

Agenda Item 3
1781 Knollwood
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Renderings – Options 1 and 2
Samples of Exterior Materials
Roof Plan
Building Section
Floor Plan
Landscape Plan
Landscape Plan - Enlarged
Tree Removal Plan
Tree Survey

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1781 Knollwood Lane

Consideration of a request for a recommendation in support of a new single-family residence on a vacant lot, tree removal, hardscape and landscape plans.

Property Owner: Yuriy Nekrasov
Representative: Mathew Kerouac, Architect

Staff Contact: Luis R. Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a new single-family residence on a vacant lot and the associated tree removal, hardscape, and landscape.

Description of Property

The property is located to the southeast of Knollwood Lane which is a short lane that extends off of Knollwood Road. The lot is 60,189 square feet, a 40-foot-wide access easement extends along the south property line and a 50 foot by 50 foot tree protection area covers the southwest corner of the property.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is mostly met.

The proposed residence is sited near the northwest corner of the lot. Its placement is driven in large part by the easement to the south and the tree protection area to the southwest. The petitioner stated that the siting of the residence is also intended to minimize sightlines from the rear yard of the property to the north.

The house faces west toward Knollwood Lane. A single curb cut is proposed at the center of the lot leading to a 16-foot-wide driveway. The driveway provides access to a two-car garage which faces the lane and a porte-cochere, a covered area that could accommodate a parked vehicle or outdoor storage. The garage apron appears tight. A study

should be done to assure that there is adequate space to maneuver into and out of the garage. Other street-facing garages are present along Knollwood Road, establishing some precedent for this orientation.

Given the significant number of high quality species of trees in good condition proposed for removal, consideration should be given to whether there is an opportunity to reduce the sprawling footprint of the home. It does not appear that shifting the siting of the home will reduce the number of trees impacted in the short term and longer term due to construction. The property is a buildable lot so it is reasonable that there will be a significant amount of tree loss. An extensive tree replacement plan will assure that over time, the wooded, natural character of the area will be preserved.

Staff Recommendation: Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage and porte-cochere.

Staff Recommendation: Consider any opportunity to reduce the footprint of the house and hardscape and if determined to be worthwhile, the siting of the home to reduce the number of trees that will be removed and to limit longer term impacts to trees that are identified for preservation but may be impacted by construction activity.

Staff Recommendation: Submit a plan prepared by a Certified Arborist detailing pre and post construction treatment of trees identified for preservation.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,341 feet is permitted on the site with an allowance of 800 square feet for a garage and 534 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 5,043 square feet.
- The proposed garage totals 656 square feet.
- In addition to the above square footage, a total of 791 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 534 square feet, 256 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 5,299 square feet. That is 42 square feet or less than 1 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 20 feet as measured from the pre-existing lowest adjacent to the house to the tallest roof ridge and is below the allowable height of 40 feet for the property.

Elevations – This standard is met.

The architect identifies the proposed home as a contemporary ranch. This style is reflected in the simple building forms, single-story massing, and emphasis on the relationship between interior and exterior spaces. Window placement is generally proportional to the wall massing and consistent with the selected style. Overall, the proposed elevations are compatible with the Residential Design Guidelines. The selected style of the home will allow it to settle quietly into the wooded site and surrounding natural area.

Type, color, and texture of materials – This standard is mostly met.

The siding will be composite anthracite colored millboard and buff gray stone veneer of at least 4" in thickness. The windows will be black aluminum clad wood casement windows with no muntins. Composite trim is proposed. Natural material, such as cedar, should be used as the trim material, in line with past Board approvals. The chimney will be stone to match the stone accent on the elevations. The roof will be asphalt and standing seam metal roofing with 12" wide panels. Aluminum gutters and downspouts are proposed. The driveway will be asphalt and the patios and front walkway will be bluestone.

Two different color palettes are shown in the renderings included in the Board packet. The petitioner prefers the darker palette which is intended to blend quietly into the neighborhood and surrounding natural landscape. Images of the proposed exterior materials are provided in the packet: roof material, 4-inch veneer stone, composite siding, and garage doors. Clarification is needed on the garage doors. They appear as darkened glass and as shown, appear reflective. Consideration should be given to the potential for light spillover and views into the garage depending on what is intended for the garage doors .

Staff Recommendation: Use a natural material for the trim, such as cedar.

Staff Recommendation: Provide clarification on the garage doors and if appropriate, modify the garage doors to avoid off site light impacts, reflectivity, and to avoid views into the garage.

Landscaping – This standard is generally met.

The proposed landscape plan appears to meet the minimum requirements for new homes. However, given the natural, wooded character of the property, a more naturalized approach should be considered. Staff notes discrepancies

between the landscape plan and the tree survey/tree removal plan, which will need to be resolved in the final submission.

According to the tree removal plan, 40 trees are proposed for removal, including a significant number of healthy oaks and hickories. The current plan does not adequately demonstrate inch-for-inch replacement of these removals. A revised plan should show how the replacement inches will be replanted, or, if approved by the City's Certified Arborist, a fee in lieu of planting all of the inches on site may be accepted at the time the permit is issued.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Consider a more naturalized landscape design to reflect the wooded character of the property.

Staff Recommendation: Revise the landscape plan to address discrepancies with the tree survey and tree removal plan.

Staff Recommendation: Provide a revised plan demonstrating inch-for-inch replacement of trees proposed for removal.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, one letter was received and is included in the Board's packet.

Recommendation

Recommend approval of a new single-family residence and hardscape and landscape plans on a vacant lot.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested.
 - a. Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage and porte-cochere.
 - b. Consider any opportunity to reduce the footprint of the house and hardscape and if determined to be worthwhile, the siting of the home to reduce the number of trees that will be removed and to limit longer term impacts to trees that are identified for preservation but may be impacted by construction activity.
 - c. Submit a plan prepared by a Certified Arborist detailing pre and post construction treatment of trees identified for preservation.
 - d. Use a natural material for the trim, such as cedar.

- e. Provide clarification on the garage doors and if appropriate, modify the garage doors to avoid off site light impacts, reflectivity, and to avoid views into the garage.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. An existing tree plan shall be submitted and all tree removals, if any, will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees identified for protection and preservation and shall correlate with the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and incorporate replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. The plan should consider a more naturalized landscape design to reflect the wooded character of the property and be revised to address discrepancies with the tree survey and tree removal plan. A revised plan should be submitted demonstrating inch-for-inch replacement of trees proposed for removal.

Drainage and Grading

- b. Detailed drainage and grading plans must be submitted. **Grading or filling is limited to the minimum necessary** to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- c. Details of all proposed exterior lighting, on the residence and on the property, shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- d. A plan for contractor parking and material and equipment staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No parking or staging of construction vehicles is permitted on Knollwood Lane.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 1781 Knollwood Lane Owner Yuriy Nekrasov

Representative Matthew Kerouac Reviewed by: L. Prado

Date 9/3/2025

Lot Area 44392 sq. ft. Allowed Square Footage 5341

Square Footage of Residence

1st floor 5043 + 2nd floor 0 + 3rd floor 0 = 5043 sq. ft.

Design Element Allowance = 534 sq. ft.

Total Actual Design Elements = 791 sq. ft. Excess = 256 sq. ft.

Garage 656 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 5299 sq. ft.

TOTAL SQUARE FOOTAGE = 5299 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 5341 sq. ft.

DIFFERENTIAL = 42 sq. ft. **NET RESULT:**
Under Maximum

42 sq. ft. is

Allowable Height: 40 ft. Actual Height 20.0 ft. 1% under Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 534 sq. ft.

Open Porches = 302 sq. ft.

Screen Porches = 0 sq. ft.

Covered Entries = 75 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 414 sq. ft.

Breezeway = 0 sq. ft.

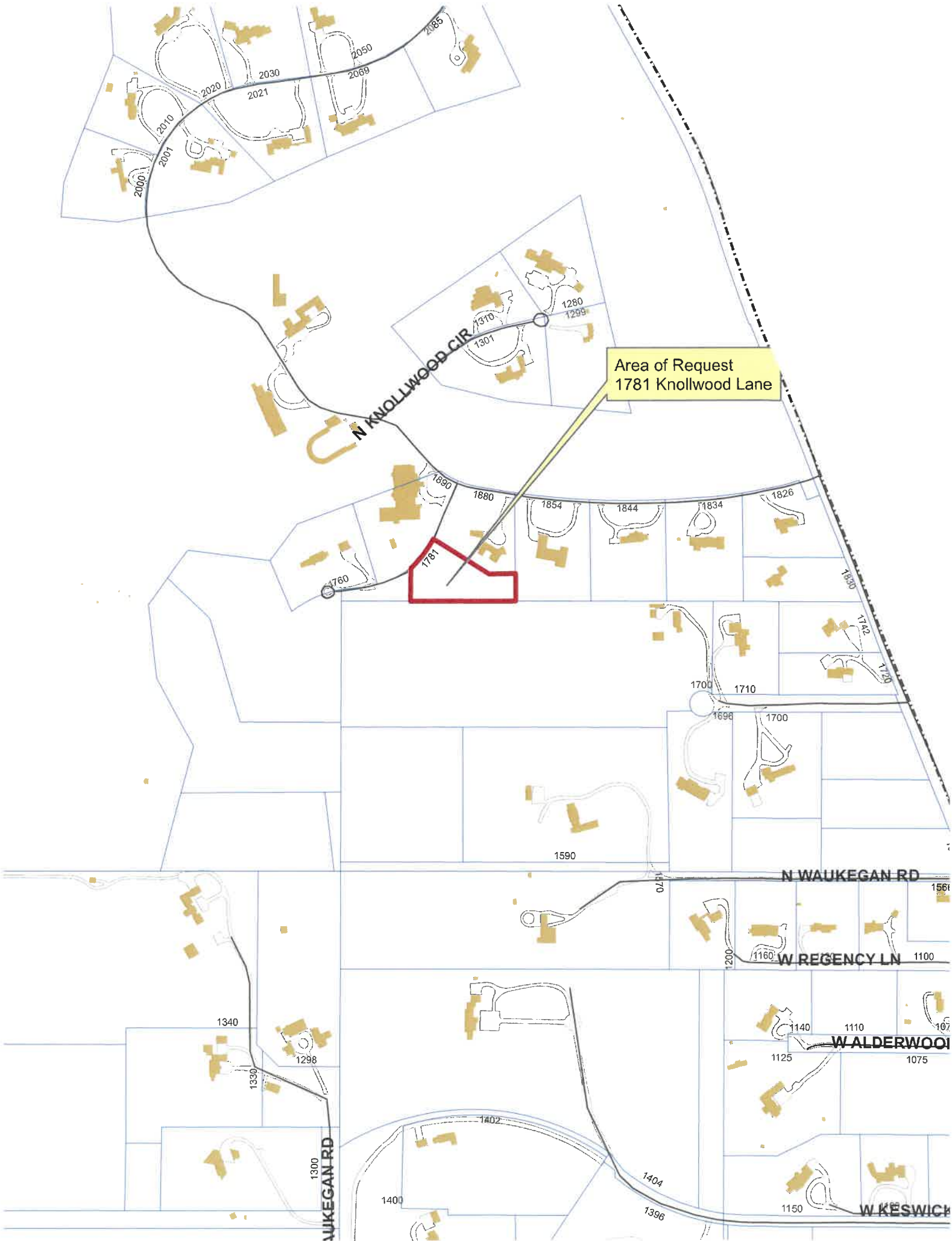
Pergolas = 0 sq. ft.

Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 791 sq. ft.

Excess Design Elements = 256 sq. ft.



Area of Request
1781 Knollwood Lane

N KNOLLWOOD CIR

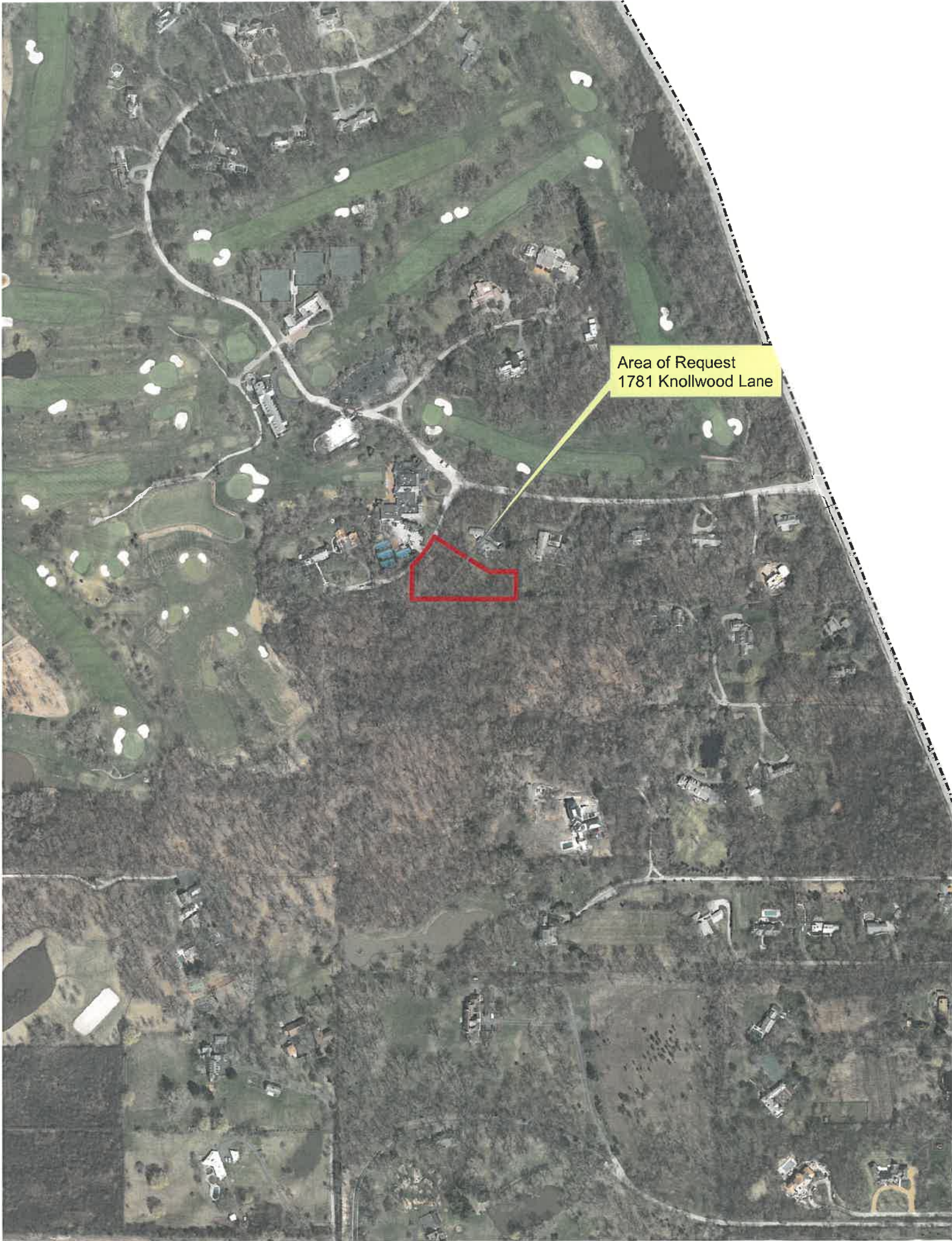
N WAUKEGAN RD

W REGENCY LN

W ALDERWOOD

W KESWICK

WAUKEGAN RD



Area of Request
1781 Knollwood Lane



Area of Request
1781 Knollwood Lane



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1781 KNOLLWOOD LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION


YURIY NEKRASOV
Owner of Property

633 MARION AVE.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

847.707.7532
Phone Number

NKRASV28 @ GMAIL.COM
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

MATTHEW KEROUAC, PRESIDENT
Name and Title of Person Presenting Project


MATTHEW KEROUAC ARCHITECT, LTD
Name of Firm

314 W. HANTHORNE CT.
Street Address

LAKE BLUFF, IL 60044
City, State and Zip Code

708.254.7903
Phone Number

MJKEROUAC @ YAHOO.COM
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>COMPOSITE SIDING - MILLBOARD</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
4" STONE: BUFF/GREY
Color of Material COMPOSITE SIDING: ANTHRACITE

Window Treatment

- | | |
|--|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish BLACK

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

- | | |
|---|---|
| Door Trim | Window Trim |
| <input type="checkbox"/> Limestone | <input checked="" type="checkbox"/> Limestone |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Brick |
| <input type="checkbox"/> Wood | <input type="checkbox"/> Wood |
| <input checked="" type="checkbox"/> Other <u>COMPOSITE TRIM</u> | <input checked="" type="checkbox"/> Other <u>COMPOSITE TRIM</u> |
- Fascias, Soffits, Rakeboards**
- Wood
 Other COMPOSITE TRIM

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles DIMENSIONAL ASPHALT
- Sheet Metal 12" o.c. SEAM
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

BUILDING REVIEW BOARD
STATEMENT OF INTENT
1781 KNOLLWOOD LANE, LAKE FOREST

July 20, 2025

Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL 60045

Dear Chairman and the Members of the Building Review Board,

Statement of Intent:

The proposed new home is a 5,800 sq ft contemporary ranch. Our intent is to celebrate and preserve the hallmarks of Ranch architecture—including its low, horizontal profile, flowing interior layout, and integrated connection to outdoor space. The design incorporates features such as a broad façade, large windows for natural light, and sliding glass doors that open onto a rear patio. We have made every effort to avoid vertical additions and to honor the scale and informality that define this architectural style. The home has a vertical composite siding in a light grey stain, buff colored stone with limestone detailing, composite shingles and refinished standing seam metal roofing.

The proposed new home has a symmetrical front elevation and maintains a simple hierarchy of massing. There are two taller parallel massings with two smaller wings connected by glass vestibules. The scale of the house maintains the established scale of the surrounding residences.

We understand that Lake Forest places a high value on architectural appropriateness and contextual sensitivity. Our design team has reviewed the City's Design Guidelines and the Residential Building Review process to ensure that the proposal aligns with both the community's expectations and Lake Forest's architectural traditions.

We respectfully request your consideration of this proposal at the upcoming Building Review Board meeting, and welcome your feedback.

Thank you for your time and for your continued stewardship of Lake Forest's architectural character.

Established Architectural Vernacular and Character:

The existing neighborhood dwellings on Knollwood Road leading to the residence are a mix older ranch homes of various styles and (2) 2-story residences.

The aesthetic goal for this project is to create a 1-story contemporary vernacular. The front elevation is framed by an open porch and a Porte-Cochere, with a centered covered entry which extends within the roofline. The residence is divided into 4 connected pavilions each housing a separate function for the house.

Standards for Architectural and Site Design Review

1. Site Plan:

The proposed project for this property is a 1-story contemporary single family residence for a growing family. The property is the only residential site on a heavily wooded 60,000 s.f. lot located on the cul-de-sac street. The site is located across the street from one of the Knollwood Country Club parking lots, and incorporates a 40 foot equestrian egress easement path along the south lot line. The house is sited to preserve as much of the existing vegetation and screening as feasible.

All setbacks and building scale requirements have been met and exceeded, and disturbance to the natural landscape on the property will be minimized. The proposed house will be completely screened from the adjoining residence.

2. Elevations:

The scale and height of the project complies with Code requirements and will be proportional to the property and surrounding neighborhood. The proposed home has a maximum roof height of 19'-6". The relationship of voids and solids is consistent with the contemporary ranch style we are proposing. The pavilions minimize the massing of the residence and the rooflines and eaves maintain the 1-story contemporary style.

3. Landscaping:

The landscaping plan responds to the articulation of the new residence and is consistent with the natural environment and the surrounding properties. The foundation plantings wrap completely around the residence, highlighting the entrances, and creating focal points from the interior and exterior.

4. Type, Color, and Texture of Materials:

The exterior building materials consist of natural 4" stone veneer, wood grain "Millboard" composite siding, and Boral trim in a neutral color tone. These finishes are selected to enhance the modern aesthetic but reference traditional architecture. Reference provided samples.

5. Overall Site Layout:

The building site layout complies with all zoning setback requirements and saves as many of the quality trees as possible.

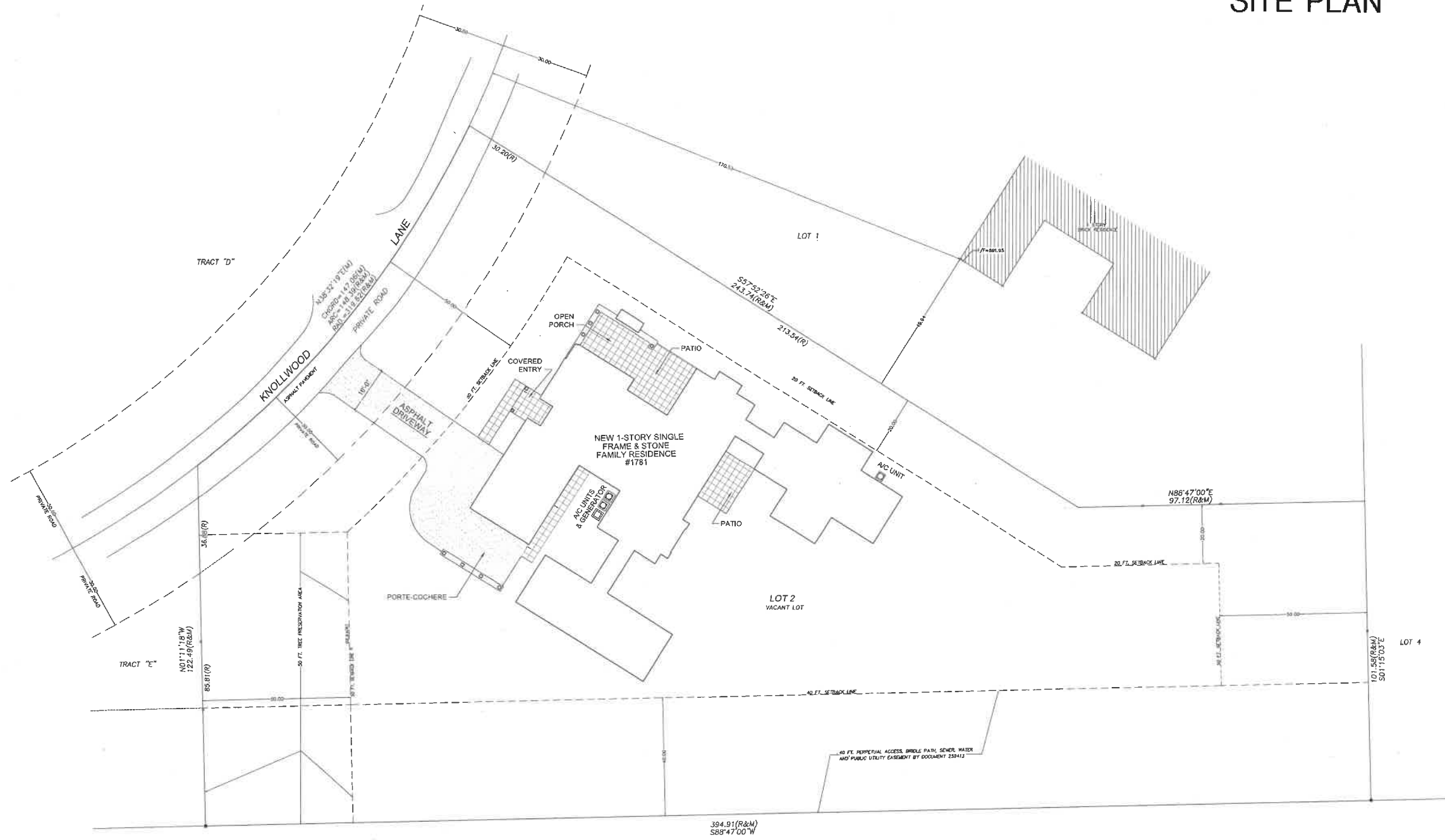
There are numerous architectural styles in the neighborhood, and we have strived to design a residence that is compatible in both scale and proportions, and meets or exceeds the level of the surrounding properties.

Sincerely,

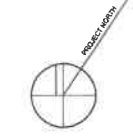
Matthew Kerouac
Matthew Kerouac Architects, Ltd

1781 Knollwood Lane
Lake Forest, IL 60045

SITE PLAN



1 SITE PLAN
NTS



SITE DATA TABLE

TOTAL PROPERTY AREA:	60,189.00 S.F.
PROPOSED IMPERVIOUS COVERAGE:	9,021.00 S.F.
PERCENT IMPERVIOUS COVERAGE:	14.98 %

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314 W. HAWTHORNE CT. LAKE BLUFF, IL 60044
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M.KEROUAC@YAHOO.COM

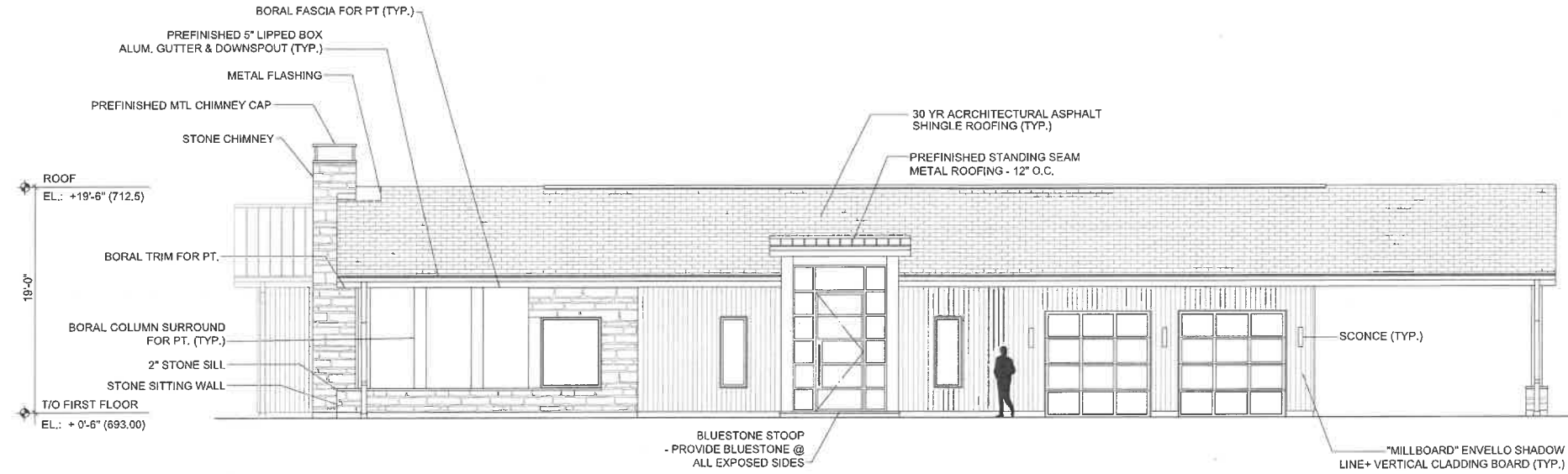
NEKRASOV RESIDENCE
1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

SITE PLAN

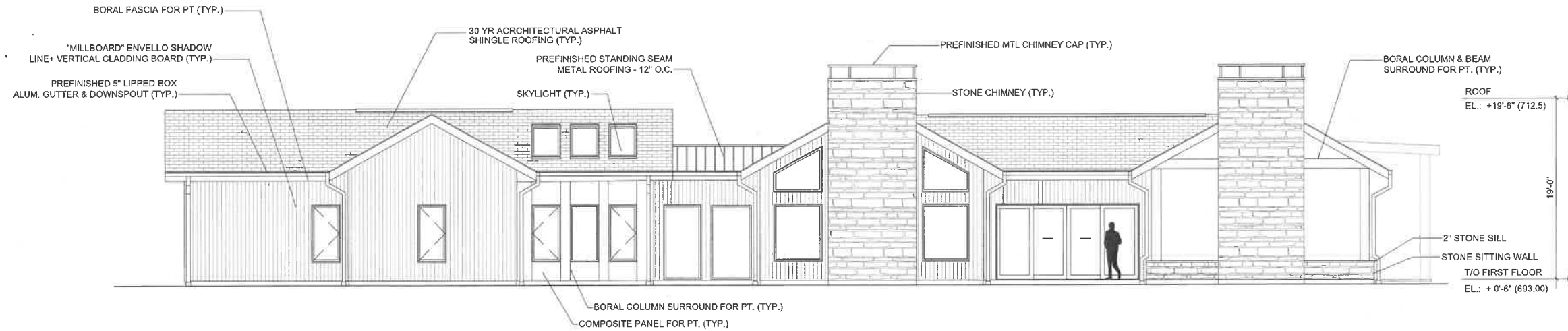
REV.	DATE	BY
02	22-24	MM

A0.1
PROJECT NO. 2488

NORTH AND WEST ELEVATIONS



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

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NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
02	22.21	21-18 MZ/2017

A2.1

PROJECT NO. 2488

EAST ELEVATION



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

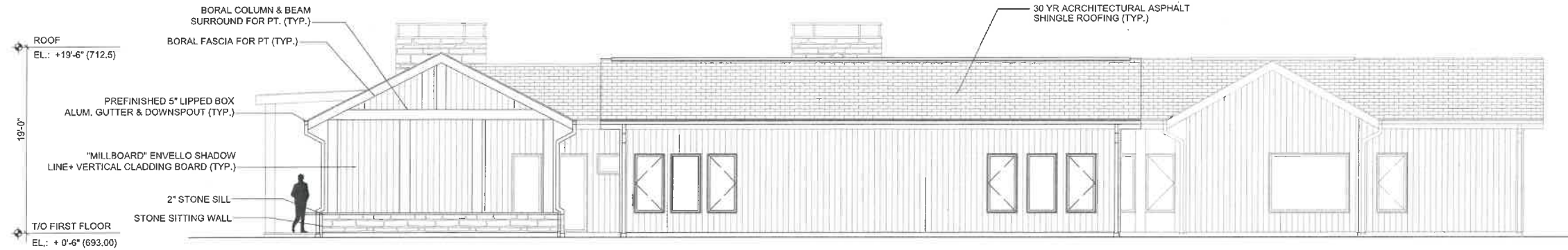
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NEKRASOV RESIDENCE
1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
01	07.22.20	SAS REVIEW

SOUTH ELEVATION



1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

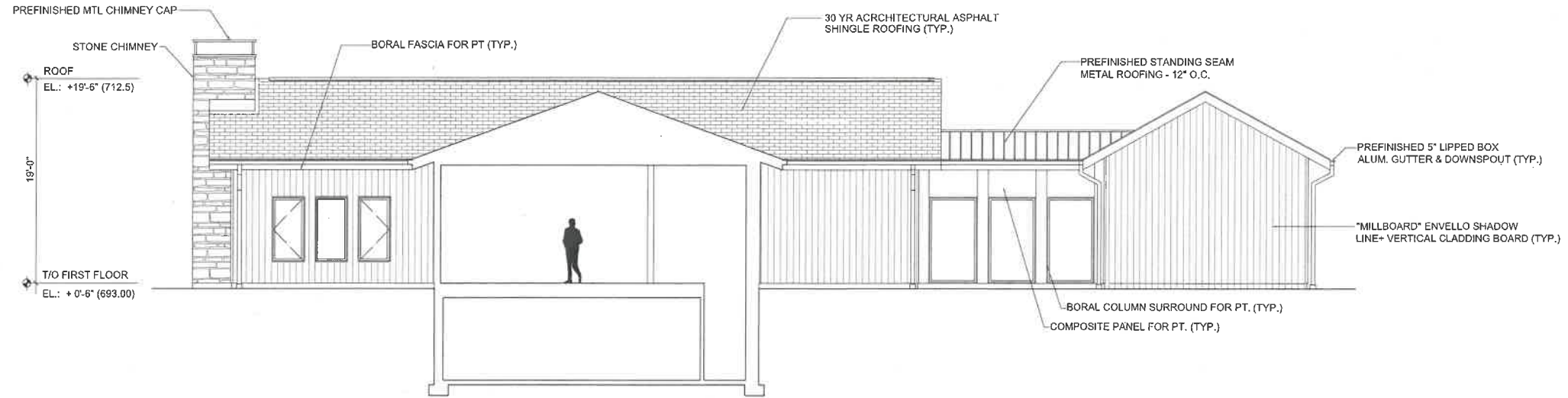
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NEKRASOV RESIDENCE
1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
	07.22.21	50% REVIEW

WEST AND SOUTH ELEVATIONS



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

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NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
01	03.21	ISSUE FOR REVIEW

A2.4

PROJECT NO. 2468

RENDERING - OPTION 1

WEST ELEVATION



RENDERING - OPTION 1
SOUTHWEST PERSPECTIVE



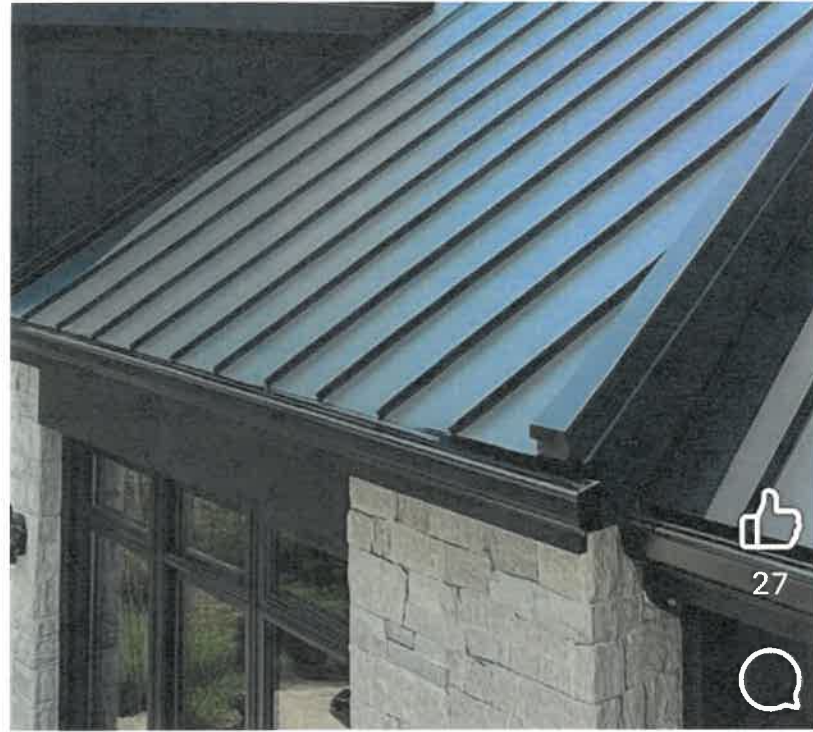
RENDERING – OPTION 2
WEST ELEVATION



RENDERING – OPTION 2
SOUTHWEST PERSPECTIVE



SAMPLES OF EXTERIOR MATERIALS



STANDING SEAM METAL ROOF



ASPHALT SHINGLE ROOFING



4" STONE VENEER



COMPOSITE SIDING



GARAGE DOOR

MATERIAL SAMPLES

TREE SURVEY



1 TREE/TOPOGRAPHY PLAN
NTS

TREES RATED 1-4 -
 TREES IN POOR(5) OR DEAD(6) CONDITION -

MATTHEW KEROUAC ARCHITECT, LTD

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MCKEROUAC@YAHOO.COM

NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE
LAKE FOREST, IL 60045

TREE/TOPOGRAPHY PLAN

REV.	DATE	ISSUE
01	07.22.25	B-12 REVIEW
02	08.24.25	B38 REVIEW/REVNO 1

A0.2

PROJECT NO. 2488

TREE REMOVAL LIST

Tree #	Common Name	Scientific Name	Size	Cond.	Form	Notes
1026	Red Oak	<i>Quercus rubra</i>	21	5	6	Heavy dieback, decay, NW corner of lot.
1028	White Oak	<i>Quercus alba</i>	15	4	4	Heavy dieback, thin crown.
1027	White Oak	<i>Quercus alba</i>	12	3	3	Dieback.
1028	Bur Oak	<i>Quercus macrocarpa</i>	23	4	3	Dieback.
1029	Bur Oak	<i>Quercus macrocarpa</i>	17	4	4	Heavy dieback, overtopped.
1030	Red Oak	<i>Quercus rubra</i>	8	2	2	
1031	Red Oak	<i>Quercus rubra</i>	10	3	3	Dieback.
1032	Norway Maple	<i>Acer platanoides</i>	7	2	3	
1033	Red Oak	<i>Quercus rubra</i>	22	6	6	Dead, no top.
1034	Red Oak	<i>Quercus rubra</i>	8	2	2	
1035	White Oak	<i>Quercus alba</i>	32	3	2	Dieback.
1036	American Elm	<i>Ulmus americana</i>	7	4	4	Heavy dieback, overtopped.
1037	Red Oak	<i>Quercus rubra</i>	8	2	2	
1038	Bur Oak	<i>Quercus macrocarpa</i>	10	2	3	
1038	White Oak	<i>Quercus alba</i>	8	2	4	Overtopped.
1040	Bur Oak	<i>Quercus macrocarpa</i>	27	3	2	Dieback.
1041	Bur Oak	<i>Quercus macrocarpa</i>	18	3	3	Dieback, overtopped.
1042	Shagbark Hickory	<i>Carya ovata</i>	8	1	2	
1043	Shagbark Hickory	<i>Carya ovata</i>	6	1	2	
1044	Black Cherry	<i>Prunus serotina</i>	13, 12	6	6	Dead.
1045	White Oak	<i>Quercus alba</i>	22	3	2	Dieback.
1046	Red Oak	<i>Quercus rubra</i>	15	2	2	
1047	Shagbark Hickory	<i>Carya ovata</i>	7	1	2	
1048	Shagbark Hickory	<i>Carya ovata</i>	9	1	2	
1049	Shagbark Hickory	<i>Carya ovata</i>	9	1	2	
1050	Bur Oak	<i>Quercus macrocarpa</i>	17	3	3	Dieback, vine-infested, exposed root flare.
1051	Shagbark Hickory	<i>Carya ovata</i>	7	1	2	
1052	Shagbark Hickory	<i>Carya ovata</i>	6	1	1	
1053	Basswood	<i>Tilia americana</i>	8, 6	1	2	
1054	Shagbark Hickory	<i>Carya ovata</i>	19	2	2	
1055	Shagbark Hickory	<i>Carya ovata</i>	11	1	2	
1056	Shagbark Hickory	<i>Carya ovata</i>	11	1	3	Grn-oided.
1057	White Oak	<i>Quercus alba</i>	10	2	4	Overtopped.
1058	Shagbark Hickory	<i>Carya ovata</i>	17	1	1	
1059	Shagbark Hickory	<i>Carya ovata</i>	13	1	2	
1060	Shagbark Hickory	<i>Carya ovata</i>	7, 7	1	3	Codominant stems.
1061	Shagbark Hickory	<i>Carya ovata</i>	8	1	2	
1062	Shagbark Hickory	<i>Carya ovata</i>	11	2	1	
1063	Shagbark Hickory	<i>Carya ovata</i>	16	2	2	Dieback.
1064	Shagbark Hickory	<i>Carya ovata</i>	7	2	4	Overtopped, leaning.
1065	White Oak	<i>Quercus alba</i>	7	2	2	
1066	Shagbark Hickory	<i>Carya ovata</i>	7	1	2	Overtopped.
1067	White Oak	<i>Quercus alba</i>	34	4	3	Heavy dieback.
1068	Red Oak	<i>Quercus rubra</i>	18	6	6	Dead.
1069	Red Oak	<i>Quercus rubra</i>	6	6	6	Dead.
1070	Bur Oak	<i>Quercus macrocarpa</i>	27	4	3	Heavy dieback.
1071	White Oak	<i>Quercus alba</i>	33	3	3	Heavy dieback.
1072	Red Oak	<i>Quercus rubra</i>	8	1	3	Overtopped.
1073	Black Cherry	<i>Prunus serotina</i>	9	4	4	Dieback, leaning.
1074	Shagbark Hickory	<i>Carya ovata</i>	8	1	2	
1075	Shagbark Hickory	<i>Carya ovata</i>	10	1	2	
1076	Shagbark Hickory	<i>Carya ovata</i>	7	1	2	Overtopped.
1077	Shagbark Hickory	<i>Carya ovata</i>	15	1	1	On west lot line.
1078	Black Cherry	<i>Prunus serotina</i>	13	6	6	Dead.
1079	Shagbark Hickory	<i>Carya ovata</i>	8	1	1	
1080	White Oak	<i>Quercus alba</i>	11	6	6	Dead, broken top.
1081	Black Cherry	<i>Prunus serotina</i>	8	4	4	Dieback, overtopped.
1082	Red Oak	<i>Quercus rubra</i>	9	6	6	Dead, no top.
1083	White Oak	<i>Quercus alba</i>	7	2	3	Overtopped.
1084	Shagbark Hickory	<i>Carya ovata</i>	13	2	3	One sided.
1085	Red Oak	<i>Quercus rubra</i>	15	3	3	Dieback, overtopped.
1086	Red Oak	<i>Quercus rubra</i>	11	1	2	Overtopped.
1087	Red Oak	<i>Quercus rubra</i>	24	6	6	Dead, no top.
1088	Red Oak	<i>Quercus rubra</i>	19	3	3	Heavy dieback.
1089	Shagbark Hickory	<i>Carya ovata</i>	12	1	2	
1090	Shagbark Hickory	<i>Carya ovata</i>	11	2	3	Overtopped.
1091	Red Oak	<i>Quercus rubra</i>	19	3	3	Heavy dieback, overtopped.
1092	Red Oak	<i>Quercus rubra</i>	11	3	2	Dieback.
1093	Shagbark Hickory	<i>Carya ovata</i>	11	2	2	
1094	Red Oak	<i>Quercus rubra</i>	15	6	6	Trunk decay, dieback.
1095	White Oak	<i>Quercus alba</i>	8	1	1	
1096	Black Cherry	<i>Prunus serotina</i>	8	6	6	Dead.
1097	Black Cherry	<i>Prunus serotina</i>	7	5	6	Nearly dead.
1098	White Oak	<i>Quercus alba</i>	29	3	2	Dieback.
1099	Bur Oak	<i>Quercus macrocarpa</i>	24	4	3	Heavy dieback.
1100	Balsam Fir	<i>Abies balsamifera</i>	10	1	2	
1101	Balsam Fir	<i>Abies balsamifera</i>	7	3	3	Dieback, one sided.
1102	White Oak	<i>Quercus alba</i>	28	4	3	Heavy dieback.
1103	White Oak	<i>Quercus alba</i>	14	4	4	Heavy dieback, overtopped, metal in trunk.
1104	White Oak	<i>Quercus alba</i>	26	4	4	Heavy dieback.
1105	Bur Oak	<i>Quercus macrocarpa</i>	11	3	4	Heavy dieback, overtopped.
1106	White Oak	<i>Quercus alba</i>	26	3	3	Heavy dieback.
1107	White Oak	<i>Quercus alba</i>	17	3	4	Heavy dieback, overtopped.
1108	Shagbark Hickory	<i>Carya ovata</i>	7	1	1	
1109	White Oak	<i>Quercus alba</i>	22	3	2	Dieback.
1110	Shagbark Hickory	<i>Carya ovata</i>	12	1	2	
1111	White Oak	<i>Quercus alba</i>	13	3	3	Dieback, overtopped.
1112	White Oak	<i>Quercus alba</i>	11	3	4	Dieback, overtopped, leaning.
1113	Shagbark Hickory	<i>Carya ovata</i>	7	2	4	Pruned for utilities, at lot corner.
1114	Red Oak	<i>Quercus rubra</i>	21	4	4	Heavy dieback, overtopped.
1115	Black Cherry	<i>Prunus serotina</i>	8	6	6	Dead.
1116	White Oak	<i>Quercus alba</i>	29	4	3	Heavy dieback.
1117	Shagbark Hickory	<i>Carya ovata</i>	7	2	3	Overtopped.
1118	Shagbark Hickory	<i>Carya ovata</i>	11	2	2	Dieback.
1119	Shagbark Hickory	<i>Carya ovata</i>	6	2	3	
1120	Shagbark Hickory	<i>Carya ovata</i>	14	1	2	
1121	Shagbark Hickory	<i>Carya ovata</i>	6	1	2	At lot corner.

Tree Condition. A visual assessment and rating of the overall health and vigor of the tree, as follows:

- 1 - Excellent
- 2 - Very Good
- 3 - Good
- 4 - Below Average
- 5 - Poor
- 6 - Dead

Tree Form. A visual assessment and rating of the form of the tree, as follows:

- 1 - Excellent
- 2 - Very Good
- 3 - Good
- 4 - Below Average
- 5 - Poor
- 6 - Dead