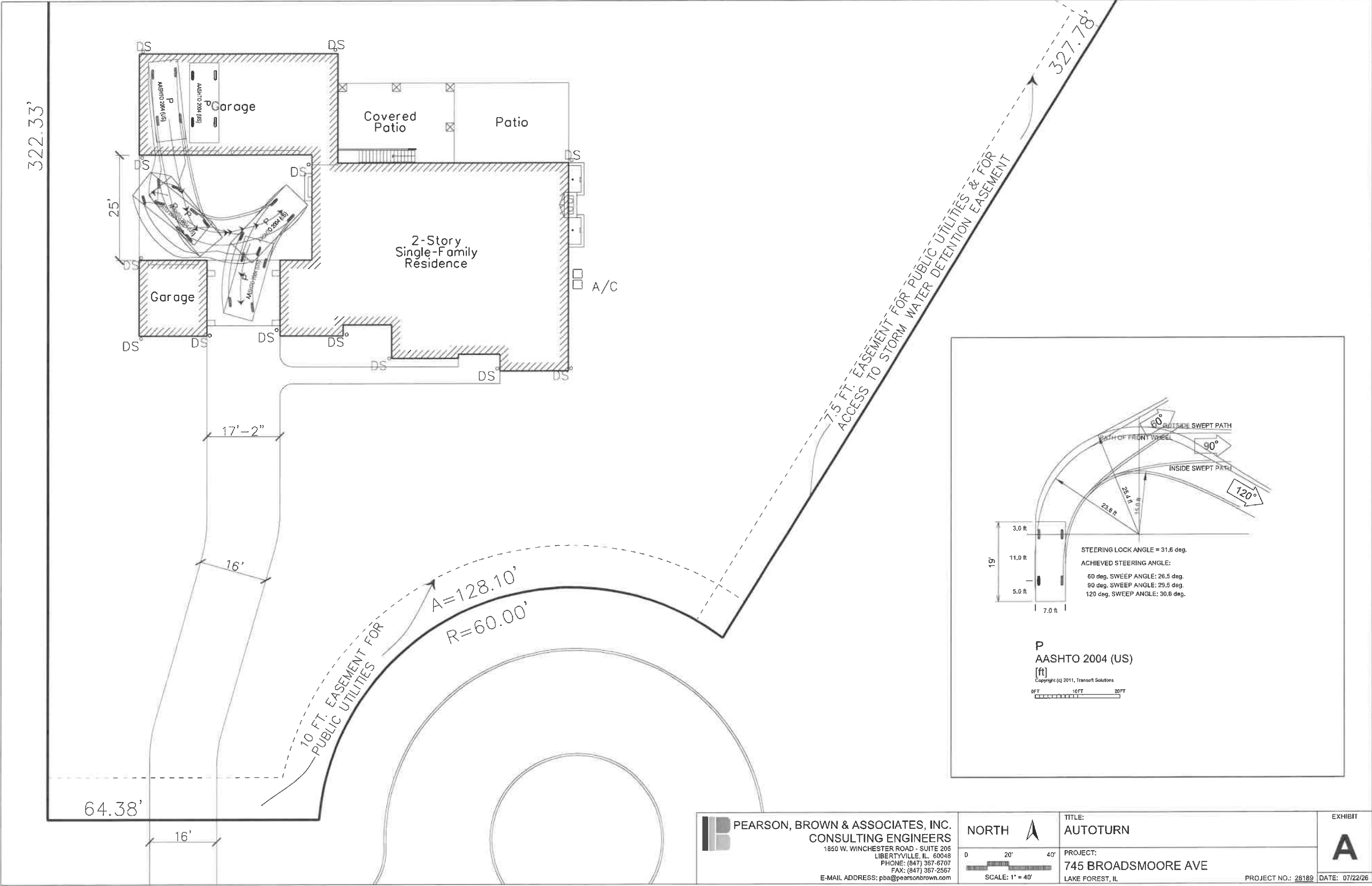


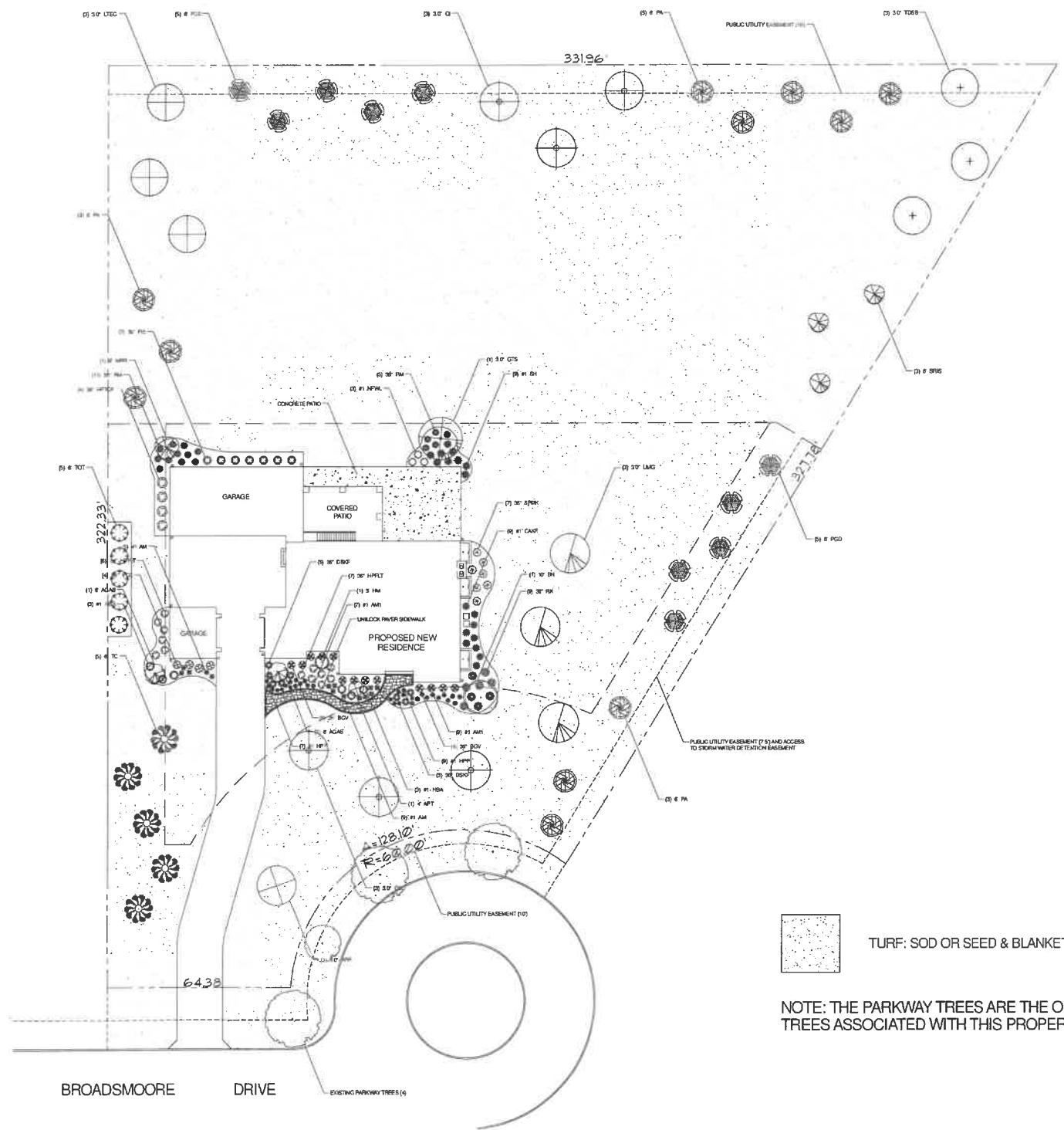
PEARSON, BROWN & ASSOCIATES, INC.
CONSULTING ENGINEERS
1850 W. WINCHESTER ROAD - SUITE 205
LIBERTYVILLE, IL. 60048
PHONE: (847) 387-6707
FAX: (847) 387-2567
E-MAIL ADDRESS: pba@pearsonbrown.com

NORTH
0 20' 40'
SCALE: 1" = 40'

TITLE:
AUTOTURN
PROJECT:
745 BROADSMOORE AVE
LAKE FOREST, IL

EXHIBIT
B
PROJECT NO.: 26189 DATE: 07/22/26





REVISIONS:
06.01.26 (CLIENT REVIEW)
06.11.26 (ADD PARKWAY TREES)
07.08.26 (SCREEN PARKING COURT)
07.17.26 (UPDATED SITE PLAN)

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

PROPOSED RESIDENCE
745 BROADSMOORE DRIVE
LAKE FOREST, ILLINOIS

LANDSCAPE PLAN

DATE: 06.01.26
SCALE: 1"=20'
DRAWN: CID



L101

745 BROADSMOORE DRIVE
LAKE FOREST, ILLINOIS

PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
1	Redpointe Maple	<i>Acer rubrum</i> 'Redpointe'	3.0"	B&B ARR	
1	Skyline Locust	<i>Gleditsia triacanthos</i> 'Skyline'	3.0"	B&B GTS	
3	Emerald City Tulip Tree	<i>Liriodendron tulipifera</i> 'Emerald City'	3.0"	B&B LTEC	
3	Swamp White Oak	<i>Quercus bicolor</i>	3.0"	B&B QB	
3	Shingle Oak	<i>Quercus imbricaria</i>	3.0"	B&B QI	
3	Shawnee Brave Bald Cypress	<i>Taxodium distichum</i> 'Shawnee Brave'	3.0"	B&B TDSB	
3	Triumph Elm	<i>Ulmus</i> 'Morton Glossy'	3.0"	B&B UMG	
1	Clump River Birch (3-5 stems)	<i>Betula nigra</i>	10'	B&B BN	
11	Norway Spruce	<i>Picea abies</i>	6'	B&B PA	
10	Black Hills Spruce	<i>Picea glauca</i> 'Densata'	6'	B&B PGD	
5	Canadian Hemlock	<i>Tsuga canadensis</i>	6'	B&B TC	
5	Techny Arborvitae	<i>Thuja occidentalis</i> 'Techny'	6'	B&B TOT	
1	Tamukeyama Japanese Maple	<i>Acer palmatum</i> 'Tamukeyama'	4'	B&B APT	
2	Autumn Brilliance Serviceberry	<i>Amelanchier grandiflora</i>	6'	B&B AGAB	
1	Royal Raindrops Crabapple	<i>Malus</i> 'Royal Raindrops'	6'	B&B MRR	
1	Seven Son Flower	<i>Heptacodium miconiodes</i>	5'	B&B HM	
3	Ivory Silk Japanese Tree Lilac	<i>Syringa reticulata</i> 'Ivory Silk'	6'	B&B SRIS	
13	Green Velvet Boxwood	<i>Buxus</i> 'Green Velvet'	36"	Cont. BGV	
8	Kodiak Fresh Honeysuckle	<i>Diervilla splendens</i> 'SMNDSS'	36"	Cont. DSKF	
7	Show Off Forsythia	<i>Forsythia intermedia</i> 'Show Off'	36"	Cont. FIS	
13	Fire Light Tidbit Hydrangea	<i>Hydrangea paniculata</i> 'SMNHPK'	36"	Cont. HPFLT	
4	Tiny Quick Fire Hydrangea	<i>Hydrangea paniculata</i> 'SMNHPSB'	36"	Cont. HPTQF	
9	Karens Azalea	<i>Rhododendron</i> 'Karens'	36"	Cont. RK	
16	Coral Drift Groundcover Rose	<i>Rosa</i> 'Meidrifora'	36"	Cont. RM	
7	Miss Kim Lilac	<i>Syringa patula</i> 'Miss Kim'	36"	Cont. SPNK	
4	Dwarf Koreanspice Viburnum	<i>Viburnum carlesii</i> 'Compactum'	36"	Cont. VCC	
14	Millenium Ornamental Onion	<i>Allium</i> 'Millenium'	#1 Pots	AM	
16	Lady's Mantle	<i>Alchemilla mollis</i>	#1 Pots	AM1	
9	Karl Foerster Reed Grass	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	#1 Pots	CAKF	
6	Blue Angel Hosta	<i>Hosta</i> 'Blue Angel'	#1 Pots	HBA	
16	Plum Pudding Coral Bells	<i>Heuchera</i> 'Plum Pudding'	#1 Pots	HPP	
3	Walker's Low Catmint	<i>Nepeta faassenii</i> 'Walker's Low'	#1 Pots	NFWL	
9	Prairie Dropseed	<i>Sporobolus heterolepis</i>	#1 Pots	SF	

Additional Information Provided by Staff

NORTH ELEVATION
725 BROADSMOORE DRIVE
BRB - 4.1.2026

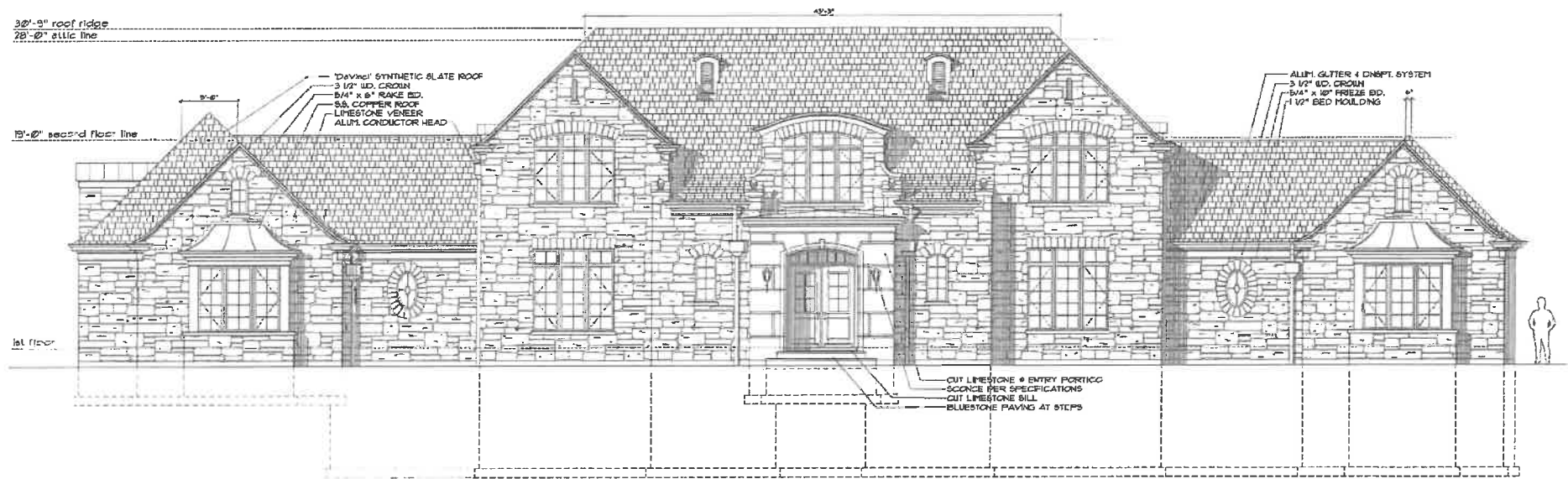


FRONT ELEVATION

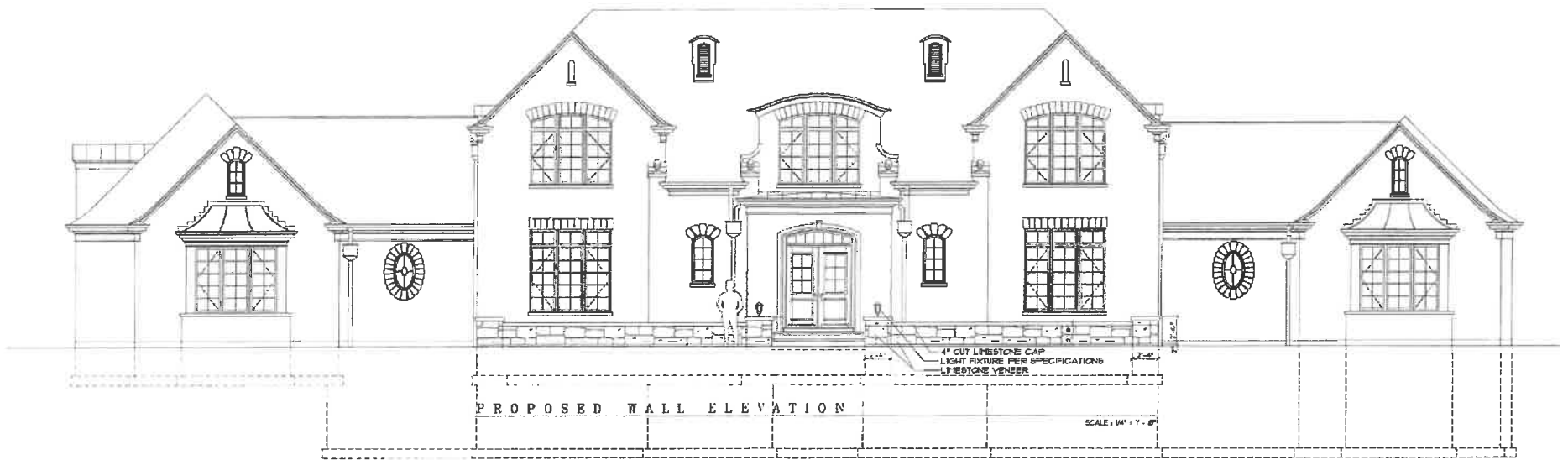
SCALE: 3/32" = 1'-0"

REV. PRESENTATION DATE: 01 / 05 / 2026
PRELIMINARY PRESENTATION DATE: 12 / 02 / 2025
2025 © A. PERRY ARCHITECTS, ILLINOIS, PLLC

A-12	FRONT ELEVATION	PROPOSED RESIDENCE COHEN RESIDENCE 725 BROADSMOORE DRIVE LAKE FOREST, IL 60045	A. PERRY ARCHITECTS, ILLINOIS, PLLC	
			1220 WASHINGTON AVE. WILMETTE, IL 60091 847.549.0668	
SHT. 9 of 4			WWW.APERRYHOMES.COM	



PROPOSED NORTH ELEVATION



PROPOSED WALL ELEVATION

THE SET OF THESE DRAWINGS IS TO BE USED FOR THE CONSTRUCTION OF THE PROPOSED NORTH ELEVATION AND WALL ELEVATION OF THE FIORNTINO RESIDENCE. ANY CHANGES TO THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT. © 2026, ALL RIGHTS RESERVED. BENDIXON DESIGN GROUP, LLC

FIORNTINO RESIDENCE
888 LOT 8
585 WHITEHALL LANE
LAKE FOREST, ILLINOIS

DANIEL M. BENDIXON
ARCHITECT
2026 S. WILSON AVE
CHICAGO, IL 60608
416.223.1111

BENDIXON
DESIGN
GROUP
P.O. BOX 1000
CHICAGO, IL 60608
773.223.1111

PREPARED BY:
D.M.B.

DATE:
7.1.2026

SCALE:
1/4" = 1' - 0"

20004

SHEET
A-1

Agenda Item 6
63 Franklin Place
Demolition and Replacement

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

- Application
- Statement of Intent
- Demolition Request
 - Statement Addressing Demolition Criteria
 - Structural Evaluation of Existing Residence
 - Photos - Existing Conditions
- Proposed Residence
 - Description of Materials
 - Proposed Site Plan
 - Overlay – Proposed & Existing Footprint
 - Rendering
 - Exterior Materials
 - Elevations
 - Elevation Overlays – Existing & Proposed
 - Roof Plan*
 - Building Section*
 - Floor Plans*
 - Landscape Plan / Proposed Planting List
 - Tree Survey / Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

63 Franklin Place

Consideration of a recommendation in support of demolition of the existing residence and a replacement residence and the associated hardscape and landscape plan.

**Property Owners: 63 Franklin LLC
(Eddie Bababyev 50%; Dmitriy Bondarenko 50%)
Project Representative: Karl Smolov, Builder**

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of demolition of the existing residence and attached garage, a replacement residence and attached garage and the associated hardscape and conceptual landscape plans.

Description of Property

The subject property is located on the south side of Franklin Place, west of Western Avenue. The property was created by the 1st Addition to Woodview Acres Subdivision which was recorded in 1960 as part of a four lot subdivision.

The property fronts and is accessed off Franklin Place. Immediately to the west of the property, a driveway provides access for two lot-in-depth residences located south, to the rear of the subject property. Because this is a front lot of a lot in depth subdivision, the Code requires the front yard setback, in this case 40 feet, to be applied to the side of the property that is adjacent to the driveway to the rear lots. The existing house is nonconforming to the 40 foot setback along the west property line. The proposed replacement residence is sited further from the west property line than the existing house and it is reasonable to expect that a variance could be granted. An application to the Zoning Board of Appeals will follow the Building Review Board's consideration.

Adjacent to the subject property is a single family home that was built as part of the recently completed Kelmscott Park development.

Based on City records, the house proposed for demolition was constructed shortly after the subdivision was approved in 1962. The attached garage was extended to the rear of the house in 1990. Permit records document that limited alterations were made to the house in the later years. The roof was replaced, a skylight installed, and permits were issued to enclose a portion of the rear deck. The record for this property is limited, indicating that since construction of the home in the early 1960's, no significant changes have been made.

Review of Demolition Criteria

The demolition criteria from the Code are listed below. Findings in response to each criterion are provided below based on staff review of the information submitted by the petitioner and staff research.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing structure is not significant individually or to the surrounding area historically, aesthetically, or culturally.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is generally met. The petitioner did not provide detail on any options considered to restore, reuse, or build on to the existing home.

According to the condition assessment submitted by the petitioner which was prepared by Rolando D. Espinili, ESE Engineers, repairs and modifications are needed to the foundation, floors, wall systems and roof to make the house livable and desirable. The assessment supports demolition and new construction as a cost effective approach that will ultimately result in a better end product.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is generally met. The home is likely habitable but would require repairs and upgrades.

According to the condition assessment, the deficiencies present in the existing residence are the result of the age and deterioration of the building systems, the roof, wall assemblies and structural components. The assessment notes that many aspects of the home do not conform to current Codes.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. No evidence has been presented that the demolition of the home will adversely impact values of surrounding properties. Redevelopment of this property with a residence determined by the Board to meet the City's Design Guidelines is likely to support property values in the area.

Criteria 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion can be met. The proposed replacement residence is designed to adhere to all applicable zoning setbacks and square footage limitations. With attention to detail and further refinement as may be directed by the Board to more fully align with the City's Design Guidelines, the new residence can be consistent with the quality and character of other homes in the neighborhood.

The Board's review and direction is intended to ensure that this criterion is met.

Staff finds that the criteria for demolition are generally satisfied subject to Board review and approval of a replacement residence.

Staff Review of Standards – Evaluation, Comments and Recommendations

Standards in General

The Code directions consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is mostly met.

The proposed siting of the new house is close to the 40 foot front yard setback, and near the 12 foot setback from the east property line. As noted above, a driveway provides access to the rear lot-in-depth residences and borders the west property line of the subject property. A 10 foot public utility and drainage easement is adjacent to the access drive and is located on the subject property, along the west property line. The driveway for the new residence borders the easement but is not permitted to encroach into the easement. The driveway provides access to a three car side-loaded garage.

Because of the lack of space between the easement and driveway, there is little area for vegetative screening to mitigate impacts of car headlights and taillights on the neighboring house to the west. Plantings are not permitted in the drainage easement. The proposed garage will face west. A small portion of the driveway within the front yard, enters into the side yard setback. The petitioner will need to provide a site plan that clearly shows the driveway outside of the side yard setback when located

within the front yard. An auto turn prepared by a licensed engineer will be required at the time of submittal for permit to demonstrate that there is adequate hardscape for vehicles pulling into and out of the garage.

The driveway will be asphalt with a brick border. A stone front and rear walk and brick paver patio are also proposed.

Staff Recommendation: Refine the site plan to show all portions of the driveway in the front yard outside of the side yard setback.

Building Massing and Height – This standard is met.

The total lot size is 19,684 square feet. A residence of up to 3,984 square feet is permitted on the property. In addition, a garage of up to 600 square feet is permitted along with up to 398 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence totals 3,983 square feet. The first floor is 2,172 square feet, the second floor is 1,749 square feet. Third floor attic space is not included in the square footage calculation because the residence is just under the calculation height for third floor attic area.
- The three car garage totals 662 square feet, which is 62 square feet more than the permitted square footage for a garage on a property of this size. The excess 62 square feet is added to the total square footage of the residence.
- Design elements of the home total 335 square feet, less than the permitted design element bonus. The design elements are not included in the square footage total for the house provided above. The design elements in the home include an open porch, covered entry and bay windows.

Based on the information available, the proposed residence is less than 1% (or 1 square foot) below the maximum square footage permitted on a lot of this size.

The height of the residence at the tallest point as measured from the lowest point of pre-existing grade adjacent to the house is 26' 5 ½". A maximum height of 35' is permitted on a lot of this size.

Periodic as built surveys will be required during the construction process to verify that the square footage and overall height comply with the approved plans and Code limitations.

Elevations – This standard is somewhat met.

According to the petitioner's statement of intent, the proposed residence is inspired by traditional European and English Country architecture. Features of the English Country and traditional European styles can be found in the steeply pitched gable roofs, natural façade materials of stone and stucco, and tall, narrow windows. A stone water table provides consistency on all four elevations.

The front elevation is asymmetrical, presenting a wide gable element that discontinues below the second floor on the east end, with a tall, narrow gable element in the center before stepping down to a hipped roof for the side-loaded attached garage. A smaller gable element is present along the front elevation of the garage. The petitioner informed staff of the intention to eliminate the gable dormer on the front elevation over the attached garage. Removal of this element simplifies the façade and roof forms. Consideration may be given to further simplification of roof forms and improved hierarchy of massing.

Recommendation: Simplify the roof forms and establish a clearer hierarchy of massing on the front façade.

On the right (or west) elevation, the hipped roof of the side-loaded garage is broken up with two gable dormers. A tall, narrow gable towards the rear highlights the only other windows present on this elevation.

Recommendation: Consider the addition of a window to the first floor for better balance of solids to voids.

The rear (or south) elevation includes a long, unbroken wall on the side of the garage before the main mass of the residence steps out. A covered porch with a second floor balcony centers the mass. The balcony appears odd in the context of the lot to the rear and may have limited functionality. Board input on the balcony element is requested.

There are two gable elements. Consideration should be given to aligning the placement and size of the windows in the gable elements on both the first and second floors.

On the side (or east) elevation there is some inconsistency with double windows under one of the gable elements on both the first and second floors and single windows under the other gable. Consideration should be given to refining the arrangement of windows on the east elevation.

Throughout the elevations, different window sizes are presented. The windows should be refined to achieve greater consistency across the elevations.

Recommendation: Refine window sizing and arrangement with special attention to the balance of solids to voids and consistency overall.

Type, color, and texture of materials – This standard is somewhat met.

The petitioner proposes an ivory white stucco with a neutral color limestone veneer façade. Synthetic stucco is noted on the list of exterior materials. True cement stucco is required. Clarification is required on the windows. Conflicting information is provided in the materials submitted by the petitioner. The Board consistently requires wood or aluminum clad wood windows with simulated divided lites with appropriately proportioned muntins affixed to the interior and exterior of the windows.

The door trim will be stone/stucco; however, the window trim is listed as synthetic stucco. True cement stucco is required. There are conflicting materials identified for the fascia, soffits, and rakeboard. One document identifies fiber cement/composite, and the other identifies painted wood trim. Natural cedar is recommended for the fascia, soffits, and trim or a high quality synthetic product such as Boaral. An asphalt shingle roof is proposed along with black aluminum gutters and downspouts. A high quality architectural grade shingle should be used. As noted above, the driveway will be asphalt with a brick border. The patios will be brick pavers. The front and rear walkways will be stone.

Recommendation: True cement stucco is required.

Recommendation: Clarify the proposed window treatment. Aluminum clad or wood clad windows are recommended with simulated divided lites with affixed interior and exterior muntin bars.

Recommendation: Natural wood should be used for the fascia, soffit, and trim or a high quality synthetic product subject to approval by staff.

Recommendation: Samples of all exterior materials should be presented to the Board at the meeting.

Landscaping – This standard is met.

The proposed landscape plan will need to at least meet the minimum criteria for new construction. The proposed location of the driveway against the public utility and drainage easement makes the installation of vegetation for screening difficult. A fence should be installed adjacent to the easement to mitigate off-site light spillover.

The petitioner provided a revised tree removal plan. An accurate tree removal plan clearly identifying trees proposed for removal, species, size and condition will be required at time of permit application. With this information, the required replacement tree inches will be determined and will need to be included on the landscape plan.

It will be critical that extraordinary measures are taken to protect the Oak trees identified for preservation.

Recommendation: Revise the landscape plan to include a fence along the west side of the driveway and garage apron to mitigate off-site light spillover.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, staff and the petitioner have spoken with one resident regarding questions and comments related to the petition.

Recommendation

Indicate support for the demolition pending Board approval of the replacement structure.

Recommend approval of a new residence with an attached garage and the associated hardscape and landscape plan. The recommendation is subject to the following conditions of approval:

1. Prior to submittal for permit, the following shall be addressed and reflected on the materials submitted for permit:

Site Plan

- a. Refine the site plan to show all portions of the driveway in the front yard outside of the side yard setback.
- b. Provide an auto turn study prepared by a licensed engineer.

Elevations

- a. Simplify the roof forms and establish a clearer hierarchy of massing on the front façade.
- b. Refine window sizing and arrangement with special attention to the balance of solids to voids.

Exterior Materials

- a. Specify true cement stucco.
- b. Specify wood windows or aluminum clad wood windows with simulated divided lites with affixed interior and exterior muntin bars.
- c. Specify wood for the proposed fascia, soffit, and trim material.

Landscaping Plan

- a. Revise the landscape plan to include a fence along the west side of the driveway and garage apron to mitigate off-site light spillover.
 - b. Remove proposed plantings from the public utility and drainage easement from the revised landscape plan.
2. All modifications to the plans, including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
 3. Prior to the issuance of a building permit the following shall be submitted and will be subject to staff review and approval:

Tree Protection

- a. A tree protection fencing plan. Fencing must be installed prior to issuance of permits. Special care shall be taken to avoid staging materials or spoils near the Oak trees intended for preservation. Fencing shall provide a wide berth of protection of these trees.
- b. If determined to be necessary by the City's Certified Arborist, a pre and post construction treatment plan for the Oak tree shall be submitted.

Drainage and Grading

- c. Detailed drainage and grading plans. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from demolition and construction activity on the site must be controlled. The drainage plan must demonstrate appropriate management of stormwater to avoid increasing

runoff on to neighboring properties after the completion of construction.

Exterior Lighting

- d. Provide details of all exterior lighting proposed on the structure and any landscape lighting on the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- e. A plan for contractor parking and equipment and materials' staging. The adjacent and nearby streets must remain clean and passable throughout construction. Driveways may not be blocked. Due to the narrow condition of Franklin Place and the curve to the west, on street contractor parking is not permitted to the west of the subject property.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 63 Franklin Place Owners 63 Franklin LLC (Eddie Babayev)
 Project Manager Karl Smolov Reviewed by: S. Thomas
 Date 7.29.2026
 Lot Area 19684 sq. ft. Allowed Square Footage 3984

Square Footage of Residence

1st floor 2172 + 2nd floor 1749 + 3rd floor 0 = 3921 sq. ft.

Design Element Allowance = 398 sq. ft.

Total Actual Design Elements = 335 sq. ft. Excess = 0 sq. ft.

Garage 662 sf actual ; 600 sf allowance Excess = 62 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 3983 sq. ft.

TOTAL SQUARE FOOTAGE = 3983 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3984 sq. ft.

DIFFERENTIAL = 1 sq. ft. **NET RESULT:**
under Maximum

1 sq. ft. is

less than 0.00% under
 Max. allowed

Allowable Height: 35 ft. Actual Height 26' 5 1/2" ft.

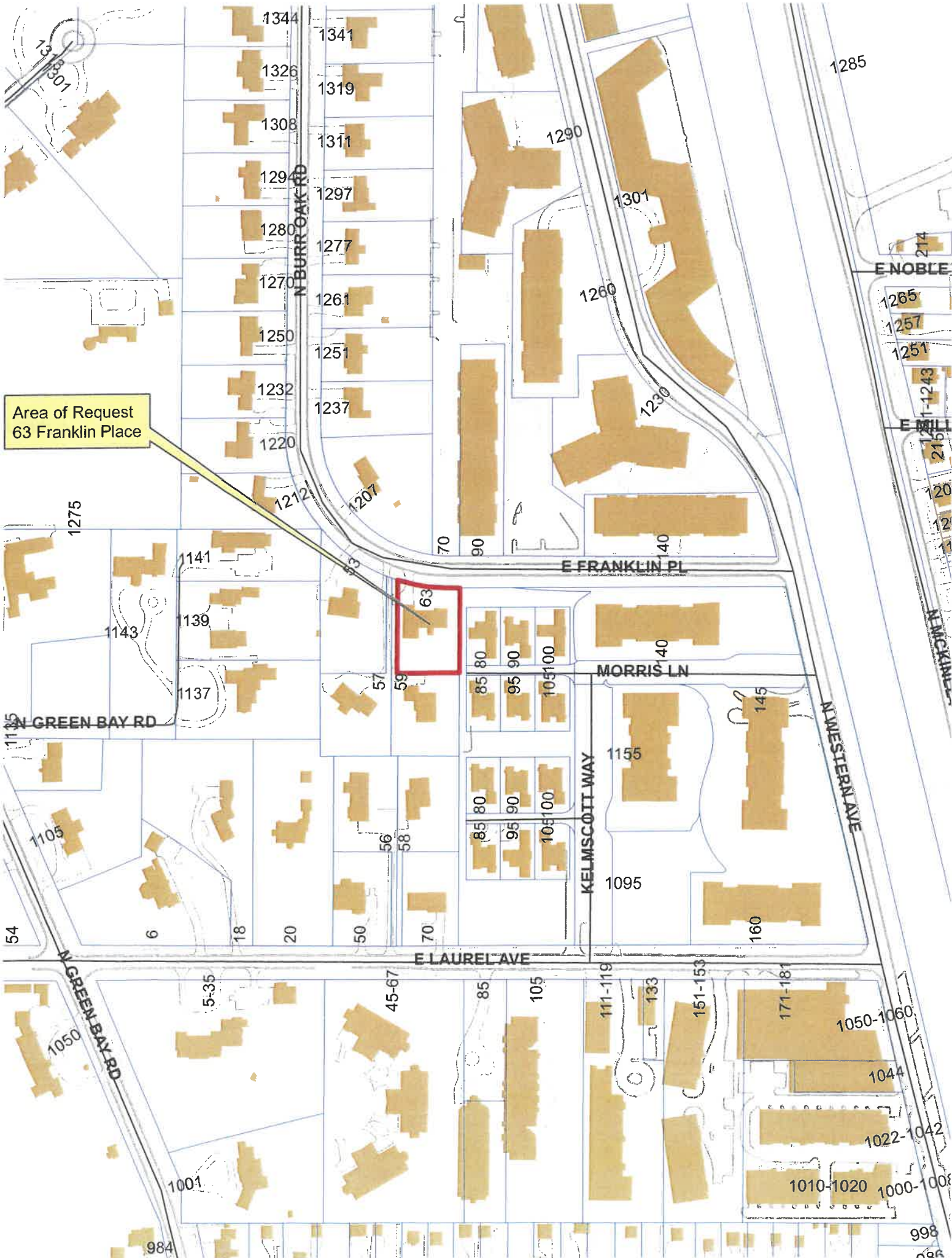
DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 398 sq. ft.

Open Porches = 302 sq. ft.
 Screen Porches = 0 sq. ft.
 Covered Entries = 14 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Dormers = 0 sq. ft.
 Bay Windows = 18 sq. ft.

Total Actual Design Elements = 334 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
63 Franklin Place





Area of Request
63 Franklin Place

N BURR OAK RD

E FRANKLIN PL

MORRIS LN

KELMSCOTT WAY

HESTERCOMBE LN



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 63 Franklin Pl East. Lake Forest, IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
☒ New Residence ☐ New Accessory Building ☐ Addition/Alteration ☐ Building Scale Variance	☒ Demolition Complete ☐ Demolition Partial ☐ Height Variance ☐ Other	☐ New Building ☐ Addition/Alteration ☐ Height Variance ☐ Other	☐ Landscape/Parking ☐ Lighting ☐ Signage or Awnings

PROPERTY OWNER INFORMATION

**Eddie Babayev - 50%
Dmitry Bondarenko - 50%**
63 Franklin LLC.
Owner of Property

570 Oakwood Rd.
Owner's Street Address (may be different from project address)

Lake Zurich, IL 60047
City, State and Zip Code

847-363-2436
Phone Number *Fax Number*

edikbabayev23@gmail.com
Email Address

Eddie Babayev
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Karl Smolov (Builder)
Name and Title of Person Presenting Project

Lux Builders NorthShore LLC.
Name of Firm

2049 Walnut Circle
Street Address

Northbrook, IL 60062
City, State and Zip Code

847-409-2332
Phone Number *Fax Number*

Luxbuildersns@gmail.com
Email Address

Karl Smolov
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	☒ OWNER ☒ REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	☐ OWNER ☐ REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	☐ OWNER ☐ REPRESENTATIVE

ARCHITECTURAL NARRATIVE

Building Review Board Submission

Proposed New Single-Family Residence

63 E. Franklin Place East
Lake Forest, Illinois

Project Description

The proposed project consists of the demolition of the existing single-family residence and construction of a new custom single-family home at 63 E. Franklin Place East. The replacement residence has been thoughtfully designed to complement the established architectural character of Franklin Place East while providing a timeless, high-quality home appropriate for the neighborhood.

The proposed residence occupies a similar location on the site as the existing home, maintaining the established relationship to Franklin Place East, adjacent residences, and surrounding open space. The design respects the scale, rhythm, and residential character of the neighborhood while introducing updated architectural detailing and durable exterior materials.

Architectural Character

The proposed residence is inspired by traditional European and English Country architecture, incorporating balanced proportions, steeply pitched roof forms, prominent front-facing gables, natural limestone, smooth white stucco, and black architectural accents. The composition creates visual interest while maintaining an orderly and refined appearance compatible with neighboring homes.

The design intentionally avoids excessive ornamentation or disproportionate massing. Instead, the residence is organized into clearly defined building volumes that reduce perceived scale and provide a comfortable transition to surrounding properties.

Compatibility with Neighborhood

Franklin Place East contains a diverse collection of high-quality custom residences representing various architectural styles and periods. The proposed residence has been designed to reinforce this character by utilizing materials and proportions commonly found throughout the neighborhood.

The use of natural limestone, white stucco, steep roof pitches, divided-light black windows, and carefully proportioned gables creates a residence that is both distinctive and compatible with nearby homes.

The replacement residence improves upon the existing structure by introducing a cohesive architectural composition, enhanced landscape design, and significantly improved curb appeal while maintaining respect for neighboring properties.

Building Scale and Massing

Although the residence provides modern living accommodations, the apparent scale has been carefully moderated through the use of:

- Multiple front-facing gables
- Varied roof heights
- Recessed wall planes
- Balanced window placement
- Natural material transitions
- Foundation landscaping

These design elements visually reduce the overall mass of the building and provide architectural articulation consistent with the surrounding residential context.

Exterior Materials

Primary exterior materials include:

- Smooth white stucco wall surfaces
- Natural light-colored limestone veneer
- Black architectural asphalt shingle roofing
- Black aluminum-clad windows
- Black fascia, soffits, gutters, and trim
- Black painted entry door
- White sectional garage doors

The selected materials are durable, timeless, and appropriate for the architectural character of Lake Forest.

Landscape Design

The landscape plan complements the proposed architecture by providing formal foundation plantings, canopy trees, ornamental trees, evergreen screening, and seasonal plantings. Existing mature trees outside the construction limits will be preserved where feasible.

The landscape improvements soften the architectural mass, enhance the streetscape, provide year-round visual interest, and reinforce the established residential character of Franklin Place East.

Streetscape Relationship

A streetscape exhibit has been prepared illustrating the relationship between the proposed residence and the adjacent homes at 57 and 59 E. Franklin Place East. The exhibit demonstrates that the proposed residence is compatible in scale, architectural quality, and visual character with neighboring properties.

The proposed residence maintains appropriate setbacks, preserves the established streetscape rhythm, and contributes positively to the overall neighborhood appearance.

Conclusion

The proposed residence has been designed to meet the objectives of the Village of Lake Forest Building Review Board by providing a high-quality architectural design that is compatible with the surrounding neighborhood, respectful of adjacent properties, and consistent with the architectural traditions that define the community.

Through careful consideration of building scale, materials, massing, landscape design, and streetscape compatibility, the project represents a significant enhancement to the property and will contribute positively to the long-term character of Franklin Place East.

STATEMENT OF INTENT

BUILDING REVIEW BOARD APPLICATION

63 Franklin Place East Lake Forest, Illinois

Project Description

The proposed project consists of the demolition of the existing single-family residence and construction of a new single-family residence at 63 Franklin Place East in Lake Forest, Illinois.

The existing residence is a one-story ranch home situated on a 19,683 square foot property within an established residential neighborhood. Over time, the residence has been modified through various additions and alterations, resulting in a building configuration that lacks architectural continuity and does not efficiently meet the needs of contemporary residential living.

The proposed residence has been carefully designed to provide a cohesive architectural composition that is compatible with the character of the surrounding neighborhood while maintaining compliance with the City of Lake Forest's Architectural and Site Design Standards.

Architectural Design

The proposed residence utilizes a traditional architectural vocabulary consisting of natural stone, stucco wall surfaces, cedar shake roofing accents, divided-light windows, and articulated roof forms. The design incorporates high-quality exterior materials and detailing intended to create a timeless residential appearance consistent with the architectural traditions commonly found throughout Lake Forest.

Site Planning

The proposed residence has been positioned to respect established setback requirements and maintain appropriate relationships with neighboring properties. The design preserves substantial open yard areas while improving the overall organization of the site.

The attached three-car garage is integrated into the overall building composition, reducing its visual prominence from the public street and reinforcing the residential character of the structure.

Neighborhood Compatibility

The proposed residence has been designed with careful consideration of the surrounding neighborhood. Building massing, roof forms, material selections, and architectural detailing have been organized to create a residence that contributes positively to the streetscape while remaining compatible with adjacent homes.

The project replaces an aging residence with a thoughtfully designed home that reflects the quality, character, and architectural standards expected within the City of Lake Forest.

Conclusion

The proposed redevelopment represents a substantial improvement to the property and is consistent with the goals of the City of Lake Forest Building Review Board. The project will enhance the appearance of the site, improve architectural quality, and contribute positively to the long-term character and value of the neighborhood.

Demolition Request

STATEMENT ADDRESSING THE BUILDING REVIEW BOARD DEMOLITION CRITERIA

Property Address:

63 East Franklin Place
Lake Forest, Illinois

Petitioner:

63 Franklin LLC

Criterion 1

The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic, or cultural significance to the community.

The existing residence at 63 East Franklin Place was constructed in 1962 and has served solely as a single-family residence throughout its history. Although representative of residential construction from its era, the home is not individually significant from an architectural, historical, or cultural standpoint, nor does it possess unique design characteristics that distinguish it from other homes of similar age within the community.

Research performed as part of the redevelopment process found no evidence that the residence is associated with a historically significant architect, notable individual, or important historic event. Likewise, the property is not designated as a local landmark, is not listed on any historic register, and is not identified as a contributing structure within a recognized historic district.

The existing structure consists of conventional residential construction utilizing wood framing with masonry and siding finishes. Its architectural detailing is typical of mid-century residential development and does not contain distinctive features whose preservation would provide a unique public benefit.

The proposed redevelopment will replace the existing home with a thoughtfully designed custom residence that reflects the architectural quality, materials, proportions, and character expected within this established Lake Forest neighborhood while preserving the residential use of the property.

Criterion 2

Realistic alternatives, including adaptive re-use, do not exist because of the nature or cost of work necessary to preserve the structure or realize any appreciable part of its value.

Prior to pursuing demolition, the Owner and design professionals evaluated whether renovation, expansion, or adaptive reuse of the existing residence would be feasible.

Those evaluations concluded that renovation would require extensive structural modifications together with substantial replacement of major building systems in order to comply with current building codes, energy efficiency requirements, life-safety standards, and the functional needs of a modern residence. The cumulative scope of reconstruction would effectively require rebuilding a substantial portion of the home while continuing to be constrained by the limitations of the original 1962 structure.

Because these improvements would not represent a practical or economically reasonable investment compared to construction of a new residence specifically designed for the site, complete redevelopment is the most appropriate solution.

This application proposes the complete demolition of the existing residence. No portion of the existing structure will remain or be incorporated into the new construction. Accordingly, demolition plans have not been prepared or submitted, as there are no portions of the existing building requiring selective demolition, preservation, or integration into the proposed residence.

Criterion 3

The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or structural deterioration or other conditions support replacement.

As documented by the Structural Engineer's evaluation submitted with this application, the existing residence would require substantial structural improvements to achieve compliance with current construction standards.

Beyond structural considerations, the residence contains aging building systems and construction methods that no longer satisfy contemporary expectations for safety, energy performance, functionality, or long-term durability. Addressing these deficiencies would require extensive reconstruction that is disproportionate to the value retained in the existing improvements.

After considering the structural report together with the architectural program for the property, replacement of the residence represents the most appropriate, efficient, and responsible long-term solution.

The Structural Engineer's Report has been submitted separately as part of the Building Review Board application materials.

Criterion 4

The demolition and replacement structure will not adversely impact property values within the neighborhood.

The proposed redevelopment represents a substantial private investment that will enhance the appearance and long-term desirability of the property while remaining consistent with the character of surrounding residences.

The proposed home has been carefully designed with high-quality exterior materials, appropriate building proportions, and site planning that complements neighboring properties. The project maintains the established residential use of the site and introduces significant improvements to the overall quality of development.

Construction of a new custom residence is expected to preserve and enhance surrounding property values by replacing an aging structure with one designed to current architectural, engineering, and building standards.

Supporting valuation information or appraisal materials will be provided as requested by the Building Review Board.

Criterion 5

The demolition and replacement structure will be compatible with and will not adversely impact neighborhood character.

Compatibility with the surrounding neighborhood has been a primary design objective throughout development of the proposed residence.

The architectural plans submitted to the Building Review Board demonstrate a residence that has been carefully designed with respect to building scale, massing, roof forms, exterior materials, window proportions, setbacks, and landscape integration. The proposed home maintains the established residential character of Franklin Place East while presenting a refined architectural expression consistent with surrounding high-quality homes.

The submitted site plan, streetscape studies, and elevation overlays illustrate that the proposed residence has been thoughtfully positioned on the property and is compatible with adjacent homes in both scale and appearance. The proposed improvements preserve neighborhood character while providing an updated residence that reflects contemporary construction standards and design quality.

Required streetscape drawings, elevation overlays, and massing information have been included as part of this Building Review Board submission.

Conclusion

The proposed demolition and redevelopment of 63 East Franklin Place satisfies each of the demolition approval criteria established by the City of Lake Forest Building Review Board.

The existing residence does not possess historical or architectural significance warranting preservation, and renovation has been determined to be impractical after consideration of the structural condition of the building, required code upgrades, and the extensive reconstruction necessary to meet current residential standards.

The proposed replacement residence has been specifically designed to complement the established character of Franklin Place East through appropriate scale, massing, architectural detailing, quality materials, and thoughtful site planning. As demonstrated in the accompanying architectural plans, site plan, elevation overlays, and supporting application materials, the new residence will enhance the neighborhood while preserving its residential character.

Because this project consists of the complete demolition of the existing residence, no demolition plans have been submitted. The entire structure will be removed, and no portion of the existing building will remain or be incorporated into the proposed construction.

ROLANDO D. ESPINILI P.E., S.E.
ESE Engineers
2332 ANDERSON PARK DRIVE, HENDERSON, NV 89044
Tel. 708-431-5429
Email – Respinili@Aol.com

June 24, 2026

STRUCTURAL CONDITION ASSESSMENT REPORT

Property:
63 E. Franklin Place
Lake Forest, Illinois

Prepared For:
63 Franklin LLC.

Purpose of Report

The purpose of this report is to evaluate the structural condition of the existing residence located at 63 E. Franklin Place and determine the feasibility of rehabilitation versus replacement.

Existing Structure

The existing residence is an aging single-family home constructed using conventional wood-frame construction over a masonry foundation. Based upon visual observations and review of available information, the structure exhibits numerous deficiencies associated with age, functional obsolescence, and deterioration of primary structural systems.

Observations

Foundation

- Foundation walls exhibit evidence of long-term settlement and differential movement.
- Cracking was observed in various portions of the foundation system.
- Existing foundation configuration does not conform to current construction standards and would require substantial reconstruction to accommodate modern building loads and code requirements.

Floor Framing

- Floor framing exhibits deflection and uneven floor elevations throughout portions of the structure.
- Existing framing members are undersized relative to current building code requirements.
- Significant reinforcement and replacement would be necessary to support modern occupancy loads.

Exterior Walls

- Portions of the exterior wall framing exhibit signs of age-related deterioration.

- Wall assemblies do not provide adequate structural, energy, and moisture performance when compared to current construction standards.
- Extensive reconstruction would be required to achieve compliance with current codes.

Roof Structure

- Roof framing exhibits evidence of aging and localized deformation.
- Significant structural modifications would be required to accommodate modern loading requirements and energy code compliance.

Building Systems Impact

The existing structural systems are intertwined with obsolete mechanical, electrical, and plumbing systems. Upgrading the structure to current standards would require extensive demolition of existing framing and substantial reconstruction of primary load-bearing elements.

Code Compliance Considerations

Bringing the residence into compliance with current International Residential Code requirements, Illinois Energy Code requirements, and City of Lake Forest construction standards would require extensive structural intervention, including:

- Foundation reconstruction and stabilization.
- Replacement of substantial portions of floor framing.
- Replacement and reinforcement of load-bearing wall systems.
- Roof framing modifications.
- Complete integration with new mechanical, electrical, and plumbing systems.

Economic Feasibility

Based upon the extent of observed deficiencies and the level of reconstruction necessary to achieve a safe, code-compliant residence, rehabilitation of the existing structure is not considered economically practical when compared with construction of a new residence.

Professional Opinion

It is the opinion of the undersigned that the existing residence has reached the end of its practical service life. The extent of structural deficiencies, combined with the substantial reconstruction required to meet current building code standards, supports demolition of the existing structure and replacement with a new residence.

The proposed demolition and replacement would provide a safer, more energy-efficient, and more durable structure that is consistent with contemporary construction standards and the character of the surrounding neighborhood.

Respectfully Submitted,

Illinois Licensed Structural Engineer

SE License No.

Date:

6/24/26



EXISTING RESIDENCE PHOTOS

63 E. FRANKLIN PLACE EAST, LAKE FOREST, ILLINOIS



1 FRONT (EAST) ELEVATION



2 DRIVEWAY / GARAGE VIEW (LOOKING EAST)



3 REAR (WEST) ELEVATION

- PHOTO NOTES:**
- 1. Existing single-family residence built in the 1960's
 - 2. Attached two-car garage accessed from side drive (southeast). Horizontal lap siding at garage addition.
 - 3. Rear elevation with existing patio and large window opening.
 - 4. Rear yard looking toward residence. Existing landscaping and lawn typical of the site.
 - 5. Rear elevation with original masonry façade and window openings.



4 REAR YARD VIEW (LOOKING EAST)

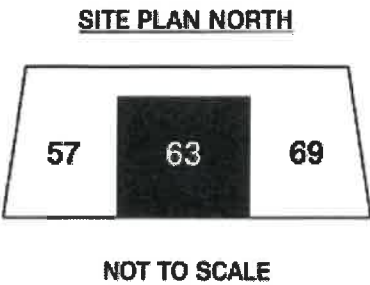


5 REAR YARD VIEW (LOOKING EAST)

- GENERAL NOTES:**
- Please refer to §§ 15.16 of the Zoning Ordinance.
 - Existing structure to be demolished to allow future proposed construction plans.
 - Surrounding neighborhood consists of single-family residential homes and mature landscaping typical of the area.

EXISTING RESIDENCE PHOTOS
63 E. FRANKLIN PLACE EAST
LAKE FOREST, ILLINOIS

BUILDING REVIEW BOARD SUBMISSION



SCALE / DIMENSIONS
AS SHOWN

DRAWN BY: TS

DATE: 7-26-2026

PROJECT NO.: 24.029

SHEET
EX-3

OF 1 SHEET

Proposed Residence



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| ☒ Stone | ☐ Aluminum Siding |
| ☐ Brick | ☐ Vinyl Siding |
| ☐ Wood Clapboard Siding | ☒ Synthetic Stucco |
| ☐ Stucco | ☐ Other _____ |
| ☐ Wood Shingle | |
| Individual or Panels? _____ | |

Color of Material White Stucco, Neutral Color Stone

Window Treatment

Primary Window Type

- ☐ Double Hung
☒ Casement
☐ Sliding
☐ Other _____

Finish and Color of Windows

- ☐ Wood (recommended)
☐ Aluminum Clad
☒ Vinyl Clad
☐ Other _____

Color of Finish Black

Window Muntins

- ☐ Not Provided
☒ True Divided Lites

Simulated Divided Lites

- ☐ Interior and Exterior muntin bars (recommended)
☐ Interior muntin bars only
☐ Exterior muntin bars only
☒ Muntin bars contained between the glass

Trim Material

Door Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Other Stone/Stucco

Window Trim

- ☐ Limestone
☐ Brick
☐ Wood
☒ Other Synthetic Stucco

Fascias, Soffits, Rakeboards

- ☐ Wood
☒ Other Fiber Cement/Composite

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other Direct Vent to Exterior

Foundation Material

- ☐ Brick
- ☐ Stone
- ☐ Stucco
- ☒ Other Cement Foundation

Roofing

Primary Roof Material

- ☐ Wood Shingles
- ☐ Wood Shakes
- ☐ Slate
- ☐ Clay Tile
- ☐ Composition Shingles
- ☐ Sheet Metal
- ☒ Other Asphalt Shingles

Flashing Material

- ☐ Copper
- ☒ Sheet Metal
- ☐ Other _____

Skylights

- ☐ Proposed
- ☐ Existing
- ☒ None

Gutters and Downspouts

- ☐ Copper
- ☒ Aluminum
- ☐ Other _____

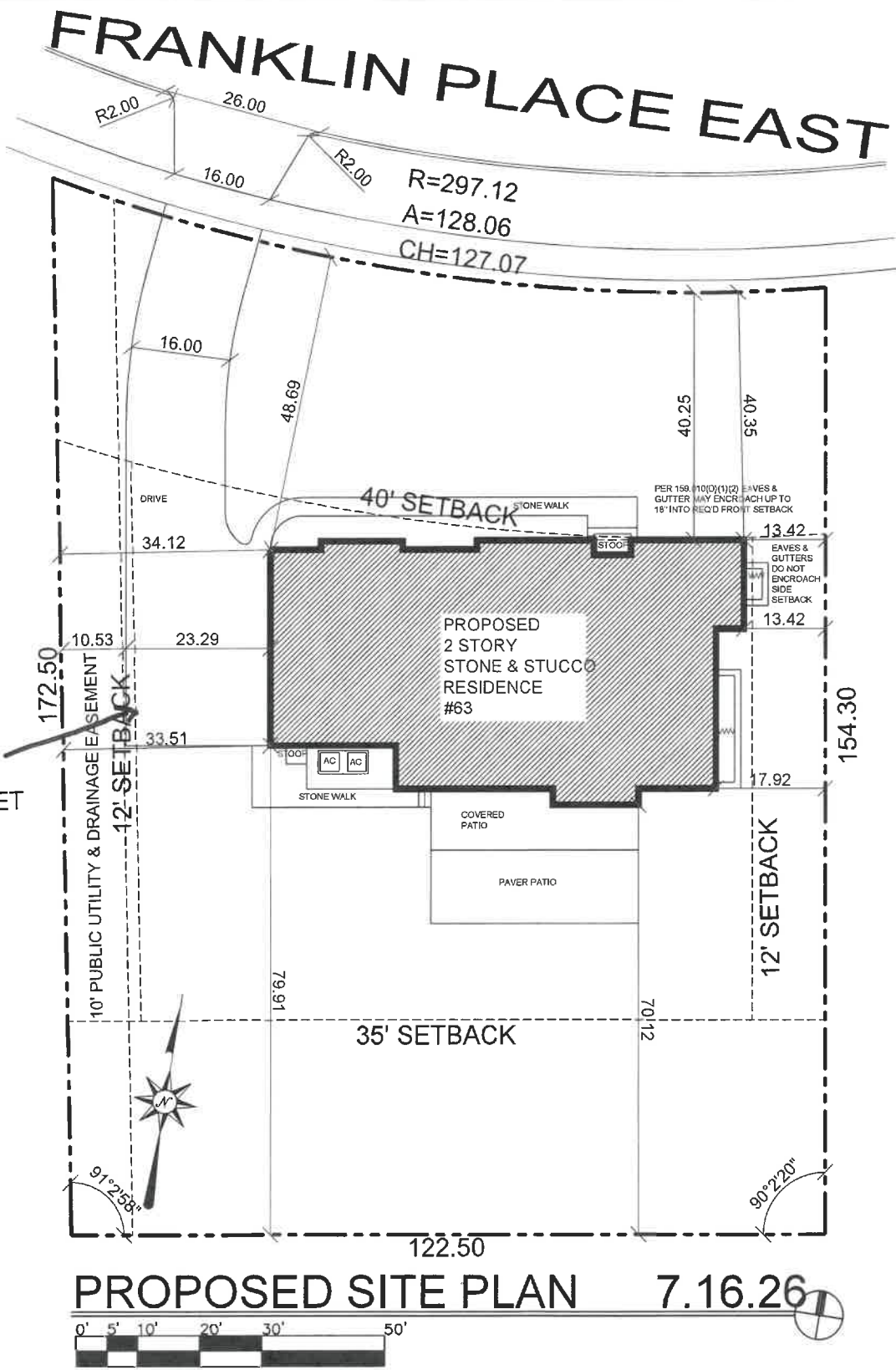
Driveway Material

- ☒ Asphalt
- ☐ Poured Concrete
- ☐ Brick Pavers
- ☐ Concrete Pavers
- ☐ Crushed Stone
- ☒ Other Brick Borders

Terraces and Patios

- ☐ Bluestone
- ☒ Brick Pavers
- ☐ Concrete Pavers
- ☐ Poured Concrete
- ☐ Other _____

SETBACK IS 40 FEET

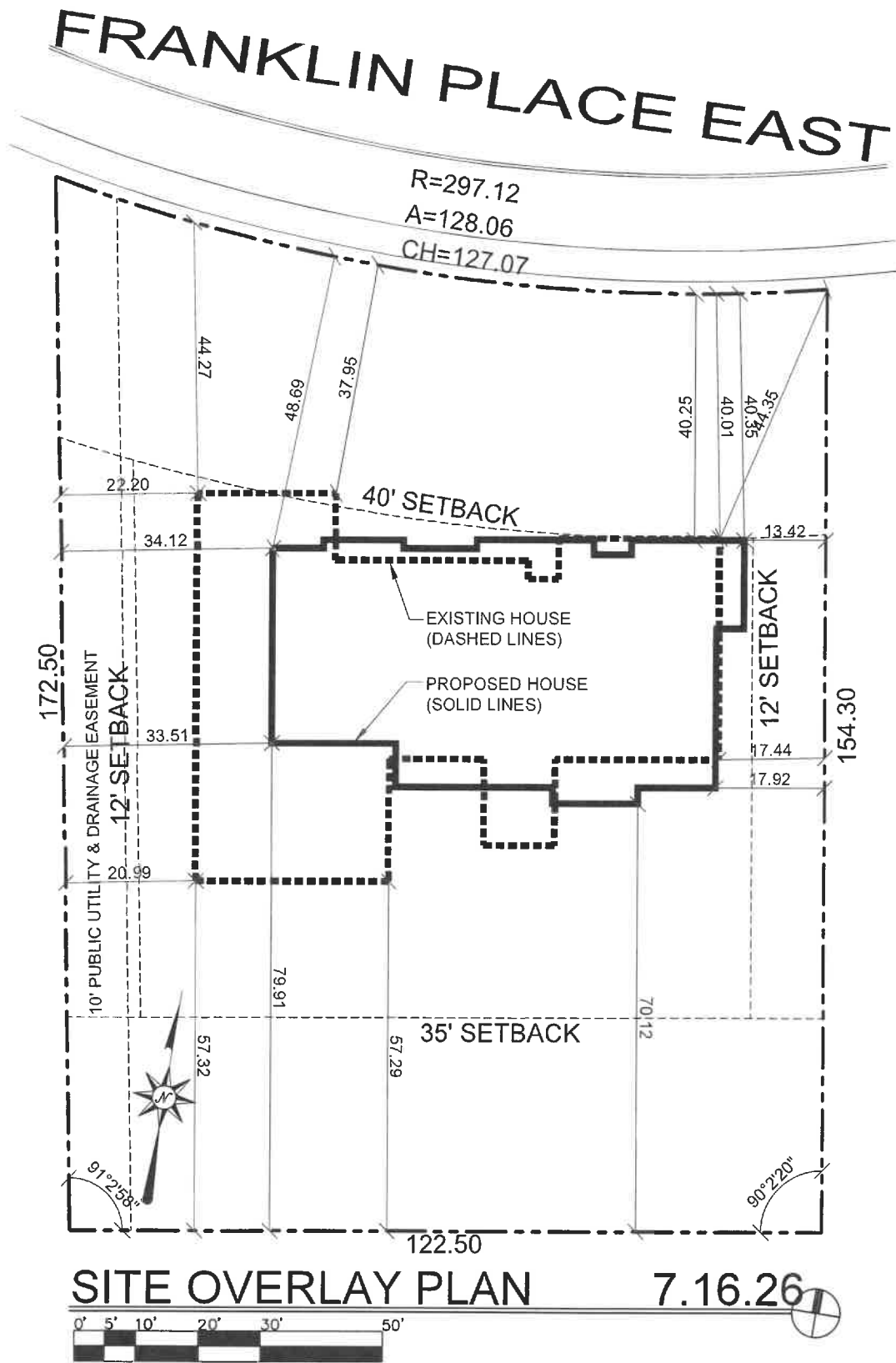


DATE:	
06.19.26	07.16.26
06.24.26	
07.06.26	
07.07.26	
07.09.26	

NEW SINGLE FAMILY RESIDENCE
63 FRANKLIN PLACE EAST
LAKE FOREST, ILLINOIS 60045

TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM





	TOWN STUDIOS, INC.		NEW SINGLE FAMILY RESIDENCE		DATE:		
	1297 SHERMER ROAD		63 FRANKLIN PLACE EAST		06.19.26		
	NORTHBROOK, ILLINOIS 60062		LAKE FOREST, ILLINOIS 60045		06.24.26		
					07.06.26		
					07.07.26		
						07.09.26	



63 E. FRANKLIN PLACE | LAKE FOREST, ILLINOIS
PROPOSED RESIDENCE - EXTERIOR MATERIALS & FINISHES



MATERIAL CONCEPT

A timeless and refined palette of natural limestone, warm ivories and rich dark accents, unified by classical details to create an elegant and inviting exterior presence with high-quality durable finishes, low maintenance and enduring curb appeal for 63 E. Franklin Place.

NATURAL LIMESTONE



Light limestone with natural color variation and a refined texture. Random ashlar pattern with tight gray mortar.

SMOOTH STUCCO

Smooth warm ivory stucco to walls above the stone wainscot and elsewhere.

ROOFING SHINGLES



Architectural asphalt shingles in charcoal color for durability and a sophisticated appearance.

WINDOWS



Aluminum clad windows in black with divided lights for a traditional look.

FRONT DOOR



Solid wood entry door with clean, recessed panel profile painted black.

TRIM, FASCIA & RAKERS



Painted wood trim, fascia and rakers in black to match windows and doors.

GUTTERS & DOWNSPOUTS



Seamless aluminum gutters and downspouts in black.

EXTERIOR LIGHTING



Traditional style exterior lights fixtures in black for a timeless architectural detail.

Note: Materials shown are representative of color, texture and finish. Final selections to be as specified in architectural plans.





DATE:	
06.19.26	
06.24.26	
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07.07.26	
07.09.26	

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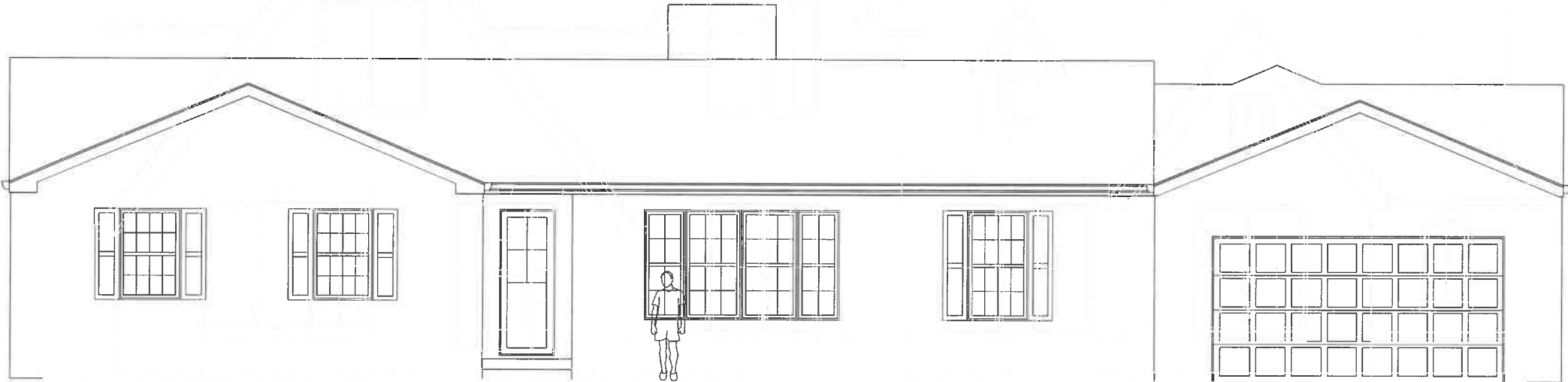
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07.09.26



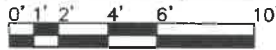
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DATE:
06.19.26
06.24.26
07.06.26
07.07.26
07.09.26



FRONT (NORTH) ELEVATION OVERLAY



7.16.26



TOWN STUDIOS, INC.

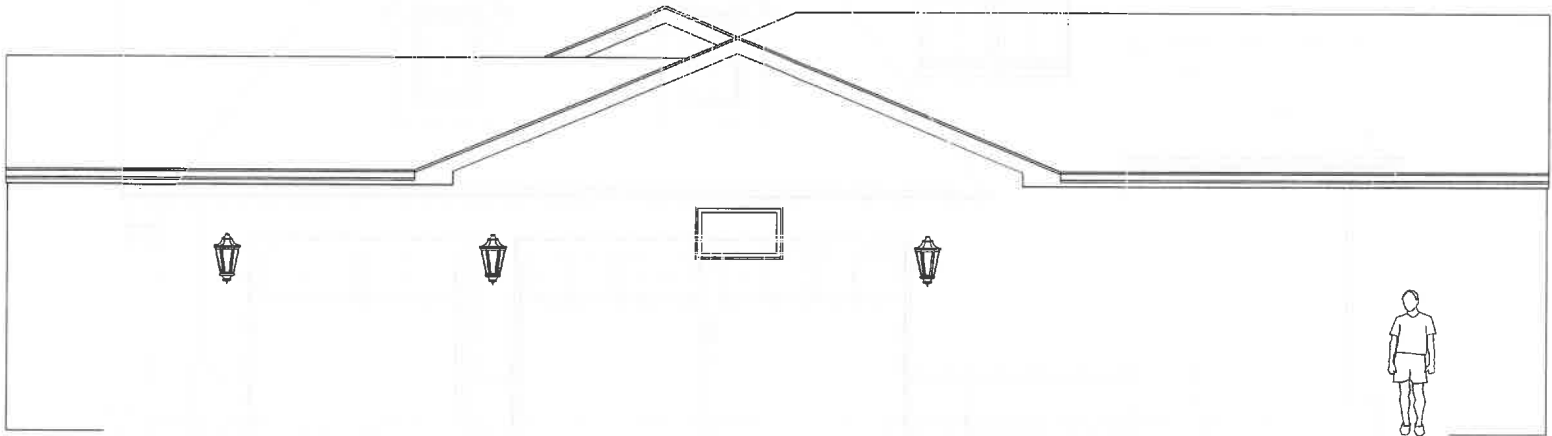
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NEW SINGLE FAMILY RESIDENCE
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DATE:

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07.09.26	



RIGHT SIDE (WEST) ELEVATION OVERLAY 7.16.26



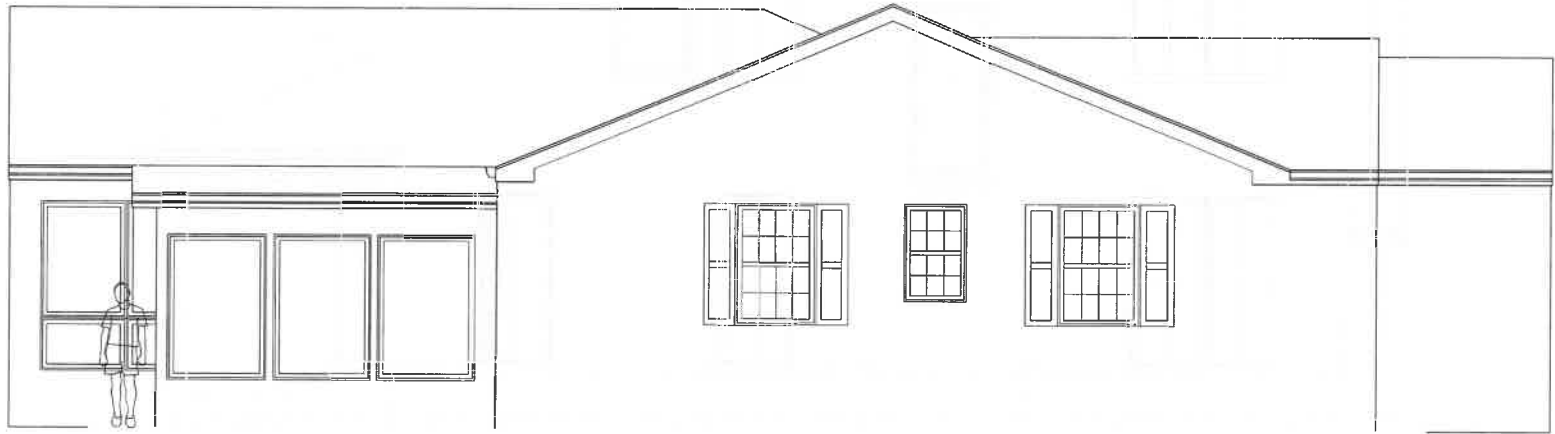
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NEW SINGLE FAMILY RESIDENCE
63 FRANKLIN PLACE EAST
LAKE FOREST, ILLINOIS 60045

DATE:

06.19.26	07.16.26
06.24.26	
07.06.26	
07.07.26	
07.09.26	



LEFT SIDE (EAST) ELEVATION OVERLAY 7.16.26



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NEW SINGLE FAMILY RESIDENCE
63 FRANKLIN PLACE EAST
LAKE FOREST, ILLINOIS 60045

DATE:

06.19.26	07.16.26
06.24.26	
07.06.26	
07.07.26	
07.09.26	



REAR (SOUTH) ELEVATION OVERLAY

7.16.26



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NEW SINGLE FAMILY RESIDENCE
63 FRANKLIN PLACE EAST
LAKE FOREST, ILLINOIS 60045

DATE:

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Private Residence

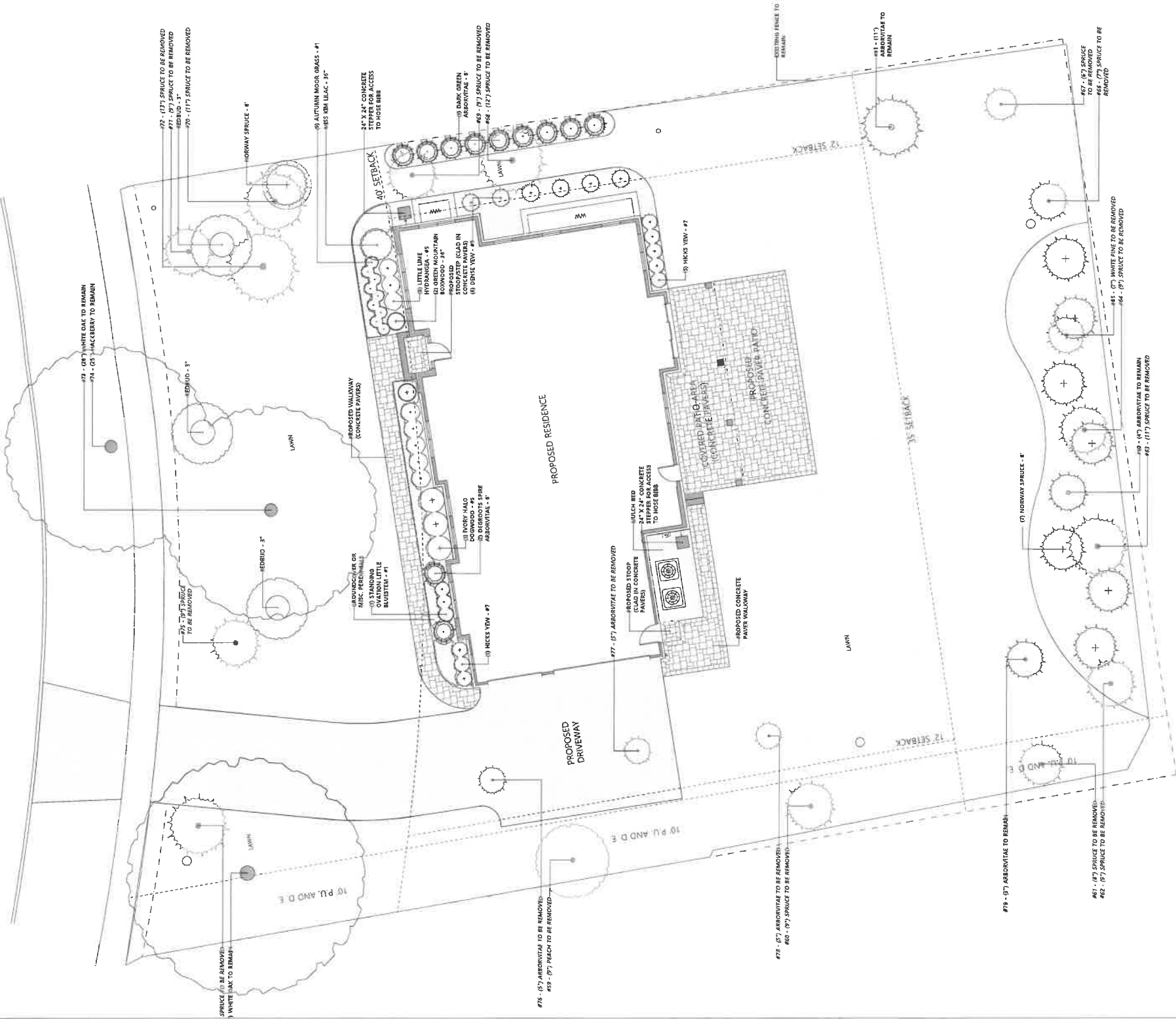
63 Franklin Place E.

Lake Forest, IL 60045

Proposed Plantings		
Front Yard/Front Foundation		
Quantity	Common Name	Size
3	Redbud	3"
3	Redbud	3"
2	Degroots Spire Arborvitae	6'
1	Norway Spruce	6'
2	Green Mountain Boxwood	36"
1	Miss Kim Lilac	36"
3	Hicks Yew	#7 (36" or Greater in Height)
3	Ivory Halo Dogwood	#5 (36" or Greater In Height)
8	Little Lime Hydrangea	#5 (36" or Greater in Height)
3	Standing Ovation Little Bluestem	#1
9	Autumn Moor Grass	#1
13	Misc. Perennials	#1
Side Yard/East Property Line		
9	Dark Green Arborvitae	6'
6	Dense Yew	#5
Rear Yard/Rear Foundation		
7	Norway Spruce	6'
5	Hicks Yew	#7

EXISTING TREES TO BE REMOVED	
#57 - SPRUCE (11")	
#59 - PEACH (8")	
#60 - SPRUCE (9")	
#61 - SPRUCE (8")	
#62 - SPRUCE (9")	
#63 - SPRUCE (11")	
#64 - SPRUCE (9")	
#65 - WHITE PINE (7")	
#66 - SPRUCE (6")	
#67 - SPRUCE (12")	
#68 - SPRUCE (9")	
#69 - SPRUCE (11")	
#70 - SPRUCE (9")	
#71 - SPRUCE (13")	
#72 - SPRUCE (9")	
#73 - SPRUCE (9")	
#74 - ARBORVITAE (5")	
#75 - ARBORVITAE (5")	
#76 - ARBORVITAE (5")	
#77 - ARBORVITAE (5")	
#78 - ARBORVITAE (5")	
PROPOSED TREES FOR 1/2" REPLACEMENTS	
(1) - REDBUD (3")	
(2) - DEERROOTS SPICE ARBORVITAE (6")	
(3) - DARK GREEN ARBORVITAE (6")	
(4) - NORWAY SPRUCE (6")	

FRANKLIN PLACE E.



PRIVATE RESIDENCE
83 FRANKLIN PLACE E.
LAKE FOREST, IL 60045

SHEET REFERENCE NUMBER
L1/1.0

SHEET TITLE
PRELIMINARY PLAN

SCALE: 1/8" = 1', 0"

DATE: 7/15/2026

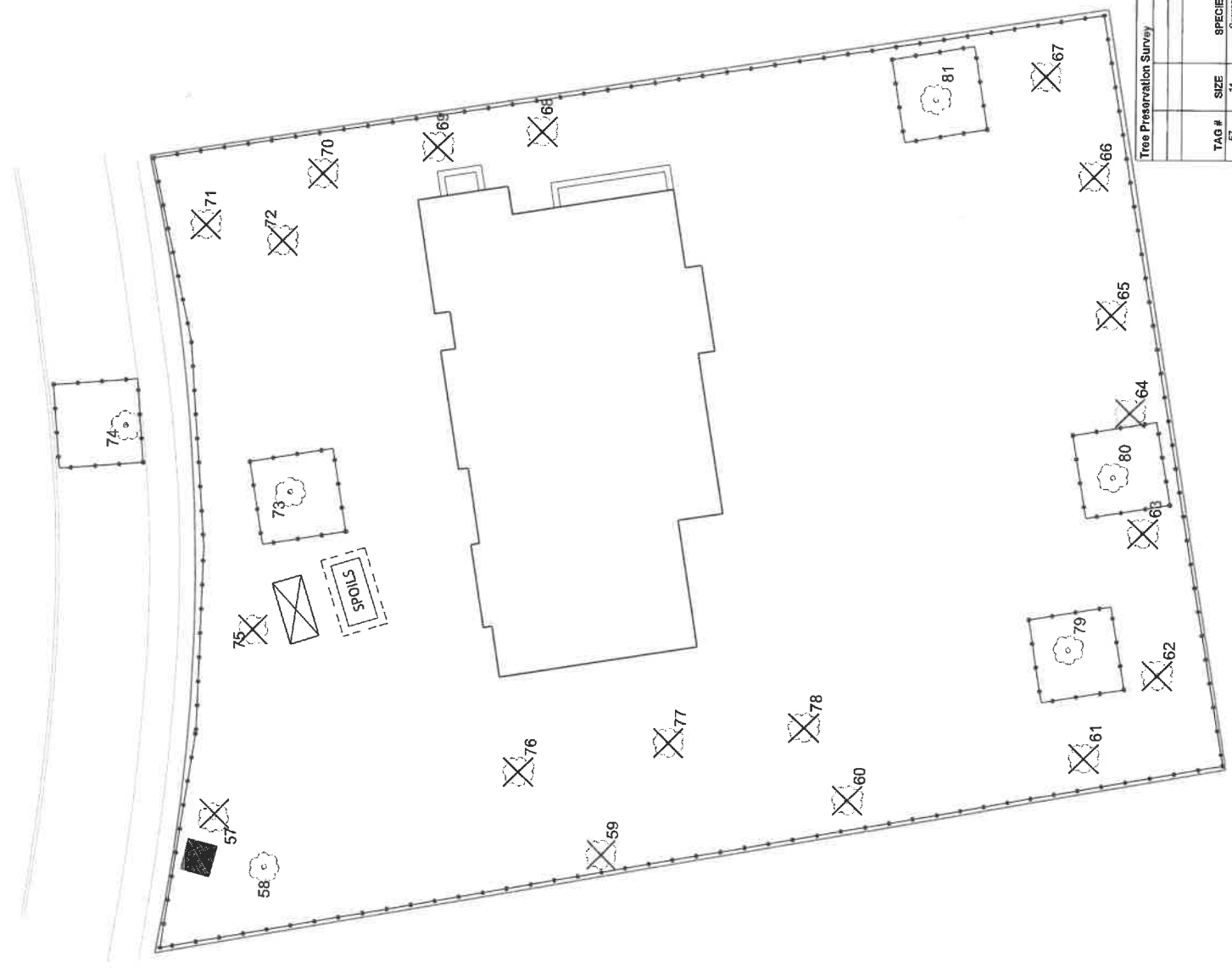
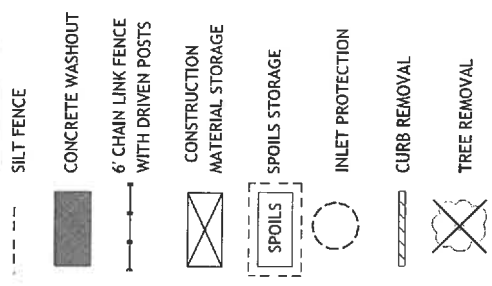
REV: 7/22/2026

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[illegible]

LEGEND

SILT FENCE



Tree Preservation Survey		CONDITION 1 - B (1=BERT - B=		Form		NOTES / LOCATION	
TAG #	SIZE	SPECIES	DEAD)				
57	11	Shuca	3				Remove
58	20	White Oak	4				Remain
59	8	Shuca	4				Remove
60	8	Shuca	5				Remove
61	8	Shuca	4				Remove
62	9	Shuca	5				Remove
63	11	Shuca	5				Remove
64	9	Shuca	4				Remove
65	7	White Pine	3				Remove
66	7	Shuca	5				Remove
67	6	Shuca	4				Remove
68	12	Shuca	6				Remove
69	9	Shuca	5				Remove
70	11	Shuca	5				Remove
71	9	Shuca	6				Remove
72	3	Shuca	3				Remove
73	20	White Oak	3				Remain
74	25	Hickory	3				Remain
75	9	Shuca	5				Remove
76	5	Arbutus	4				Remove
77	5	Arbutus	4				Remove
78	5	Arbutus	4				Remove
79	3 Arb	Arbutus	3				Remain
80	4 Arb	Arbutus	3				Remain
81	11 Arb	Arbutus	3				Remain

Thank you,
Lou Lajudis
Certified Arborist #177
847-581-7081

Thank you,
Lou Leggett
Certified Art Therapist #177
847-581-7081

Firm Name and Address:
Fluenta Consulting
201 E. Lakeside Dr.,
Vernon Hills, IL 60061
Tel: 773-349-5881



Project	
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MEMORANDUM

To: Chairman Looby and members of the Building Review Board

From: Luis Prado, Planner

Date: July 29, 2026

Subject: Real Estate Rider

Background

Based on available records, the City Council initially approved a Real Estate Rider in 1998. Since then, the Real Estate Rider has been reviewed and re-adopted at least twice, in 2012 and in 2016. The Real Estate Rider as adopted is attached to this memo for the Commission's review.

The purpose of the Real Estate Rider is to inform real estate professionals, but more importantly, potential buyers, that the City places tremendous value on preserving the distinctive character of the community. The Rider explains that to achieve this goal, the City has adopted standards and criteria to guide development and that review processes are in place to help residents achieve their goals in a manner that respects the long-established traditions of the community.

Board Review and Recommendation

The Real Estate Rider is presented to the Board at this time for review, consideration of edits if determined to be appropriate, public comment, and ultimately, a recommendation to the City Council on whether re-adoption of the Rider is appropriate.

Follow up Steps

If the Real Estate Rider is re-adopted by the City Council either in its current form or with edits as recommended by the Board, it will again be distributed to the managers of all local real estate offices. All office managers will be asked to share the Rider with all real estate professionals with direction to provide it to potential buyers early in the process.

The Real Estate Rider will also be featured on the City's website.



Real Estate Rider
City of Lake Forest – A Community of Character
Approved by the City Council – February 17, 2015

The following information is provided to inform and assist potential home buyers and new homeowners.

Welcome to Lake Forest, Illinois, one of the oldest planned communities in the United States! Many families are attracted to Lake Forest because of the community's character. Tree-lined streetscapes, a mix of historic and newer residences, strong property values, great schools, the Library, youth and senior services, special events, an outstanding hospital and unique business districts all contribute to the valued character and uniqueness of the community. The City has a long tradition of thoughtful planning and high quality buildings and landscapes.

Managing Growth and Change

As a potential or new home buyer, it is important for you to know that The City has adopted various plans, policies, regulations and processes which establish the framework for balancing change in the community.

- The City's Comprehensive Plan
- Residential Design Guidelines
- Criteria for consideration of demolition requests
- The Historic Preservation Ordinance
- A Tree Preservation and Landscaping Ordinance
- Establishment of Boards and Commissions

Although the City remains strongly dedicated to the preservation of community character and preservation of significant and distinguishing historic buildings, landscapes and streetscapes, value is placed on both preservation and innovation. To achieve these goals, the City offers assistance and serves as an ally to potential buyers and homeowners by offering pre-purchase and pre-application meetings, guidelines for selecting architects and design professionals, illustrated design guidelines and personal assistance in working with City Boards and Commissions. All potential buyers and new homeowners are encouraged to consult with City staff early in the process of planning for construction of new homes or changes to existing homes. Gaining an understanding of how City policies and processes including, but not limited to building size, historic districts, tree preservation and architectural design may be helpful in expediting your project.

The City's long tradition of deliberate processes, thoughtful planning and quality design has stood the test of time and has served the City well. We look forward to working with you as the community continues to grow and change over time.

Seller

Seller

Buyer

Buyer