

Agenda Item 3
545 Whitehall Lane

Request for Extension of Previous Approval
New Single-Family Residence on a Vacant Lot

Staff Memo
Vicinity Map
Meeting Action Summary 2.7.2024
Excerpt of Building Review Board Minutes 2.7.2024

Materials Submitted by Petitioner

Extension Request
Application
Site Plan
Rendering
Elevations
Conceptual Landscape Plan



MEMORANDUM

To: Chairman Looby and members of the Building Review Board

From: Catherine Czerniak, Director of Community Development

Date: May 6, 2026

Subject: **545 Whitehall Lane – Request for an Extension of Approval**

This is a request for an extension of the previous approval of a new single family residence on a vacant property at 545 Whitehall Lane. Based on a recommendation from the Building Review Board, the City Council approved the petition on April 1, 2024. Approvals are valid for two years, the approvals for this petition recently expired on April 1, 2026.

Prior to the expiration of the approvals, all required plans and information must be on file with the City and permits issued. Construction need not be complete. To date, no permits have been issued for this project. The current property owners did not pursue construction of the home due to personal circumstances, and the property is being marketed. The property is currently under contract, and the intended sale includes the previously approved plans. No changes to the site plan or the residence are proposed. The previously approved conditions of approval remain the same.

Attached to this memorandum, please find the previously approved plans, the staff report and an excerpt of the minutes from the February 2024 meeting. The Meeting Action Summary from February 2024 is also attached.

Staff Recommendation

Based on the previous review and approval of this petition, staff recommends that the Board approve a motion extending the approval of the petition for an additional two years, until April 1, 2028. This extension will require that the building permits for the project are picked up and all associated fees paid prior to that date.



BUILDING REVIEW BOARD Meeting Action Summary

On February 7, 2024, the City of Lake Forest Building Review Board considered the following petition.

Petition Address	545 Whitehall Lane
Property Owners	Ernest J. and Sarah E. Burke
Representative	Jeff Letzter, project manager
Project Description	New residence on a vacant lot

Board Action: The Board voted 4 to 0 to recommend approval subject to the follow conditions.

1. Study the following elements and provide refinements subject to final approval by staff.
 - a. The depth and amount of limestone around the front entrance.
 - b. The outer dormers – size, shape, location.
 - c. Siting on the lot to provide space for landscaping in front and on the sides of the house.
 - d. Provide samples of materials.
2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post

construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. converted garage, connecting addition, and the new garage as required by the Code and additional trees if required to satisfy the required replacement for trees removed. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

This approval is valid for a period of 2 years from the date of final approval by the City Council. Upon review of the final plans and a determination that the plans are consistent with the approvals granted and with all applicable Code provisions, permits will be issued to allow work on the site to begin. A building permit must be obtained, and all applicable fees paid prior to the 2-year expiration date.

Following the guidelines below will help expedite the City's review of your plans and the issuance of permits for your project.

- ✓ All construction drawings submitted for permit should accurately reflect the approvals granted and respond to all conditions of approval.
- ✓ If the plans submitted for permit differ from the approvals, all changes including, but not limited to, changes to exterior materials, building massing, the site plan, grading, window or door placement or size, or architectural detailing should be highlighted clearly on the plans.
- ✓ If the plans submitted differ from the approvals granted, further Board and City Council review of the project may be required.
- ✓ Construction must begin within 90 days of the issuance of the permit. All construction must be consistent with the approved plans and must proceed in a diligent manner. If changes are desired or necessary after work is underway, please contact City staff to discuss the process for review of proposed revisions to the approved plans.

If you have any questions or need additional information, please contact Luis Prado, Assistant Planner at pradol@cityoflakeforest.com or at 847-810-3520.

cc: Property Owner/Architect
Permit File – BSA
Permit Coordinator
Plan Reviewer

Excerpt
The City of Lake Forest
Building Review Board
Proceedings of February 7, 2024 Meeting

A regular meeting of the Lake Forest Building Review Board was held on Wednesday, February 7, 2024 at 6:30 p.m., at the Municipal Services Building, 800 Field Drive, Lake Forest, Illinois.

Building Review Board members present: Chairman John Looby and Board members, Sally Downey, Eric Lohmueller, and Scott Renken, (one position vacant)

Building Review Board members absent: Board members Joanne Bluhm and Justin Stamer

Staff present: Catherine Czerniak, Director of Community Development

8. Consideration of a request for approval of a new residence on a vacant lot and the associated hardscape and landscape plans at 545 Whitehall Lane.

Property Owner: E. Jason and Sarah Burke

Project Representative: Jeff Letzter, Project Manager
Dean Botes, architect

Chairman Looby asked the Board members for any Ex Parte contacts or conflicts of interest. Hearing none, he invited a presentation from the petitioner.

Mr. Letzter stated that this home is proposed in a new subdivision. He stated reviewed the proposed materials including stone, limestone horizontal banding at the base and at the top, a slate roof, and copper downspouts gutters, and dormer roofs. He stated that a double front door is proposed with limestone surround. He stated that transom windows are proposed around the house. He stated that there is a four car garage on the east elevation with two double doors. He stated that the two story living room is expressed on the rear elevation offering views of the rear yard. He stated that a covered porch is proposed in the rear of the home with a fireplace. He noted that the entrance to the property is at the end of Whitehall Lane, at the northwest corner of the property. He noted that the driveway approaches the house and a motor court at the front of the house before proceeding to the east, to the garage. He stated that the driveway will be a chip and seal surface transitioning to asphalt near the garage. He stated that fencing is proposed around the site, a wood fence in the rear yard and a decorative fence in front of the house. He stated that because of the grade change, a retaining wall is required along the east side of the property. He said that the retaining wall as well as due to the driveway entrance piers will be the same stone as the house, with limestone caps. He stated that light fixtures have not been selected but will be detailed in the submittal for permits. He stated that the house complies with

the allowable square footage, coming very close to the maximum allowed. He reviewed the elevations. He pointed out the exterior staircase at the rear of the home that provides a secondary egress from the basement. He stated that the roof plan is relatively simple. He stated that the mushroom vents shown on the plans will be replaced with a ridge vent. He stated that there is no living space on the third floor. He presented images of inspirations for the design of the house.

Ms. Czerniak stated that the proposed house is located on a large lot directly west of the original Whitehall Manor Estate house. She noted that the Board has approved one other house so far in this neighborhood. She stated that the petitioner has presented a strong plan with high quality materials. She noted that the house as proposed is very close to the allowable square footage adding that the square footage limitation does not limit the ability to design an appropriate roof, but rather, the design to maximize the square footage short changes the square footage remaining to design a roof that is appropriate to the selected style and size of the house. She noted that the dormers on the main mass of the house appear correct proportionally but noted that the dormers on the secondary elements of the home appear to be oversized. She requested Board direction on that aspect of the home. She stated that there are numerous overlapping roof forms which can, used appropriately, add interest to the elevations but noted that there is a balance between over complication and appropriate articulation. She acknowledged the petitioner's comment that the mushroom roof vents will be replaced with a ridge vent. She commented that chimneys are a classic element of homes and commented that the addition of a chimney or two visible on the front elevation could enhance the prominence of the house. She noted that a detailed landscape plan and details on the fence and driveway entrance piers will be required at the time plans are submitted for permit along with a detailed lighting plan.

Board member Lohmueller complimented the house noting that it is appropriate for the area given the other large homes nearby. He suggested that consideration be given not the width of the house on the lot recognizing that in the future, a home will be built to the west. He stated that with a house of the size proposed, it will be important to avoid the appearance or feeling of crowding. He noted that the house is covering 90 percent of the width of the lot. He agreed that the mushroom roof vents are not appropriate. He stated that he would not encourage faking a chimney that would be visible on the front elevation.

Board member Downey agreed that the width of the house across the lot is a concern. She stated that it will be important to allow some space along the sides of the lot to plant a landscape buffer. She stated that the proposed house is a huge investment in Lake Forrest and sets a high standard for other homes in the subdivision. She stated that the home is a statement of elegance. She pointed out that the lights on the east elevation appear too tight. She agreed that the dormers on the front elevation appear to be too large or perhaps there are too many of them. She encouraged further study of the dormer size and placement. She stated that the front entrance appears heavy. She stated that given the verticality of the house, the lack of chimneys may not be an issue.

Board member Renken agreed that the house is elegant. He also agreed that a chimney should not be faked if one cannot be functionally incorporated into the house. He stated that the ten foot tunnel to the front door should be reconsidered. He suggested simplifying the roof form by bringing the main mass of the house under a single roof line allowing the two gable towers to still project out. He suggested eliminating the lower dormer on the garage and right sizing the dormers on the secondary elements and considering a different element. He stated that the material of the soffits will be important given the depth of the soffits. He noted that the limestone surrounding the front door appears heavy and suggested lowering the top to lighten that element and make the second floor window pop out more. He stated that samples should be provided of the two different types of stones adding that there should be a slight contrast between the stones and suggested a gray tone to provide some depth. He suggested that the slate for the roof be selected to have some variation instead of a monotone appearance. He suggested pulling the portion of the driveway that extends from the motor court to the garage away from the house to provide space for landscaping between the driveway and the house.

Chairman Looby suggested opening up the curve on the driveway to better accommodate a snow plow. He stated that natural gas lights would enhance the front of the house. He questioned whether the existing chimney visible on the rear elevation could be extended so that it is visible on the front elevation noting that it could add a dimension to the house. He stated that the limestone around the front entrance is excessive and suggested lightening that element. He stated that the front doors will need to be carefully selected to achieve a classic look.

In response to questions from the Board, Mr. Letzter stated that a chimney is not appropriate for the front elevation. He stated that in his opinion, the projections on the front elevation provide sufficient detail. He agreed to study the front entry further in an effort to lower and lighten it. He confirmed that a substantial front door is proposed. He stated that the home is about 25 feet from the west property line. He noted that there are some grade and tree issues that make moving the house to the east challenging. He stated the intent to provide significant landscaping on the west side of the house and a stockade fence around the rear of the house. He agreed to study the possibility of downsizing the dormers on the secondary masses of the home and whether to recess the dormers or change the shape. He stated that the soffits will be stained tongue and groove. He stated that the light fixtures have not yet been selected. He agreed that the fixtures should on the plans appear too large and that there may be too many.

Board member Downey suggested that when planning the landscaping, consideration should be given to how the pool will be accessed for maintenance.

Board member Renken suggested studying the size of the motor court to determine if it could be reduced in size to pick up space on the west side.

Chairman Looby invited public comment. Hearing none, he invited final comments

from the Board, hearing none, he invited a motion.

Board member Renken made a motion to recommend approval of the petition based on the findings in the staff report and subject to the following conditions of approval.

1. Study the following elements and provide refinements subject to final approval by staff.

The depth and amount of limestone around the front entrance.

The outer dormers – size, shape, location.

Siting on the lot to provide space for landscaping in front and on the sides of the house.

Provide samples of materials.

2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.

3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. converted garage, connecting addition, and the new garage as required by the Code and additional trees if required to satisfy the required replacement for trees removed. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

The motion was seconded by Board member Lohmueller and approved by a vote of four to zero.

May 1, 2026

Chairman Looby and Members of the Building Review Board City of Lake Forest

Re: Request for Extension of Preliminary Approval -- 545 Whitehall Lane

Dear Chairman Looby and Members of the Building Review Board:

I hope this letter finds you well. I am writing to respectfully request a two-year extension of the preliminary approval previously granted in 2024 for the architectural and engineering plans for a new residence at 545 Whitehall Lane.

As background, my wife, Sarah, and I had intended to construct a home on this property for our family. However, due to unforeseen personal circumstances, including a serious illness in my immediate family, we have made the difficult decision to sell the property. The property is currently under contract to be sold with a tentative closing date of May 15, 2026. As part of the transaction, the previously approved architectural and engineering plans are being conveyed to the buyer.

In light of the above, I respectfully request a two-year extension of the prior preliminary approval. Given the scheduled closing date of May 15, 2026, we would greatly appreciate the Board's consideration of this request at, or in advance of, its May 6, 2026 meeting, and, if possible, approval by May 13, 2026 to help ensure a smooth and timely closing process.

Thank you very much for your time and consideration of this request. Please do not hesitate to contact me if any additional information would be helpful.

Respectfully submitted,

s/ *Jason Burke*

E. Jason Burke

e.jason.burke@gmail.com

847-975-5237



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 545 WHITE HALL LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

E. Jason Burke
Sarah E. Burke
Owner of Property

3155 Floral Drive
Owner's Street Address (may be different from project address)

Northbrook, IL 60062
City, State and Zip Code

(847) 975-5237
Phone Number *Fax Number*

e.jason.burke@gmail.com
Email Address


Sarah E. Burke
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LITVELL, PROJECT MANAGER
DENNIS FOTES, ARCHITECT
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26275 CANNONBALL DR
Street Address

WILM, IL 60073
City, State and Zip Code

(417) 957-2600
Phone Number *Fax Number*

SLTDESIGN@ASPECTDESIGNINC.COM
Email Address


JEFF LITVELL PROJECT MANAGER
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 2:00pm.

Please mail a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

CONCEPTUAL RENDERING - NORTH (FRONT) ELEVATION



BURKE RESIDENCE
 NEW CONSTRUCTION
 545 WHITEHALL LANE
 LAKE FOREST, IL 60045

LANDMARK LUXURY GROUP

REVIEW	05/04/2023
REVIEW	07/06/2023
REVIEW	07/26/2023
REVIEW	07/11/2023
REVIEW	08/13/2023
REVIEW	10/09/2023
REVIEW	12/13/2023

REVIEW	06/26/2022
REVIEW	06/06/2022
REVIEW	07/12/2022
REVIEW	09/19/2022
BID SET	09/21/2022
REVIEW	07/29/2022
REVIEW	04/12/2022
REVIEW	04/24/2022

REVIEW	06/29/2022
REVIEW	06/06/2022
REVIEW	07/06/2022
REVIEW	07/25/2022
REVIEW	08/07/2022
REVIEW	08/17/2022
REVIEW	08/16/2022

26574 COMMURCE DR.
 SUITE 407
 Volo, IL 60073
 MAIN: 847-457-2500
 FAX: 847-457-2501
 WWW.ASPECTDESIGNINC.COM



PROJECT # AD2129
 DRAWN BY: COA/DBMB
 BURKE RESIDENCE
 EXTERIOR ELEVATIONS

AQ 02
 # 2 OF 15 TOTAL SHEETS



1 FRONT ELEVATION
AQ 02

SCALE: 1/4"=1'-0"
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

BURKE RESIDENCE	
NEW CONSTRUCTION 545 WHITEHALL LANE LAKE FOREST, IL 60045	
LANDMARK LUXURY GROUP	
05/24/2023	05/24/2023
REVIEW	REVIEW
06/04/2023	06/04/2023
REVIEW	REVIEW
06/13/2023	06/13/2023
REVIEW	REVIEW
07/11/2023	07/11/2023
REVIEW	REVIEW
08/15/2023	08/15/2023
REVIEW	REVIEW
09/12/2023	09/12/2023
REVIEW	REVIEW
10/20/2023	10/20/2023
REVIEW	REVIEW
12/14/2023	12/14/2023
REVIEW	REVIEW
01/16/2024	01/16/2024
REVIEW	REVIEW
02/14/2024	02/14/2024
REVIEW	REVIEW
03/14/2024	03/14/2024
REVIEW	REVIEW
04/11/2024	04/11/2024
REVIEW	REVIEW
04/24/2024	04/24/2024
REVIEW	REVIEW

PASTA COMMERCIAL DR.
SUITE 607
VILLAGE LANE
EVANSTON, IL 60201
TEL: 708.399.1111
WWW.ASPECTDESIGN.COM

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # ADD3128
DRAWN BY: CON/DRMB
BURKE RESIDENCE
EXTERIOR ELEVATIONS

AQ 02

1 OF 15 TOTAL SHEETS

REVIEW	06/04/2023
REVIEW	07/05/2023
REVIEW	07/06/2023
REVIEW	07/11/2023
REVIEW	08/17/2023
REVIEW	08/22/2023
REVIEW	09/26/2023
REVIEW	10/24/2023
REVIEW	11/01/2023
REVIEW	11/01/2023

REVIEW	07/04/2022
REVIEW	07/06/2022
REVIEW	07/12/2022
REVIEW	07/19/2022
BID SET	07/19/2022
REVIEW	07/19/2022
REVIEW	07/19/2022
REVIEW	07/19/2022
REVIEW	07/19/2022
REVIEW	07/19/2022
REVIEW	07/19/2022

REVIEW	04/19/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022

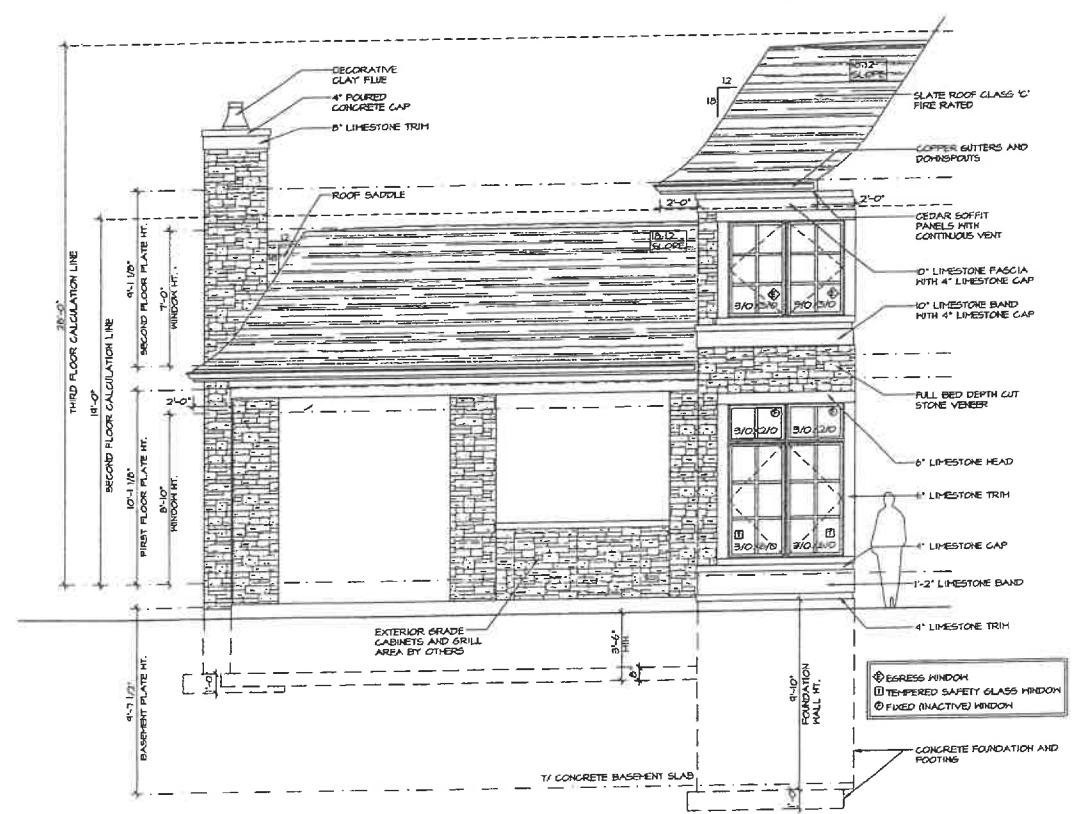
REVIEW	04/19/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022
REVIEW	04/20/2022

2625 COMMERCE DR.
Volo, IL 60073
MAIN: 847-457-2500
www.aspectdesigninc.com
IL License # 140000004

ASPECT DESIGN INC.
ARCHITECTS

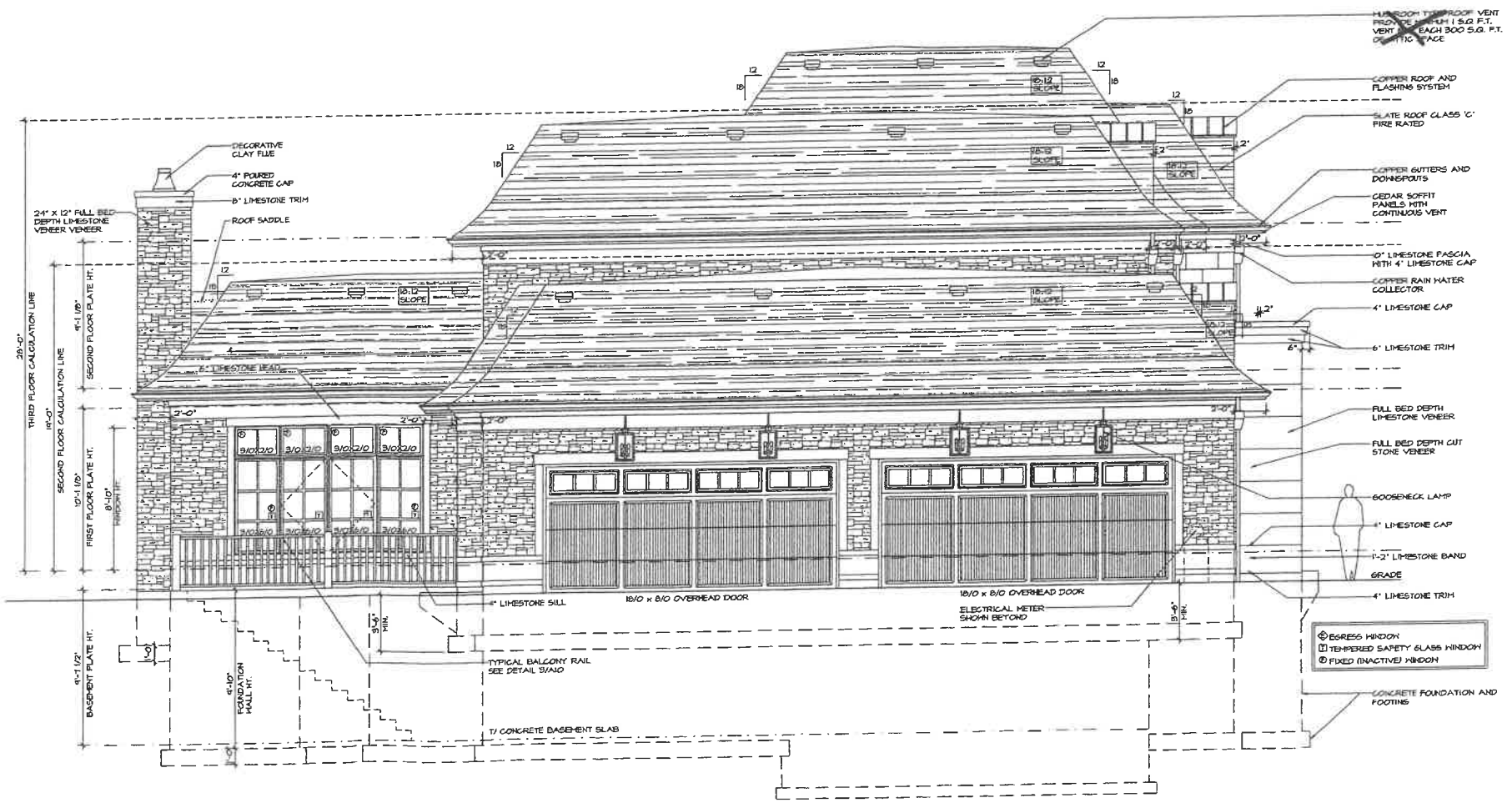
PROJECT # AD21129
DRAWN BY: COMDBMR
BURKE RESIDENCE
EXTERIOR ELEVATIONS

AQ 03
3 OF 11 TOTAL SHEETS



2 PARTIAL LEFT ELEVATION
AQ 03

SCALE: 1/4"=1'-0"



1 LEFT ELEVATION
AQ 03

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER (ARCH-E)



BURKE RESIDENCE
 NEW CONSTRUCTION
 545 WHITEHALL LANE
 LAKE FOREST, IL 60048

LANDMARK LUXURY GROUP

REVIEW	05/04/2023
REVIEW	07/05/2023
REVIEW	07/04/2023
REVIEW	07/11/2023
REVIEW	08/12/2023
REVIEW	10/20/2023
REVIEW	10/24/2023
REVIEW	12/17/2023

REVIEW	01/24/2022
REVIEW	04/05/2022
REVIEW	09/12/2022
REVIEW	09/19/2022
BID SET	09/12/2022
REVIEW	03/15/2023
REVIEW	04/11/2023
REVIEW	04/21/2023

REVIEW	06/07/2022
REVIEW	06/07/2022
REVIEW	07/06/2022
REVIEW	07/12/2022
REVIEW	07/27/2022
REVIEW	08/11/2022
REVIEW	08/16/2022

26575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 MAIN: 847-457-2300
 IL.CORP@ASPECT-DESIGN.COM

ASPECT DESIGN INC.
 ARCHITECTS

PROJECT # AD212129
 DRAWN BY: COM/D9/AMB
 BURKE RESIDENCE
 EXTERIOR ELEVATIONS

AQ 04

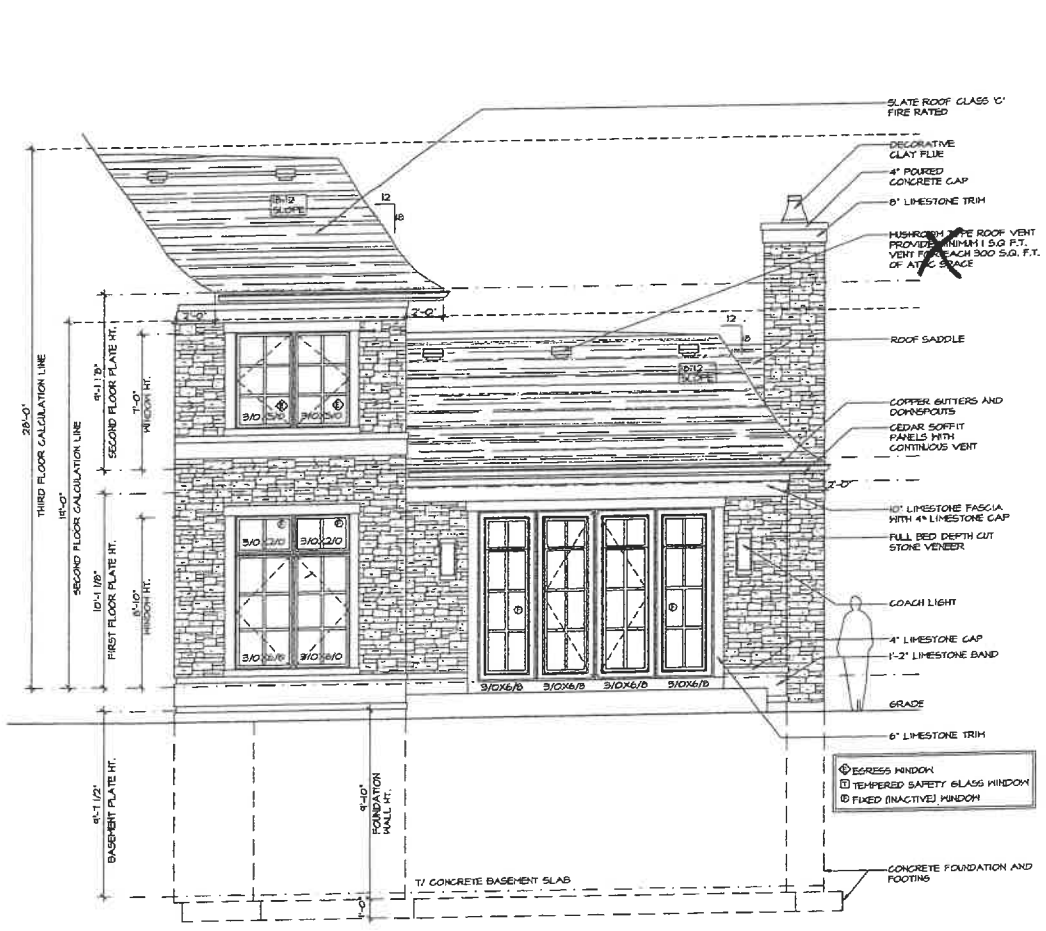
4 OF 15 TOTAL SHEETS

1 REAR ELEVATION
 AQ 04

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

© COPYRIGHT 2000



2 PARTIAL RIGHT ELEVATION
AQ 05
SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
AQ 05
SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

BURKE RESIDENCE
NEW CONSTRUCTION
545 WHITEHALL L.L.
LAKE FOREST, IL

LANDMARK LUXURY GROUP

REVIEW	05/04/2023
REVIEW	07/05/2023
REVIEW	07/06/2023
REVIEW	07/11/2023
REVIEW	09/19/2023
REVIEW	09/21/2023
REVIEW	07/27/2023
REVIEW	10/07/2023
REVIEW	10/14/2023
REVIEW	12/15/2023

REVIEW	08/16/2023
REVIEW	08/06/2023
REVIEW	08/12/2023
REVIEW	09/19/2023
REVIEW	09/21/2023
REVIEW	07/27/2023
REVIEW	08/07/2023
REVIEW	08/11/2023
REVIEW	08/16/2023

REVIEW	04/09/2023
REVIEW	06/19/2023
REVIEW	07/06/2023
REVIEW	07/16/2023
REVIEW	07/27/2023
REVIEW	08/07/2023
REVIEW	08/11/2023
REVIEW	08/16/2023

26575 COMMERCE DR.
SUITE 007
MANNING, MA 01073
MASS: 847-457-2500
www.aspectdesigninc.com
E: info@aspectdesigninc.com
T: 847-457-2500

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD72129
DRAWN BY: COMDRAMB
BURKE RESIDENCE
EXTERIOR ELEVATIONS
AQ 05
5 OF 15 TOTAL SHEETS



office 1930 Innovation Way
 Libertyville, IL 60048
 phone 224-715-5275

Burke
 Residence
 545 Whitehall Lane
 Lake Forest, IL
 60045

DRAWING TITLE

Phase 1 Budget Plan

SCALE: 1" = 10'-0"



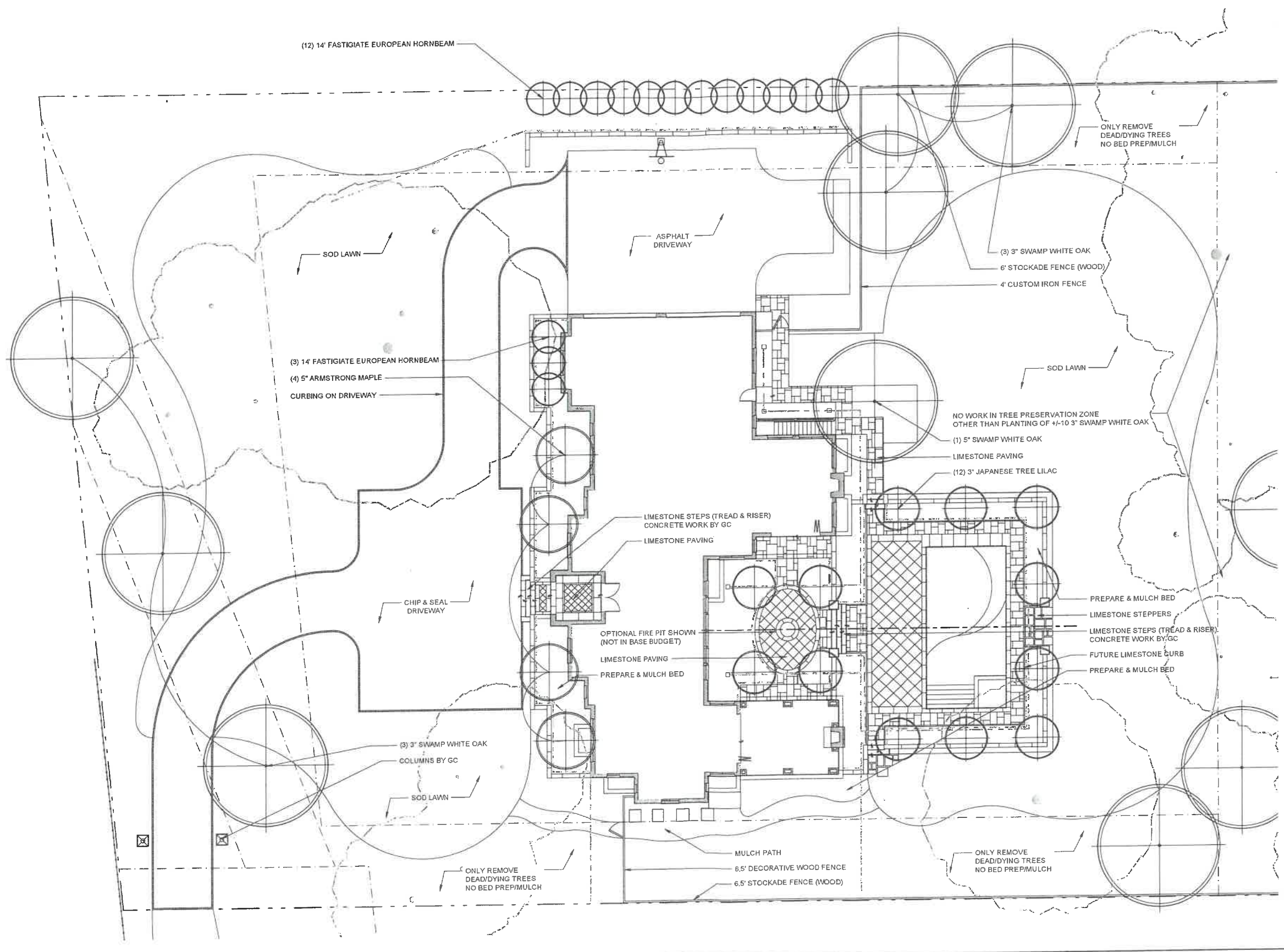
DESIGNED/DRAWN BY
SD

ISSUE	DESCRIPTION	DATE
#1	Phase 1 Budget Scope	9/07/23
#2	Preliminary Plant Selections	12/20/23

DATE
 5/11/2023

SHEET NUMBER

LS-1



Agenda Item 4
320 Majestic Oak Court
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Auto Turn Study
Elevations
Roof Plan
Section
Floor Plans
Landscape Plan
Tree Removal Plan
Grading Plan

Materials from Previous Meetings

February 4, 2026 – Elevations
January 7, 2026 – East (Front) Elevation

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

320 Majestic Oak Court

Continued consideration of a request for a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.

Property Owners: Elite Development Group (Bartek Skrzynecki 50% and Grzegorz Malicki 50%)

Project Representative: John Lawson, Project Manager

Staff Contact: Luis Prado, Planner

Summary of Request

This petition was presented to the Board on multiple occasions most recently at the January 7, 2026 and February 4, 2026 meetings.

During these meetings, the petitioner received feedback and direction from the Board, including diversifying the architectural styles of the homes located in this portion of the subdivision, designing each home consistent with the selected architectural style, detailing the side and rear elevations to the same level as the front elevations, quieting the front elevations, simplifying the roof forms, eliminating double gables, and relating to some extent to the overall character, form, and materials of the nearby historic residence.

Following the February meeting, the petitioner and the project architect have been in contact with staff by email, phone, and an in-person meeting. After revising the plans to respond to the comments and direction of the Board, the petitioner is requesting a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.

Description of Property

The property was created through the Westleigh Farm Subdivision which was approved in 2017. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The property in this petition is one of seven lots in the Westleigh Farm Subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and south of the original house on the property, 250 Majestic Oak Court, an historic home

that is designated as a Local Historic Landmark. The historic residence, the Charles Garfield King Estate, was designed by Howard Van Doren Shaw with later additions and alterations. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes at the south end of the subdivision would be high quality, each a unique design, and inspired by and defer in some way to the historic residence.

In May of 2024, homes for the properties addressed as 210, 230, and 270 Majestic Oak Court were approved by the Building Review Board. These homes were presented by the original developer of the subdivision, William Ryan Homes, and reflect a variety of architectural styles as described by the developer as Equestrian Farm Style, New England Colonial and French Provincial. With the developer, the Board worked to refine the designs of these homes to respond, at least in part, to the original intention at the time of subdivision for these lots. The three homes are currently under construction by William Ryan Homes.

The property under consideration was sold by the original developer to subsequent developers who are now presenting the plans to the Board for review and action.

Staff Review of Standards and Board Comments – Evaluation and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Below is a summary of the comments and direction offered by the Board, staff commentary on how the petitioner responded (**in bold**), and staff observations related to the applicable standards of review.

Overall feedback given for all the properties presented at the February 4th Meeting:

- Engage the architect actively in conversations with City staff and ensure that the architect attends the Board meetings.

The architect was actively involved in the discussions and revisions to the plans following the February meeting including direct contact with City staff through email, phone and an in-person meeting.

- Provide variety in architectural styles, exterior materials, and color palettes among the homes.

The home is similar to 290 Majestic Oak Court, 300 Majestic Oak Court and 340 Majestic Oak Court, all recently approved by the Board. However, there is now greater variation in design and use of material

across the homes since the February meeting.

The description of materials demonstrates some differences from the materials and color palettes proposed for 290, 300 and 340 Majestic Oak Court.

- Demonstrate consistency with the selected architectural style on all components of each residence.
The architectural style is now generally consistent across all elevations.
- Eliminate overlapping gables.
No elevations contain overlapping gables.
- Avoid flat and minimal roof pitches.
Roof pitches are steeper than those proposed at the February meeting.
- Provide a hierarchy of massing.
The hierarchy of massing is improved. While a large, overarching central mass still exists, refined roof forms have improved the relationship between the main mass and the garage wing of the home.
- Provide human scale to elements of the residences.
Human scale elements, such as the front and rear porches and bay windows are present.
- Enhance and further detail the landscape plan. Ensure proposed plantings align with good forestry practices.
The landscape plan now shows fewer plantings than previously presented. The proposed plan appears to meet the minimum criteria for new construction however, a significant number of trees are proposed for removal and the plan must show replacement tree inches on site or through plantings in the common area between Majestic Oak Court and Ridge Road. Additionally, vegetative screening should be shown along the garage apron to mitigate potential off-site impacts of car headlights and taillights

A detailed landscape plan will be required at the time of permit submittal and will be subject to staff review and approval.

Site Plan - This standard is met.

In response to direction from the Board, an auto-turn study prepared by a licensed engineer verifying that the garage apron is adequately sized for functionality is included in the packet provided to the Board.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,280 square feet is permitted with allowances of 600 square feet for a garage and 428 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,193 square feet.
- In addition to the above square footage, 91 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 684 square feet. The garage square footage over and above the allowed 600 square feet is added to the square footage of the residence.
- The total square footage of the residence and the excess garage square footage is 4,277 square feet.

The proposed residence is 3 square feet, less than one percent below the allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 32 feet. The maximum height allowed for a residence on this size lot is 35 feet.

Staff Comment: As-built drawings must be submitted during the construction process to ensure that the maximum permitted building height of 35 feet and the square footage as reflected on the approved plans are not exceeded. The building height is measured from the lowest point of existing adjacent grade to the tallest peak of the roof.

Elevations – This standard is met.

In response to feedback provided by the Board, the petitioner substantially revised the design, responding to the direction and comments of the Board and more closely aligning with the Residential Design Guidelines. Revisions include the introduction of gable roofs, refinement of the front entrance porch, and the centering of the windows on the gabled roof in the rear. Collectively, these revisions demonstrate responsiveness to the Board's comments and improve the overall composition and compatibility of the proposed residence to the surrounding neighborhood.

Type, color, and texture of materials – This standard is met.

The petitioner is proposing Monterey Taupe horizontal Hardie Board and a 4" thick veneer Halquist Hamilton buff stone as the façade materials. DaVinci synthetic

imitation slate roofing, black aluminum-clad windows with simulated divided lites, black aluminum gutters and downspouts, and cedar trim are proposed throughout.

The driveway, front walk and patio will be concrete.

Staff Recommendation: Consider a more traditional design for the garage doors, such as wood, to better align with the architectural style and mitigate potential off site light impacts from the garage.

Landscaping – This standard can be met.

The proposed landscape plan is conceptual and although the plan appears to meet the minimum criteria for new construction, a significant number of trees of varying species, size, and condition are proposed for removal, including several large, healthy oak trees. A final determination of the required tree replacement inches is pending. All replacement tree inches must be met on site, or through plantings in the common area located between Majestic Oak Court and Ridge Road. Replanting of this area is critical to preserve the distinct wooded and rural character of Ridge Road.

The final plan should show screening at the garage apron to mitigate the impact of headlights and views of vehicles on the neighboring property. Verification is required to demonstrate that plantings can be accommodated in this area without impeding over land drainage. The landscape plan shall demonstrate consistency with the drainage plan through reflecting grades, swales, and overland drainage flow routes.

The final tree removal and landscape plans will be subject to staff review and approval by the City prior to the issuance of a permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no new correspondence was received in response to the plans as now presented.

Recommendation

Recommend approval of a new house with an attached garage at 320 Majestic Oak Court, and approval of the hardscape plan for a vacant property subject to the following conditions. A refined landscape plan will be subject to staff review and approval.

1. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design

development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A final tree removal plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. A determination of the required tree replacement inches will be made based on this plan.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches either on the subject property or in the common area between Majestic Oak Court and Ridge Road to account for trees removed. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

The landscape plan shall include plantings along the driveway to mitigate the impact of headlights and views of vehicles from the neighboring property. The plan shall correlate with the drainage plan.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

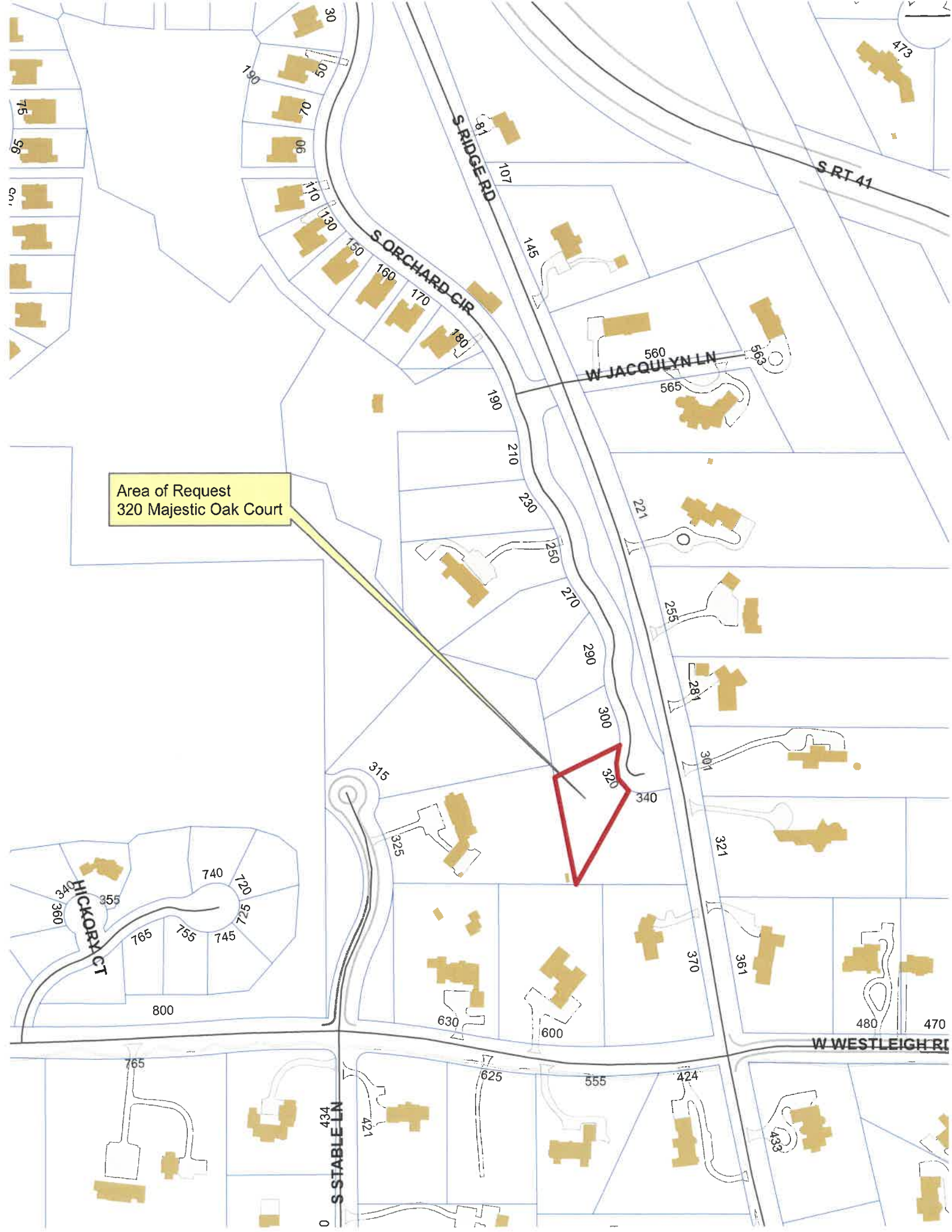
Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- g. A plan for contractor parking and equipment and material staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Construction access from Ridge Road must be coordinated with the Westleigh Farm Homeowner Association and will be subject to City review and approval.
3. Submit as-built drawings during the construction process to ensure that the building height and square footage of the residence do not exceed the maximums permitted and comply with the approved plans.

Area of Request
320 Majestic Oak Court





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 320 MAJESTIC OAK

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

ELITE DEVELOPMENT GROUP
Owner of Property

5939 W MONTROSE AVE
Owner's Street Address (may be different from project address)

CHICAGO 60634
City, State and Zip Code

773-727-8546
Phone Number *Fax Number*

MARCIN.DYNAMICGROUP@gmail.com
Email Address

B. Skrynecki
Owner's Signature

ARCHITECT/BUILDER INFORMATION

PAUL - PRESIDENT
Name and Title of Person Presenting Project

SP GROUP PRO INC
Name of Firm

1970 S. GOEBBERT RD
Street Address

ARLINGTON HTS IL 60005
City, State and Zip Code

847-323-9948
Phone Number *Fax Number*

SPGROUPPRO@gmail.com
Email Address

P. Skrynecki
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



PROFESSIONAL DESIGN FRIM – NO: 184.007363-0001

March 20, 2026

Building Review Board
City of Lake Forest
800 Field Dr.
Lake Forest, IL 60045

**Re: PROPOSED NEW S.F. RESIDENCE
320 MAJESTIC OAK CT.**

Dear Building Review Board,
In response to your letter, please note the following:

1. Engage the architect actively in conversations with City staff and ensure that the architect attends the Board meetings.

Architect has engaged actively in conversations with the city staff, as well as attending in-person meeting.

2. Provide variety in architectural styles, exterior materials, and color palettes among the homes.

The builder has decided to proceed with a new and different architectural design per request of the Board at the last meeting, replacing the previously proposed design to ensure the home appropriately fits within the character and design objectives of the proposed development.

3. Demonstrate consistency with the selected architectural style on all components of each residence.

Architectural style consistently demonstrated across all four residences, per request by the Board.

4. Eliminate overlapping gables.

Overlapping gables have been eliminated, per request by the Board.

3315 W. Algonquin Rd., Ste. 440, Rolling Meadows, IL 60008 | PH: 847-877-4414

5. Avoid flat and minimal roof pitches.

Flat roofs have been eliminated and roof pitches have been adjusted to match architectural style of other houses, per request by the Board.

6. Provide a hierarchy of massing.

Hierarchy of massing has been provided.

7. Provide human scale to elements of the residences.

Human scale shown on front elevation, per request by the Board.

8. Enhance and further detail the landscape plan. Ensure proposed plantings align with good forestry practices.

Landscape plan to be submitted by Landscape contractor.

If you have any questions, please call our office.

Sincerely,



Daniel S. Drag,
Illinois Licensed Architect



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other <u>Hardie</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material Sterling Gray

Window Treatment

- | | |
|--------------------------------------|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish Black

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other Hardie

Window Trim

- Limestone
 Brick
 Wood
 Other Hardie

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS -- CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other Power Concrete

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

SQUARE FOOTAGE OF PROPOSED RESIDENCE

1ST FLOOR	2096	2ND FLOOR	2091	3RD FLOOR	0	=	4193 SQ. FT.	
DESIGN ELEMENTS ALLOWANCE							=	428 SQ. FT.
TOTAL ACTUAL DESIGN ELEMENTS							=	91 SQ. FT.
GARAGE							=	600 ALLOWANCE EXCESS = 84 SQ. FT.
BASEMENT AREA							=	0 SQ. FT.
ACCESSORY BUILDINGS							=	0 SQ. FT.
TOTAL SQUARE FOOTAGE OF RESIDENCE							=	4271 SQ. FT.
TOTAL SQUARE FOOTAGE							=	4280 SQ. FT.
TOTAL SQUARE FOOTAGE ALLOWED							=	3 SQ. FT.
DIFFERENTIAL							=	UNDER MAXIMUM

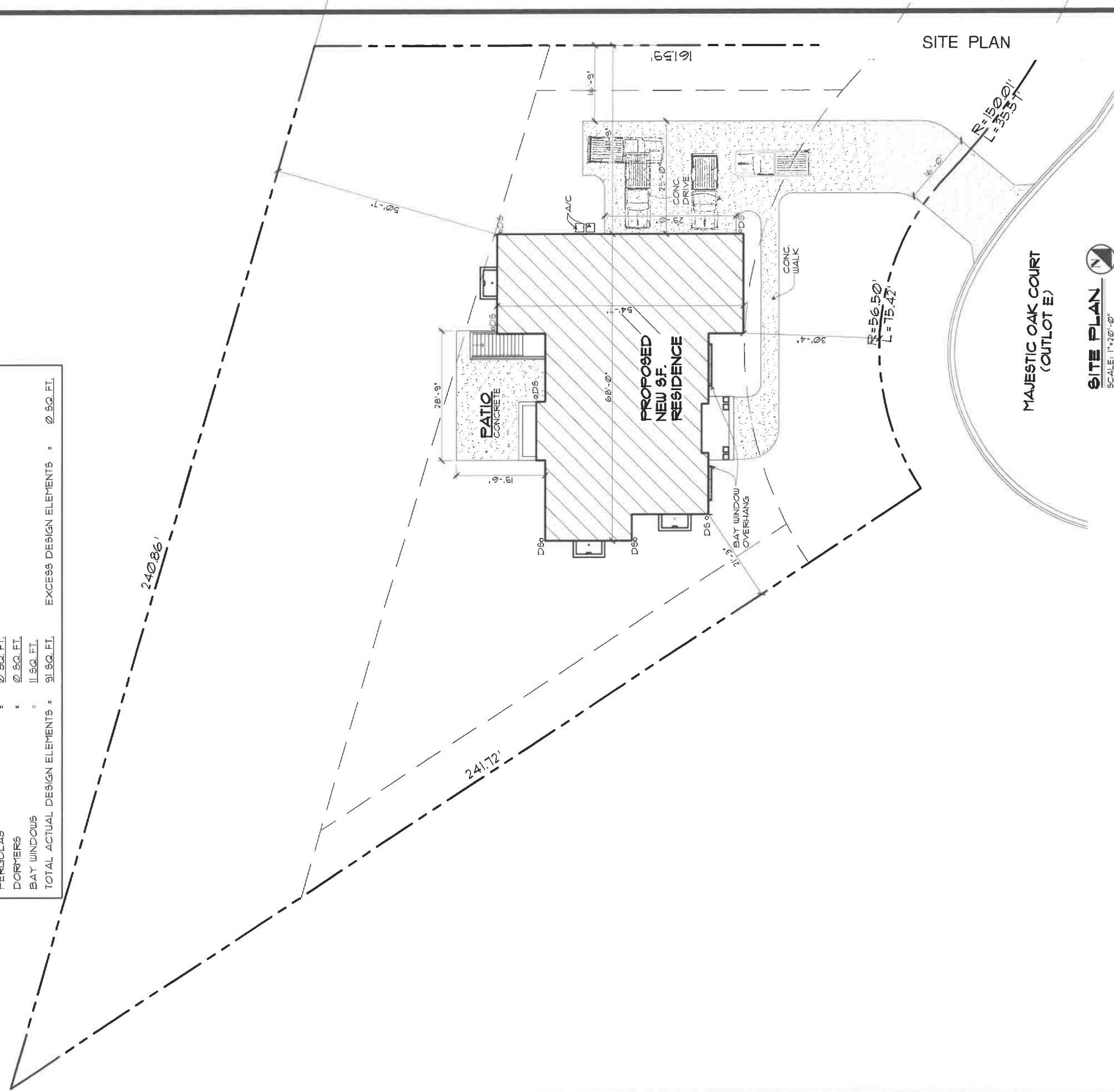
LOT AREA: 25614 SQFT.
 ALLOWABLE BULK BY CODE: 4280 SQFT.
 GARAGE BONUS: 600 SQFT.
 TOTAL ALLOWABLE FAIR: 4880 SQFT.
 DESIGN ELEMENTS BONUS 10%: 428 SQFT.

NET RESULTS:
 3 SQ. FT. 16
 00% UNDER
 MAX. ALLOWED

ALLOWABLE HEIGHT 35 FT. ACTUAL HEIGHT 31'-5" FT.

DESIGN ELEMENTS EXEMPTIONS

DESIGN ELEMENTS ALLOWANCE	428 SQ. FT.
OPEN PORCHES	= 0 SQ. FT.
SCREEN PORCHES	= 0 SQ. FT.
COVERED ENTRIES	= 80 SQ. FT.
PORCH	= 0 SQ. FT.
PORTE-COCHERE	= 0 SQ. FT.
BREEZEWAY	= 0 SQ. FT.
PERGOLAS	= 0 SQ. FT.
DORMERS	= 0 SQ. FT.
BAY WINDOWS	= 11 SQ. FT.
TOTAL ACTUAL DESIGN ELEMENTS	= 91 SQ. FT.
EXCESS DESIGN ELEMENTS	= 0 SQ. FT.



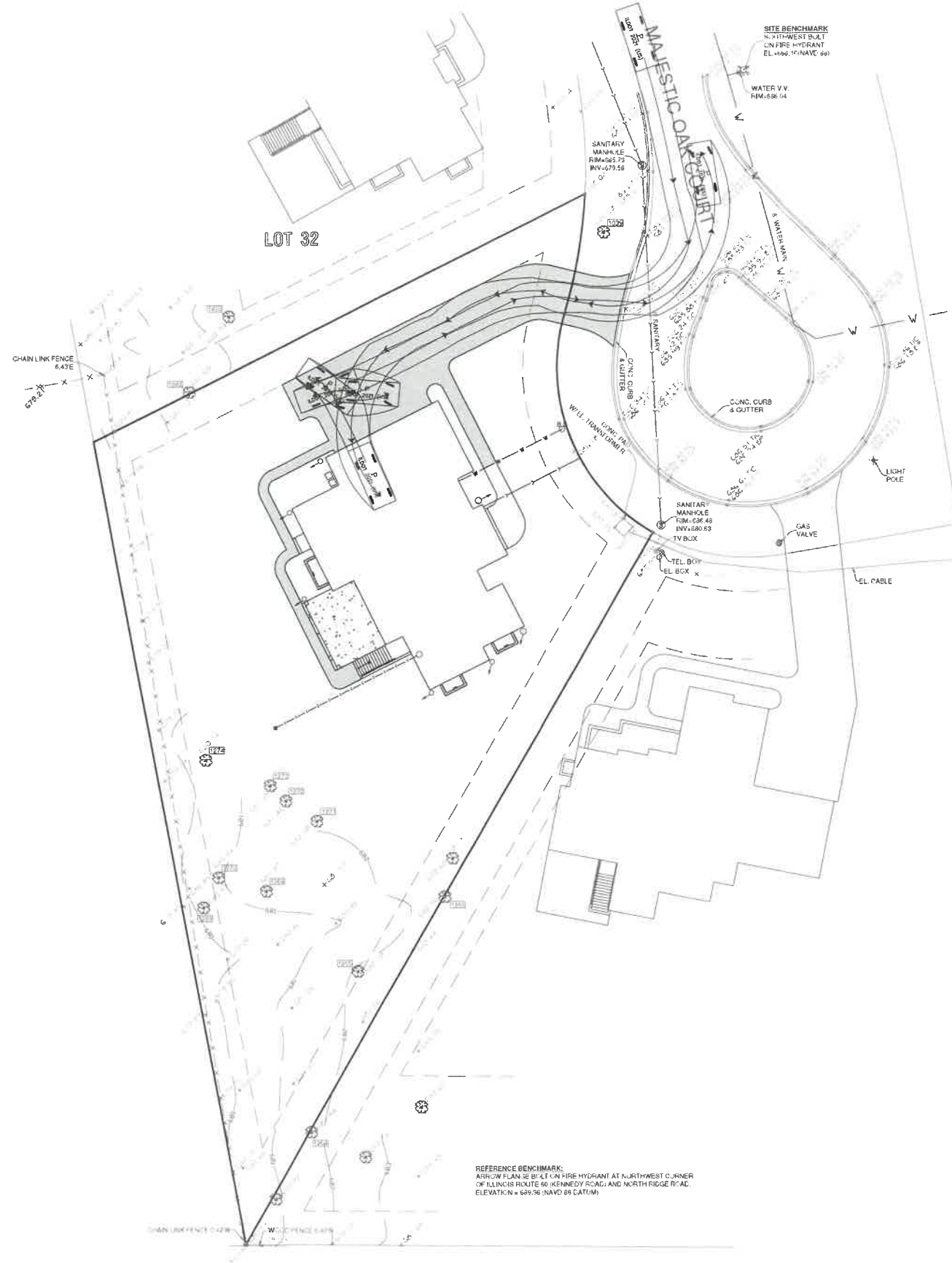
PROPOSED NEW S.F. RESIDENCE
320 MAJESTIC OAK CT.
 LAKE FOREST
 ILLINOIS

DATE: 20 MAR. 26

ARCHIMAX, INC.
 PROFESSIONAL DESIGN FIRM - NO: 184.007363-0001
 3315 W. ALGONQUIN RD. STE. 440. ROLLING MEADOWS, IL 60038
 Phone: 847/787714714
 Archimaxinc@gmail.com

AUTOTURN SCHEMATIC

AUTOTURN STUDY



REFERENCE BENCHMARK:
ARROW PLAN 2E BY 1/4" CONCRETE HYDRANT AT NORTHWEST CORNER
OF ILLINOIS ROUTE 50 (KENNEDY ROAD) AND NORTH RIDGE ROAD.
ELEVATION = 649.56 (NAVD 88 DATUM)



NO.	DATE	DESCRIPTION	VILLAGE COMMENTS
1	2/13/26		



PROPOSED GRADING & UTILITY PLAN
320 MAJESTIC OAK COURT, LAKE FOREST, IL

JOB NO.	25-37B
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 20'

5 OF 5



NOTE:
 ALL TRIMS TO BE CEDAR.
 ALL THE WINDOWS MUNTINS
 TO BE SIMULATED DIVIDED
 LITES WITH INTERIOR AND
 EXTERIOR MUNTIN BARS
 AFFIXED.

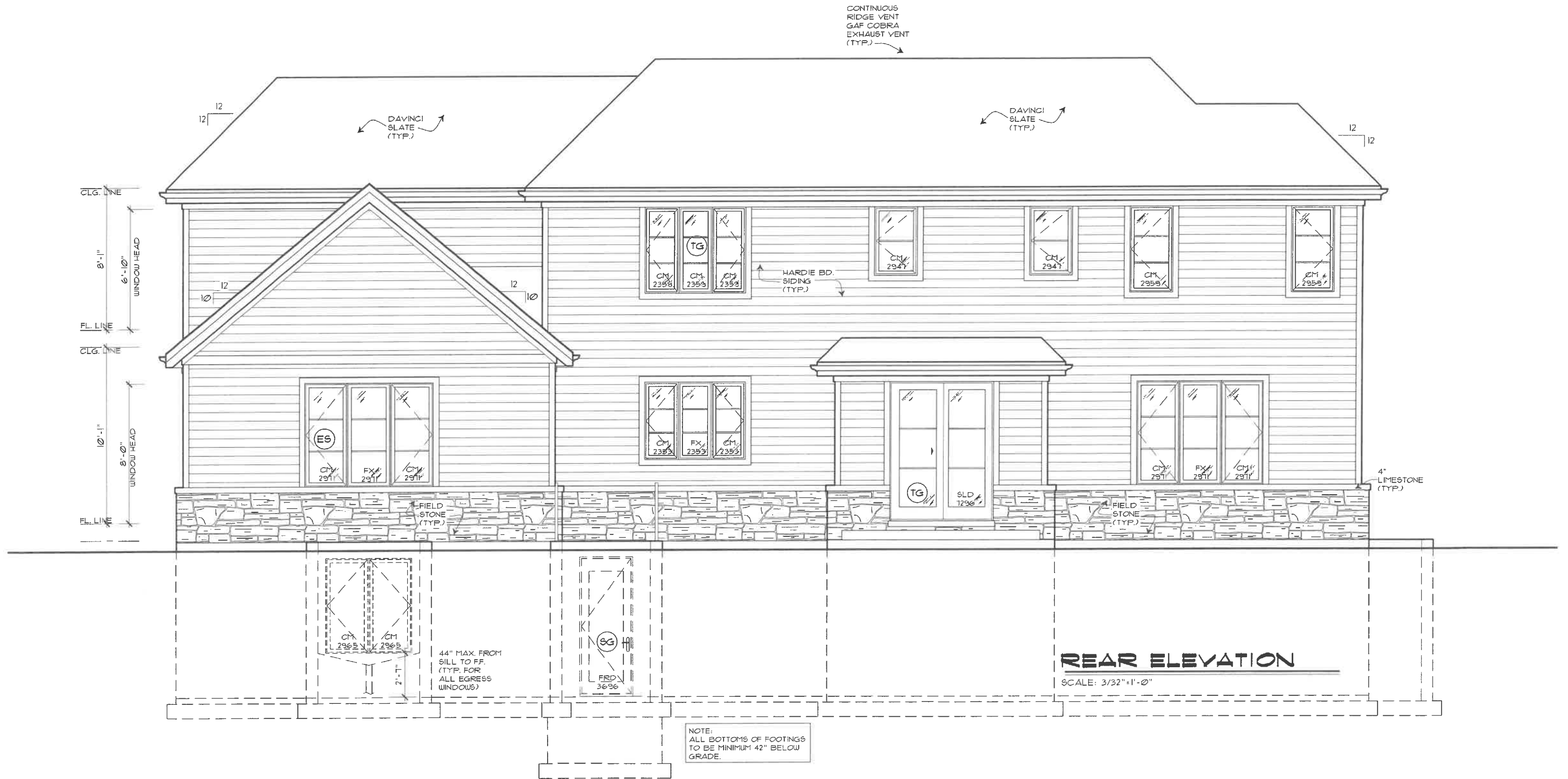
FRONT ELEVATION

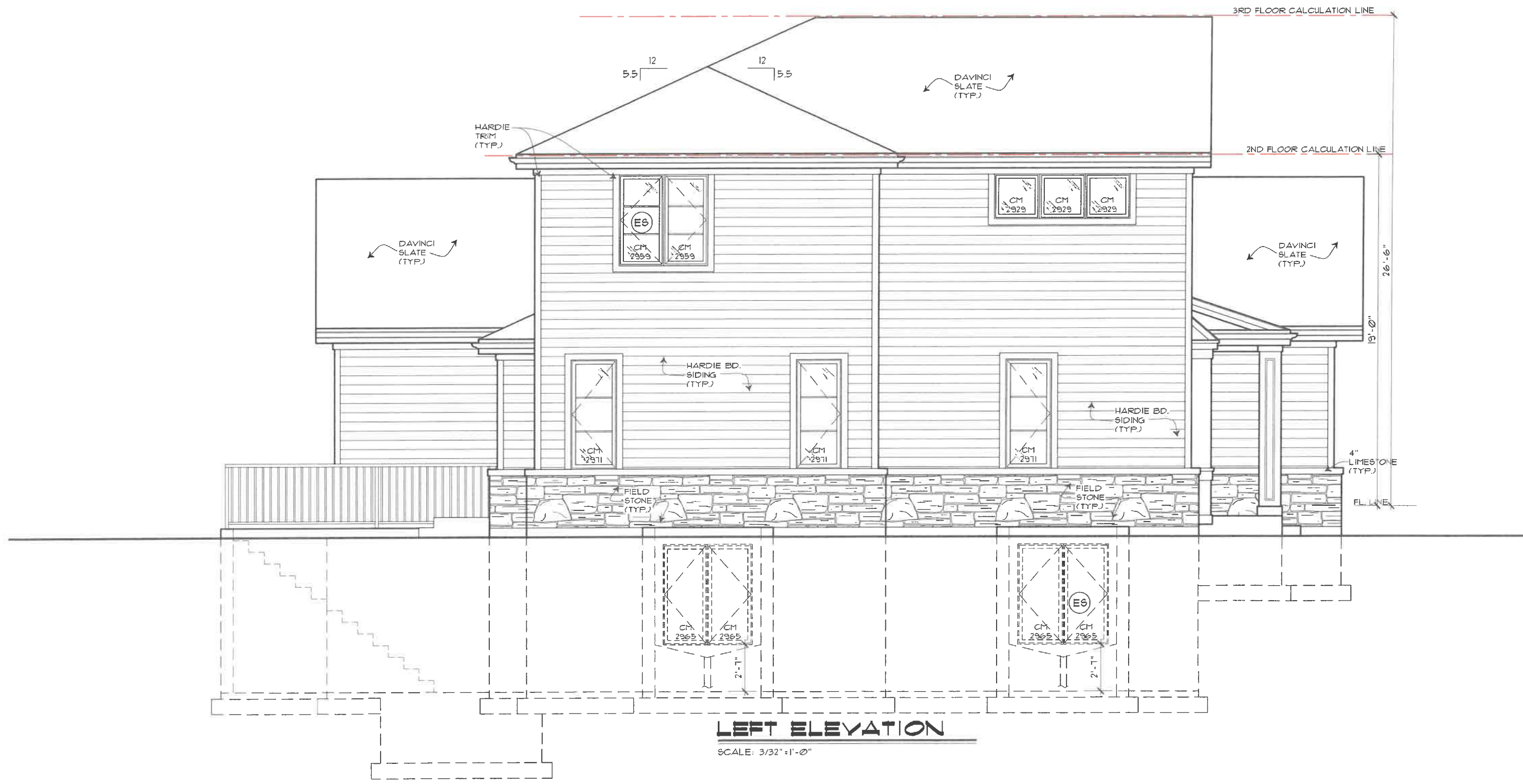
SCALE: 3/32"=1'-0"





WEST ELEVATION



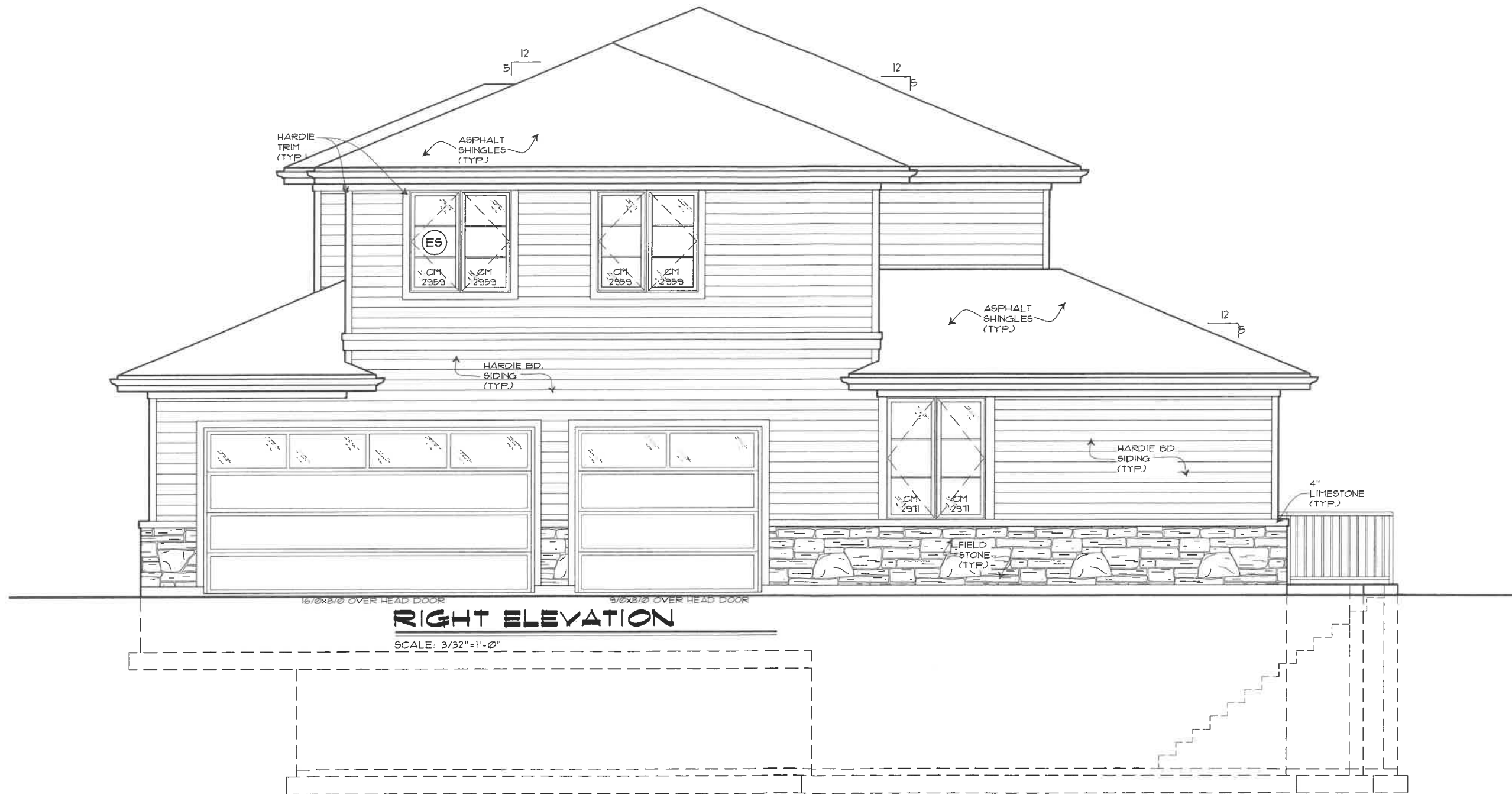


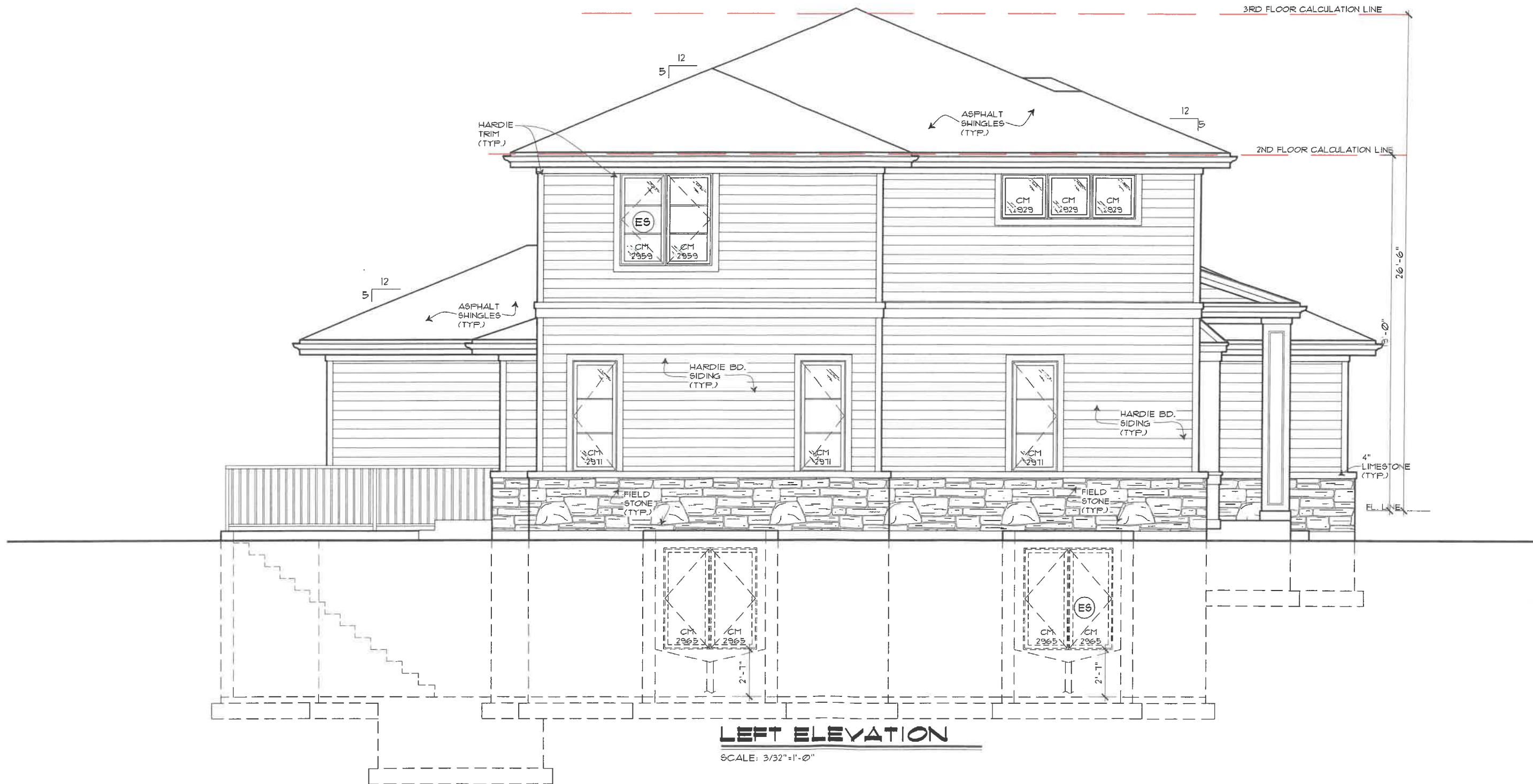
Materials from Previous Meetings

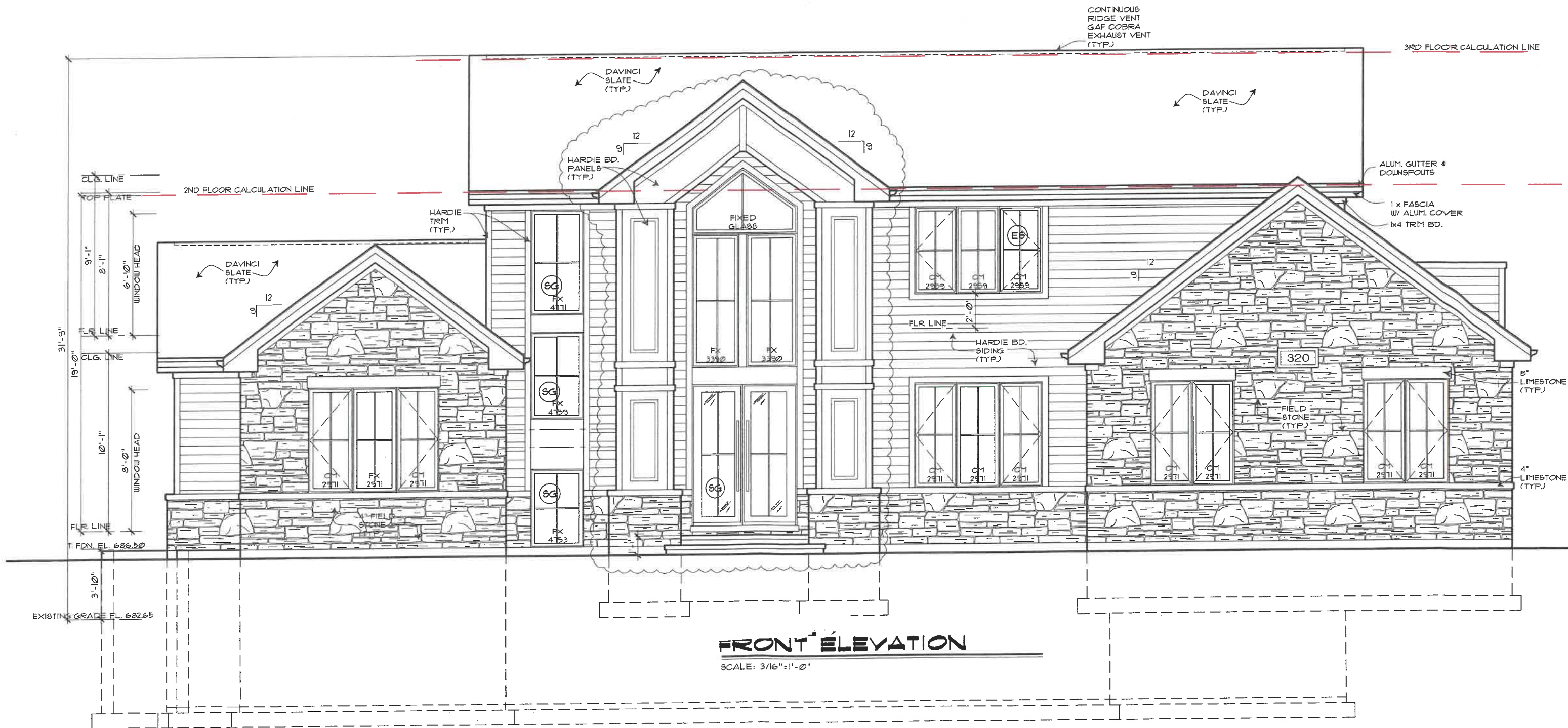
February 4, 2026 – Elevations

January 7, 2026 – East (Front) Elevation









FRONT ELEVATION

SCALE: 3/16"=1'-0"

Agenda Item 6
1135 Windhaven Court
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Rendering
Exterior Materials
Elevations
Roof Plan
Building Section
Floor Plans
Landscape Plan
Tree Removal Plan

Correspondence
HOA Approval

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1135 Windhaven Court

Consideration of a new house with an attached garage on a vacant property and the associated hardscape and a conceptual landscape plan.

Property Owners: Matan Aharoni and Tom Voitik
Representative: Matan Aharoni

Staff Contact: Luis Prado, Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

This property is located on the south side of Windhaven Court in the Arbor Ridge Subdivision. The lot is 19,343 square feet and rectangular in shape. There is a 10-foot public utility easement in the rear of the property.

On April 18th, 2026, the plans presented to the Board were approved by the Arbor Ridge Homeowner's Association (HOA) subject to the conditions as detailed in the letter submitted by the HOA which is included in the packet. The HOA conditions of approval are summarized below. To be clear, these conditions are imposed by the HOA, not the City, although the Board may be in agreement with all or some of the conditions. Enforcement of the HOA conditions is the responsibility of the HOA.

Excerpt from the Arbor Ridge Homeowner's Association letter of approval to the property owner:

1. The proposed construction is not to deviate from the most recent architectural and landscape plans submitted by you to the Arbor Ridge HOA on April 9, 2026. See attached.
2. Please allow this letter to confirm that you have agreed to a synthetic cedar or synthetic slate roof that complies with the choices set forth in the Arbor Ridge Declaration of Covenants.
3. All the exterior materials and colors must be installed as presented and any deviation from the submitted palette must be reviewed and approved by the HOA before installation.
4. Any changes suggested by the Lake Forest Building Review Board shall not deviate from the Arbor Ridge Design Guidelines set forth in the Declaration of Covenants unless approved by the HOA.
5. Any changes to the approved landscape plan must be submitted to the HOA for approval.
6. Any changes to the driveway/garage must be submitted to the HOA.

7. Any requests for changes to the approved plans may cause the HOA to engage a consultant(s). The HOA will request reimbursement for the engagement of these consultants.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The house faces north towards Windhaven Court. The house is generally centered north to south on the lot but positioned very close to the side yard setback from the west property line to create a garage apron and turn around area large enough to be suitable for the proposed three car garage. An asphalt driveway is proposed, leading to a brick paver front walk and the garage apron. The edge of the apron appears close to the east property line. If there is not adequate space for vegetative screening to be placed between garage apron and the property line to screen the neighboring property from potential off-site impacts of car headlights and taillights, a fence or wall should be considered.

A brick patio is proposed in the rear.

Staff Recommendation: Refine the site plan to include screening, landscaping or fencing, between the garage apron and the property line to the east.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,987 square feet is permitted on the site with an allowance of 600 square feet for a garage and 399 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,862 square feet.
- The proposed garage totals 703 square feet. With a maximum garage exemption of 600 square feet, 103 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 317 square feet of design elements are incorporated into the design of the house

In conclusion, the proposed residence totals 3,965 square feet, 2 square feet or less than 1 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 28 feet. The maximum height allowed for a residence on this size lot is 35 feet.

Elevations – This standard is met.

The petitioner identifies the architectural style of the proposed home as “New American.” Generally, New American homes refer to large, suburban houses built from the 1980's onward that combine traditional architectural elements with modern preferences for scale and convenience. They are often characterized by complex rooflines with multiple gables or dormers, prominent front entries, and attached multi-car garages. Although some of these characteristics are present in the proposed residence, the home is more traditional in architectural style than modern and overall, the elevations align with Lake Forest's Residential Design Guidelines.

The north, east, and south elevations are balanced with windows which are regularly arranged and well organized. The west elevation, however, would benefit from further refinement with attention to balancing the relationship of windows to solid wall massing and organizing the windows to be more regular in size and shape. In particular, consideration could be given to breaking up the solid wall massing of the garage wall particularly because it flanks the walk to the front entrance of the home.

Staff Recommendation: Refine the west elevation with attention to balancing the relationship of windows to solid wall massing and organizing the windows to be more regular in size and shape.

Type, color, and texture of materials – This standard is met.

The petitioner proposes antique white glen-gery brick as the façade material, Davinici synthetic roofing that imitates slate, wood casement windows with simulated divided lites, and aluminum gutters and downspouts. The door trim will be brick, the window trim limestone, and the facias, soffits and rakeboards LP. Brick pavers are proposed for the sidewalk to the front entrance and the rear patio.

Wood should be used rather than LP for the trim material.

Staff Recommendation: Detail the window trim material as wood, such as cedar, rather than LP.

Landscaping - This standard can be met.

The proposed landscape plan appears to meet the minimum criteria for new construction however, a significant number of trees of varying size, species and health are proposed for removal. The proposed plan does not yet fully demonstrate compliance with the inch-for-inch replacement requirement.

If there is adequate space for plantings to screen the private areas of the neighboring property to the east from headlights, vegetative screening should be considered along the north property line, across from the garage.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Provide an accurate tree removal plan clearly identifying trees proposed for removal, species, size, and condition.

Staff Recommendation: Submit a revised plan drawn on the grading and drainage plan, demonstrating inch-for-inch replacement of trees proposed for removal with replantings on the property. (Required replacement inches will be determined based on the detailed tree removal plan.)

Staff Recommendation: If feasible, revise the landscape plan to include vegetative screening across from the garage to mitigate views of and impacts from the garage and driveway on the neighboring home.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence was received in response to the notice sent for this meeting other than the letter from the HOA.

Recommendation

Recommend approval of a new house with an attached garage at 1135 Windhaven Court, and approval of the hardscape plan for a vacant property subject to the following conditions. A refined landscape plan will be subject to staff review and approval.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested.
 - a. Refine the site plan to include screening, landscaping or fencing, between the garage apron and the property line to the east.
 - b. Refine the west elevation with attention to balancing the relationship of windows to solid wall massing and organizing the windows to be more regular in size and shape.
 - c. Detail the window trim material as wood, such as cedar, rather than LP.

2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit the following shall be submitted and will be subject to staff review and approval.

Tree Removal and Landscaping

- a. A tree plan identifying trees proposed for removal, and trees identified for protection and preservation.
- b. A plan identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the subject property and on adjacent properties.
- c. A detailed landscape plan that at a minimum, meets the landscape standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

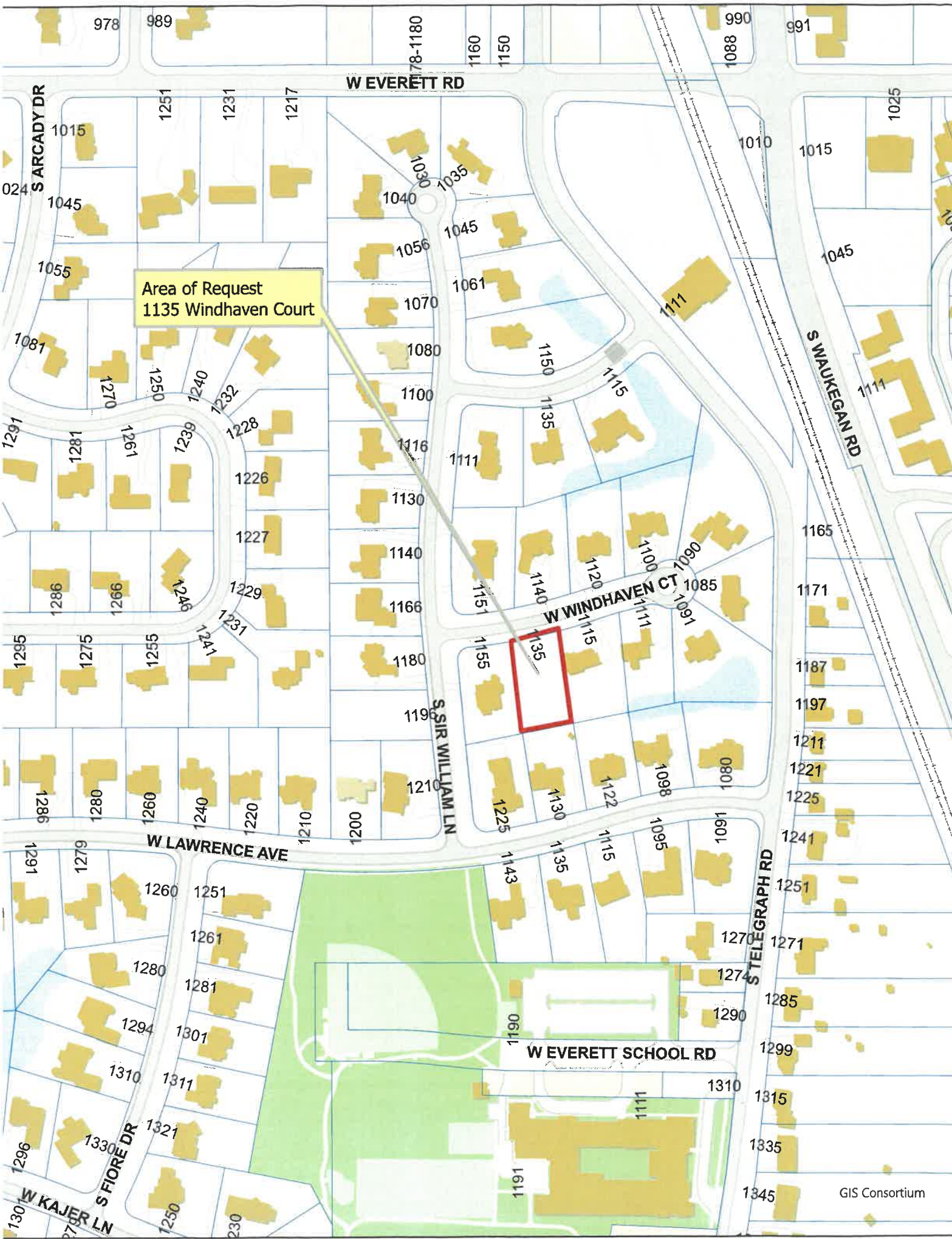
- d. Detailed drainage and grading plans. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting . Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- f. A plan for contractor parking and materials and equipment staging.



Area of Request
1135 Windhaven Court

Statement of intent

Property address: 1135 Windhaven

Property Owner: 1135 WindhavenLF , LLC

Dear Commissioners,

We respectfully submit the attached building review board application and supporting documents for a new single family home located at 1135 Windhaven. The lot is currently unimproved and is approximately .5 acres in size. The home will be approximately 3,900 sf of livable floor area consisting of 5 bedrooms and 5.5 bathrooms, the home will have an 3 car side load garage. The home will be constructed in a “New American” manner, blending traditional architectural elements with contemporary design principles. The façade will be constructed of antique white glen-gery brick. Marvin Bronze aluminum clad windows and thunder gutters, trim and fascia will compliment the main entry, garage and family entrance which will be wood stained; Brava slate composite roofing to complete the home.

No Variance is required.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material red

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish Marvin Bronze

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other Painted LP (BM thunder)

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ~~asava composite slate~~
Divinci

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

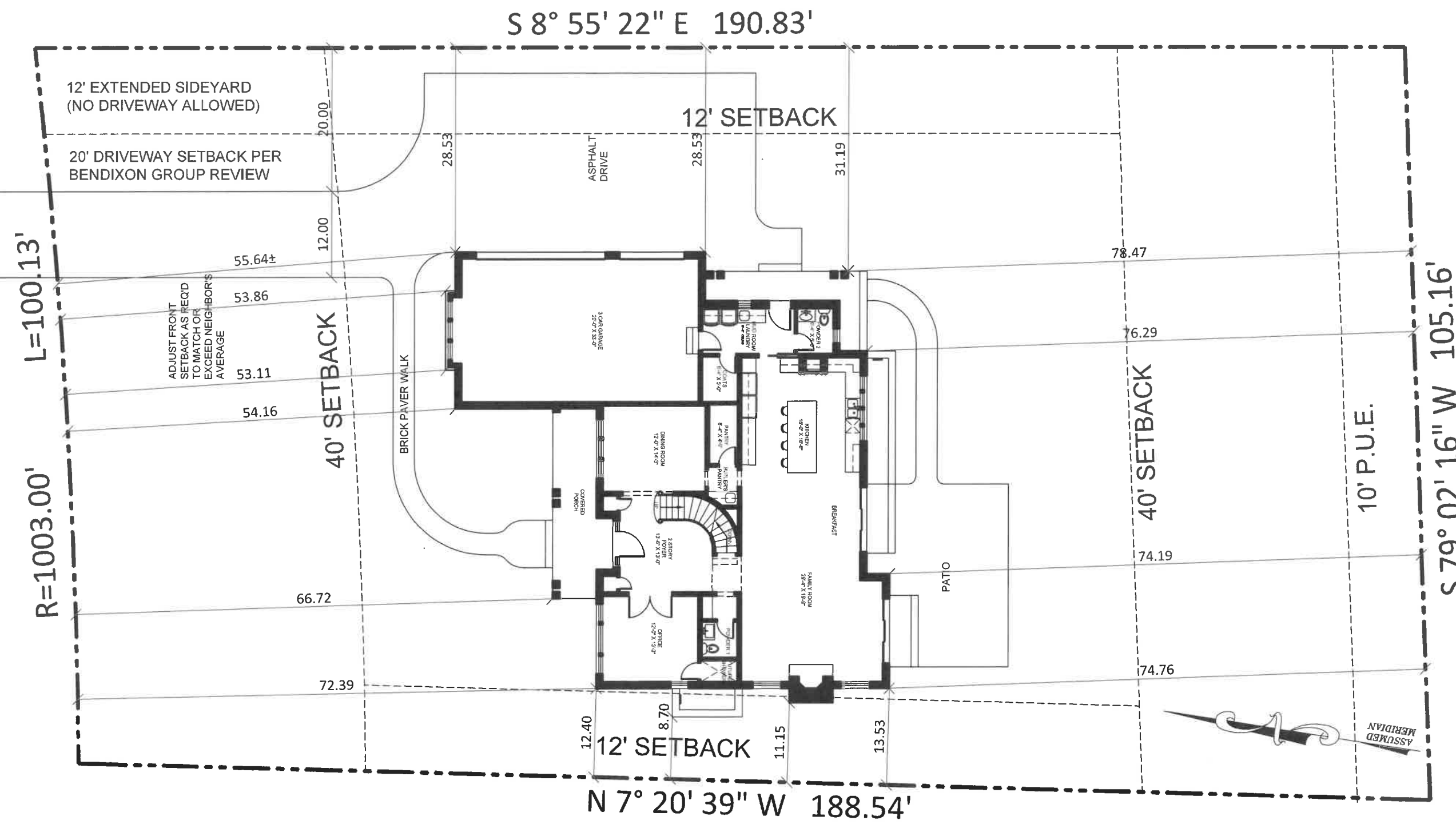
Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

WINDHAVEN COURT



SITE PLAN 4.9.26

1135 WINDHAVEN COURT, LAKE FOREST

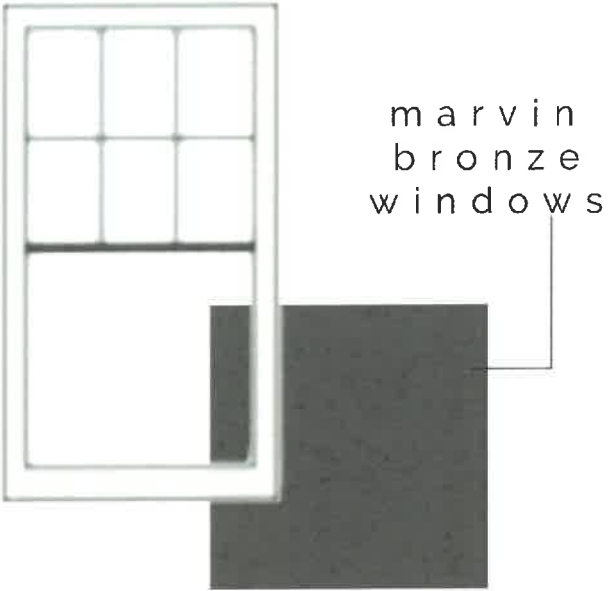
FRONT ELEVATION

exterior



EXTERIOR MATERIALS

exterior | material selections



marvin
bronze
windows

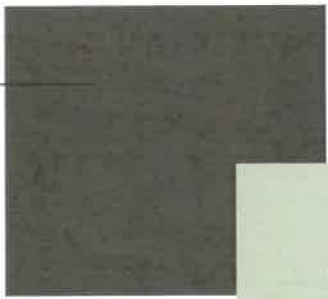
coppersmith
lighting -
copper finish



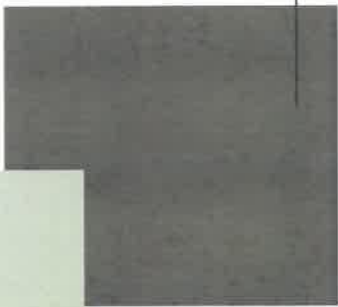
dark stained door
& bronze hardware



stained garage door
to match front



bronze copala
roof



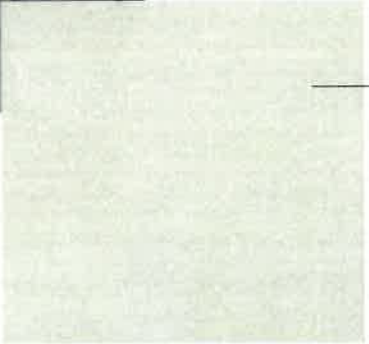
davinci slate
roofing



antique white
glen-gery
brick



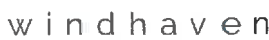
limestone
accents



thunder
trim, gutters,
fascia



windhaven





FRONT ELEVATION

4.29.26

1135 WINDHAVEN COURT, LAKE FOREST

MATERIALS:

ROOF: DAVINCI SLATE.

BRICK VENEER: GLEN GERY "ANTIQUE WHITE" WITH REGULAR COLOR FLUSH MORTAR JOINTS

BRICK SOLDIER: SOLDIER COURSE TO MATCH BUFF LIMESTONE WITH CUT LIMESTONE KEYSTONE AT CENTER. SOLDIER COURSE TO MATCH TYPICAL BRICK VENEER.

SILLS & ACCENTS: STANDARD BUFF CUT LIMESTONE.

WINDOWS: MARVIN WINDOWS "SIMULATED RAIL RECTANGULAR" IN BRONZE.

GUTTERS/DOWNSPOUTS: PREFINISHED EXTRUDED ALUMINUM IN "THUNDER"

FASCIA/SOFFIT/TRIM/COLUMNS: "THUNDER"

EXTERIOR SCENCE LIGHTS: COPPERSMITH LIGHTING IN COPPER FINISH.

CUPOLA ROOF: BRONZE

FRONT DOOR: AS SHOW W/ DARK STAIN & BRONZE HARDWARE.

EXPOSED FLASHING: COPPER

GARAGE DOORS: DARK STAIR TO MATCH FRONT DOOR. 9'-0" X 8'-0" SINGLE DOOR, 18'-0" X 8'-0" DOUBLE DOOR

PORCH & STEPS: CONCRETE BASE W/ BRICK PAVERS



EAST ELEVATION

LEFT SIDE ELEVATION

4.29.26



REAR ELEVATION

4.29.26

1135 WINDHAVEN COURT, LAKE FOREST

WEST ELEVATION



RIGHT SIDE ELEVATION

1135 WINDHAVEN COURT, LAKE FOREST

4.29.26

Agenda Item 7
1241 Kajer Lane
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Rendering
Elevations
Examples of Materials
Roof Plan
Wall Section
Floor Plans
Tree Inventory
Tree Removal Plan
Landscape Plan

Correspondence
HOA Approval

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1241 Kajer Lane

Consideration of a new residence with an attached garage on a vacant property and consideration of the associated hardscape and a conceptual landscape plan.

**Property Owner: James Kuhn
Presented by: Art Marti, Triple M Partners**

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new single family residence with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

The lot is located on the south side of Kajer Lane, in the Arbor Ridge subdivision which was recorded in 1988. The surrounding established neighborhood contains homes of varying architectural styles that were mostly built in the 1990's.

On March 6th, 2026, the plans presented to the Board were approved by the Arbor Ridge Homeowner's Association (HOA) subject to the conditions as detailed in the letter submitted by the HOA which is included in the packet. The HOA conditions of approval are summarized below. To be clear, these conditions are imposed by the HOA, not the City, although the Board may be in agreement with all or some of the conditions. Enforcement of the HOA conditions is the responsibility of the HOA.

Excerpt from the Arbor Ridge Homeowner's Association letter of approval:

1. Proposed construction is not to deviate from the architectural plans submitted to the HOA per the February 20, 2026 email to Julie Halperin.
2. A synthetic cedar or synthetic slate roof that complies with the choices set forth in the Arbor Ridge Declaration of Covenants is required.
3. All exterior materials and colors must be installed as presented and any deviation from the submitted palette must be reviewed and approved by the HOA.
4. Any changes suggested by the Building Review Board shall not deviate from the Arbor Ridge Design Guidelines unless approved by the HOA.
5. A landscape plan shall be re-submitted to the HOA upon finalization.
6. A driveway design shall be re-submitted to the HOA upon finalization.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural

quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The proposed residence is oriented north, toward Kajer Lane. The home is sited approximately 40'- 5" from the front property line and complies with the zoning setbacks for the R-2 Zoning District. A single curb cut prior to the cul-de-sac bulb is proposed. A sidewalk runs along the north side of Kajer Lane and not in front of the proposed residence.

The driveway is poured concrete with decorative concrete pavers and leads to a rear-loaded, attached three-car garage. The orientation of the garage doors may impact the neighboring residences in the rear of the property. Pockets of landscaping are provided in the rear of the lot; however, enhanced screening to mitigate off-site impacts associated with headlights and taillights. The edge of the proposed driveway apron is close to a Swamp White Oak tree located within the parkway. Staff will work with the petitioner to review the location of the driveway with the goal of preserving the parkway trees.

Concrete walkways with decorative concrete pavers and quartzite sandstone boulders lead from the right-of-way and driveway to the front covered entry. A basement patio, ground floor patio, and screen porch are proposed in the rear.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,212 square feet is permitted with allowances of 600 square feet for a garage and 421 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,962 square feet.
- In addition to the above square footage, 314 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 773 square feet. The garage square footage over and above the allowed 600 square feet is added to the total square footage of the residence.
- A portion of the basement, lower level, is exposed three and a half feet above the adjacent grade and is factored into the square footage calculation. A total of 73 square feet is added to the total square footage of the residence for the exposed lower level.
- The total square footage of the residence with the excess garage square footage and portion of the lower level is 4,208.

The proposed residence is four square feet, less than one percent, below the allowable square footage for this property.

At its tallest peak, the residence is approximately 31 feet. The maximum height allowed for a residence on this size lot is 35 feet.

Elevations – This standard is generally met.

The petitioner identifies Country Estate English Tudor as the architectural style of the home. Country Estate English Tudor style homes are recognized by their tall, steep multiple gabled roofs and asymmetrical rooflines. The style features heavy wooden doors, tall, narrow windows arranged in rows, and stone material cladding. They often have a heavy and substantial presence.

The north (front) elevation features various roof forms. A central steep gabled roof with a box bay vertically oriented window is surrounded by a larger hipped roof that steps back from the central gable. The roofing and massing are uneven and could benefit from simplification. The casement windows with awning transoms are symmetrically placed. The first floor singular casement and transom windows have individual shutters justified to the west side of the panes, with only one window featuring a shutter located on the east side of the window pane. Second floor windows on the central mass feature eyebrow caps. The first floor entrance is set off from the central mass, with the door located under a covered entry that faces the driveway or west side of the property. This creates an ambiguous entry condition to the front of the residence. Stepped down between the central mass of the home and the garage is a proposed first floor mudroom with a second floor hallway that features dormers on the north and south sides. There are three dormers over the garage.

On the west elevation, the covered front door entry is evident and windows are symmetrically placed. A gabled roof at the end of the garage includes evenly placed casement windows with awning transoms and shutters. The side elements of the second floor dormers that face the street are visible. Stepped in from the garage is the rear covered patio and grill.

The rear elevation provides automobile access to the garage at the west end. The central mass of the home is framed by two gabled roofs and a chimney towards the east end. The windows could benefit from greater symmetry and an improved balance of solids to voids. A screened porch is framed by bronze metal columns and a railing in the same material and color at the east end cordons off the staircase leading to an open lower level patio. The first floor façade, located above the lower level patio at the east end, may benefit from the addition of a window to better balance the wall to openings.

Various roof forms appear on the east elevation. A rounded awning transom set of three windows is not found elsewhere on the residence and it may benefit from a more consistent window shape.

Staff Recommendation: On the front elevation, refine the massing and roof forms to simplify and better organize the massing and call more attention to the front entrance.

Staff Recommendation: On the south and east elevations, refine the windows for consistency in placement and size.

Type, color, and texture of materials – This standard is met.

The primary exterior materials proposed are Fond du Lac Manor Stone. Hardie Board siding in a taupe shade is proposed for the dormers and central box bay window. Limestone and cedar wood are proposed for trim. The Marvin casement and awning transom windows will be wood with exterior aluminum cladding in the dark grey 'Gunmetal' shade with interior and exterior affixed muntin bars. The door and window trim will be limestone and wood. The shutter material is not identified; however, the shade will match the Hardie Board taupe shade. The shutters appear to be proportional to the windows. The chimney will be stone. Aluminum gutters, downspouts, and fascia in medium bronze are proposed. DaVinci "Slate Grey" synthetic roof shingles are proposed for the roof. A standing seam metal roof in a medium bronze color is proposed for the first floor roofs and above the large windows located on the north and east elevations. The metal roof color will match the color of the gutters, downspouts and fascia. As noted above, the rear columns of the screen porch and railings around the lower level patio are to be bronze metal.

Concrete with decorative concrete paver bump-outs are proposed for the driveway and front walks. Concrete pavers are proposed for the rear patio.

The petitioner provided color renderings that reflect the proposed color palette and a visual reference for the description of materials. The petitioner is expected to provide samples of all exterior materials and the color palette at the meeting.

Staff Recommendation: Identify the shutter material. Shutters must be proportional to the windows.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches and the stone shall be at least four inches thick.

Landscaping - This standard is met.

The tree survey identifies eighteen Buckthorn for removal. Nearly half of the Buckthorn is located along the west property line and would provide screening for the proposed driveway. Replacement plantings for screening purposes will need to be reflected on the landscape plan. There are three City trees located in the parkway that will need to be protected during construction. Any parkway trees that, in the determination of the City's Certified Arborist are negatively impacted will require payment to support replacement plantings by the City. As noted above, staff will work with the petitioner regarding the specific location of the driveway in an effort to preserve the parkway trees.

The conceptual landscape plan proposes four shade trees and three understory trees in the front yard and foundation plantings on every elevation. As noted above, additional plantings should be reflected on the final landscape plan along the perimeter of the property to provide some level of year round screening for the neighboring homes.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Clearly indicate all trees that will be impacted by construction on the plans submitted for permit.

Staff Recommendation: Prepare a final landscape plan that fully meets Code requirements for new residences and provides additional screening along property lines.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations.

As noted above, the City received a letter of support from the Arbor Ridge Homeowner's Association.

Recommendation

Recommend approval of a new residence with an attached garage on a vacant parcel at 1241 Kajer Lane along with the associated hardscape. The landscape plan is addressed in the conditions of approval. The recommendation is subject to the following conditions of approval

1. Prior to submittal for permit, the following shall be addressed:

Elevations and Exterior Materials

- a. On the front elevation, refine the massing and roof forms to simplify and better organize the massing and call more attention to the front entrance.
- b. On the south and east elevations, refine the windows for consistency in placement and size.
- c. Identify the shutter material. Shutters must be proportional to the windows.
- d. Standing seam roof panels shall be no wider than 12 inches and the stone shall be at least four inches thick.

Tree Removal and Landscape Plan

- a. Clearly indicate all trees that will be impacted by construction on the plans submitted for permit.
 - b. Prepare a final landscape plan that fully meets Code requirements for new residences and provides screening along property lines.
2. All modifications to the plans, including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit the following shall be submitted and will be subject to staff review and approval:

Tree Protection

- a. A tree protection fencing plan. Fencing must be installed prior to issuance of permits.

Drainage and Grading

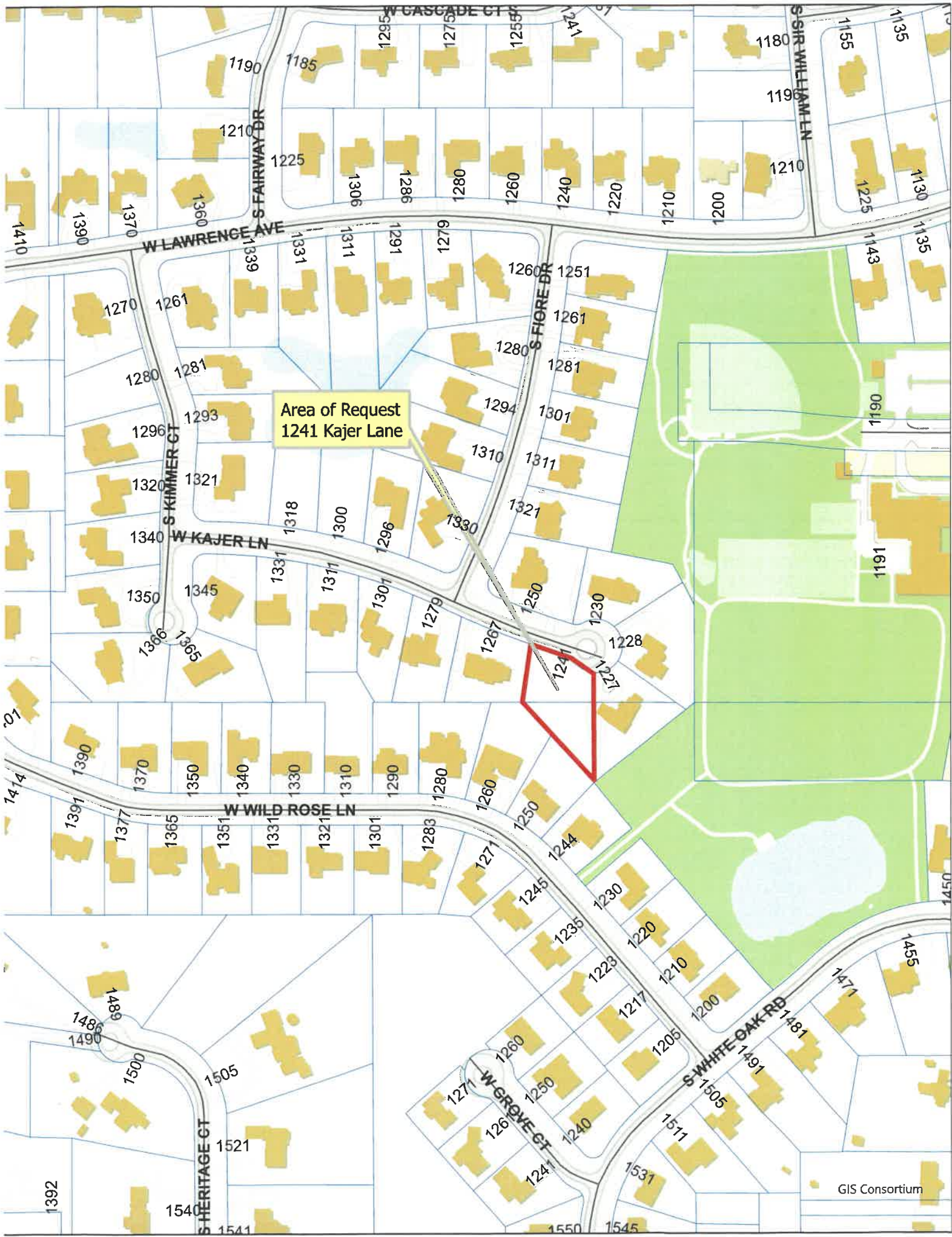
- b. Detailed drainage and grading plans. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- c. Details of all exterior lighting proposed on the structure and any landscape lighting with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- d. A plan for contractor parking and equipment and materials' staging. No parking or staging is permitted within the bulb of the cul-de-sac. The adjacent and nearby streets must remain clean and passable throughout construction. Driveways may not be blocked.



Area of Request
1241 Kajer Lane



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1241 Kajer Ln

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

James Kuhn
Owner of Property

919 S. Sacramento Blvd
Owner's Street Address (may be different from project address)

Chicago, IL 60612
City, State and Zip Code

773-457-1937 773-638-6588
Phone Number *Fax Number*

jkuhn@windwardroofing.com
Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Art Marti Triple M Partners
Name and Title of Person Presenting Project

Triple M Partners
Name of Firm

2906 Spruce Terrace
Street Address

Island Lake, IL 60042
City, State and Zip Code

847-814-0061
Phone Number *Fax Number*

art@triplempartners.com
Email Address

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material Warm Cream + Gray tones

Window Treatment

Primary Window Type

- | |
|---|
| <input type="checkbox"/> Double Hung |
| <input checked="" type="checkbox"/> Casement |
| <input checked="" type="checkbox"/> Sliding |
| <input checked="" type="checkbox"/> Other <u>Awning / Transit</u> |

Color of Finish _____

Finish and Color of Windows

- | |
|--|
| <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other <u>Dark Gray / Bronze</u> |

Window Muntins

- | |
|--|
| <input type="checkbox"/> Not Provided |
| <input checked="" type="checkbox"/> True Divided Lites |

Simulated Divided Lites

- | |
|--|
| <input type="checkbox"/> Interior and Exterior muntin bars (recommended) |
| <input type="checkbox"/> Interior muntin bars only |
| <input type="checkbox"/> Exterior muntin bars only |
| <input type="checkbox"/> Muntin bars contained between the glass |

Trim Material

Door Trim

- | |
|---|
| <input checked="" type="checkbox"/> Limestone |
| <input type="checkbox"/> Brick |
| <input type="checkbox"/> Wood |
| <input type="checkbox"/> Other _____ |

Window Trim

- | |
|---|
| <input checked="" type="checkbox"/> Limestone |
| <input type="checkbox"/> Brick |
| <input type="checkbox"/> Wood |
| <input type="checkbox"/> Other _____ |

Fascias, Soffits, Rakeboards

- | |
|---|
| <input type="checkbox"/> Wood |
| <input checked="" type="checkbox"/> Other <u>Aluminum</u> |

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other N/A

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



REDWOOD

Developers

CUSTOM LUXURY HOMES



TRIPLE M
PARTNERS

City of Lake Forest
Community Development Office

My name is Art Marti, President of Redwood Developers (custom homes) and Triple M Partners (general contractor), and the hired GC for 1241 Kajer Ln. in Lake Forest. The property owners are James (JJ) and Rita Kuhn.

Our collective intent is to build a Country Estate English Tudor inspired two-story luxury home with a finished basement and a three-car garage, commensurate with the quality and expectations of Lake Forest and its residents. The home and landscape architectural plans have been approved by the HOA.

The home will feature expansive windows, an elevated landscape design, and a full-stone exterior finish, as illustrated in the color rendering, and will meet all construction standards and expectations of Lake Forest. Pending Village permit approval, the home is projected to be completed in 2027.

Respectfully,

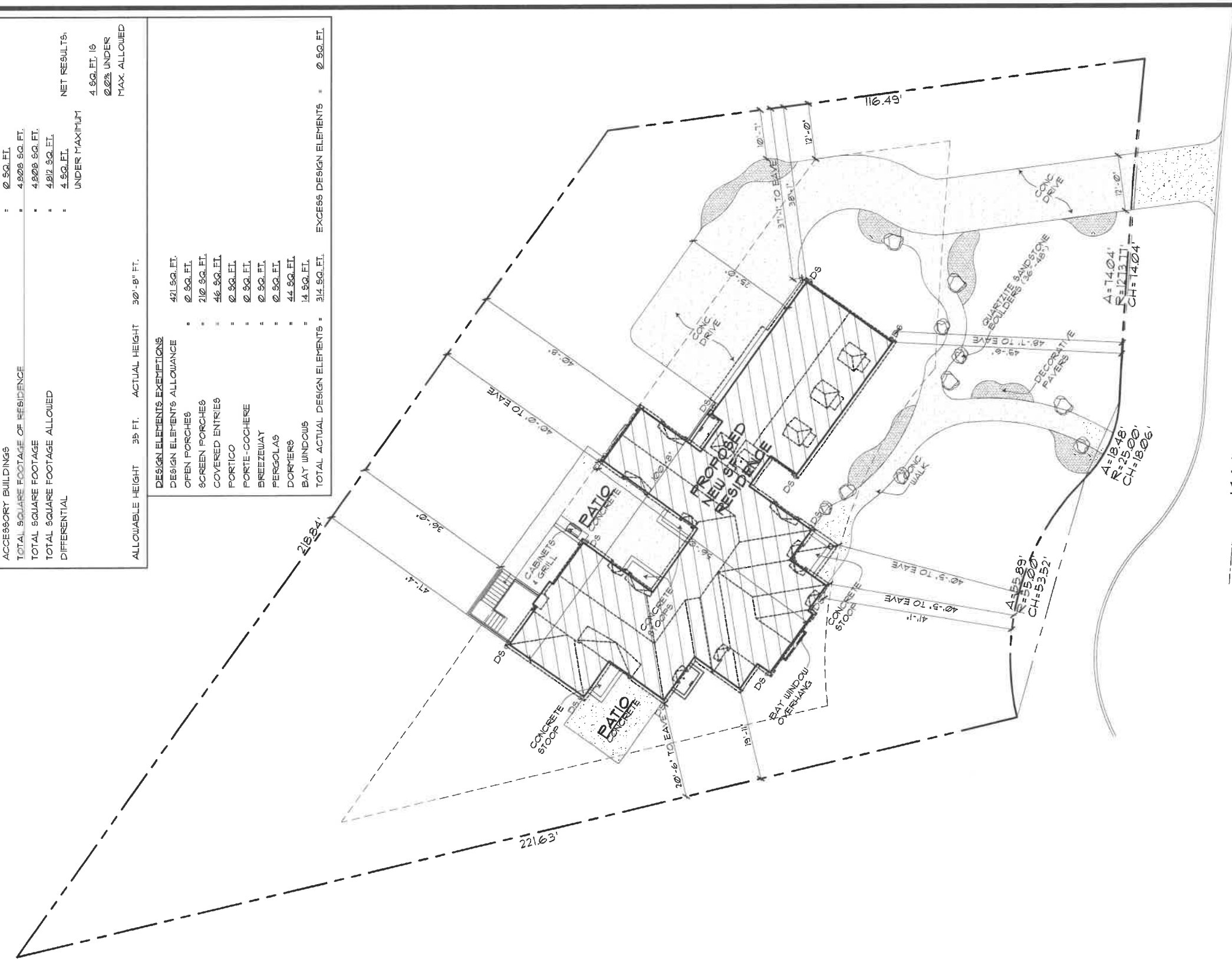
Art Marti

LOT AREA: 24,245 SQ.FT.
 ALLOWABLE BULK BY CODE: 4212 SQ.FT.
 DESIGN ELEMENTS BONUS 10%: 421 SQ.FT.

SQUARE FOOTAGE OF PROPOSED RESIDENCE
 1ST FLOOR 1362 2ND FLOOR 1225 3RD FLOOR 112 = 3,922 SQ. FT.
 DESIGN ELEMENTS ALLOWANCE = 421 SQ. FT.
 TOTAL ACTUAL DESIGN ELEMENTS = 314 SQ. FT. EXCESS = 0 SQ. FT.
 GARAGE = 113 SQ. FT. ACTUAL 600 ALLOWANCE EXCESS = 113 SQ. FT.
 BASEMENT AREA = 13 SQ. FT.
 ACCESSORY BUILDINGS = 0 SQ. FT.
TOTAL SQUARE FOOTAGE OF RESIDENCE = 4,908 SQ. FT.
TOTAL SQUARE FOOTAGE = 4,908 SQ. FT.
TOTAL SQUARE FOOTAGE ALLOWED = 4,912 SQ. FT.
 DIFFERENTIAL = 4 SQ. FT.
NET RESULTS:
 4 SQ. FT. IS UNDER MAXIMUM
 0% UNDER MAX. ALLOWED

ALLOWABLE HEIGHT 35 FT. ACTUAL HEIGHT 30'-8" FT.

DESIGN ELEMENTS EXEMPTIONS	TOTAL ACTUAL DESIGN ELEMENTS *	EXCESS DESIGN ELEMENTS *
DESIGN ELEMENTS ALLOWANCE	421 SQ. FT.	0 SQ. FT.
OPEN PORCHES	0 SQ. FT.	0 SQ. FT.
SCREEN PORCHES	210 SQ. FT.	46 SQ. FT.
COVERED ENTRIES	0 SQ. FT.	0 SQ. FT.
PORCHES	0 SQ. FT.	0 SQ. FT.
PORTE-COCHERE	0 SQ. FT.	0 SQ. FT.
BREEZEWAY	0 SQ. FT.	0 SQ. FT.
PERGOLAS	0 SQ. FT.	0 SQ. FT.
DORMERS	44 SQ. FT.	14 SQ. FT.
BAY WINDOWS	14 SQ. FT.	14 SQ. FT.
TOTAL ACTUAL DESIGN ELEMENTS *	314 SQ. FT.	0 SQ. FT.



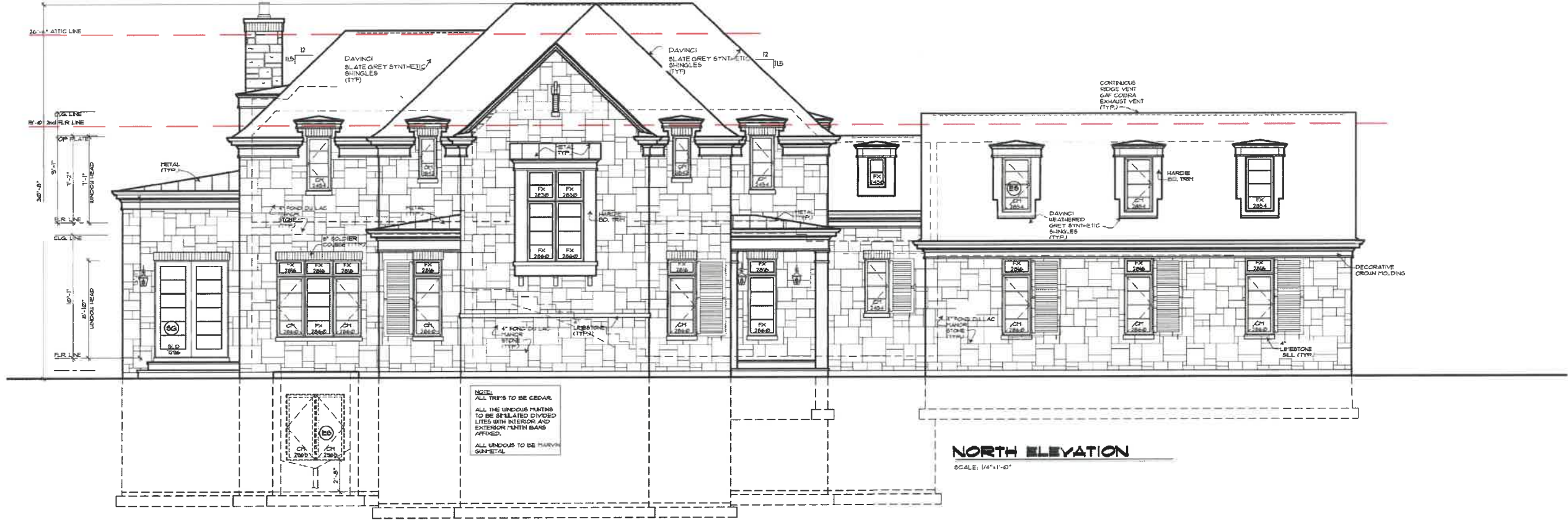
SITE PLAN
 SCALE: 1"=20'-0"

DATE: 4 FEB. 26

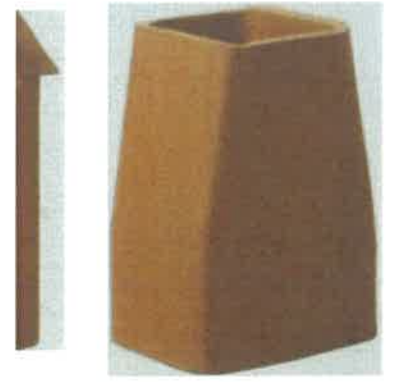
PROPOSED NEW S.F. RESIDENCE
1241 KAJER LANE
 LAKE FOREST
 ILLINOIS

ARCHIMAX, INC.
 PROFESSIONAL DESIGN FIRM NO. 84-00363-0001
 315 W. ALGOSH AVE. STE. 441 BLDG. ME. 06065, IL 60526
 PHONE: 847.877.4414
 ARCHIMAX@GMAIL.COM









8.5" X 13"
CLASSIC

CLASSIC
CHIMNEY CAP



DAVINCI "SLATE GRAY" -
SYNTHETIC SLATE SHINGLES



EXTERIOR LIGHTING



MARVIN
WINDOWS -
GUNMETAL



FOND DU LAC
MANOR



GUTTERS, DOWNSPOUTS,
FASCIA - MEDIUM BRONZE

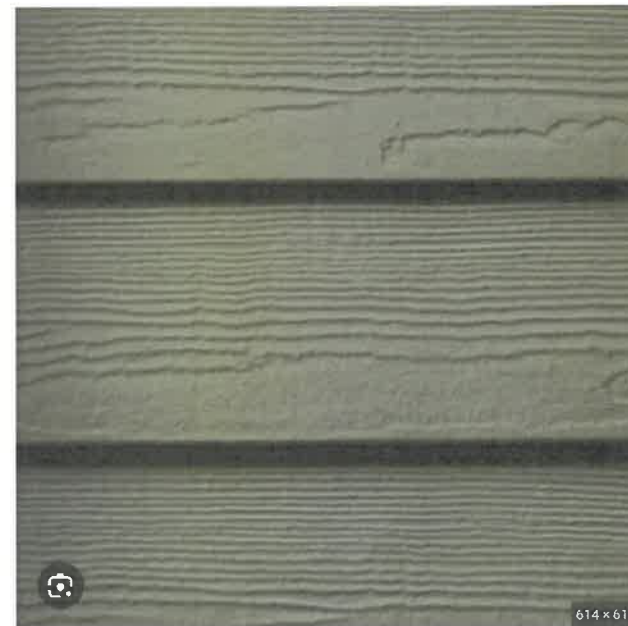
1241 KAJER LN.,
LAKE FOREST



Standing Seam Roof Metal to be the same as gutters, downspout & fascia = Medium Bronze



Shutter Style. Color to match Hardie Board: Taupe color.



James Hardie Plank Fiber Cement
Cedarmill Siding 8.25"x144" Timber Bark...

[Visit >](#)

Hardie board. Color to be: Taupe