

**Agenda Item 3**  
**300 Majestic Oak**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photo*

Materials Submitted by Petitioner

Application  
Statement of Intent  
Description of Materials  
Site Plan  
Elevations  
Samples of Materials  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
Landscape Plan  
Tree Removal Plan

*Materials Submitted at the February 2026 Meeting*

Site Plan  
Elevations

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## **300 Majestic Oak Court**

**Continued consideration of a request for a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.**

**Property Owners: 270-290 Majestic Court LLC (Marcin Kopacz 50% and John Lawson 50%)**

**Project Representative: John Lawson, Owner and Project Manager**

Staff Contact: Luis Prado, Assistant Planner

### **Summary of Request**

The subject property has been presented to the Board on two occasions. This petition was first presented as an initial design concept at the November 5, 2025 meeting. The design was presented again at the February 4<sup>th</sup>, 2026 meeting.

During these meetings, the petitioner received feedback and direction from the Board, including an emphasis on diversifying the architectural styles among the homes located in this portion of the subdivision, designing each home consistent with the selected architectural style, detailing the side and rear elevations to the same level as the front elevations, quieting the front elevations, simplifying the roof forms, eliminating double gables, and relating to some extent to the overall character, form, and materials of the nearby historic residence.

Following the February meeting, the petitioner and the project architect have been in contact with staff by email, phone, and an in-person meeting. After revising the plans to respond to the comments and direction of the Board, the petitioner is requesting a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.

### **Description of Property**

The property that is the subject of this petition was created through the Westleigh Farm Subdivision which was approved in 2017. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The property in this petition is one of seven lots in the Westleigh Farm Subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and

south of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. The historic residence, the Charles Garfield King Estate, was designed by Howard Van Doren Shaw with later additions and alterations. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes at the south end of the subdivision would be high quality, each a unique design, and inspired and defer in some way to the historic residence.

In May of 2024, homes for the properties addressed as 210, 230, and 270 Majestic Oak Court were approved by the Building Review Board. These homes were presented by the original developer of the subdivision, William Ryan Homes, and reflect a variety of architectural styles as described by the developer as Equestrian Farm Style, New England Colonial and French Provincial. With the developer, the Board worked to refine the designs of these homes to respond, at least in part, to the original intention at the time of subdivision for these lots. The three homes are currently under construction by William Ryan Homes.

The properties now under consideration were sold by the original developer to subsequent developers who are now presenting the plans to the Board for review and action.

### **Staff Review of Standards and Board Comments – Evaluation and Recommendations**

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Below is a summary of the comments and direction offered by the Board, staff commentary on how the petitioner responded (**in bold**), and staff observations related to the applicable standards of review.

#### Overall feedback given for all the properties presented at the February 4<sup>th</sup> Meeting:

- Engage the architect actively in conversations with City staff and ensure that the architect attends the Board meetings.

**The architect was actively involved in the discussions and revisions following the February meeting including direct contact with City staff through email, phone and an in-person meeting.**

- Provide variety in architectural styles, exterior materials, and color palettes among the homes.

**The home is similar in color to 290 Majestic Oak, recently approved by**

the Board, and 340 Majestic Oak, also proposed for approval by the Board. However, there is now greater variation in design across the homes since the February meeting.

Examples of the exterior materials and the color palette of the proposed home are included in the Board packet. The examples of materials demonstrate some differences from the materials and color palettes proposed for 290 and 340 Majestic Oak Court.

- Demonstrate consistency with the selected architectural style on all components of each residence.  
**The architectural style is now consistent across all elevations.**
- Eliminate overlapping gables.  
**No elevations contain overlapping gables.**
- Avoid flat and minimal roof pitches.  
**Roof pitches are steeper than those proposed at the February meeting.**
- Provide a hierarchy of massing.  
**The hierarchy of massing has improved. While a large, overarching central mass still exists, there is improved distinction between wings of the home.**
- Provide human scale to elements of the residences.  
**Human scale elements, such as the front and rear porch, are present.**
- Enhance and further detail the landscape plan. Ensure proposed plantings align with good forestry practices.  
**The landscape plan remains the same and at this point is very conceptual. The plan as presented does not appear feasible or consistent with good forestry practices. A detailed, realistic landscape plan will be required at the time of permit submittal and will be subject to staff review and approval.**

*Site Plan - This standard is mostly met.*

An auto-turn illustration is reflected on the architectural plans however, auto-turn studies prepared by a licensed engineer are required at the time of submittal for permit to verify that the garage aprons are adequately sized for functionality and convenience for vehicles commonly owned by families today.

**Staff Recommendation:** Submit auto-turn studies prepared by a licensed engineer demonstrating adequate space for vehicles turning into and pulling out of the garage.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,043 square feet is permitted with allowances of 600 square feet for a garage and 404 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,824 square feet.
- In addition to the above square footage, 257 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 814 square feet. The garage square footage over and above the allowed 600 square feet is added to the square footage of the residence.
- The total square footage of the residence and the excess garage square footage is 4,038 square feet.

The proposed residence is 5 square feet, less than one percent below the allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 33 feet. The maximum height allowed for a residence on this size lot is 35 feet.

**Staff Comment:** As-built drawings must be submitted during the construction process to ensure that the maximum permitted building height of 35 feet and he square footage as reflected on the approved plans are not exceeded. The building height is measured from the lowest point of existing adjacent grade to the tallest peak of the roof.

*Elevations – This standard is met.*

In response to feedback provided by the Board, the petitioner substantially revised the design, responding to the direction and comments of the Board and more closely aligning with the Residential Design Guidelines. Revisions include the introduction of gable roofs, refinement of the front door, addition of a front entrance porch, addition of muntins to the windows, refinement of the windows to be more regular in shape and size across the elevations and the addition of dormers on the north elevation to break up the expansive roof mass. Collectively, these revisions demonstrate responsiveness to the Board's comments and improve the overall composition and compatibility of the proposed residence to the surrounding neighborhood.

Type, color, and texture of materials – This standard is met.

The petitioner is proposing Monterey Taupe horizontal Hardie Board and a 4" thick veneer Halquist Hamilton buff stone as the façade materials. DaVinci synthetic imitation slate roofing, black aluminum-clad windows with simulated divided lites, black aluminum gutters and downspouts, and Hardie trim are proposed throughout.

The description of materials lists the driveway as asphalt and brick pavers however the site plan details the driveway as poured concrete. Clarification is requested.

**Staff Recommendation:** Detail the trim as cedar.

**Staff Recommendation:** Clarify the driveway material.

Landscaping – This standard can be met.

The proposed landscape plan is very conceptual and although the plan appears to meet the minimum criteria for new construction, there is not sufficient detail to confirm whether the plan is realistic. A significant number of trees of varying species, size, and condition are proposed for removal, including several large, healthy oak trees. A final determination of the required tree replacement inches is pending. All replacement tree inches must be met on site, or through plantings in the common area located between Majestic Oak Court and Ridge road. Replanting of this area is critical to preserve the distinct wooded and rural character of Ridge Road.

The conceptual landscape plan shows screening at the garage apron to mitigate the impact of headlights and views of vehicles on the neighboring property. Verification is required to demonstrate that plantings can be accommodated in this area without impeding over land drainage. The landscape plan shall demonstrate consistency with the drainage plan through reflecting grades, swales, and overland drainage flow routes.

The final tree removal and landscape plans will be subject to staff review and approval by the City prior to the issuance of a permit.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no new correspondence was received in response to the plans as now presented.

### **Recommendation**

Recommend approval of a new house with an attached garage at 300 Majestic Oak Court, and approval of the hardscape plan for a vacant property subject to

the following conditions. A refined landscape plan will be subject to staff review and approval.

1. Prior to the submittal of plans for permit modify the plans as follows:
  - a. Include an auto-turn study prepared by a licensed engineer demonstrating adequate space for vehicles turning into and pulling out of the garage.
  - b. Detail the trim as cedar.
  - c. Specify the driveway material.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A final tree removal plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. A determination of the required tree replacement inches will be made based on this plan.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches either on the subject property or in the common area between Majestic Oak Court and Ridge Road to account for trees removed. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

The landscape plan shall include plantings along the driveway to mitigate the impact of headlights and views of vehicles from the

neighboring property. The plan shall correlate with the drainage plan.

*Drainage and Grading*

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

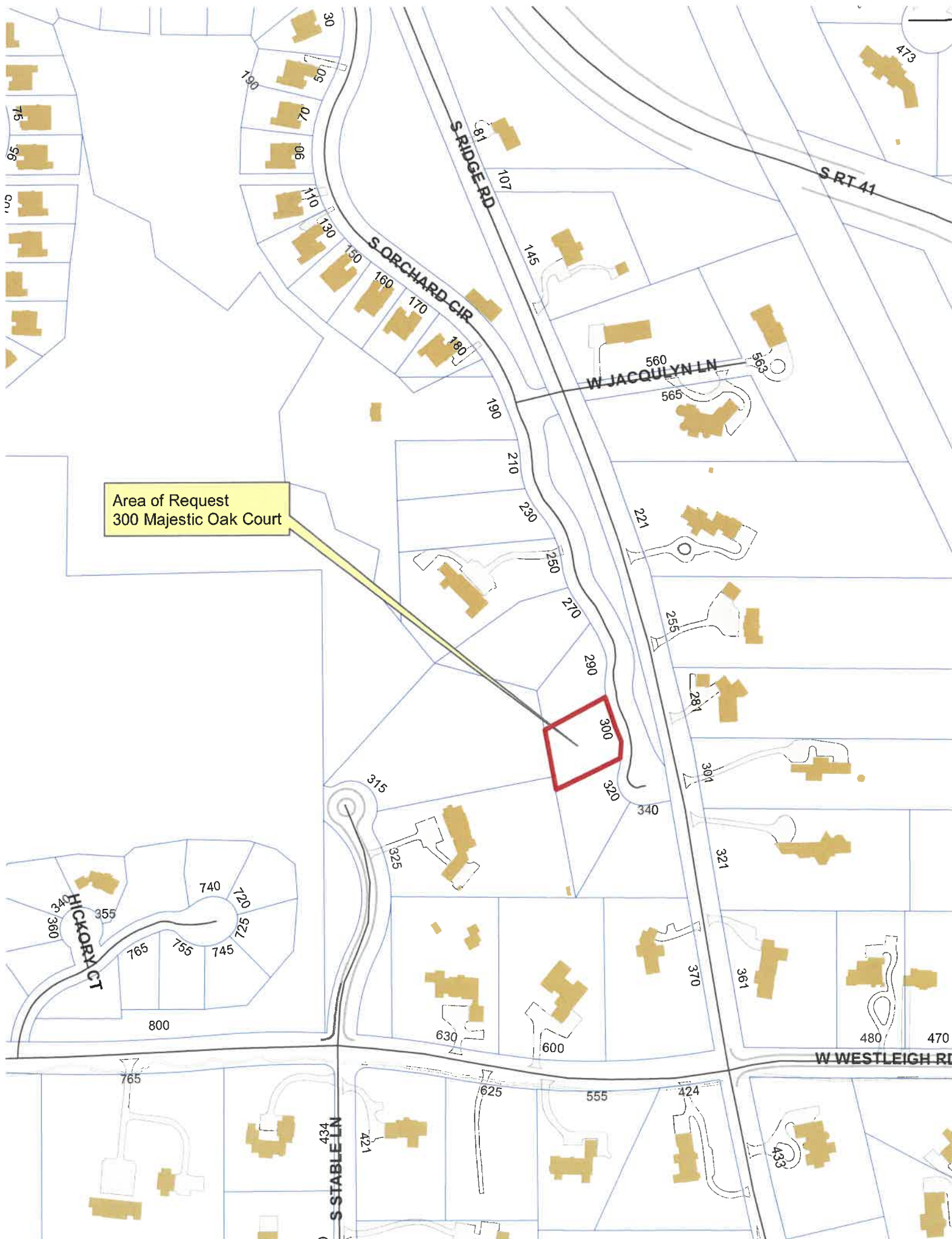
*Exterior Lighting*

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- g. A plan for contractor parking and equipment and material staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Construction access from Ridge Road must be coordinated with the Westleigh Farm Homeowner Association and will be subject to City review and approval.

4. Submit as-built drawings during the construction process to ensure that the building height and square footage of the residence do not exceeded the maximums permitted and comply with the approved plans.



Area of Request  
300 Majestic Oak Court

S RT 41

S RIDGE RD

S ORCHARD CIR

W JACQUELYN LN

HICKORY CT

S STABLE LN

W WESTLEIGH RD

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**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 300 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

**ARCHITECT/BUILDER INFORMATION**

270-290 MAJESTIC OAK LLC  
*Owner of Property*

PAUL - PRESIDENT  
*Name and Title of Person Presenting Project*

8230 AUSTIN AVE  
*Owner's Street Address (may be different from project address)*

SP GROUP PRO INC  
*Name of Firm*

MORTON GROVE IL 60053  
*City, State and Zip Code*

1970 S. GOEBBERT RD  
*Street Address*

773-727-8546  
*Phone Number*                      *Fax Number*

ARLINGTON HES IL 60005  
*City, State and Zip Code*

MARLIN DYNAMIC GROUP@gmail.com      847-323-9948  
*Email Address*                                      *Phone Number*                      *Fax Number*

SPGROUPPRO@gmail.com  
*Email Address*

*[Signature]*  
*Owner's Signature*

*[Signature]*  
*Representative's Signature (Architect/ Builder)*

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

## 300 Majestic oak.

1. Driveway enlarged.
2. Entry door changed to solid with glass.
3. Front porch added.
4. Mullions added to all windows.
5. Gables ends changed.
6. Left elevation: windows added at stairs.
7. Right elevation: dormers added
8. Left side elevation windows enlarged at the 2<sup>nd</sup> floor and 1<sup>st</sup> floor window centered.
9. Rear elevation window added @ 2<sup>nd</sup> floor W.I.C.
10. Metal roof vents removed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
(The use of natural materials is strongly encouraged)

**Facade Material**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding                                 |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                                    |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                                |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>HARDIE - MONTEREY TAUPE</u> |
| <input type="checkbox"/> Wood Shingle          |  |
- Individual or Panels? \_\_\_\_\_

Color of Material HALQUIST STONE : HAMILTON BUFF

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement  
 Sliding  
 Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other \_\_\_\_\_

Color of Finish BLACK

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Fascias, Soffits, Rakeboards**

- Wood  
 Other ALUMINIUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other DAVINCI ROOFSCAPES SLATE  
- BLACK

**Flashing Material**

- Copper
- Sheet Metal
- Other ALUMINIUM

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

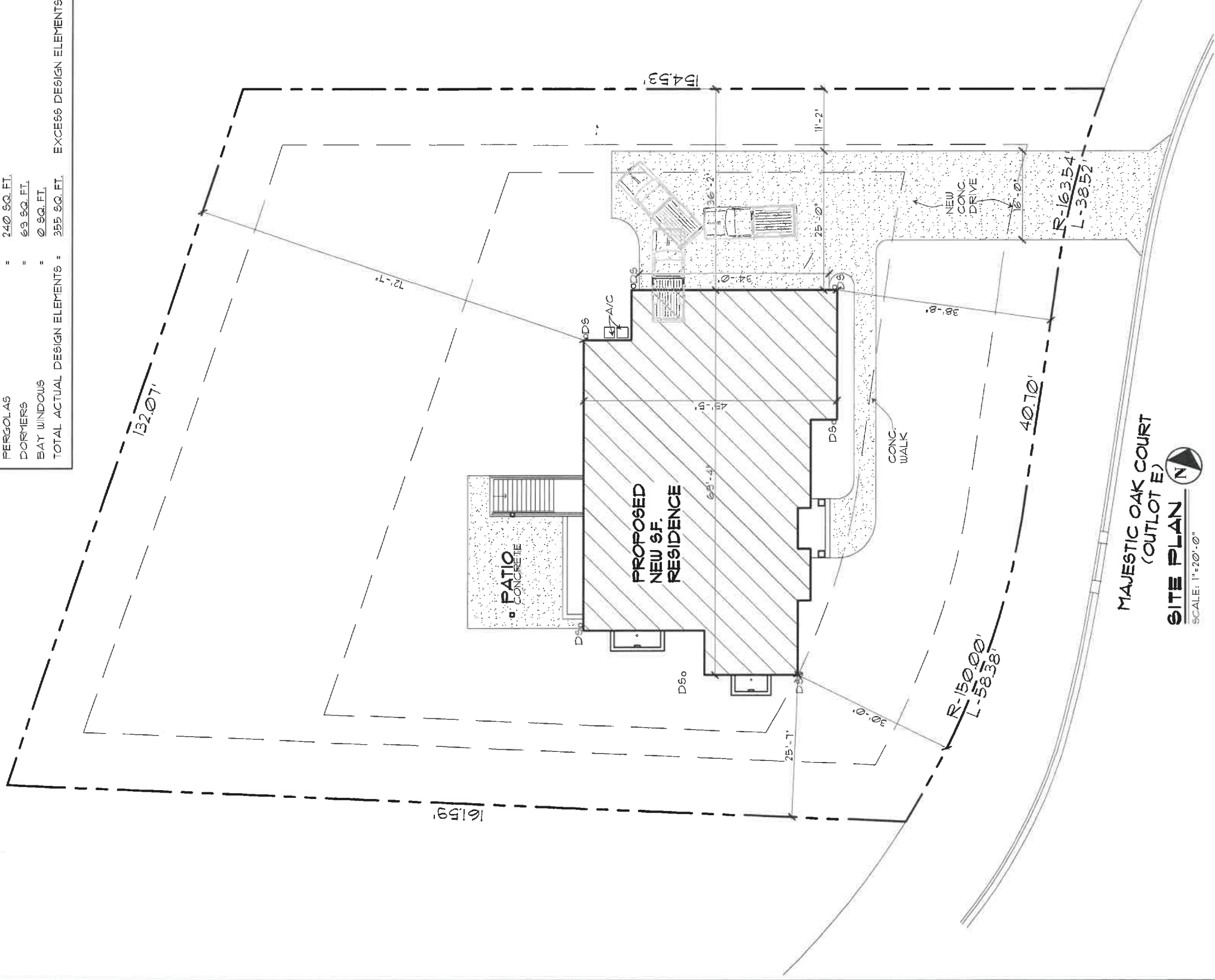
LOT AREA: 20850 SQFT.  
 ALLOWABLE BULK BY CODE: 4043 SQFT.  
 GARAGE BONUS: 600 SQFT.  
 TOTAL ALLOWABLE F.A.R.: 4643 SQFT.  
 DESIGN ELEMENTS BONUS 10%: 404 SQFT.

SQUARE FOOTAGE OF PROPOSED RESIDENCE  
 1ST FLOOR 1818 2ND FLOOR 1853 3RD FLOOR 183 = 3824 SQ. FT.  
 DESIGN ELEMENTS ALLOWANCE = 404 SQ. FT.  
 TOTAL ACTUAL DESIGN ELEMENTS = 286 SQ. FT. EXCESS = 0 SQ. FT.  
 GARAGE = 214 SQ. FT. ACTUAL ALLOWANCE EXCESS = 214 SQ. FT.  
 BASEMENT AREA = 0 SQ. FT.  
 ACCESSORY BUILDINGS = 0 SQ. FT.  
 TOTAL SQUARE FOOTAGE OF RESIDENCE = 4038 SQ. FT.  
 TOTAL SQUARE FOOTAGE = 4038 SQ. FT.  
 TOTAL SQUARE FOOTAGE ALLOWED = 4043 SQ. FT.  
 DIFFERENTIAL = 5 SQ. FT.  
 UNDER MAXIMUM

NET RESULTS:  
 5 SQ. FT. IS  
 0% UNDER  
 MAX. ALLOWED

ALLOWABLE HEIGHT 35 FT. ACTUAL HEIGHT 32'-5" FT.

DESIGN ELEMENTS EXEMPTIONS	404 SQ. FT.
DESIGN ELEMENTS ALLOWANCE	404 SQ. FT.
OPEN PORCHES	0 SQ. FT.
SCREEN PORCHES	0 SQ. FT.
COVERED ENTRIES	46 SQ. FT.
PORCHES	0 SQ. FT.
FORTE-COCHERE	0 SQ. FT.
BREEZEWAY	0 SQ. FT.
PERGOLAS	240 SQ. FT.
DORMERS	63 SQ. FT.
BAY WINDOWS	0 SQ. FT.
TOTAL ACTUAL DESIGN ELEMENTS	355 SQ. FT.
EXCESS DESIGN ELEMENTS	0 SQ. FT.



300 MAJESTIC OAK  
 SITE PLAN

MAJESTIC OAK COURT  
 (OUTLOT E)

SITE PLAN  
 SCALE: 1"=20'-0"

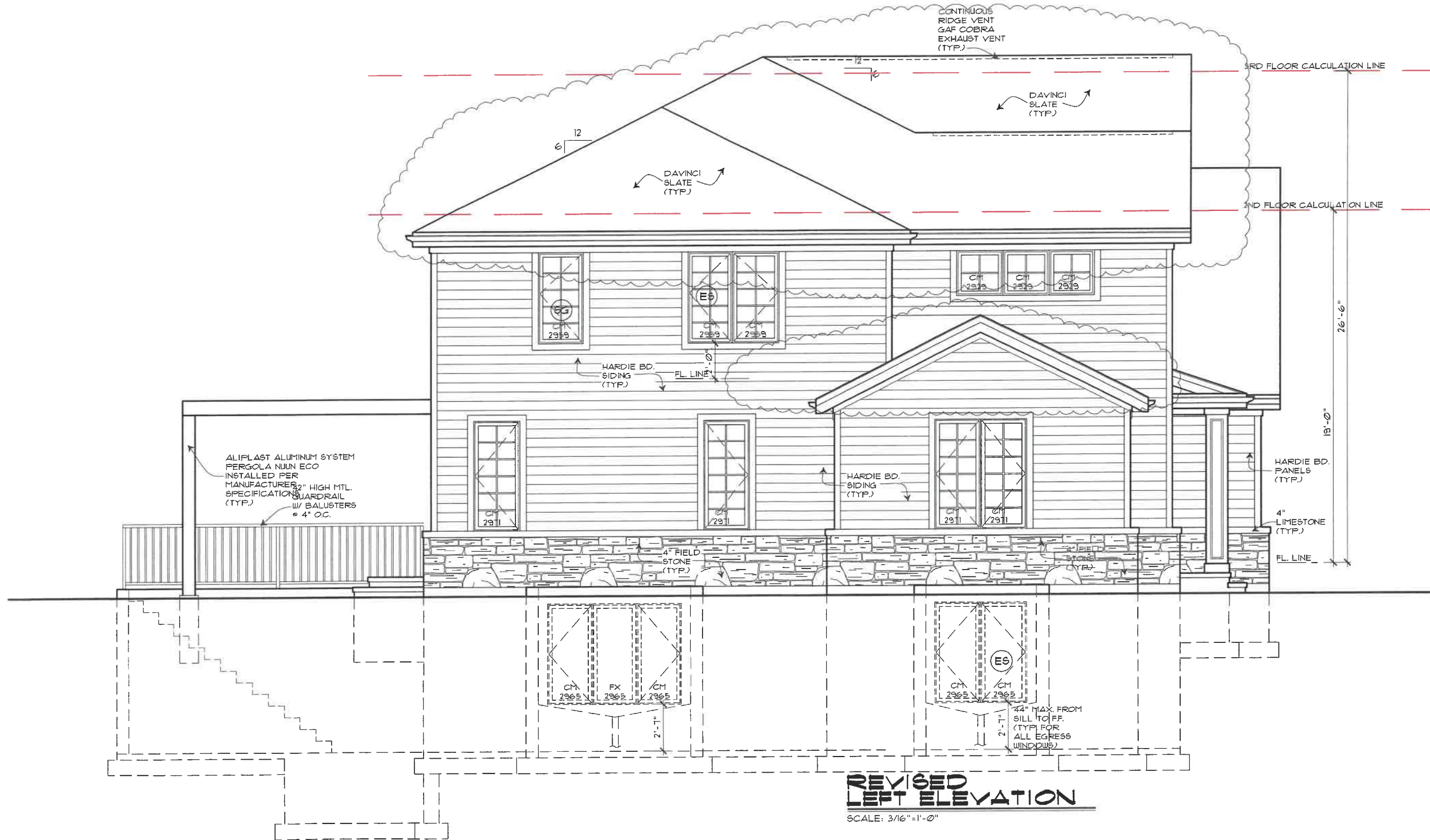
PROPOSED NEW S.F. RESIDENCE  
 300 MAJESTIC OAK CT.  
 LAKE FOREST  
 ILLINOIS

DATE: 16 SEPT, 25

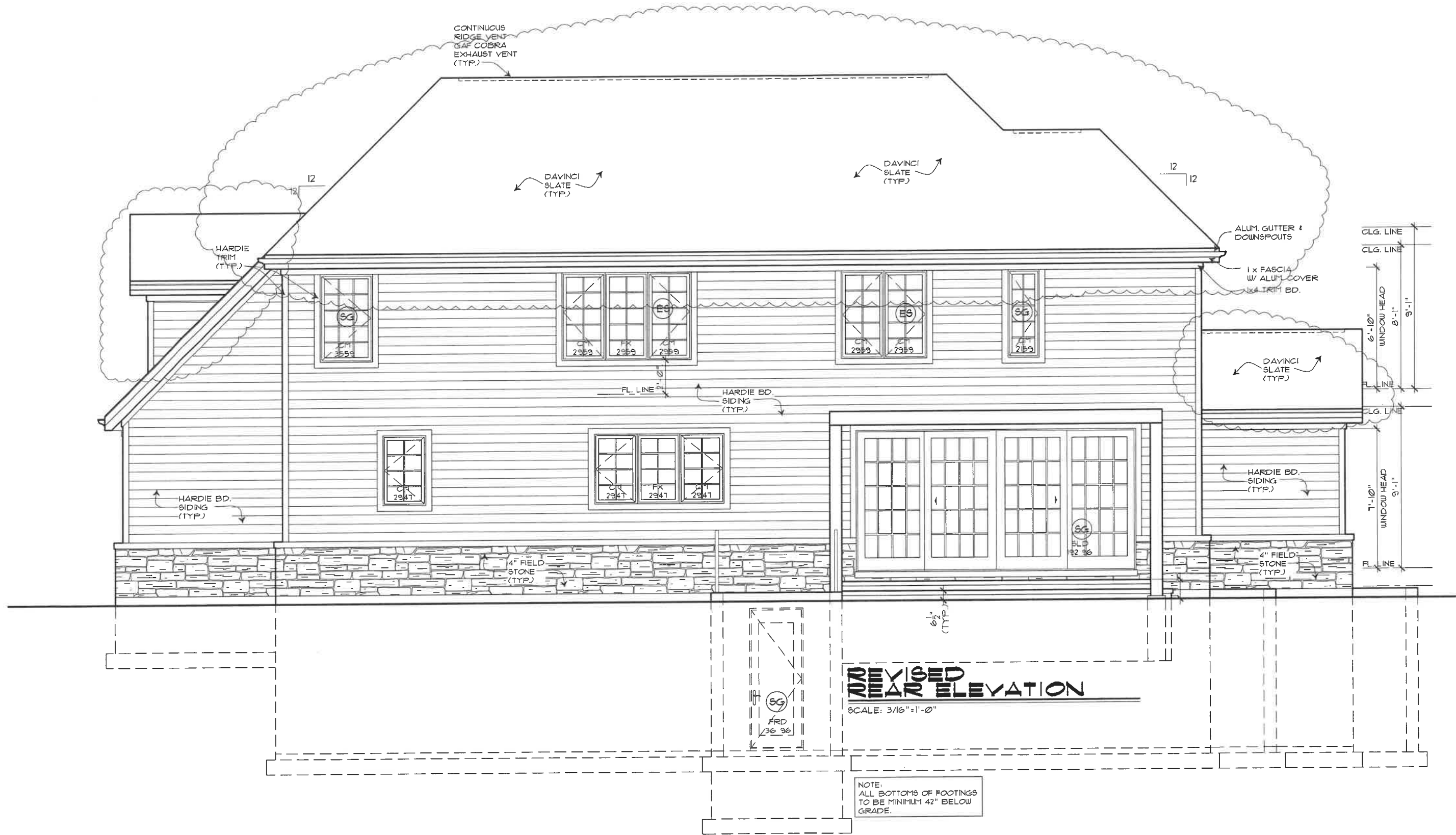
**ARCHIMAX, INC.**  
 PROFESSIONAL DESIGN FIRM - NO: 184-007363-0001  
 3315 W. ALGONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60008  
 Phone: 847/877/4414  
 Archimaxinc@gmail.com

300 MAJESTIC OAK  
EAST ELEVATION



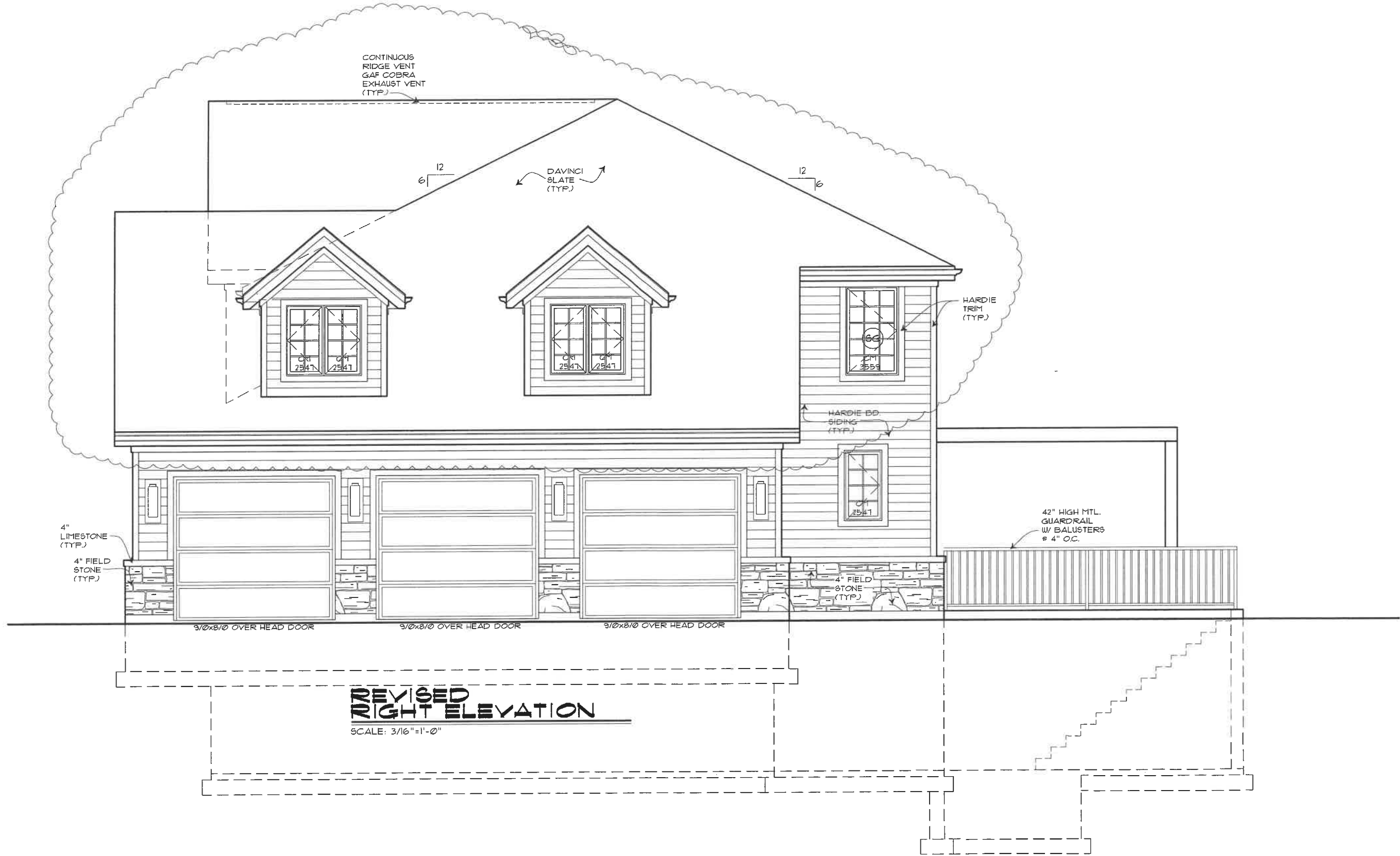


**REVISED  
LEFT ELEVATION**  
SCALE: 3/16"=1'-0"



**UNREVISIONED ELEVATION**  
 SCALE: 3/16"=1'-0"

NOTE:  
 ALL BOTTOMS OF FOOTINGS  
 TO BE MINIMUM 42" BELOW  
 GRADE.



## 300 Majestic Oak Court: *Material Details*



**HARDIE BOARD SIDING AND TRIM:**  
MONTEREY TAUPE



**DAVINCI ROOFSCAPES SLATE:** BLACK



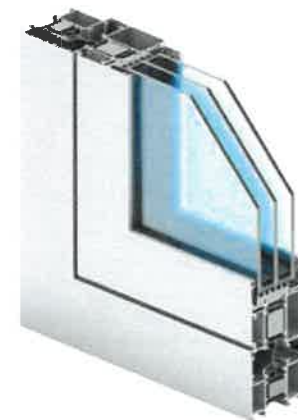
**GUTTER SUPPLY:** BLACK



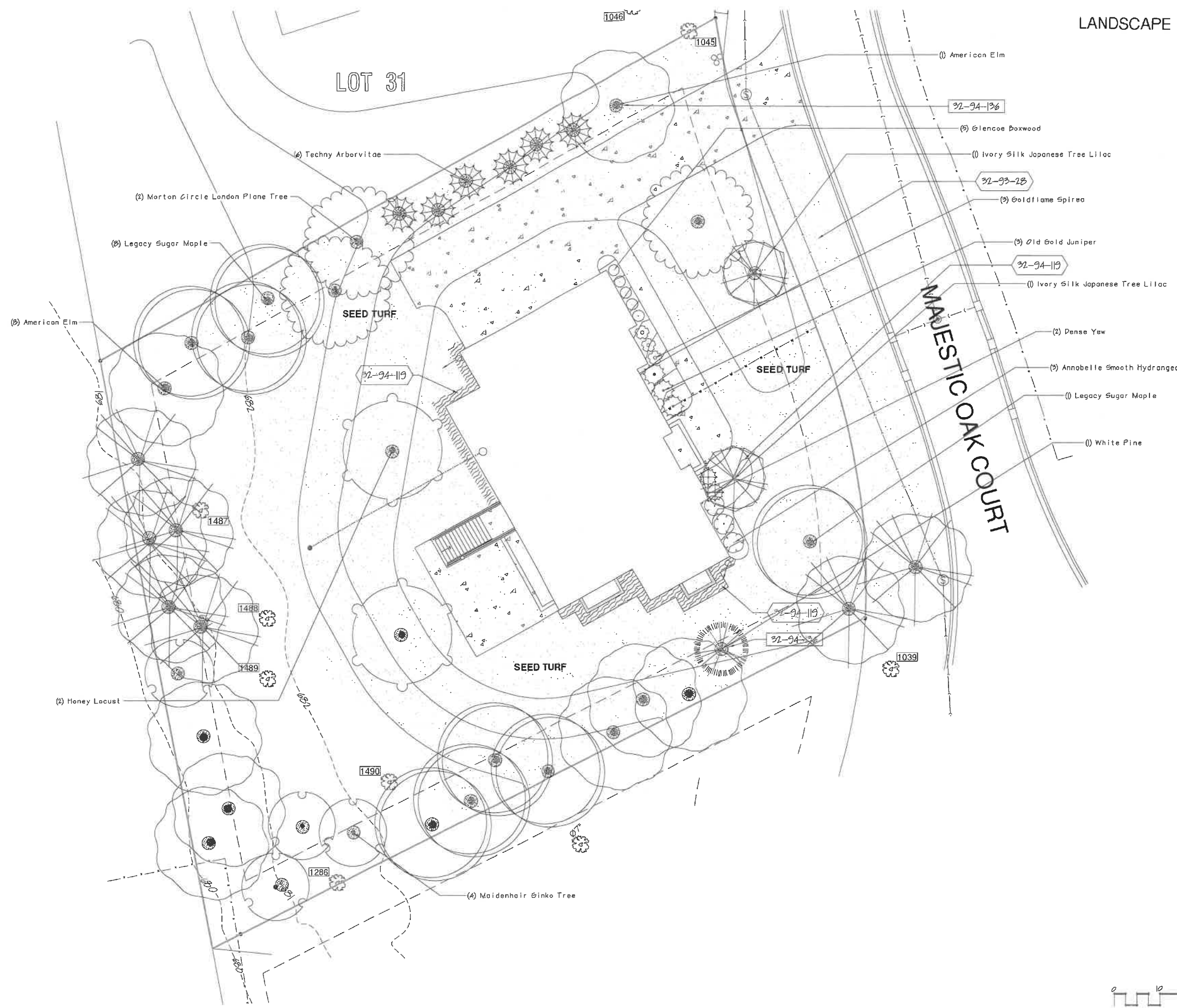
**HALQUIST STONE:** HAMILTON BUFF



**WINDOW ALIPLAST:** BLACK



LANDSCAPE PLAN



THOMAS NORDLOH ASSOCIATES  
 Landscape Architecture  
 &  
 Project Management  
 4111 Taft Rd., Kenosha WI 53142

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THOMAS NORDLOH ASSOCIATES. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THOMAS NORDLOH ASSOCIATES IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THESE PLANS.



No.	Revision/Issue	Date
1		
2		
3		
4		

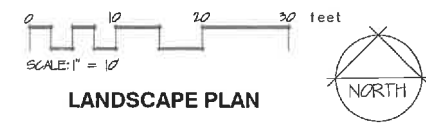
**300 MAJESTIC OAK  
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000629

Project: 20250821.2  
 Date: 12-9-25 1

Sheet

**L-1.0**



LANDSCAPE PLAN

DATE

No.	1	2	3	4
Revision/Issue				

**300 MAJESTIC OAK  
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000529

Project: **20250821.2**  
 Date: **12-9-25 1**

Sheet  
**L-2.0**

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-93-2B	REINFORCERS PREMIUM 60 TURF-SEED AND ON SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6" BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	11,974 sf
	32-94-119	SHREDED BARK MULCH, 3-4" DEPTH	572 sf
	32-94-136	3" DIAMETER MULCH TREE RING	40
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	183 lf

LANDSCAPE ORDINANCE

STREET FOUNDATION LINEAL FOOTAGE -80' 2 X 3' SHRUBS PER 10 LF - 16 SHRUBS

REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF- 68' = 2 TREES. PLAN HAS 2 TREES

REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES

OR

REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE

TREE REPLACEMENT COUNT;  
 301 CALIPER INCHES = 100 TREE REPLACEMENTS BASED ON 3" CALIPER TREES. PLAN INCLUDES 41 TREES, BALANCE OF TREES (60) TO BE LOCATED OFF SITE.  
 ROTTEN, DEAD, INVASIVE AND NUISANCE TREES ARE NOT COUNTED IN REPLACEMENTS.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>				
	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	5
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Ginko Tree	3" Cal.	B&B	4
	Gleditsia triacanthos / Honey Locust	3" Cal.	B&B	2
	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	3" Cal.	B&B	7
	Platanus x acerifolia 'Morton Circle' / Morton Circle London Plane Tree	3" Cal.	B&B	3
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6" Ht.	B&B	2
	Ulmus x 'Frontier' / American Elm	3" Cal.	B&B	5
	SUBTOTAL:			24
<b>EVERGREEN TREES</b>				
	Pinus strobus / White Pine	6" Ht.	B&B	1
	Thuja occidentalis 'Techny' / Techny Arborvitae	6" Ht.	B&B	6
	SUBTOTAL:			7
<b>SHRUBS</b>				
	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3" Ht.		3
	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal.		3
	SUBTOTAL:			6
<b>SHRUB EVERGREENS</b>				
	Duxus x 'Chicagoland Green' TM / Glencoe Boxwood	24"		5
	Juniperus chinensis 'Old Gold' / Old Gold Juniper	5 gal.		3
	Taxus x media 'Densiformis' / Dense Yew	24"		2
	SUBTOTAL:			10
	Existing Trees			





# MONTOYA TREE SERVICE

375 N. WOLF RD WHEELING, IL 60090

847-724-6140

Tree Inventory submitted to:  
Majestic Oak LLC

Job location:  
300 Majestic Oaks Court  
Lake Forest, IL 60045 (LOT 32)

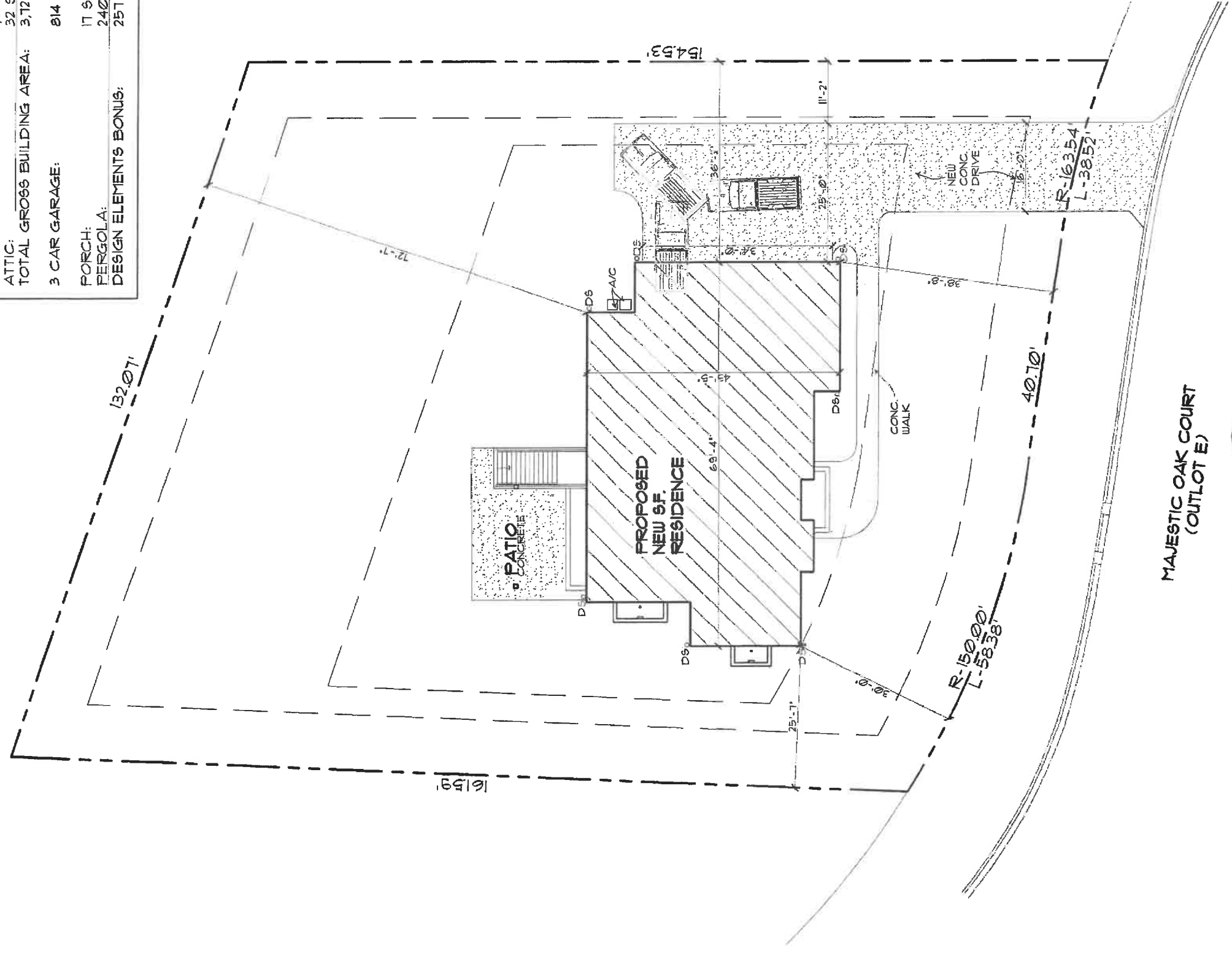
TAG #	SPECIES	DBH	CONDITION	COMMENTS/RECOMMENDATIONS
58	Oak	27	6	Remove, dead
59	Norway Maple	8	1	Remove, per plan
60	Norway Maple	10	1	Remove, per plan
61	Oak	37	2	Remove, per plan
62	Oak	33	2	Remove, per plan
63	Oak	35	2	Remove, per plan
64	Hackberry	38	5	Remove, tree is split
65	Hickory	25	2	Prune
66	Oak	36	3	Prune
67	Oak	25	3	Prune
68	Oak	45	2	Remove, per plan
69	Oak	16	5	Remove, per plan
70	Oak	16	5	Remove, per plan
71	Oak	22	4	Remove, per plan
72	Oak	32	6	Remove, per plan
73	Norway Maple	20	1	Remove, per plan
74	Oak	42	2	2 stems, co-dominant
75	Norway Maple	15	2	Remove, per plan
76	Oak	28	3	Remove, per plan
77	Oak	37	3	Remove, per plan

301 inches of trees to replace

Assessed and completed by: Desta Mehrer IL- 1388A

**Materials from the February 4<sup>th</sup> Building Review Board Meeting**

LOT AREA:	20,850 SQFT.
ALLOWABLE BULK BY CODE:	4,043 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	404 SQFT.
<b>NET AREA:</b>	
1ST FLOOR:	1,658 SQFT.
2ND FLOOR:	813 SQFT.
TOTAL NET LIVING AREA:	3,471 SQFT.
<b>GROSS AREA:</b>	
1ST FLOOR:	1,762 SQFT.
2ND FLOOR:	1,930 SQFT.
ATTIC:	32 SQFT.
TOTAL GROSS BUILDING AREA:	3,724 SQFT.
3 CAR GARAGE:	814 SQFT.
<b>PORCH:</b>	
PERGOLA:	17 SQFT.
DESIGN ELEMENTS BONUS:	240 SQFT.
	257 SQFT.



300 MAJESTIC OAK  
 SITE PLAN  
 FEBRUARY 4, 2026

MAJESTIC OAK COURT  
 (OUTLOT E)  
 SITE PLAN  
 SCALE: 1"=20'-0"

PROPOSED NEW S.F. RESIDENCE  
 300 MAJESTIC OAK CT.  
 LAKE FOREST  
 ILLINOIS

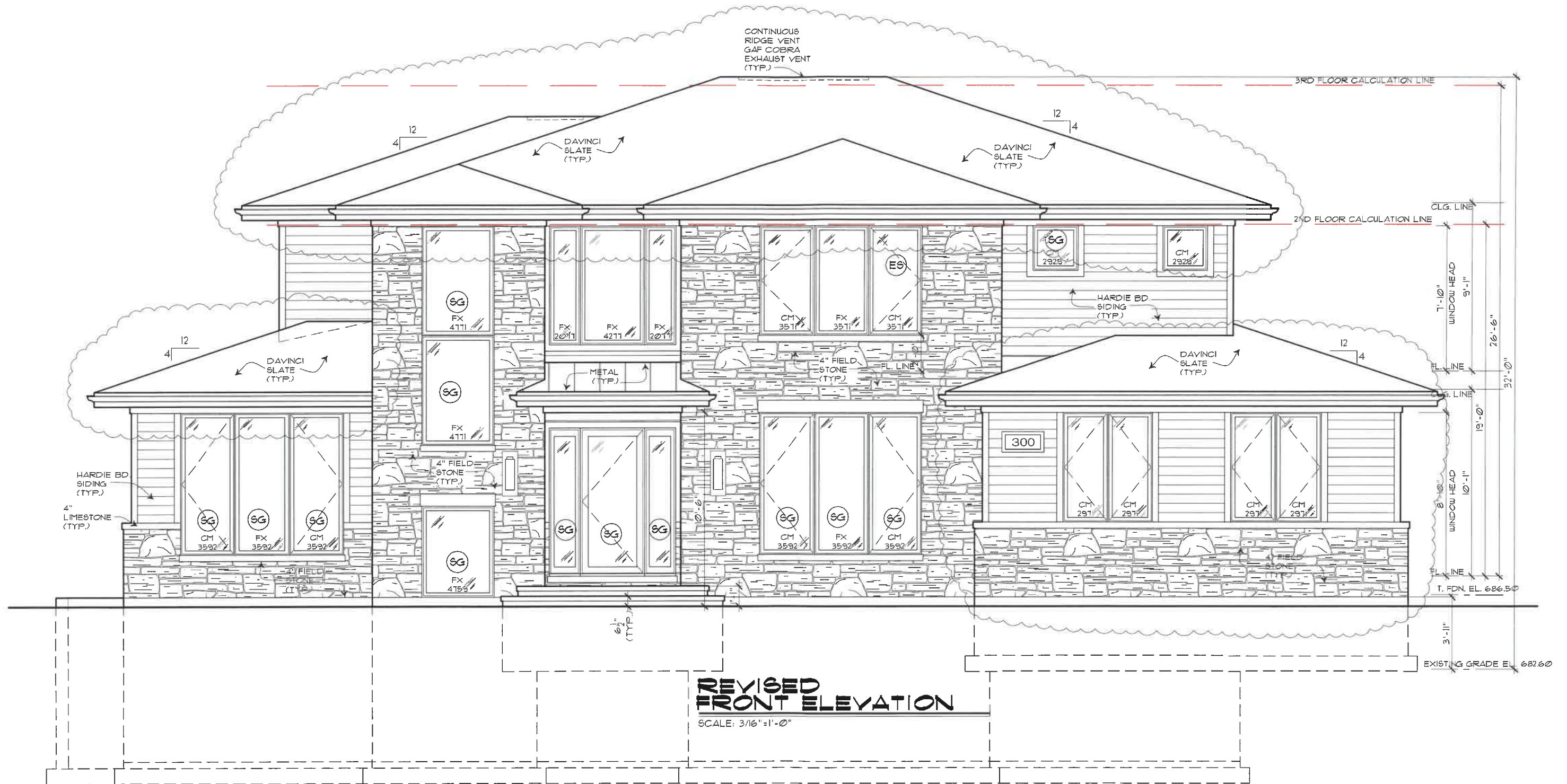
DATE: 16 SEPT. 25

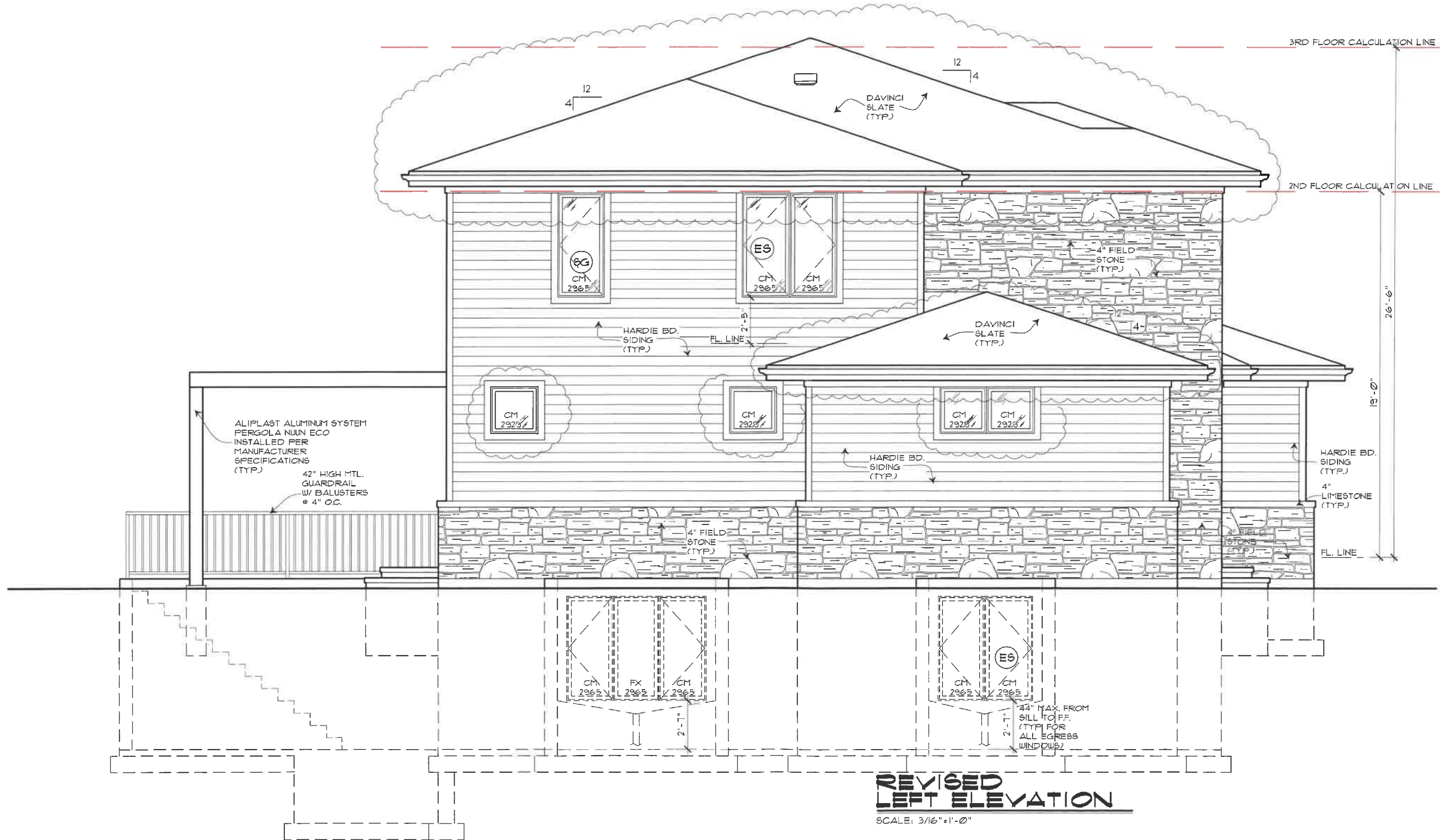
**ARCHIMAX, INC.**  
 PROFESSIONAL DESIGN FIRM - NO: 184,007,363-0001  
 3315 W. ALCONQUIN RD., STE. 440, ROSELINE, ILLINOIS, U.S.A.  
 Phone: 847/877/4414  
 Archimaxinc@gmail.com

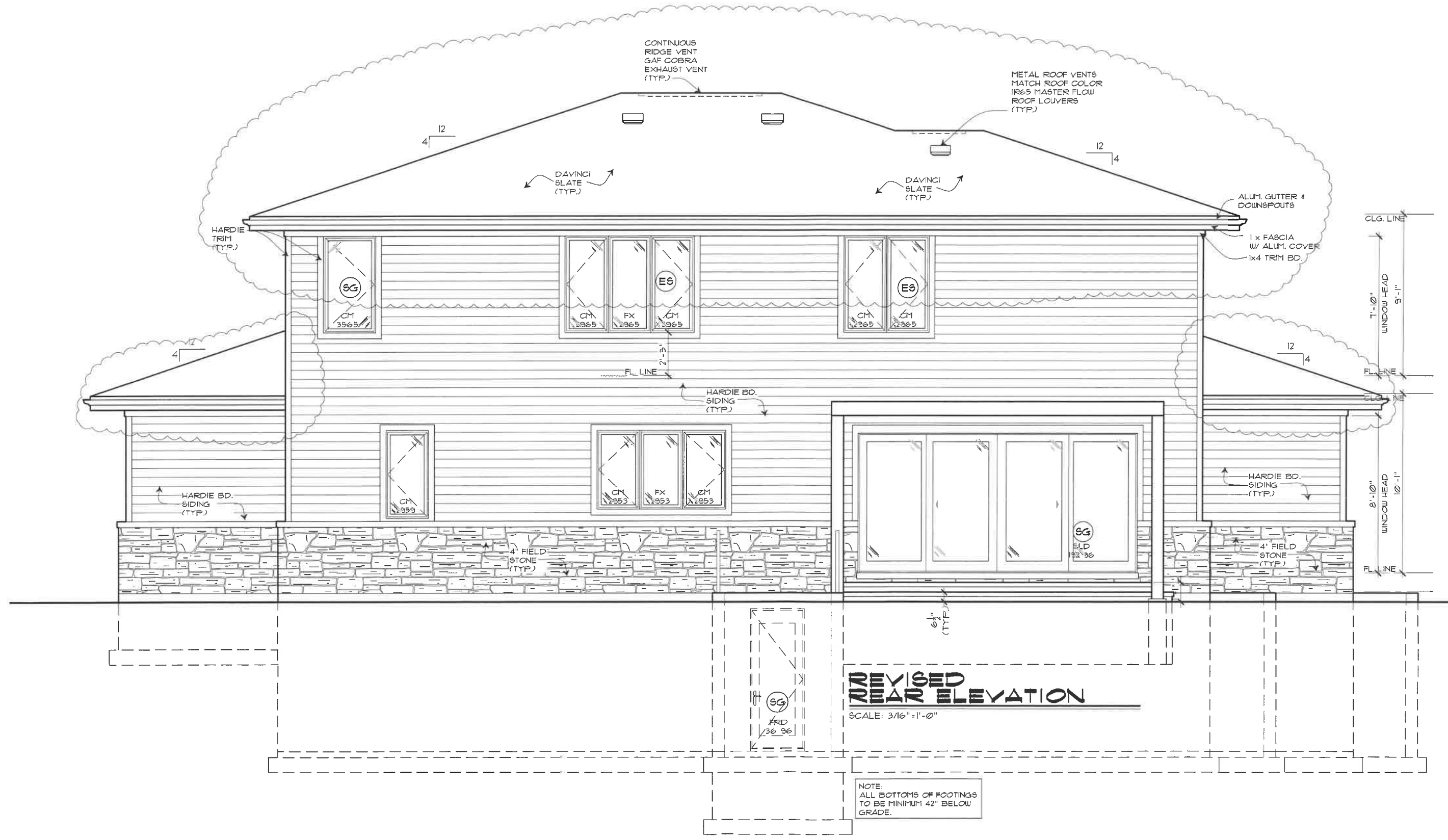
300 MAJESTIC OAK

EAST ELEVATION

FEBRUARY 4, 2026



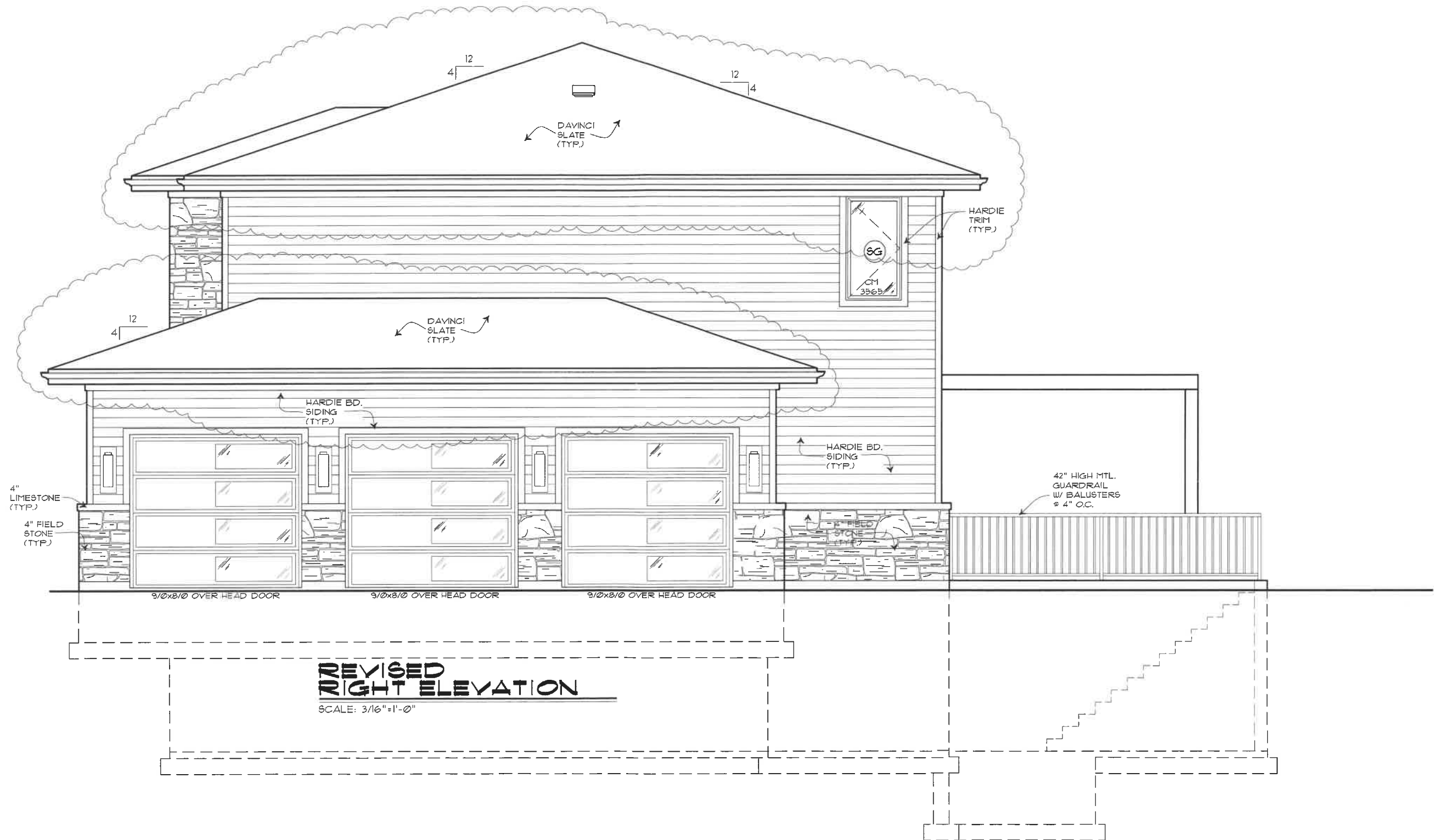




**REVISED  
 REAR ELEVATION**

SCALE: 3/16" = 1'-0"

NOTE:  
 ALL BOTTOMS OF FOOTINGS  
 TO BE MINIMUM 42" BELOW  
 GRADE.



**Agenda Item 4**  
**340 Majestic Oak**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photo*

Materials Submitted by Petitioner

Application  
Statement of Intent  
Description of Materials  
Site Plan  
Elevations  
Samples of Materials  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
Landscape Plan  
Survey – Existing Conditions and Tree Removal Plan

*Materials Submitted at the February 2026 Meeting*

Site Plan  
Elevations

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## **340 Majestic Oak Court**

**Continued consideration of a request for a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.**

**Property Owners: Elite Development Group (Bartek Skrzynecki 50% and Grzegorz Malicki 50%)**

**Project Representative: John Lawson, Project Manager**

Staff Contact: Luis Prado, Assistant Planner

### **Summary of Request**

The subject property has been presented to the Board on two occasions. This petition was first presented as an initial design concept at the November 5, 2025 meeting. The design was presented again at the February 4<sup>th</sup>, 2026 meeting.

During these meetings, the petitioner received feedback and direction from the Board, including an emphasis on diversifying the architectural styles among the homes in this portion of the subdivision, designing each home consistent with the selected architectural style, detailing the side and rear elevations to the same level as the front elevations, quieting the front elevations, simplifying the roof forms, eliminating double gables, and relating to some extent to the overall character, form, and materials of the nearby historic residence.

Following the February meeting, the petitioner and architect have been in contact with staff by email, phone, and an in-person meeting. After responding to the comments and direction of the Board and revising the plans accordingly, the petitioner is requesting a recommendation in support of a new home and the associated hardscape and conceptual landscape plans.

### **Description of Property**

The properties that is the subject of this petition was created through the Westleigh Farm Subdivision which was approved in 2017. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The property in this petition is the easternmost of seven lots in the Westleigh Farm Subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north

and south of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw, with later additions and modifications. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes at the south end of the subdivision would be high quality, each a unique design, and inspired and defer in some way to the historic residence.

In May of 2024, homes for the properties addressed as 210, 230, and 270 Majestic Oak Court were approved by the Building Review Board. These homes were presented by the original developer of the subdivision, William Ryan Homes, and reflect a variety of architectural styles as described by the developer as Equestrian Farm Style, New England Colonial and French Provincial. With the developer, the Board worked to refine the designs of these homes to respond, at least in part, to the original intention at the time of subdivision for these lots. The three homes are currently under construction by William Ryan Homes.

The properties now under consideration were sold by the original developer to subsequent developers who are now presenting the plans to the Board for review and action.

#### **Staff Review of Standards and Board Comments – Evaluation and Recommendations**

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Below is a summary of the comments and direction offered by the Board, staff commentary on how the petitioner responded (**in bold**), and staff observations related to the applicable standards of review.

#### Feedback given for all the properties presented at the February 4<sup>th</sup> Meeting:

- Engage the architect actively in conversations with City staff and ensure that the architect attends the Board meetings.

**The architect was actively involved in the discussions and revisions to the plan following the February meeting, including direct contact with City staff through email, phone and an in-person meeting.**

- Provide variety in architectural styles, exterior materials, and color palettes among the homes.

**The home is similar to 290 Majestic Oak, recently approved by the**

Board, and 300 Majestic Oak, also proposed for approval by the Board. However, there is greater variation in design across the homes than previously presented at the February meeting.

Examples of the exterior materials and the color palette of the proposed home is included in the Board packet. The materials and colors now proposed demonstrate some distinction from 290 and 300 Majestic Oak.

- Demonstrate consistency with the selected architectural style on all components of each residence.  
**The architectural style is now consistent across all elevations.**
- Eliminate overlapping gables.  
**Overlapping gables remain on the side elevations.**
- Avoid flat and minimal roof pitches.  
**Roof pitches are not flat or minimal.**
- Provide a hierarchy of massing.  
**The hierarchy of massing has not changed from the previous submittal.**
- Provide human scale to elements of the residences.  
**Human scale elements, such as the front and rear porch, are present.**
- Revise and further detail the landscape plan. Ensure proposed plantings align with good forestry practices.  
**The landscape plan remains the same.**

Feedback given for specifically for 340 Majestic Oak Court

- Pay attention to detailing including but not limited to detailing and integrating the columns into the porch, refining the front entrance, and slimming down the rake.  
**The front entrance, including the front door and porch columns, was refined.**
- Consider sloping the roof above the front entry to just below the second floor windows and consider integrating it into a refined gable to the right of the front entrance.  
**The roof over the front entrance is now sloped.**
- Reconsider the placement of the front door on the elevation and with respect to the French doors.  
**No change was made with regard to the placement of the front door or the French doors.**

- Add vertical muntins to the windows.  
**Muntins were added across the elevations.**
- Center the window on the left (east) elevation on the gable above and add windows to the elevation.  
**Windows were added to the east elevation.**
- Ensure the functionality of the two perpendicular garage doors and the garage apron.  
**An autoturn study demonstrating functionality was not yet submitted.**

*Site Plan - This standard is mostly met.*

An auto-turn illustration is reflected on the architectural plans however, auto-turn studies prepared by a licensed engineer are required to verify that the garage aprons are adequately sized for functionality and convenience for vehicles commonly owned by families today.

**Staff Comment:** An auto-turn study prepared by a licensed engineer is required to demonstrate that the garage apron provides adequate space for today's vehicles to turn into and pull out of the garage without impacting landscaping.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,762 square feet is permitted with allowances of 600 square feet for a garage and 476 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,279 square feet.
- In addition to the above square footage, 311 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 1,083 square feet. The garage square footage over and above the allowed 600 square feet is added to the square footage of the residence.
- The total square footage of the residence and the excess garage square footage is 4,762 square feet.

The proposed residence is equal to the allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 33 feet. The maximum height allowed for a residence on this size lot is 35 feet.

**Staff Comment:** As-built drawings will be required during the construction process to assure that the maximum permitted building height of 35 feet and the allowable square footage is not exceeded and that the construction conforms to the approved plans. The height is measured from the lowest point of existing adjacent grade to the tallest peak of the roof.

*Elevations – This standard is met.*

In response to feedback provided by the Board, the petitioner made minor revisions to the design, responding to the direction and comments of the Board and more closely aligning with the Residential Design Guidelines. Revisions include refining the front door, porch roof and porch columns, adding muntins, and adding windows to the east elevation. Together, these demonstrate a responsiveness to the Board.

*Type, color, and texture of materials – This standard is met.*

The petitioner is proposing Sierra 8 horizontal Hardie Board and a 4" veneer Hallquist grey and buff chateau stone as the façade materials. DaVinci synthetic imitation slate roofing, black aluminum-clad windows with simulated divided lites, aluminum gutters and downspouts, and Hardie trim are proposed throughout. The description of materials lists the driveway as asphalt and brick pavers however the site plan details the driveway as poured concrete. Clarification is requested.

**Staff Recommendation:** Detail the trim as cedar.

**Staff Recommendation:** Clarify the driveway material.

*Landscaping – This standard is not yet met.*

The proposed landscape plans appear to meet the minimum criteria for new construction however, the plans do not appear consistent with good forestry practices or realistic given the closeness of plantings reflected on the plan.

A significant number of trees of varying species, size, and condition are proposed for removal, including several large, healthy oak trees. A final determination of the required tree replacement inches is pending. All replacement tree inches must be met on site, or through plantings in the common area located between Majestic Oak Court and Ridge road. Replanting of this area is critical to preserve the distinct wooded and rural character of Ridge Road.

The conceptual landscape plan shows screening along the driveway and at the garage apron. Dense plantings in this area, the east side of the property, will be

critical to maintain the wooded character of Ridge Road and minimize views of the garage and vehicles from the road.

Verification is required to demonstrate that plantings can be accommodated in this area without impeding over land drainage. The landscape plan shall demonstrate consistency with the drainage plan through reflecting grades, swales, and overland drainage flow routes.

The final landscape plans will be subject to staff review and approval by the City prior to the issuance of a permit.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, the City has not received any correspondence regarding the revised plans.

### **Recommendation**

Recommend approval of a new house with an attached garage at 340 Majestic Oak Court, hardscape and a landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit modify the plans as noted below and include the documentation specified:
  - a. Submit auto-turn studies prepared by a licensed engineer demonstrating that the hardscape is adequate to accommodate vehicles turning into and pulling out of the garage without impacts adjacent trees or vegetation.
  - b. Detail the trim as cedar.
  - c. Specify the driveway material.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A final tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. This plan will be used to determine the required tree replacement inches.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches to account for trees removed to the extent possible on the site or in the common area between Majestic Oak Court and Ridge Road. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

#### *Drainage and Grading*

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

#### *Exterior Lighting*

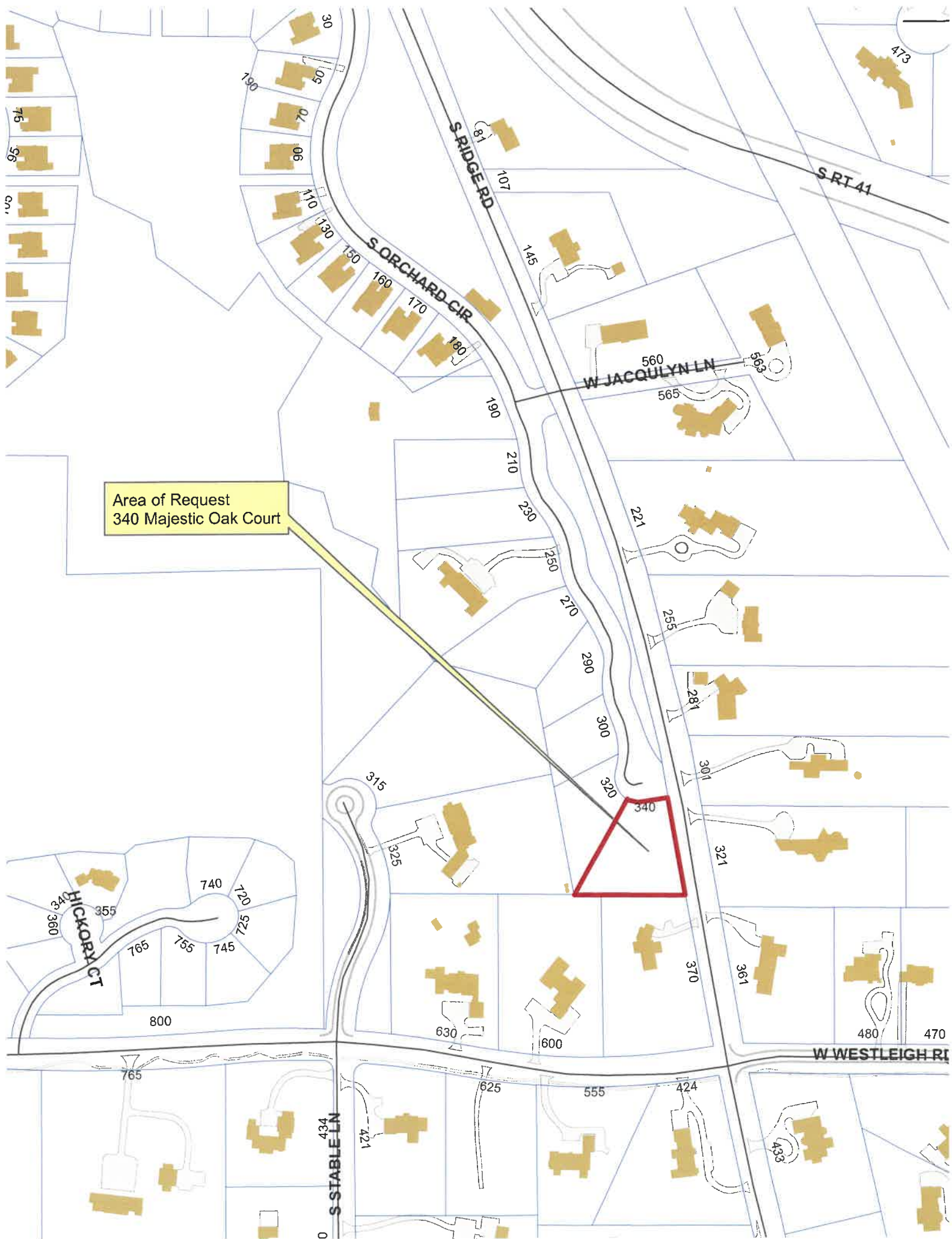
- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights. All exterior lighting shall respect the dark sky character of the neighborhood and Ridge Road.

#### *Construction Parking, Staging, and Tree Protection*

- g. A plan for contractor parking and equipment and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Construction access from Ridge Road must be

coordinated with the Westleigh Farm Homeowner Association and will be subject to City review and approval. No construction related parking or staging is permitted on Ridge Road.

4. Submit as-built drawings during the construction process to ensure that construction is proceeding per the approved plans and that the maximum permitted building height and the allowable square footage is in compliance with the Code and the approved plans.



Area of Request  
340 Majestic Oak Court

S RT 41

S RIDGE RD

S ORCHARD CIR

W JACQUELYN LN

HICKORY CT

S STABLE LN

W WESTLEIGH RD

473

75

56

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

52

30

190

70

96

110

130

150

160

170

180

190

210

230

250

270

290

300

320

340

315

325

335

345

355

365

375

385

395

405

415

425

435

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145

145

560

565

563

221

255

281

301

321

370

361

480

470

800

765

740

720

725

765

755

745

630

600

555

424

433

434

421

625

0



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 340 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

ELITE DEVELOPMENT GROUP  
*Owner of Property*

5839 W MONTROSE AVE  
*Owner's Street Address (may be different from project address)*

CHICAGO 60634  
*City, State and Zip Code*

773-727-8546  
*Phone Number*                      *Fax Number*

MARCIN.DYNAMICGROUP@gmail.com  
*Email Address*

B. Skrynecki  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

PAUL - PRESIDENT  
*Name and Title of Person Presenting Project*

SP GROUP PRO INC  
*Name of Firm*

1970 S. GOEBBERT RD  
*Street Address*

ARLINGTON HTS IL 60005  
*City, State and Zip Code*

847-323-9948  
*Phone Number*                      *Fax Number*

SPGROUPPRO@gmail.com  
*Email Address*

P. Skrynecki  
*Representative's Signature (Architect/ Builder)*

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

## 340 Majestic oak.

1. Driveway enlarged.
2. Entry door changed to solid with glass.
3. Flat roof at the porch changed to sloped metal roof.
4. Modern porch columns changed to traditional.
5. Vertical mullion added to all windows.
6. Gables ends changed.
7. Left side elevation windows enlarged at the 2<sup>nd</sup> floor and 1<sup>st</sup> floor window centered.
8. Metal roof vents removed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
(The use of natural materials is strongly encouraged)

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding                                  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                                     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                                 |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>HARDIE SIDING - SIERRA 8</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_

Color of Material HALQUIST STONE: GREY / BUFF OR A TEAU

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement  
 Sliding  
 Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other \_\_\_\_\_

Color of Finish BLACK

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Fascias, Soffits, Rakeboards**

- Wood  
 Other ALUMINIUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED**

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other DAVINCI ROOFSAPES SLATE  
GRAY COOL

**Flashing Material**

- Copper
- Sheet Metal
- Other ALUMINIUM

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

LOT AREA: 35,243 SQ.FT.  
 ALLOWABLE BULK BY CODE: 4,162 SQ.FT.  
 GARAGE BONUS: 600 SQ.FT.  
 TOTAL ALLOWABLE F.A.R.: 5,362 SQ.FT.  
 DESIGN ELEMENTS BONUS 10%: 952 SQ.FT.

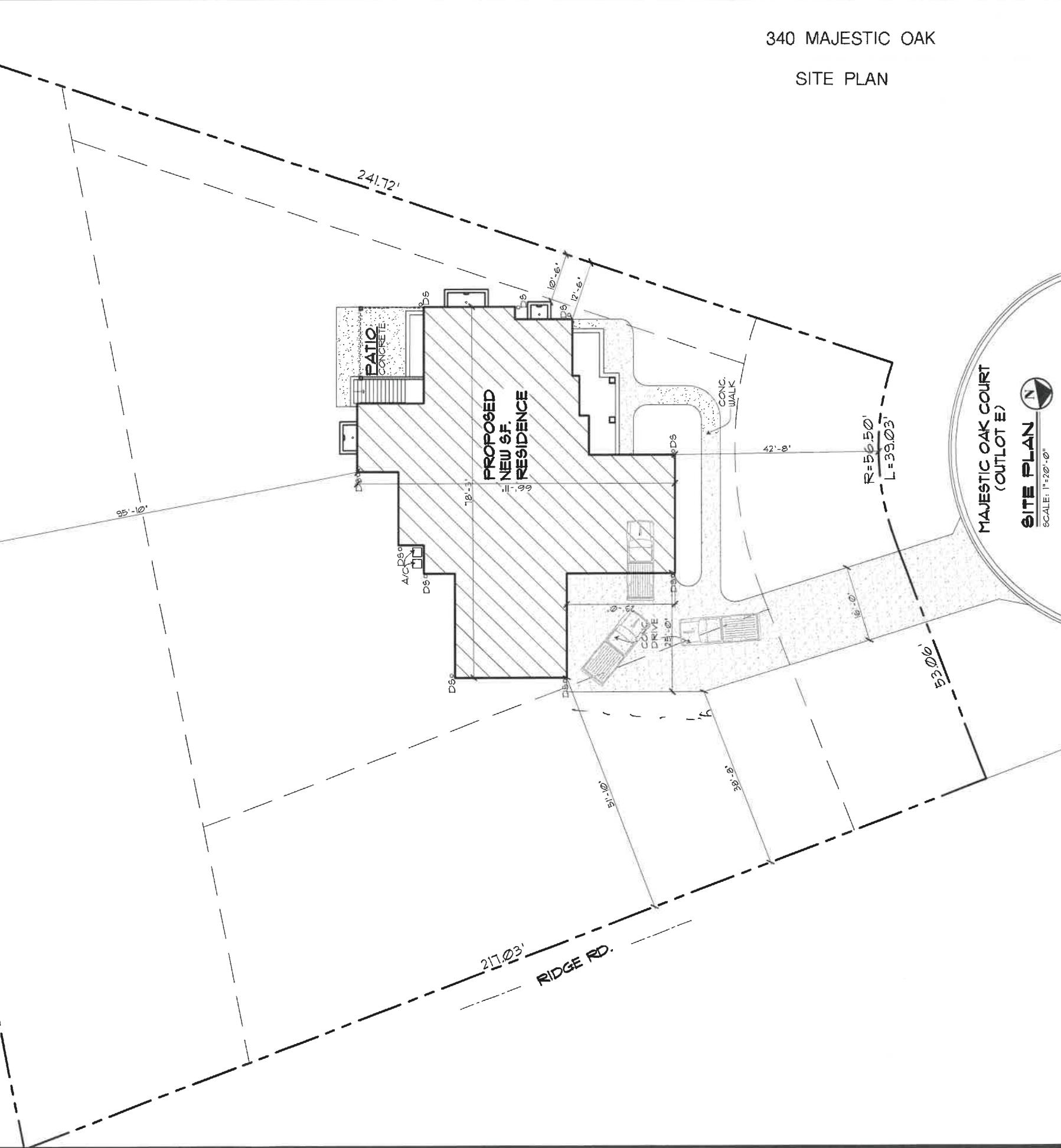
**SQUARE FOOTAGE OF PROPOSED RESIDENCE**  
 1ST FLOOR 2,019 2ND FLOOR 2,042 3RD FLOOR 218 = 4,279 SQ. FT.  
 DESIGN ELEMENTS ALLOWANCE = 952 SQ. FT.  
 TOTAL ACTUAL DESIGN ELEMENTS = 311 SQ. FT. EXCESS = 0 SQ. FT.  
 GARAGE = 214 SQ. FT. ACTUAL 600 ALLOWANCE EXCESS = 483 SQ. FT.  
 BASEMENT AREA = 0 SQ. FT.  
 ACCESSORY BUILDINGS = 0 SQ. FT.  
 TOTAL SQUARE FOOTAGE OF RESIDENCE = 4,162 SQ. FT.  
 TOTAL SQUARE FOOTAGE = 4,162 SQ. FT.  
 TOTAL SQUARE FOOTAGE ALLOWED = 4,162 SQ. FT.  
 DIFFERENTIAL = 0 SQ. FT.  
 UNDER MAXIMUM

NET RESULTS:  
 0 SQ. FT. IS  
 0% UNDER  
 MAX. ALLOWED

ALLOWABLE HEIGHT 35 FT. ACTUAL HEIGHT 33'-1" FT.

**DESIGN ELEMENTS EXEMPTIONS**  
 DESIGN ELEMENTS ALLOWANCE 952 SQ. FT.  
 OPEN PORCHES = 0 SQ. FT.  
 SCREEN PORCHES = 0 SQ. FT.  
 COVERED ENTRIES = 101 SQ. FT.  
 PORTICO = 0 SQ. FT.  
 PORTE-COCHERE = 0 SQ. FT.  
 BREEZEWAY = 0 SQ. FT.  
 PERGOLAS = 204 SQ. FT.  
 DORMERS = 0 SQ. FT.  
 BAY WINDOWS = 0 SQ. FT.  
 TOTAL ACTUAL DESIGN ELEMENTS = 311 SQ. FT. EXCESS DESIGN ELEMENTS = 0 SQ. FT.

216.95'

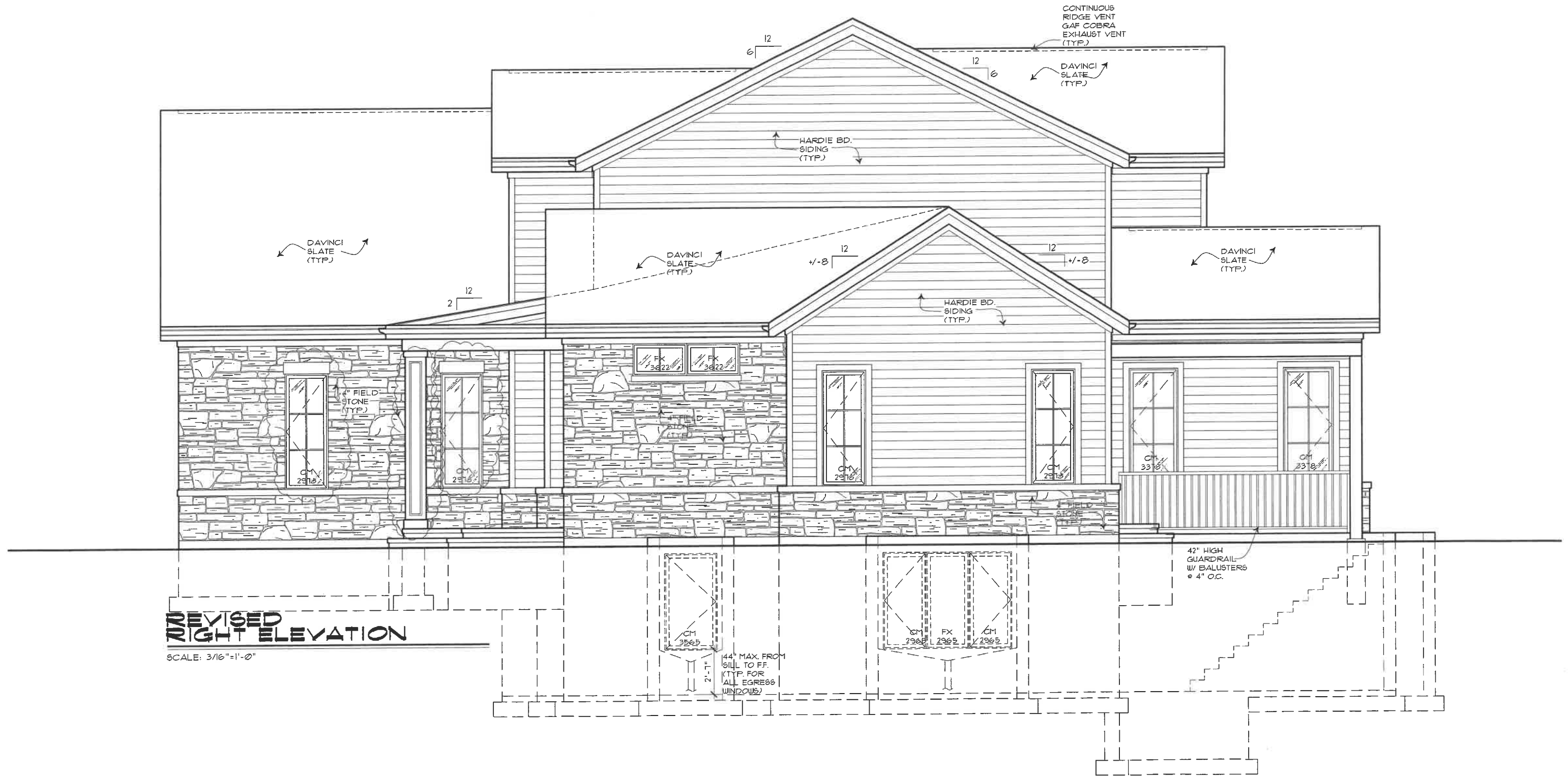


PROPOSED NEW S.F. RESIDENCE  
 340 MAJESTIC OAK CT.  
 LAKE FOREST  
 ILLINOIS

DATE: 16 SEPT. 25

**ARCHIMAX, INC.**  
 PROFESSIONAL DESIGN FIRM - NO. 184,007,363-0001  
 3315 W. ALGONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60008  
 Phone: 847/877/4414  
 Archimaxinc@gmail.com





**REVISED  
RIGHT ELEVATION**

SCALE: 3/16"=1'-0"

44" MAX. FROM  
SILL TO F.F.  
(TYP. FOR  
ALL EGRESS  
WINDOWS)

42" HIGH  
GUARDRAIL  
W/ BALUSTERS  
@ 4" O.C.

DAVINCI  
SLATE  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

HARDIE BD.  
SIDING  
(TYP.)

CONTINUOUS  
RIDGE VENT  
GAF COBRA  
EXHAUST VENT  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

4" FIELD  
STONE  
(TYP.)

FX  
3622

FX  
3622

CM  
2918

CM  
2918

CM  
3318

CM  
3318

CM  
3565

CM  
2965

FX  
2965

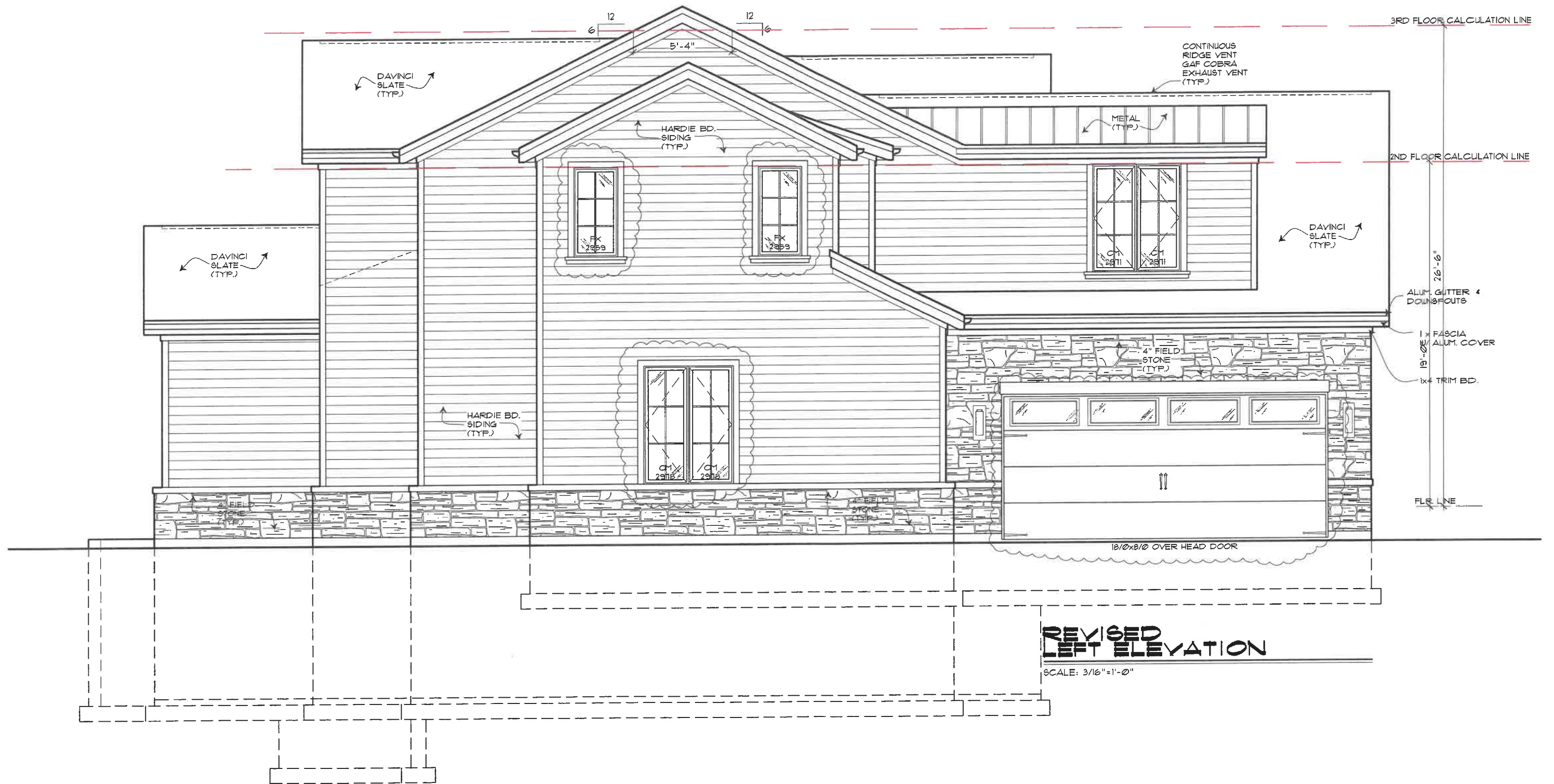
CM  
2965



CLG. LINE  
 9'-1" WINDOW HEAD  
 FLR. LINE  
 CLG. LINE  
 10'-1" WINDOW HEAD  
 FLR. LINE

**UNVISITED ELEVATION**  
 SCALE: 3/16"=1'-0"

NOTE:  
 ALL BOTTOMS OF FOOTINGS  
 TO BE MINIMUM 42" BELOW  
 GRADE.



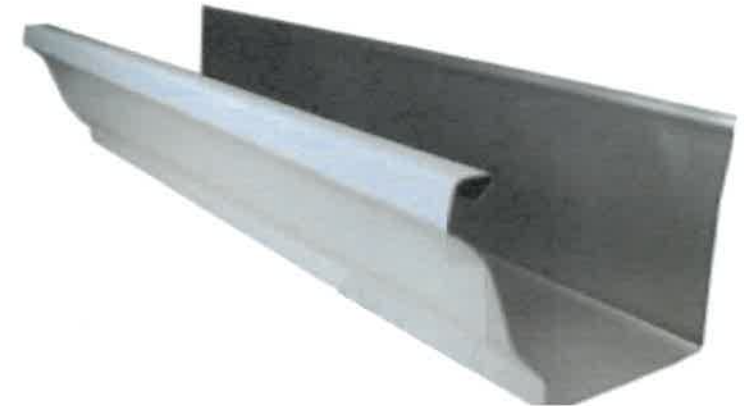
## 340 Majestic Oak Court: *Material Details*



**HARDIE BOARD SIDING AND TRIM: SIERRA 8**



**DAVINCI ROOFSCAPES SLATE: GRAY COOL**



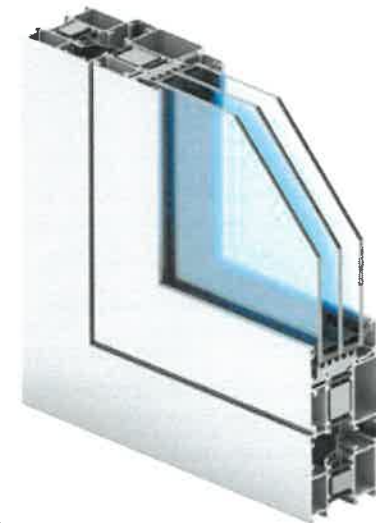
**GUTTER SUPPLY: GRAY**



**HALQUIST STONE: GREY/BUFF CHATEAU**



**WINDOW ALIPLAST: BLACK**



No.	Revision/Issue	Date
1		
2		
3		
4		

**340 MAJESTIC OAK  
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000829

Project: **20250822.2**  
 Date: **12-9-25\_1**

Scale: \_\_\_\_\_  
 Sheet

**L-1.0**

**LANDSCAPE PLAN**

**LANDSCAPE ORDINANCE**

**STREET FOUNDATION LINEAL FOOTAGE - 80' 2 X 3' SHRUBS PER 10 LF - 16 SHRUBS**

**SIDE STREET FOUNDATION LINEAL FOOTAGE - 25' 2 X 3' SHRUBS PER 10 LF - 5 SHRUBS**

**REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF - 80' = 2 TREES. PLAN HAS 2 TREES**

**REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES**

OR

**REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE**

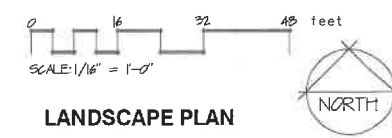
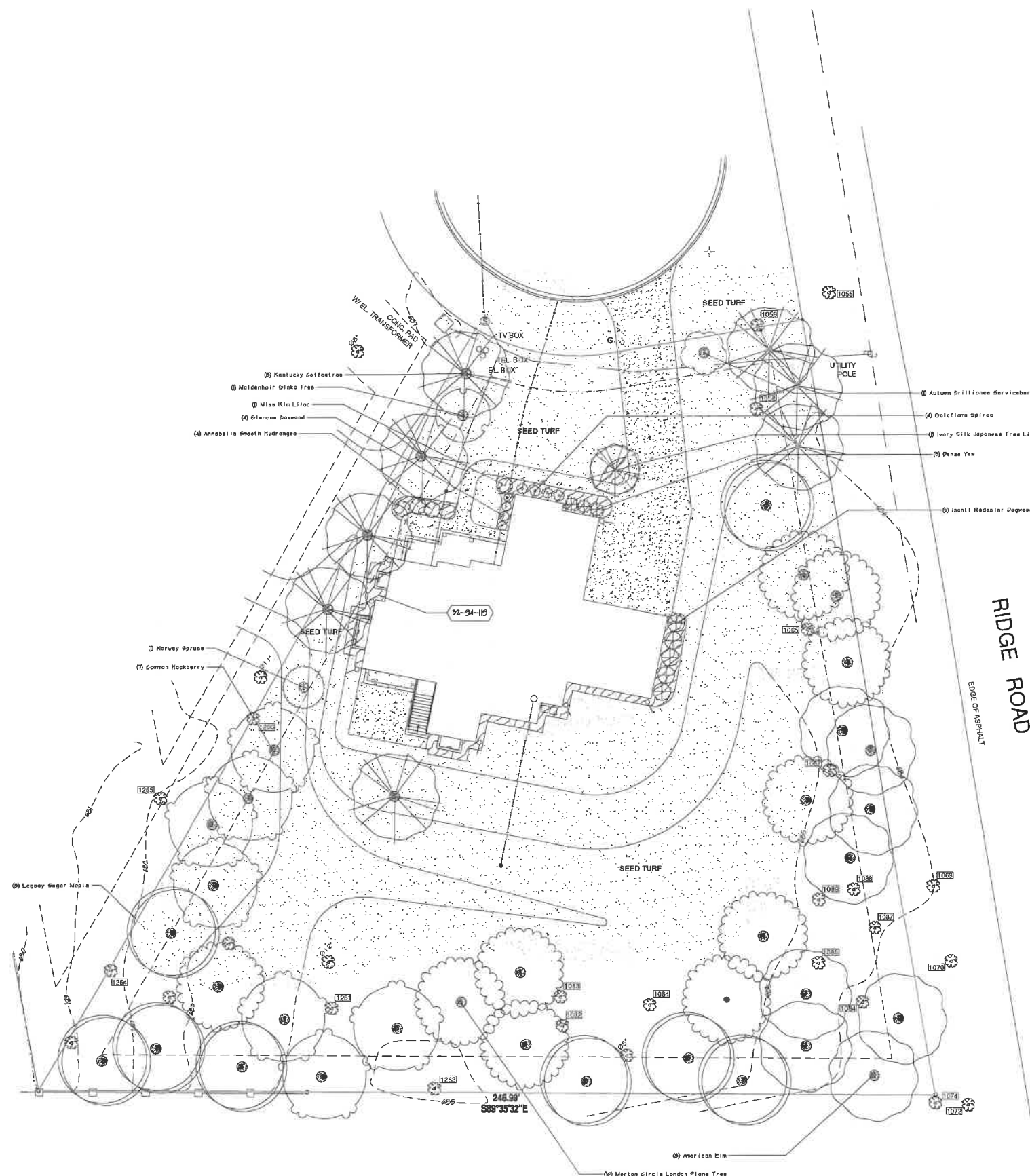
**TREE REPLACEMENT COUNT:  
 133 CALIPER INCHES = 44 TREE REPLACEMENTS BASED ON 3" CALIPER TREES.  
 ROTTEN, DEAD, INVASIVE AND NUISANCE TREES ARE NOT COUNTED IN REPLACEMENTS.**

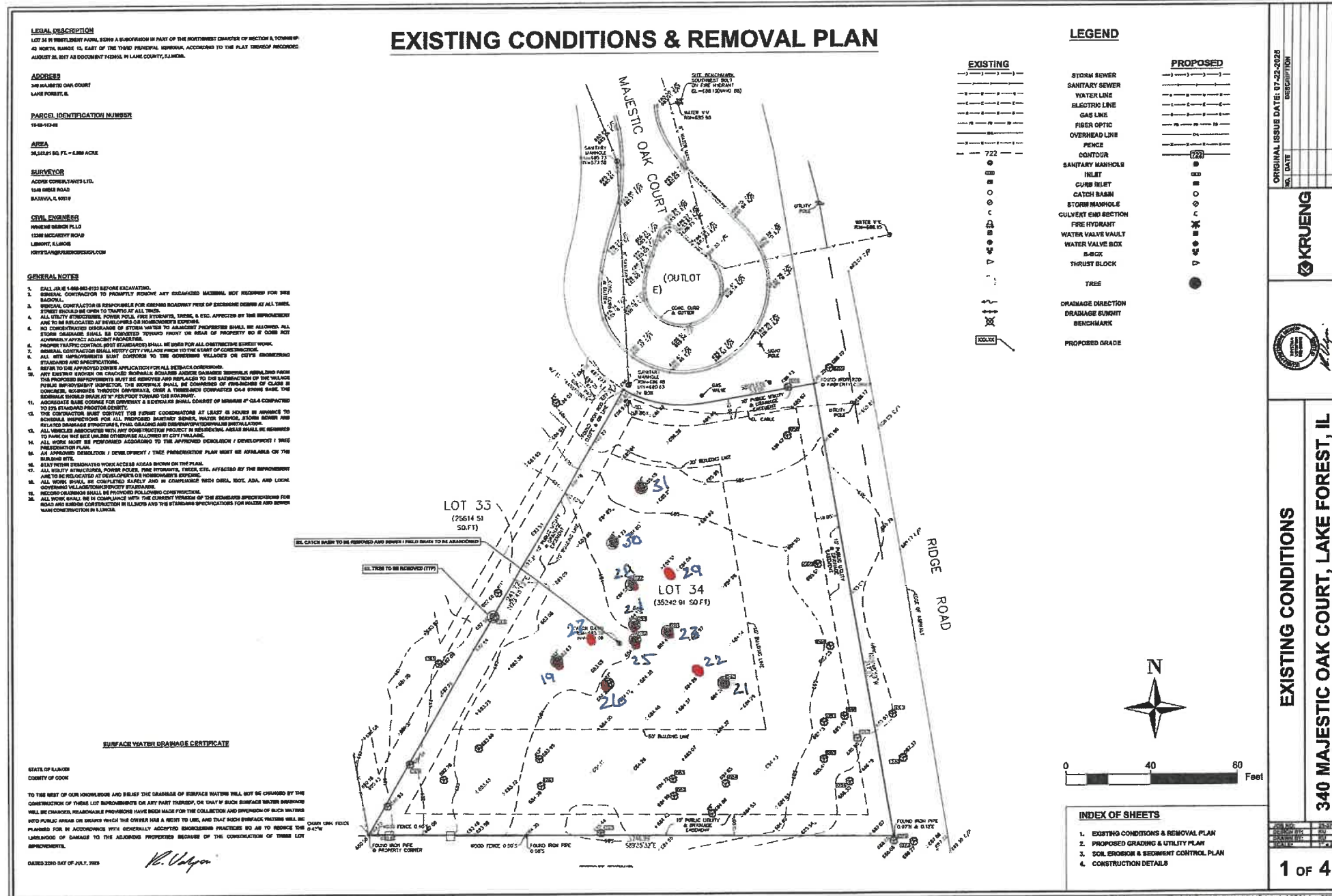
**REFERENCE NOTES SCHEDULE**

SYMBOL	CODE	DESCRIPTION	QTY
	92-93-10	REMOVES FRESHMAN 40 TURF-SEED AND IN SHORT TERM EXPOSURE PLANT. INITIAL PER MANUFACTURER'S SUPPLIES USE ONLY 4" DEEP/SHOULDER STAPLES. STAPLES MUST BE FULLY SECURED IN THE SOIL. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	1370 #1
	92-94-10	SHRUBBED DARK MULCH 5-4" DEPTH	750 #1
	92-94-10a	5" DIAMETER MULCH TREE RING	40
	92-95-01	EDGE GRAVEL 6/8" DEP EDGE 4" DEPTH-SEE DETAIL	15 #1

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>				
	Acer saccharum 'Legacy' / Legacy Sugar Maple	5" Cal.	560	8
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry # HL	5" HL	560	1
	Gallia occidentalis / Common Highberry	5" Cal.	560	7
	Betula picea 'Autumn Gold' TM / Maidenhair Birch Tree	5" Cal.	560	1
	Symlocos glauca 'Espresso' / Kentucky Coffeetree	5" Cal.	560	8
	Platanus x acerifolia 'Morton Circle' / Morton Circle London Plane Tree	5" Cal.	560	10
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	4" HL	560	1
	Ulmus x 'Frontier' / American Elm	5" Cal.	560	8
	<b>SUBTOTAL:</b>			<b>44</b>
<b>EVERGREEN TREES</b>				
	Picea abies / Norway Spruce	4" HL	560	1
	<b>SUBTOTAL:</b>			<b>1</b>
<b>SHRUBS</b>				
	Cornus sericea 'Isanti' / Isanti Redosier Dogwood	5"		6
	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	5" HL		4
	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5" gal		4
	Syringa patula 'Miss Kim' / Miss Kim Lilac	5" HL		1
	<b>SUBTOTAL:</b>			<b>15</b>
<b>SHRUB EVERGREENS</b>				
	Ducus x 'Chicagoland Green' TM / Glencoe Boxwood	24"		4
	Taxus x media 'Densiformis' / Dense Yew	24"		5
	<b>SUBTOTAL:</b>			<b>9</b>
	Existing Trees			







# MONTOYA TREE SERVICE

375 N. WOLF RD WHEELING, IL 60090  
847-724-6140

Tree Inventory submitted to:  
Elite Development Group LLC

Job location:  
340 Majestic Oaks Court  
Lake Forest, IL (LOT 34)

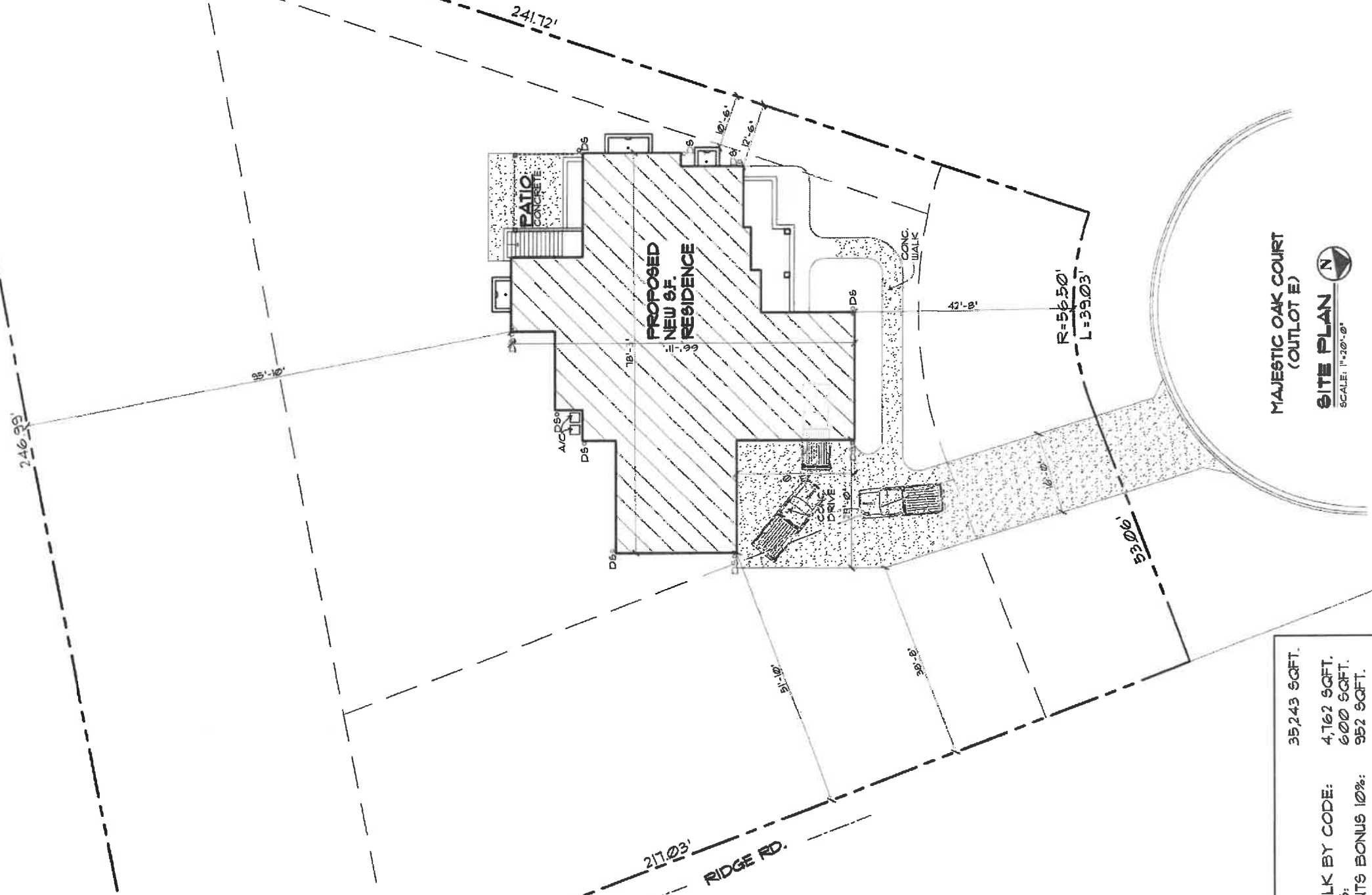
TAG #	SPECIES	DBH	CONDITION	COMMENTS/RECOMMENDATIONS
1	Hickory	13	2	Prune
2	Oak	19	6	Remove
3	Oak	35	6	Remove
4	Oak	27	6	Remove
5	Oak	60	5	Remove, trunk rot
6	Oak	40	2	Prune
7	Oak	23	2	Prune
8	Oak	18	3	Prune
9	Oak	22	6	Remove, dead
10	Oak	29	2	Prune
11	Oak	24	2	Prune
12	Oak	35	2	Prune
13	Oak	24	3	Prune
14	Oak	30	1	Prune
15	Oak	40	2	Prune
16	Black Locust	17	4	Remove, trunk rot
17	Black Locust	12	5	Remove, cracked
18	Black Locust	19	3	Prune
19	Hickory	23	4	Trunk split, rot
20	Oak	38	2	Prune
21	Boxelder	21	3	Remove, invasive
22	Ash	7	1	Remove, per plan
23	Black Locust	17	5	Leaning, remove per plan
24	Boxelder	10	5	Remove, per plan
25	Boxelder	13	5	Remove, per plan
26	Oak	28	3	Remove, per plan
27	Oak	24	6	Remove, per plan
28	Black Locust	23	2	Remove, per plan
29	Boxelder	19	4	Remove, per plan
30	Boxelder	36	4	Remove, per plan
31	Black Locust	15	2	Remove, per plan

133 inches to be replaced

Assessed and completed by Desta Mehrer IL-1388A

**Materials from the February 4<sup>th</sup> Building Review Board Meeting**

340 MAJESTIC OAK  
 SITE PLAN  
 FEBRUARY 4, 2026



LOT AREA:	35,243 SQFT.
ALLOWABLE BULK BY CODE:	4,162 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	952 SQFT.
NET AREA:	1,815 SQFT.
1ST FLOOR:	1,910 SQFT.
2ND FLOOR:	3,125 SQFT.
TOTAL NET LIVING AREA:	
GROSS AREA:	2,019 SQFT.
1ST FLOOR:	2,042 SQFT.
2ND FLOOR:	218 SQFT.
ATTIC:	4,279 SQFT.
TOTAL GROSS BUILDING AREA:	1,083 SQFT.
4 CAR GARAGE:	107 SQFT.
PORCH:	204 SQFT.
PERGOLA:	311 SQFT.
DESIGN ELEMENTS BONUS:	

MAJESTIC OAK COURT  
 (OUTLOT E)  
**SITE PLAN**  
 SCALE: 1/4"=20'-0"

**PROPOSED NEW S.F. RESIDENCE**  
**340 MAJESTIC OAK CT.**  
 LAKE FOREST  
 ILLINOIS

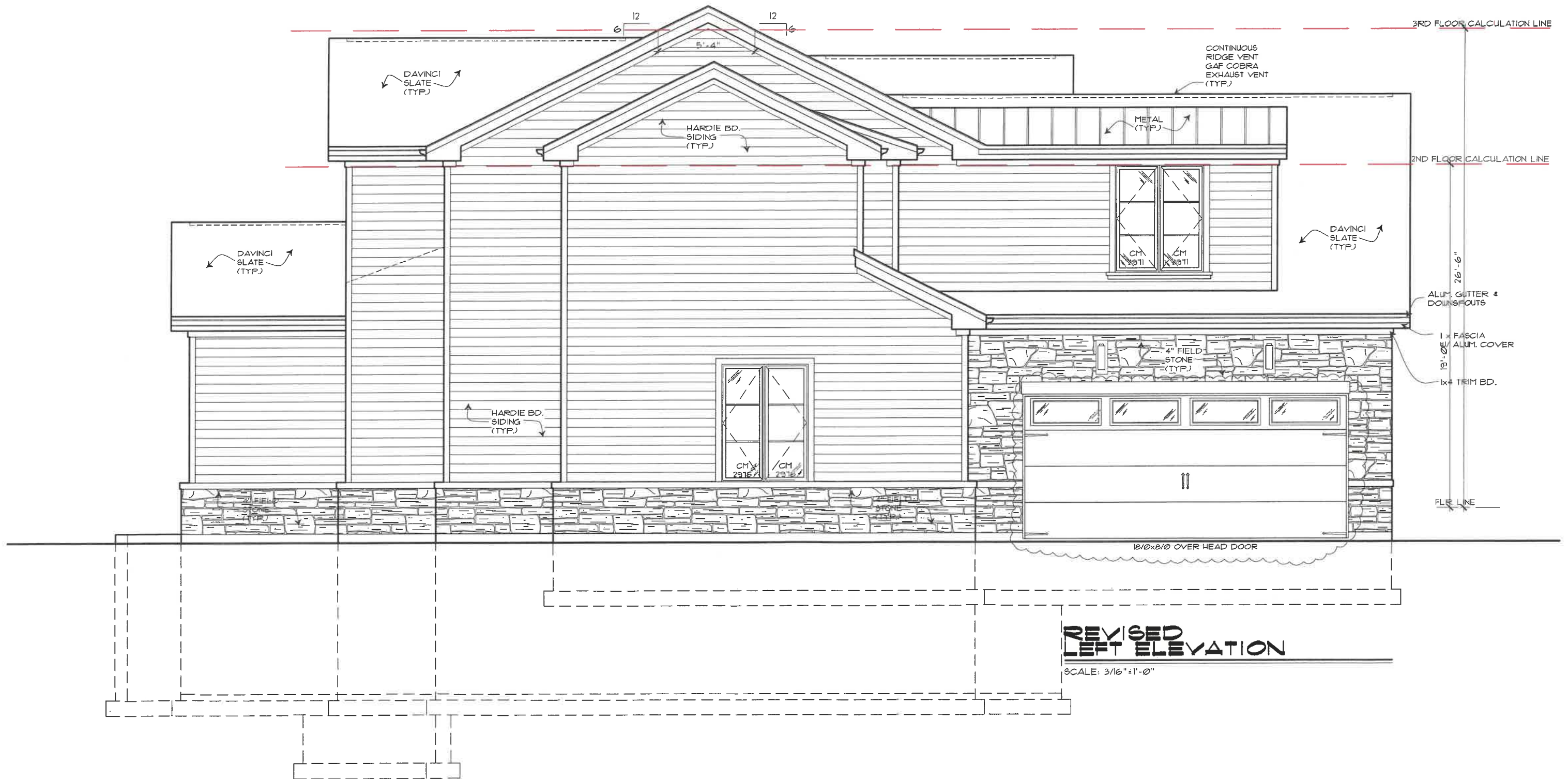
DATE: 16 SEPT. 25

**ARCHIMAX, INC.**  
 PROFESSIONAL DESIGN FIRM: NO. 184,007,343-0001  
 3315 W. ALGONQUIN RD., STE. 140, SKILLMAN, IL 60073  
 Phone: 817.877.4114  
 Archimaxinc@gmail.com



EAST ELEVATION

FEBRUARY 4, 2026



SOUTH ELEVATION

FEBRUARY 4, 2026





**Agenda Item 5**  
**1925 Field Court**  
**Signage**

Staff Report  
Vicinity Map

Materials Submitted by Petitioner  
Application

Multi-Tenant Sign at Field Court  
Primary Building Identification Monument Sign  
Public Entrance Identification Sign  
Directional Signs – On Site  
Direction Signs – Color and Material Details

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## **1925 Field Court – City of Lake Forest Police Headquarters - Signage**

### **Consideration of a request for approval of signage for the new City of Lake Forest Police Department.**

**Property Owner: City of Lake Forest**

**Representative: Nathan Melotte, Cordogan Clark**

Staff Contact: Catherine Czerniak, Director of Community Development

#### **Summary of Request**

Review and approval of an overall signage package is requested as the City of Lake Forest Police Department prepares to relocate from the Public Service Building on Deerpath, to the office building recently purchased by the City in Conway Park. Approval of three types of signs is requested.

1. Monument identification signage.
2. Building entrance signage.
3. Directional signage.

The Police Department is scheduled to occupy the 1925 Field Court building in early fall, 2026. Construction to allow adaptive reuse of the building by the Police Department is well underway. The Building Review Board previously reviewed and recommended approval of an addition at the rear of the building to accommodate a sally port, a secure area for transferring people in custody from vehicles into the building.

#### **Overview**

Conway Park is a first class corporate office park located at the western edge of Lake Forest, adjacent to the Illinois Tollway. Since Conway Park was established, careful attention has been paid consistently to architecture, landscaping, lighting, and signage to ensure that the park retains a high quality office park with a distinct character in an effort to retain and attract premier businesses.

The weak market for office buildings in recent years provided the opportunity for the City to purchase the 1925 Field Court building to address the long understood need for expanded and modernized space for the Police Department. The Police Department brings with it a greater need for security than is normally needed for corporate office buildings, and a need for clear on site directional signage to distinguish secure areas from publicly accessible areas of the building and site.

The building is unique in that it is accessed from a shared driveway off Field Court. The driveway serves three buildings, 1905, 1925, and 1955 Field Court. The Police

Department building is located furthest from the public street, behind the 1905 Field Court building.

Three types of signage are proposed as described below.

### **Monument Identification Signage**

The existing shared monument sign on the east side of the shared driveway entrance from Field Court will remain and will be reused. This monument sign previously identified the 1905 and 1925 buildings with the 1905 building having “top billing” on the sign since it is approached first. The sign will utilize the letter size, color, and material as previously approved by the Conway Park Owners’ Association. The multi-tenant sign is unusual in the park and was specifically approved for this location with a requirement for consistent lettering for the occupants of both buildings.

An image of the sign is included in the Board’s packet and the monument itself, without any lettering, currently remains in place. The Lake County Regional Office of Education is the new occupant of the former Lake Forest Graduate School at 1905 Field Court and will be identified in the top space on the site. Again, consistent lettering in size, material, and color will be used on the entire sign.

In addition to identifying the Lake Forest Police Department and the address, a black outline of the Lake Forest Police badge graphic is proposed.

No lighting is proposed beyond the existing streetlights and headlights of vehicles.

A second monument sign is proposed at the end of the driveway, on the east side, at the entrance to the site. The precise location of the sign will be determined in the field and in consultation with the neighboring property owner. This monument sign is intended to clearly identify the building as the Lake Forest Police Department upon arrival. The monument will be a custom metal box similar to other monument signs in Conway Park. The sign extends four and a half feet above grade and is ten feet in length. Dimensional acrylic, blue faced letters are proposed of varying sizes as detailed on the plans included in the Board’s packet. The information on the sign is limited to the name of the department, the address, and a graphic of the Police badge. The sign is internally illuminated, and the letters will glow from the sides, not from the front to ensure visibility, without appearing as a neon type sign.

### **Building Entrance Sign**

As noted above, members of the public will visit the building on occasion. Given the secure nature of the site, it is important to clearly identify the public entrance. A sign is proposed under the existing canopy above the public entrance. The sign will not be visible from the street or from off the site but will be visible from the adjacent public parking spaces and to people approaching the building. The sign will be constructed of a metal panel similar to the material of the canopy. A grey background with

dimensional blue letters is proposed. The blue will be consistent with the blue on the directional signs. The sign will be illuminated by existing lighting. If determined to be necessary for visibility, concealed, low level lights will be added under the canopy. This sign will not be internally illuminated.

### **Directional Signage**

Multiple directional signs are proposed on the site as detailed in the Board's packet. Due to the unique use, there is a greater number of directional signs on site than normally proposed on a typical corporate office building site. The directional signs identify secure areas of the site and areas where public access is permitted.

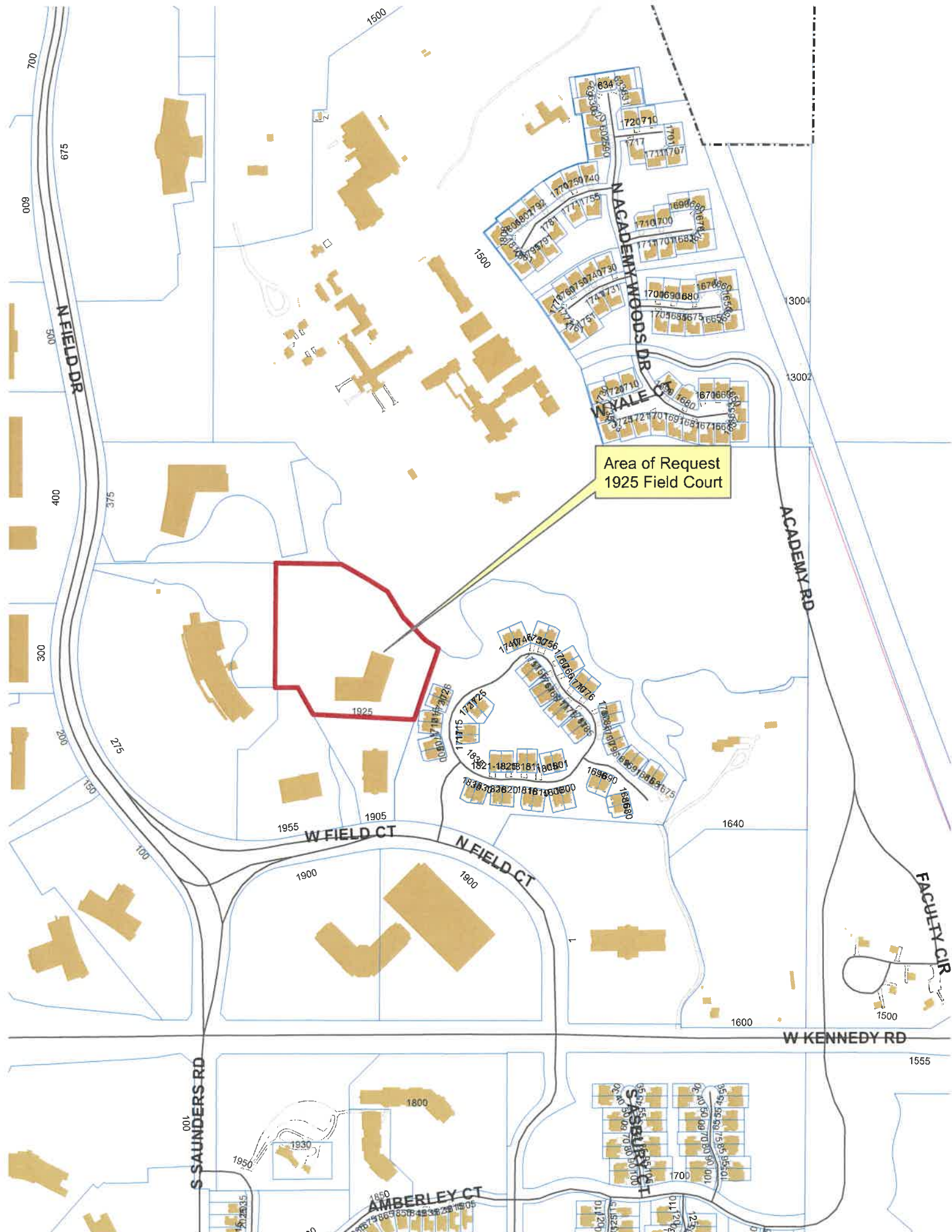
An existing directional sign in the median at the point where the shared driveway splits off to each of the three properties will be replaced. This sign is critical to minimize confusion and clarify that the Police Department is straight ahead.

All of the on site directional signs are proposed as metal panel signs supported by two short posts in the ground. The signs are five feet tall and vary in width from three to four feet depending on the amount of text required. The signs, as noted above, identify secure areas of the site, public parking, and provide specific directions relating to the sally port and release area toward the rear of the site. White reflective lettering is applied to the blue panels. The exact shade of blue will be consistent with the color used on the established Police Department graphic.

### **Staff Recommendation**

Recommend approval of the overall signage plan for the City of Lake Forest Police Department building at 1925 Field Court subject to the following conditions.

1. All lighting, once installed, shall be subject to review by staff to verify no off site impacts on the residential development to the east.
2. The City shall coordinate with the owner of the 1905 Field Court owner on the shared use of the existing multi-tenant monument sign at Field Court and the placement of the monument sign at the entry to the site.
3. A landscape plan shall be submitted for the monument sign at the entry to the site.
4. The final signage plan shall be subject to review and approval by the Conway Park Owners' Association prior to the issuance of a permit authorizing installation of the signage by the City.



Area of Request  
1925 Field Court

N FIELD DR

N ACADEMY WOODS DR

ACADEMY RD

FACULTY CIR

W KENNEDY RD

S SAUNDERS RD

AMBERLEY CT

S SAUNDERS CT

W FIELD CT

N FIELD CT

009

675

500

400

300

200

275

150

100

1955

1905

1900

1900

1640

1600

1555

1800

1950

1850

750

700

200

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**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 1925 FIELD COURT

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input checked="" type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input checked="" type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

CITY OF LAKE FOREST  
*Owner of Property*

220 E. DEERPATH  
*Owner's Street Address (may be different from project address)*

LAKE FOREST, IL 60045  
*City, State and Zip Code*

\_\_\_\_\_  
*Phone Number*

\_\_\_\_\_  
*Fax Number*

\_\_\_\_\_  
*Email Address*

*Jim Lockeffer*  
*Owner's Signature*

JIM LOCKEFEEER, ASST DIR. PUBLIC WORKS

**ARCHITECT/BUILDER INFORMATION**

NATHAN MELLOTTE, MANAGING DIRECTOR  
*Name and Title of Person Presenting Project*

CORDOGAN CLARK  
*Name of Firm*

716 N. WELLS  
*Street Address*

CHICAGO, IL 60654  
*City, State and Zip Code*

\_\_\_\_\_  
*Phone Number*

\_\_\_\_\_  
*Fax Number*

\_\_\_\_\_  
*Email Address*

\_\_\_\_\_  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

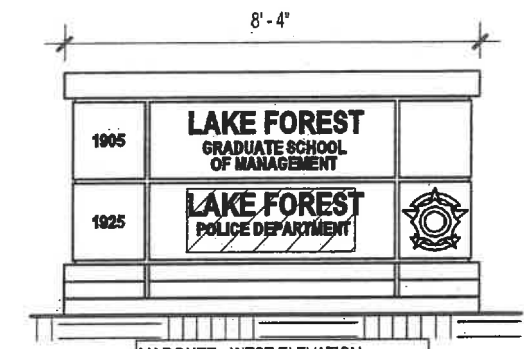


- B1
- F
- A1
- E
- D
- NEW ENTRY CANOPY SIGNAGE, REFER TO SHEET S.2
- C
- A
- NEW ENTRY MONUMENT SIGN, SEE 1/S.3
- EXISTING PANEL SIGN TO BE REPLACED, SEE SHEET 2/S.3

B



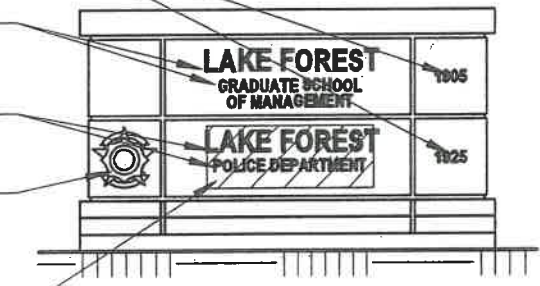
EXISTING MARQUEE - EAST ELEVATION



MARQUEE - WEST ELEVATION

NOTE: WORK SIM TO EAST ELEVATION

- EXISTING DIMENSIONAL SIGNAGE TO REMAIN
- EXISTING DIMENSIONAL SIGNAGE TO REMAIN
- PROVIDE SIGNAGE TO MATCH EXISTING DIMENSIONAL SIGNAGE
- LFPD BADGE LOGO GRAPHIC, BLACK OUTLINE
- CLEAN AND PATCH EXISTING CAST STONE SURFACE PRIOR TO INSTALLING NEW SIGNAGE



MARQUEE - EAST ELEVATION

**B** MARQUEE SIGN  
1/4" = 1'-0"

S.1



LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

1925 W Field Court, Lake Forest, Illinois, 60045

02.27.2026





GENERAL AREA OF NEW MONUMENT SIGN, 10' X 1'-6"

NOTE: INTENT IS FOR MONUMENT SIGN TO BE CLEAR OF TREE TRUNK, COORDINATE WITH ARCHITECT AS NEEDED

EXTRUDED DIMENSIONAL ACRYLIC LETTERS WITH NAVY BLUE FACE. INTENT IS TO HAVE THE LETTERS GLOW FROM THE SIDES WHEN ILLUMINATED AT NIGHT. BOTH SIDES, TYP.

EXTRUDED WHITE DIMENSIONAL ACRYLIC BADGE SYMBOL WITH NAVY BLUE FACE. INTENT IS TO HAVE THE SYMBOL GLOW FROM THE SIDES WHEN ILLUMINATED AT NIGHT. BOTH SIDES, TYP.

CUSTOM ILLUMINATED METAL BOX SIGN, TYP.

EXISTING PANEL SIGN TO BE MODIFIED, REFER TO DETAILS



1 MONUMENT SIGN ELEVATION  
1/2" = 1'-0"

LFPD BADGE LOGO GRAPHIC, MULTI-COLORED

METAL PANEL SIGN ASSEMBLY, WHITE POWDER COAT FINISH, TYP.

NAVY BLUE TEXT, TYP.

CONCRETE PIER ON 6" COMPACTED FILL, TYP.

PROVIDE CONDUIT AND CIRCUIT TO JUNCTION BOX IN CUSTOM ILLUMINATED BOX SIGN



2 PANEL SIGN AT EXISTING MEDIAN  
1/2" = 1'-0"

SIGNAGE AT SITE ENTRY

S.3



LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

1925 W Field Court, Lake Forest, Illinois, 60045

02.27.2026





EXISTING CONDITIONS AT ENTRY CANOPY



BLUE LETTERS

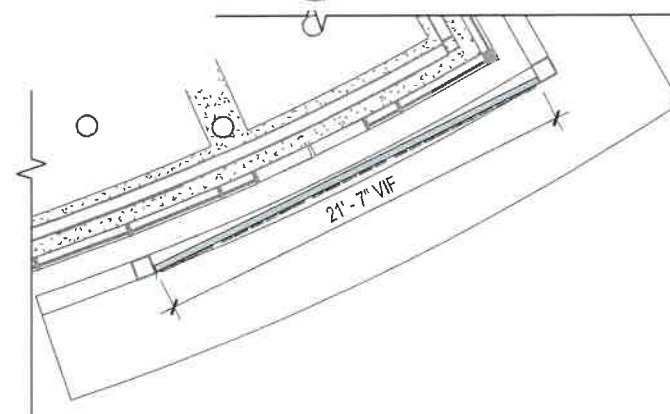
GREY BACKGROUND

NOTE: VERIFY LETTER DIMENSIONS AND LAYOUT PRIOR TO FABRICATION

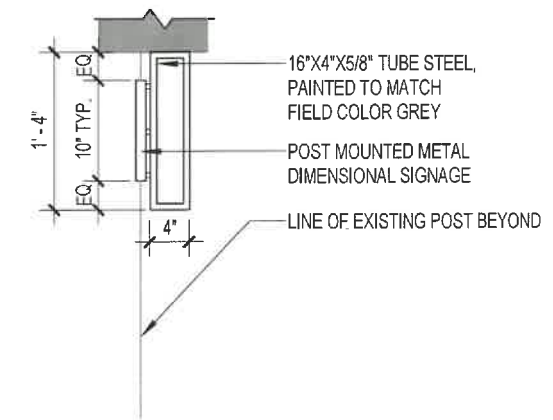
# 1 CANOPY SIGN



1 CANOPY SIGN  
1/8" = 1'-0"



2 REFLECTED CEILING AT CANOPY  
1/8" = 1'-0"



3 SECTION AT CANOPY  
3/4" = 1'-0"

## CANOPY SIGNAGE

S.2



## LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

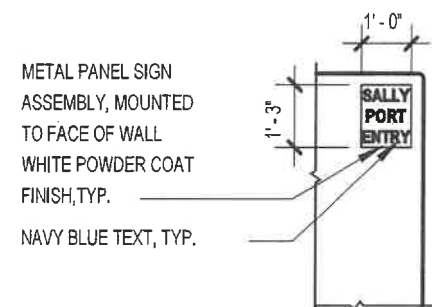
1925 W Field Court, Lake Forest, Illinois, 60045

02.27.2026

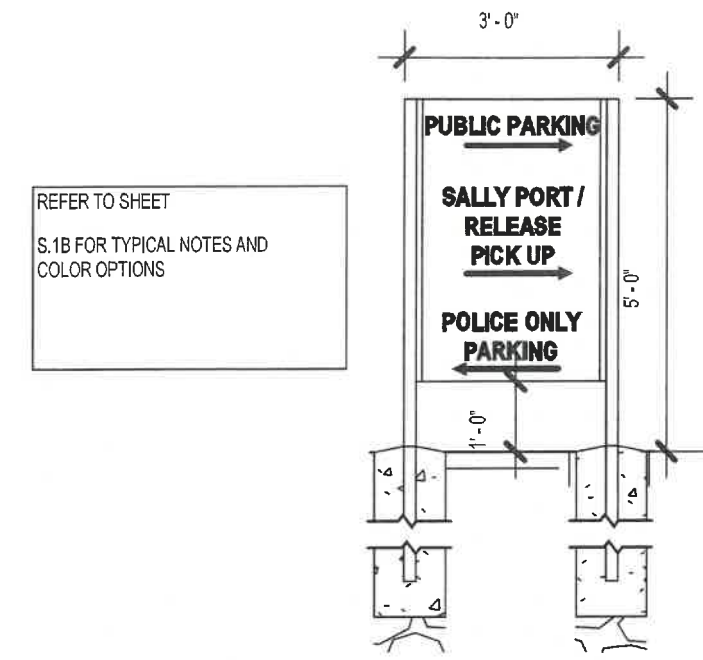




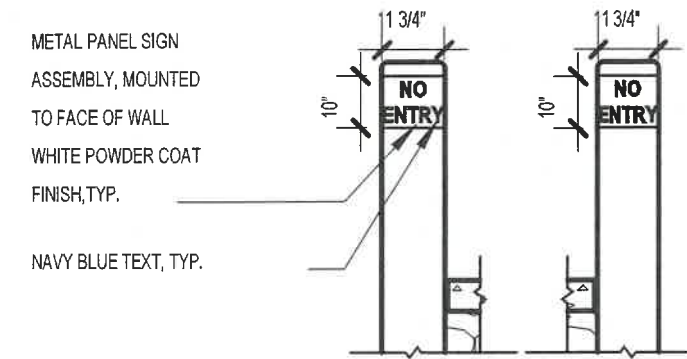
- B1
  - F
  - A1
  - E
  - D
  - C
  - A
  - B
- NEW ENTRY CANOPY SIGNAGE, REFER TO SHEET S.2
- NEW ENTRY MONUMENT SIGN, SEE 1/S.3
- EXISTING PANEL SIGN TO BE REPLACED, SEE SHEET 2/S.3



**B1** WALL MOUNTED SIGN B1  
1/4" = 1'-0"



**A** EXTERIOR PANEL SIGN\_A  
1/4" = 1'-0"



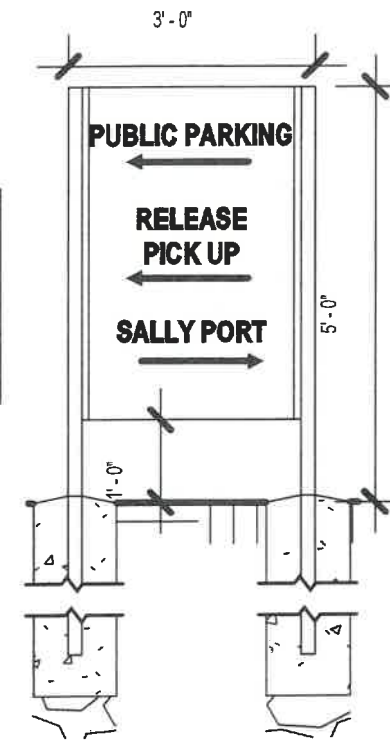
**A1** WALL MOUNTED SIGN\_A1  
1/4" = 1'-0"

S.1





REFER TO SHEET  
S.1B FOR TYPICAL NOTES AND COLOR  
OPTIONS



C EXTERIOR PANEL SIGN\_C

1/4" = 1'-0"

SITE SIGNAGE

S.1

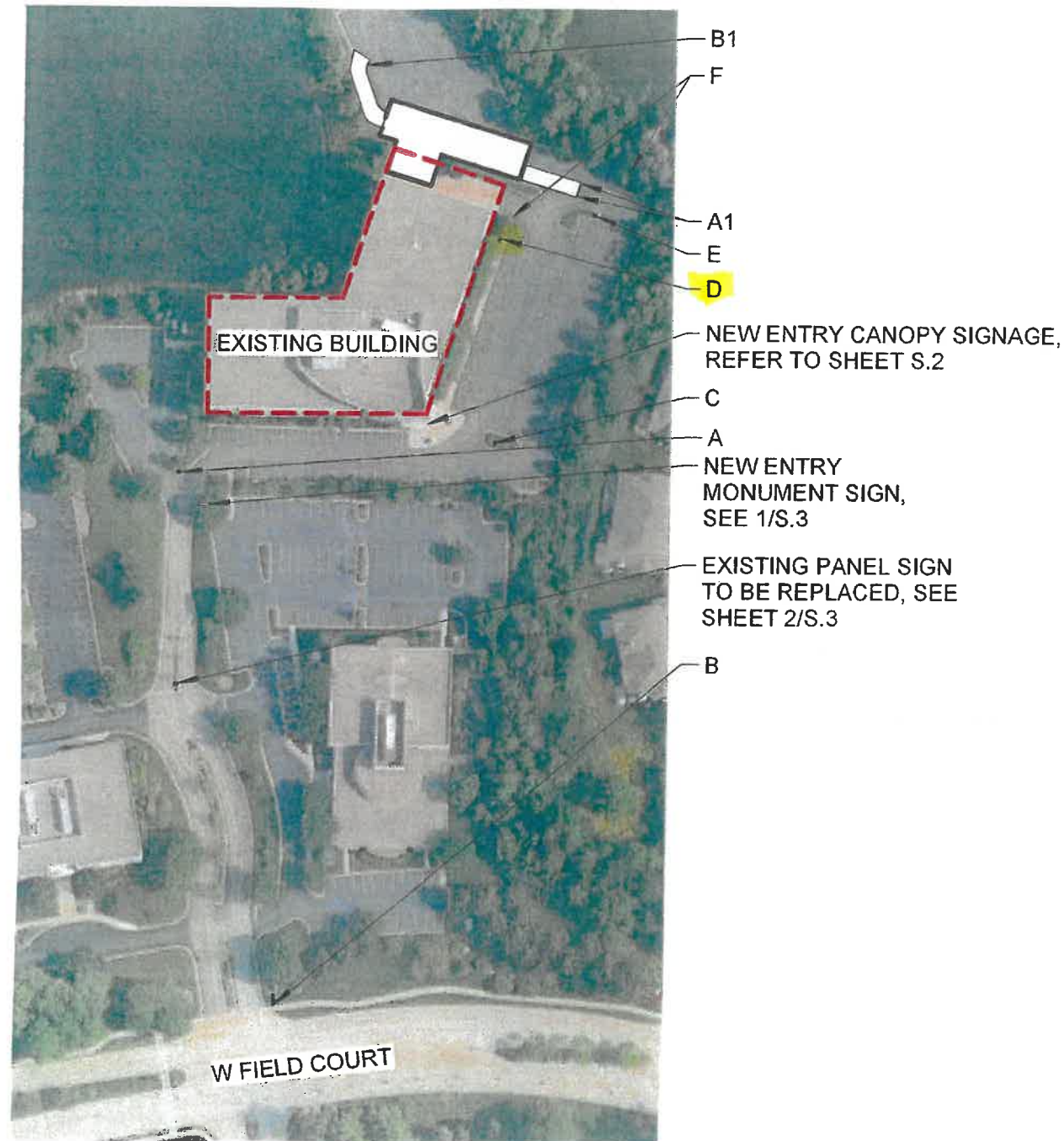


LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

1925 W Field Court, Lake Forest, Illinois, 60045

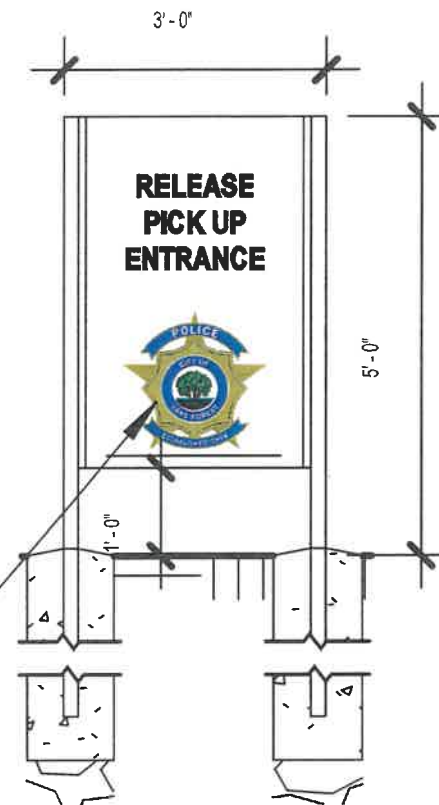
02.27.2026





REFER TO SHEET  
S.1B FOR TYPICAL NOTES AND COLOR  
OPTIONS

LFPD BADGE LOGO  
GRAPHIC, MULTI-  
COLORED



**D** EXTERIOR PANEL SIGN\_D

1/4" = 1'-0"

SITE SIGNAGE

S.1

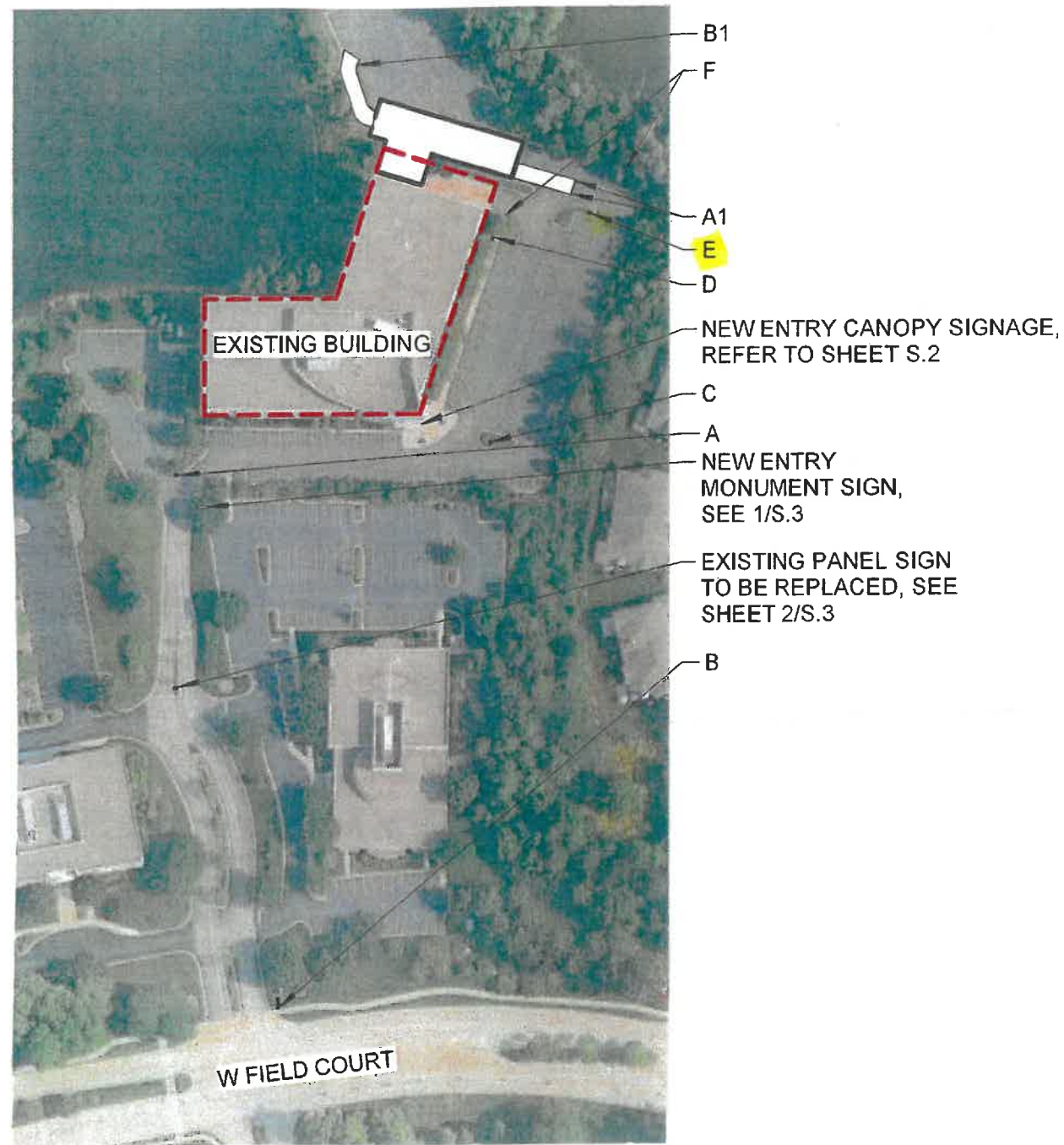


LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

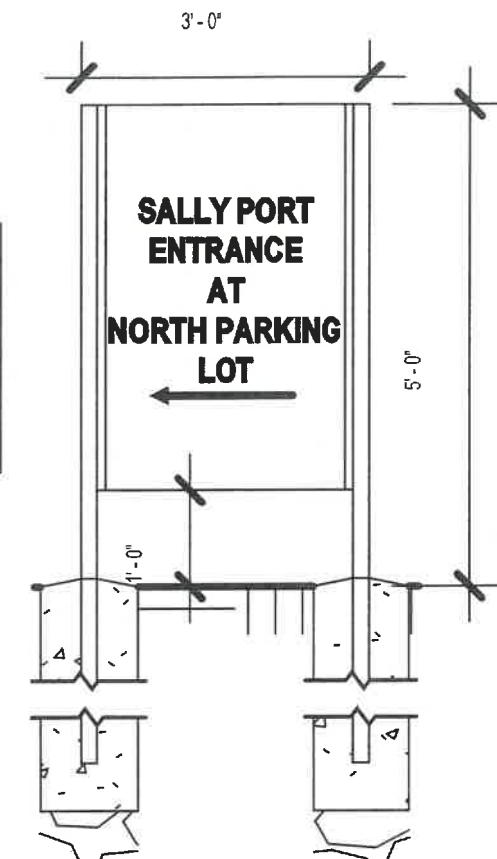
1925 W Field Court, Lake Forest, Illinois, 60045

02.27.2026





REFER TO SHEET  
S.1B FOR TYPICAL NOTES AND COLOR  
OPTIONS



E EXTERIOR PANEL SIGN\_E

1/4" = 1'-0"

SITE SIGNAGE

S.1



LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

1925 W Field Court, Lake Forest, Illinois, 60045

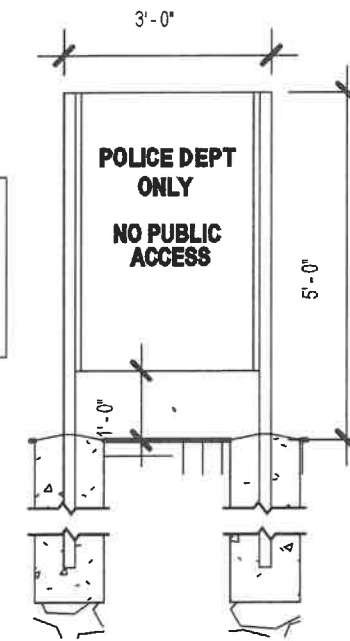
02.27.2026





- B1
- F
- A1
- E
- D
- NEW ENTRY CANOPY SIGNAGE, REFER TO SHEET S.2
- C
- A
- NEW ENTRY MONUMENT SIGN, SEE 1/S.3
- EXISTING PANEL SIGN TO BE REPLACED, SEE SHEET 2/S.3
- B

REFER TO SHEET  
S.1B FOR TYPICAL NOTES AND  
COLOR OPTIONS



F EXTERIOR PANEL SIGN\_F  
1/4" = 1'-0"

SITE SIGNAGE

S.1

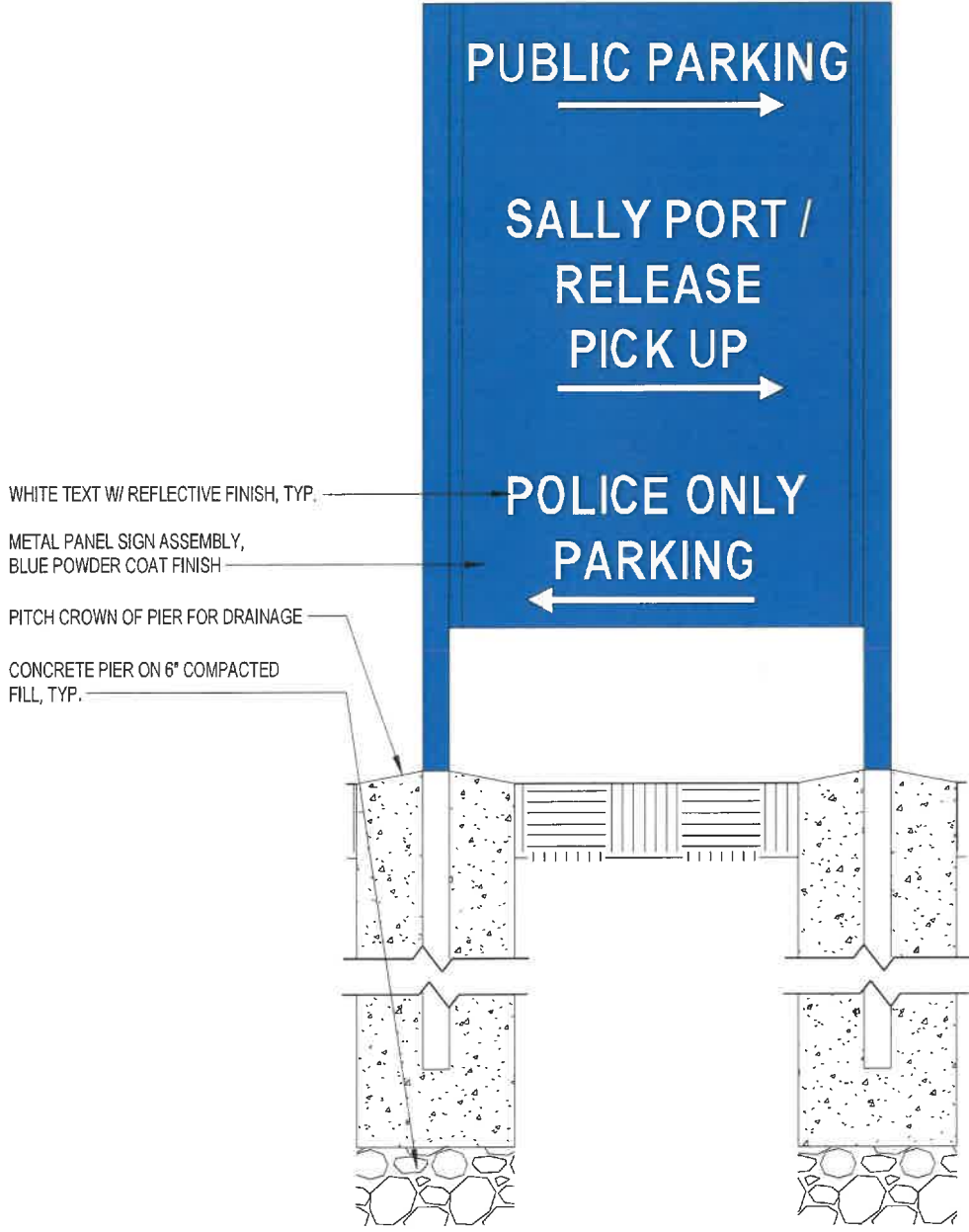


LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

1925 W Field Court, Lake Forest, Illinois, 60045

02.27.2026





PANEL SIGN COLOR STUDY

S.1B



LAKE FOREST POLICE DEPARTMENT HEADQUARTERS  
 1925 W Field Court, Lake Forest, Illinois, 60045



02.27.2026

**Agenda Item 6**  
**1760 Telegraph Road**  
**Significant Demolition, Additions and Alterations**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Site Plan – Existing Conditions  
Demolition  
    Front Elevation Overlay – Existing and Proposed  
    Floor Plans – Walls to be Demolished Highlighted  
Proposed Replacement Residence  
    Site Plan – Proposed  
    Elevations – Existing and Proposed  
    *Building Sections*  
    *Floor Plans*  
Landscape Plan  
Tree Removal Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 1760 Telegraph Road

**Significant demolition and additions and alterations to a single-family residence and the associated hardscape and landscape modifications.**

**Property Owners: Robert and Rochelle Kleczynski  
Presented by: Karl Strassburger, President of Strassburger and Associates**

Staff Contacts: Luis Prado, Assistant Planner and Susan Thomas, Assistant Director

### **Summary of Request**

This is a request for a recommendation in support of demolition of significant portions of the house and additions and alterations. Changes to the landscape and hardscape are also proposed.

### **Description of Property**

The property is located on the west side of Telegraph Road, south of Old Mill Road and north of Arbor Lane. The property totals 63,586 square feet. The existing home was built in 1953 and underwent additions and alterations in the 1990's and in 2000.

### **Proposed Demolition**

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below.

***Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.***

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home was built in 1953 and does not have any particular significance in relation to its surroundings, nor a defined architectural style. The alterations and additions that occurred over time lack consistency in form and do not represent a defined architectural style.

***Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.***

This criterion is met. The petitioner intends to reuse limited portions of the existing residence.

***Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.***

This criterion is not met. The petitioner has not submitted any supporting material indicating that the existing structure is unsuitable for residential use. As noted above, the residence lacks a cohesive architectural style. Planned improvements are intended to enhance the livability of the house and improve the exterior appearance.

**Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.**

This criterion is met. There is no evidence to suggest that the proposed demolition, additions, and alterations will adversely impact the value of other properties in the neighborhood. Investment in this property takes advantage of the large lot and improves up the livability and appearance of the home as noted above. The invest will likely support property values in the neighborhood.

**Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.**

This criterion is met. The house has an irregular massing and lacks a defined architectural style. The proposed reimaged home is intended to present a more cohesive design, balanced massing, and attention to landscaping. The proposed work will likely represent an improvement to the neighborhood.

Review by the Building Review Board is required to ensure that all applicable standards and the City's Design Guidelines are satisfied.

Staff finds that the criteria for demolition are generally satisfied and recommends approval of the proposed significant demolition.

**Staff Review of Standards – Evaluation, Comments, and Recommendations**

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

*Site Plan - This standard is met.*

The existing footprint of the house will largely remain. Expansion of the footprint is proposed to the front, minimally with a front porch, and to the rear and north with a number of additions.

At the front of the property, an expanded parking pull out area is proposed. As presented, it appears that a portion of the parking area encroaches into the front yard setback,. The plan will need to be adjusted to eliminate any encroachment of the parking area into the front yard setback. A paver walk from the expanded parking pad is proposed.

On the south side of the house, an expanded garage apron is proposed to accommodate an enlarged garage, from a two car to a four car garage. The driveway appears to extend very close to the property line and requires the removal of vegetation that currently serves as a buffer between the garage and the neighboring home to the south. Due to a grade change on the site, a retaining wall is proposed near the property line. Details on the retaining wall have not yet been submitted.

A rear patio expansion is proposed, accommodating a swimming pool, planter areas and fire pit. A fence is proposed enclosing the rear yard. Details on the fence have not yet been provided.

**Staff Comment:** The parking pullout is not permitted to extend into the front yard setback.

**Staff Recommendation:** Consider shifting the garage addition to allow existing vegetation along the property line to remain or to provide space for new plantings to buffer the neighboring home from the expanded garage, vehicle activity, and headlights. The retaining wall as proposed may block overland stormwater flows from east to west potentially directing drainage on to the neighboring property.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 6,887 square feet is permitted on the site with allowances of 800 square feet for a garage and 689 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 3,960 square feet.
- The existing garage is 712 square feet.
- In addition to the square footage above, a total of 1,513 square feet of design elements in the form of open porches and single dormers are incorporated into the design of the house. The excess square footage in design elements of 824 square feet is included in the square footage for the house.
- An existing accessory building on the site will be retained and relocation and totals 417 square feet.
- A garage addition is proposed totaling 298 square feet. The overall garage space will exceed the 800 square feet allowed by 210 square feet. That overage is added to the total square footage of the proposed residence.
- Including the existing square footage, the additions, the accessory shed, and the excess square footage in the garage and in the design elements, the total square

footage for the residence as proposed is 6,887 and is 1 percent under the maximum allowable square footage.

In conclusion, the residence totals 6,887 and is 494 square feet or 1% below the maximum allowable square footage for the property. The garage and design element bonuses are fully used.

*Elevations – This standard can be met.*

According to the petitioner's statement of intent, the existing home features no specific architectural style. The petitioner intends to make significant changes to the exterior of the home, inspired by farm style architecture with the intention of giving the home a more distinct identity.

On the east (front) elevation, significant changes are proposed to the appearance of the home including the addition of a covered porch, additions and alterations to both the east and west wings of the home and modifications to the roof. The proposed changes improve the symmetry and hierarchy of massing although the height of the main mass appears disproportionately tall in relation to the rest of the house. Overall the proposed elevation improves upon the existing and is fairly well balanced and generally aligns with the Residential Design Guidelines.

Substantial changes are proposed to the north and south elevations. Overall, the changes improve upon the design of the home. Consideration should be given to simplifying the roof forms to eliminate or minimize the multiple overlapping gables on the north elevation. Consideration could also be given to more uniformity in the window shapes and sizes.

Additions and alterations to the west elevation demonstrate an improved hierarchy of massing compared to the existing design. The elevation is dominated by voids, including windows, screens and dormers, designed to take advantage of the views into the rear yard. The dormers vary in alignment, shape and size and dominate the roof. Consideration should be given to making the dormers more consist.

**Staff Recommendation:** Simplify the roof forms on the north elevations by eliminating or minimizing the overlapping gables.

**Staff Recommendation:** Refine the windows on the north and south elevations with attention to uniformity in shape and size.

**Staff Recommendation:** Refine the dormers on the rear elevation for consistency in placement, size, and shape.

*Type, color, and texture of materials – This standard can be met.*

The primary siding material is proposed as white wood or synthetic board and batten siding. Samples are expected to be provided at the meeting. Stone is proposed for the pillar bases, the chimney, and bases of the rear patio and front bay window. Specifications are needed on the type of stone proposed. Consideration could be given to the consistent use of stone on all elevations.

The windows will be aluminum clad wood casement windows with interior and exterior affixed muntin bars. Wood is proposed for fascia, soffits and rakeboards. Gutters and downspouts will be aluminum. The roof will be asphalt.

Information is needed on the color palette including, but not limited to the colors proposed for the trim, windows, doors, gutters, and downspouts.

Information on the materials, detailing and color of the garage doors has not yet been submitted.

Clarification is needed on the proposed material for the driveway. Crushed stone is noted on the application and bituminous macadam is specified on the site plan. The hardscape material for the patio needs to be specified.

**Staff Comment:** Consistent with standard expectations, the petitioner is expected to present material samples and a complete color palette at the Board meeting. Details on the material and style of the garage doors are required.

**Staff Recommendation:** Consider consistent use of stone on all four elevations.

**Staff Comment:** The plans should specify the stone as a minimum of four inches thick. *Landscaping - This standard is met.*

The lot is characterized by mature trees obstructing streetscape views of the existing home. The petitioner proposes removal of trees to open up the views from the home to the street. Replacement inches for the trees removed will be determined pending submittal of a detailed plan showing existing trees and trees planned for removal.

The conceptual landscape plan proposes a bed of trees running the length of the lot just inside the front property line. The conceptual landscape will need to address plantings to screen the neighboring home to the south from view of the garage which is proposed to double in size and all required replacement tree inches in addition to meeting the minimum planting requirements for a single family residence.

Details of the proposed retaining wall including the height of the wall and materials are needed. Drainage on the overall site and on the south side of the property in particular due to the proposed garage and driveway expansion will need to be detailed in the engineering plans.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

### **Recommendation**

Recommend approval of significant demolition, additions and alterations for a single-family residence at 1760 Telegraph Road including recommendations in support of the hardscape and landscape plans. The recommendation is subject to conditions of approval.

1. Prior to the submittal of plans for permit modify and detail the plans to address the following and provide any requested information:
  - i. Provide dimensions on the site plan to verify that the parking pullout does not encroach into the front yard setback.
  - ii. Consider shifting the garage addition to allow existing vegetation along the north property to remain or to provide space for new plantings to buffer the neighboring property.
  - iii. Provide an auto-turn study prepared by a licensed engineer to demonstrate that the garage apron is adequately sized.
  - iv. Provide details, material and height, of the proposed retaining wall.
  - v. Simplify the roof forms on the north elevation by eliminating of minimizing the overlapping gables.
  - vi. Refine the windows on the north and south elevations with attention to uniformity in shape and size.
  - vii. Refine the dormers on the west (rear) elevation in placement, size, and shape.
  - viii. Consider the consistent use of stone on all four elevations
  - ix. Annotate the veneer stone as a minimum of 4" thick.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Protection*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. The required tree replacement inches will be determined based on the final tree plan.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall meet the minimum landscaping standards for new residences detailed in the Code provide all required replacement tree inches to account for trees removed, and provide for landscape screening along the south property line to screen views of the expanded garage, vehicles, and headlights from the neighboring home. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

#### *Exterior Lighting*

- d. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

#### *Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No construction related parking is permitted on Telegraph Road or on neighboring residential streets. Off site parking may be required if contractor vehicles cannot be accommodated on the site.



Area of Request  
1760 Telegraph Road



# THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1700 TELEGRAPH ROAD, LAKE FOREST

### APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awning
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

### PROPERTY OWNER INFORMATION

ROCHELLE KLEZYNSKI  
*Owner or Property*

1700 TELEGRAPH ROAD  
*Owner's Street Address (may be different from project address)*

LAKE FOREST, IL 60045  
*City, State and Zip Code*

847-716-7150  
*Phone Number*      LA AGEN  
*E-mail Address*

RAKLEI.ZYSKLO.COM@AOL.COM  
*E-mail Address*

ROCHELLE.KLEZYNSKI@DEWITTE.COM  
*E-mail Address*

*Rochelle Klezynski*  
*Owner's Signature*

### ARCHITECT/BUILDER INFORMATION

KARL STRASSBURGER  
*Name and Title of Person Presenting Project*

STRASSBURGER AND ASSOCIATES  
*Name of Firm*

1624 W. OLD MILK ROAD  
*Street Address*

LAKE FOREST, IL 60045  
*City, State and Zip Code*

847-769-7010  
*Phone Number*      *Fax Number*

KARL@STRASSBURGER.COM  
*E-mail Address*

*Carl Strassburger*  
*Representative's Signature (Architect/Builder)*

The staff report is available the Friday before the meeting, after 3:00pm

Please email a copy of the staff report

OWNER     REPRESENTATIVE

Please fax a copy of the staff report

OWNER     REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER     REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Stone <u>MINIMAC</u> | <input type="checkbox"/> Aluminum Siding   |
| <input type="checkbox"/> Brick                           | <input type="checkbox"/> Vinyl Siding  |
| <input type="checkbox"/> Wood Clapboard Siding           | <input type="checkbox"/> Synthetic Stucco  |
| <input type="checkbox"/> Stucco                          | <input type="checkbox"/> Other <u>WOOD BOARD AND BATTEN SIDING, (MAY BE SYNTHETIC)</u> |
| <input type="checkbox"/> Wood Shingle                    |  |
- Individual or Panels? \_\_\_\_\_
- Color of Material white

**Window Treatment**

- |  |   |
|--|---|
| <b>Primary Window Type</b>                   | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung         | <input type="checkbox"/> Wood (recommended)       |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding             | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____         | <input type="checkbox"/> Other _____              |
- Color of Finish \_\_\_\_\_

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood  
 Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other ASPHALT

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other PORCELAIN @ PAL DECK

**February 23, 2026**

**City of Lake Forest  
Building Review Board  
800 Field Drive  
Lake Forest, IL. 60045**

**Submitted by:  
Strassburger and Associates Inc.  
1004 W. Old Mill Road  
Lake Forest, Illinois 60045**

**RE: Kleczynski Residence  
1760 Telegraph Road, Lake Forest, IL.60045**

We are submitting for consideration and approval by the Building Review Board a significant demolition and alternation of a single-family residence located at 1760 Telegraph Road, namely the Kleczynski Residence.

The home was built in 1953 and represents no distinguishing architectural style or historical significance. It has had numerous additions in the 1990's and a revision in 2000 consisting of adding a 3<sup>rd</sup> car garage and an array of window and dormer adds. The exterior cedar siding was introduced. Currently the home has 4 bedrooms plus a loft and attic bonus room, 2 ½ baths and a 3-car garage. Per the building scale calculations, the existing house is roughly 5200sf. We are proposing to bump out additions primarily at the rear, west elevation of the residence pertaining to the garage, mudroom, family, kitchen and primary bedroom. Additionally, a wraparound porch has been added to create a scaled architectural element. All the proposed additions are within city setback requirements and are around 980sf (with design element overage the total added sf is 1190sf). The total proposed square footage will be 7.2% below the maximum allowable bulk.

The current landscaping is heavy and overgrown. Visualizing the home is virtually blocked by existing trees. An extensive landscape plan has been submitted to remove and revitalize the landscaping. Landscape screening has been added to the south property line to create a sense of privacy. The driveway access and guest parking will remain on the south side of the property. The main, higher roof mass will remain the same but a new proposed raised roof to the north (due to increased footprint to the west) allows for far better visual continuity in roof mass consistent with the surrounding neighborhood. Creating an architectural style from its existing condition is the primary goal of the present owners. Traditional farm style with board and batten and lineal stone accents is our objective.

It is our goal to carry a level of detailing throughout the composition of the existing house and additions and maintain height, proportion, and rhythm of elements consistent with the architectural style we are presenting. Exterior materials/textures and architectural details will be consistent with traditional farm

style architecture and will be compatible with and enhance the character of the property and surrounding neighborhood. The size, scale and nature of the design will be consistent with the existing streetscape and character of the neighborhood.

In summary, we hope the house transformation from its existing condition to a new architectural identity will present a home the owners and surrounding neighborhood can enjoy.

Thank you for your consideration.

Sincerely,

Karl Strassburger  
Strassburger and Associates  
President

**February 23, 2026**

**City of Lake Forest  
Building Review Board  
800 Field Drive  
Lake Forest, IL. 60045**

**Submitted by:  
Strassburger and Associates Inc.  
1004 W. Old Mill Road  
Lake Forest, Illinois 60045**

**RE: Kleczynski Residence  
1760 Telegraph Road, Lake Forest, IL.60045**

**RESPONSES TO:**

**Criteria for approval of demolition of a structure.**

**Approval of proposed addition/renovation of existing residence.**

**Criterion 1: The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.**

The residence was built in 1953 and has been completely transformed through numerous additions into a non-descript architectural style with no historic, architectural, aesthetic or cultural significance to the community. The original architect is unknown. There are no distinctive architectural features, and the existing house is entirely cedar siding with an asphalt roof. We are extensively renovating and adding additions to transform the existing structure into a much-improved floor plan and recognized architectural style. Our intention is to dedicate time and effort in not demolishing the entire structure but transforming/improving and creating an architectural style that will enhance the existing residence and surrounding neighborhood.

**Criterion 2: Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.**

We are submitting a re-use alternative. Costs will be extensive, but we have chosen the path of renovation. It is necessary to present to the BRB due to the fact we are effectively demolishing/renovating more than 50% of the existing structure.

**Criterion 3: The structure, in its present or restored condition, is unsuitable for residential or compatible use: or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.**

The submitted drawings for the proposed renovation have been reviewed for existing and proposed conditions pertaining to structure. No hazards are evident.

**Criterion 4: The demolition and/or the replacement structure will not adversely impact the value of**

**the property within the neighborhood.**

The proposed renovation/additions will only benefit and increase the value of property within the neighborhood.

**Criterion 5: The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.**

The proposed renovation/additions will only benefit the character of the neighborhood. The improved and extensive landscape plan will present a new architectural styled home not obscured from view.

In summary, we hope the house transformation from its existing condition to a new architectural identity will present a home the owners and surrounding neighborhood can enjoy.

Thank you for your consideration.

Sincerely,

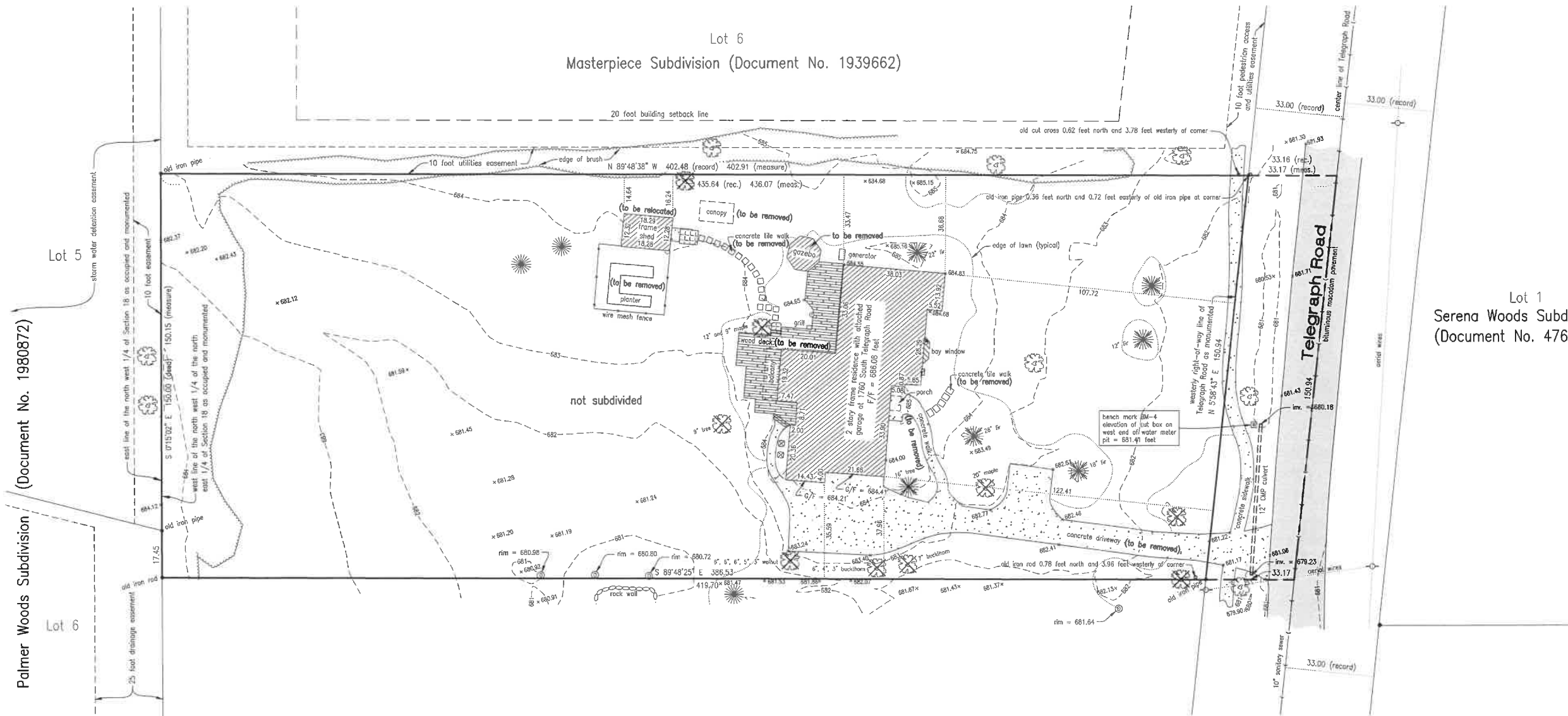
Karl Strassburger  
Strassburger and Associates  
President

SITE PLAN  
EXISTING CONDITIONS

scale: 1 inch = 20 feet

All dimensions and elevations hereon shown unless it is otherwise noted are given in feet and decimal parts thereof. Said elevations are referred to NAVD 88 datum plane. All measured bearings hereon shown are based on Illinois State Plane Coordinate System 1201 East.

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Palmer Woods Subdivision  
(Document No. 1980872)

Lot 1  
Serena Woods Subdivision  
(Document No. 4762843)

**LEGEND**

- ⊙ manhole
- ⊙ cleanout
- ⊙ drain
- ⊙ gas meter
- ⊙ light
- ⊙ electric meter
- ⊙ electric transformer
- ⊙ air conditioner
- ⊙ telephone pedestal
- ⊙ utility pole
- ⊙ anchor
- ⊙ downspout (ds)
- T/F top of foundation
- F/F first floor
- G/F garage floor
- T/W top of wall

Impervious Area Table	
	Area (sq. ft.)
Existing concrete driveway and walks	2,993
Existing gazebo	120
Existing residence	3,010
Existing shed	224
Existing deck	902
Existing canopy	95
Existing concrete tile walks	193
<b>Total</b>	<b>7,537</b>
Property area excluding Telegraph Rd.	59,268

For underground utility locations, call  
**J.U.L.I.E.**  
1-800-892-0123

surveyor's note:  
We have not been provided with a title commitment for the property described in the caption hereon.

field work completed on December 29, 2025

for review only  
revised on January 14, 2026

<p><b>EXISTING CONDITIONS, TREE REMOVAL AND DEMOLITION PLAN</b></p>	<p>for <b>Karl Strassburger</b> 1004 West Old Mill Road Lake Forest, Illinois, 60045</p>	<p>from the office of <b>James Anderson Company</b> Engineers, Planners, and Surveyors 920 West North Shore Drive Lake Bluff, Illinois, 60044 (847) 295-3322 Professional Design Firm 184.000847</p>	<p>Order No. <u>19419</u> Field Book <u>EG94</u> page <u>19</u> Date <u>December 31</u>, 2025 File No. <u>none</u></p>	<p><b>Sheet No. 2 of 4 Sheets</b></p>
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EAST ELEVATION

SCALE : 1/4" = 1' - 0"

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO ALL CODES, ORDINANCES AND REQUIREMENTS OF THE CITY OF LAKE FOREST, ILLINOIS

*Daniel E. Bendixon* 1/6/26  
 DANIEL E. BENDIXON, ARCHITECT  
 ILLINOIS LICENSE # 001-021968 EXP-11/30/28



STRASSBURGER & ASSOCIATES, LT  
 DESIGNERS \* BUILDERS  
 Lake Forest, IL 60046  
 847.769.7010

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KLECZYNSKI RESIDENCE  
 1760 S. TELEGRAPH ROAD  
 LAKE FOREST, ILLINOIS

NO.	REVISION	DATE
	PRELIMINARY	12/2/25
	FOR PERMIT	1/6/26

DRAWING  
 A-1





site plan

for

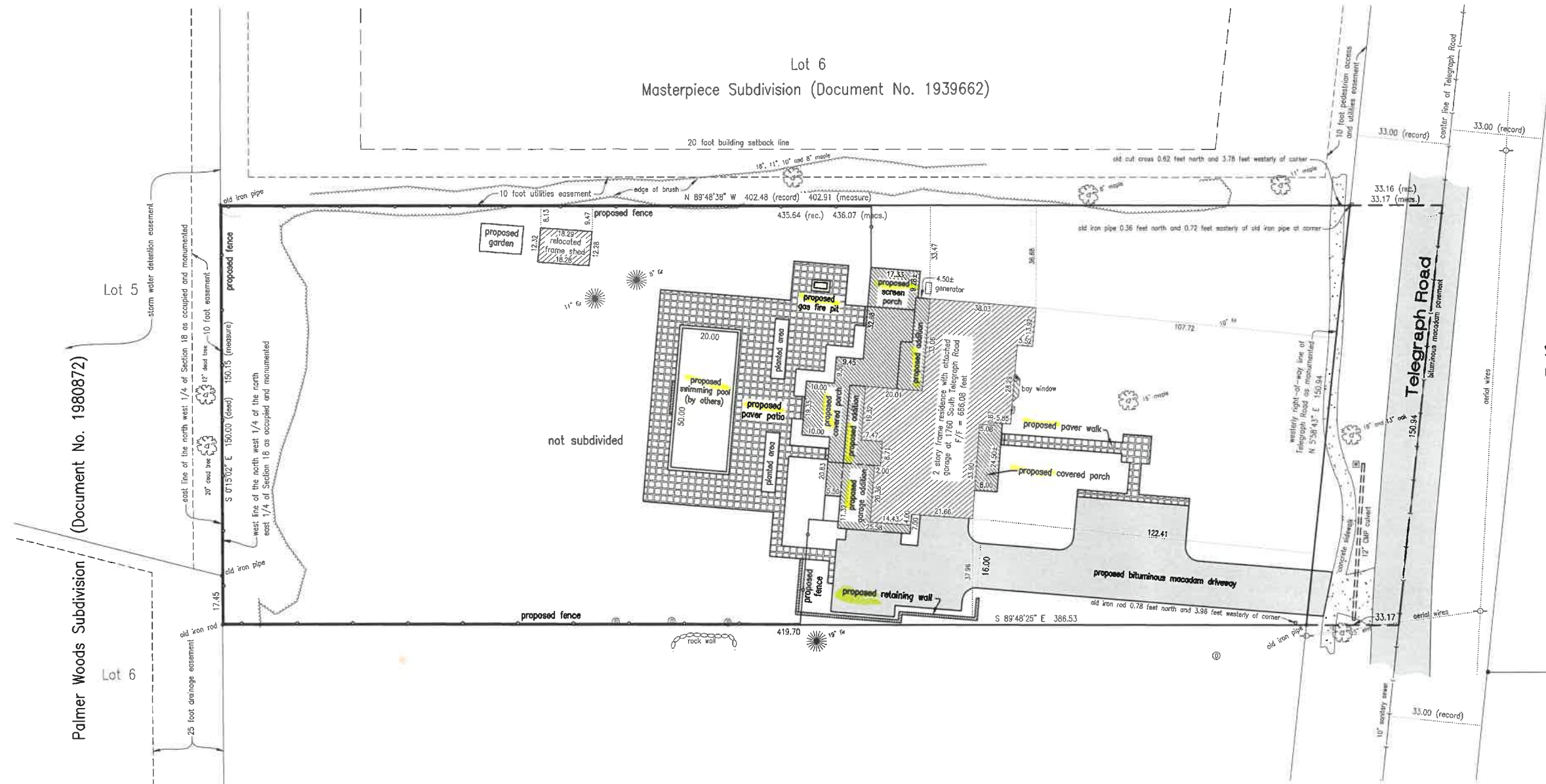
the north 150.00 feet, measured along the west line of that part of the south 4 acres of the north west 1/4 of the north east 1/4 of Section 18, Township 43 North, Range 12 East of the 3rd Principal Meridian, lying westerly of the center line of Telegraph Road, City of Lake Forest, Lake County, Illinois

scale: 1 inch = 20 feet

All dimensions and elevations hereon shown unless it is otherwise noted are given in feet and decimal parts thereof. Said elevations are referred to NAVD 88 datum plane. All measured bearings hereon shown are based on Illinois State Plane Coordinate System 1201 East.  
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Lot 6  
Masterpiece Subdivision (Document No. 1939662)



Lot 1  
Serena Woods Subdivision  
(Document No. 4762843)

LEGEND

- ⊕ manhole
- cleanout
- ⊖ drain
- ⊗ gas meter
- ⊙ light
- ⊛ electric meter
- ⊠ electric transformer
- ⊡ air conditioner
- ⊢ telephone pedestal
- ⊣ utility pole
- ⊤ anchor
- ⊥ downspout (ds)
- T/F top of foundation
- F/F first floor
- G/F garage floor
- T/W top of wall

Impervious Area Table	
	Area (sq. ft.)
Existing residence	3,010
Existing relocated shed	224
Proposed additions and porches	0
Proposed pool	1,144
Proposed patios and walks	3,858
Proposed driveway	4,149
Proposed walls	105
Total	12,490
Property area excluding Telegraph Rd.	59,268

surveyor's note:

We have not been provided with a title commitment for the property described in the caption hereon.

For underground utility locations, call  
**J.U.L.I.E.**  
1-800-892-0123

field work completed on December 29, 2025

<p><b>SITE PLAN</b></p>	<p>for <b>Karl Strassburger</b> 1004 West Old Mill Road Lake Forest, Illinois, 60045</p>	<p>from the office of <b>James Anderson Company</b> Engineers, Planners, and Surveyors 920 West North Shore Drive Lake Bluff, Illinois, 60044 (847) 295-3322 Professional Design Firm 184.000847</p>	<p>Order No. <u>19419</u> Field Book <u>E694</u> page <u>19</u> Date <u>February 20</u>, 2026 File No. <u>none</u></p>	<p>Sheet No. 1 of 1 Sheets</p>
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EAST ELEVATION  
EXISTING AND PROPOSED



EXISTING EAST ELEVATION

SCALE: 1/4" = 1' - 0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1' - 0"

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ILLINOIS  
*Daniel E. Bendixon* 1/16/26  
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KLECZYNSKI RESIDENCE  
1760 S. TELEGRAPH ROAD  
LAKE FOREST, ILLINOIS

NO.	REVISION	DATE
	PRELIMINARY	12/25
	FOR PERMIT	1/16/26

DRAWING  
1

NORTH ELEVATION  
EXISTING AND PROPOSED



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1' - 0"

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ILLINOIS

*Daniel E. Benckon* 10/26  
DANIEL E. BENCKON, ARCHITECT  
ILLINOIS LICENSE # 001-021968 EXP: 11/30/26



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1760 S. TELEGRAPH ROAD  
LAKE FOREST, ILLINOIS

NO.	REVISION	DATE
	PRELIMINARY	2/2/25
	FOR PERMIT	1/6/26

DRAWING

4

WEST ELEVATION  
EXISTING AND PROPOSED



EXISTING WEST ELEVATION

SCALE : 1/4" = 1' - 0"



PROPOSED WEST ELEVATION

SCALE : 1/4" = 1' - 0"

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ILLINOIS

*Daniel E. Bendixon* 1/16/26  
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1760 S. TELEGRAPH ROAD  
LAKE FOREST, ILLINOIS

NO.	REVISION	DATE
	PRELIMINARY	02/25
	FOR PERMIT	1/16/26

DRAWING

SOUTH ELEVATION  
EXISTING AND PROPOSED



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

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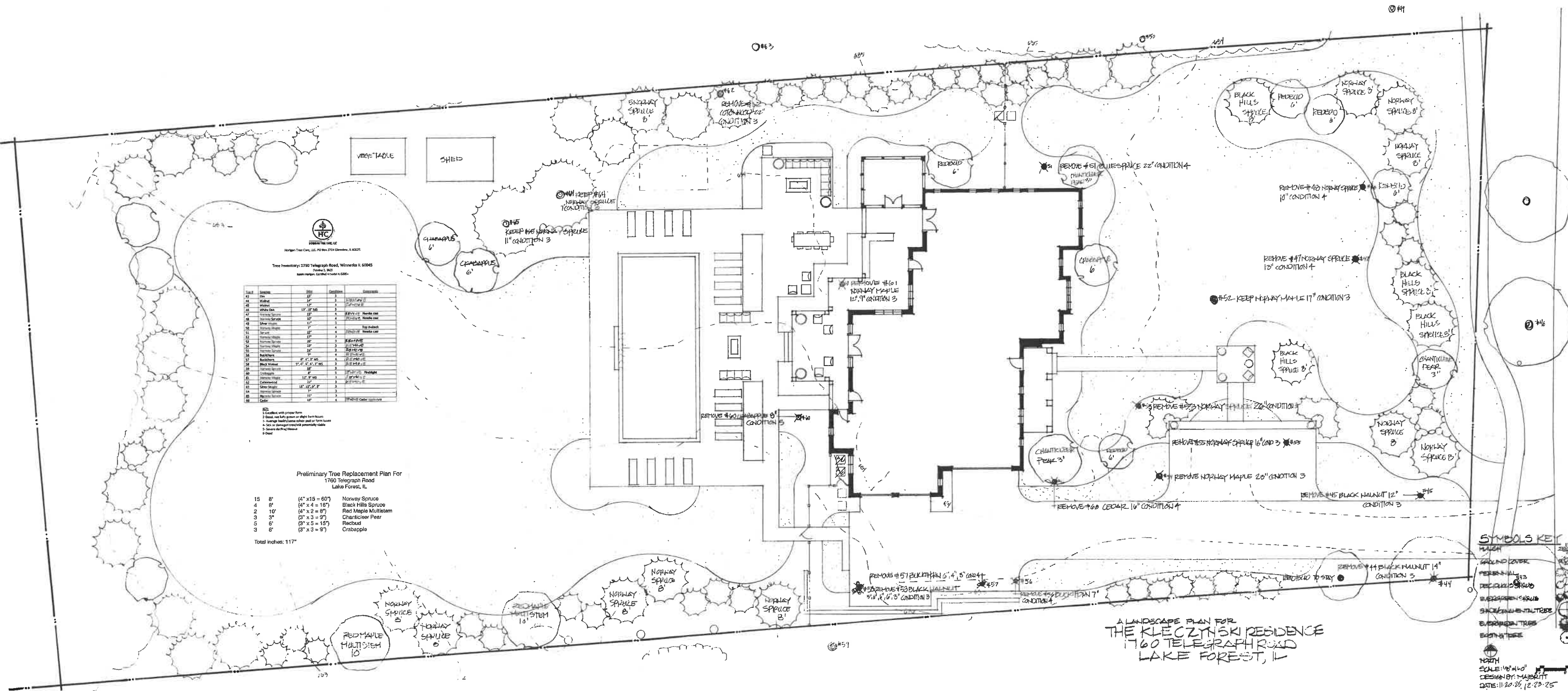
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KLECZYNSKI RESIDENCE  
 1760 S. TELEGRAPH ROAD  
 LAKE FOREST, ILLINOIS

NO.	REVISION	DATE
	PRELIMINARY	02/25
	FOR PERMIT	1/6/26

DRAWING  
**3**



Tree Inventory: 2370 Telegraph Road, Winnetka IL 60095  
 Date: 11/20/25  
 Author: Morgan, Carroll, & Co. LLC

ID	Species	DBH	Condition	Comments
41	Oak	14"	3	1" DBH
42	Maple	14"	3	1" DBH
43	Maple	14"	3	1" DBH
44	White Oak	13", 12" DB	3	1" DBH
45	Norway Spruce	12"	4	1" DBH
46	Norway Spruce	12"	4	1" DBH
47	Norway Spruce	12"	4	1" DBH
48	Norway Spruce	12"	4	1" DBH
49	Norway Spruce	12"	4	1" DBH
50	Norway Spruce	12"	4	1" DBH
51	Norway Spruce	12"	4	1" DBH
52	Norway Spruce	12"	4	1" DBH
53	Norway Spruce	12"	4	1" DBH
54	Norway Spruce	12"	4	1" DBH
55	Norway Spruce	12"	4	1" DBH
56	Norway Spruce	12"	4	1" DBH
57	Norway Spruce	12"	4	1" DBH
58	Norway Spruce	12"	4	1" DBH
59	Norway Spruce	12"	4	1" DBH
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62	Norway Spruce	12"	4	1" DBH
63	Norway Spruce	12"	4	1" DBH
64	Norway Spruce	12"	4	1" DBH
65	Norway Spruce	12"	4	1" DBH
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74	Norway Spruce	12"	4	1" DBH
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95	Norway Spruce	12"	4	1" DBH
96	Norway Spruce	12"	4	1" DBH
97	Norway Spruce	12"	4	1" DBH
98	Norway Spruce	12"	4	1" DBH
99	Norway Spruce	12"	4	1" DBH
100	Norway Spruce	12"	4	1" DBH

Preliminary Tree Replacement Plan For  
 1760 Telegraph Road  
 Lake Forest, IL

15	8"	(4" x 15 = 60")	Norway Spruce
4	8"	(4" x 4 = 16")	Black Hills Spruce
2	10"	(4" x 2 = 8")	Red Maple Multistem
3	3"	(3" x 3 = 9")	Chautauque Pear
5	6"	(3" x 5 = 15")	Ricebud
3	6"	(3" x 3 = 9")	Crabapple

Total inches: 117"

**SYMBOLS KEY**

- HAIR
- GROUND COVER
- PERENNIAL
- DECIDUOUS
- EVERGREEN SHRUB
- SMALL ENVIRONMENTAL TREE
- EVERGREEN TREE
- EMERALD TREE

**SCALE:** 1/8" = 1'-0"  
**DESIGN BY:** M. B. B. B.  
**DATE:** 11.20.25, 12.23.25

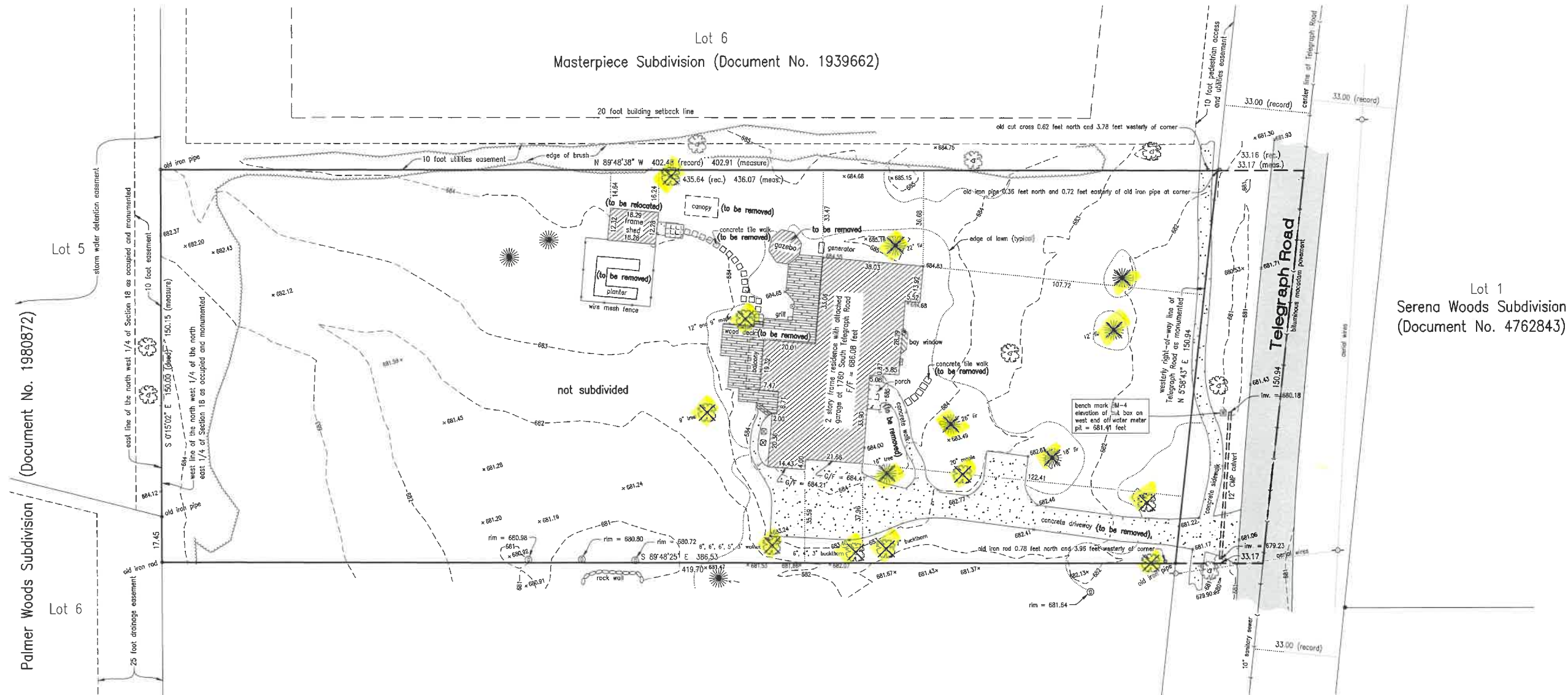
A LANDSCAPE PLAN FOR  
 THE KLECZYNSKI RESIDENCE  
 1760 TELEGRAPH ROAD  
 LAKE FOREST, IL

# TREE REMOVAL PLAN

scale: 1 inch = 20 feet

All dimensions and elevations hereon shown unless it is otherwise noted are given in feet and decimal parts thereof. Said elevations are referred to NAVD 88 datum plane. All measured bearings hereon shown are based on Illinois State Plane Coordinate System 1201 East.

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Lot 1  
Serena Woods Subdivision  
(Document No. 4762843)

Palmer Woods Subdivision  
(Document No. 1980872)

### LEGEND

- ⊕ manhole
- ⊙ cleanout
- ⊖ drain
- ⊗ gas meter
- ☆ light
- ⊞ electric meter
- ⊠ electric transformer
- ⊡ air conditioner
- ⊠ telephone pedestal
- ⊠ utility pole
- ⊠ anchor
- ⊠ downspout (as)
- 1/F top of foundation
- F/F first floor
- G/F garage floor
- T/W top of wall

Impervious Area Table	
	Area (sq. ft.)
Existing concrete driveway and walks	2,993
Existing gazebo	120
Existing residence	3,010
Existing shed	224
Existing deck	902
Existing canopy	95
Existing concrete tile walks	193
<b>Total</b>	<b>7,537</b>
Property area excluding Telegraph Rd.	59,268

For underground utility locations, call  
**J. U. L. I. E.**  
1-800-692-0123

### surveyor's note:

We have not been provided with a title commitment for the property described in the caption hereon.

field work completed on December 29, 2025

for review only  
revised on January 14, 2026

<b>EXISTING CONDITIONS, TREE REMOVAL AND DEMOLITION PLAN</b>	for <b>Karl Strassburger</b> 1004 West Old Mill Road Lake Forest, Illinois, 60045	from the office of <b>James Anderson Company</b> Engineers, Planners, and Surveyors 920 West North Shore Drive Lake Bluff, Illinois, 60044 (847) 295-3322 Professional Design Firm 184.000847	Order No. <u>12419</u> Field Book <u>E694</u> page <u>19</u> Date <u>December 31</u> , 2025 File No. <u>0000</u>	Sheet No. 2 of 4 Sheets
	field work completed on December 29, 2025			

Tag #	Species	DBH	Condition	Comments
42	Flr	15"	3	
44	Walrus	14"	3	REMOVE
45	WE709	12"	3	REMOVE
46	White Oak	11" 18" MS	3	
47	Norway Spruce	14"	3	REMOVE Needs cut
48	Norway Spruce	10"	4	REMOVE Needs cut
49	Silver Maple	11"	3	
50	Norway Maple	7"	3	Top dieback
51	Spruce	22"	4	REMOVE Needs cut
52	Norway Maple	17"	3	
53	Norway Spruce	20"	3	REMOVE
54	Norway Maple	25"	3	REMOVE
55	Norway Spruce	10"	3	REMOVE
56	Blackhorn	7"	4	REMOVE
57	Blackhorn	6", 8", 3" MS	4	REMOVE
58	Black Walnut	3", 6", 6", 3" MS	3	REMOVE
59	Norway Spruce	18"	3	
60	Cornapple	8"	3	REMOVE Finalight
61	Norway Maple	12", 9" MS	3	REMOVE
62	Cottonwood	22"	3	REMOVE
63	Silver Maple	15", 10", 9", 9"	3	
64	Norway Spruce	7"	3	
65	Norway Spruce	11"	3	
66	Cedar	10"	4	REMOVE Cedar again rust

**KEY:**

- 1-Facilient with minor form
- 2-Good, not fully grown/slight form issues
- 3-Average health/some minor part of form issues
- 4- Sick or damaged tree, still potentially viable
- 5- Severly declining/dying
- 6-Dead

**Agenda Item 7**  
**938 Walden Lane**  
**New Single Family Residence**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Existing Conditions  
Site Plan  
Renderings  
Elevations  
Examples of Materials  
*Cross Section*  
*Roof Plan*  
*Floor Plans*  
Tree Removal Plan  
Landscape Plans

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 938 Walden Lane

**Consideration of a new residence with an attached garage on a vacant property and consideration of the associated hardscape and landscape.**

**Property Owners: Anasttia Berbaum and Thomas Korman  
Presented by: Michael Abraham, Architect**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of a new residence on newly subdivided lot between Ringwood Road and Walden Lane, just outside the East Lake Forest Historic District.

### **Description of Property**

The property is generally rectangular in shape and totals 40,259 square feet, 3,171 square feet of which is classified as non-table land. Non-table land is defined as any area where the slope exceeds ten percent. Non-table land is factored into the allowable square footage calculation at 50%. The property is unique in that it is a "through lot" with frontage on two public streets, Walden Lane to the south and Ringwood Road to the north. Access to the property is proposed from Walden Lane using an existing curb cut that historically provided access to the rear of the neighboring property to the east. The subject property is currently heavily wooded and densely vegetated.

Since the parcel was created through a subdivision in late 1960's, it was held in common ownership with the adjacent parcel to the east until the recent sale of the parcel to the petitioners. The house to the east remains on a separate legal lot.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

*Site Plan - This standard is met.*

The property fronts toward Walden Lane and is sited approximately 67 feet from the property line along Walden Lane. The rear of the residence is approximately 120' from Ringwood Road. The residence is generally centered between the east and west property lines. Recognizing that the residence is sited well beyond the setback, there appears to be ample space for replanting and revegetation along the Walden

streetscape. The existing driveway which, as noted above served as a rear access to what is now the neighboring property to the east, will be modified and will connect to a bluestone walkway and a driveway court which provides access to an east facing side load garage. On the site plan, a dimension shows the driveway at 14ft in width, expanding as it approaches the driveway court at the garage. The driveway is not permitted to exceed 16 feet in width within the required setback along Walden Lane.

A bluestone patio is shown in the rear of the home and a gravel walkway along the east property extends to Ringwood Road.

*Building Massing and Height – This standard is met.*

Based on the lot size, with the required reduction due to the small amount of non-table land, a residence of up to 4,934 square feet is permitted with allowances of 600 square feet for a garage and 493 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,641 square feet.
- In addition to the above square footage, 271 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 877 square feet. The garage square footage over and above the allowed 800 square feet is added to the square footage of the residence.
- The total square footage of the residence and the excess garage square footage is 4,917.

The proposed residence is 17 square feet below the total allowable square footage, less than one percent below the maximum allowed.

At its tallest peak, the residence as measured from the lowest point of existing grade is 35 feet. The maximum height allowed for a residence on this size lot is 35 feet.

**Staff Comment:** As-built drawings will be required during the construction process to demonstrate that the maximum permitted building height of 35 feet and the approved total square footage are not exceeded. The building height is measured from the lowest point of existing adjacent grade to the tallest peak of the roof. The as built in progress drawings will need to demonstrate that construction is proceeding in conformance with the approved plans.

*Elevations – This standard is mostly met.*

The architect states that the design draws inspiration from the adjacent historic farmhouse and is composed of smaller volumes intended to reduce the perceived scale of the residence. The house is primarily one story, with a limited second-story

element oriented toward Ringwood Road, the rear of the home. The elevations reflect a layered roofline with varied heights responding to the site's slope. Given the predominantly single-story massing, the proposed setback from the streets, and the existing wooded streetscape character which is intended to be retained through preservation of some of the existing trees and additional plantings, the home is intended to be significantly screened from Walden Lane and from Ringwood Road.

Overall, the design, although unique, generally aligns with the Residential Design Guidelines. Additional attention should be given to the east and north elevations, particularly with respect to the balance of window area and solid wall mass. The dark-sky character of the Ringwood Road area could be affected by off-site light impacts from the expansive window areas especially along the north elevation oriented toward the rear yard.

Eliminating the overlapping gables on the south, east, and north elevations should be considered to better align with the Residential Design Guidelines. Finally, further study of the scale and height of the chimney is recommended to ensure that it relates appropriately to the overall design of the home.

**Staff Recommendation:** Improve the balance of windows to solid walls on the east and north elevations.

**Staff Recommendation:** Refine the south, north and east elevations to eliminate or minimize overlapping gables.

**Staff Recommendation:** Refine the height and scale of the chimney to better relate to the scale and proportions of the home.

*Type, color, and texture of materials – This standard is mostly met.*

Overall, high quality materials are proposed. The petitioner proposes warm white true cement stucco with a Halquist basswood buff stone water table that extends around most of the residence. Warm grey stained cedar siding is proposed as an accent siding material on secondary elements of the home. Natural slate roofing, warm white and bronze aluminum-clad windows with simulated divided lites, copper gutters and downspouts, and wood trim are proposed throughout. The chimney is brick and stone. The proposed use of brick on the chimney introduced a new material, not used elsewhere on the house. Consideration should be given to the materials on the chimney in an effort to not appear heavy in contrast to the materials, color palette, and scale of the residence.

The walkway from the driveway to the front of the home and the rear patio will be bluestone.

**Staff Comment:** Stone veneer shall be at least four inches thick.

**Staff Recommendation:** Consider the materials on the chimney to better align with the Residential Design Guidelines.

*Landscaping - This standard can be met.*

The tree removal plan identifies a large number of trees of varying species, size, and condition for removal. A final calculation of the number of required replacement inches has not yet been completed. While the proposed conceptual landscape plan meets the minimum criteria for new construction, it does not yet fully demonstrate compliance with the yet to be determined inch-for-inch replacement requirement.

A detailed landscape plan will need to clearly show how the required replacement inches. If the required replacement inches cannot be fully satisfied with on site plantings using good forestry practices subject to a determination by the City's Certified Arborist, a fee in lieu of full on-site replacement tree inches will be required at the time of permit issuance. If a fee in lieu of on site planting is accepted by the City, the funds will be used to enhance parkway plantings in the overall neighborhood.

The final landscape plan will be subject to staff review and approval at the time of permit.

**Staff Recommendation:** Provide a detailed landscape which demonstrates inch-for-inch replacement as required by the City Arborist.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence has been submitted and is included in the Board's packet.

### **Recommendation**

Recommend approval of a new house with an attached garage at 938 Walden Lane and the associated hardscape and conceptual landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit:
  - a. Refine the balance of windows to solid walls on the east and north elevations.
  - b. Refine the south, north and east elevations with attention to eliminating the overlapping gables.
  - c. Refine the height and scale of the chimney to better relate to the overall home.
  - d. Detail the stone veneer as at least four inches in thickness.
  - e. Reconsider the materials on the chimney to avoid a heavy appearance and to better align with the Residential Design Guidelines.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to

review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. Based on this plan, the City's Certified Arborist will determine the number of required tree replacement inches.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. The plan shall demonstrate inch-for-inch replacement of trees proposed for removal unless payment of a fee in lieu of planting is approved by the City.

*Drainage and Grading*

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

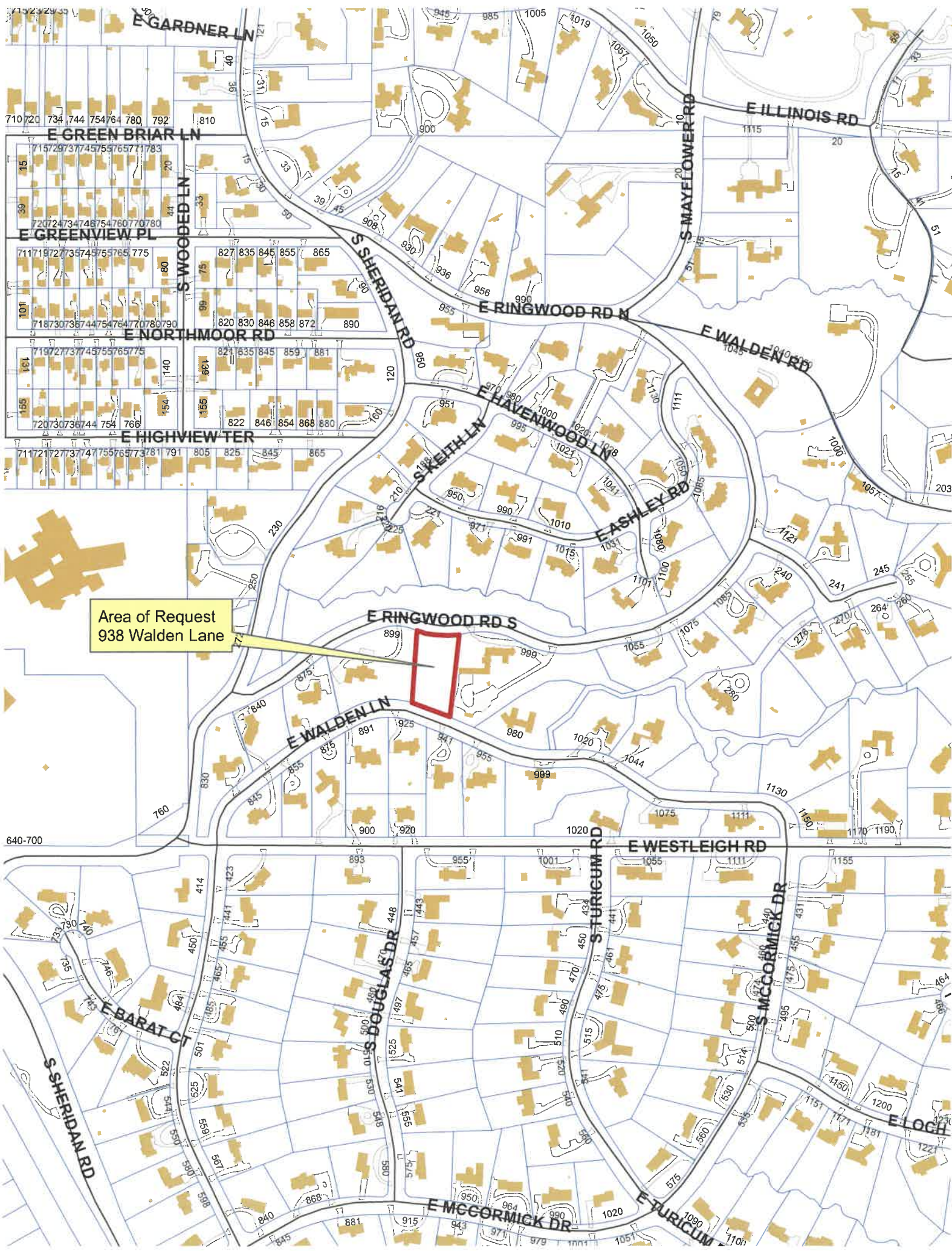
*Exterior Lighting*

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. All lighting shall be evaluated by staff to ensure that the lighting respects the dark sky character of the neighborhood. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on

automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- f. A plan for contractor parking and equipment and material staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Due to the narrow street width, no contractor parking is permitted on Walden Lane or on Ringwood Road. Contractors may need to park at an off site location.
- 
4. Submit as-built drawings during the construction process to ensure that the maximum permitted building height of 35 feet and approved building square footage are not exceeded. The building height is measured from the lowest adjacent grade to the tallest peak of the roof.



Area of Request  
938 Walden Lane

640-700



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 938 WALDEN LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

Bernbaum 2012 Investment Trust  
Owner of Property L. HARRISON BERNBaum - MGR

MICHAEL ABRAHAM (ARCHITECT)  
Name and Title of Person Presenting Project

4601 Gulf Shore Blvd N, Apt. 10  
Owner's Street Address (may be different from project address)

MICHAEL ABRAHAM ARCHITECTURE  
Name of Firm

NAples, FL 34103  
City, State and Zip Code

148 BURLINGTON AVE  
Street Address

847-970-1203  
Phone Number

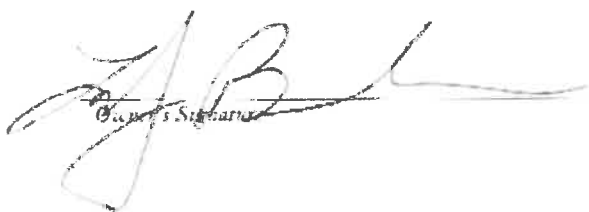
CLARENDON HILLS, IL 60514  
City, State and Zip Code

L.H.BERNBAUM@gmail.com  
Email Address

630-655-9417  
Phone Number

Fax Number

MA@MICHAEL-ABRAHAM.COM  
Email Address

  
Owner's Signature

  
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER  REPRESENTATIVE

Please fax a copy of the staff report

OWNER  REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER  REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding                                  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                                     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                                 |
| <input checked="" type="checkbox"/> Stucco     | <input checked="" type="checkbox"/> Other <u>VERTICAL WOOD T+G SIDING</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_

Color of Material WARM WHITE STUCCO, NATURAL STONE + STAINED CEDAR SIDING

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement  
 Sliding  
 Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other \_\_\_\_\_

Color of Finish WARM WHITE + BRONZE

**Window Muntins**

- Not Provided  
 True Divided Lites

**Simulated Divided Lites**

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood  
 Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

# MICHAEL - ABRAHAM ARCHITECTURE

148 BURLINGTON STREET  
CLARENDON HILLS, ILLINOIS. 60514  
PHONE (630) 655.9417

## 938 Walden Lane

### Statement of Intent

February 16<sup>th</sup>, 2026

This residential project offers a rare opportunity to introduce new construction on a previously untouched wooded lot once a part of the neighboring 1930s estate. Though the width of the site is narrower than the adjacent properties, the proposed house will be situated to exceed the required front and rear yard setbacks so as not to interfere with the natural wooded streetscape.

The overall massing of the house responds to the natural slope of the site, with smaller volumes and lower roof pitches at the crest, gradually increasing in scale as the terrain steepens in the rear. Drawing inspiration from the adjacent historic farmhouse, the overall design of the new residence is broken into smaller volumes, producing a layered roofline that enhances visual interest while reducing the perceived scale of the home. The home is predominantly single-story, with a limited two-story element oriented toward the rear yard minimizing its impact on the streetscape as much as possible. By extending the principal roof gables into the garden walls, the house settles naturally into the landscape rather than standing apart from it.

The house is clad in a combination of smooth stucco and natural stone, balancing clean, refined surfaces with textured masonry for depth and visual interest. A slate roof anchors the home with texture and permanence, while copper roof accents provide subtle contrast and will develop a natural patina over time to connect the home to the historic context of the neighborhood. A minimalist approach to eave details and trim gives the house a distinct character, providing a quiet contrast to surrounding homes without disrupting the character of the neighborhood. Floor-to-ceiling windows are integrated throughout the home to take advantage of the site's natural privacy, creating visual interest through both symmetrical compositions and selective arched openings.

Overall, the intention of this design is to allow the home to harmonize with the site's natural wooded features and historic context using thoughtful massing, cohesive materials, and subtle detailing, with the result to be a carefully scaled, visually engaging residence.



EXISTING CONDITIONS

PRELIMINARY ENGINEERING

938 WALDEN LANE - LAKE FOREST, IL

EXISTING CONDITIONS

LEGAL DESCRIPTION THAT PART OF LOT 4 IN GEORGE A. POOLE SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 3 TOWNSHIP 43 NORTH RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 31, 1969 AS DOCUMENT NO. 140921D DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 4, 79.65 FEET (CHORD MEASURE) EASTERLY OF THE NORTHWESTERLY CORNER OF SAID LOT 4; THENCE SOUTHERLY ALONG A STRAIGHT LINE 273.62 FEET, MORE OR LESS, TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 4, 69.00 FEET (CHORD MEASURE) WESTERLY OF THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF SAID LOT 4, 72.87 FEET (CHORD MEASURE), MORE OR LESS, TO THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT 4, 111.25 FEET (RECORD) 111.14 FEET (MEASURE) TO AN OLD IRON PIPE AT AN ANGLE POINT IN THE WESTERLY LIMITS OF SAID LOT 4; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT 4, 157.75 FEET (RECORD) 157.57 FEET (MEASURE) TO THE AFOREMENTIONED NORTHWESTERLY CORNER OF LOT 4; AND THENCE EASTERLY ALONG SAID NORTHERLY LINE OF SAID LOT 4, 79.65 FEET (CHORD MEASURE) TO THE POINT OF BEGINNING, IN LAKE COUNTY, ILLINOIS

AND THAT PART OF SAID LOT 4, DESCRIBED AS FOLLOWS, BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 4, 79.65 FEET (CHORD MEASURE) EASTERLY OF THE NORTHWESTERLY CORNER OF SAID LOT 4; THENCE SOUTHERLY ALONG A STRAIGHT LINE 273.62 FEET, MORE OR LESS, TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 4, 69.00 FEET (CHORD MEASURE) WESTERLY OF THE SOUTHWESTERLY CORNER OF SAID LOT 4; THENCE EASTERLY ALONG SAID SOUTHERLY LINE OF SAID LOT 4, 69.00 FEET TO AN OLD IRON PIPE AT AN ANGLE POINT IN THE EASTERLY LIMITS OF SAID LOT 4; THENCE NORTHERLY ALONG THE EASTERLY LINE OF SAID LOT 4, 142.87 FEET (RECORD) 142.65 FEET (MEASURE) TO THE NORTHEASTERLY CORNER OF SAID LOT 4; AND THENCE WESTERLY ALONG SAID NORTHERLY LINE OF SAID LOT 4, 75.03 FEET (CHORD MEASURE) TO THE POINT OF BEGINNING.

JOB BENCHMARK: NORTH RM ON SAN. M.H. ELEVATION=665.84 (MWD088)

SOURCE BENCHMARK: CITY OF LAKE FOREST B.M. MONUMENT NUMBER 61 ELEVATION=670.379 (MWD 88)

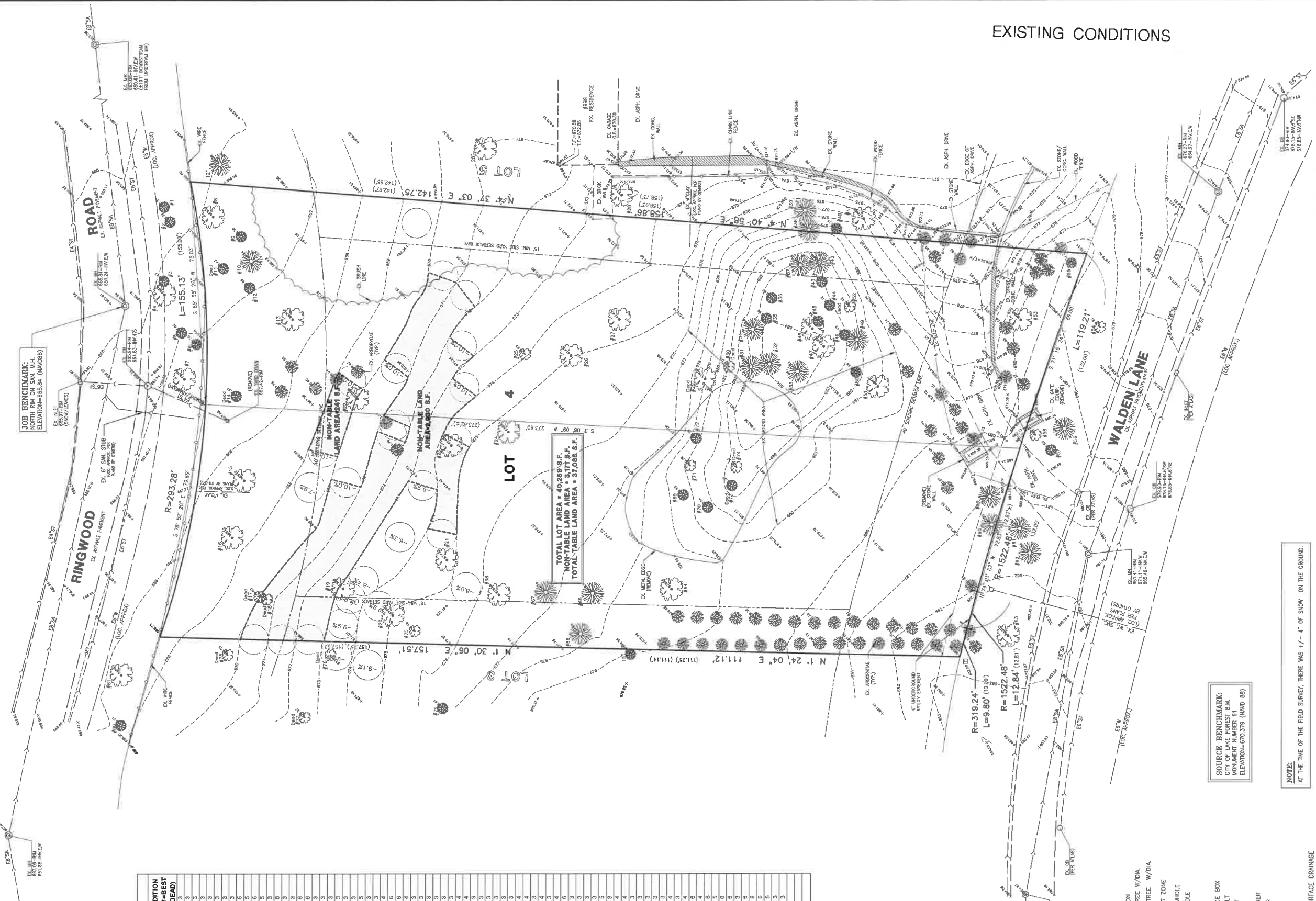
NOTE: AT THE TIME OF THE FIELD SURVEY, THERE WAS +/- 4" OF SNOW ON THE GROUND.

Tree Survey	TAG #	SIZE	SPECIES	CONDITION
				1-6 (1-BEST - 6-DEAD)
	1	8	White Pine	3
	2	11	White Pine	3
	3	27	White Pine	3
	4	8	White Pine	3
	5	8	White Pine	3
	6	13	White Pine	3
	7	20	Red Oak	3
	8	26	Red Oak	3
	9	6	Spirea	5
	10	6	Spirea	5
	11	6	Spirea	5
	12	11	Spirea	5
	13	41	White Oak	3
	14	8	Spirea	6
	15	28	Red Oak	3
	16	22	Red Oak	3
	17	6	Ash	6
	18	6	Ash	6
	19	25	White Oak	3
	20	21	White Oak	3
	21	19	White Oak	3
	22	30	Red Oak	3
	23	22	White Oak	3
	24	30	Red Oak	3
	25	30	Red Oak	3
	26	24	Red Oak	3
	27	25	Red Oak	3
	28	31	White oak	4
	29	20	Elm	6
	30	9	Ash	6
	31	15	Spirea	4
	32	15	Spirea	4
	33	17	Spirea	3
	34	17	Spirea	3
	35	11	Spirea	3
	36	8	Spirea	3
	37	18	Spirea	3
	38	13	Spirea	4
	39	13	Spirea	4
	40	8	White Pine	3
	41	19	Red Oak	3
	42	14	Spirea	3
	43	9	White pine	3
	44	7	Spirea	3
	45	14	Spirea	3
	46	19	Spirea	3
	47	27	Sharon Elm	4
	48	9	Spirea	3
	49	18	Sharon Elm	4
	50	9	Spirea	3
	51	18	White Paster	4
	52	9	Ash	6
	53	9	Elm	6
	54	6	Elm	6
	55	10	Australian Pine	3
	56	18	Spirea	3
	57	8	White Pine	3
	58	9	Norway Maple	3
	59	14	Spirea	4
	60	14	Spirea	4
	61	19	Spirea	3
	62	15	Hickberry	3
	63	27	American Elm	3
	64	20	Red Oak	3
	65	15	Spirea	3
	66	18	Spirea	3
	67	31	Red Oak	4
	68	9	Spirea	6
	69	12	Spirea	4
	70	12	Spirea	4
	71	12	Ash	6
	72	10	Spirea	5
	73	10	Spirea	5
	74	11	Spirea	6
	75	6	American Elm	3
	76	8	American Elm	6
	77	16	American Elm	6
	78	8	Ash	6
	79	9	Spirea	5
	80	11	White Pine	3
	81	20	Red Oak	3

Lou Loggani 847-561-7081 Certified Arborist #177

LEGEND

- CONTOUR
- SPOT ELEVATION
- DECIDUOUS TREE W/D/A
- CONIFEROUS TREE W/D/A
- CRITICAL ROOT ZONE
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- WATER SERVICE BOX
- VALVE & VAULT
- FIRE HYDRANT
- UTILITY POLE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- DITCH
- SWALE
- DIRECTION SURFACE DRAINAGE
- FENCE
- DOWNSPOUT

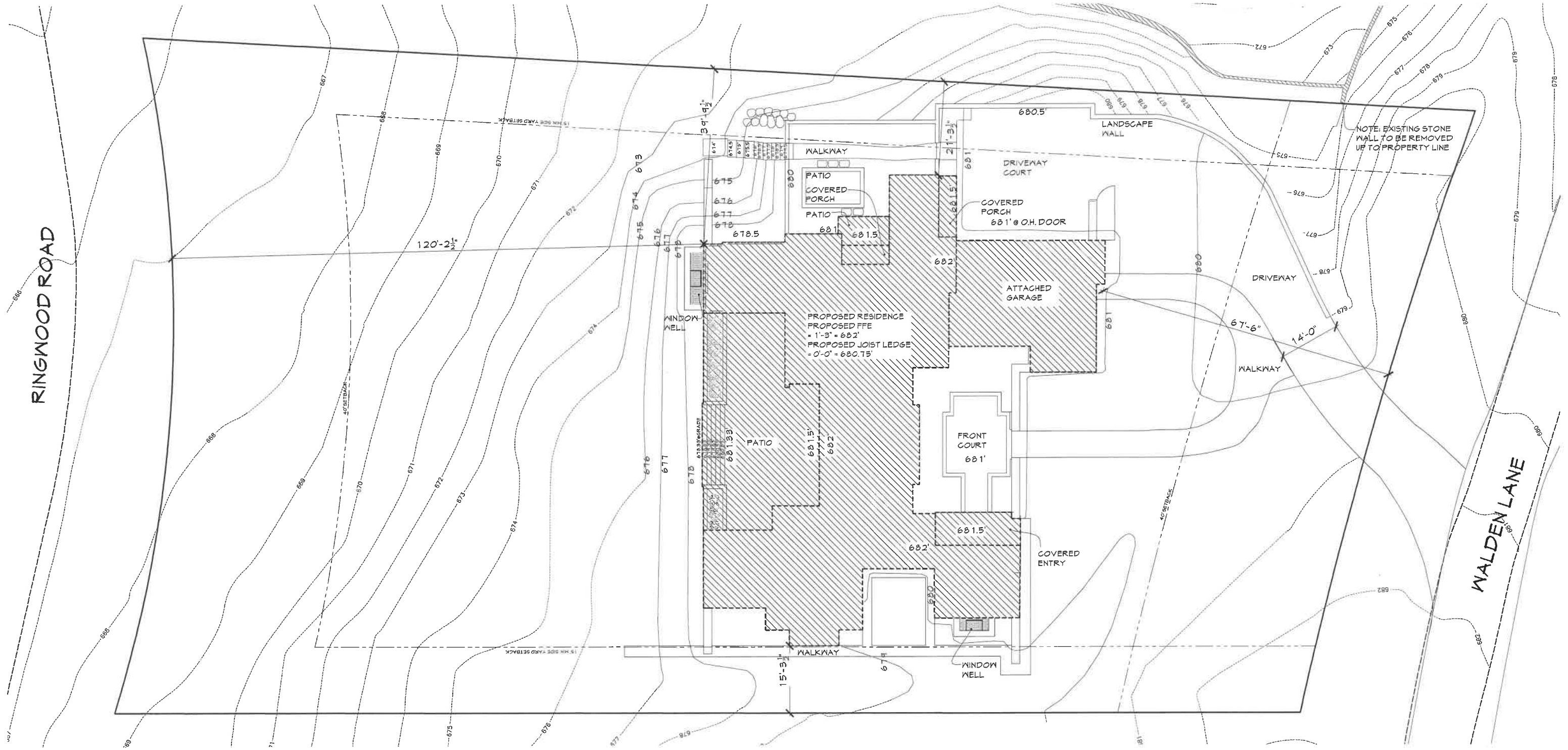


ORDERED BY: DATE: 12-23-25  
 DRAWN BY: DATE: 12-23-25  
 CHECKED BY: DATE: 12-23-25  
 APPROVED BY: DATE: 12-23-25

**GREENGARD, INC.**  
 Engineers, Planners, Architects  
 111 Bairold Blvd., Suite 310, Lincolnshire, Illinois 60069-3615  
 PHONE 847-334-3883 FAX 847-334-0887  
 ILL. REGISTRATION NO. 194-000895

SCALE: 71266  
 DRAWING NO.: 1"=15'  
 SHEET 1 OF 5

SITE PLAN



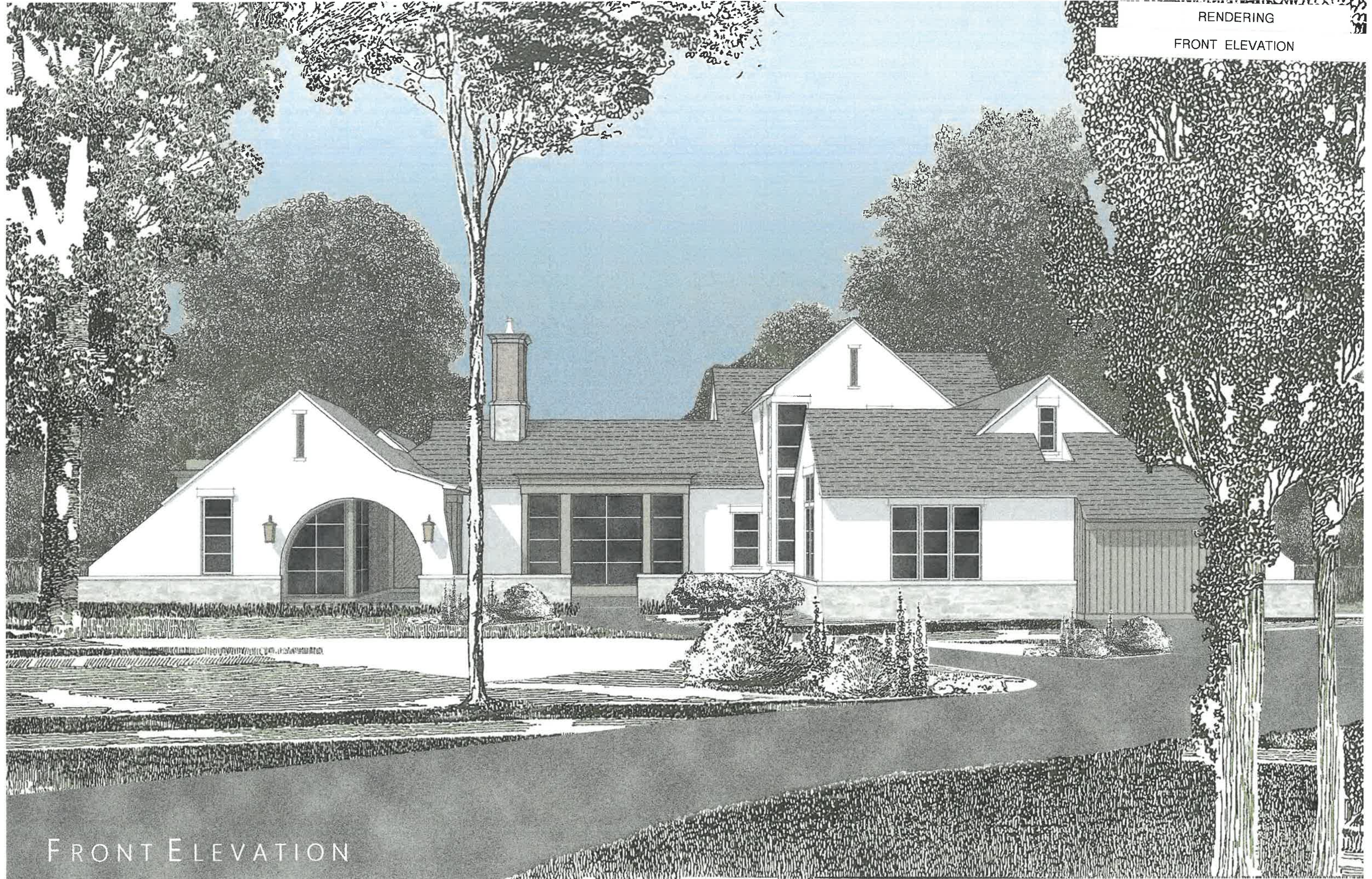
PROPOSED SITE PLAN  
SCALE: 3/64" = 1'-0"

DATE: 02/18/26

The Bernbaum Residence  
938 Walden Lane  
Lake Forest, IL



RENDERING  
FRONT ELEVATION



FRONT ELEVATION

RENDERING

REAR ELEVATION



REAR ELEVATION

SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL



DATE: 02/18/26



PROPOSED EAST ELEVATION

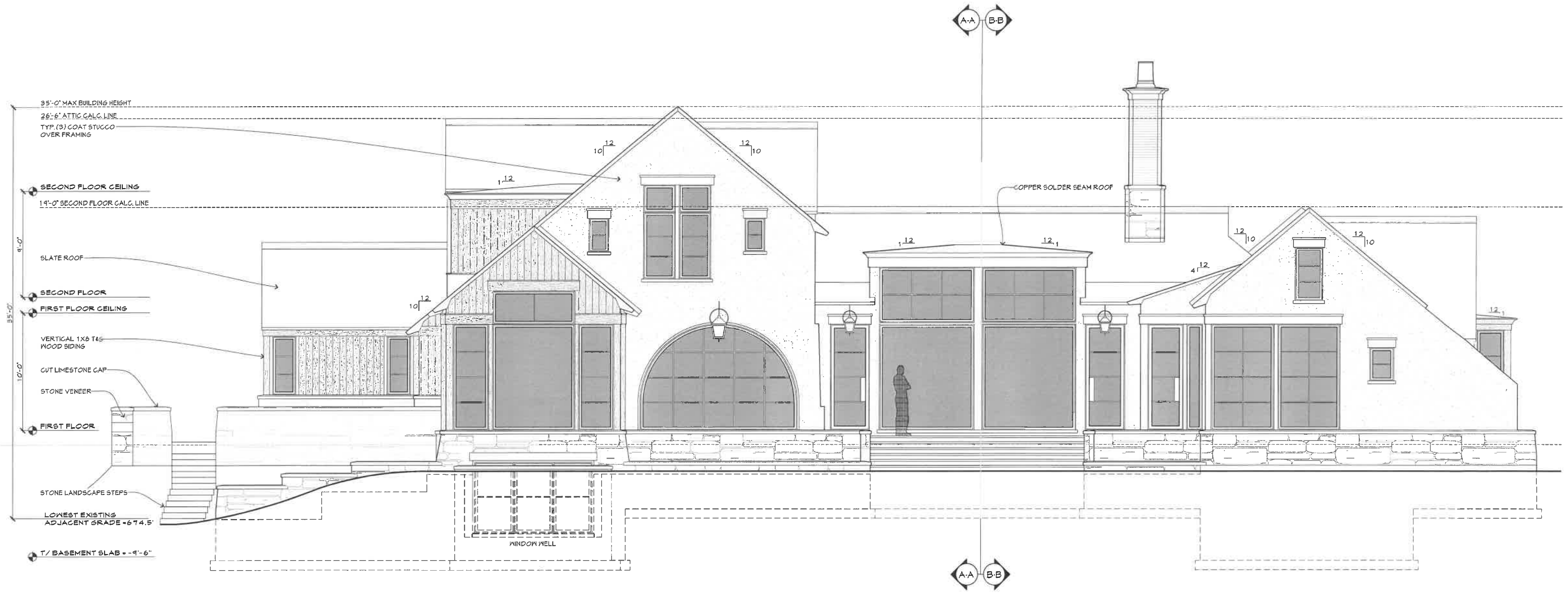
SCALE: 1/8" = 1'-0"

The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL

DATE: 02/18/26

**MAA**  
MICHAEL ABRAHAM ARCHITECTURE



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

# The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL



DATE: 02/18/26



PROPOSED WEST ELEVATION

# The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL





PROPOSED STONE:  
HALQUIST BASSWOOD BUFF

PROPOSED STUCCO:  
WARM WHITE



PROPOSED WOOD SIDING:  
WARM GREY CEDAR



PROPOSED FIRE PLACE BRICK



PROPOSED SLATE:  
NATURAL SLATE

PROPOSED WINDOW/TRIM  
@ STUCCO WALL: WARM WHITE



PROPOSED WINDOW/TRIM  
@ WOOD WALL: BRONZE



PROPOSED PATIO:  
BLUESTONE

# The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL

DATE: 02/18/26





PROPOSED WALL MOUNT



PROPOSED WALL MOUNT



PROPOSED COPPER SCUPPER



PROPOSED COPPER GUTTER



PROPOSED GARAGE DOOR:  
SAME STAIN AS WOOD SIDING



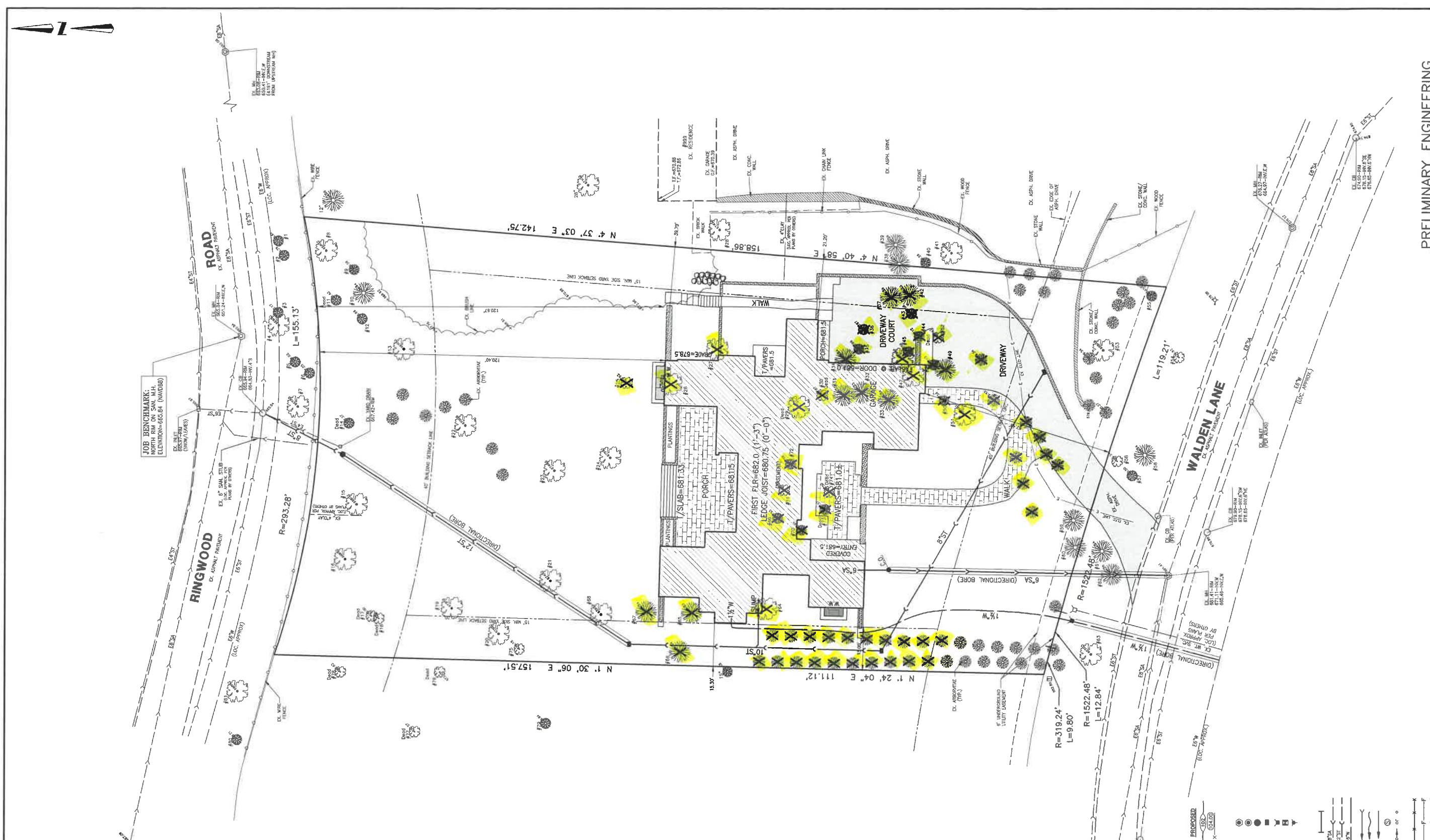
PROPOSED FRONT DOOR

# The Bernbaum Residence

938 Walden Lane  
Lake Forest, IL

DATE: 02/18/26





JOB BENCHMARK:  
NORTH IRM ON SAN. M.H.  
ELEVATION=665.64 (NAVD83)

Tree Survey	TAG #	SIZE	SPECIES	CONDITION
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	12	11	Spruce	5
	13	41	White Oak	5
	14	51	White Oak	5
	15	28	Red Oak	3
	16	22	Red Oak	3
	17	6	Ash	6
	18	6	Ash	6
	19	25	White Oak	3
	20	21	White Oak	3
	21	19	White Oak	3
	22	30	White Oak	3
	23	30	White Oak	3
	24	30	Red Oak	3
	25	9	Red Oak	5
	26	24	Red Oak	3
	27	25	Red Oak	3
	28	31	White oak	4
	29	20	Elm	6
	30	9	Ash	6
	31	16	Spruce	4
	32	11	Spruce	4
	33	17	Spruce	3
	34	17	Spruce	3
	35	11	Spruce	3
	36	9	Spruce	3
	37	16	Spruce	3
	38	13	Spruce	4
	39	15	Spruce	4
	40	9	White Pine	3
	41	19	Red Oak	3
	42	14	Spruce	3
	43	7	Spruce	3
	44	7	Spruce	3
	45	11	Spruce	3
	46	19	Siberian Elm	4
	47	27	Siberian Elm	4
	48	9	Spruce	3
	49	16	Siberian Elm	4
	50	9	Spruce	3
	51	19	White Poplar	4
	52	6	Ash	6
	53	8	Elm	3
	54	8	Elm	3
	55	10	Austrian Pine	3
	56	18	Spruce	3
	57	6	White Pine	5
	58	9	Norway Spruce	3
	59	14	Spruce	4
	60	14	White Pine	4
	61	19	Spruce	3
	62	17	American Elm	3
	63	27	American Elm	3
	64	26	Red Oak	3
	65	15	Spruce	3
	66	18	Spruce	4
	67	14	Spruce	3
	68	31	Red Oak	4
	69	9	Spruce	6
	70	12	Spruce	4
	71	12	Ash	6
	72	10	Spruce	6
	73	14	Ash	6
	74	11	Ash	6
	75	6	American Elm	6
	76	8	American Elm	6
	77	16	American Elm	6
	78	8	Ash	6
	79	9	Spruce	5
	80	11	White Pine	3
	81	25	Red Oak	3

Loc. Legend: 847-561-7061  
Centline Arborist #177

**LEGEND**

**EXISTING**

- CONTOUR
- SPOT ELEVATION
- DECIDUOUS TREE W/DIA.
- CONIFEROUS TREE W/DIA.
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- WATER SERVICE BOX
- VALVE & VAULT
- FIRE HYDRANT
- UTILITY POLE
- LIGHT STANDARD
- STORM CULVERT
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- DITCH
- SWALE
- SUMMIT
- DOWNSPOUT
- OVERHEAD WIRES
- TREE PROTECTION FENCE
- SILT PROTECTION FENCE
- 6" HIGH CHAIN LINK FENCE

**PROPOSED**

- CONTOUR
- SPOT ELEVATION
- DECIDUOUS TREE W/DIA.
- CONIFEROUS TREE W/DIA.
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- WATER SERVICE BOX
- VALVE & VAULT
- FIRE HYDRANT
- UTILITY POLE
- LIGHT STANDARD
- STORM CULVERT
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- SWALE
- SUMMIT
- DOWNSPOUT
- OVERHEAD WIRES
- TREE PROTECTION FENCE
- SILT PROTECTION FENCE
- 6" HIGH CHAIN LINK FENCE

PRELIMINARY ENGINEERING

938 WALDEN LANE - LAKE FOREST, IL

SITE PLAN

SCALE: 71266  
DRAWING NO. 1"=15'  
SHEET 2 OF 5



GREENGARD, INC.  
Engineers & Surveyors, Planners  
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615  
PHONE: 847-634-3863  
FAX: 847-634-0987

DESIGNED BY: DATE: 12-23-25  
AC  
CHECKED BY: DATE: 12-23-25  
AC  
APPROVED BY: DATE: 12-23-25  
DDF

NEW HOUSE FOOTPRINT & GRADING PER ARCHITECT  
12-22-26  
P/CITY REVIEW  
DATE:

Tree Survey		CONDITION 1-6 (1=BEST -6=DEAD)
TAG #	SIZE SPECIES	
1	8 White Pine	3
2	11 White Pine	3
3	7 White Pine	3
4	27 Red Oak	3
5	8 White Pine	3
6	13 White Pine	3
7	20 Red Oak	3
8	26 Red Oak	3
9	8 Spruce	5
10	12 Spruce	5
11	8 Spruce	5
12	11 Spruce	5
13	41 White Oak	3
14	8 Spruce	5
15	28 Red Oak	3
16	22 Red Oak	3
17	8 Ash	5
18	8 Ash	5
19	25 White Oak	3
20	21 White Oak	3
21	19 White Oak	3
22	30 Red Oak	3
23	22 White Oak	3
24	30 Red Oak	3
25	9 Red Oak	5
26	24 Red Oak	3
27	20 Red Oak	3
28	31 White oak	4
29	20 Elm	5
30	8 Ash	5
31	16 Spruce	4
32	11 Spruce	3
33	17 Spruce	3
34	17 Spruce	3
35	11 Spruce	3
36	9 Spruce	3
37	16 Spruce	3
38	13 Spruce	4
38	15 Spruce	4
40	9 White Pine	3
41	19 Red Oak	3
42	14 Spruce	3
43	8 White pine	3
44	7 Spruce	3
45	11 Spruce	3
46	19 Siberian Elm	4
47	27 Spruce Elm	4
48	9 Spruce	3
49	16 Siberian Elm	4
50	9 Spruce	3
51	19 White Poplar	4
52	6 Ash	5
53	18 Maple	3
54	8 Elm	3
55	10 Austrian Pine	3
56	18 Spruce	3
57	8 White Pine	5
58	8 Norway Maple	3
59	14 Spruce	4
60	14 White Pine	4
61	19 Spruce	3
62	15 Hackberry	3
63	27 American Elm	3
64	25 Red Oak	3
65	15 Spruce	3
66	18 Spruce	4
67	14 Spruce	3
68	31 Red Oak	4
69	8 Spruce	5
70	12 Spruce	4
71	12 Ash	5
72	10 Spruce	5
73	12 Spruce	5
74	11 Ash	5
75	8 American Elm	3
76	8 American Elm	5
77	16 American Elm	5
78	8 Ash	5
79	8 Spruce	5
80	11 White Pine	3
81	25 Red Oak	3
Lou Leggett 647-561-7061		
Certified Arborist #177		



PROJECT:  
**THE BERNBAUM  
RESIDENCE**  
LAKE FOREST, IL 60045

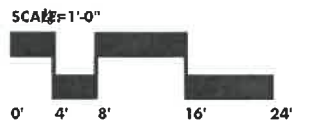
**LEGEND**

- EXISTING PLANT MATERIAL
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB MASSING, TYP.
- PERENNIAL BED AREAS, TYP.

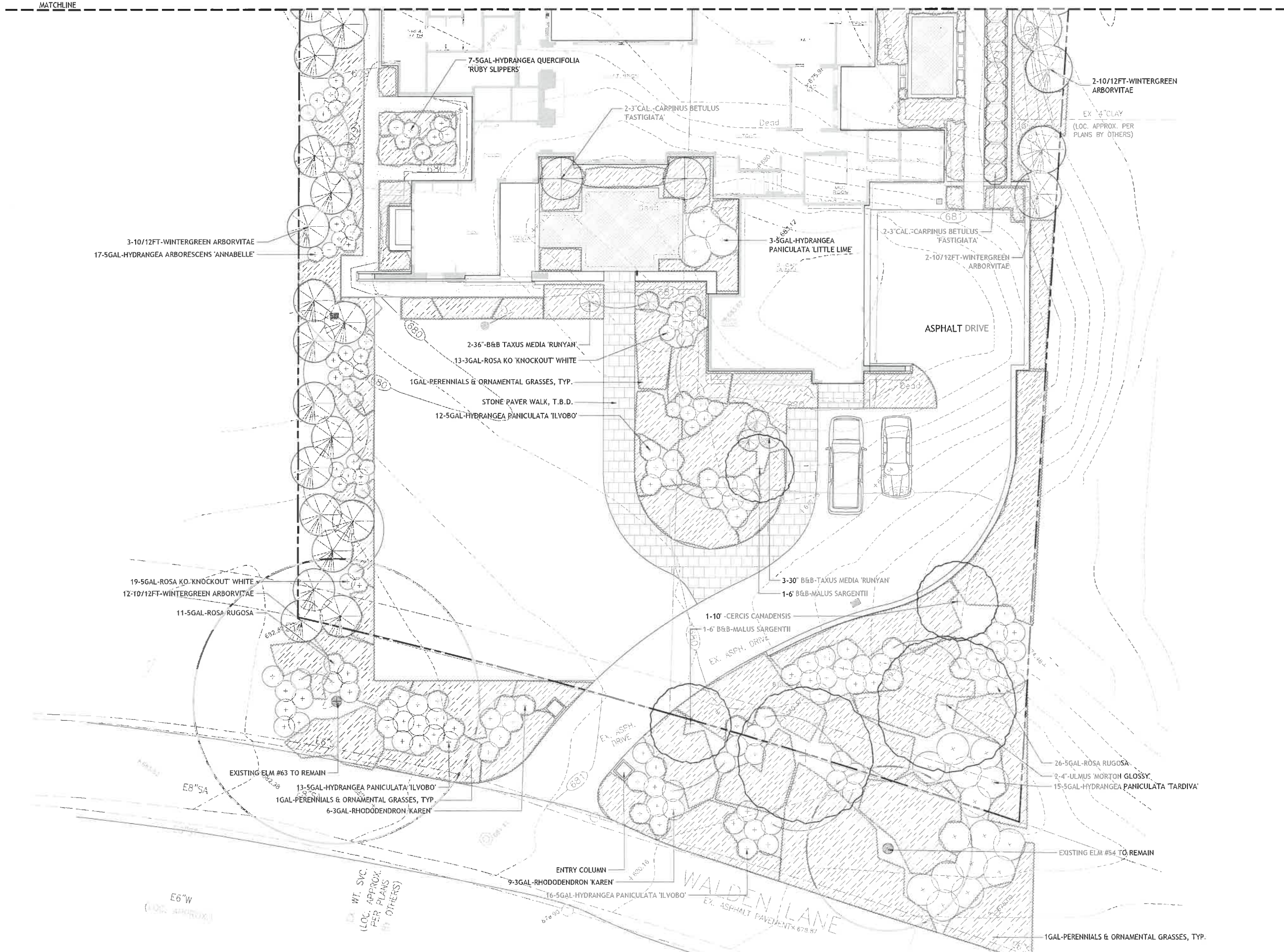
SHEET TITLE:  
**PRELIMINARY  
PLANTING PLAN -  
FRONT**

ISSUE DATE:  
1/22/2026  
DRAWN BY: BAW APPROVED BY: WFE

REVISIONS:	DATE:	REVISION:	REV BY:
1	01/23/2026	DRIVEWAY LAYOUT	PX



NORTH  
SHEET NUMBER:  
**L2-01**





EISERMAN AND ASSOCIATES  
 639 Second St. Libertyville, IL 60048  
 www.eisermanandassociates.com P. 847-343-4444  
 F. 847-343-4442 info@eisermanandassociates.com

PROJECT:  
**THE BERNBAUM  
 RESIDENCE**  
 LAKE FOREST, IL 60045

**LEGEND**

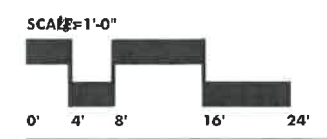
- EXISTING PLANT MATERIAL
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB MASSING, TYP.
- PERENNIAL BED AREAS, TYP.

SHEET TITLE:  
**PRELIMINARY  
 PLANTING PLAN -  
 BACK**

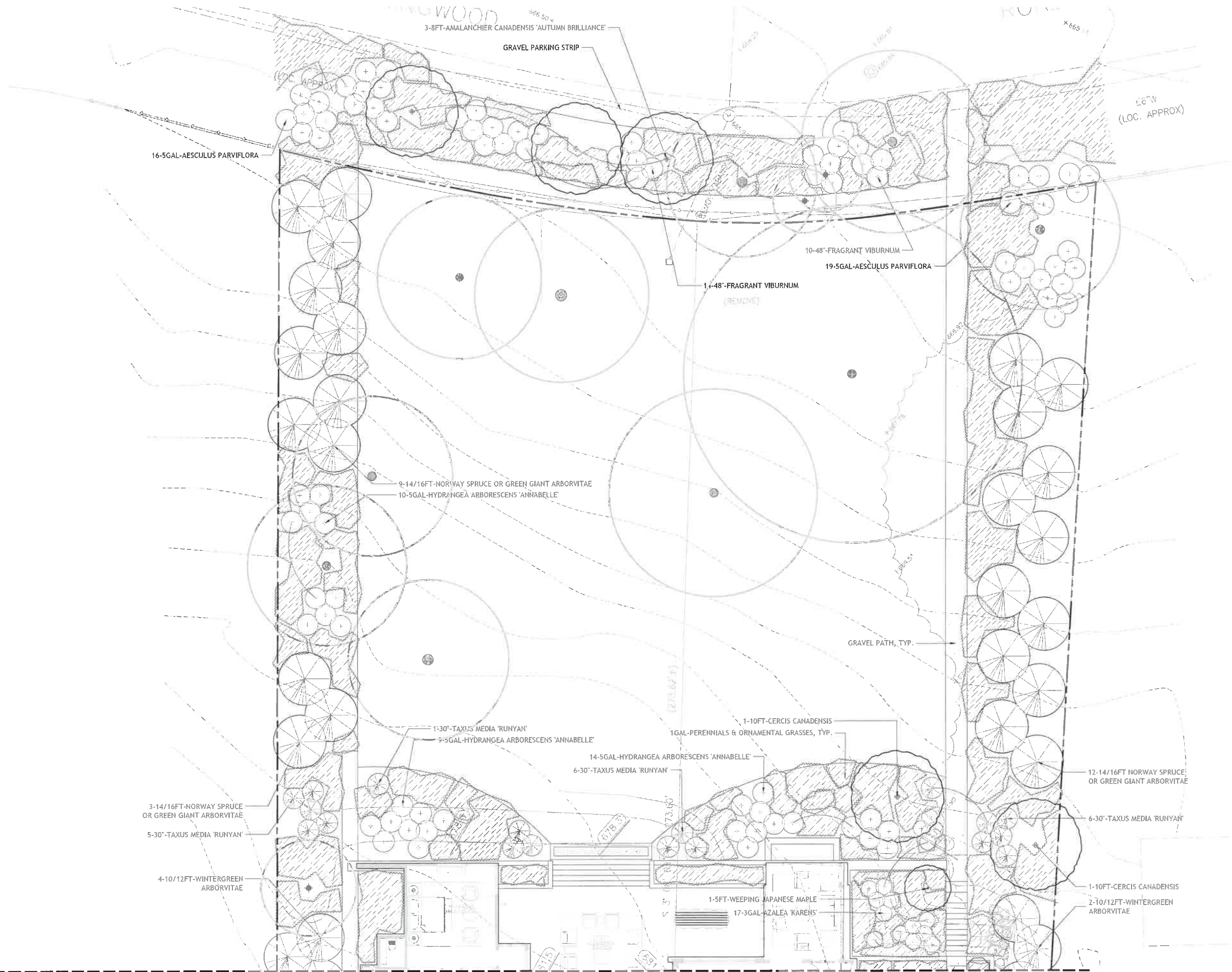
ISSUE DATE:  
 1/22/2026  
 DRAWN BY: SAW APPROVED BY: WPE

REVISIONS:

DATE	REVISION	REV BY
01/23/2026	DRIVEWAY LAYOUT	PX



NORTH  
 SHEET NUMBER:  
**L2-02**



MATCHLINE



Preliminary Plan