

Agenda Item 3
710 Buena Road
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Streetscape Study
Roof Plan
Building Section
Floor Plans
Tree Survey
Tree Removal Plan
Landscape Plan

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

710 Buena Road

Consideration of a new residence with an attached garage on a vacant property and consideration of the associated hardscape and a conceptual landscape plan.

Property Owner: Manesh and Tinu Agarwal
Contract Purchasers: David Aguayo and Kerri Breslin
Presented by: Jeff Letzter, Aspect Design, Inc.

Staff Contact: Susan Thomas, Assistant Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new residence on a vacant lot in an established neighborhood ("The Ponds") generally located east of Route 41 and south of Westleigh Road.

Description of Property

The property that is the subject of this petition is less than a half-acre in size, generally rectangular in shape, and is located on the west side of Buena Road, between Sandpiper Lane and Barn Swallow Road. The surrounding lots are all developed with homes that, for the most part, were constructed in the 1980's. Based on the Lake County Tax Assessor's records, the subject property appears to have been in the ownership of one family for several decades. The parcel was never developed. This is the last vacant parcel in the Ponds Subdivision.

The property is heavily vegetated with what appears to be primarily buckthorn making it difficult to stake the footprint and if it is staked, the stakes will be difficult to see. Based on the tree survey on the engineering plans, there are eight small trees on the site. Five of the trees are of low quality species. The location of the trees on the tree removal plan appears to differ slightly from the location of the trees as reflected on the engineering plans. In addition to the trees on the site, there are three parkway trees generally located at the front of this property. It appears that at least one of the parkway trees will be impacted by the proposed construction.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The residence is sited approximately 40 feet from the front property line aligned with other homes along the street and in compliance with all setbacks as established by the

Robert W. Kendler's Ponds Subdivision plat. The asphalt driveway accesses a sideloaded garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,726 square feet is permitted with allowances of 576 square feet for a garage and 373 square feet for design elements.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,635 square feet.
- In addition to the above square footage, 223 square feet of design elements are incorporated into the design of the residence, less than the maximum allowed.
- The proposed garage totals 663 square feet. The garage square footage over and above the allowed 576 square feet is added to the square footage of the residence.
- The total square footage of the residence and the excess garage square footage is 3,722.

The proposed residence is three square feet, less than one percent below the allowable square footage for this property.

At its tallest peak, based on available information, the residence is approximately 27 feet. The maximum height allowed for a residence on this size lot is 30 feet. During construction, an as built survey will be required to verify that the height conforms to the approved plans as measured from the lowest point of existing adjacent grade to the tallest peak.

Staff Recommendation: Submit as-built drawings during the construction process to verify that the building height conforms to the approved plans as measured from the lowest point of existing adjacent grade to the tallest peak of the roof.

Elevations – This standard is generally met.

The petitioner identifies the architectural style of the home as Cottage style. Cottage style homes are recognized by their steep gable roofs, prominent chimneys, multi-paned windows, natural materials such as stone and wood, and charming details such as arched doors or small porches.

On the northeast (front) elevation, the central massing is symmetrical before the home steps down at the north wing where it meets the garage at a right angle. The elevation demonstrates steep gables and a covered entrance reflective of the Cottage style. The upper expanse of the chimney is visible. The casement windows on the front elevation are regularly arranged and consistently rectangular with muntin bars.

The side elevations do not have the same level of detail as the front elevation. The northwest (right) elevation shows a large expanse of unbroken wall which could benefit from the addition of windows to better balance the wall to openings. On the northwest (right) elevation, the first floor rectangular windows are evenly placed but located higher on the façade than the height of the first floor windows on the southeast (left) elevation. There, the windows may benefit from regular placement and sizing. The second floor on the southeast (left) elevation features two shed dormers.

The southwest (rear) elevation features a chimney and a screened porch. The porch includes a single door with a stoop that provides access to the concrete paver patio. Various roof forms appear on the southwest (rear) elevation.

Staff Recommendation: Refine the side elevations to create a better balance between the expanse of solid walls and the windows. Provide consistency in window placement and size.

Board input on the roof forms visible on the rear elevation is requested.

Type, color, and texture of materials – This standard is met.

The primary exterior materials proposed are brick and vertical wood siding. The brick will be painted white. Limestone, wood and brick are proposed for trim. The first floor windows and garage door frame heads feature brick soldier coursing. Windows on the second floor include cedar board head and trim.

White casement windows are proposed with white muntins affixed to the interior and exterior. The windows are aluminum clad wood windows. Vertical cedar wood siding is proposed for the second floor and the area adjacent to the garage. A wood front door with glass panels is proposed with narrow sidelights.

A synthetic roof product with snow guards is proposed to imitate the appearance of cedar shingles. The flashing material proposed is aluminum along with the gutters and downspouts.

Asphalt is proposed for the driveway. Concrete brick pavers are proposed for the rear patio.

The petitioner is expected to provide samples of all exterior materials and the color palette at the meeting.

Staff Recommendation: Exterior material samples and the color palette shall be presented by the petitioner at the Board meeting.

Landscaping - This standard is not yet met.

As noted above, the tree removal plan identifies eight (8) trees of varying species, size and condition. Of those trees, it appears that three (3) are planned for removal from

the site. The conceptual landscape plan shows a cluster of three (3) Poplar trees as undisturbed in front of the garage, however the tree survey shows the same trees in the footprint of the garage. Clarification is needed regarding the location of the Poplar trees in relation to the garage. If the Poplar trees can be preserved, they should be. The house could potentially be shifted back further on the site if determined to be appropriate by the City's Certified Arborist in order to preserve the Poplar trees. The tree survey plan notes an Ash tree as nearly dead; however, it appears on the conceptual landscape plan. The conceptual landscape plan refers to three (3) existing Leaf Linden trees while the Tree Survey indicates none on the property. The Linden trees appear to be located on the City right-of-way, in the parkway. Any parkway trees impacted by construction will need to be replaced as directed by the City's Certified Arborist.

The conceptual landscape plan shows four (4) trees that would only be planted if they are required. Staff will work with the applicant to identify which trees will need to be removed and confirm the required inch-for-inch replacement.

The plan proposes three (3) shade trees and three (3) evergreen trees which meet the minimum tree planting requirements for new residences. Replacement tree inches will be required over and above the minimum requirement as determined to be necessary by the City's Certified Arborist.

Foundation plantings are absent from the northwest side. The minimum landscape standards in the Code relating to foundation plantings must be fully satisfied on the final landscape plan along with any additional trees required to satisfy the required replacement inches for trees removed. Screening should be reflected on the final landscape plan to conceal the HVAC and utility equipment.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Submit a complete and accurate tree survey and tree removal plan. Trees in the parkway in front of the property should be reflected on the tree survey. Clearly indicate the trees proposed for removal and the relationship of the trees to areas that will be impacted by construction.

Staff Recommendation: Prepare a final landscape plan that fully meets Code requirements for new residences and all required replacement tree inches as determined by the City's Certified Arborist including parkway trees is applicable.

Staff Recommendation: Provide screening for HVAC and utility equipment.

Public Comment

Public notice of this petition was provided in accordance with City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's

website and at various public locations. As of the date of this writing, the City received a letter of approval from the Ponds Homeowners Association Board.

Recommendation

Recommend approval of a new residence with an attached garage on a vacant parcel at 910 Buena Road along with the associated hardscape. The landscape plan is addressed in the conditions of approval. The recommendation is subject to the following conditions of approval

1. Prior to submittal for permit, the following shall be addressed:

Elevations and Exterior Materials

- a. Provide the height of the residence in relation to the *lowest point of existing adjacent grade* on the plans submitted for permit. Clearly delineate the existing grades on the plan. (An as-built survey will be required during the construction process to demonstrate that the height of the house aligns with the height as reflected on the plans approved for permit.)
- b. Refine the northwest elevation to include the addition of window openings to break up the solid wall massing. Ensure the windows on both the northwest and southeast elevations are regularly placed and of similar size.
- c. Refine the roof forms in the southwest (rear) elevation if so directed by the Board.

Tree Removal and Landscape Plan

- d. Submit a complete and accurate tree survey and tree removal plan. Trees in the parkway in front of the property should be reflected on the tree survey. Clearly indicate the trees proposed for removal and the relationship of the trees to areas that will be impacted by construction.
- e. Prepare a final landscape plan that fully meets Code requirements for new residences and all required replacement tree inches as determined by the City's Certified Arborist including parkway trees is applicable.
- f. Provide screening for HVAC and utility equipment.

2. All modifications to the plans, including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

Tree Protection

- a. Submit a tree protection fencing plan. Fencing must be installed prior to issuance of permits and is subject to approval by the City.
- b. If required by the City's Certified Arborist, submit a plan for pre and post construction treatment for trees intended for preservation to increase the chance of long-term survival and minimum the impact of construction.

Drainage and Grading

- c. Submit detailed drainage and grading plans. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- d. Submit details of all exterior lighting on the structures and landscape lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- e. Submit a plan for contractor parking and equipment and materials' staging. The plan will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The adjacent and nearby streets must remain clean and passable throughout construction. Driveways may not be blocked.

4. Submit as-built drawings during the construction process to verify that the building height conforms to the approved plans as measured from the lowest adjacent grade to the tallest peak of the roof.

E WESTLEIGH RD

S BUENA RD

S BUTLER DR

W HERON RD

S VALLEY RD

W SANDPIPER LN

Area of Request
710 Buena Road

S RT A1

W QUAIL DR

E QUAIL DR

FALLS CR

W NORTH AVE

E NORTH AVE

W STONE AVE

E STONE AVE





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 710 S. BUENA

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION
MAHESH K. AGARWAL, TRUSTEE
TINU AGARWAL, TRUSTEE
Owner of Property

TIO BUENA RD.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

650-722-1453
Phone Number *Fax Number*

mt8217@aol.com
Email Address

Mahesh Agarwal
Tinu Agarwal
Owner's Signature

ARCHITECT/BUILDER INFORMATION
JEFF LETZTER, PROJ. MGR
FRAN BOTTS, ARCHITECT
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26575 COMMERCIAL DR
Street Address

VOLO, IL 60073
City, State and Zip Code

(847) 457-2500
Phone Number *Fax Number*

JEFFLETZTER@ASPECTDESIGNINC.COM
Email Address

[Signature]
Representative Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|---|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Wood VERTICAL Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material **ARCTIC WHITE**

Window Treatment

- | | |
|--|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement | <input type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |

Color of Finish **WHITE**

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

- | | |
|---|---|
| Door Trim | Window Trim |
| <input checked="" type="checkbox"/> Limestone | <input checked="" type="checkbox"/> Limestone |
| <input checked="" type="checkbox"/> Brick | <input checked="" type="checkbox"/> Brick |
| <input checked="" type="checkbox"/> Wood | <input checked="" type="checkbox"/> Wood |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |

Fascias, Soffits, Rakeboards

- Wood
 Other **WHITE**

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other WHITE

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material'

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles CEDAR LOOK
- Sheet Metal
- Other WITH SNOW GUARDS

Flashing Material

- Copper
- Sheet Metal
- Other ALUM.

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

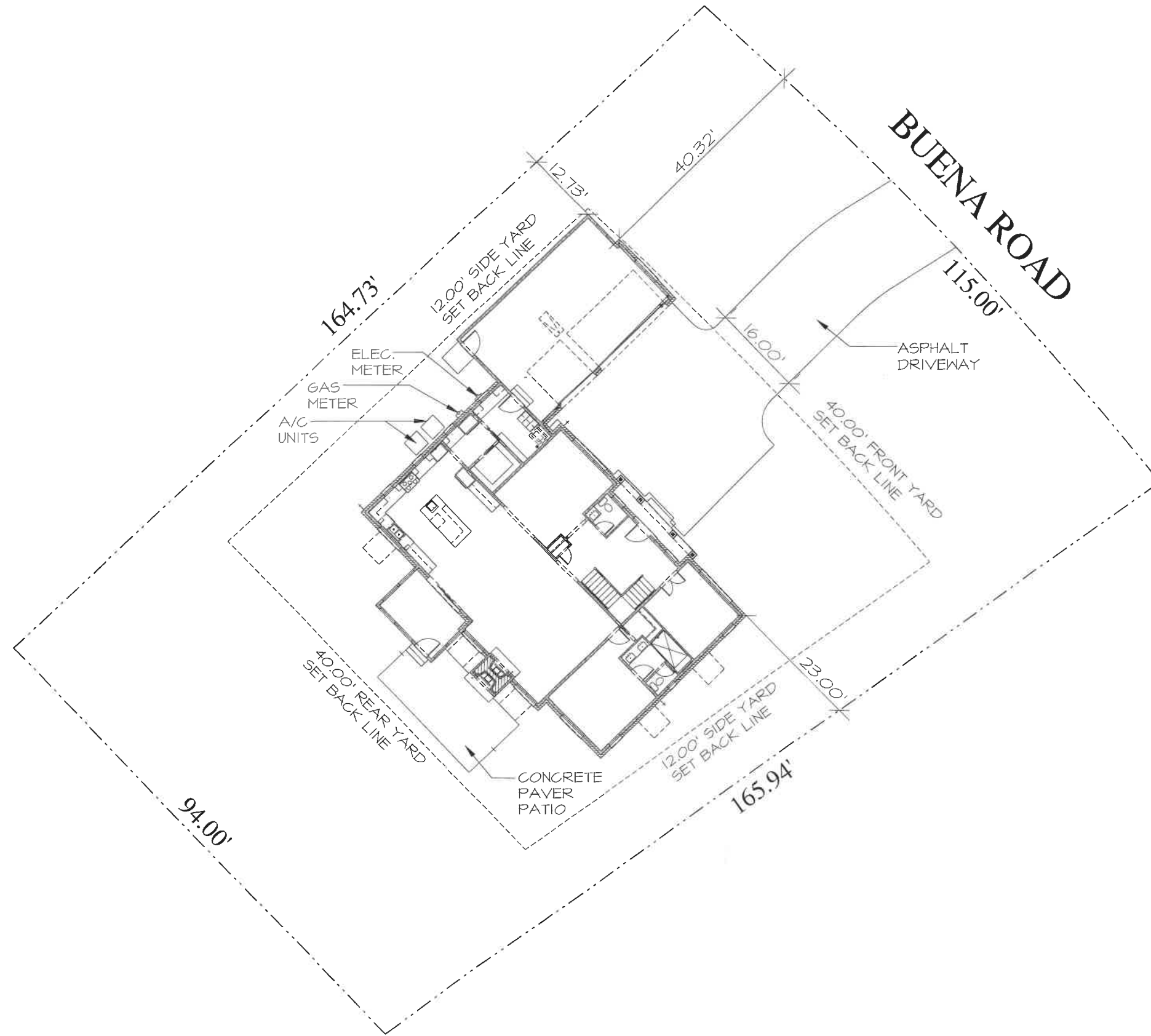
Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



Statement of Intent – 710 S. Buena Road

1. Project Objective
The goal of this project is to seamlessly integrate a Cottage Style home into the existing neighborhood, maintaining harmony with the surrounding architectural character.
2. Design Approach
The home is designed with the garage facing the South / East side of the property. The primary visual focus will be on the front entry, porch, and rooflines as viewed from Buena Road. These elements are carefully planned to reduce the overall scale, proportions, and perceived mass of the home, ensuring a balanced and cohesive aesthetic across all elevations.
3. Material Selection
The exterior of the home will feature full bed depth brick, painted a white color. The windows will be aluminum-clad with a white finish, while the roof will be covered with cedar-looking composite roof shingles with snow guards.
4. Conclusion
Our objective is to construct an elegant and understated home that blends harmoniously into its surroundings. The refined quality of the design will enhance the neighborhood, providing an attractive yet subtle addition to the existing landscape.
5. Variances
No variances are required for the proposed design.
6. The home plans have been reviewed and approved by the HOA of the subdivision. (letter provided).



1 SITE PLAN (17,335 S.F.)
AR 02

SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY - NOT FOR CONSTRUCTION

RESIDENCE

CUSTOM RESIDENCE
710 S. BUENA ROAD
LAKE FOREST, IL 60045

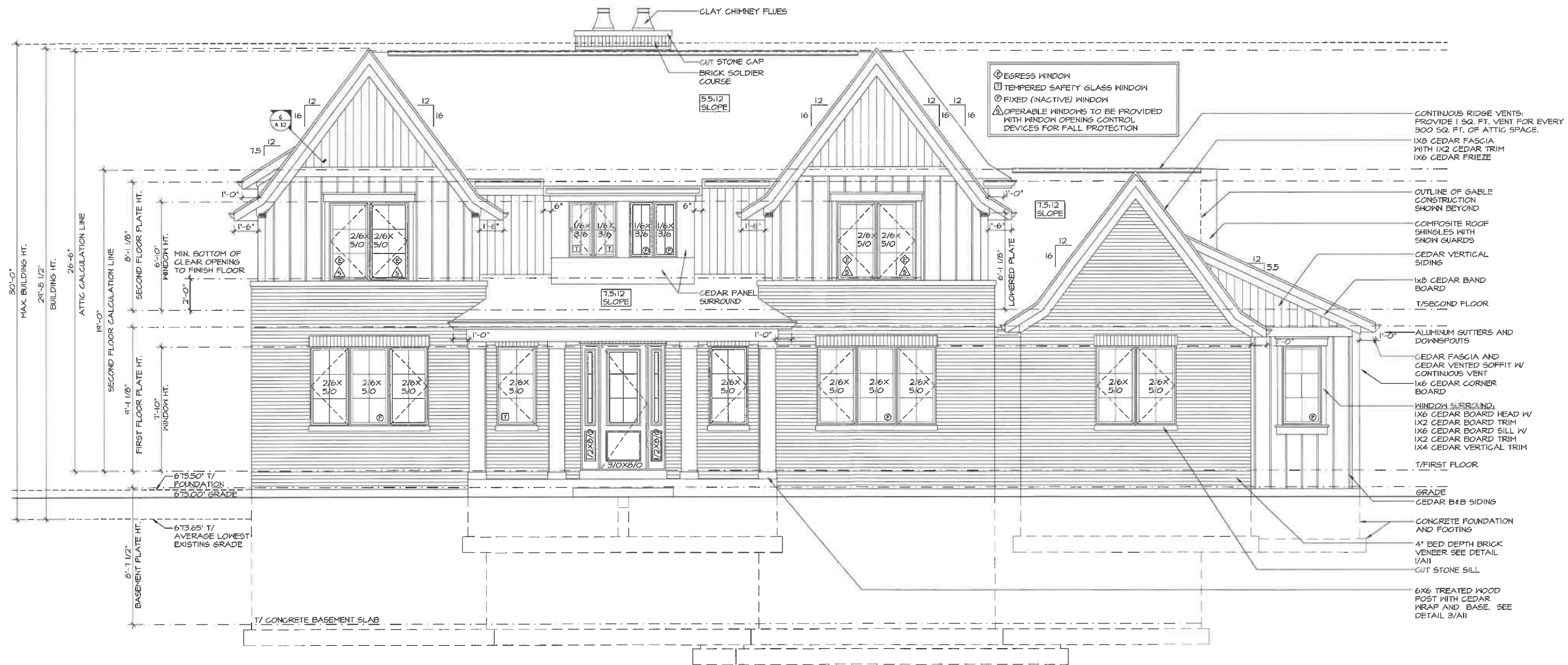
REVIEW	10/02/205
REVIEW	10/10/205
REVIEW	10/21/205
HOA REVIEW	10/29/205
REVIEW	11/12/205
REVIEW	12/04/205
REVIEW	12/11/205

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LIC# 061440604



PROJECT# AD25163
DRAWN BY: DB / MB
710 S. BUENA ROAD
SITE PLAN

AR 02



REVIEW ONLY-NOT FOR CONSTRUCTION

RESIDENCE
 CUSTOM RESIDENCE
 710 S. BUENA ROAD
 LAKE FOREST, IL 60045

REVIEW	10/06/2025
REVIEW	10/10/2025
REVIEW	10/21/2025
HOA REVIEW	10/29/2025
REVIEW	11/10/2025
REVIEW	12/04/2025
REVIEW	12/11/2025

26575 COMMERCE DR.
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 Volo, IL 60073
 MAIN: 847-457-2500
 WWW.ASPECTDESIGN.COM
 IL ARCH 14-00605



PROJECT # AD25163
 DRAWN BY: DB / MB
 710 S. BUENA ROAD
 EXTERIOR ELEVATIONS

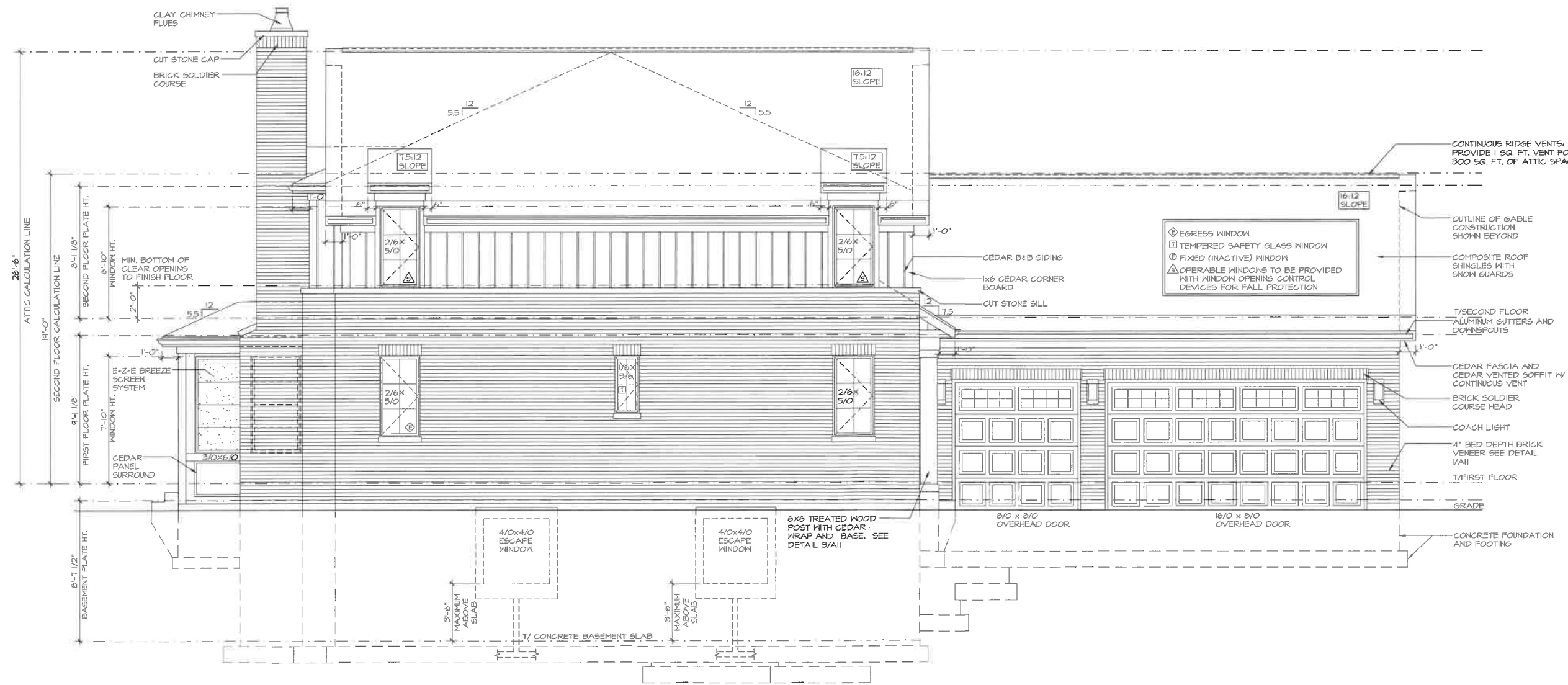
AR 03

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SCALE: N.T.S.

1 FRONT ELEVATION
 AR 03

SOUTHEAST ELEVATION



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RESIDENCE
 CUSTOM RESIDENCE
 710 S. BUENA ROAD
 LAKE FOREST, IL 60045

REVIEW	10/06/2025
REVIEW	10/10/2025
REVIEW	10/21/2025
HQA REVIEW	10/29/2025
REVIEW	11/13/2025
REVIEW	12/04/2025
REVIEW	12/11/2025

126575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 MAIN: 847-457-2500
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 IL 15-000-040604



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710 S. BUENA ROAD
 EXTERIOR ELEVATIONS

AR 04

4 OF 15 TOTAL SHEETS

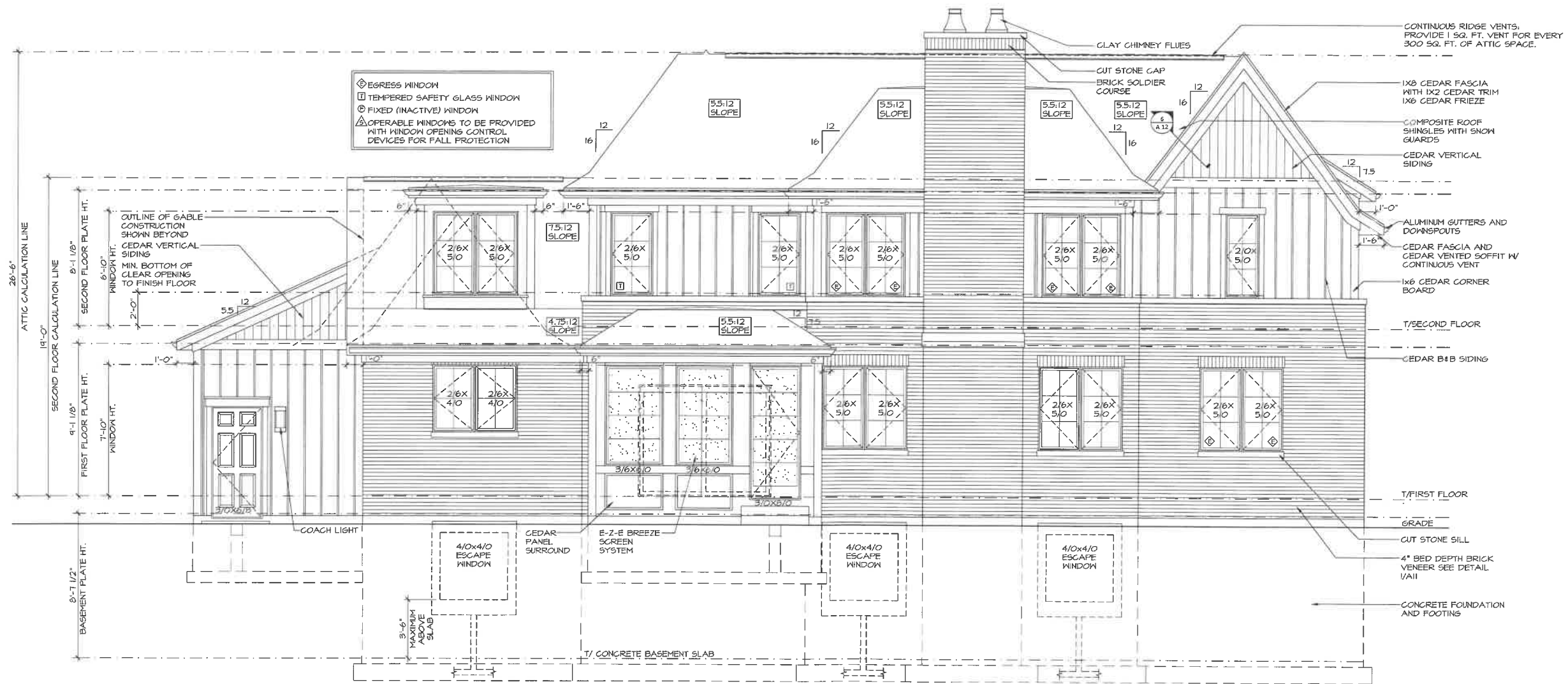
1 LEFT ELEVATION
 AR 04

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SOUTHWEST ELEVATION



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RESIDENCE
 CUSTOM RESIDENCE
 710 S. BUENA ROAD
 LAKE FOREST, IL 60045

26575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 www.aspectdesigninc.com
 MAIN: 847-457-2500
 FAX: 847-457-1464



PROJECT # AD25163
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 710 S. BUENA ROAD
 EXTERIOR ELEVATIONS

AR 05

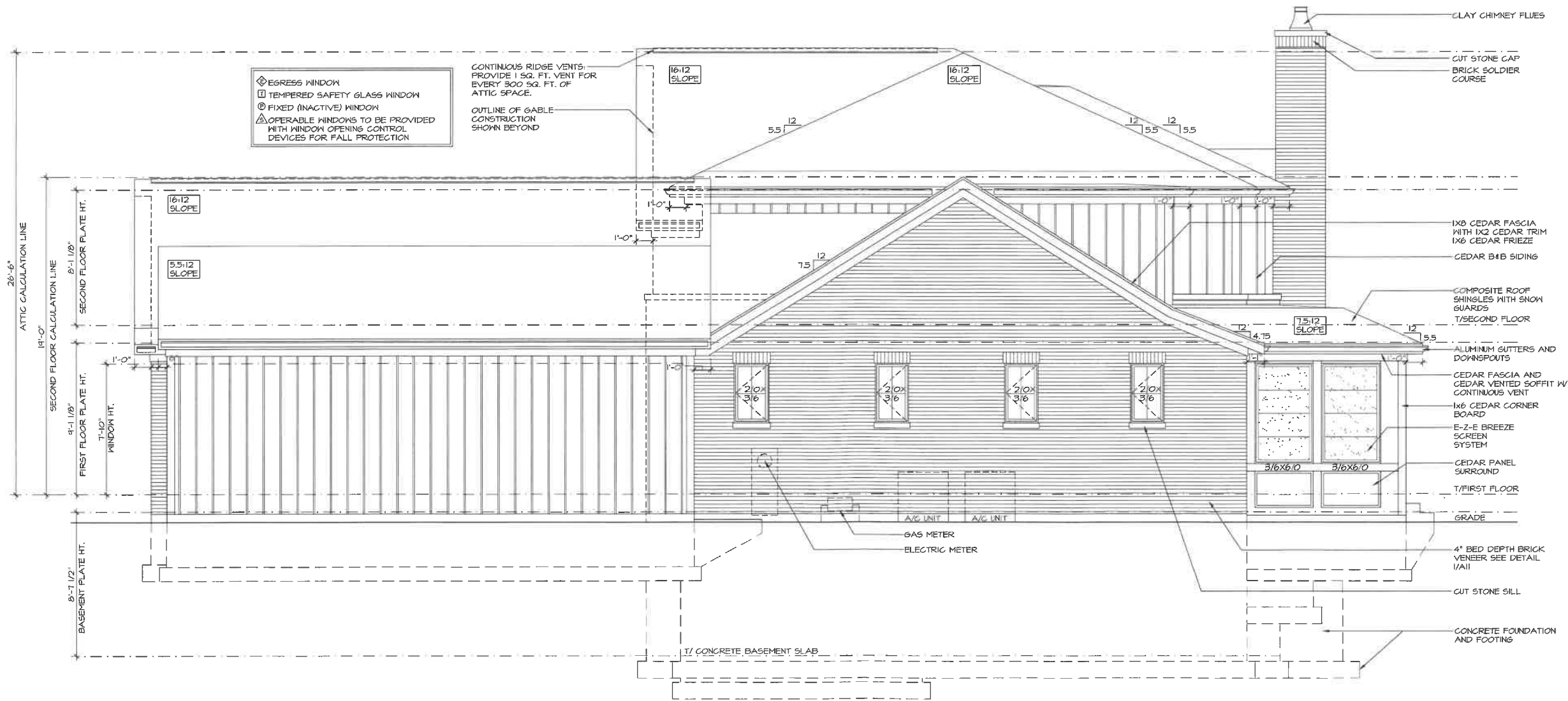
5 OF 15 TOTAL SHEETS

1 REAR ELEVATION
 AR 05

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 CUSTOM RESIDENCE
 710 S. BUENA ROAD
 LAKE FOREST, IL 60045

26575 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 MAIN: 847-457-2500
 WWW.ASPECTDESIGNINC.COM
 | 1.800.658.1464

ASPECT DESIGN INC.
 ARCHITECTS

PROJECT # AD25163
 DRAWN BY: DB/MB
 710 S. BUENA ROAD
 EXTERIOR ELEVATIONS

AR 06

6 OF 15 TOTAL SHEETS

1 RIGHT ELEVATION
 AR 06

SCALE: N.T.S.

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720 S. BUENA



710 S. BUENA



694 S. BUENA

REVIEW-ONLY-NOT FOR CONSTRUCTION

REVIEW	10/02/2025
REVIEW	10/10/2025
REVIEW	10/21/2025
HOA REVIEW	10/29/2025
REVIEW	11/11/2025
REVIEW	12/04/2025
REVIEW	12/11/2025

RESIDENCE
 CUSTOM RESIDENCE
 710 S. BUENA ROAD
 LAKE FOREST, IL 60045

26575 COMMERCE DR.
 SUITE 607
 VOLVO IL 60073
 MAIN: 847-457-2500
 WWW.ASPECTDESIGNINC.COM
 IL LICENSE #1606004



PROJECT #	AD25163
DRAWN BY:	DB / MB
710 S. BUENA ROAD STREETSCAPE	
AR 01	
# 1 OF 15 TOTAL SHEETS	

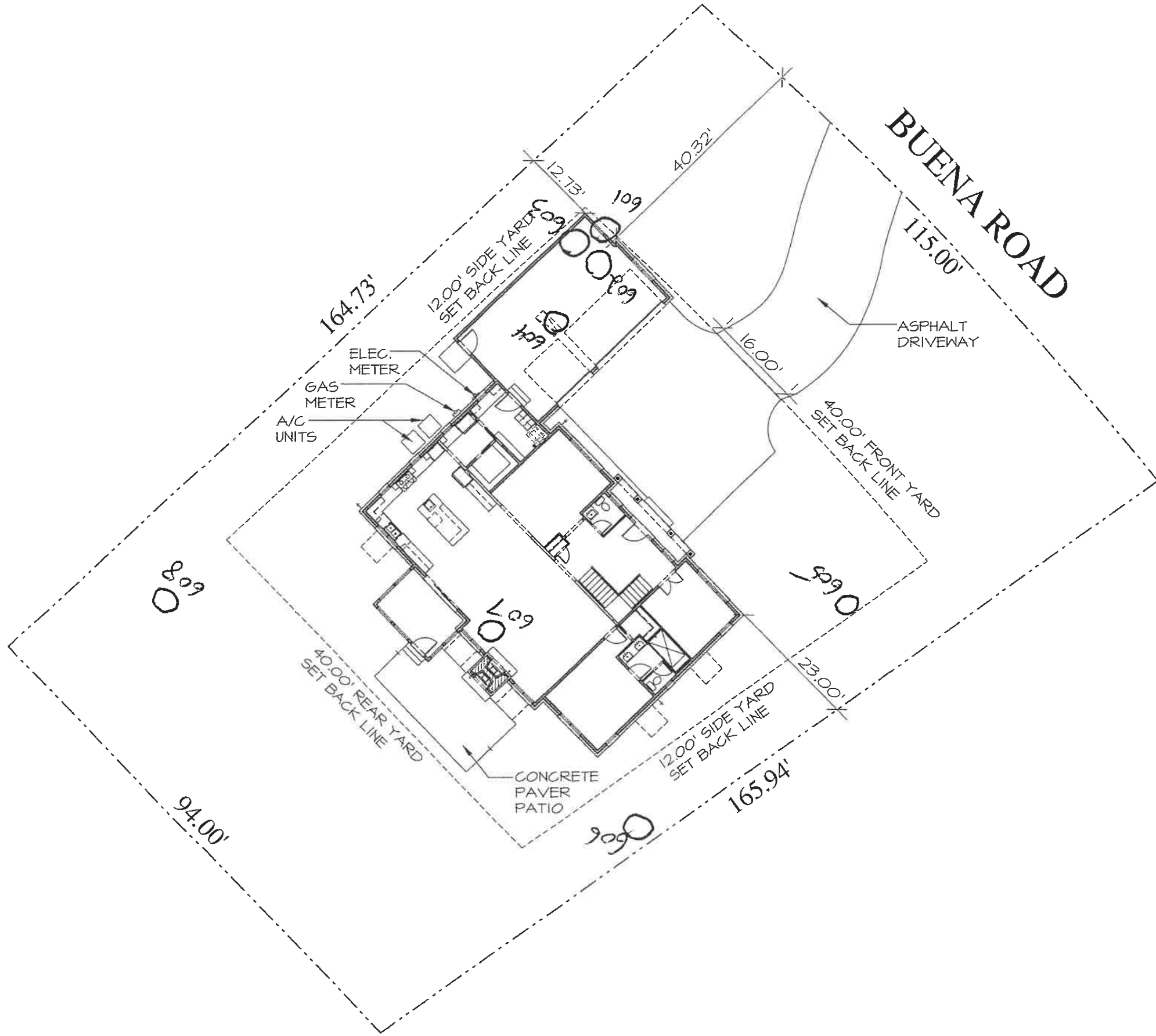
Tree Survey for 710 S Buena Rd, Lake Forest, IL

January 26, 2026

The following is a survey of the existing trees at 710 S Buena Rd, Lake Forest. Other than the first 20 feet from the sidewalk, **the entire lot is overgrown with Buckthorn and a few other very small trees.** The chart below shows the trees 6" DBH or greater. The ratings represent the health, structure, and desirability of the trees. 5 being the best, 1 being the worst.

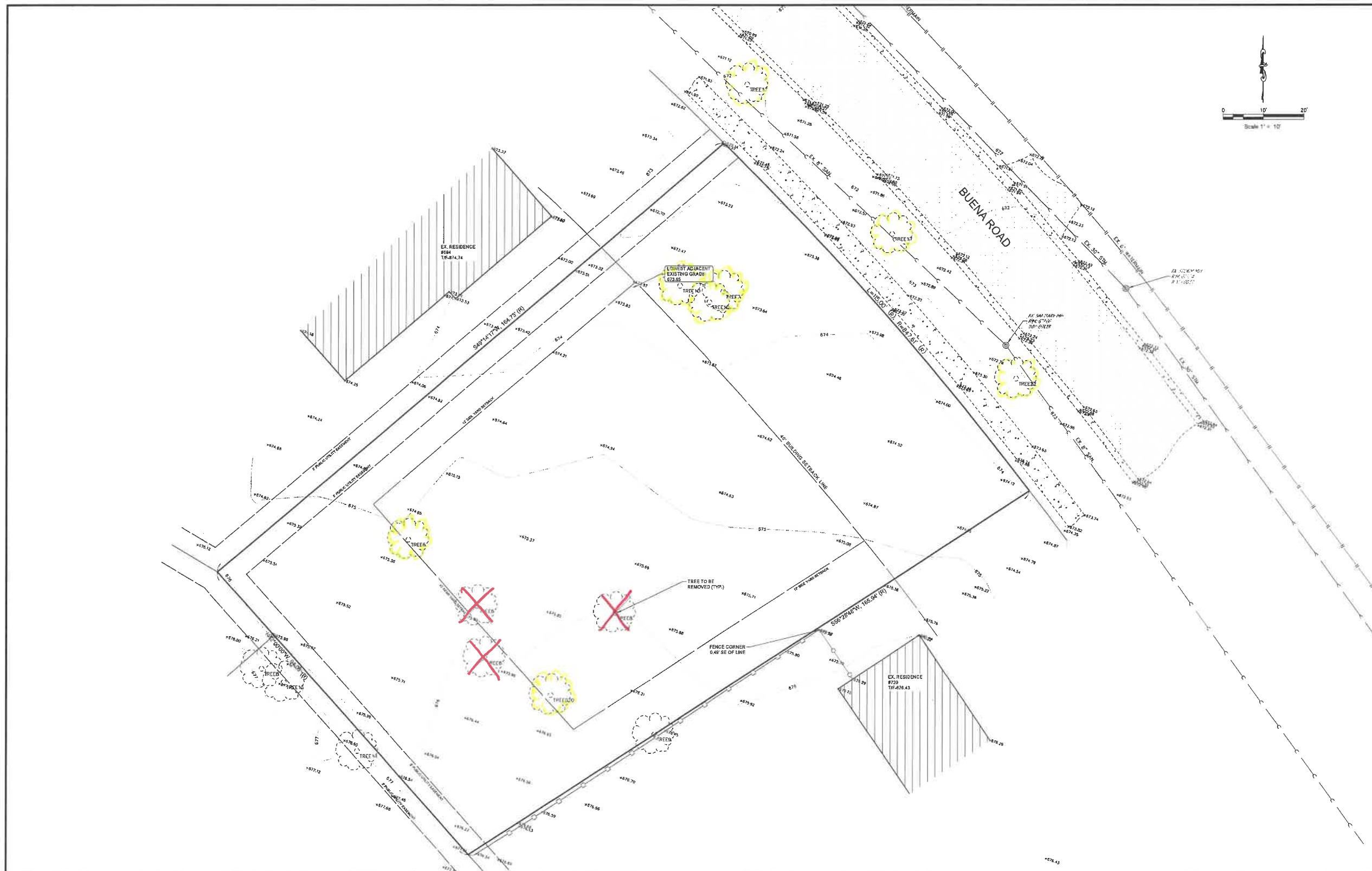
Tag #	Species	Diameter	Rating	Comments
601	Poplar	7"	3	
602	Poplar	9"X6"X4"	3	
603	Poplar	9"	3	
604	Ash	5"X5"	2	Not worth saving
605	Ash	5"X5"	2	Not worth saving
606	Boxelder	12"	2	Undesirable species
607	Boxelder	8"	2	Undesirable species
608	Ash	5"X5"X4"X5"X4"	1	Nearly dead

Mike O'Connor
 ISA Certified Arborist #IL-9713A
 Kinnucan Company, Lake Bluff, IL



1 SITE PLAN (17,335 S.F.)

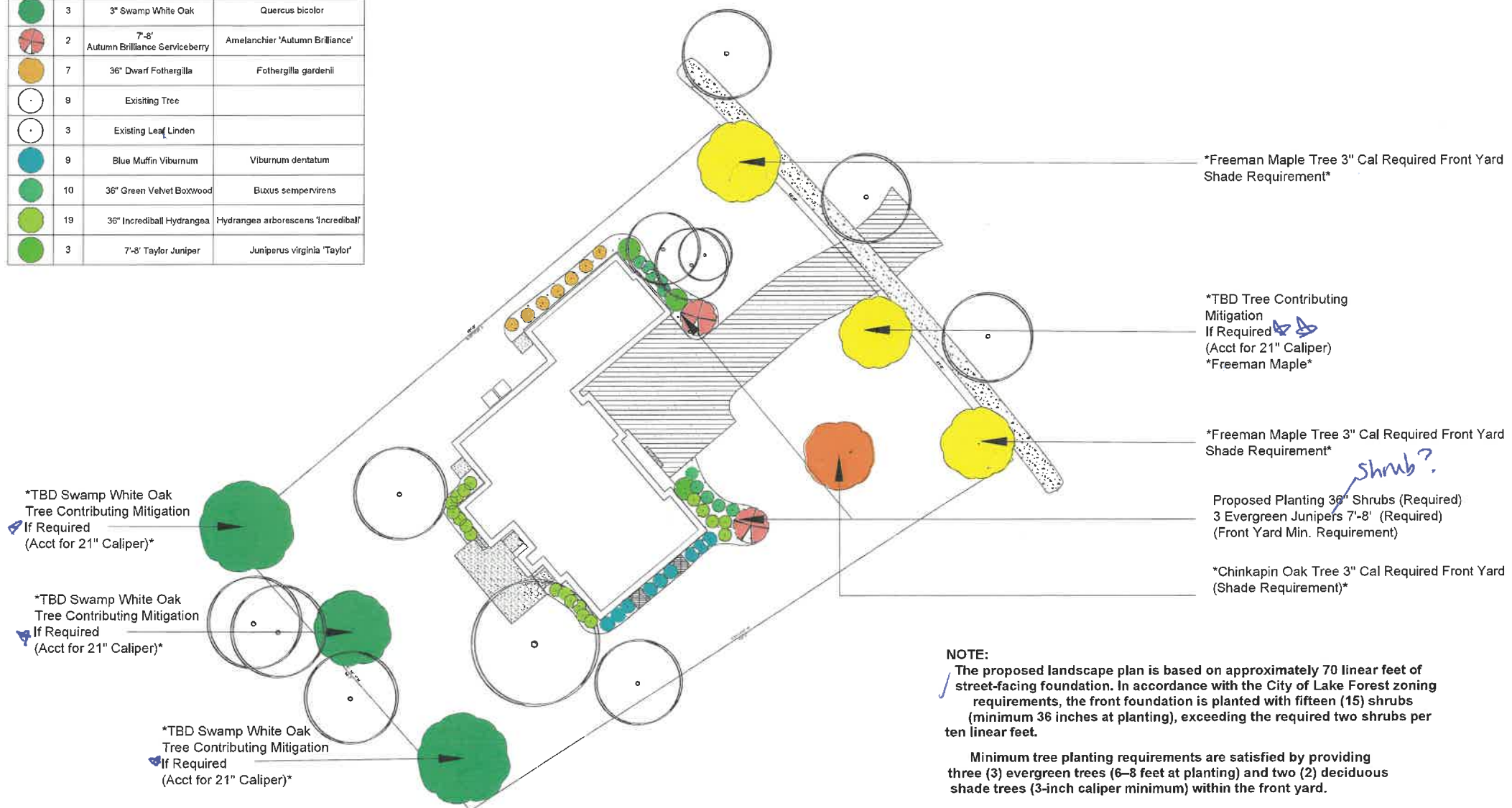
NOTE: ALL SCALE I ARE FOR SHEETS P 24" x 36" SIZE PAPER



GERALD L. HEINZ & ASSOCIATES, INC. CONSULTING ENGINEERS & LAND SURVEYORS 208 NORTH RIVER STREET EAST DUNDEE, ILLINOIS 60118				PRELIMINARY EX. CONDITIONS & DEMOLITION PLAN				710 BUENA ROAD LAKE FOREST ILLINOIS				DATE: 12/12/2025 JOB NO.: E-3296 SCALE: 1" = 10' SHEET 3 OF 5			
NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	

Drawing File: H:\VENZ RC PPD\2025\Engineering Projects\12-2025\12-2025-710 Buena Road, Lake Forest\Drawings\12-2025-1121.dwg

Plant Legend			
Symbol	Qty	Common	Botanical
	1	3" Chinkapin Oak	Quercus muehlenbergii
	3	3" Freeman maple 'Jeffersred'	Acer x freemanii 'Jeffersred'
	3	3" Swamp White Oak	Quercus bicolor
	2	7-8' Autumn Brilliance Serviceberry	Amelanchier 'Autumn Brilliance'
	7	36" Dwarf Fothergilla	Fothergilla gardenii
	9	Existing Tree	
	3	Existing Leaf Linden	
	9	Blue Muffin Viburnum	Viburnum dentatum
	10	36" Green Velvet Boxwood	Buxus sempervirens
	19	36" Incrediball Hydrangea	Hydrangea arborescens 'Incrediball'
	3	7-8' Taylor Juniper	Juniperus virginia 'Taylor'



NOTE:
 The proposed landscape plan is based on approximately 70 linear feet of street-facing foundation. In accordance with the City of Lake Forest zoning requirements, the front foundation is planted with fifteen (15) shrubs (minimum 36 inches at planting), exceeding the required two shrubs per ten linear feet.

Minimum tree planting requirements are satisfied by providing three (3) evergreen trees (6-8 feet at planting) and two (2) deciduous shade trees (3-inch caliper minimum) within the front yard.

Deciduous shade trees shown in the front yard provide canopy coverage and may contribute toward tree mitigation if determined necessary by the City. Additional canopy trees are shown near the driveway and within the rear yard and, if required, are sufficient to provide approximately 21 inches of replacement caliper. Final determination of mitigation requirements is subject to City review.

All foundation planting beds are to be covered with mulch or approved ground cover.



Initial Conceptual Plan
 21 N Skokie Hwy Ste G16
 Lake Bluff, IL, 60044
 Material Yard: 2300 Meadow Ln North Chicago, 60044

710 Buena Rd,
 Lake Forest, Illinois
 Design By: Jose B. Bravo,
 Xavier Solis
 Version 1
 Date: 01/26/2026

Agenda Items 4, 5 and 6
300, 320 and 340 Majestic Oak Court
New Single-Family Residences

Staff Report
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Streetscape Rendering
300 Majestic Oak Court
320 Majestic Oak Court
340 Majestic Oak Court

Correspondence

HOA Approvals

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

300, 320 and 340 Majestic Oak Court

Consideration of requests for recommendations in support of three new homes and the associated hardscape and conceptual landscape plans.

Property Owners: Elite Development Group (Bartek Skrzynecki 50% and Grzegorz Malicki 50%) and 270-290 Majestic Court LLC (Marcin Kopacz 50% and John Lawson 50%)

Project Representative: John Lawson, Owner and Project Manager

Staff Contact: Luis Prado, Assistant Planner

Summary of Requests

The subject properties have been presented before the Board on two occasions. 300, 320, and 340 Majestic Oak Court were first presented as initial design concepts at the November 5, 2025 meeting. The design for 320 Majestic Oak Court was presented again at the January 7, 2026 meeting.

During these meetings, the petitioner received feedback and direction from the Board, including an emphasis on diversifying the architectural styles, designing each home consistent with the selected architectural style, detailing the side and rear elevations to the same level as the front elevations, quieting the front elevations, simplifying the roof forms, eliminating double gables, and relating to some extent to the overall character, form, and materials of the nearby historic residence.

Following these meetings, staff communicated with the petitioner by email, phone, and in person at several meetings. Staff shared examples of new homes previously presented to the Building Review Board and encouraged reconsideration of the designs, reworking, and revisions consistent with the Board's direction.

The petitioner requested the opportunity to again present the plans to the Board despite staff's encouragement to refine the homes to more fully respond to the previous comments and direction offered by the Board.

Description of Property

The three properties that are the subject of this petition were created through the Westleigh Farm Subdivision which was approved in 2017. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The properties in this petition are three of seven lots in the Westleigh Farm Subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and south of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes at the south end of the subdivision would be high quality, each a unique design, and inspired and defer in some way to the historic residence.

In May of 2024, homes for the properties addressed as 210, 230, and 270 Majestic Oak Court were approved by the Building Review Board. These homes were presented by the original developer of the subdivision, William Ryan Homes, and reflect a variety of architectural styles as described by the developer as Equestrian Farm Style, New England Colonial and French Provincial. With the developer, the Board worked to refine the designs of these homes to respond, at least in part, to the original intention at the time of subdivision for these lots. The three homes are currently under construction by William Ryan Homes.

The three properties now under consideration were sold by the original developer to subsequent developers who are now presenting the plans to the Board for review and action.

Staff Review of Standards and Board Comments – Evaluation and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Below is a summary of the comments and direction offered by the Board, staff commentary on how the petitioner responded (**in bold**), and staff observations related to the applicable standards of review. These comments have been shared with the petitioner during predevelopment meetings, in prior staff reports, during previous Board meetings, and through subsequent one-on-one conversations and meetings between staff and the petitioner. Board input is requested.

Overall feedback given for all the properties presented at the November 5th and January 7th Meetings:

- a. Detail the side and rear elevations with the same level of detail as the front elevations.

The level of details on some of the side elevations have improved somewhat, including the addition of windows on rear and side elevations. The overall level of design and detailing remains limited on the side elevations.

- b. Quiet down the front elevations by simplifying the elements, making them appear less imposing.

The front elevations of 300 and 320 Majestic Oak Court have been simplified, the front entrances now have more of a human scale. However, the massing and roof forms of the front elevation of 340 Majestic Oak remain complex. The roof forms on the 300 and 320 Majestic Oak Court homes have been flattened likely to maximize the square footage of the homes.

- c. Eliminate double gables.

Overlapping gables were removed from 300 and 320 Majestic Oak. Overlapping gables remain on 340 Majestic Oak, contributing to complex massing and roof forms.

- d. Diversify the architectural styles.

There is some diversity between 300, 320 and 340 Majestic Oak however, 300 and 320 Majestic Oak appear almost identical, full two story masses that lack distinction and an identifiable architectural style.

Site Plan - This standard is mostly met.

A streetscape rendering provided in the Board packet demonstrates how the three new homes will appear together. The illustration again, reflects a lack of diversity and distinct architectural styles.

Auto-turn illustrations are reflected on the architectural plans however, auto-turn studies prepared by a licensed engineer are required to verify that the garage aprons are adequately sized for functionality and convenience for vehicles commonly owned by families today.

Staff Recommendation: Submit auto-turn studies prepared by a licensed engineer demonstrating the required turning movements for vehicles turning into and pulling out of the garage given the space provided and to demonstrate the functionality, or lack thereof of the garage aprons.

Building Massing and Height – This standard is somewhat met.

Based on the lot sizes, the proposed residences do not exceed the maximum allowable square footage for their respective property.

However, the proposed homes on 320 and 340 Majestic Oak Court are equal to the maximum allowable square footage. The roof forms appear to be configured primarily to maximize the square footage of the interior of the home with little consideration given to architectural style.

On 300 Majestic Oak Court, a residence of up to 4,043 feet is permitted on the site with an allowance of 600 square feet for a garage and 404 square feet for design elements.

- The proposed residence totals 3,724 square feet.
- The proposed garage totals 814 square feet. With a maximum garage exemption of 600 square feet, 214 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 257 square feet of design elements are incorporated into the design of the house.
- In conclusion, the home at 300 Majestic Oak Court totals 3,938 square feet. That is equal to the maximum allowable square footage for this property.

On 320 Majestic Oak Court, a residence of up to 4,280 feet is permitted on the site with an allowance of 600 square feet for a garage and 428 square feet for design elements.

- The proposed residence totals 4,197 square feet.
- The proposed garage totals 683 square feet. With a maximum garage exemption of 600 square feet, 83 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 91 square feet of design elements are incorporated into the design of the house.
- In conclusion, the home at 320 Majestic Oak Court totals 4,280 square feet. That is equal to the maximum allowable square footage for this property.

On 340 Majestic Oak Court, a residence of up to 4,762 feet is permitted on the site with an allowance of 600 square feet for a garage and 476 square feet for design elements.

- The proposed residence totals 4,279 square feet.
- The proposed garage totals 1,083 square feet. With a maximum garage exemption of 600 square feet, 483 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 311 square feet of design elements are incorporated into the design of the house.
- In conclusion, the home at 320 Majestic Oak Court totals 4,762 square feet. That is equal to the maximum allowable square footage for this property.

Consideration should be given to reducing the square footage of the homes at 320 and 340 Majestic Oak. Homes designed with attention to the exterior elevations, rather than intended to maximize the interior square footage, may fit more quietly into the neighborhood.

Staff Recommendation: Consider refining the homes with attention to the exterior elevations, rather than maximizing the square footage.

Elevations – This standard is not yet met.

In response to feedback provided by the Board, the petitioner made minor revisions to the designs for 300 and 340 Majestic Oak Court and substantially revised the design for 320 Majestic Oak Court to more closely align with the design proposed for 300 Majestic Oak Court.

On 300 Majestic Oak Court, the previously proposed gable roofs have been revised to hipped roofs, simplifying the elevations. Additional windows were introduced on the south elevation. The front and rear elevations now place much of the building mass under a large, hipped roof, with two-story masses flanking the front entrance. While these changes simplify the roof forms, consideration should be given to further refining the hierarchy of massing to better align with the Residential Design Guidelines. In addition, consideration could be given to refining the stairway windows on the east elevation to improve consistency with the other window openings on the home.

Similarly, nearly the entire mass of the home proposed on 320 Majestic Oak Court is shown under one large, hipped roof. Consideration should be given to refining the home with attention to the hierarchy of massing.

On 340 Majestic Oak Court, the overlapping gable previously proposed on the garage has been removed and the garage doors have been widened. Additional windows were added on the north and west elevations. These revisions improve the elevations however, the front elevation would benefit from further simplification of the massing and roof forms, and the east elevation could benefit from additional windows to better balance the relationship of openings to solid wall surfaces.

Staff Recommendation: Explore a greater diversity in architectural styles to better align with the intended character of this area of the Westleigh Farms Subdivision as individually designed custom homes. The overall design of the home, massing, roof forms, openings, detailing, and exterior materials should reflect the selected architectural style on all elevations.

Staff Recommendation: Study and refine the hierarchy of massing on 300 and 320 Majestic Oak Court.

Staff Recommendation: On 340 Majestic Oak Court, simplify the north elevation and consider the addition of windows to the east elevation.

Type, color, and texture of materials – This standard can be met.

Generally, the materials align with materials previously approved by the Board, including Hardie Board siding, 4" thick (at a minimum) veneer stone, Davinci synthetic

imitation slate roofing, 4" limestone trim, aluminum gutters and downspouts, and concrete paving.

320 Majestic Oak presents a stark, black and white color palette which appears inconsistent with the character homes in the immediate area. The color palettes of the other homes although not reflected in the rendering, are described by the petitioner as softer than the color palette proposed for 320 Majestic Oak Court. Additional detail is needed to understand the colors of the various proposed materials.

The window, door, fascia, soffit and rakeboard trim should be detailed as a natural material, such as Cedar, in line with past Board approvals.

The windows should be specified as wood aluminum clad windows with simulated divided lites with interior and exterior affixed muntin bars.

Material samples and detailed color palettes should be presented at the meeting.

Staff Recommendation: Clearly detail all of the proposed materials on the plans, including the elevations, site plan and landscape plan.

Staff Recommendation: Detail the trim as cedar and the windows as wood aluminum clad with interior and exterior muntin bars affixed.

Landscaping – This standard can be met.

The proposed landscape plans appear to meet the minimum criteria for new construction however, because the existing tree plans submitted by the petitioner are not clear, a determination of the required replacement trees inches that will be required on each property is not yet possible.

The proposed landscape plans should be reviewed by the project landscape architect to ensure that the proposed trees reflected along the property lines are properly spaced, consistent with good forestry practices, to allow the trees to grow to maturity without overcrowding. The proposed species will be subject to review and approval by the City's Certified Arborist.

Based on the tree removal plans submitted, it appears that numerous trees of varying species, size, and condition are proposed for removal, including one or more large, healthy oak trees. A revised tree survey should provide clear information and numbering of all existing trees on the site and identify those planned for removal and those intended to remain on the site.

The landscape plans show screening at the garage aprons to screen the neighboring yard from car lights. Verification is required to demonstrate that plantings can be accommodated in this area without impeding over land drainage.

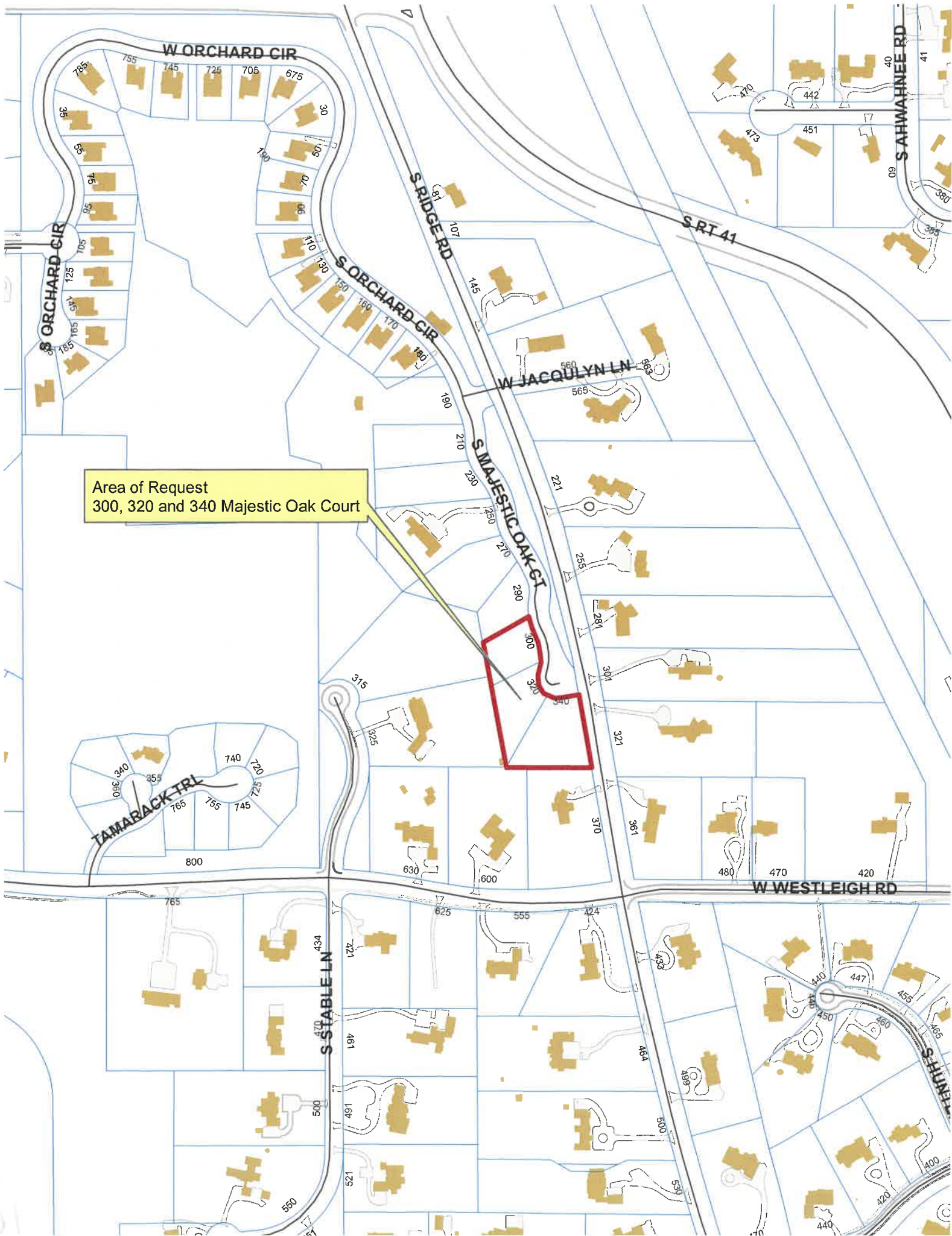
The final landscape plans will be subject to staff review and approval by the City prior to the issuance of a permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, the City has received a letter from the HOA for each property which is included in the Board's packet.

Recommendations

Recommend continuation of the petitions with direction to the petitioner to make refinements in response to the Board's questions and comments and to the comments presented in the staff report.



Area of Request
300, 320 and 340 Majestic Oak Court

W ORCHARD CIR

S RIDGERD

S ORCHARD CIR

S RT 41

S SAHWAHNEE RD

S ORCHARD CIR

W JACQUELYN LN

S MAJESTIC OAK CT

TAMARACK TRL

S STABLE LN

W WESTLEIGH RD

S SAHWAHNEE RD

STREETSCAPE RENDERING



Agenda Item 4
300 Majestic Oak
New Single-Family Residence

Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Rendering

Elevations – Proposed

Elevations – November 5, 2025

Samples of Materials

Roof Plan

Building Section

Floor Plans

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 300 MAJESTIC OAK

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

270-290 MAJESTIC OAK LLC
Owner of Property

PAUL - PRESIDENT
Name and Title of Person Presenting Project

8230 AUSTIN AVE
Owner's Street Address (may be different from project address)

SP GROUP PRO INC
Name of Firm

MORTON GROVE IL 60053
City, State and Zip Code

1970 S. GOEBBERT RD
Street Address

773-727-8546
Phone Number *Fax Number*

ARLINGTON HES IL 60005
City, State and Zip Code

MARCIN.DYNAMIC.GROUP@GMAIL.COM
Email Address

847-323-9948
Phone Number *Fax Number*

SPGROUPPRO@GMAIL.COM
Email Address

[Signature]
Owner's Signature

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report OWNER REPRESENTATIVE

Please fax a copy of the staff report OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department OWNER REPRESENTATIVE



PROFESSIONAL DESIGN FRIM – NO: 184.007363-0001

January 6, 2026

Building Review Board
City of Lake Forest
800 Field Dr.
Lake Forest, IL 60045

Re: PROPOSED NEW S.F. RESIDENCE
300 MAJESTIC OAK CT.

Dear Building Review Board,

In response to your letter, please note the following: We have updated the plans per your recommendations. Please see attached Presentation Set as well as Materials Details List with colors and finishes provided.

A. Overall:

a. Detail the side and rear elevations with the same level of detail as the front elevations.

Side and rear elevations revised with same level of detail as front elevation.

b. Quiet down the front elevations by simplifying the elements, making them appear less imposing.

Front elevation revised.

c. Eliminate double gables.

Double gable eliminated.

d. Reference the existing historic house.

Transitional design provided.

e. Consider enlarging the garage doors to accommodate today's vehicles.

Garage door size stays the same size as they are large enough to accommodate today's vehicles with a measurement of 9ft high and 8ft wide.

Individual Homes: 300 Majestic Oak

i. Make the roof pitches consistent.

Revised roof pitches provided in presentation set, pages 12-18.

ii. Eliminate the double gable at the garage.

Double gable eliminated from design as indicated in presentation set, page 13.

iii. Consider eliminating the board and batten to better align with the style of the home. Consider only using horizontal siding and stone.

3315 W. Algonquin Rd., Ste. 440, Rolling Meadows, IL 60008 | PH: 847-877-4414

Updated drawings to include only horizontal hardie board siding and stone.
Reference renderings in presentation set, pages 1-6.

- iv. Add windows on the left elevation to break up the wall massing.
Four windows added on left elevation to break up the wall massing as suggested. Reference in presentation set, pages 6 and 15.

If you have any questions, please call our office.

Sincerely,



Daniel S. Drag,
Illinois Licensed Architect



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material _____

Window Treatment

- | | |
|--------------------------------------|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |

Color of Finish _____

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other HARDIE

Fascias, Soffits, Rakeboards

- Wood
 Other ALUMINIUM

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other DA VINCI SLATE

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

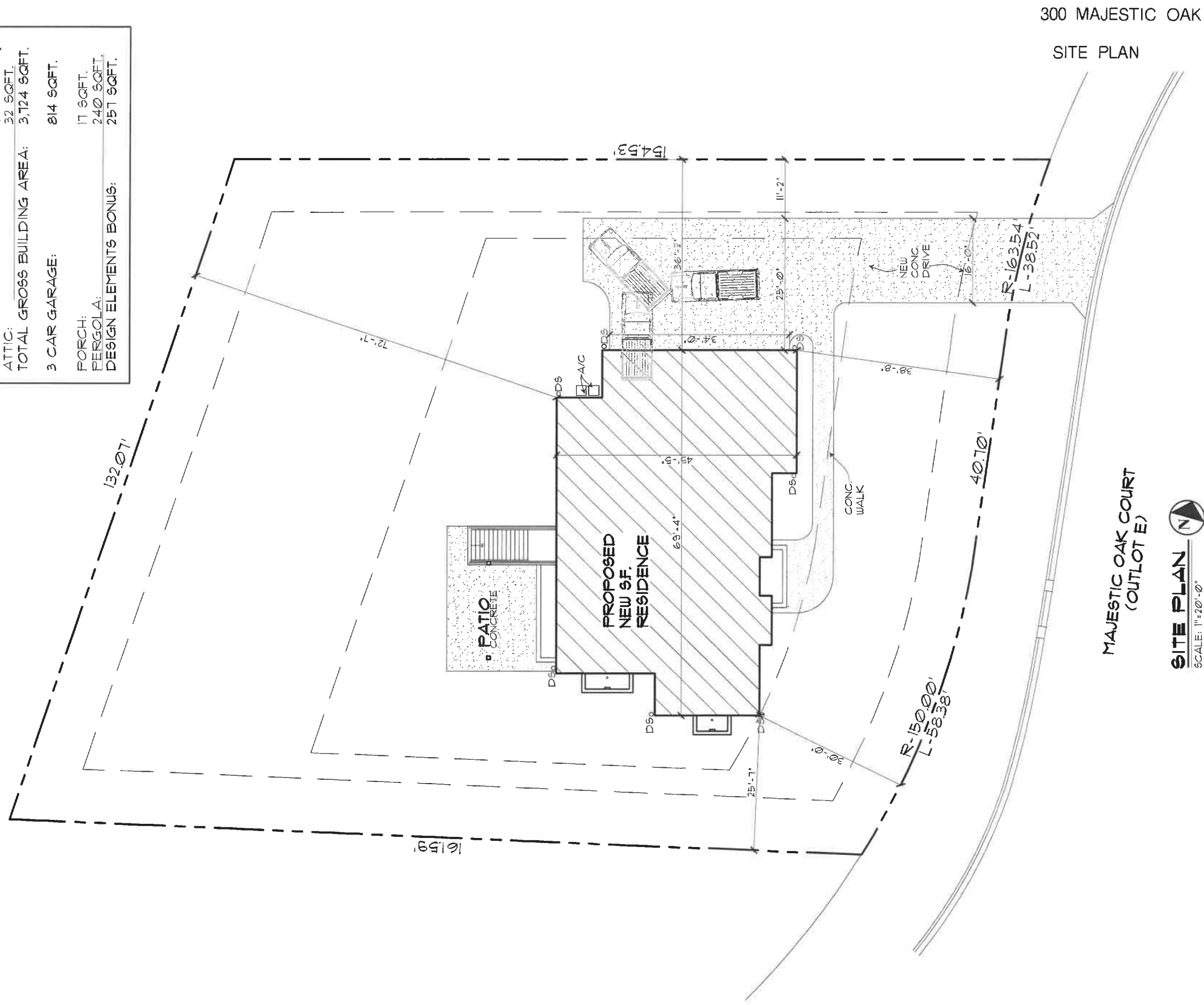
Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

LOT AREA:	20,850 SQFT.
ALLOWABLE BULK BY CODE:	4,043 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	404 SQFT.
NET AREA:	1,658 SQFT.
1ST FLOOR:	1,813 SQFT.
TOTAL NET LIVING AREA:	3,471 SQFT.
GROSS AREA:	1,762 SQFT.
1ST FLOOR:	1,930 SQFT.
2ND FLOOR:	32 SQFT.
TOTAL GROSS BUILDING AREA:	3,724 SQFT.
3 CAR GARAGE:	814 SQFT.
PORCH:	17 SQFT.
PERGOLA:	240 SQFT.
DESIGN ELEMENTS BONUS:	257 SQFT.



300 MAJESTIC OAK
SITE PLAN

MAJESTIC OAK COURT
(OUTLOT E)

SITE PLAN 
SCALE: 1/8"=20'-0"

PROPOSED NEW S.F. RESIDENCE
300 MAJESTIC OAK CT.
LAKE FOREST
ILLINOIS

DATE: 16 SEPT. 25

ARCHIMAX, INC.
PROFESSIONAL DESIGN FIRM - NO. 184.007363-0001
3315 W. ALGONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60008
Phone: 847/877/4414
Archimaxinc@gmail.com

300 MAJESTIC OAK

RENDERING

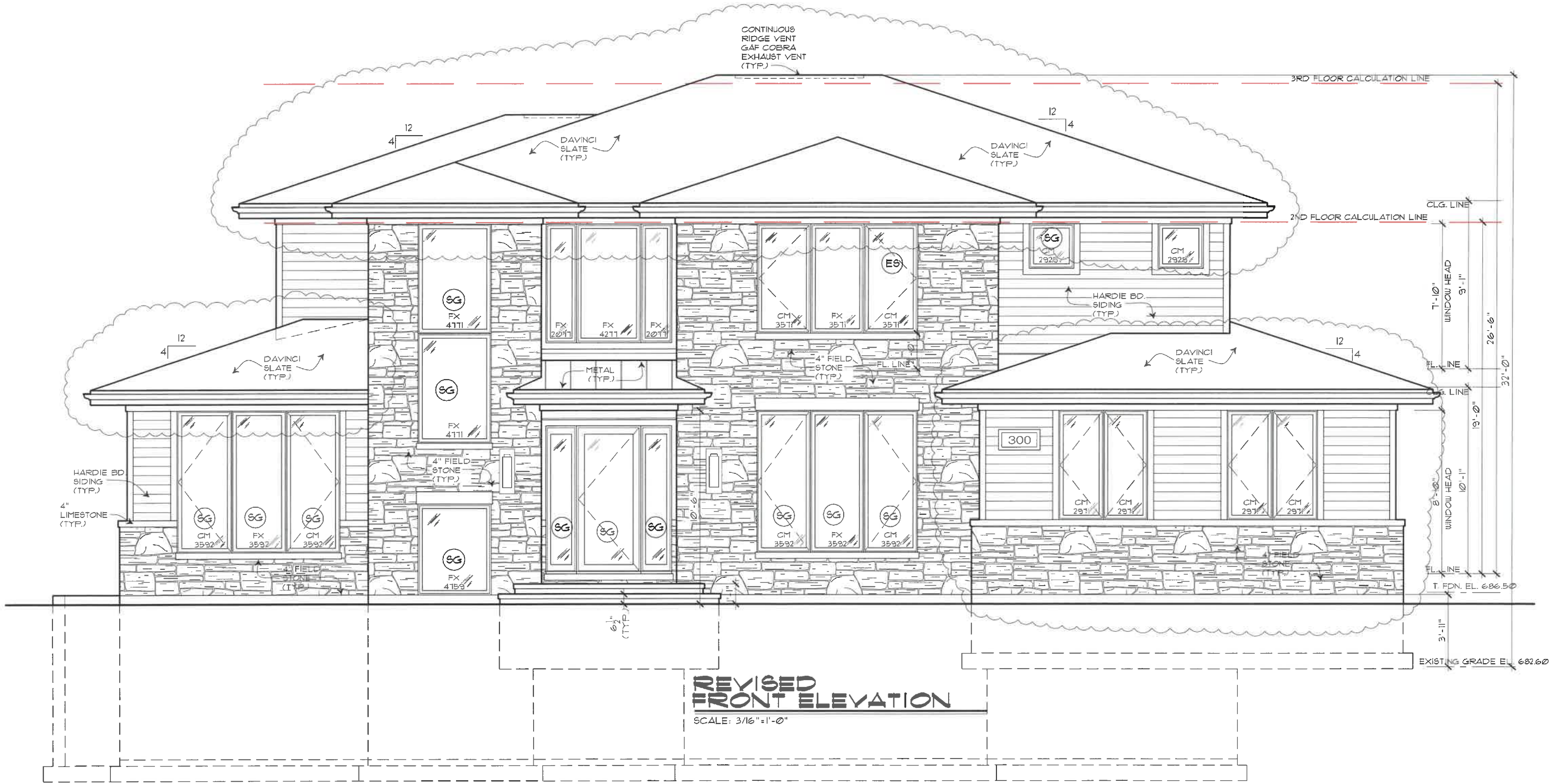
EAST ELEVATION

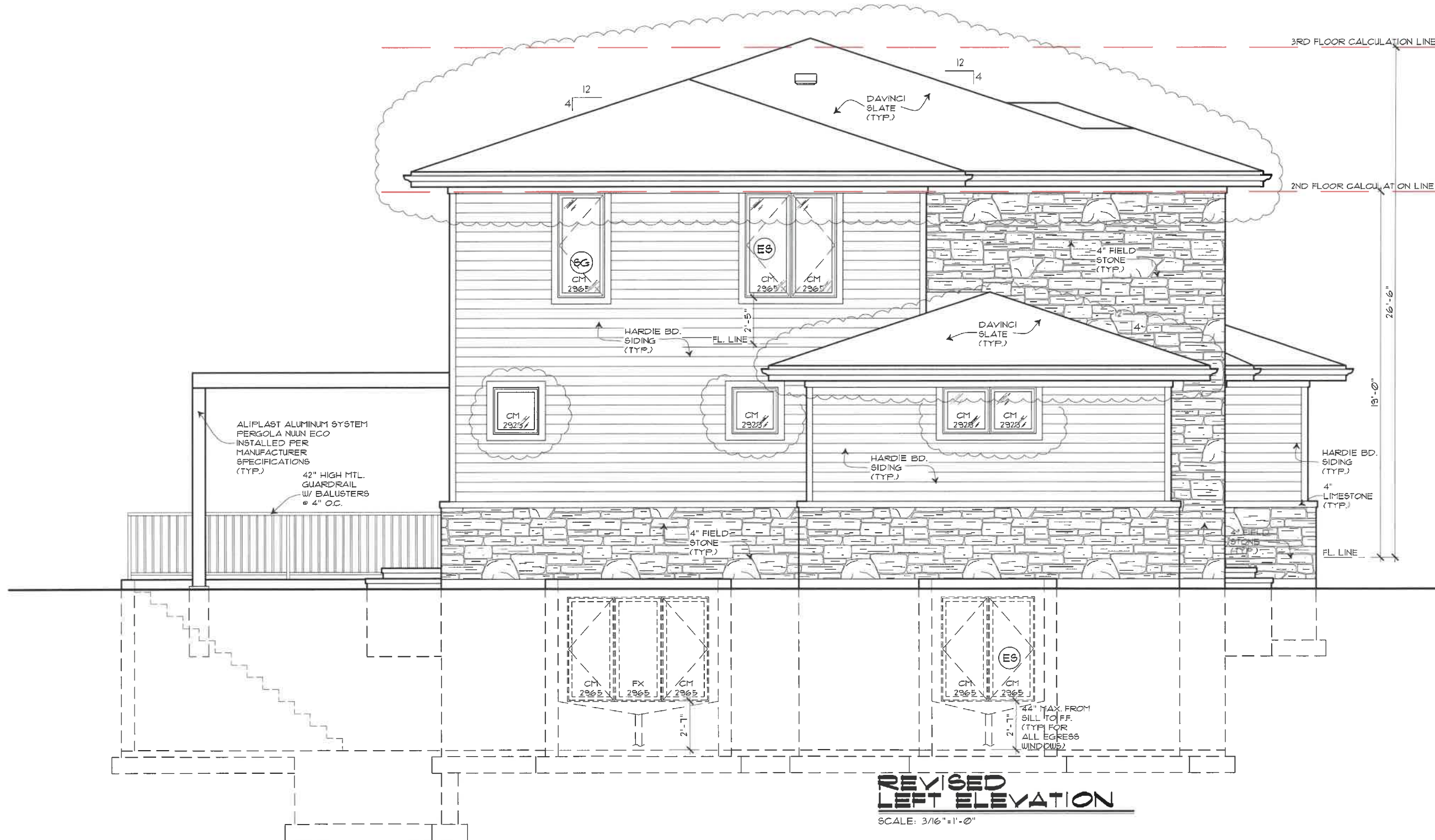


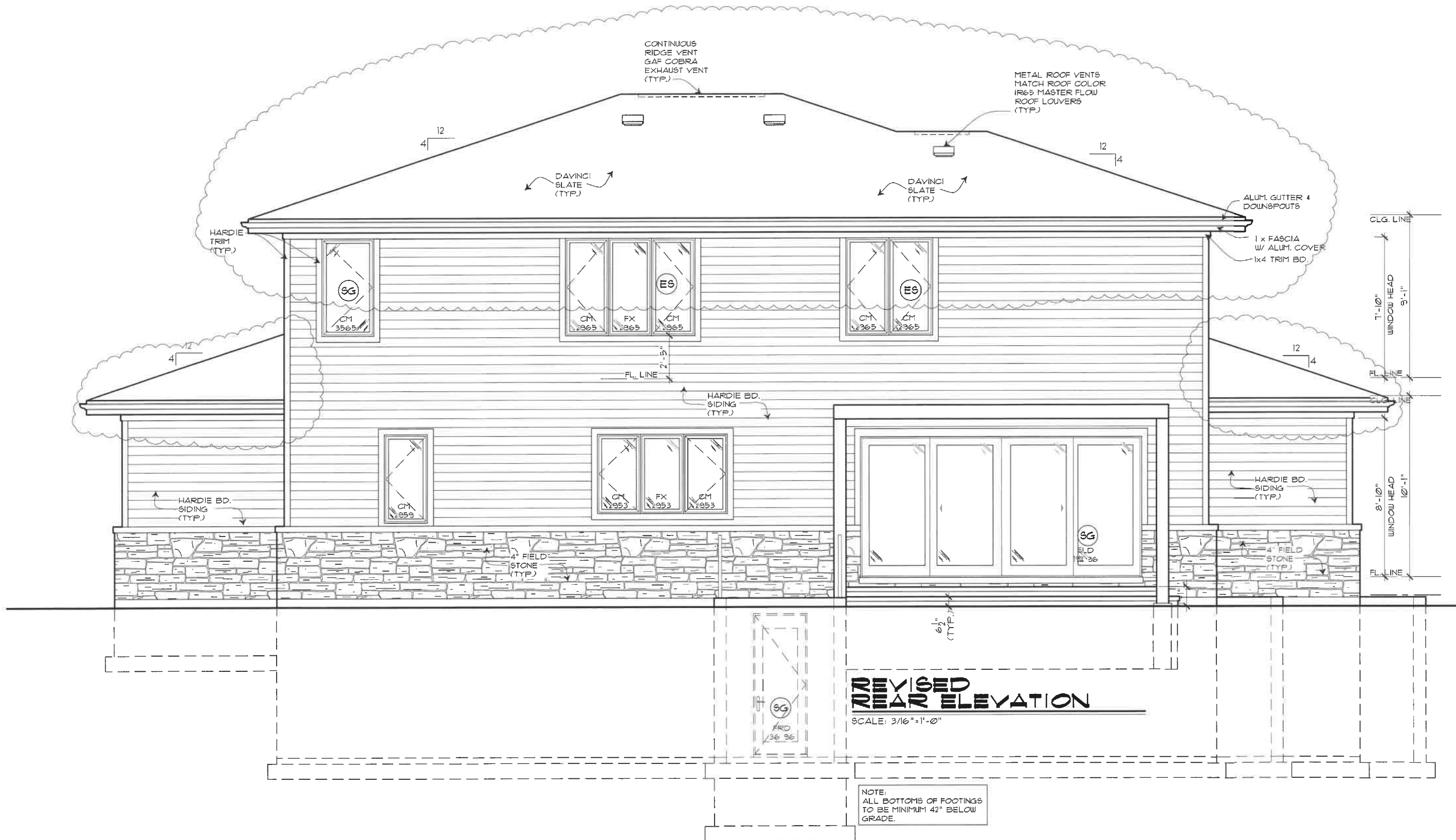
300 MAJESTIC OAK

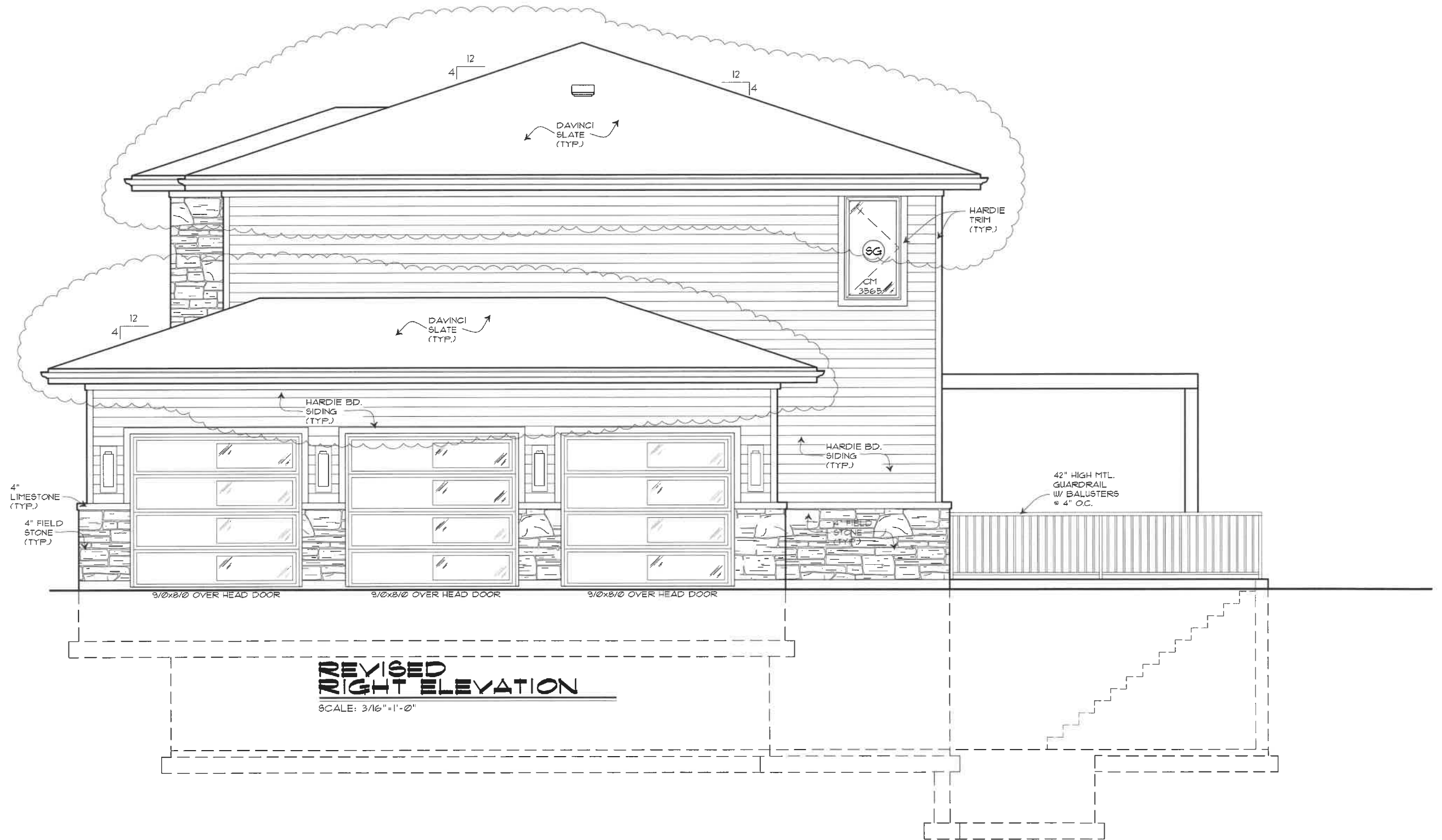
EAST ELEVATION

FEBRUARY 4, 2026

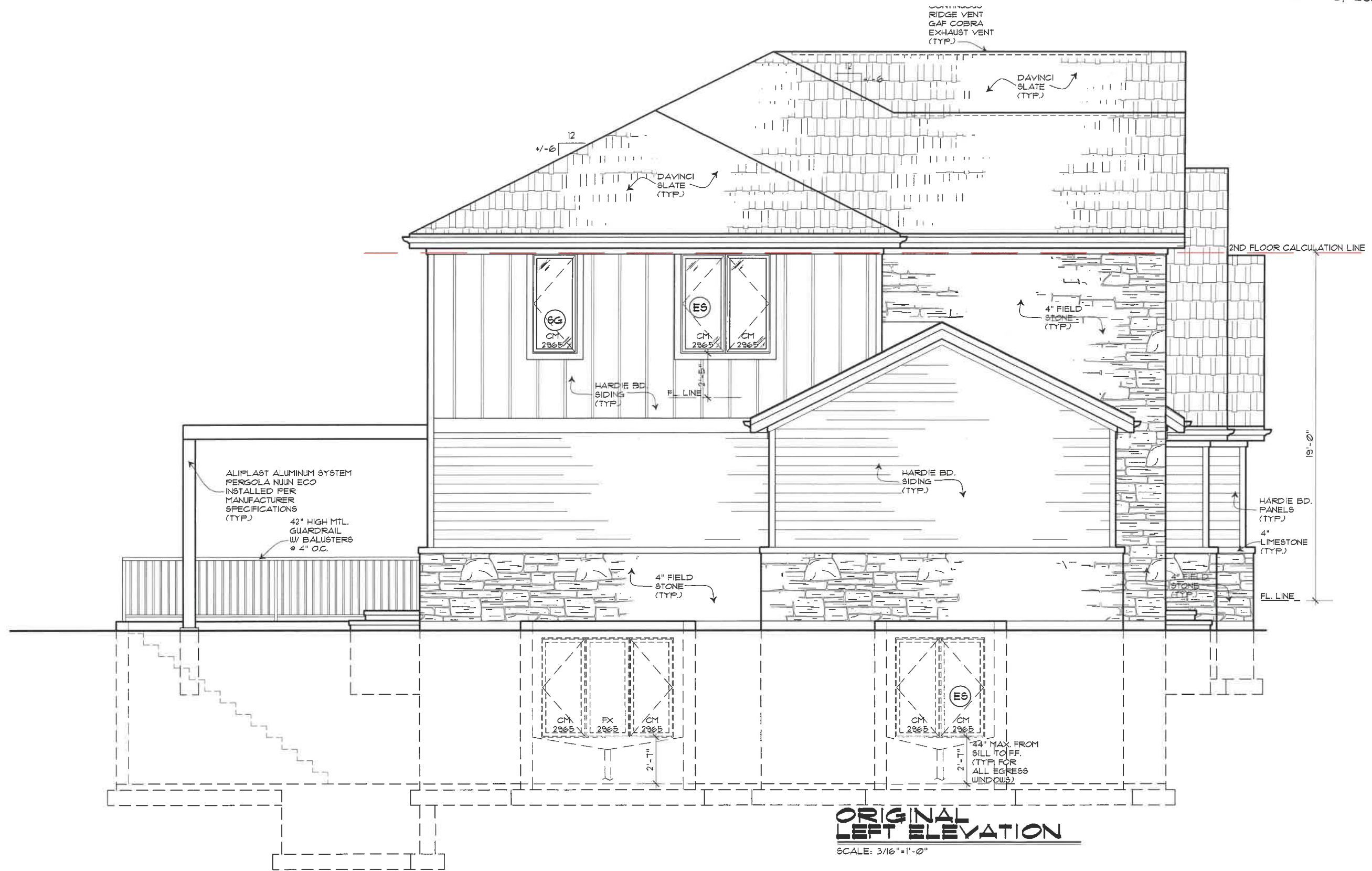


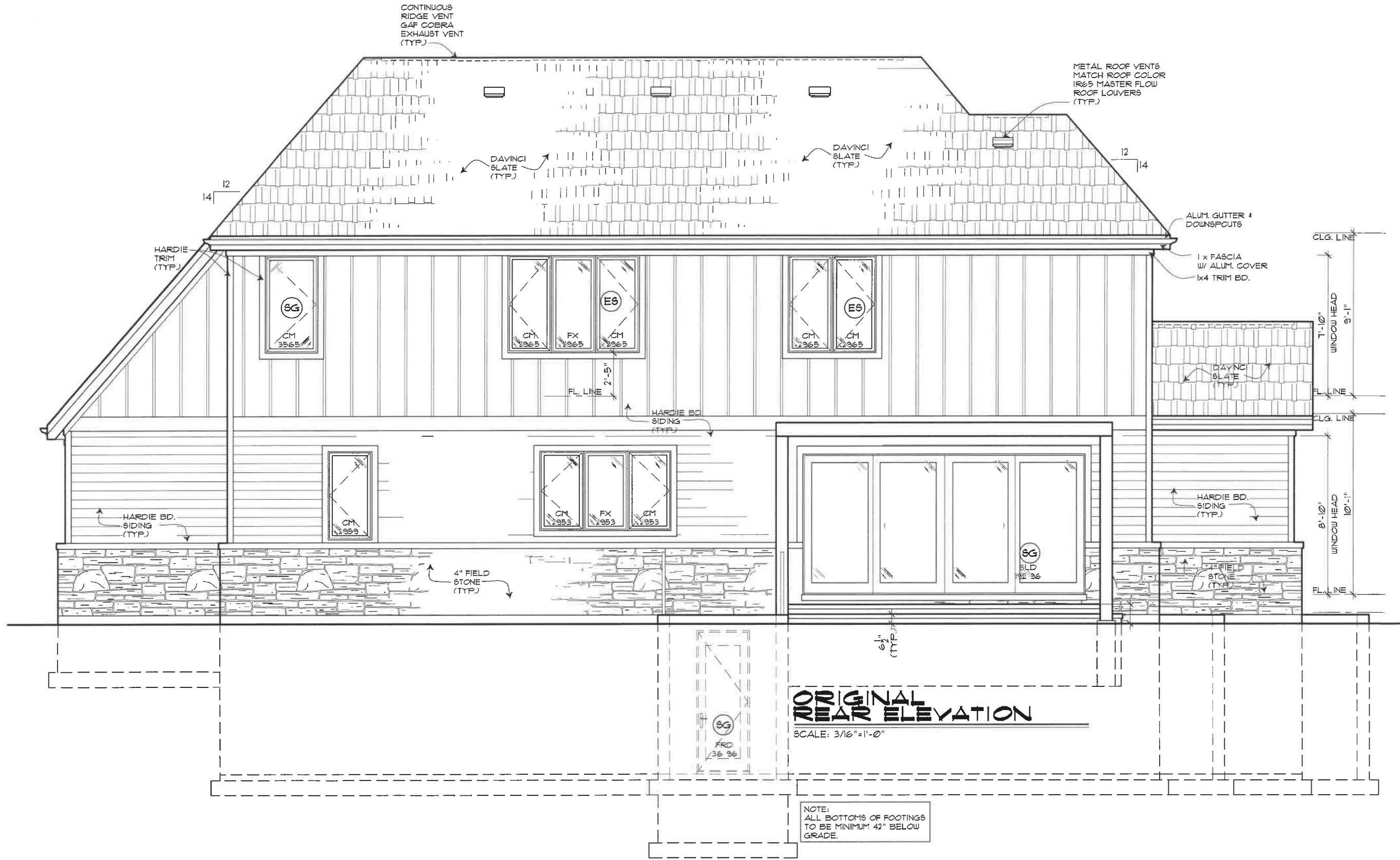


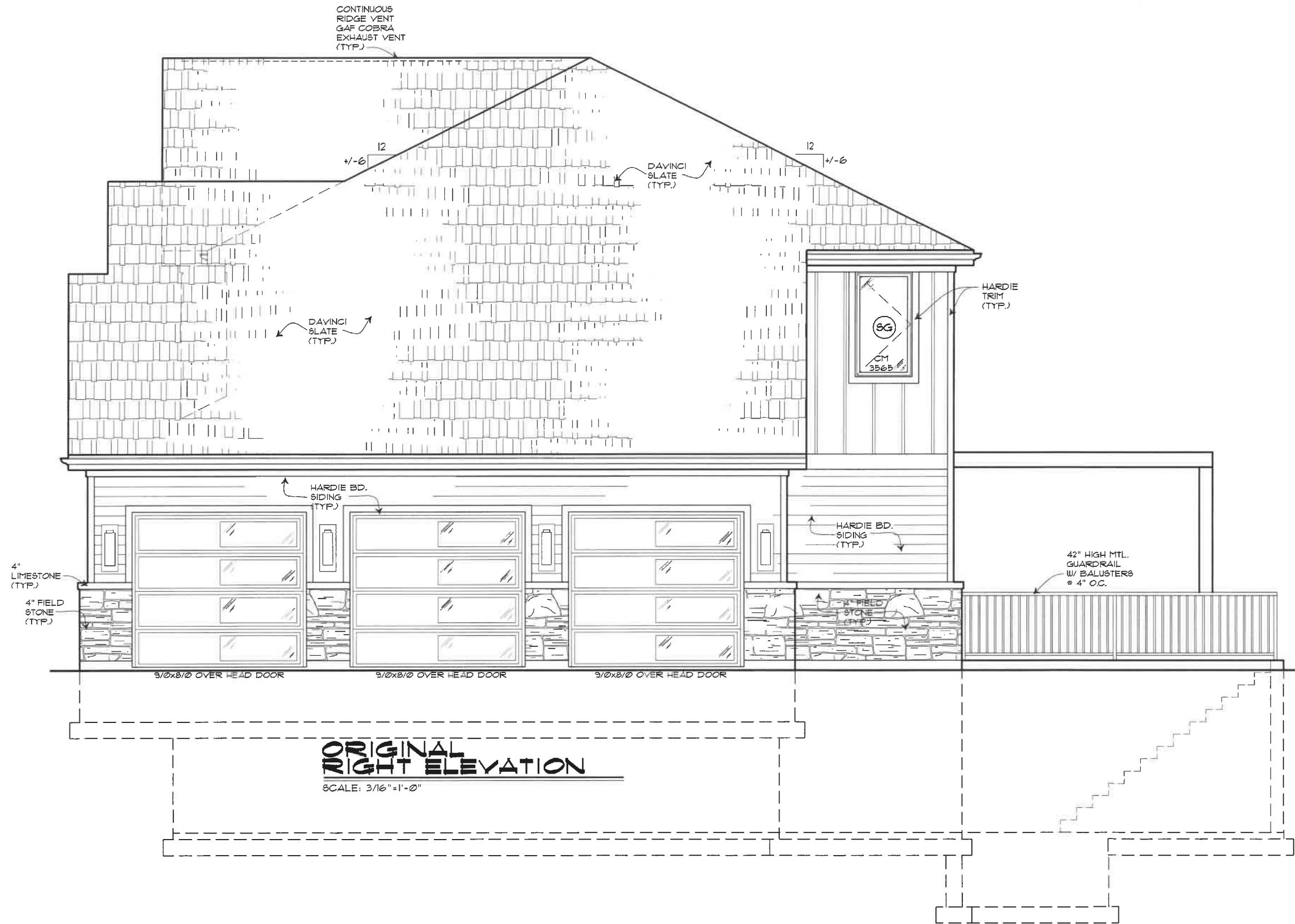




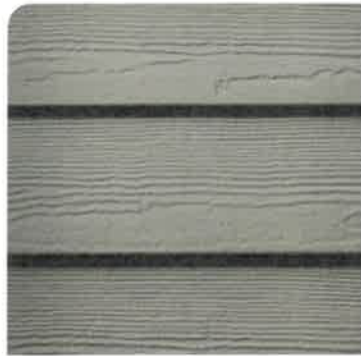
Previous Elevations







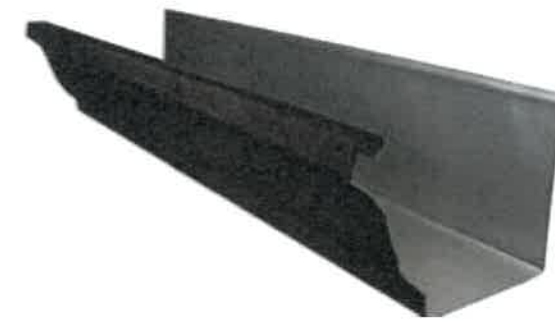
300 Majestic Oak Court: *Material Details*



HARDIE BOARD SIDING AND TRIM:
MONTEREY TAUPE



DAVINCI ROOFSCAPES SLATE: BLACK



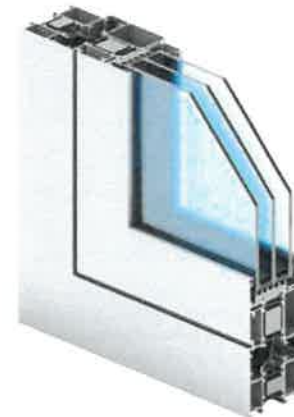
GUTTER SUPPLY: BLACK



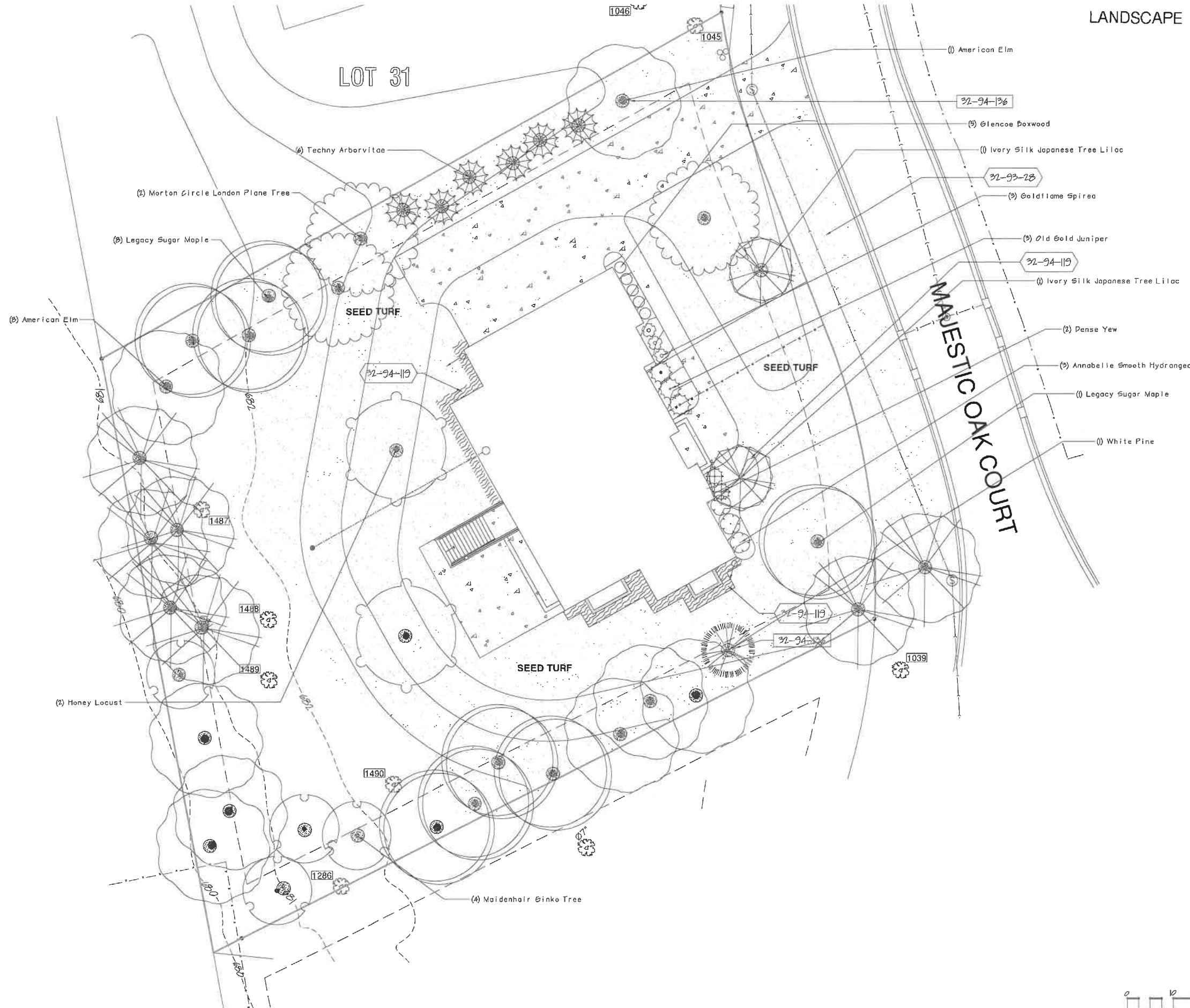
HALQUIST STONE: HAMILTON BUFF



WINDOW ALIPLAST: BLACK



LANDSCAPE PLAN



THOMAS NORDLOH ASSOCIATES
 Landscape Architecture
 Project Management
 4111 Taft Rd, Kenosha WI 53142

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THOMAS NORDLOH ASSOCIATES, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THOMAS NORDLOH ASSOCIATES, INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE PLANS.



No.	Revision/Notes	Date
1		
2		
3		
4		

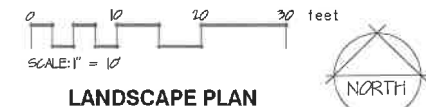
**300 MAJESTIC OAK
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000829

Project: 20250821.2
 Date: 12-9-25 1

Sheet

L-1.0



LANDSCAPE PLAN

CONSENT NOTICE
 THIS DOCUMENT AND THE WORK HEREON IS THE PROPERTY OF THOMAS NORDLOH ASSOCIATES AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THOMAS NORDLOH ASSOCIATES IS STRICTLY PROHIBITED. THE USER AGREES TO HOLD THOMAS NORDLOH ASSOCIATES HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE USE OF THIS DOCUMENT.



Date	Revision/Issue	1	2	3	4

**300 MAJESTIC OAK
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000629
 Project: 20250821.2
 Date: 12-9-25_1
 Scale:
 Sheet

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-93-28	REINARDS PREMIUM 60 TURF-SEED AND ON SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6" BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	11,974 sf
	32-94-119	SHREDDED BARK MULCH, 3-4" DEPTH	572 sf
	32-94-136	3" DIAMETER MULCH TREE RING	40
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	183 lf

LANDSCAPE ORDINANCE

STREET FOUNDATION LINEAL FOOTAGE -80' 2 X 3' SHRUBS PER 10 LF - 16 SHRUBS

REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF- 68' = 2 TREES. PLAN HAS 2 TREES

REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES

OR

REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE

**TREE REPLACEMENT COUNT;
 301 CALIPER INCHES = 100 TREE REPLACEMENTS BASED ON 3" CALIPER TREES. PLAN INCLUDES 41 TREES, BALANCE OF TREES (60) TO BE LOCATED OFF SITE.
 ROTTEN, DEAD, INVASIVE AND NUISANCE TREES ARE NOT COUNTED IN REPLACEMENTS.**

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES				
	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	8
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Ginkgo Tree	3" Cal.	B&B	4
	Bleditisia triacanthos / Money Locust	3" Cal.	B&B	2
	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	3" Cal.	B&B	7
	Platanus x acerifolia 'Morton Circle' / Morton Circle London Plane Tree	3" Cal.	B&B	3
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6' Ht.	B&B	2
	Ulmus x 'Frontier' / American Elm	3" Cal.	B&B	8
	SUBTOTAL:			34
EVERGREEN TREES				
	Pinus strobus / White Pine	6' Ht.	B&B	1
	Thuja occidentalis 'Techny' / Techny Arborvitae	6' Ht.	B&B	6
	SUBTOTAL:			7
SHRUBS				
	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3' Ht.		3
	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5 gal		3
	SUBTOTAL:			6
SHRUB EVERGREENS				
	Buxus x 'Chicagoland Green' TM / Glencoe Boxwood	24"		5
	Juniperus chinensis 'Old Gold' / Old Gold Juniper	5 gal		3
	Taxus x media 'Densiflora' / Dense Yew	24"		2
	SUBTOTAL:			10
	Existing Trees			

LOT 32

EXISTING CONDITIONS & REMOVAL PLAN

LEGAL DESCRIPTION
 LOT 32 IN WESTLIGHT FARM, BEING A SUBDIVISION IN PART OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 22, 2017 AS DOCUMENT NUMBER 11448 IN LAKE COUNTY, ILLINOIS.

ADDRESS
 300 MAJESTIC OAK COURT
 LAKE FOREST, IL

PARCEL IDENTIFICATION NUMBER
 14-04-0400

AREA
 28,868 SQ. FT. = 0.662 ACRES

SURVEYOR
 AGENCY CONSULTANTS LTD.
 1548 OLIVER ROAD
 BATAVIA, IL 60103

CIVIL ENGINEER
 KRUEGG DESIGN PLLC
 12388 MCCARTHY ROAD
 LAKEVIEW, ILLINOIS
 KRUEGG@KRUEGGDESIGN.COM

GENERAL NOTES

1. CALL UTILITIES 1-800-4-A-SHIELD BEFORE EXCAVATING.
2. GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
4. ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENTS ARE TO BE RELOCATED AT DEVELOPER'S RISK AND EXPENSE UNLESS OTHERWISE SHOWN.
5. ALL CONSTRUCTION OPERATIONS OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL ADJACENT PROPERTIES SHALL BE ADVISED THROUGH NOTICE OR SIGN OF PROPERTY SO IF WORK DOES NOT AFFECT ADJACENT PROPERTIES.
6. PROPER TRAFFIC CONTROL MUST BE MAINTAINED THROUGHOUT ALL CONSTRUCTION WORK.
7. GENERAL CONTRACTOR SHALL NOTIFY CITY/ VILLAGE PRIOR TO THE START OF CONSTRUCTION.
8. ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGE OR CITY ORDINANCES AND SPECIFICATIONS.
9. REFER TO THE APPROVED CONSTRUCTION APPLICATION FOR ALL DISTANCE DIMENSIONS.
10. ANY EXISTING STRUCTURE OR CRACKED STRUCTURE SHOULD BE DEMOLISHED IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. THE DEMOLITION SHALL BE COMPLETED BY THE END OF THE PROJECT. ALL DEMOLITION OPERATIONS SHALL BE IN ACCORDANCE WITH THE ILLINOIS CONSTRUCTION ACT AND ALL APPLICABLE ORDINANCES AND SPECIFICATIONS.
11. ALL UTILITIES SHALL BE PROTECTED AND SHALL BE RELOCATED TO THE PROPER DEPTH AND LOCATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL UTILITIES.
12. ALL UTILITIES SHALL BE PROTECTED AND SHALL BE RELOCATED TO THE PROPER DEPTH AND LOCATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL UTILITIES.
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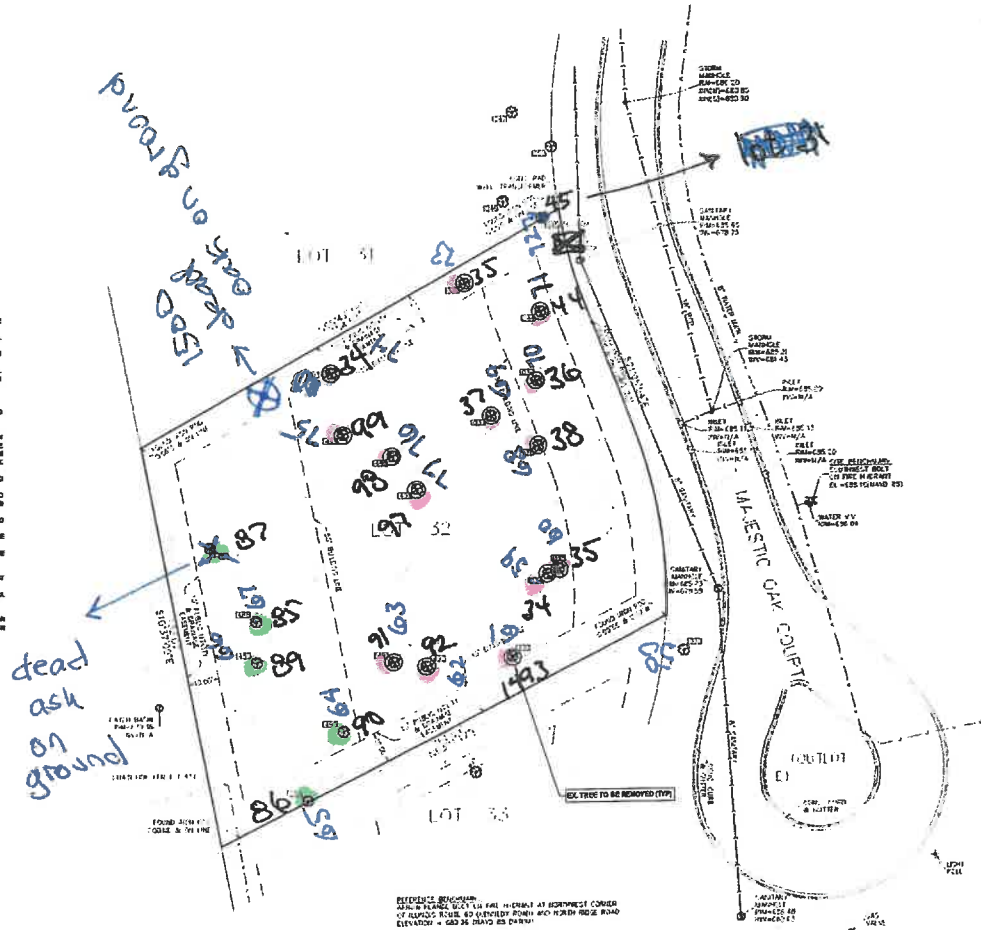
SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS
 COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR PART OF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR GRADES WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES BY AS TO REMOVE THE LIKENESS OF DAMAGE TO THE ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 28th DAY OF JULY, 2025

K. Wilson



LEGEND

- | | |
|---------------------|---------------------|
| EXISTING | PROPOSED |
| STORM SEWER | STORM SEWER |
| SANITARY SEWER | SANITARY SEWER |
| WATER LINE | WATER LINE |
| ELECTRIC LINE | ELECTRIC LINE |
| GAS LINE | GAS LINE |
| FIBER OPTIC | FIBER OPTIC |
| OVERHEAD LINE | OVERHEAD LINE |
| FENCE | FENCE |
| CONTOUR | CONTOUR |
| SANITARY MANHOLE | SANITARY MANHOLE |
| WILET | WILET |
| CURB WALET | CURB WALET |
| CATCH BASIN | CATCH BASIN |
| STORM MANHOLE | STORM MANHOLE |
| CULVERT END SECTION | CULVERT END SECTION |
| FIRE HYDRANT | FIRE HYDRANT |
| WATER VALVE VAULT | WATER VALVE VAULT |
| WATER VALVE BOX | WATER VALVE BOX |
| B-BOX | B-BOX |
| THRUST BLOCK | THRUST BLOCK |
| TREE | TREE |
| DRAINAGE DIRECTION | DRAINAGE DIRECTION |
| DRAINAGE SUMMIT | DRAINAGE SUMMIT |
| BENCHMARK | BENCHMARK |
| PROPOSED GRADE | PROPOSED GRADE |
- ☒ telephone, electric

ORIGINAL ISSUE DATE: 07-23-2025

NO.	DATE	DESCRIPTION
1		



EXISTING CONDITIONS
 300 MAJESTIC OAK COURT, LAKE FOREST, IL

INDEX OF SHEETS

1. EXISTING CONDITIONS & REMOVAL PLAN	1
2. PROPOSED GRADING & UTILITY PLAN	2
3. SOIL EROSION & SEDIMENT CONTROL PLAN	3
4. CONSTRUCTION DETAILS	4

1 of 4

E:\05-37 Lake Forest (Wastegh Firm)\CAD\Wastegh-C-1 (existing) - LOT 32.dwg 7/24/2025



MONTONA TREE SERVICE

375 N. WOLF RD WHEELING, IL 60090

847-724-6140

Tree Inventory submitted to:
Majestic Oak LLC

Job location:
300 Majestic Oaks Court
Lake Forest, IL 60045 (LOT 32)

TAG #	SPECIES	DBH	CONDITION	COMMENTS/RECOMMENDATIONS
58	Oak	27	6	Remove, dead
59	Norway Maple	8	1	Remove, per plan
60	Norway Maple	10	1	Remove, per plan
61	Oak	37	2	Remove, per plan
62	Oak	33	2	Remove, per plan
63	Oak	35	2	Remove, per plan
64	Hackberry	38	5	Remove, tree is split
65	Hickory	25	2	Prune
66	Oak	36	3	Prune
67	Oak	25	3	Prune
68	Oak	45	2	Remove, per plan
69	Oak	16	5	Remove, per plan
70	Oak	16	5	Remove, per plan
71	Oak	22	4	Remove, per plan
72	Oak	32	6	Remove, per plan
73	Norway Maple	20	1	Remove, per plan
74	Oak	42	2	2 stems, co-dominant
75	Norway Maple	15	2	Remove, per plan
76	Oak	28	3	Remove, per plan
77	Oak	37	3	Remove, per plan

301 inches of trees to replace

Assessed and completed by: Desta Mehrer IL- 1388A

Agenda Item 5
320 Majestic Oak
New Single-Family Residence

Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Rendering

Elevations – Proposed

Elevations – January 7, 2026

Roof Plan

Building Section

Floor Plans

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 320 MAJESTIC OAK

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

ELITE DEVELOPMENT GROUP
Owner of Property

5939 W MONTROSE AVE
Owner's Street Address (may be different from project address)

CHICAGO 60634
City, State and Zip Code

773-727-8546
Phone Number *Fax Number*

MARCIN.DYNAMICGROUP@gmail.com
Email Address

B. Skrymecki
Owner's Signature

ARCHITECT/BUILDER INFORMATION

PAUL - PRESIDENT
Name and Title of Person Presenting Project

SP GROUP PRO INC
Name of Firm

1970 S. GOEBBERT RD
Street Address

ARLINGTON HTS IL 60005
City, State and Zip Code

847-323-9948
Phone Number *Fax Number*

SPGROUPPRO@gmail.com
Email Address

P. Gray
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



PROFESSIONAL DESIGN FRIM – NO: 184.007363-0001

January 15, 2026

Building Review Board
City of Lake Forest
800 Field Dr.
Lake Forest, IL 60045

Re: PROPOSED NEW S.F. RESIDENCE
320 MAJESTIC OAK CT.

Gentlemen:

In response to your letter, please note the following:

A. Overall:

a. Detail the side and rear elevations with the same level of detail as the front elevations.

Side and rear elevations revised with same level of detail as front elevation.

b. Quiet down the front elevations by simplifying the elements, making them appear less imposing.

Front elevation revised.

c. Eliminate double gables.

Double gable eliminated.

d. Reference the existing historic house.

Transitional design provided.

e. Consider enlarging the garage doors to accommodate today's vehicles.

Garage door size stays the same.

Individual Homes:

c. 320 Majestic Oak

i. Refine the design to remove the hipped roof and double gable.

Hip and double gable roofs removed.

ii. Remove the stucco to reduce the number of exterior materials.

Stucco removed and replaced with hardie board panels

iii. On the left elevation, center the high windows on the gable.

Roof redesigned to hip roof.

3315 W. Algonquin Rd., Ste. 440, Rolling Meadows, IL 60008 | PH: 847-877-4414

iv. Study and refine the front entrance to make it less imposing and more muted to blend in with the surrounding area.

Front elevation refined.

v. Consider a more transitional than contemporary design.

More transitional design provided.

If you have any questions, please call our office.

Sincerely,



Daniel S. Drag,
Illinois Licensed Architect



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material _____

Window Treatment

- | | |
|--------------------------------------|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish _____

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other HARDIE

Fasclas, Soffits, Rakeboards

- Wood
 Other ALUMINUM

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other DA VINCI SLATE

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

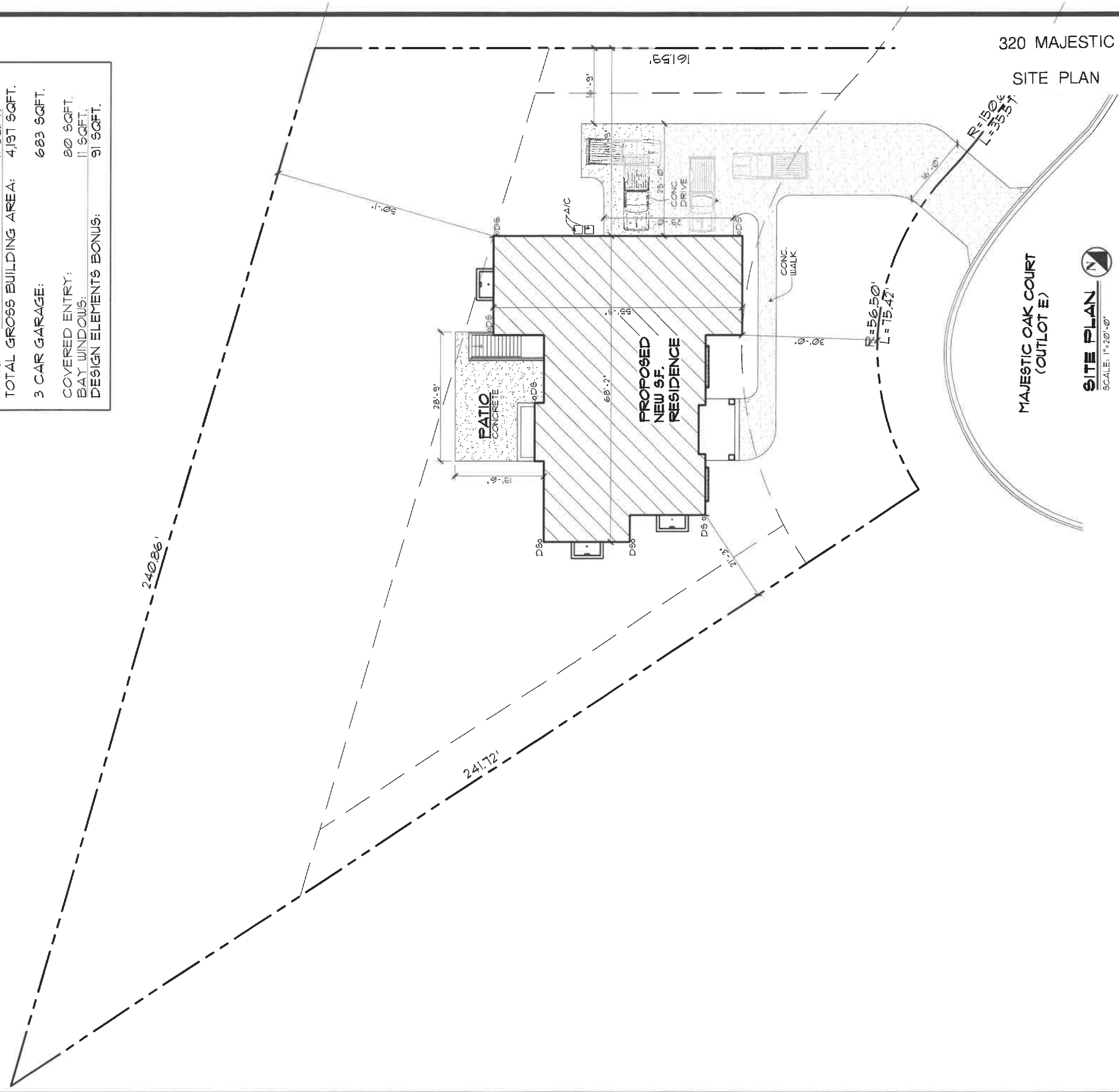
Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

LOT AREA:	25,614 SQFT.
ALLOWABLE BULK BY CODE:	4,280 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	428 SQFT.
NET AREA:	1,911 SQFT.
1ST FLOOR:	1,945 SQFT.
2ND FLOOR:	3,856 SQFT.
TOTAL NET LIVING AREA:	
GROSS AREA:	2,120 SQFT.
1ST FLOOR:	2,066 SQFT.
2ND FLOOR:	11 SQFT.
ATTIC:	4,191 SQFT.
TOTAL GROSS BUILDING AREA:	6,83 SQFT.
3 CAR GARAGE:	80 SQFT.
COVERED ENTRY:	11 SQFT.
BAY WINDOWS:	91 SQFT.
DESIGN ELEMENTS BONUS:	



320 MAJESTIC OAK
SITE PLAN

MAJESTIC OAK COURT
(OUTLOT E)
SITE PLAN
SCALE: 1"=20'-0"

PROPOSED NEW S.F. RESIDENCE
320 MAJESTIC OAK CT.
LAKE FOREST
ILLINOIS

DATE: 15 FEB. 26

ARCHIMAX, INC.
PROFESSIONAL DESIGN FIRM - NO: 184.007363-0001
3315 W. ALGONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60008
Phone: 847/877/4414
Archimaxinc@gmail.com

320 MAJESTIC OAK

RENDERING

EAST ELEVATION

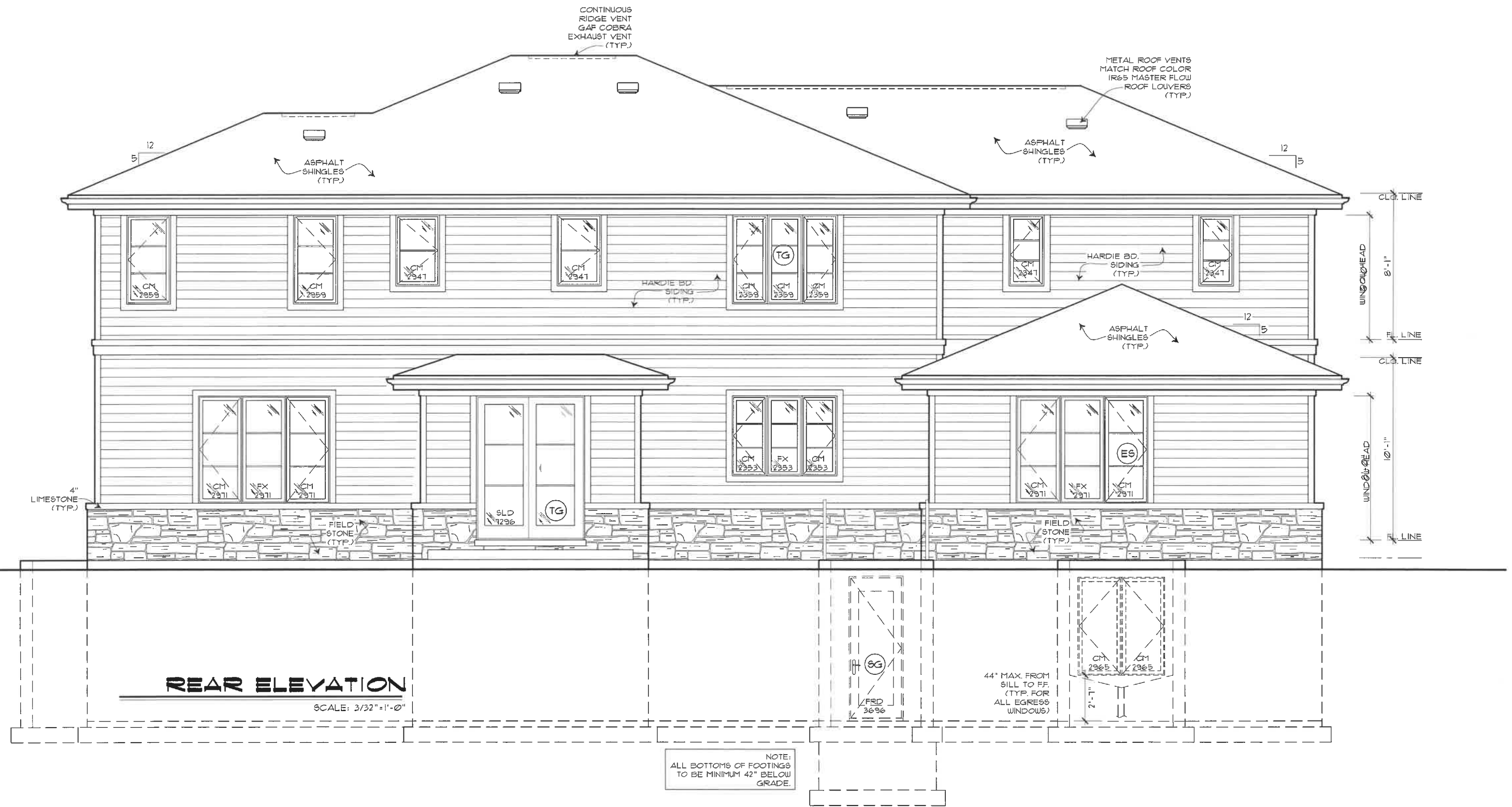


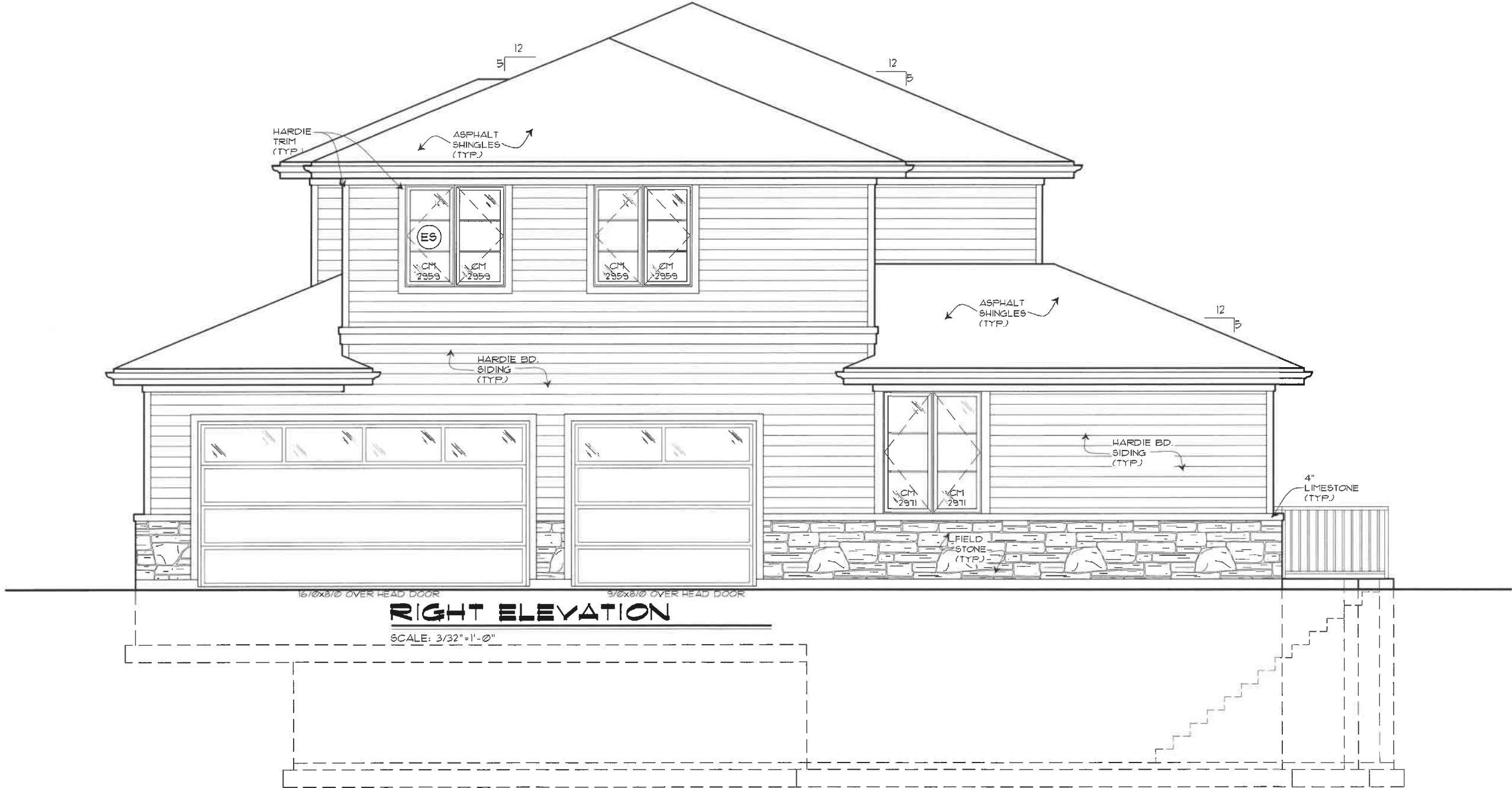




LEFT ELEVATION

SCALE: 3/32"=1'-0"



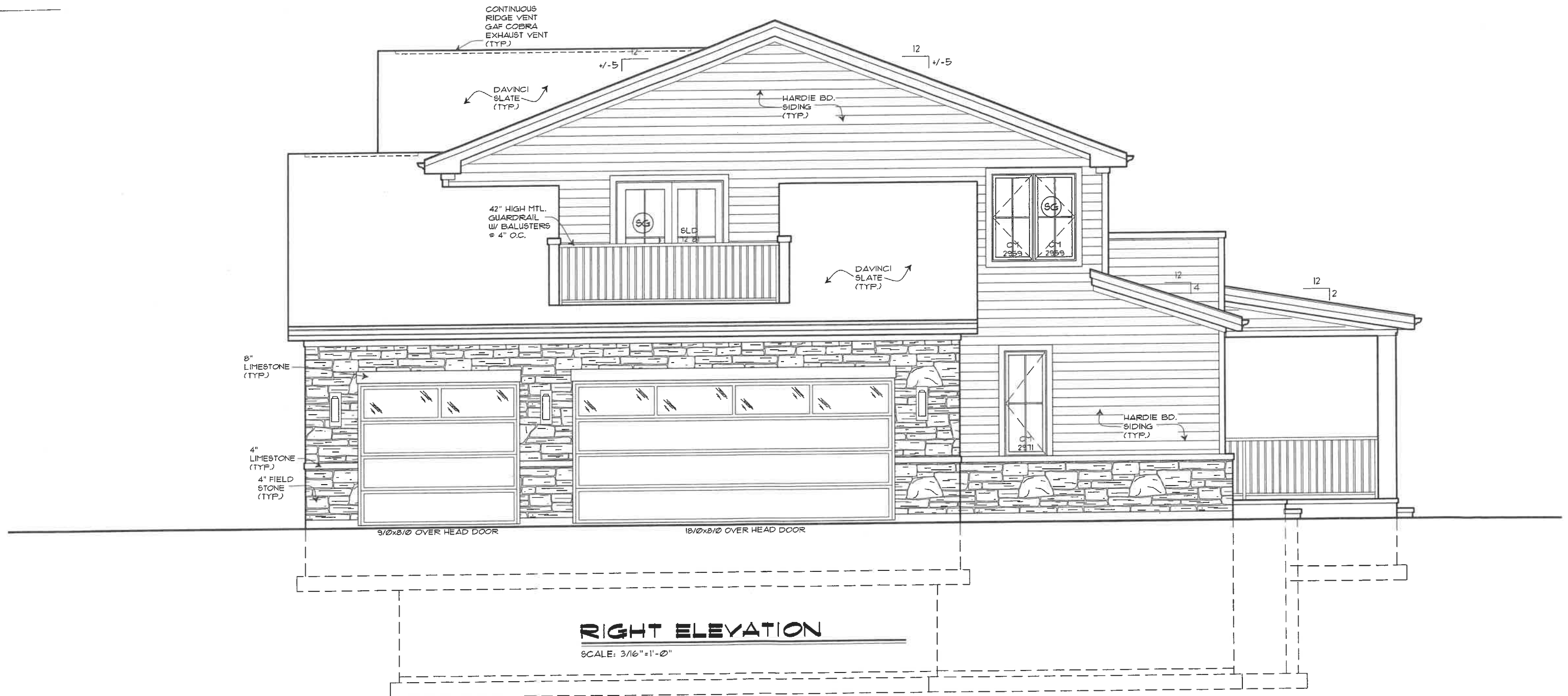


Previous Elevations

NORTH (RIGHT) ELEVATION

JANUARY 7, 2026

320 MAJESTIC OAK



LANDSCAPE PLAN

ALL LANDSCAPE PLANS ARE CREATED BY THOMAS NORDLOH ASSOCIATES. LANDSCAPE ARCHITECTS ARE NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE CLIENT IS RESPONSIBLE FOR VERIFYING ALL INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



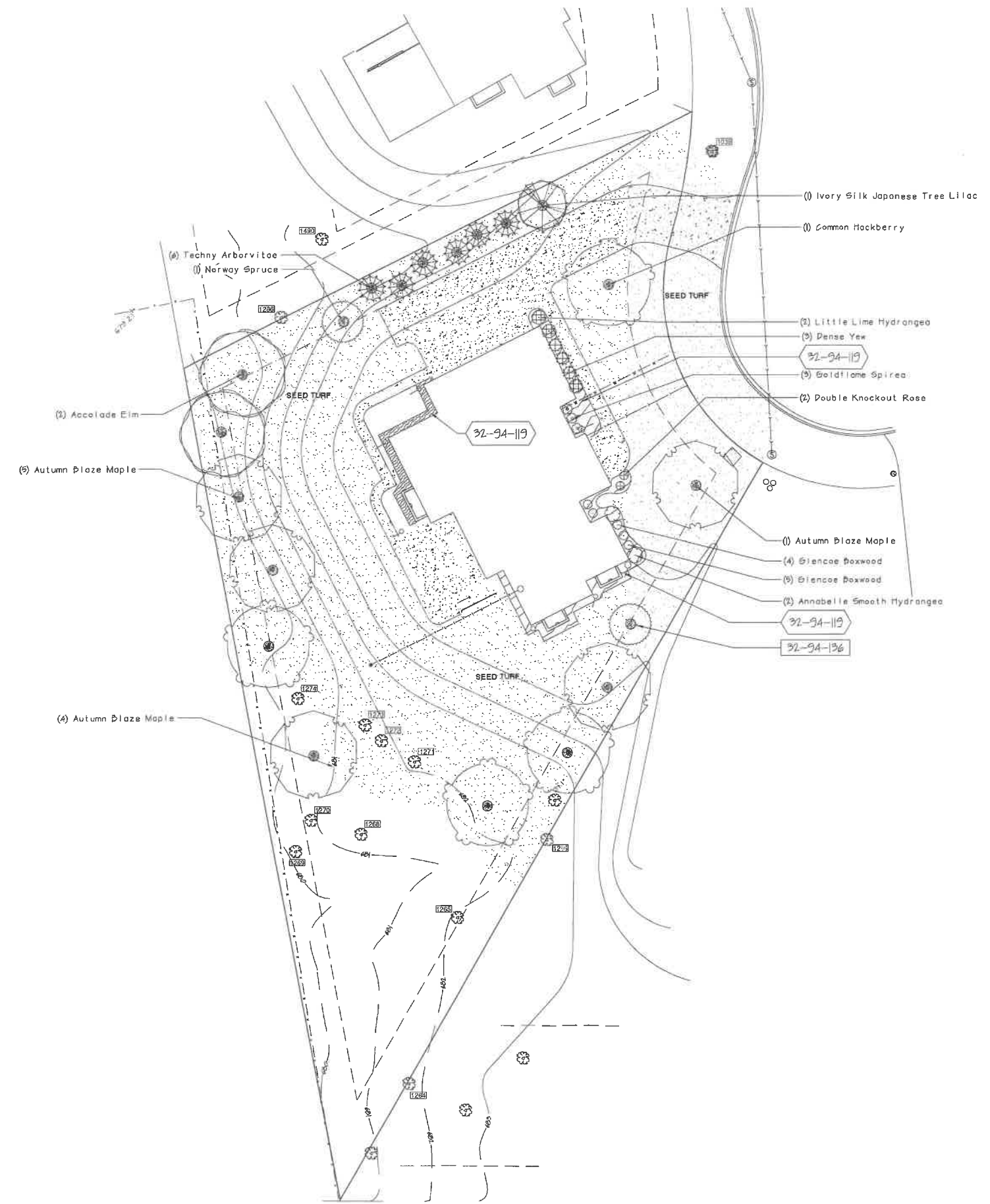
DATE	REVISION/ISSUE

**320 MAJESTIC OAK
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh
 Landscape Architect
 Reg. # 057-000629

Project: **20250822.1**
 Date: **12-9-25_1**

Sheet
L-1.0



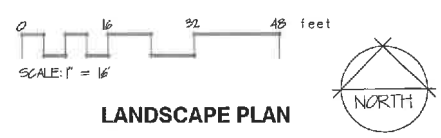
REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-92-28	REINFORC PREMIUM 60 TURF-SEED AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6 BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	14,867 sq ft
	32-94-119	SHREDDED DARK MULCH, 3-4" DEPTH	564 sq ft
	32-94-136	3" DIAMETER MULCH TREE RING	6
	32-95-01	EDGE, SHOVEL CUT DEP EDGE, 4" DEPTH-SEE DETAIL	166 lf

LANDSCAPE ORDINANCE
 STREET FOUNDATION LINEAL FOOTAGE - 60' 2 X 3' SHRUBS PER 10 LF - 18 SHRUBS
 REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF - 80' = 2 TREES. PLAN HAS 2 TREES
 REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 ORNAMENTAL TREES
 OR
 REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 EVERGREEN TREE
TREE REPLACEMENT COUNT:
 36 CALIPER INCHES = 12 TREE REPLACEMENTS BASED ON 3" CALIPER TREES.
 ROTTEN, DEAD, INVASIVE AND NUISANCE TREES ARE NOT COUNTED IN REPLACEMENTS.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES				
	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	3" Cal.	B&B	5
	Celtis occidentalis / Common Hockberry	3" Cal.	B&B	4
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6" Ht.	B&B	1
	Ulmus x 'Accolade' / Accolade Elm	3" Cal.	B&B	2
	SUBTOTAL:			12
EVERGREEN TREES				
	Picea abies / Norway Spruce	6" Ht.	B&B	2
	Thuja occidentalis 'Techny' / Techny Arborvitae	6" Ht.	B&B	6
	SUBTOTAL:			8
SHRUBS				
	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3" Ht.		2
	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3" Ht.		3
	Rosa x 'Double Knockout Radtko' / Double Knockout Rose	5 gal		2
	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal		3
	SUBTOTAL:			10
SHRUB EVERGREENS				
	Buxus x 'Chicagoland Green' TM / Spice Boxwood	24"		5
	Taxus x media 'Densiformis' / Dense Yew	24"		3
	SUBTOTAL:			8
	Existing Trees			



LOT 33

TREE REMOVAL PLAN

EXISTING CONDITIONS & REMOVAL PLAN

LEGAL DESCRIPTION

LOT 33 IN WESTLAKE FARM, BEING A SUBDIVISION IN PART OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 29, 2017 AS DOCUMENT 148895, IN LAKE COUNTY, ILLINOIS.

ADDRESS

320 MAJESTIC OAK COURT
LAKE FOREST, IL

PARCEL IDENTIFICATION NUMBER

18-03-103-004

AREA

33,514.61 SQ. FT. = 0.768 ACRES

SURVEYOR

ACORN CONSULTANTS LTD.
1340 GRIFFIN ROAD
BATAVIA, IL 60510

CIVIL ENGINEER

KRUENG DESIGN PLLC
13369 MCCARTHY ROAD
LEWISVILLE, ILLINOIS
KRYSTIAN@KRUENGDESIGN.COM

GENERAL NOTES

- CALL JULIE 1-800-882-0133 BEFORE EXCAVATING.
- GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
- ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, & ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
- NO CONCENTRATED DISCHARGE OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- PROPER TRAFFIC CONTROL (DOT STANDARDS) SHALL BE USED FOR ALL OBSTRUCTIVE STREET WORK.
- GENERAL CONTRACTOR SHALL NOTIFY CITY VILLAGE PRIOR TO THE START OF CONSTRUCTION.
- ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGES OR CITY ENGINEERING STANDARDS AND SPECIFICATIONS.
- REFER TO THE APPROVED ZONING APPLICATION FOR ALL SETBACK DIMENSIONS.
- ANY EXISTING BROWNS OR GRASSES IDENTIFIED AS DAMAGED SIDEWALK RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGES PUBLIC IMPROVEMENT DEPARTMENT. THE SIDEWALK SHALL BE COMPOSED OF PITCHBLOCKS OF CLASS 25 CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED C&G STONE BASE. THE SIDEWALK SHOULD DRAIN AT 1/4" PER FOOT TOWARD THE ROADWAY.
- APPROPRIATE BASE COURSE FOR DRIVEWAY & SIDEWALKS SHALL CONSIST OF MINIMUM 4" C&G COMPACTED TO 1% STANDARD PROCTOR DENSITY.
- THE CONTRACTOR MUST CONTACT THE PUBLIC UTILITIES AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL PROPOSED SANITARY SEWER, WATER SERVICES, STORM SEWER AND RELATED DRAINAGE STRUCTURES, PUMP OUTLETS AND DRAINAGE/STORMWATER WALKS INSTALLATION.
- ALL VEHICLES ASSOCIATED WITH ANY CONSTRUCTION PROJECT IN RESIDENTIAL AREAS SHALL BE REQUIRED TO PARK ON THE SITE UNLESS OTHERWISE ALLOWED BY CITY VILLAGES.
- ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN.
- AN APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
- STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
- ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
- ALL WORK SHALL BE COMPLETED SAFELY AND IN COMPLIANCE WITH OSHA, IDOT, ADA, AND LOCAL GOVERNING VILLAGES/TOWNSHIP/CITY STANDARDS.
- RECORD DRAWINGS SHALL BE PROVIDED FOLLOWING CONSTRUCTION.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

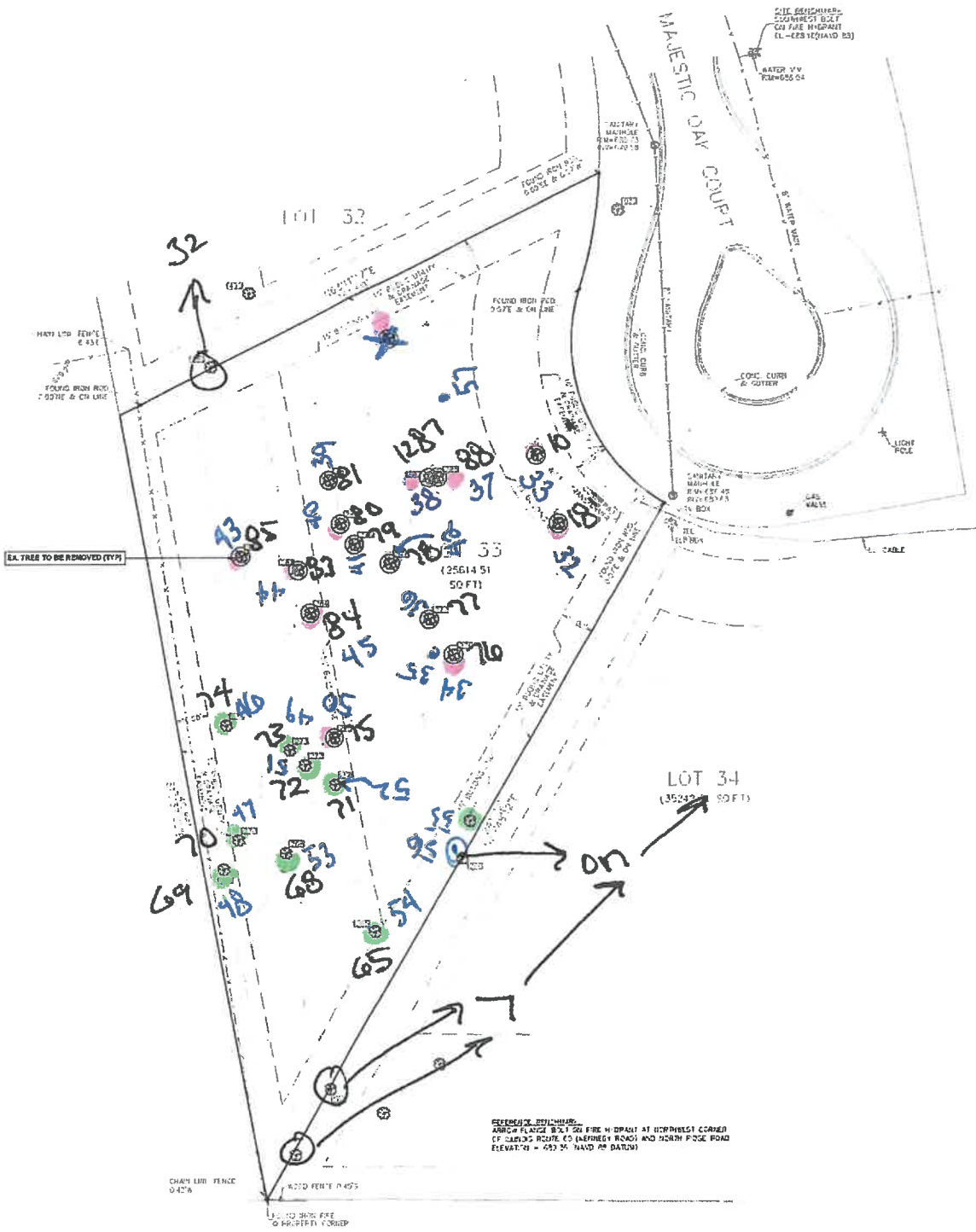
SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJACENT PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 23RD DAY OF JULY, 2025

R. Volpog



EXISTING

LEGEND

- | | |
|--|------------------------|
| | STORM SEWER |
| | SANITARY SEWER |
| | WATER LINE |
| | ELECTRIC LINE |
| | GAS LINE |
| | FIBER OPTIC |
| | OVERHEAD LINE |
| | FENCE |
| | CONTOUR |
| | SANITARY MANHOLE INLET |
| | CURB INLET |
| | CATCH BASIN |
| | STORM MANHOLE |
| | CULVERT END SECTION |
| | FIRE HYDRANT |
| | WATER VALVE VAULT |
| | WATER VALVE BOX |
| | S-BOX |
| | THRUST BLOCK |
| | TREE |
| | DRAINAGE DIRECTION |
| | DRAINAGE SUMMIT |
| | BENCHMARK |
| | PROPOSED GRADE |

PROPOSED

ORIGINAL ISSUE DATE: 07-22-2025

NO. | DATE | DESCRIPTION



EXISTING CONDITIONS
320 MAJESTIC OAK COURT, LAKE FOREST, IL

INDEX OF SHEETS

- EXISTING CONDITIONS & REMOVAL PLAN
- PROPOSED GRADING & UTILITY PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- CONSTRUCTION DETAILS

1 of 4



MONTOYA TREE SERVICE

375 N. WOLF RD WHEELING, IL 60090

847-724-6140

Tree Inventory submitted to:
Elite Development Group LLC

Job location:
320 Majestic Oaks Court
Lake Forest, IL (LOT 33)

TAG #	SPECIES	DBH	CONDITION	COMMENTS/RECOMMENDATIONS
32	Black Locust	9	2	Remove, per plan
33	Black Locust	11	2	Remove, per plan
34	Boxelder	12	5	Remove
35	Boxelder	24	5	Remove, cracked/split
36	Boxelder	8	5	Remove
37	Elm	14	6	Dead
38	Elm	20	6	Dead
39	Boxelder	14	5	Remove
40	Boxelder	8	H	Remove
41	Boxelder	10	5	Remove
42	Boxelder	7	5	Remove
43	Oak	36	1	Remove
44	Boxelder	7	2	Remove, leaning
45	Oak	37	1	Prune
46	Oak	36	2	Prune
47	Oak	32	2	Prune
48	Oak	33	2	Prune
49	Oak	17	4	Prune
50	Boxelder	10	4	Prune
51	Boxelder	15	2	Remove
52	Oak	48	6	Remove, dead
53	Oak	27	2	Prune
54	Boxelder	17	5	Remove, damaged
55	Boxelder	10	4	Prune
56	Boxelder	11	4	Prune
57	Tree of Heaven	8	1	Remove, invasive

36 inches of tree replaced

Assessed and completed by: Desta Mehrer IL- 1388A

Agenda Item 6
340 Majestic Oak
New Single-Family Residence

Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Rendering

Elevations -Proposed

Elevations – November 5, 2026

Samples of Materials

Roof Plan

Building Section

Floor Plans

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 340 MAJESTIC OAK

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

ELITE DEVELOPMENT GROUP
Owner of Property

5939 W MONTROSE AVE
Owner's Street Address (may be different from project address)

CHICAGO 60634
City, State and Zip Code

773-727-8546
Phone Number *Fax Number*

MARCIN.DYNAMICGROUP@gmail.com
Email Address

B. Skrynecki
Owner's Signature

ARCHITECT/BUILDER INFORMATION

PAUL - PRESIDENT
Name and Title of Person Presenting Project

SP GROUP PRO INC
Name of Firm

1970 S. GOEBBERT RD
Street Address

ARLINGTON HTS IL 60005
City, State and Zip Code

847-323-9948
Phone Number *Fax Number*

SPGROUPPRO@gmail.com
Email Address

P. Skrynecki
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



PROFESSIONAL DESIGN FRIM – NO: 184.007363-0001

January 15, 2026

Building Review Board
City of Lake Forest
800 Field Dr.
Lake Forest, IL 60045

Re: PROPOSED NEW S.F. RESIDENCE
340 MAJESTIC OAK CT.

Dear Building Review Board,

In response to your letter, please note the following: We have updated the plans per your recommendations. Please see attached Presentation Set as well as Materials Details List with colors and finishes provided.

Overall:

- a. Detail the side and rear elevations with the same level of detail as the front elevations.
Side and rear elevations revised with same level of detail as front elevation.
- b. Quiet down the front elevations by simplifying the elements, making them appear less imposing.
Front elevation revised.
- c. Eliminate double gables.
Double gable eliminated.
- d. Reference the existing historic house.
Transitional design provided.
- e. Consider enlarging the garage doors to accommodate today's vehicles.
Wide garage door provided.

Individual Homes: 340 Majestic Oak

- i. Remove the double gable to simplify the massing.
Double gable removed on front elevation per request of board to simplify the massing. Referenced in Presentation Set, slide 13.
- ii. Use three instead of four over the horizontal muntins.
Windows changed to include three muntins used in windows and doors. Referenced in Presentation Set, all revised elevation slides.
- iii. Consider widening the garage doors for functionality.
Left elevation garage door changed to 18ft wide by 8ft high door. Referenced in Presentation Set, slide 15. Front elevation garage door changed to 18ft as well. Referenced in Presentation Set, slide 13.

- i. Break up the rear window to be more proportional with the other windows.
Rear windows broken up to be more proportional to other windows, and additional windows added. Reference in Presentation Set, slide 17.
- ii. Break up the expansive wall massing on the right elevation with windows to better balance the solids and voids.
Windows added to multiple locations to break up expansive wall massing. Referenced in Presentation Set, slide 19.

If you have any questions, please call our office.

Sincerely,



Daniel S. Drag,
Illinois Licensed Architect



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material _____

Window Treatment

- | | |
|--------------------------------------|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Siding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish _____

- Window Muntins**
- Not Provided
- True Divided Lites

- Simulated Divided Lites*
- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

- | | |
|--------------------------------------|--|
| Door Trim | Window Trim |
| <input type="checkbox"/> Limestone | <input type="checkbox"/> Limestone |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Brick |
| <input type="checkbox"/> Wood | <input type="checkbox"/> Wood |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other <u>HARDIE</u> |

- Fascias, Soffits, Rakeboards**
- Wood
- Other ALUMINIUM

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other DA VINCI SLATE

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

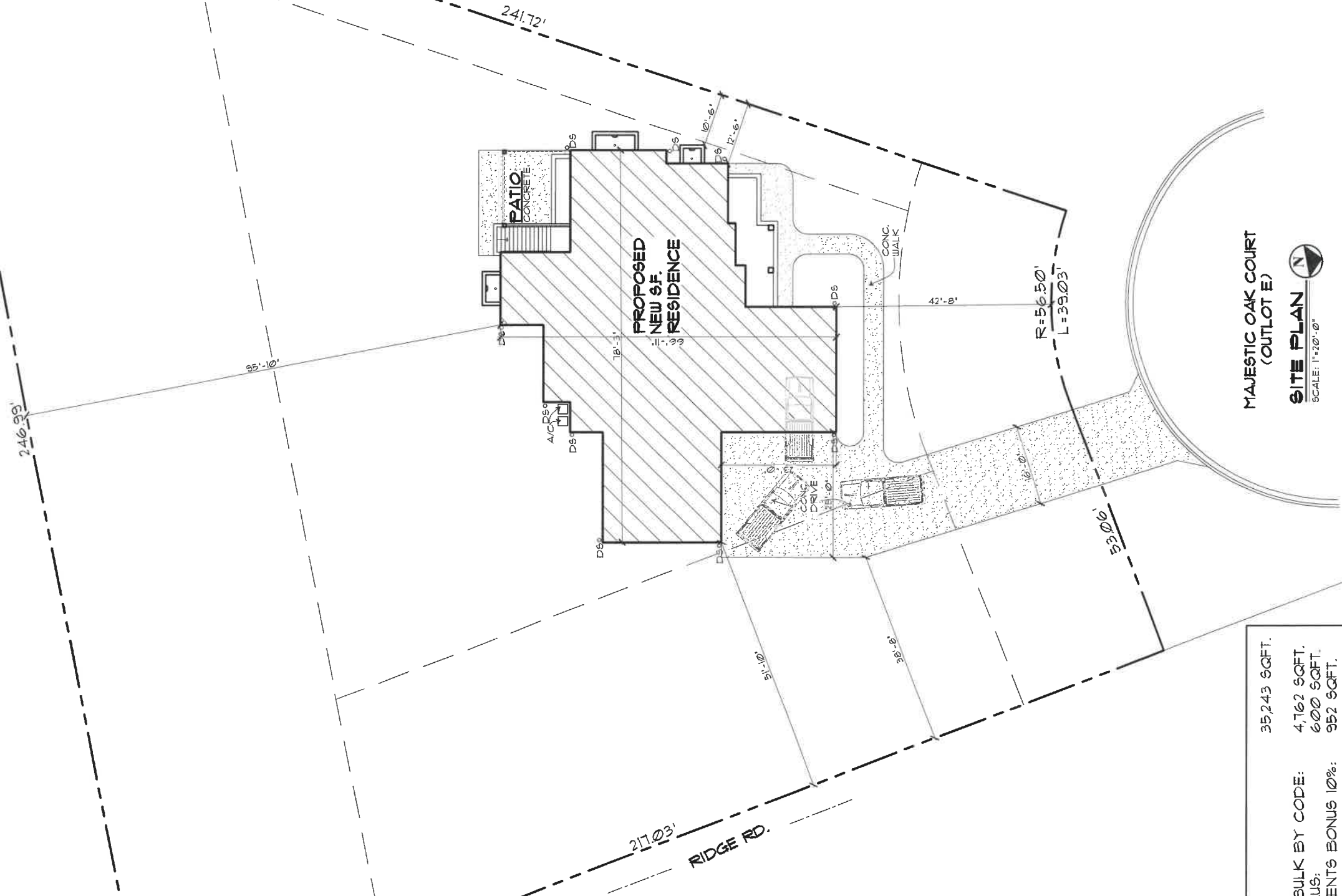
- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

340 MAJESTIC OAK
SITE PLAN

DATE: 16 SEPT. 25



LOT AREA:	35,243 SQFT.
ALLOWABLE BULK BY CODE:	4,762 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	952 SQFT.
NET AREA:	1,815 SQFT.
1ST FLOOR:	1,910 SQFT.
2ND FLOOR:	3,125 SQFT.
TOTAL NET LIVING AREA:	
GROSS AREA:	
1ST FLOOR:	2,019 SQFT.
2ND FLOOR:	2,042 SQFT.
ATTIC:	218 SQFT.
TOTAL GROSS BUILDING AREA:	4,279 SQFT.
4 CAR GARAGE:	1,083 SQFT.
PORCH:	107 SQFT.
PERGOLA:	204 SQFT.
DESIGN ELEMENTS BONUS:	311 SQFT.

MAJESTIC OAK COURT
(OUTLOT E)
SITE PLAN
SCALE: 1"=20'-0"

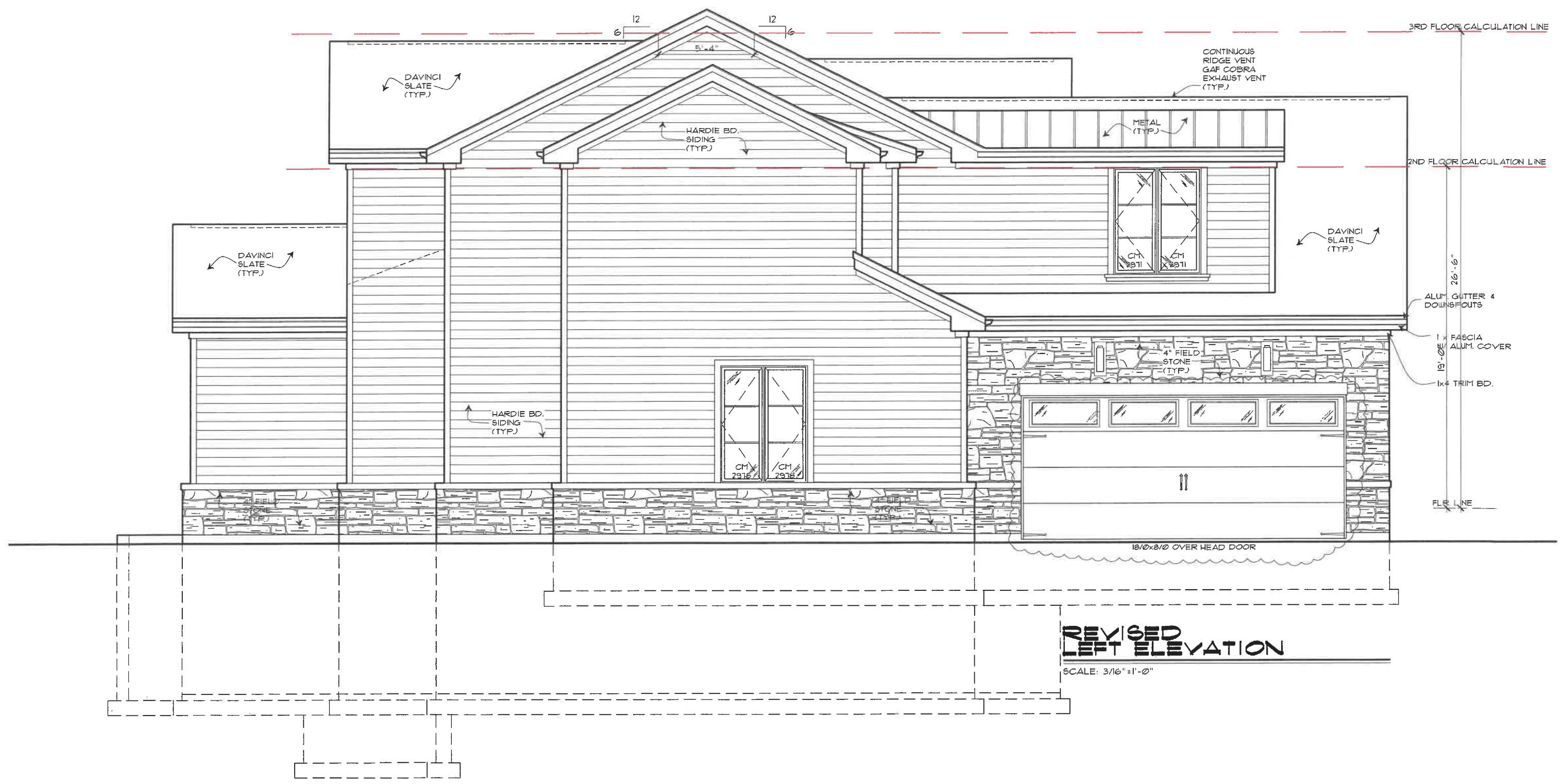
PROPOSED NEW S.F. RESIDENCE
340 MAJESTIC OAK CT.
LAKE FOREST
ILLINOIS

340 MAJESTIC OAK

RENDERING

NORTH ELEVATION





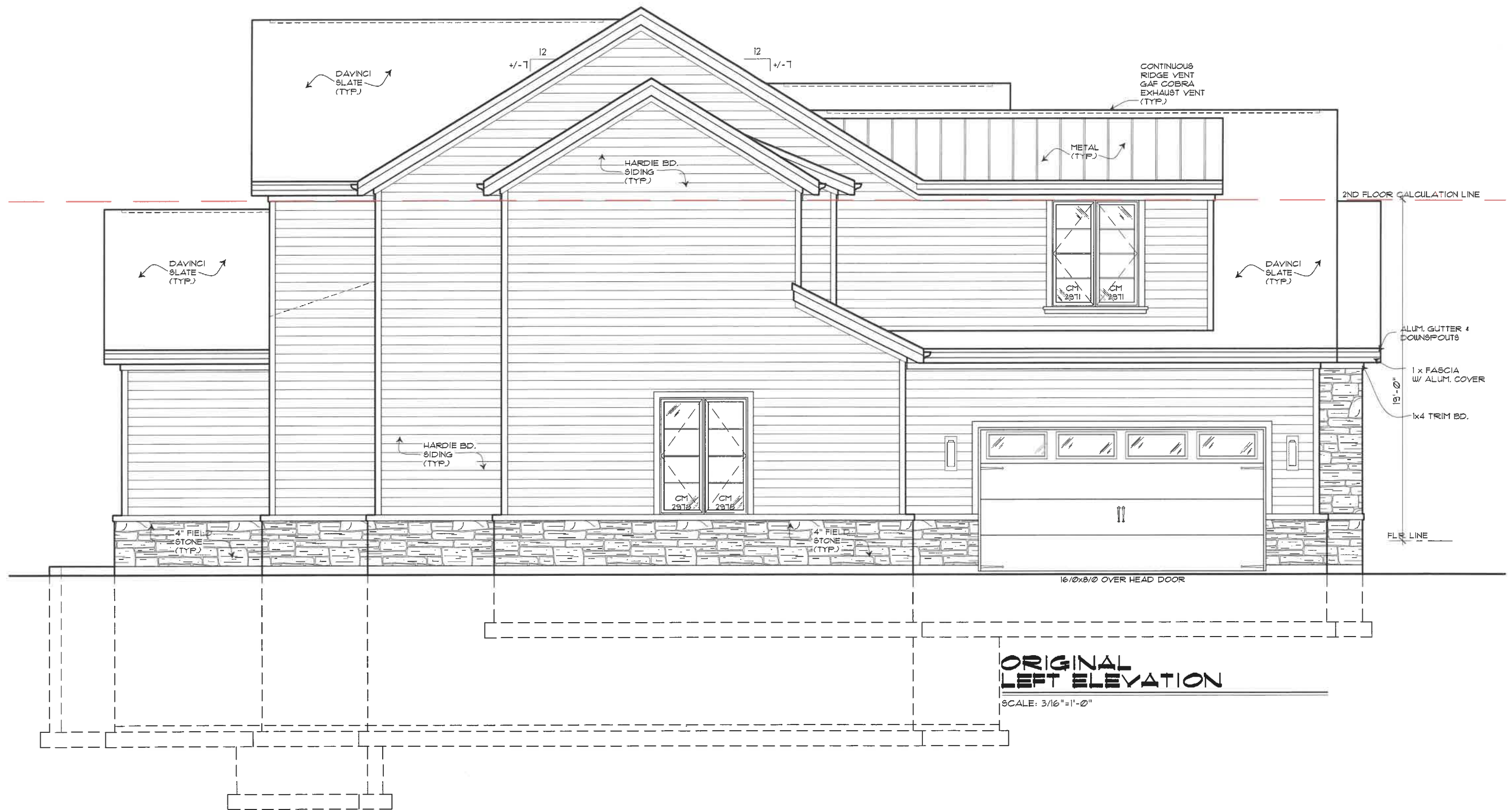
SOUTH ELEVATION

FEBRUARY 4, 2026



Previous Elevations





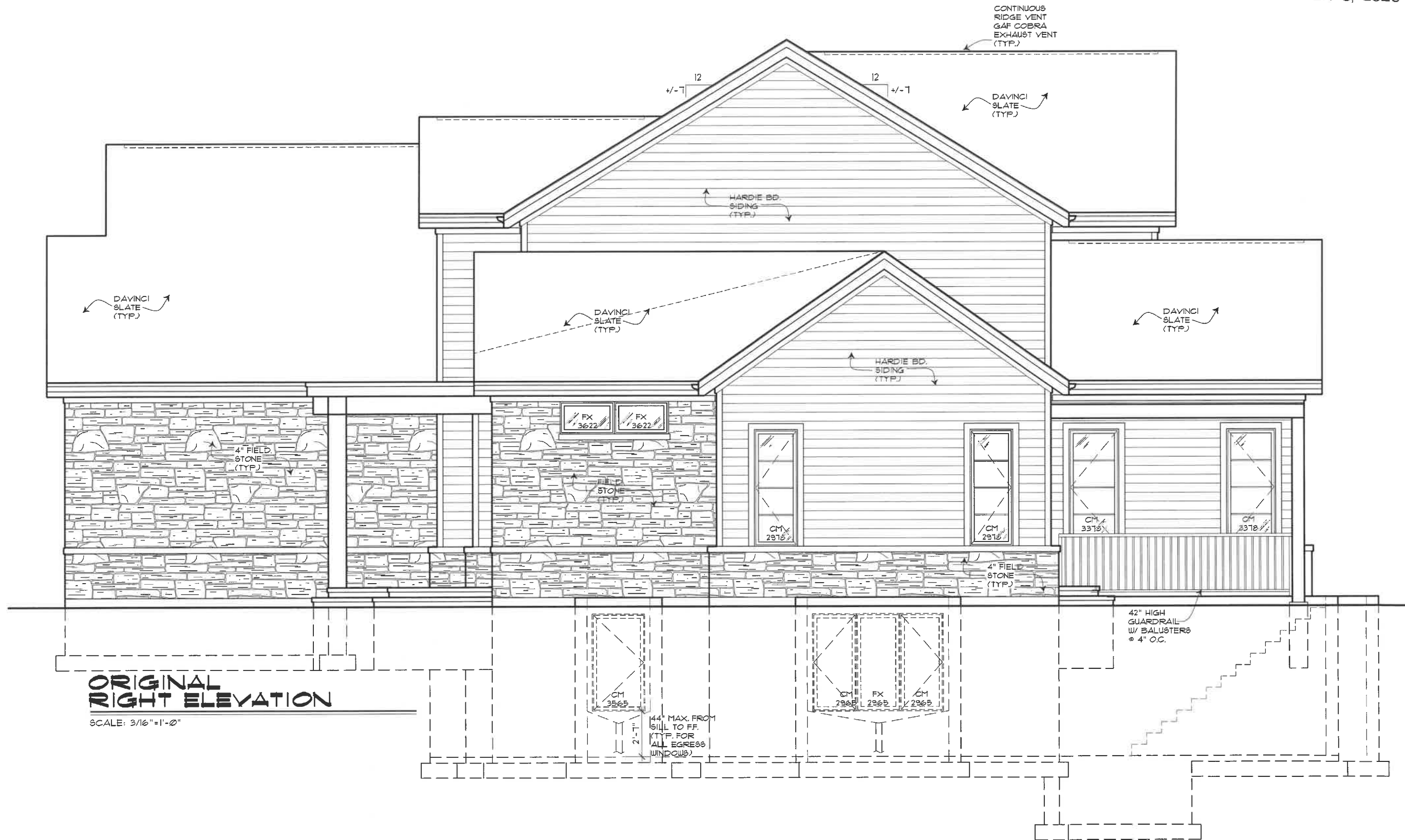
**ORIGINAL
LEFT ELEVATION**

SCALE: 3/16"=1'-0"

SOUTH ELEVATION

NOVEMBER 5, 2025





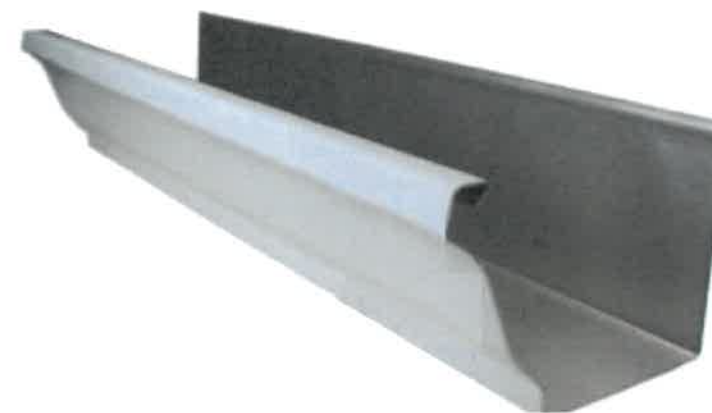
340 Majestic Oak Court: *Material Details*



HARDIE BOARD SIDING AND TRIM: SIERRA 8



DAVINCI ROOFSCAPES SLATE: GRAY COOL



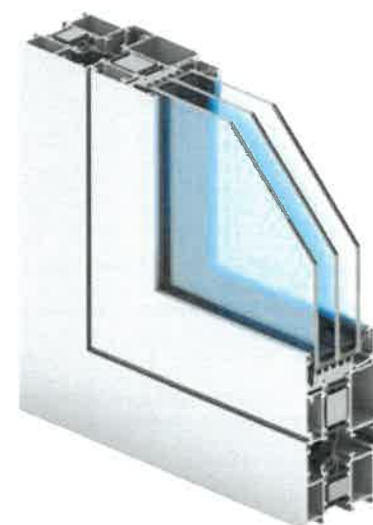
GUTTER SUPPLY: GRAY



HALQUIST STONE: GREY/BUFF CHATEAU



WINDOW ALIPLAST: BLACK

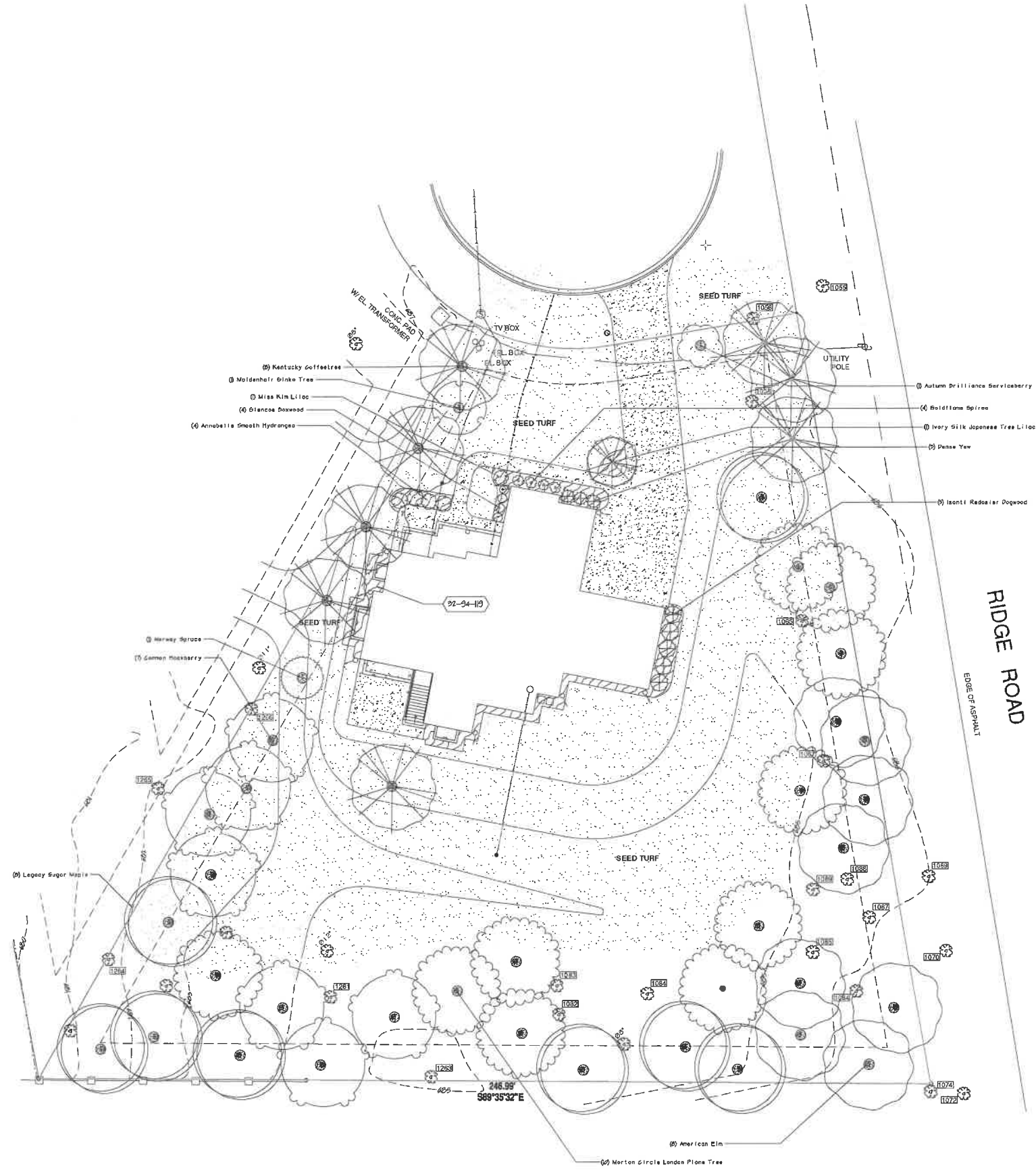




No.	Revision/Issue	Date
1		
2		
3		
4		

**340 MAJESTIC OAK
 LAKE FOREST, ILLINOIS**

LANDSCAPE PLAN



LANDSCAPE ORDINANCE

STREET FOUNDATION LINEAL FOOTAGE -80' 2 X 3' SHRUBS PER 10 LF - 16 SHRUBS

SIDE STREET FOUNDATION LINEAL FOOTAGE -25' 2 X 3' SHRUBS PER 10 LF - 5 SHRUBS

REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF - 80' = 2 TREES. PLAN HAS 2 TREES

REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES

OR

REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE

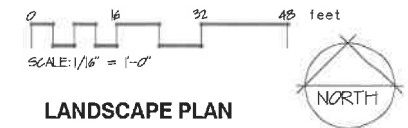
TREE REPLACEMENT COUNT;
 133 CALIPER INCHES = 44 TREE REPLACEMENTS BASED ON 3" CALIPER TREES.
 ROTTEN, DEAD, INVASIVE AND NUISANCE TREES ARE NOT COUNTED IN REPLACEMENTS.

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	92-93-10	PREMIUM PREMIUM 40 TURF-SEED AND IN SHORT TERM DESIGN PLANET. METAL PDS MANUFACTURED CARELESSLY USE ONLY 4" PNEUMATICALLY INSTALLED METAL STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	15,775 sf
	92-94-10	COMPRESSED DARK MULCH 6" DEPTH	700 sf
	92-94-15	6" DIAMETER MULCH TREE RING	40
	92-95-01	EDGE, SHOVEL CUT 2ED EDGE, 4" DEPTH-SEE DETAIL	15 11

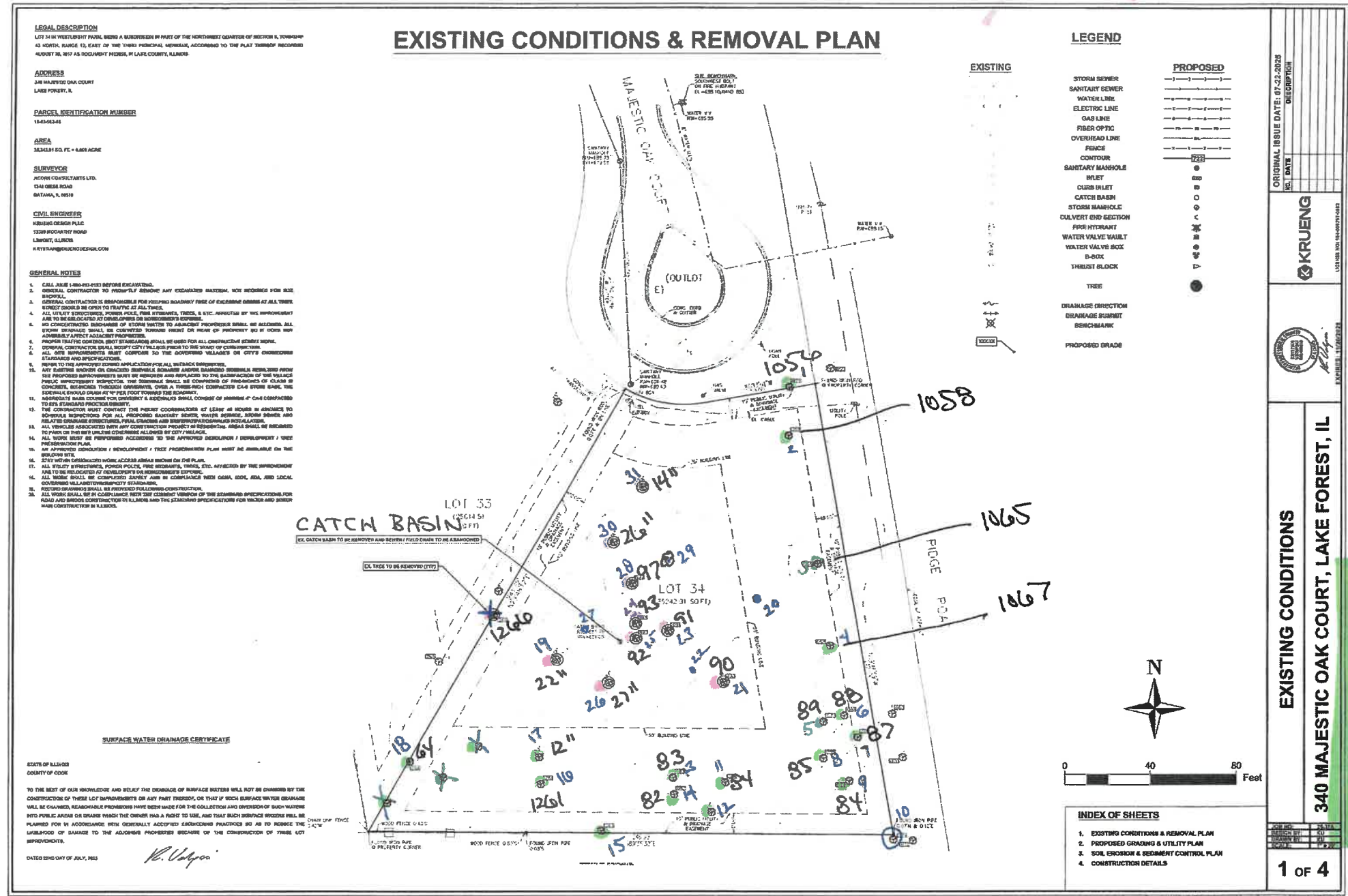
PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	TREES			
	Acer saccharum Legacy / Legacy Sugar Maple	5" Cal.	560	8
	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	4" HL.	560	1
	Sialia occidentalis / Common Mockberry	5" Cal.	560	7
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Ginkgo Tree	5" Cal.	560	1
	Symocodus dioica Espresso / Kentucky Coffeetree	5" Cal.	560	8
	Platanus x acerifolia 'Morton Circle' / Morton Circle London Plane Tree	5" Cal.	560	10
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	4" HL.	560	1
	Ulmus x 'Frontier' / American Elm	5" Cal.	560	8
	REBTOTAL:			44
	EVERGREEN TREES			
	Picea abies / Norway Spruce	4" HL.	560	1
	REBTOTAL:			1
	SHRUBS			
	Cornus sericea 'Isanti' / Isanti Redosier Dogwood	5"		5
	Hydrangea arborescens 'Annabella' / Annabella Smooth Hydrangea	5" HL.		4
	Spirea x bumalda 'Baldilona' / Baldilona Spirea	5 gal.		4
	Syringa patula Miss Kim / Miss Kim Lilac	5" HL.		1
	REBTOTAL:			14
	SHRUB EVERGREENS			
	Doxus x Chicopland Green TM / Glancon Dewwood	24"		4
	Taxus x media 'Densiformis' / Desso Yew	24"		5
	REBTOTAL:			7
	Existing Trees			



LOT 34

~~REMOVE~~





MONTOYA TREE SERVICE

375 N. WOLF RD WHEELING, IL 60090

847-724-6140

**Tree Inventory submitted to:
Elite Development Group LLC**

**Job location:
340 Majestic Oaks Court
Lake Forest, IL (LOT 34)**

TAG #	SPECIES	DBH	CONDITION	COMMENTS/RECOMMENDATIONS
1	Hickory	13	2	Prune
2	Oak	19	6	Remove
3	Oak	35	6	Remove
4	Oak	27	6	Remove
5	Oak	60	5	Remove, trunk rot
6	Oak	40	2	Prune
7	Oak	23	2	Prune
8	Oak	18	3	Prune
9	Oak	22	6	Remove, dead
10	Oak	29	2	Prune
11	Oak	24	2	Prune
12	Oak	35	2	Prune
13	Oak	24	3	Prune
14	Oak	30	1	Prune
15	Oak	40	2	Prune
16	Black Locust	17	4	Remove, trunk rot
17	Black Locust	12	5	Remove, cracked
18	Black Locust	19	3	Prune
19	Hickory	23	4	Trunk split, rot
20	Oak	38	2	Prune
21	Boxelder	21	3	Remove, invasive
22	Ash	7	1	Remove, per plan
23	Black Locust	17	5	Leaning, remove per plan
24	Boxelder	10	5	Remove, per plan
25	Boxelder	13	5	Remove, per plan
26	Oak	28	3	Remove, per plan
27	Oak	24	6	Remove, per plan
28	Black Locust	23	2	Remove, per plan
29	Boxelder	19	4	Remove, per plan
30	Boxelder	36	4	Remove, per plan
31	Black Locust	15	2	Remove, per plan

133 inches to be replaced

Assessed and completed by Desta Mehrer IL-1388A