

**Agenda Item 4**  
**1925 Field Court – City of Lake Forest Police Department Headquarters**  
**Addition to Office Building**

Staff Report  
Vicinity Map  
*Air Photo*

Materials Submitted by Petitioner

Application  
Statement of Intent  
Description of Materials  
Site Plan  
Photos – Existing Conditions  
Conceptual Renderings  
Elevations  
Rooftop Mechanical Screening Detail  
Building Section  
Floor Plans – Addition  
Tree Removal Plan  
Preliminary Landscape Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**1925 Field Court  
City of Lake Forest Police Department Headquarters**

**Consideration of a request for a recommendation in support of an addition to an existing office building to support adaptive reuse of the building as the City's new Police Department Headquarters.**

**Property Owner: City of Lake Forest  
Architect: Nathan Melotte, Cordogan Clark**

Staff Contact: Catherine Czerniak, Director of Community Development

**Background**

In September 2024 the City of Lake Forest purchased a three story office building in Conway Office Park. The building was constructed as a multi-tenant office building in 2008. In recent years, the building was only partially occupied and then completely vacant following the pandemic which significantly reduced the demand for office space. The City was able to acquire the building for a very favorable price due to market conditions, and over the last year, the City has conducted the necessary due diligence in preparation for adaptively reusing the building as a new, long term headquarters for the City's Police Department. The first two floors of the building will be occupied by various functions of the Police Department.

**Description of this Request**

After extensive study of design options, it was concluded that two necessary functional areas could not be effectively accommodated into the existing building. As a result, a small, one story addition is proposed at the rear of the building. This petition is presented to the Board for review of the design aspects and exterior materials of the proposed addition.

The one story addition accommodates a drive through sally port, essentially a drive through garage, which will allow individuals in custody to be safely and securely transferred from police officers' vehicles to holding areas within the existing building. At the rear of the building, adjacent to the existing ramp to the underground garage, a ramp will slope up to a garage type structure that will provide direct access into and at the same level as the first floor of the existing office building. A second ramp exits the garage structure allowing police vehicles, or an ambulance in the case of an emergency situation, to exit the garage structure without backing up. The ramp sloping up to the garage structure is extended longer than technically necessary to creatively accommodate a firing range to be constructed under the extended ramp.

**Note: The footprint of the addition is spray painted on the site.**

## **Staff Review of Standards – Evaluation, Comments, and Recommendations**

### *Standards in General*

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding areas.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

### *Site Plan – This standard is met.*

The office building and associated parking lot and landscaping are established on the approximately nine acre parcel. The proposed addition will be constructed on existing hardscape, over a portion of the rear parking area. A significant portion of the property is covered by a detention pond which is a key part of the stormwater management for the larger Conway Park office development. To the north, the subject property follows the edge of one of the lakes on the Lake Forest Academy property. To the east, the property borders the Willow Lake townhome development. To the south, the former Lake Forest Graduate School building and the 1955 Field Court multi-tenant office building share the same access drive as the subject property off of Field Court.

As reflected on the site plan included in the Board's packet, the proposed one story addition is located at the rear of the 1925 Field Court office building. The addition is located to the north and west of the existing ramp which provides access down to the parking garage located under the building. The grade change in this area makes it necessary to access the sally port garage by way of a ramp sloping up to the garage which will align directly with the level of the first floor of the building. As noted above, and as reflected on the site plan, a ramp extends down from the sally port to allow vehicles to pass through the structure.

The configuration of the existing parking lot will change slightly to accommodate the ramps and the addition.

The addition is located at the rear of the building, minimizing visibility from off of the site with the exception of perhaps some limited view from the office buildings on the west side of the detention pond. The siting of the addition takes advantage of the grade change and allows the firing range to be concealed to a great extent, with minimal height and visible mass.

### *Building Massing and Height – This standard is met.*

As noted above, the mass of the addition aligns with the first floor of the building. The total building square footage and height of the addition conform to the limitations in the Code for buildings in the office zoning district. All aspects of the addition have been reviewed and approved by the Conway Park Owners' Association as required by the covenants for the office park.

*Elevations and Materials – This standard is met.*

The elevations of the addition reflect the function of the spaces. The uses of the spaces, the firing range and sally port require solid walls, without fenestration. Metal vehicle doors and man doors are located as needed on the addition to provide ingress and egress.

The exterior material is cast stone which is detailed to provide articulation and shadowing around the three elevations of the addition recognizing that windows are not possible for safety, security, and functionality reasons. Attention is paid to the detail of the cast stone with a mix of horizontal blocks broken by vertical banks which step forward of the blocks and will reflect a different texture.

The color palette of the materials, trim and doors on the addition will closely match the color palette of the existing office building.

Mechanical equipment is required to support the sally port and firing range. As noted, the roof of the addition is significantly lower, two floors lower, than the overall height of the existing building. This low profile of the addition minimizes the visibility of the additional mechanical equipment on the site however, all of the roof top mechanicals will be fully screened with louvered panels commonly used on buildings throughout Conway Park. The color of the panels is planned to avoid calling attention to the roof top elements.

*Landscaping – This standard is met.*

Eleven trees are proposed for removal on the overall site. Some are of low quality, like the Boxelder located off the northwest corner of the addition, others are in fair condition. Tree #2, the Kentucky Coffee tree, although desirable to preserve, will need to be removed to accommodate slight reconfiguration of the parking lot. Between the addition and the pond, two Linden trees will be removed, one of the trees will certainly be impacted by the construction. The second tree is a bit further away from the construction, however, the City Arborist observed that both trees are nearing the end of life and are in less than optimum condition.

The City's Certified Arborist has inspected the site and will be responsible for developing and implementing a plan for supplemental plantings on the site. The City's Arborist has recently planted two fast growing hybrid elms just off the

northwest corner of the addition giving these trees a jump start as construction at the site gets underway.

Foundation plantings including ground cover, lower level shrubs and periodic trees are planned along the north wall of the addition. The area faces the parking lot and is not visible from off of the site, however, plantings along the solid wall will help to soften the visual impact.

Finally, as noted above, there will be some reconfiguration of the parking lot to accommodate the addition and ramp up to the sally port. As needed, islands in the parking lot will be replanted. The City is just now working to clean up and maintain the existing landscaping all around the building, which has been neglected during the time the building was unoccupied.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

As noted above, the Conway Park Owners' Association has already reviewed the plans for the proposed addition and the associated site modifications and has approved the project.

### **Recommendation**

Recommend approval of a **one story addition** at the rear of the three story office building at 1925 Field Court subject to the following conditions of approval.

1. All modifications to the plans, including those made in response to comments or direction offered by the Board or as a result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Prior to the issuance of a building permit:

#### *Tree Removal and Landscaping*

- a. A final tree removal plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall

identify trees proposed for removal, and trees identified for protection and preservation.

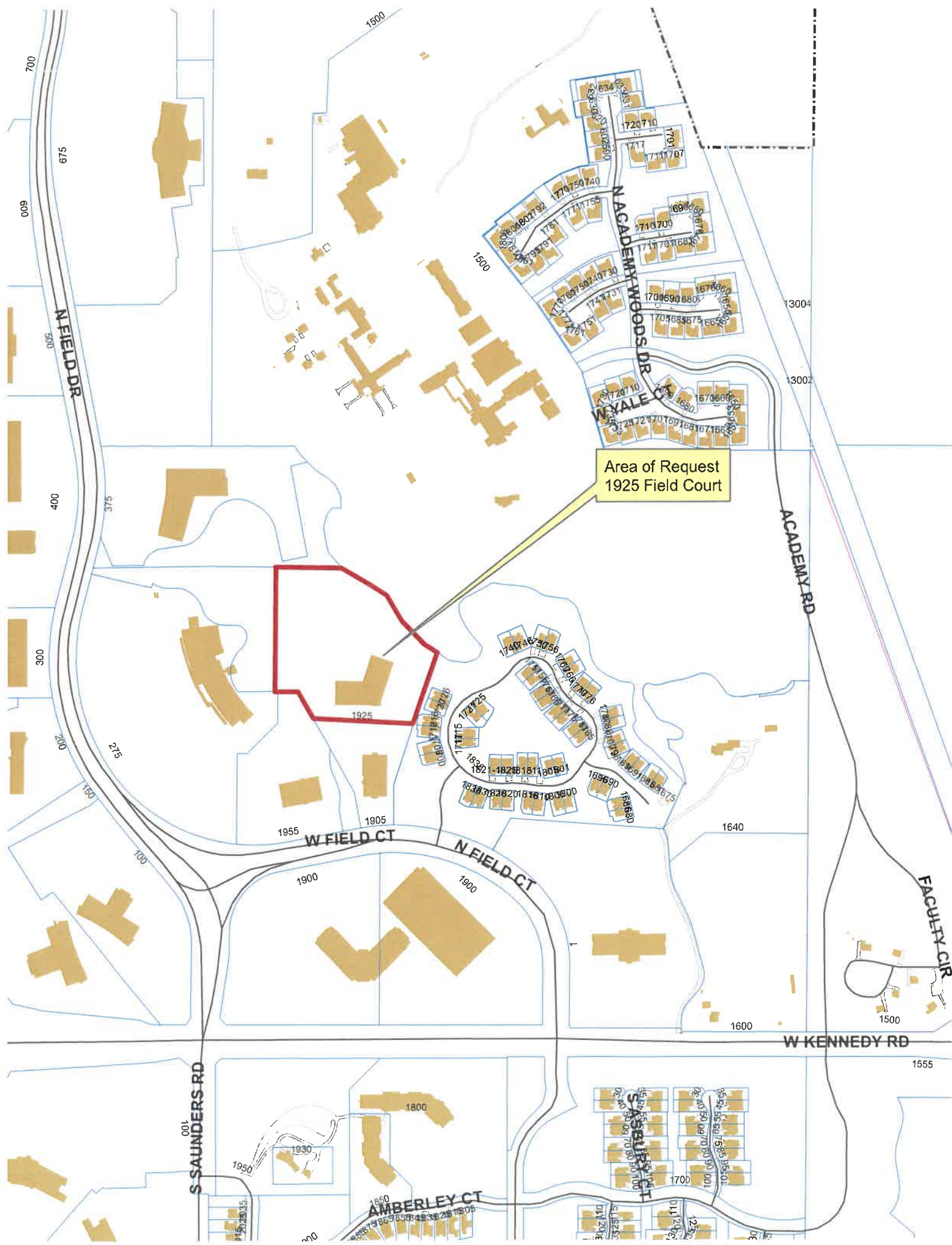
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and if determined to be appropriate by the City's Certified Arborist, a pre and post construction treatment plan shall be developed for trees intended for preservation that may be impacted by construction.
- c. Prior to the issuance of a building permit, a final landscape plan shall be developed specifically to enhance the vegetation along the pond in areas of impact, to detail foundation plantings along the north side of the addition, and to enhance landscape islands in the reconfigured parking lot adjacent to the addition that are impacted by construction.

#### *Exterior Lighting*

- d. Details of all proposed exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided. All exterior lights except for safety and security lights shall be set on automatic timers to go off no later than 11 p.m. Light impacts on the adjacent residential development to the east shall be mitigated to the greatest extent possible.

#### *Mechanical Equipment Screening*

- e. The final color for the mechanical equipment screens shall be selected to minimize visibility and shall be subject to final approval by staff.



Area of Request  
1925 Field Court

N FIELD DR

N ACADEMY WOODS DR

ACADEMY RD

FACULTY CIR

W FIELD CT

N FIELD CT

W KENNEDY RD

S SAUNDERS RD

AMBERLEY CT

S SAUNDERS CT

700

675

500

1500

1500

3004

3002

400

375

300

200

275

100

1955

1905

1900

1900

1640

1600

1555

1800

1950

1850

700

700

1500

300

300

300



Area of Request  
1925 Field Court

N FIELD DR

HARVARD CT

W CORNELL CT

W YALE CT

ACADIA RD

WESTBRIDGE CIR

W FIELD CT

N FIELD CT

W KENNEDY RD

LUNDERS RD



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 1925 FIELD COURT

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input checked="" type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input checked="" type="checkbox"/> Addition/Alteration	<input checked="" type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

CITY OF LAKE FOREST  
*Owner of Property*

220 E. DEERPATH  
*Owner's Street Address (may be different from project address)*

LAKE FOREST, IL  
*City, State and Zip Code*

\_\_\_\_\_  
*Phone Number*

\_\_\_\_\_  
*Fax Number*

**ARCHITECT/BUILDER INFORMATION**

NATHAN MELOTTE  
*Name and Title of Person Presenting Project*

CORDOGAN CLARK  
*Name of Firm*

716 N. WELLS STREET  
*Street Address*

CHICAGO, IL 60654  
*City, State and Zip Code*

312-943-7300 x 203  
*Phone Number*      *Fax Number*

NMelotte@cordoganclark.com  
*Email Address*

  
*Representative's Signature (Architect/ Builder)*

  
*Owner's Signature*

JASON C. WICHA, CITY MANAGER

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>	
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

## LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

### Statement of Intent

06/26/2025

Thank you for the opportunity to present our Statement of Intent for the Police Department Headquarters project located at 1925 W. Field Court. This project has been several months in development and has been through several rounds of design and review to reach this current phase. This includes three special review meetings with the City Manager's Advisory Committee held over the winter of 2024 and spring of 2025. In addition, two open houses were conducted in the spring of 2025 to allow the public to review the plans and images of the proposed renovations and addition to the existing building. The project has also been reviewed by the Conway Park Owner's Association and the design has adhered to City Building Codes, Conway Park Owner's Association requirements and Public Safety Requirements. The Owner of the property is the City of Lake Forest with the intended User to be the Lake Forest Police Department. Cordogan, Clark & Associates (CCA) is the Architectural, Engineering and Construction Management firm that has been engaged to design and oversee construction for the project. During the design process CCA has maintained adherence to the Standards for Architectural and Site Design for the City of Lake Forest. The proposed changes described below are intended to match the quality of the existing building and local context of the Conway Park area while respecting the adjacent neighborhood and should not require any variances to move forward.

#### **Proposed changes include:**

1. A new addition will be located at the north east end of the existing building, this addition consists of 2 levels, a lower level partially below grade and a first floor level that aligns with the existing first floor of the building. Connections to the existing building will occur at both the basement/parking level and first floor level. The addition will serve the functions of a firing range and sally port, both of which are allowed uses within the Conway Park Owner's Association amendments. The height of the addition is kept as low as possible to minimize sight lines from other properties while the roof line is kept flat with parapet walls to respect the flat roof line of the existing building. The siting of the addition at the North side of the main building falls within the required setbacks of the property and screens it from view from the main roadway, neighboring properties and the main parking lot area. It also allows the property to maintain much of the existing parking stalls in the primary parking lot. This location is also convenient because of the already existing ramp and courtyard that provides access to the lower level parking area and will require less excavation and site disturbance. A new set of elevated ramps will provide entry and exit to the sally port at the first floor level which due to the sloping of site is several feet above grade at this north side of the building. This circulation flow will allow for police vehicle traffic to move in and out of the sally port above the firing range and be separated from the main building public parking area. A new security fence with secured cantilevered sliding gate will be installed at the small west lot to create a secured parking lot for Police Department staff. The fencing and security gate will be a black metal picket style to maintain a more residential/light commercial aesthetic while also providing security.
2. The addition will maintain the existing tone and overall design of the existing building, with articulations from the existing façade that will be reflected in the elevations of the new addition with engaged pilasters and horizontal cast stone banding. The design intent is to match the material tone, color, and texture of the existing building while continuing some of the same vertical and horizontal elements from the main building. The material for the addition will be architectural cast stone and will consist mostly of modular masonry type units with a select larger panels that will be used as engaged pilasters to replicate the vertical precast elements of the existing building elevation. Horizontal cast stone banding members will be used to extend horizontal lines from the existing building mullion and reveal design across the new building and create a relief pattern to break out the areas of cast stone block infill. The pilasters and banding will project slightly beyond the face of the cast stone infill areas to create shadow lines and give the façade more character.

## LAKE FOREST POLICE DEPARTMENT HEADQUARTERS

### Statement of Intent

06/26/2025

The new addition will not have windows due to its function and for security reasons. The exposed cast in place concrete of the ramps will receive a smooth textured finish and will have an applied finish coating to match the color of the cast stone specified for the rest of the addition.

3. A new ribbed metal enclosure for the generators on the west side of the building and relocated trash collection areas will be provided as part of the project. The generator enclosure will be located on the SW corner of the building at the current generator location and will cover the full height of the largest generator at this location. The trash enclosure will be located at the NE corner of the parking lot, final location to be verified by the City Sanitation Department, and will be the same metal panel assembly as the generator enclosure for consistency of materials on site. The trash enclosure will be approximately 6' tall with a pair of large swinging gates to access the trash receptacles placed inside. Both enclosures will have a dark bronze color to blend in with the surrounding tree lines they are adjacent to.
4. New large roof top equipment needed for the range HVAC system on the addition will be surrounded by a louvered mechanical screen system. The louvers will have a satin aluminum finish to match the color of the window frames of the existing building. The existing roof will retain its existing roof mech screen assembly. New equipment placed on the existing roof will be limited in size and number and should not require screening as it will not be visible from the ground.
5. New man doors and overhead doors at the sally port will match the existing metal man door and metal overhead doors located at the adjacent lower level parking lot entrance.
6. Almost all of the existing parking lot lighting will remain as is. A few new light poles will be added at the north side of the addition for safety around the new ramps and north parking lot. New exterior, wall mounted fixtures will be added at each new overhead door opening and exit doors. Fixtures will be selected to compliment the design aesthetic of the existing building and light spillage will be contained within the boundary of the site.

### Other Considerations:

1. It is important to note that there is an existing landscaped edge with several mature trees along the south and east sides of the property that create a visual barrier from the adjacent residential properties. The design does not encroach within that area and does not extend much farther east than the existing building towards this property line to minimize impact on this group of neighbors.
2. The Firing Range location was reviewed in a few different areas within the site including a stand alone structure located farther north but that option was determined infeasible due to conflicts with setback requirements, a larger reduction in parking and the requirement of variances. Ultimately, the attached addition design presented in this document that includes the sally port and range was the final selection to move forward. It avoids the need for variances, keeps the overall footprint of existing site disturbance to a minimum and complies with Conway Park Owner's Association requirements that limit separate structures on one property.
3. Views of the Addition from across the detention pond will be limited due to the lower elevation of the addition.
4. There are trees and some landscaping that will need to be removed to perform the work and new landscaping will include new trees and ground cover. This information along with site and building signage will be presented to the Board in more detail at a later date.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Facade Material**

- |  |   |
|--|---|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding                                  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                                     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                                 |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>ARCHITECTURAL CAST STONE</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? BOTH

Color of Material LIGHT GRAY / MATCH EXISTING CONCRETE

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement  
 Sliding  
 Other N/A

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other N/A

Color of Finish CERTAIN EXISTING WINDOWS WILL RECEIVE A PRIVACY FILM

**Window Muntins**

- Not Provided  
 True Divided Lites

**Simulated Divided Lites**

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other METAL

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other N/A

**Fascias, Soffits, Rakeboards**

- Wood  
 Other N/A

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

- Brick
- Stone
- Stucco
- Other N/A

**Foundation Material**

- Brick
- Stone
- Stucco
- Other CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other TPO

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**





- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

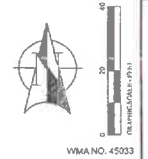
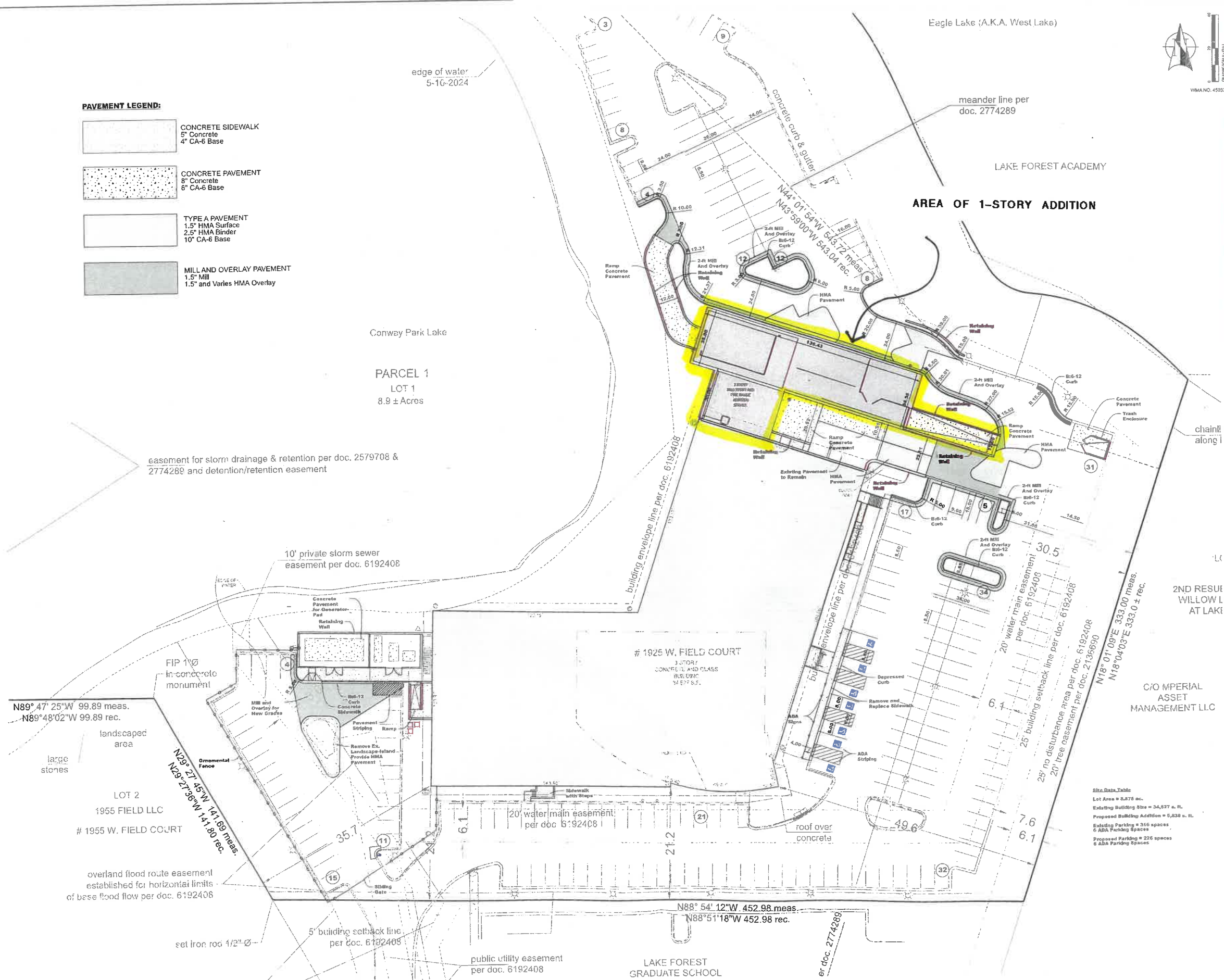
**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other N/A

SITE PLAN WITH FOOTPRINT OF THE PROPOSED ADDITION

PAVEMENT LEGEND:

-  CONCRETE SIDEWALK  
5" Concrete  
4" CA-6 Base
-  CONCRETE PAVEMENT  
8" Concrete  
6" CA-6 Base
-  TYPE A PAVEMENT  
1.5" HMA Surface  
2.5" HMA Binder  
10" CA-6 Base
-  MILL AND OVERLAY PAVEMENT  
1.5" Mill  
1.5" and Varies HMA Overlay



**CORDOGAN CLARK**  
ARCHITECTURE - ENGINEERING - CONSTRUCTION

ARCHITECT:  
CORDOGAN CLARK & ASSOCIATES, INC.  
300 W. WASHINGTON ST., SUITE 1000  
CHICAGO, IL 60601

CONSULTANTS:  
SPECIALTY CONSULTANT  
HARRISON WILSON & LARSEN, INC.  
400 W. WASHINGTON ST., SUITE 1000  
CHICAGO, IL 60601

MEP & STRUCTURAL ENGINEER:  
CORDOGAN CLARK & ASSOCIATES, INC.  
300 W. WASHINGTON ST., SUITE 1000  
CHICAGO, IL 60601

AV CONSULTANT:  
ADVANCED COMMUNICATIONS  
1000 N. LAKE ST., SUITE 1000  
CHICAGO, IL 60610

CIVIL ENGINEER:  
WILSON, MCCOY & HARRISON, LTD.  
1000 N. LAKE ST., SUITE 1000  
CHICAGO, IL 60610

ELECTRICAL ENGINEER:  
CORDOGAN CLARK & ASSOCIATES, INC.  
300 W. WASHINGTON ST., SUITE 1000  
CHICAGO, IL 60601



**LAKE FOREST POLICE DEPARTMENT**  
**LAKE FOREST POLICE DEPARTMENT**  
**HEADQUARTERS**  
1925 W. Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

NOT FOR CONSTRUCTION

DATE	05.25.2023	
REVISIONS:		
1	Revised	05.25.2023
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWING TITLE:  
SITE PLAN

SP-1

5/23/2023 3:12:46 PM

AREA OF PROPOSED ADDITION



NORTH ELEVATION



NORTHWEST PERSPECTIVE



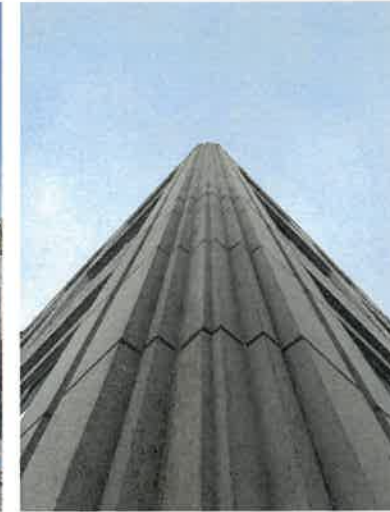
GARAGE ACCESS RAMP RETAINING WALL



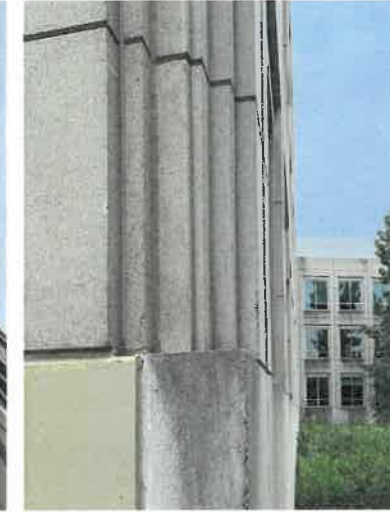
GARAGE ACCESS RAMP RETAINING WALL



GARAGE ACCESS RAMP



CORNER DETAIL



EXISTING BUILDING MATERIALITY



NORTHWEST ELEVATION



LAKE FOREST POLICE  
DEPARTMENT HEADQUARTERS  
1925 W. Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

BUILDING ELEVATIONS - EXISTING  
EXTERIOR PICTURES

NOT FOR  
CONSTRUCTION

JAMES R. LINDSEY, INC.  
ARCHITECTURAL REPRESENTATIVE  
JOB NUMBER 240225  
DATE 06.24.2024

BUILDING REVIEW BOARD SET  
REVISIONS  
A5.6



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EXISTING GENERATORS



WEST PARKING LOT



NORTH PARKING LOT TREE LINE



NORTHWEST VIEW OF THE POND



EAST PARKING LOT TREE LINE



SOUTHEAST RESIDENTIAL AREA



ADJACENT SOUTH PARKING/ OFFICE BUILDING



LAKE FOREST POLICE  
DEPARTMENT HEADQUARTERS  
1825 W Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

BUILDING ELEVATIONS - EXISTING  
EXTERIOR PICTURES

NOT FOR  
CONSTRUCTION

DATE 06/28/2025  
JOB NUMBER 242025

BUILDING REVIEW BOARD SET  
REVISED  
A5.7



CONCEPTUAL RENDERING - NORTHEAST CORNER OF ADDITION



ARCHITECT  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON STREET, SUITE 200  
LAKE FOREST, ILLINOIS 60045

CONSULTANT'S  
RESPONSIBILITY CONTRACT  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON STREET, SUITE 200  
LAKE FOREST, ILLINOIS 60045

MEP & STRUCTURAL ENGINEER  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON STREET, SUITE 200  
LAKE FOREST, ILLINOIS 60045

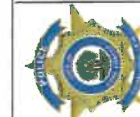
AV CONSULTANT  
SCALE: N/A  
111 WEST WASHINGTON STREET

CIVIL ENGINEER  
PETER J. KACORATH & ASSOCIATES, LTD.  
111 WEST WASHINGTON STREET, SUITE 200  
LAKE FOREST, ILLINOIS 60045

MECHANICAL ENGINEER  
SCALE: N/A  
111 WEST WASHINGTON STREET

MECHANICAL ENGINEER  
SCALE: N/A  
111 WEST WASHINGTON STREET

MECHANICAL ENGINEER  
SCALE: N/A  
111 WEST WASHINGTON STREET



LAKE FOREST POLICE DEPARTMENT  
HEADQUARTERS  
1925 W Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

NOT FOR  
CONSTRUCTION

CC JOB NUMBER  
242025

DATE  
06.28.2025

#	Description	Date

DRAWING TITLE  
RENDERS

A12.2

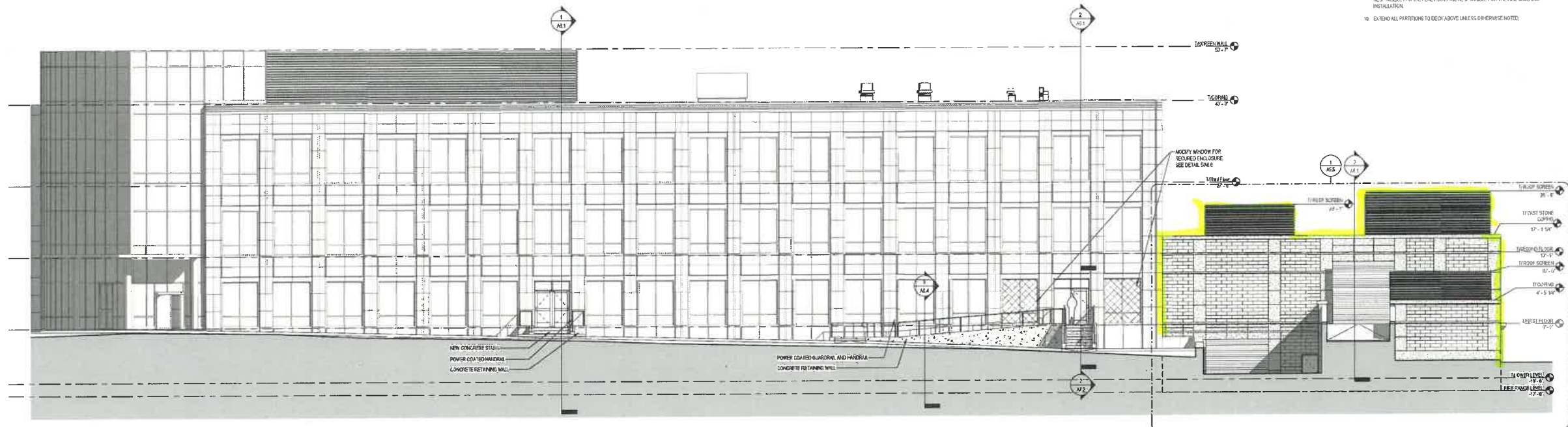
BUILDING REVIEW BOARD SET

6/28/2025 1:18:33 PM

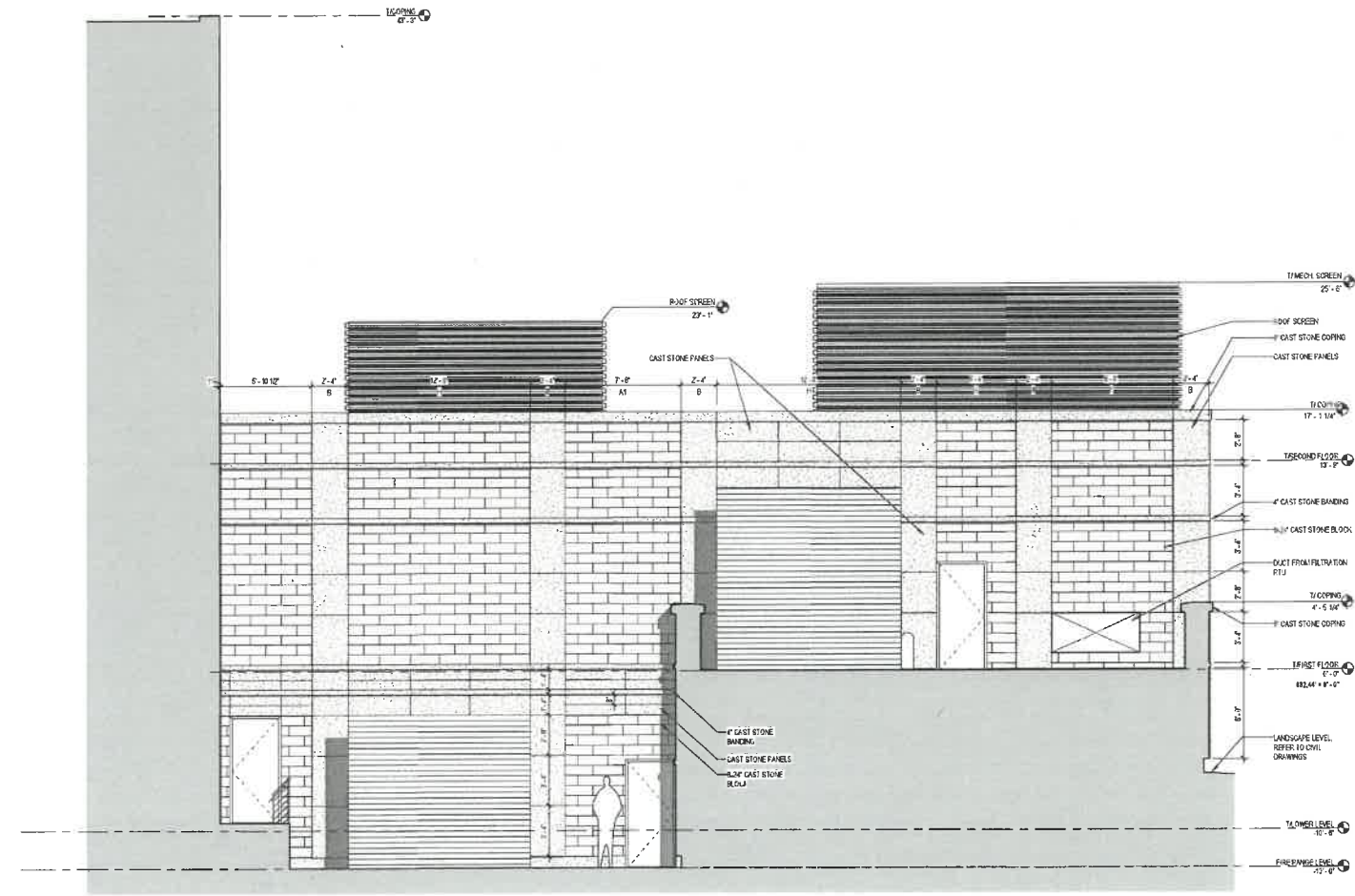


EAST & NORTH ELEVATIONS - ADDITION HIGHLIGHTED

- GENERAL NEW WORK NOTES**
- REFER TO DRAWING \_\_\_\_\_ FOR DOOR TYPES.
  - REFER TO DRAWING \_\_\_\_\_ FOR FRAME TYPES.
  - REFER TO DRAWING \_\_\_\_\_ FOR PARTITION TYPES.
  - REFER TO ENLARGED PLANS FOR DIMENSIONAL INFORMATION AND PARTITION TYPES OF TAGGED AREAS SUCH AS STAIRS, ELEVATOR, AND LOOZER ROOMS.
  - ALL EXTERIOR DIMENSIONS OF OPENINGS ARE ANSULARY OPENING DIMENSIONS UNLESS NOTED OTHERWISE.
  - INSTALL FIRE EXTINGUISHER CABINETS WHERE NOTED IN PLAN AND AS NOTED IN THE FIRE PROTECTION DRAWINGS. REFER TO SPECIFICATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION INCLUDING CABINET TYPES.
  - PROVIDE SIPRAN BOARD JOISTS. JOISTS THE FULL HEIGHT OF THE PARTITION AS DETAIL ON \_\_\_\_\_ FOR A SPACING OF 30" O.C. MAX.
  - METAL FRAMING PERFORMANCE SYSTEMS. PROVIDE NECESSARY FRAMING, GASKETS, PARTNERS, ETC. TO ACHIEVE LOBBY DEFLECTION AT ALL METAL FRAMING PENETRATIONS.
  - ALL PENETRATIONS WITH FIRE RATED WALLS ARE TO BE SEALED WITH FIRE CALKING TO MAINTAIN THE SPECIFIED U.L. DESIGN CONTRACTOR RESPONSIBLE FOR THE PENETRATIONS RESPONSIBLE FOR THE FIRE CALKING INSTALLATION.
  - ENLARGED ALL PARTITIONS TO DECK ABOVE UNLESS OTHERWISE NOTED.



ENLARGED EAST ELEVATION OF ONE STORY ADDITION



1 SALLY PORT & FIRE RANGE EAST ELEVATION  
1/8" = 1'-0"

6/26/2023 11:52:23 PM  
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LAKE FOREST POLICE  
DEPARTMENT HEADQUARTERS  
1925 W. Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

ELEVATIONS - CAST STONE LAYOUT

NOT FOR  
CONSTRUCTION

JOB NUMBER 242023  
DATE 05.26.2023

BUILDING REVIEW BOARD SET  
REVISIONS:

A5.5

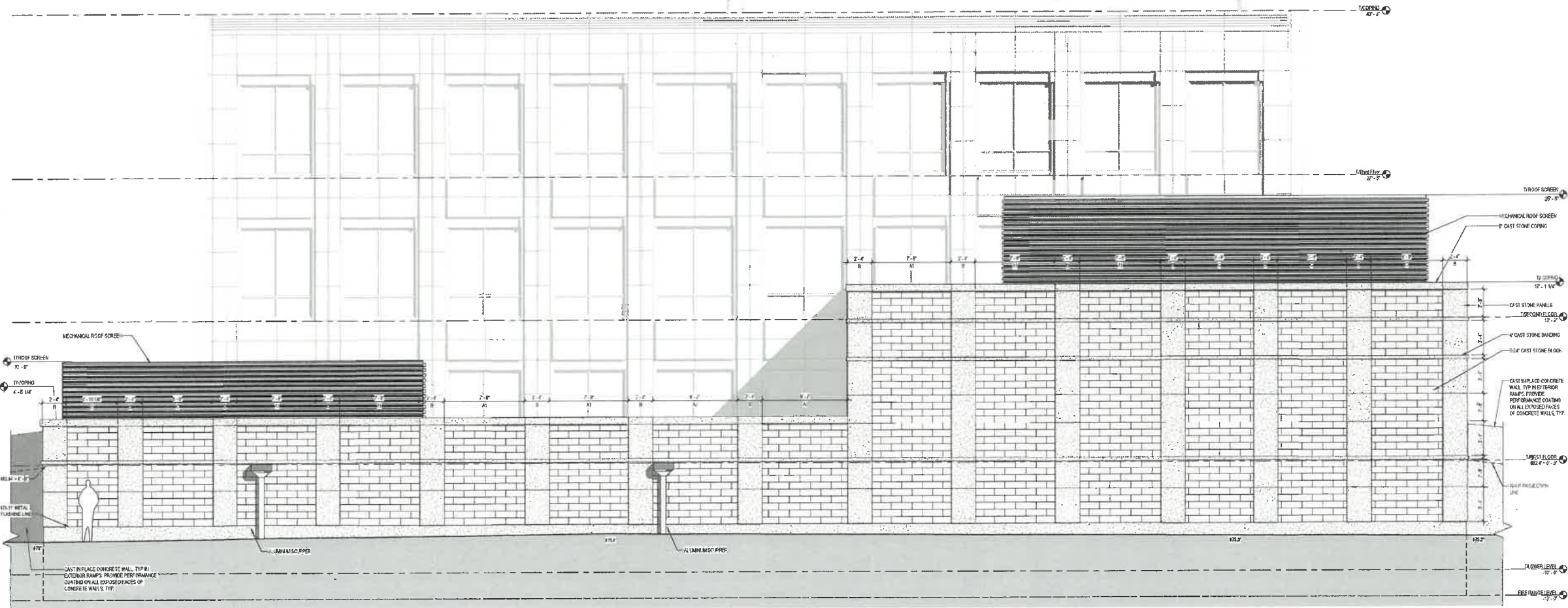
ENLARGED NORTH ELEVATION OF ONE STORY ADDITION

NOT FOR  
CONSTRUCTION

JOB NUMBER 240925  
DATE 06/26/2023

BUILDING REVIEW BOARD SET

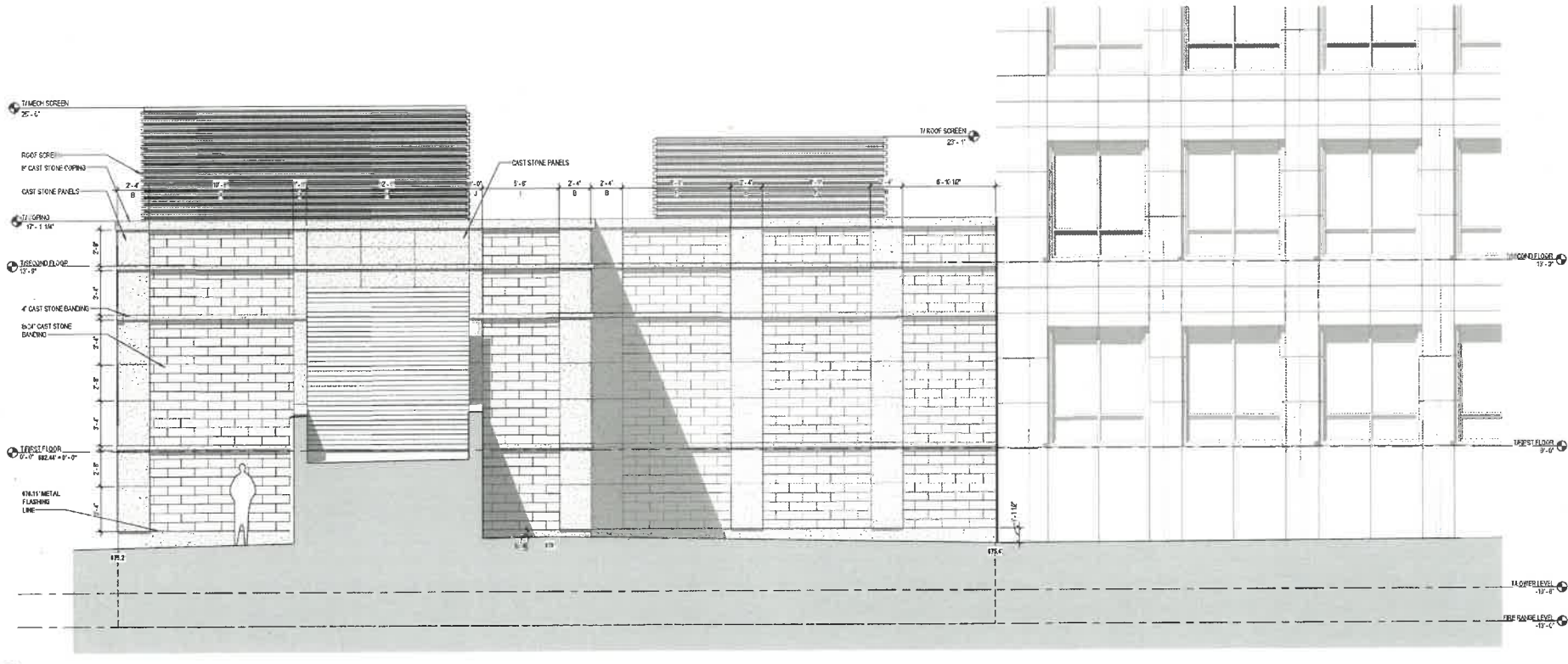
A5.3



06/26/2023 11:12:26 PM  
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1 SALLY FORT & FIRE RANGE SOUTH ELEVATION  
1/4" = 1'-0"

WEST ELEVATION OF ONE STORY ADDITION



1 JULY PORT & TIRE RANGE - WEST ELEVATION  
1/8" = 1'-0"

02/2025 1:14:05 PM  
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LAKE FOREST POLICE  
DEPARTMENT HEADQUARTERS  
1825 W. Field Court, Lake Forest, Illinois, 60046  
Lake Forest, Illinois, 60046

ELEVATIONS - CAST STONE LAYOUT

NOT FOR CONSTRUCTION

JOB NUMBER 242025  
DATE 06.26.2025

BUILDING REVIEW BOARD SET  
REVISIONS

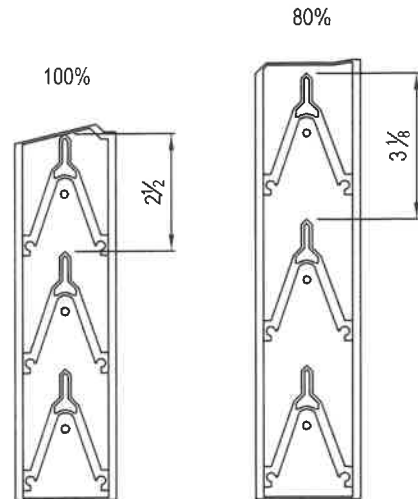
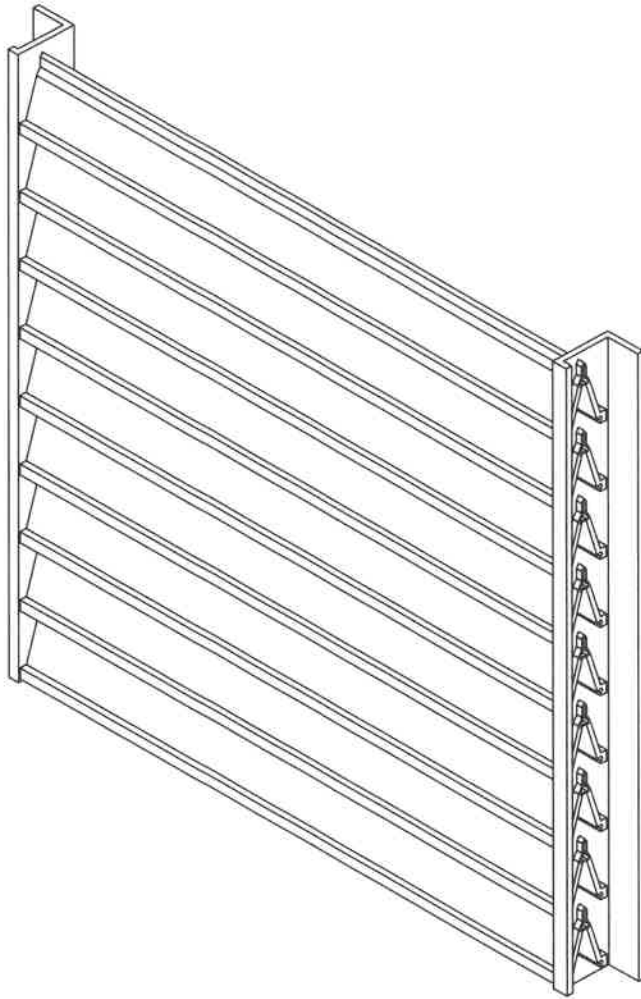
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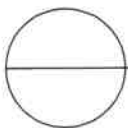


AMETCO MANUFACTURING CORPORATION  
4326 HAMANN PARKWAY P.O. BOX 1210  
WILLOUGHBY, OHIO 44096  
TOLL FREE: 1-800-321-7042  
PHONE: (440) 951-4300  
FAX: (440) 951-2542  
www.ametco.com



**NOTES:**

1. THE VENETIAN DESIGN CAN RUN EITHER HORIZORTALLY OR VERTICALLY.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
4. AMETCO'S ALUMINIUM FENCING SYSTEM IS 100% MANUFACTURED IN THE UNITED STATES.
5. DO NOT SCALE DRAWINGS.
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info)  
REFERENCE NUMBER 048-031

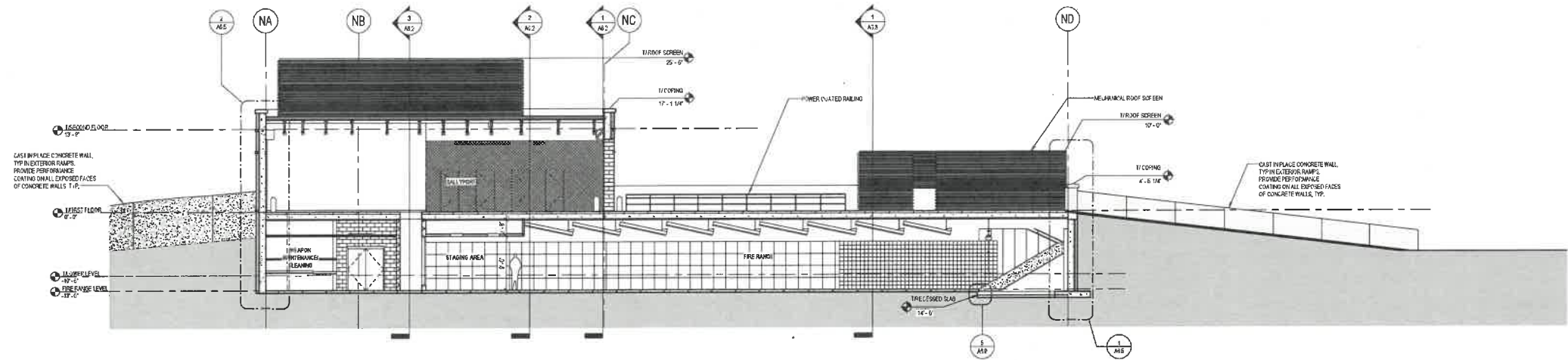


## ALUMINUM FENCE SYSTEMS

VENETIAN ALUMINUM FENCE DESIGN SYSTEM

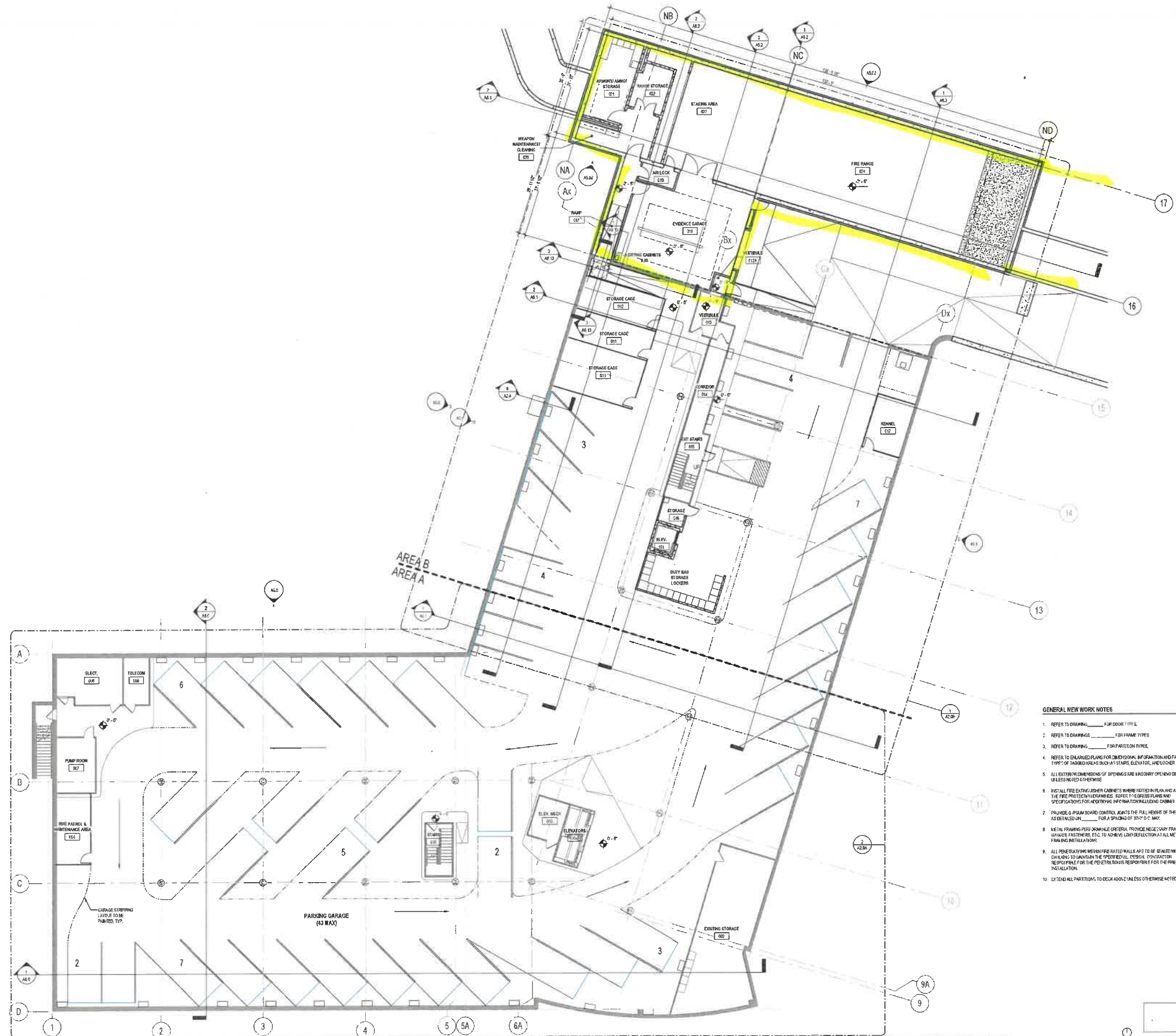


BUILDING SECTIONS



3 BUILDING SECTION - FIRE RANGE & SALLYPORT, W.E.  
1/8" = 1'-0"





- GENERAL NEW WORK NOTES**
1. REFER TO DRAWING \_\_\_\_\_ FOR DOOR TYPE.
  2. REFER TO DRAWING \_\_\_\_\_ FOR FRAME TYPES.
  3. REFER TO DRAWING \_\_\_\_\_ FOR PARTITION TYPE.
  4. REFER TO ENLARGED PLANS FOR DIMENSIONAL INFORMATION AND PARTITION TYPE OF TAGGED AREAS SUCH AS STAIRS, ELEVATOR, AND LOCKER ROOMS.
  5. ALL EXTERIOR DIMENSIONS OF OPENINGS ARE MINIMUM OPENING DIMENSIONS UNLESS NOTED OTHERWISE.
  6. METAL FIRE EXTINGUISHER CABINETS WHERE NOTED IN PLAN AND AS NOTED IN THE FIRE PROTECTION MEMORANDUM. REFER TO ENLARGED PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION INCLUDING CABINET TYPES.
  7. PROVIDE 6" RISER BOARD CONTROL JOISTS THE FULL HEIGHT OF THE PARTITION AS DEFINED ON \_\_\_\_\_ FOR A SPACING OF 32" O.C. MAX.
  8. METAL FRAMING PERFORMANCE CRITERIA: PROVIDE NECESSARY FRAMING, GUSSET PLATES, ETC. TO ACHIEVE LOAD/DEFLECTION AT ALL METAL FRAMING INSTALLATIONS.
  9. ALL PENETRATIONS WITH FIRE RATED WALLS ARE TO BE SEISMICALLY REINFORCED TO MAINTAIN THE SPECIFIED DESIGN. PENETRATOR RESPONSIBLE FOR THE PENETRATOR'S RESPONSIBILITIES FOR THE FIRE CHIMNEY INSTALLATION.
  10. EXTEND ALL PARTITIONS TO DECK ABOVE UNLESS OTHERWISE NOTED.

6/26/2025 1:07:59 PM

1 BASEMENT LEVEL FLOOR PLAN  
3/20" = 1" = 0



ARCHITECT  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

CONSULTANTS  
MECHANICAL CONSULTANT  
MCKAY, MCGUIRE & LEMIRE, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

MEP & STRUCTURAL ENGINEER  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

ARCHITECTURAL  
SERVICES  
SERVICES, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

MEP ENGINEER  
MCKAY, MCGUIRE & LEMIRE, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

STRUCTURAL ENGINEER  
MCKAY, MCGUIRE & LEMIRE, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604

MECHANICAL CONSULTANT  
CORDOGAN CLARK & ASSOCIATES, INC.  
111 WEST WASHINGTON, SUITE 200, CHICAGO, ILLINOIS 60604



U.S. CITY OF  
LAKE FOREST  
ILLINOIS

**LAKE FOREST POLICE DEPARTMENT  
HEADQUARTERS**  
1925 W Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

NOT FOR  
CONSTRUCTION

CC JOB NUMBER: 242325

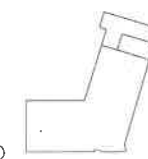
DATE: 09.28.2025

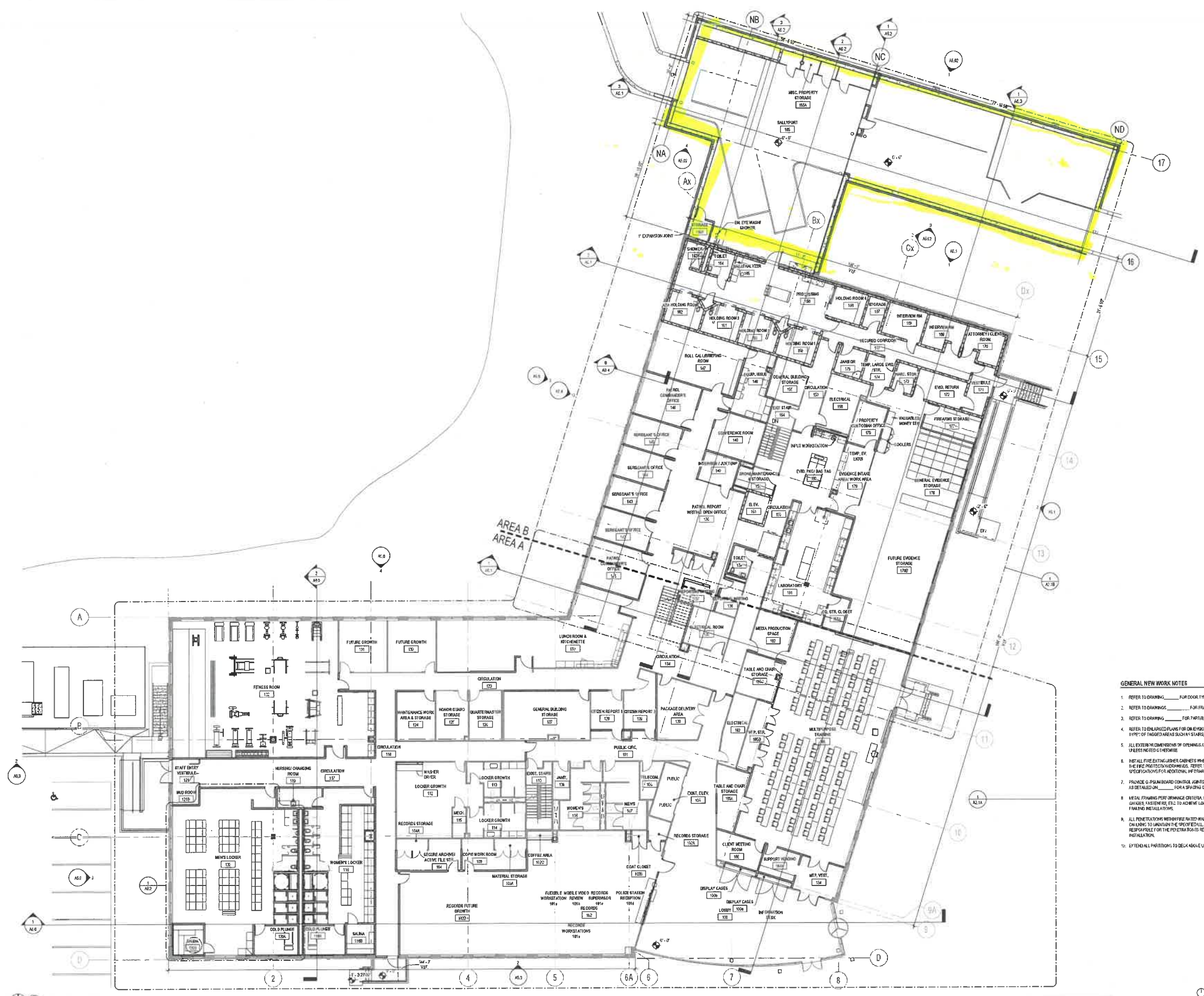
#	Description	Date

DRAWING TITLE  
OVERALL -  
BASEMENT FLOOR  
PLAN

A2.0

BUILDING REVIEW BOARD SET





- GENERAL NEW WORK NOTES**
1. REFER TO DRAWING \_\_\_\_\_ FOR DOOR TYPES
  2. REFER TO DRAWING \_\_\_\_\_ FOR FRAME TYPES
  3. REFER TO DRAWING \_\_\_\_\_ FOR PARTITION TYPES
  4. REFER TO ENLARGED PLANS FOR DIMENSIONS, INFORMATION AND PARTITION TYPES OF TAGGED AREAS SUCH AS STAIRS, ELEVATOR, AND LOCKER ROOMS
  5. ALL EXTERIOR DIMENSIONS OF OPENINGS ARE SHOWN UNLESS OTHERWISE NOTED
  6. INSTALL ALL FIRE EXTINGUISHING CABINETS WHERE NOTED IN PLAN AND AS NOTED IN THE SPECIFICATIONS UNLESS OTHERWISE NOTED. REFER TO SPECIFICATIONS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION INCLUDING CABINET TYPES
  7. PROVIDE 6" FRAMING BOARD CONTROL JOINTS TO THE FULL HEIGHT OF THE PARTITION AS DETAILLED ON \_\_\_\_\_ FOR A SPACING OF 36" O.C. MAX.
  8. METAL FRAMING PERFORMANCE CRITERIA PROVIDE NECESSARY FRAMING, GASKETS, FASTENERS, ETC. TO ACHIEVE LEAK-TIGHTNESS AT ALL METAL FRAMING INSTALLATIONS.
  9. ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE TO BE SEALED WITH FIRE CALLING TO MAINTAIN THE SPECIFIED RATED DESIGN. CONTRACTOR RESPONSIBLE FOR THE PENETRATIONS RESPONSIBLE FOR THE FIRE CALLING INSTALLATION.
  10. EXTEND ALL PARTITIONS TO DECK ABOVE UNLESS OTHERWISE NOTED.



PROJECT:  
CORDOGAN CLARK & ASSOCIATES, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

CLIENT & OWNER:  
POLICE DEPARTMENT  
1925 W. FIELD COURT, LAKE FOREST, ILLINOIS 60045

MEP & ELECTRICAL ENGINEER:  
CORDOGAN CLARK & ASSOCIATES, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

MECHANICAL ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

PLUMBING ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

ELECTRICAL ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

ARCHITECTURAL ENGINEER:  
CORDOGAN CLARK & ASSOCIATES, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

MECHANICAL ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

ELECTRICAL ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

PLUMBING ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

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CORDOGAN CLARK & ASSOCIATES, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

MECHANICAL ENGINEER:  
DORR & COMPANY, INC.  
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LAKE FOREST, ILLINOIS 60045

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LAKE FOREST, ILLINOIS 60045

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LAKE FOREST, ILLINOIS 60045

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1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

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LAKE FOREST, ILLINOIS 60045

PLUMBING ENGINEER:  
DORR & COMPANY, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

ARCHITECTURAL ENGINEER:  
CORDOGAN CLARK & ASSOCIATES, INC.  
1000 W. WASHINGTON ST., SUITE 200  
LAKE FOREST, ILLINOIS 60045

**LAKE FOREST POLICE DEPARTMENT  
HEADQUARTERS**  
1925 W. Field Court, Lake Forest, Illinois, 60045  
Lake Forest, Illinois, 60045

**NOT FOR CONSTRUCTION**

CC JOB NUMBER: 242025

DATE: 05.26.2025

REVISIONS:

#	Description	Date

DRAWING TITLE:  
**OVERALL - FIRST FLOOR PLAN**

**A2.1**

BUILDING REVIEW BOARD SET

5/26/2025 1:06:17 PM

1 FIRST FLOOR PLAN NEW  
302 - 1/4"





**Agenda Item 5**  
**799 Everett**  
**New Single-Family Residence on a Vacant Lot**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Site Plan  
Color Rendering  
Elevations  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
*Conceptual Landscape Plan*  
*Grading and Tree Removal Plan*

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 799 Everett Road

**Consideration of a request for a recommendation in support of a new single-family residence on a vacant lot and hardscape and landscape plans.**

**Property Owner: Ed Pollen**  
**Architect: John Krasnodebski**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of a new single-family residence and hardscape and landscape plans on a vacant lot.

### **Description of Property**

The approximately 10 acre property is located on the south side of Everett Road, where Old Elm Road and Everett Road meet. The property is comprised of two separate tax lots however for the purpose of this petition, and given the siting of the house and related amenities, the parcels are considered together as a single zoning lot. If future development of the rear portion of the property is contemplated, the siting of the house may need to be shifted to meet the applicable setbacks that would need to be met to allow for a future lot in depth and further development on the property.

The property was created as a part of the John M. Denten subdivision recorded in 1975.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

#### *Standards in General*

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

#### *Site Plan – This standard is met.*

The proposed residence is sited generally in the middle of the lot, towards the west property line along which an existing driveway exits. The house is setback significantly from the street, Everett Road. The existing curb cut on Everett Road is proposed to remain although the current placement does not conform to current Code requirements for setback from the side property line. However,

shifting the curb cut to the east along Everett Road would bring it closer to the nearby intersection. Extension of the driveway is proposed at two locations to access the front of the residence and to access the garage. One of the driveway spurs is just beyond the 50-foot front yard setback and leads to a motor court adjacent to the front entrance to the house and also provides access to the garage apron, garage and parking area. The second spur off of the main driveway entrance leads directly to the garage.

A central stone terrace courtyard is proposed. A bluestone patio area is proposed to the rear of the pool house.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 37,031 square feet is permitted on the site with an allowance of 800 square feet for a garage and 3,703 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 10,222 square feet.
- The proposed garage totals 2,298 square feet. With a garage exemption of 800 square feet, 1,498 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 1,954 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 16,147 square feet. That is 20,884 square feet or 56 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 28 feet and is below the allowable height of 40 feet for the property.

*Elevations – This standard is met.*

The petitioner proposes a sprawling one-story, ranch style home. The statement of intent states that the architecture is inspired by the American Craftsman architectural style. The massing of the proposed home is simple and balanced. While the footprint is large, the scale is modest easily accommodated on the very large lot. The rhythm and organization of windows to walls throughout the elevations align, overall, are consistent with the City's Residential Design Guidelines. Although the south elevation has a disproportionate relationship of windows to walls, the elevation is screened by the pool house and not visible from off of the site.

*Type, color, and texture of materials – This standard is met.*

The siding will be a 4 to 5 inch veneer Wisconsin Lannon stone. The pool house will have vertical cedar wood siding. The windows will be black casement

aluminum clad windows with simulated divided lites with interior and exterior muntin bars affixed. Cedar wood trim is proposed throughout. The chimneys will be stone to match the siding. The roofing will be Davinci synthetic cedar shingles with copper flashing. Copper gutters and downspouts are proposed.

*Landscaping – This standard is met.*

The minimum landscape requirement for new homes appears to be met by the proposed conceptual landscape plan.

The exact number of tree inches to be removed are still being determined. Many trees on the site appear to be in deteriorating condition. There is sufficient space on the property to fully compensate for all required replacement tree inches. As the final landscape plan is developed, sufficient screening should be provided along the west property line to screen the driveway and large four car garage. The final landscape plan will be subject to staff review and approval when plans are submitted for permit. At that time, final consideration will be given to the required replacement tree inches.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

### **Recommendation**

Recommend approval of a new single-family residence and hardscape and landscape plans on a vacant lot.

1. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Prior to the issuance of a building permit:

#### *Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation and shall be based on the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code, incorporate all required replacement tree inches to account for trees removed to the extent possible using good forestry practices, and provide screening along the west property line to mitigate impacts of the driveway and garage on the private areas of the properties to the west. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

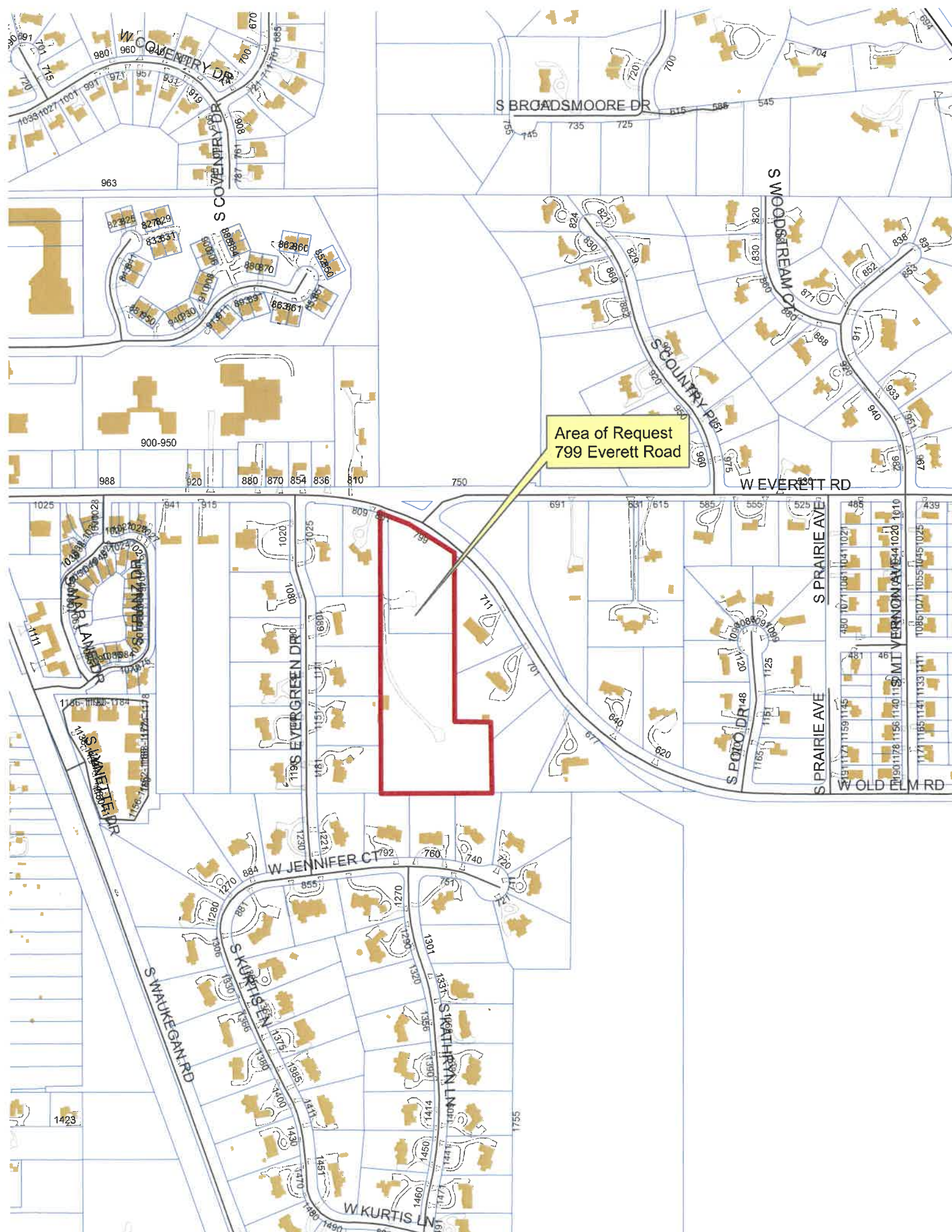
- c. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

- d. Details of all proposed exterior lighting, on the residence and on the property, shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.



Area of Request  
799 Everett Road



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 799 EVERETT ROAD

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

ED POLEN  
Owner of Property

2750 RIDGE ROAD  
Owner's Street Address (may be different from project address)

HIGHLAND PARK, IL.  
City, State and Zip Code

847 310 2200  
Phone Number                      Fax Number

epolen@emcochem.com  
Email Address

Edward Polen  
Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

JOHN KRASNODEBSKI -  
Name and Title of Person Presenting Project ARCHITECT

LAKE FOREST LANDMARK DEV. CO.  
Name of Firm

272 E. DEERPATH  
Street Address

LAKE FOREST IL. 60045  
City, State and Zip Code

847 812 9906  
Phone Number                      Fax Number

jkras@lakeforestlandmark.ca  
Email Address

John Krasnodebski  
Representative's Signature (Architect/ Builder)

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>	
<b>Please email a copy of the staff report</b>	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<b>Please fax a copy of the staff report</b>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<b>I will pick up a copy of the staff report at the Community Development Department</b>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
(The use of natural materials is strongly encouraged)

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco                | <input type="checkbox"/> Other _____      |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_
- Color of Material BUFF

**Window Treatment**

- |  |   |
|--|---|
| <b>Primary Window Type</b>                   | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung         | <input type="checkbox"/> Wood (recommended)       |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding             | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____         | <input type="checkbox"/> Other _____              |
- Color of Finish BLACK

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood  
 Other \_\_\_\_\_

**THE CITY OF LAKE FOREST**  
**HISTORIC PRESERVATION COMMISSION APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_



ARCHITECTURE CONSTRUCTION DEVELOPMENT  
272 EAST DEERPATH LAKE FOREST, IL  
TELEPHONE: 847.615.0637 FAX: 847.615.9116

**BUILDING REVIEW BOARD  
STATEMENT OF INTENT  
799 EVERETT ROAD , LAKE FOREST**

*Date: June 11, 2025*

**PROJECT:**  
**REQUEST FOR NEW HOME APPROVAL**  
**799 Everett Road , Lake Forest, IL 60045**

***Statement of Intent:***

*The proposed new home is a 7,000 sq ft home inspired by American Craftsman architecture. It is a one story home with a large front entry porch. There is a 3100 sf pool house with a connecting enclosed walkway to the home. There is a five car garage with two guest bedrooms above it. There is a greenhouse that borders the walled garden. The home has a buff colored Wisconsin Lannon stone exterior with limestone detailing, cedar shingle roof, limestone front entrance, bronze clad simulated divided lite casement windows with limestone details and surrounds, stained wood soffit and fascia, copper gutters and downspouts, and copper standing seam roofing on many of the design elements.*

*The proposed new home is symmetrical in design and exhibits a simple hierarchy of massing. It has a taller central massing, with telescoping wings. The home has a horizontal orientation that grounds the home to the landscape. One of the wings is a side loaded garage. The pool house provides a backdrop for the walled garden. Many of the design elements encouraged by the City of Lake Forest's design guidelines are included in this design. Elements include a repetition of dormers, simple roof forms, stone chimneys, porches, garden walls, etc. The ratio of window to wall brings a very comfortable scale to the home. The new home will be constructed of high quality, natural materials with an enhanced landscape design, and will blend harmoniously with the fabric of the neighborhood. The proposed project satisfies the following relevant standards for granting the request for the new home:*

- 1. Site Plan. The property is 10 acres and all setbacks are exceeded. The home is set back 320 feet from the street. The garage is set back 75 feet from the properties to the west. There are several layers of landscape screening on the all sides of the property that will remain. Also, a layer of evergreen privacy screening is proposed on the west side. The new stone piers at the street will match the materials of the home. The fencing will blend in with the neighborhood.*
- 2. Elevations. The home is inspired by American Craftsmen architecture in style and exhibits many features of the style. Natural materials of the highest quality, lower sloped hip roofs, a horizontal expression of the rooflines, tapered stone piers and walls, natural colors that blend into the landscape, large overhangs, timber brackets, open front porches, stone chimneys, and dormers are just a few characteristics of the*

799 Everett Road  
Lake Forest, IL 60045

L A K E F O R E S T  
**LANDMARK**  
D E V E L O P M E N T C O M P A N Y

ARCHITECTURE CONSTRUCTION DEVELOPMENT  
272 EAST DEERPATH LAKE FOREST, IL  
TELEPHONE: 847.615.0637 FAX: 847.615.9116

*home. It is predominately one level with two guest bedrooms above the garage. The scale and height complies with code requirements and is compatible with the landscaping, site, and neighborhood. The roof is 28 feet at its highest point, well below the maximum allowed roof height of 40 feet.*

3. *Landscaping. The landscape plan is consistent with the property and the surrounding properties. Many of the natural features are preserved. Much of the surrounding screening on the property boundaries are to be preserved.*
4. *Type, Color and Texture of Materials. The exterior materials are of the highest quality and are appropriate to the architectural style. The exterior has Wisconsin Lannon stone, wood shingle roof, copper gutters and downspouts, copper standing seam roofing and flashing for the saddles, garage bay, and enclosed walkway to the pool house, cedar wood brackets, beams, soffits, and fascia, limestone window sills and headers, dark bronze windows and doors, cedar garage doors, copper light fixtures, dark bronze, glass and lannon stone greenhouse. The pool house has a lannon stone base and vertical wood siding, copper gutters and downspouts, vertical wood siding on the dormers, dark bronze clad windows and doors.*
5. *Overall Site Layout. The building layout maximizes the distance between the home and the adjacent properties. The neighboring properties are large as well, and this creates a large distance between the properties. The home will not be seen from the street or from most of the neighboring homes. The impact of a new home in this location is extremely minimal.*

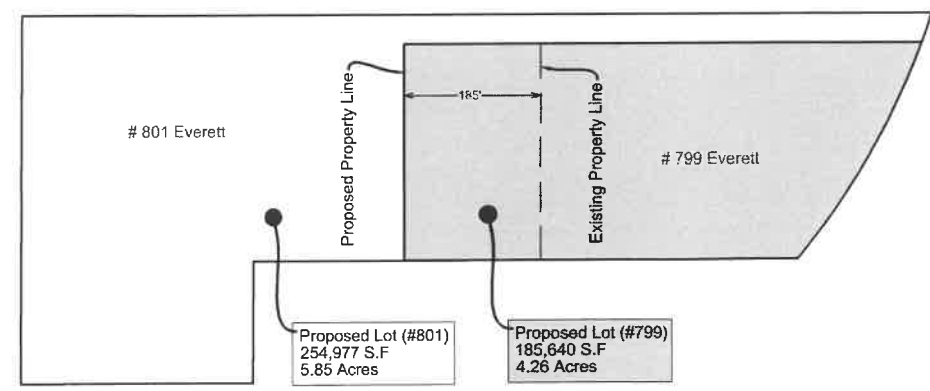
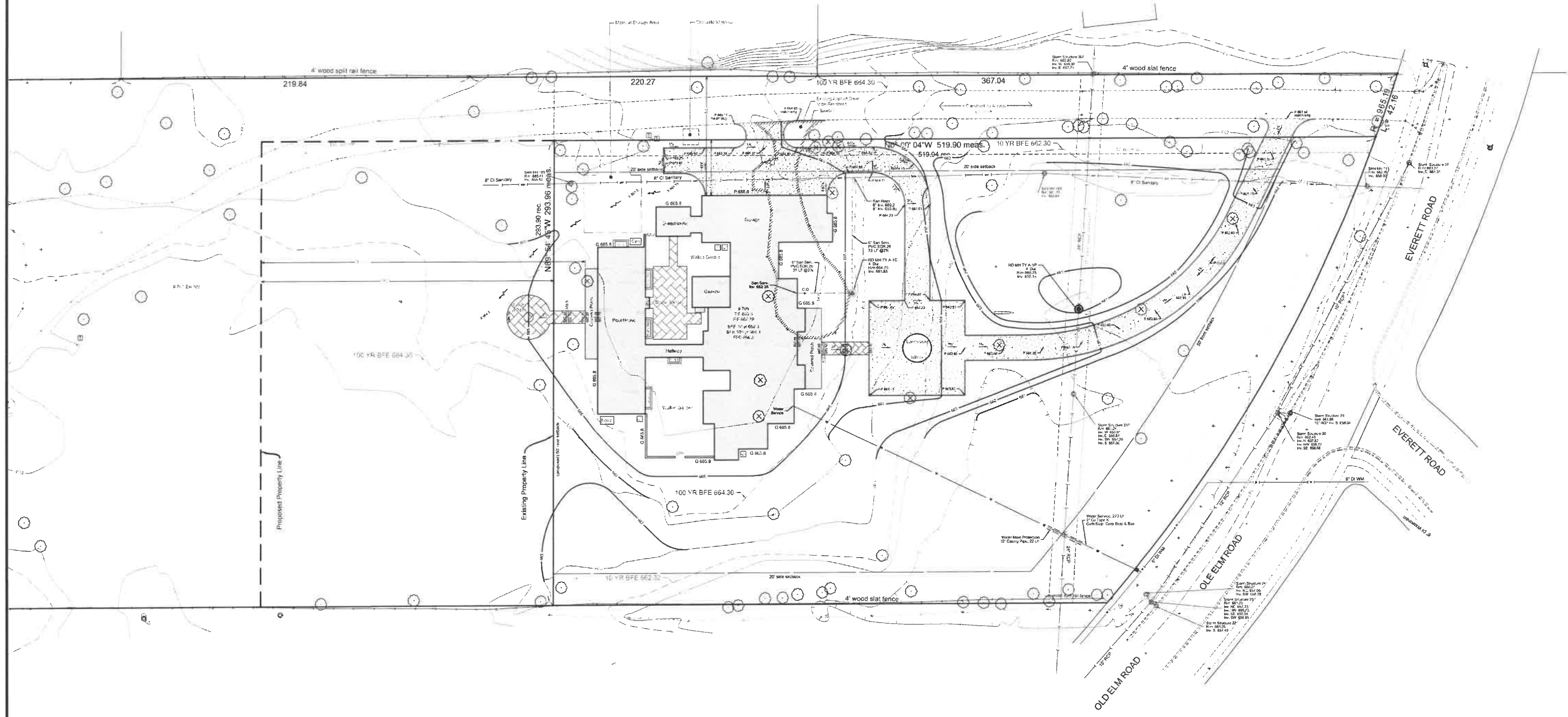
Sincerely,  
**LAKE FOREST LANDMARK DEVELOPMENT**

John Krasnodebski, President

799 Everett Road  
Lake Forest, IL 60045

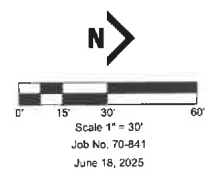


# SITE PLAN



Lot Schematic  
1" = 120'

BENCHMARK:  
CUT "X" ON BOLT OF FIRE HYDRANT  
ON THE NORTH SIDE OF EVERETT ROAD  
ELEVATION = 667.09 (NAVD88)



**BLECK**  
engineers | surveyors  
Bleck Engineering Company, Inc.  
1375 North Western Avenue  
Lake Forest, Illinois 60045  
T 847.295.5200 F 847.295.7081  
www.bleckeng.com

COLOR RENDERING



FRONT ELEVATION  
1/2" = 1'-0" 2/10/19

NORTH ELEVATION



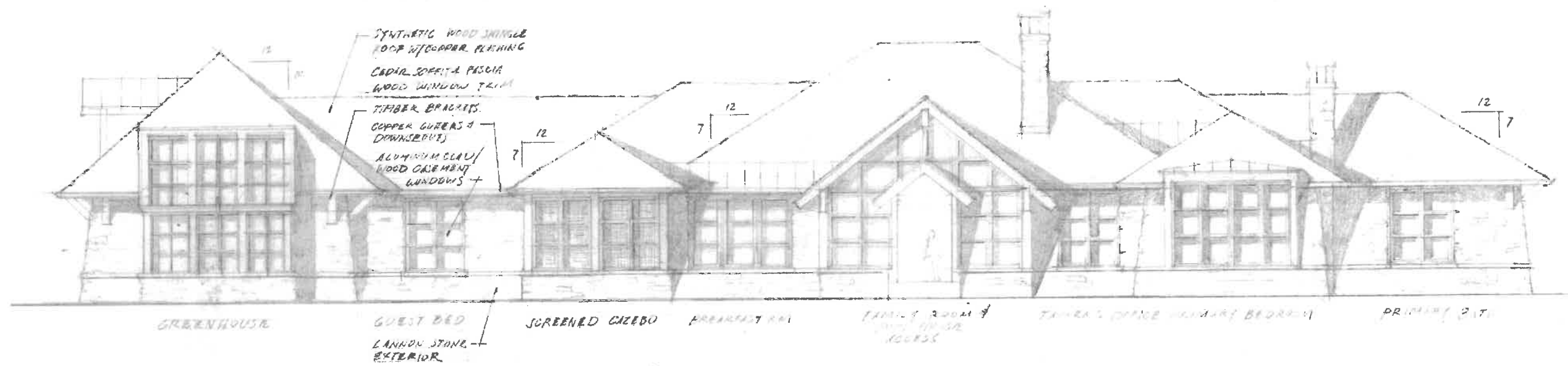
~ FRONT ELEVATION ~  
1/8" = 1'-0"      6/6/25

A4

LAKE FOREST  
**LANDMARK**  
DEVELOPMENT COMPANY

THE POLEN RESIDENCE  
799 EVERETT ROAD  
LAKE FOREST

SOUTH ELEVATION



REAR ELEVATION  
10/10  
6/2/25

AG

LAKE FOREST  
**LANDMARK**  
DEVELOPMENT COMPANY

THE POLEN RESIDENCE  
799 EVERETT ROAD  
LAKE FOREST

WEST ELEVATION



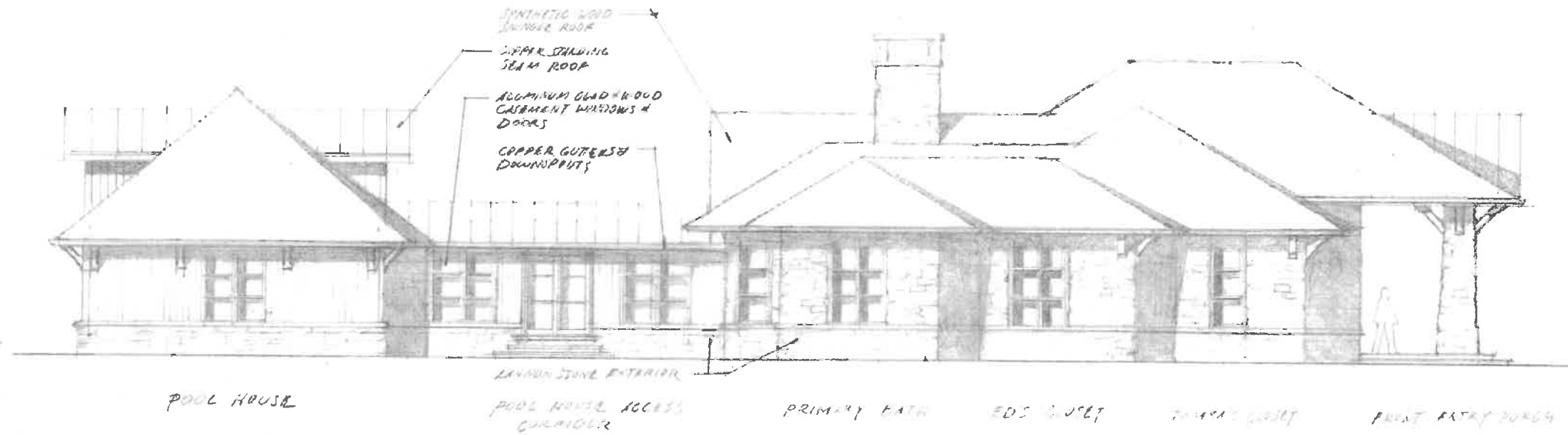
WEST ELEVATION  
10/1/10

15

LANDMARK  
GENERAL DEVELOPMENT COMPANY

THE POLEN RESIDENCE  
799 EVERETT ROAD  
LAKE FOREST

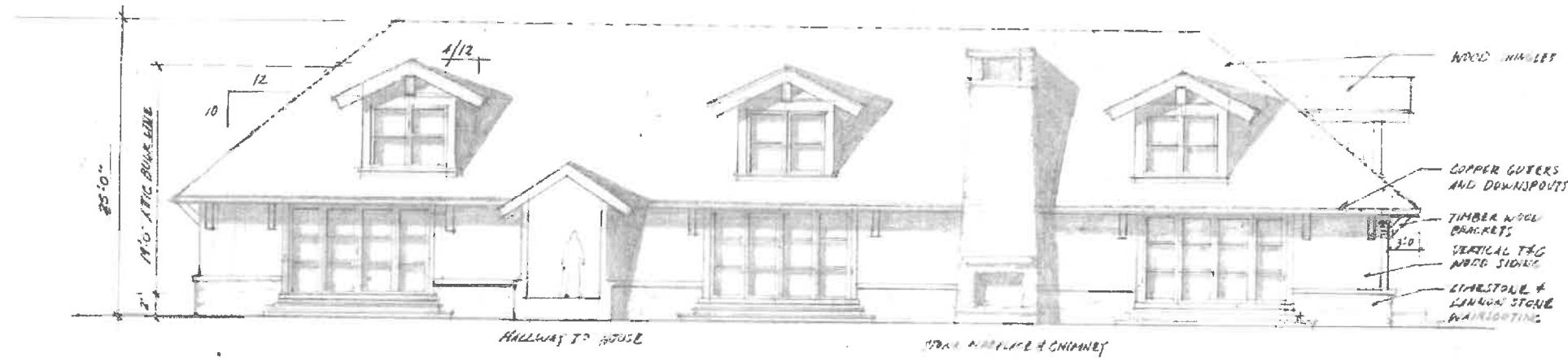
EAST ELEVATION



EAST ELEVATION  
1/5/10 6/1/15

POOL HOUSE

NORTH ELEVATION



— POOL HOUSE ELEVATION —  
118' 1/2" 6 1/2"

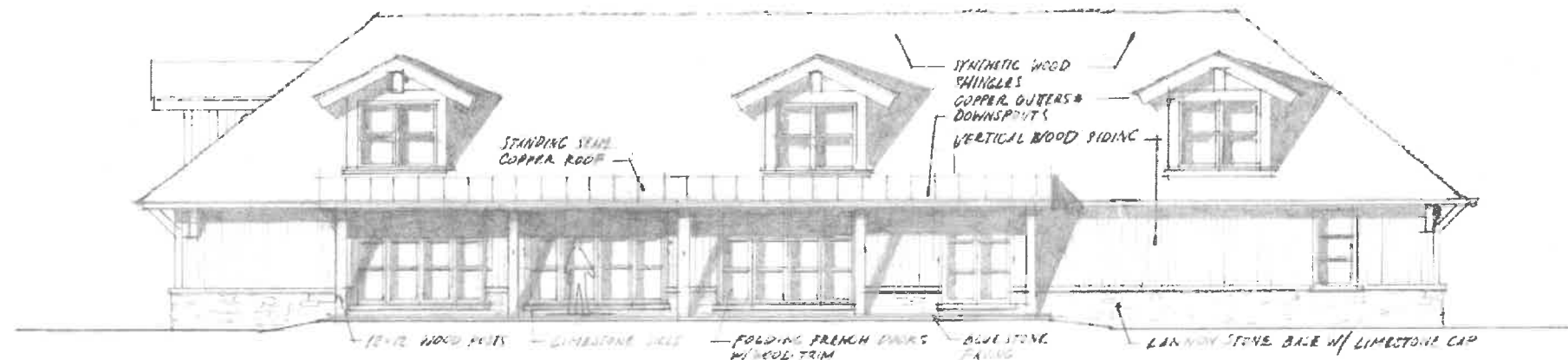
AB

LAKE FOREST  
**LANDMARK**  
DEVELOPMENT COMPANY

THE POLEN RESIDENCE  
799 EVERETT ROAD  
LAKE FOREST

POOL HOUSE

SOUTH ELEVATION



POOL HOUSE SOUTH ELEVATION ~  
1/5/12 6/2/25

**Agenda Item 6**  
**1196 Sir William Lane**  
**New Single-Family Residence on a Vacant Lot**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Streetscape Study  
Site Plan  
Elevations  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
Landscape Plan  
Tree Removal Plan

Correspondence Received

HOA Approval and Architectural Review

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 1196 Sir William Lane

**Consideration of a request for a recommendation in support of a new single-family residence on a vacant lot, and hardscape and landscape plans.**

**Property Owner: Cornel Tibu**

**Architect: Eduard Livanu**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of a new single-family residence on a vacant lot and the associated hardscape and landscape plans.

### **Description of Property**

The property is located on the east side of Sir William Lane on a 22,424 square foot lot. The property is located in the Arbor Ridge subdivision which was recorded in 1988. The surrounding established neighborhood contains homes of varying architectural styles that were mostly built in the 1990's.

On April 8<sup>th</sup>, 2025, the plans presented to the Board were approved by the Arbor Ridge Homeowner's Association (HOA) subject to the conditions as detailed in the letter submitted by the HOA which is included in the packet. The HOA conditions of approval are summarized below. To be clear, these conditions are imposed by the HOA, not the City, although the Board may be in agreement with all or some of the conditions. Enforcement of the HOA conditions is the responsibility of the HOA.

*Excerpt from the Arbor Ridge Homeowner's Association letter of approval:*

1. A landscape plan is required.
2. Detail and samples of the exterior materials, colors, and cur sheets of light fixtures are required.
3. Detail on the chimney cap is required.
4. The following modifications are requested:
  - a. Raise the stone above the door to the bottom of the window above and at the stair tower element.
  - b. Add a 12" rough hewn beam or cut stone lintel extending 3" beyond the door on each side.
  - c. Add a decorative sconce light above the address number.
  - d. Add another window at the center of the garage wall to match the window on the west wall of the garage.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

*Site Plan – This standard is met.*

The residence is sited towards the front of the lot, along the 40 foot front yard setback line. The siting is consistent with the siting of other surrounding homes. The house faces east. One attached single-car garage faces east and one attached two-car garage faces north. A single curb cut is proposed along the east property line. A 14-foot-wide asphalt driveway is proposed leading to the motor court and garages. An auto turn study should be submitted at the time of submission of plans for permit to demonstrate that there is a sufficient turning radius to allow vehicles to comfortably enter and exit the garages and motor court.

**Staff Recommendation:** Submit an as-built survey during construction demonstrating that no portion of the house, including the roof eave and gutter, encroaches into the 40-foot front yard setback.

**Staff Recommendation:** Submit an auto turn study, prepared by or under the direction of an engineer, demonstrating sufficient accessibility for vehicles turning into and pulling out of the garages.

A concrete paver sidewalk is proposed leading from the driveway to the front entrance. Two concrete paver patios are proposed in the rear of the home.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,121 square feet is permitted on the site with an allowance of 600 square feet for a garage and 412 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,098 square feet.
- The proposed garage totals 600 square feet.
- In addition to the above square footage, a total of 430 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 412 square feet, 18 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 4,116 square feet. That is 5 square feet or less than 1 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 33 feet and is below the allowable height of 35 feet for the property.

*Elevations – This standard is met.*

The statement of intent states that the architectural style of the home is Modern French Country. The selected style is reflected in the steeply pitched hipped and gabled roof forms. While the massing, roof forms, and rhythm and organization of windows works well on the north, east and south elevations, the west elevation could benefit from further study and refinement.

The Residential Guidelines recommend simplicity of massing and simple roof forms. On the west elevation, the complex massing of the dining room, covered patio, master bedroom balcony, and the third-floor bedroom dormer could benefit from simplification.

**Staff Recommendation:** Conduct further study and refinement of the massing and roof forms on the west elevation to simplify and better organize the massing.

*Type, color, and texture of materials – This standard is mostly met.*

The siding will be China white stucco with a stone veneer band along the base of all four elevations. The windows will be black casement aluminum clad windows with simulated divided lites with interior and exterior muntin bars affixed. Wood and limestone trim is proposed throughout. The chimney will be stone with a concrete chimney cap and a black painted chimney pot. The roofing will be cedar shake shingles. Aluminum gutters and downspouts are proposed.

**Staff Recommendation:** The veneer stone must be a minimum of 4" in thickness.

**Staff Recommendation:** Consider a softer color palette. The white stucco and black windows may appear stark in relation to other homes in the neighborhood which use more subdued tones.

*Landscaping – This standard is met.*

The minimum landscape requirement for new homes appears to be met by the proposed conceptual landscape plan.

According to the tree removal plan, 42 tree inches are proposed for removal. Replacement inches will be required on site in addition to the minimum landscape requirements for a new home.

It appears that there will be sufficient screening across from the proposed two car garage.

The final landscape plan will be subject to staff review and approval when plans are submitted for permit. At that time, final consideration will be given to the total number of required replacement tree inches.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting other than the letter from the HOA.

### **Recommendation**

Recommend approval of a new single-family residence and hardscape and landscape plans on a vacant lot.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested.
  - a. Conduct further study and refinement of the massing and roof forms on the west elevation to simplify and better organize the massing.
  - b. Submit material samples demonstrating the minimum thickness of 4" for the veneer stone.
  - c. Consider an alternate, less stark color palette.
  - d. Provide an auto turn study to demonstrate the functionality of the driveway and garage.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

### *Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation and shall be based on the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and incorporate all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

### *Drainage and Grading*

- c. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

### *Exterior Lighting*

- d. Details of all proposed exterior lighting, on the residence and on the property, shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

4. Submit an as-built survey during construction to assure that the house does not encroach into the front side yard setback as measured from the point of furthest encroachment, most often the outside edge of the gutter, to the east property line



Area of Request  
1196 Sir William Lane

1196



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 1196 Sir William

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

CORNEL TIBU  
*Owner of Property*

50 Constance Ln  
*Owner's Street Address (may be different from project address)*

Northbrook, IL 60062  
*City, State and Zip Code*

773-406-1726  
*Phone Number* *Fax Number*

tibuhardwoodfloors@yahoo.com  
*Email Address*

C. Tibu  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Eduard Livanu, AOR  
*Name and Title of Person Presenting Project*

Blue Lines Architecture, PLLC  
*Name of Firm*

6177 N Lincoln Ave #212  
*Street Address*

Chicago, IL 60659  
*City, State and Zip Code*

773-858-3438  
*Phone Number* *Fax Number*

edi@bluelines.design  
*Email Address*

Eduard Livanu  
*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco     | <input type="checkbox"/> Other _____      |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_
- Color of Material STUCCO - CHINA WHITE

**Window Treatment**

- |  |   |
|--|---|
| <b>Primary Window Type</b>                   | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung         | <input type="checkbox"/> Wood (recommended)       |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding             | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____         | <input type="checkbox"/> Other _____              |
- Color of Finish Black

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood  
 Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

---

- Brick
- Stone
- Stucco
- Other Concrete

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

## **POST LIGHT**

Gloucester - 4 Light Outdoor Post Mount 12"

7996-66 *The Great Outdoors*

4 Light Outdoor Wall Mount in Sand Coal  
Finish with Clear glass

26" Height



## **FRONT DOOR LIGHT**

Gloucester - 1 Light Outdoor Wall Mount

7991-66 *The Great Outdoors*®

1 Light Outdoor Wall Mount in Sand Coal  
Finish with Clear Glass

15" Height



## **SCONCE LIGHTS PATIOS & GARAGE**

Gloucester - 4 Light Outdoor Wall Mount

7993-66 *The Great Outdoors*®

4 LIGHT OUTDOOR WALL MOUNT IN  
SAND COAL FINISH WITH CLEAR  
GLASS

22" Height



## **CHIMNEY POT**

Sandkuhl Bantam Style E Short Clay  
Chimney Pot

Top Opening - 8 inch Diameter

Height of 27 inch

Mortar Mount

Painted Black



## **CEDAR SHAKE ROOF**



## **GARAGE DOORS**

Clopay Canyon Ridge® Carriage House (5-Layer)

Design #32 w/ REC13 Top option

16'-0" X 8'-0" & 9'-0"

Faux Wood-Look Composite

Color: Black



## WINDOWS

Weather Shield

Signature Series

Aluminum Clad Wood w/ SDL

Color: Black



## FRONT DOOR

Glenview Haus

Classic Collection • Single with 2 Sidelites

GD-104PW 2SL TR CST

6'-0" x 8'-0"

Mahogany Wood Espresso Finish w/ Clear Glass



## STONE

Eden Valdars Stone

Valders Machine Cut Veneer

Heights:  $\frac{7}{8}$ " – 8"

Full veneer – 3  $\frac{1}{2}$ "

Color: Gray



## **PAVERS**

Eden Valders Stone

Valders Rustic Pavers

6" x 6" to 18" x 18" sizes

Color: Buff Blend



## **STUCCO**

Color: Sherwin Williams China White



## **GUTTERS & DOWNSPOUTS**

Material: Aluminum

Color: Black

## **FASCIA & SOFFITS**

Material: Cedar

Color: Black (to match Gutters & Downspouts)



6177 N Lincoln Ave #212  
Chicago, IL 60659  
(773) 858-3438  
www.bluelines.design

May 8, 2025

Building Review Board  
City of Lake Forest  
Community Development Department  
800 Field Dr.  
Lake Forest, IL 60045

RE: Statement of Intent for Proposed New Single-Family Residence  
**1196 Sir William Ln, Lake Forest, IL 60045**

Dear commissioners,

We submit for your review the architectural design for a new residence to be located in an infill lot in Lake Forest's Arbor Ridge Subdivision, at 1196 Sir William Ln. Our goal is a home in the Modern French Country style, blending classic elements with modern simplicity, designed to integrate seamlessly into the Lake Forest community.

### **Overall Site Layout**

Site planning has been a critical aspect of our design process, driven by a deep respect for the property's natural attributes and the relationship with neighboring homes. While there is a variety of architectural styles present in this neighborhood, we have strived diligently to produce a home of a size and scale that fits harmoniously within this diverse context.

### **Site Plan**

A key consideration in the site plan has been the thoughtful placement of the garage. Recognizing the potential for disturbance from vehicle lights, we have strategically oriented the garage so that its doors face the neighboring garage. This deliberate positioning is intended to minimize the impact of headlights from vehicles entering or exiting the garage, ensuring that neither our future residents nor our neighbors are inconvenienced by light spill at night.

Furthermore, the architectural massing and landscaping plan have been developed to effectively screen the garage doors from the view of the street.

## **Elevations**

The architectural form adheres to the Modern French Country style through a carefully balanced relationship of voids (windows, doors, and recessed areas) and solids (walls and massing). This balance creates visual depth, plays with light and shadow, and contributes to the overall sense of proportion and scale, consistent with the proposed style.

The windows throughout the home are proposed as casement windows with SDL muntin bars, contributing to the traditional aesthetic. They are set approximately 2 inches inset from the face of the stucco veneer, and feature 3-inch cut limestone sills.

All exposed flashing will be copper, which will patina over time.

Gutters and downspouts will be seamless aluminum, colored to match the anthracite fascia & windows. The narrow profile of the fascia and gutter system is consistent with this architectural style.

The roofline is articulated with charming shed type dormers, which add architectural interest and provide natural light to the upper stories. The design of the rooflines and eaves has been applied with careful attention to proportion and detail, reflecting the graceful and varied forms often found in this architectural style, while maintaining a sense of understated elegance.

We have also given careful consideration to the zoning requirements, including height. The proposed roof height is 32'-10.75", which is comfortably below the maximum allowed height of 35 feet.

We acknowledge that the proposed design results in a slight exceedance of the allowed bulk by 164 square feet, which represents 3.48% of the maximum permitted bulk. While this is a minor deviation, we firmly believe that the overall scale and massing of the home are a perfect fit for the neighborhood context.

## **Type, Color, and Texture of Materials**

The exterior material palette is thoughtfully composed to create visual interest and textural richness, embodying the Modern French Country aesthetic.

The primary wall claddings will consist of a combination of ashlar stone veneer, providing a sense of solidity and connection to the earth, and smooth stucco veneer, offering a refined counterpoint. This interplay of textures is a hallmark of the style.

The windows throughout the home are proposed as casement windows, chosen for their classic appearance, operational efficiency, and ability to frame views.

The roof will be clad in cedar shingles, a material that weathers gracefully and integrates seamlessly with the natural environment, further enhancing the home's connection to its surroundings.

## **Landscaping**

The landscape design will complement the architecture and integrate with the natural environment of the site, ensuring the home does not detract from the site's natural character.

This design is the product of an exhaustive and iterative process. We have explored numerous variations and refinements to ensure its suitability for this location and its harmonious integration into the community.

Thank you for your time and consideration. We are available for questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Eduard Livanu', written in a cursive style.

Eduard Livanu

Blue Lines Architecture

STREETSCAPE STUDY



1210

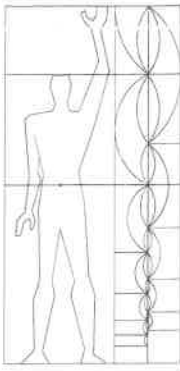
STREETSCAPE STUDY



1196 SIR WILLAM LANE



1180



BLUE LINES  
ARCHITECTS  
(773) 838-5438  
collaborative design  
6171 N. Lincoln Ave #212  
www.bluelines.com

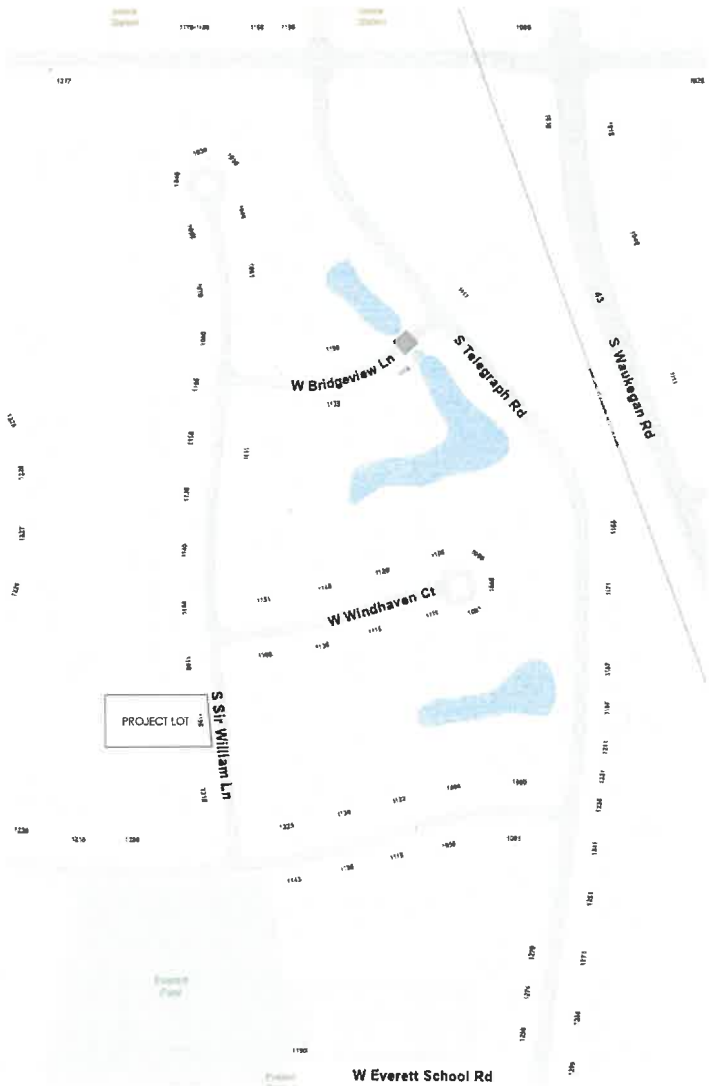
BRB REVIEW 6/10/2025



ENTRANCE TO SUBDIVISION



1196 SIR WILLAM LANE



NEIGHBORHOOD MAP (NTS)

1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

STREETSCAPE STUDY

A1.2

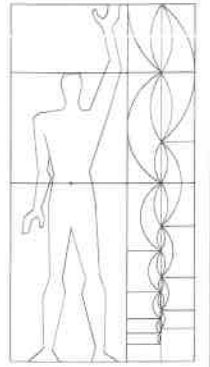


SIR WILLIAM LANE SOUTH



SIR WILLIAM LANE NORTH

# SITE PLAN



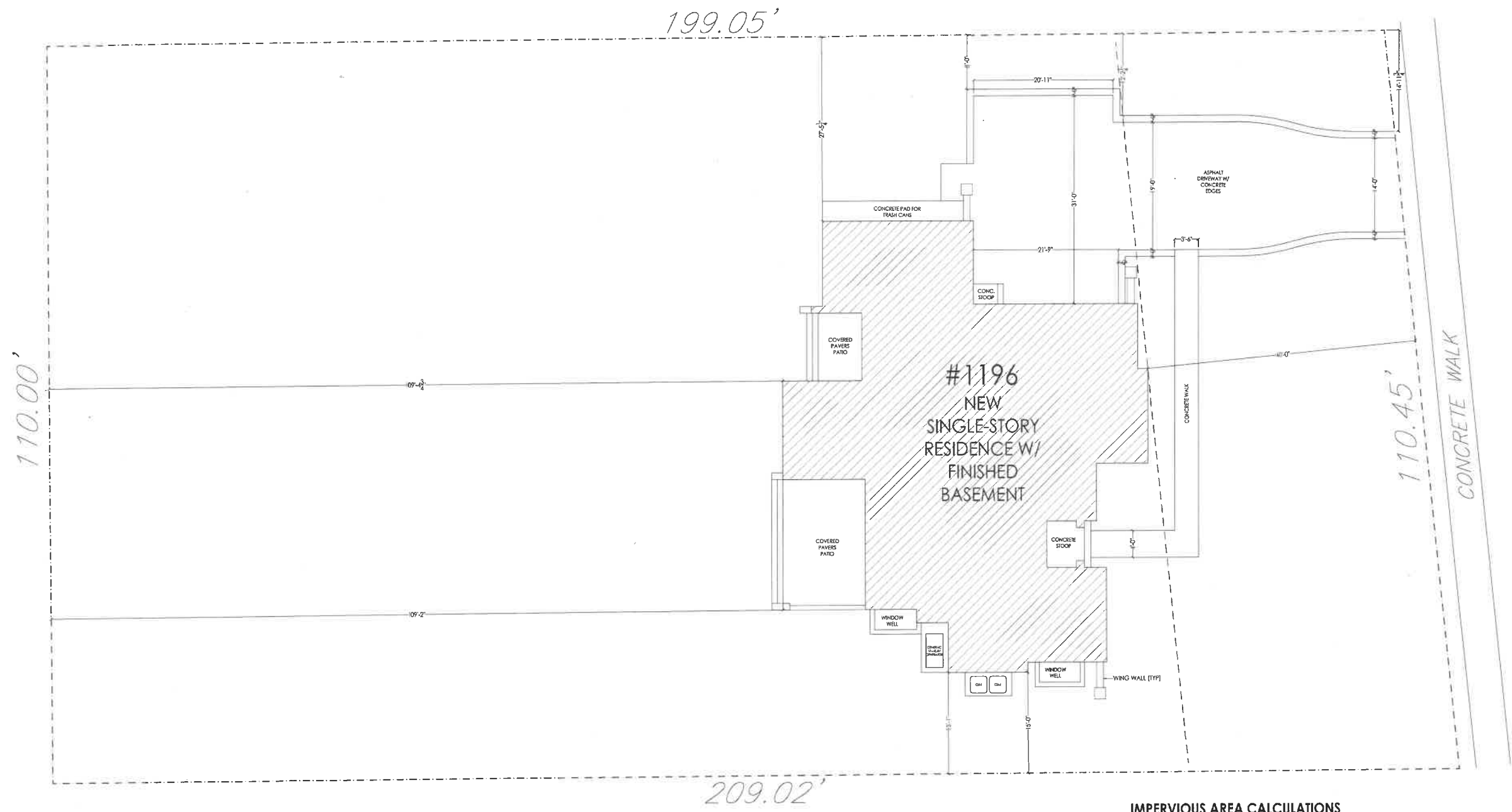
BLU LINES  
ARCHITECTS  
1723 635-5345  
cshelburne@blulines.com  
6177 N Lincoln Ave #212  
www.blulines.com

BRB REVIEW 6/10/2025

1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

SITE PLAN

A1.1



#1196  
NEW  
SINGLE-STORY  
RESIDENCE W/  
FINISHED  
BASEMENT

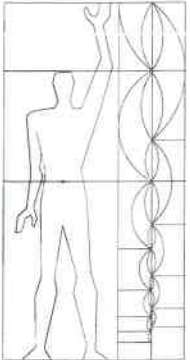
### IMPERVIOUS AREA CALCULATIONS

HOUSE FOOTPRINT	2,374 SF
COVERED PATIOS	349 SF
CONDENSERS, GENERATOR, TRASH BINS PADS	116 SF
ENTRY STOOPS & WING WALLS	77 SF
DRIVEWAY	1,522 SF
SIDEWALK	217 SF
<b>TOTAL</b>	<b>4,655 SF</b>
	(20.75% OF LOT SIZE)

1 SITE PLAN  
A1.1 SCALE 1/8" = 1'-0"



# EAST ELEVATION



BLUE LINES  
ARCHITECTURE PLLC  
6177 N Lincoln Ave #212  
Chicago, IL 60659  
www.bluelinesarch.com

BRB REVIEW 6/10/2025

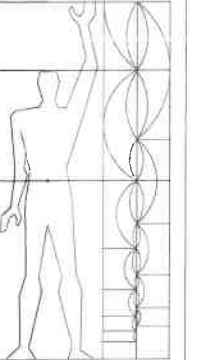
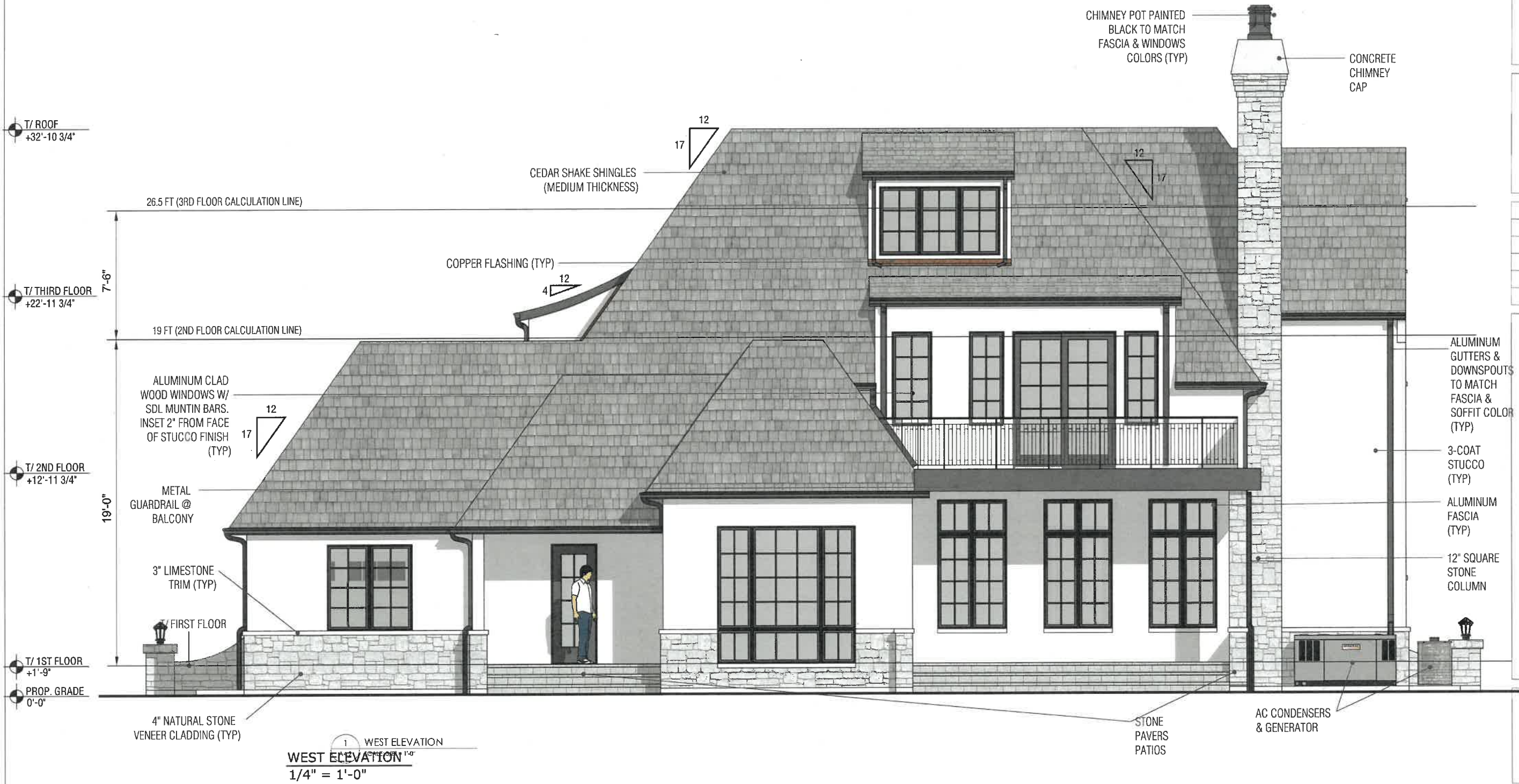
1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

EAST ELEVATION

A4.1



# WEST ELEVATION



BLUE LINES  
ARCHITECTURE PLLC  
608 N. Lincoln Ave. Suite 200  
6177 N. Lincoln Ave #212  
Chicago, IL 60659  
www.bluelinesdesign.com

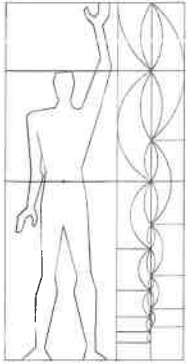
BRB REVIEW 6/10/2025

1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

WEST ELEVATION

A4.2

# SOUTH ELEVATION



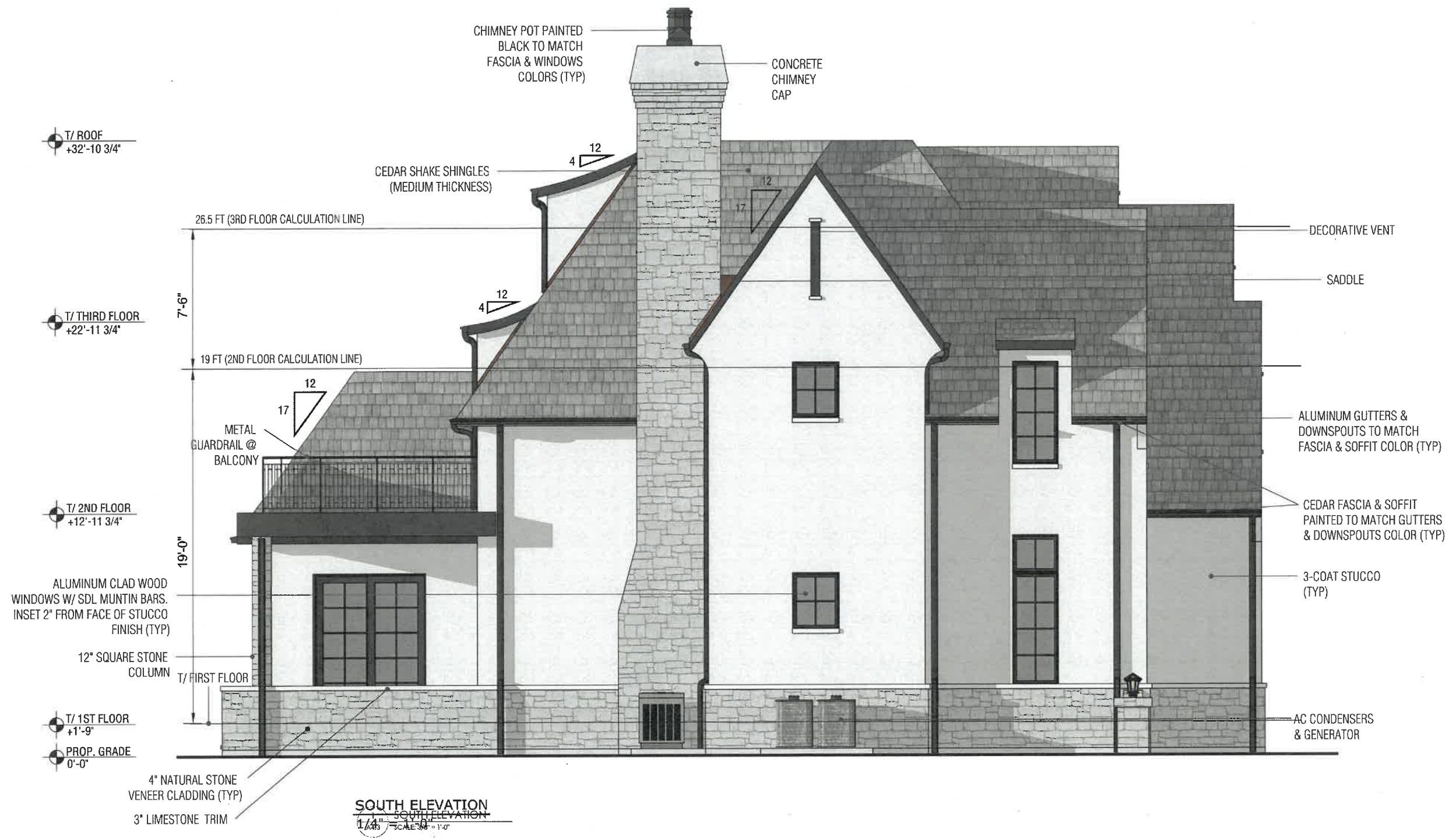
BLUE LINE  
ARCHITECTURE, P.C.  
CORPORATE DESIGN  
6177 N Lincoln Ave #212  
Chicago, IL 60659  
www.bluelinearch.com

BRB REVIEW 6/10/2025

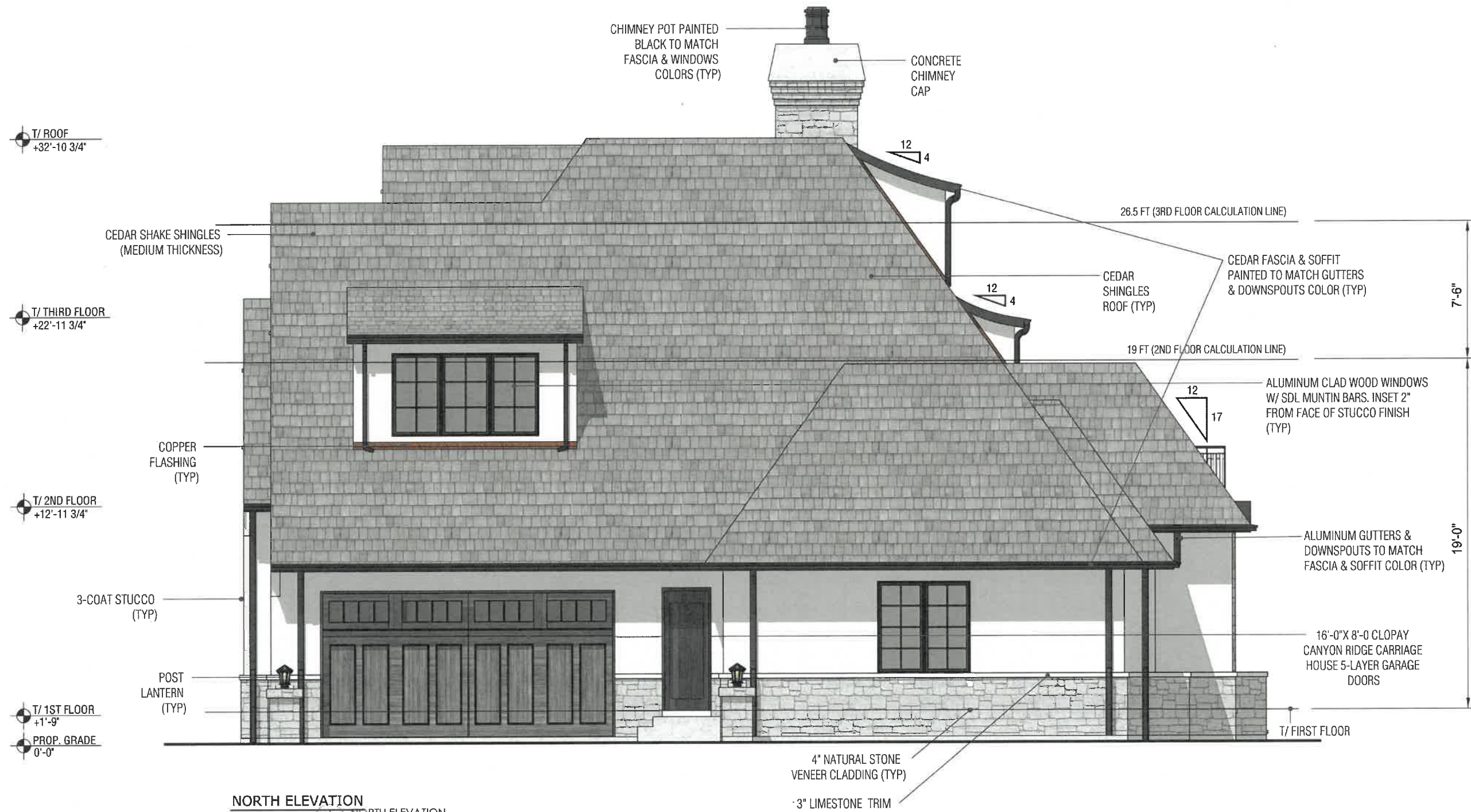
1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

SOUTH  
ELEVATION

A4.3



# NORTH ELEVATION



T/ ROOF  
+32'-10 3/4"

T/ THIRD FLOOR  
+22'-11 3/4"

T/ 2ND FLOOR  
+12'-11 3/4"

T/ 1ST FLOOR  
+1'-9"

PROP. GRADE  
0'-0"

CEDAR SHAKE SHINGLES  
(MEDIUM THICKNESS)

COPPER  
FLASHING  
(TYP)

3-COAT STUCCO  
(TYP)

POST  
LANTERN  
(TYP)

CHIMNEY POT PAINTED  
BLACK TO MATCH  
FASCIA & WINDOWS  
COLORS (TYP)

CONCRETE  
CHIMNEY  
CAP

26.5 FT (3RD FLOOR CALCULATION LINE)

19 FT (2ND FLOOR CALCULATION LINE)

ALUMINUM CLAD WOOD WINDOWS  
W/ SDL MUNTIN BARS. INSET 2"  
FROM FACE OF STUCCO FINISH  
(TYP)

ALUMINUM GUTTERS &  
DOWNSPOUTS TO MATCH  
FASCIA & SOFFIT COLOR (TYP)

16'-0" X 8'-0" CLOPAY  
CANYON RIDGE CARRIAGE  
HOUSE 5-LAYER GARAGE  
DOORS

4" NATURAL STONE  
VENEER CLADDING (TYP)

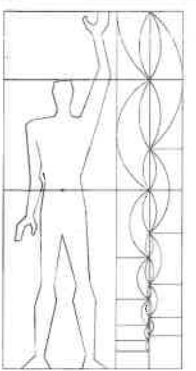
3" LIMESTONE TRIM

T/ FIRST FLOOR

7'-6"

19'-0"

NORTH ELEVATION  
1/4" = 1'-0"  
A4.4 SCALE: 3/8" = 1'-0"



BLUE LINE  
ARCHITECTURE LLC  
1770 S. WISCONSIN  
LAKE FOREST, IL 60045  
6174 Lincoln Ave #212  
www.blueline.com

BRB REVIEW 6/10/2025

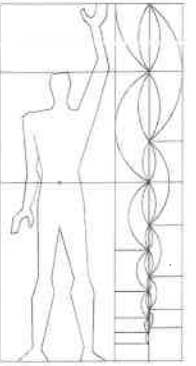
1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

NORTH  
ELEVATION

A4.4

NEW SINGLE-FAMILY HOME  
1196 SIR WILLIAM LN, LAKE FOREST, IL 60045

RENDERING



BLUE LINES  
ARCHITECTURE  
1723 895-5438  
008@blue-lines.com  
6177 N. Lincoln Ave. #212  
www.blue-lines.com

BRB REVIEW 6/10/2025

1196 SIR WILLIAM LN  
LAKE FOREST, IL 60045

3D  
RENDERINGS

A1.0



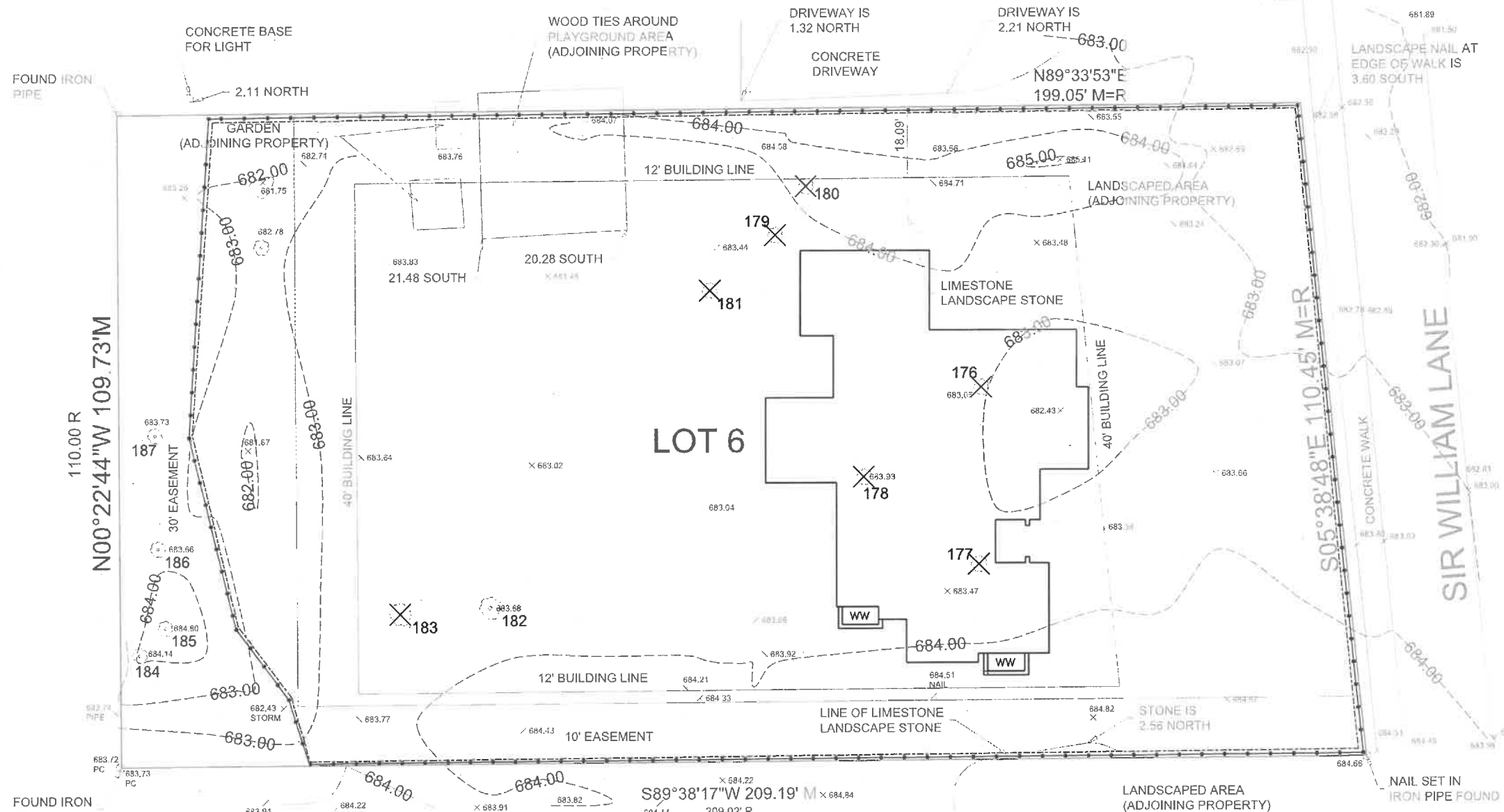
# Development Plan

## TREE REMOVAL PLAN



### LEGEND

- SILT FENCE
- OFFSITE PARKING
- CONCRETE WASHOUT
- 6' CHAIN LINK FENCE WITH DRIVEN POSTS
- CONSTRUCTION MATERIAL STORAGE
- SPOILS STORAGE
- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- CONSTRUCTION PARKING\*
- TREE REMOVAL



Tree Preservation Survey					Fluenta 1196 Sir William Ln Lake Forest	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)	CANOPY	NOTES / LOCATION	
176	27	Silver Maple	3			
177	8	Hawthorn	5			
178	19	Silver Maple	4			
179	61	Willow	5			
180	8	Cottonwood	3			
181	9	Hawthorn	4			
182	45	Bur Oak	3			
183	7	Pear	3			
184	15	Black Locust	3			
185	16	Bur Oak	3			
186	24	Red Oak	6			
187	12	Bur Oak	3			

Thank you,  
Lou Leggett  
Certified Arborist #177  
847-581-7081

<p><b>Fluenta Consulting</b> 201 E. Lakeside Dr., Vernon Hills, IL 60061 Tel: 773-349-5881</p>	<p>Client Name and Address:</p> <p><b>Maria Tibu</b> 1196 Sir William Ln., Lake Forest, IL 60045 Tel: (847) 208-2342</p>
<p>Project</p>	<p>Date</p>
<p>Scale 1" - 10'</p>	
<p>Sheet</p> <h1 style="font-size: 2em; margin: 0;">C3</h1>	

## **Correspondence Received**

# **ARBOR RIDGE HOMEOWNERS' ASSOCIATION**

April 8, 2025

Re: Review of Proposed Plans for 1196 Sir William Lane.

Mr. & Mrs. Tibu,

The Arbor Ridge Homeowner's Association has completed a review of the architectural plans for your proposed new home at 1196 Sir William Lane.

We are pleased to inform you that the plans have been approved subject to the conditions listed below. In the meantime, the HOA Board grants you permission to request that your matter be placed on the agenda of the City of Lake Forest's Building Review Board.

The conditions are as follows:

1. The proposed construction is not to deviate from Rick Swanson's letter dated March 15, 2025 (which is referenced as his re-review), unless otherwise approved by the HOA of Arbor Ridge.
2. Please allow this letter to confirm that the HOA is still waiting for a storyboard of samples. Rick Swanson will be given ample time to review the storyboard. As a result, the HOA's approval is conditional and not final.
3. Please allow this letter to confirm that the HOA Board is still waiting for a landscape plan. Rick Swanson will be given ample time to review the landscape plan. As a result, the HOA's approval is conditional and not final.
4. Any changes suggested by the Lake Forest Building Review Board shall not deviate from the Arbor Ridge Design Guidelines unless approved by the HOA.

We all wish to welcome you to the Arbor Ridge community and feel your home will be a nice addition to the neighborhood. Please contact us if you should have any questions about this review, and thank you for your consideration and patience as we processed this application.

Very truly yours,

Julie Riccardi Halperin

*Board President, on behalf of the Arbor Ridge HOA*



11418 E Mission Ln.  
Scottsdale, AZ 85259  
(847) 757-3975

Julie Halperin  
Arbor Ridge Homeowners Association  
1143 Lawrence Ave.  
Lake Forest, IL 60045

March 15, 2025

Re: Architectural Review for 1196 Sir William Lane

Ms. Halperin,

I have completed my re-review of the architectural plans for the proposed single-story residence at 1196 Sir William Lane, prepared by Blueline.Design dated 3-10-25, based on Sections V & VI "Standards of Construction" of the Declaration of Covenants, Conditions & Restrictions for Arbor Ridge Subdivision. Note that no color samples or cut sheets still have not been provided.

The proposed single-story residence is approximately 3,500 sf with a Modern French Country style façade including a mix of ashlar stone veneer, stucco veneer, casement windows, clipped gable dormers and a cedar shingle roof. The revised drawings appear to have addressed most of the redline comments leaving very minor adjustments that I believe might be raised by the Building Review Board.

I suggest approval of the design subject to the following conditions:

1. A Landscape Plan will have to be submitted to the BRB for the city's process of review. I suggest that we get a copy of that when this home is submitted for their approval. We should also add that any changes to the approved Landscape Plan will require the approval of the HOA.
2. A Storyboard (see attached example) should be submitted illustrating and specifying the proposed exterior materials, including Stone veneer, stucco with finish and color, trim material with color, aluminum gutter color, window manufacturer with color, paver material with color, garage door with color, Front entrance door material with color and cut sheets for the selected exterior sconce lights with finish.
3. No chimney flue is provided. Is there a decorative terra cotta flue or screened cap?
4. Still suggest raising the stone wall above the entrance door to the bottom of the window above. This should also be done at the stair tower element.
5. The straight opening above the entrance door is fine but a 12" rough hewn beam or cut stone lintel extending 3" on each end would be an appropriate touch.
6. A decorative sconce light above the address number would fill that space nicely.
7. Add another window to the center of the Garage wall that matches the one on the west wall of the Garage.

The City of Lake Forest now requires that all infill lots be reviewed by the Building Review Board. This will include a letter from the Homeowners Association documenting its review of the proposed structure with comments that are relevant to the recorded covenants. I suggest that we get the storyboard with photos and the specific information for each of the exterior materials. The minor changes I provided should also be provided to assure the plans submitted to the city for BRB review is consistent with the approval letter the HOA provides. City staff will communicate with me as this petition is processed and it is not uncommon for things to change, which creates confusion. My point is to help set the owner up for success with the city so they can get approved on the first meeting.

Please let me know if you should have any questions or require further information regarding this review.

Respectfully,

A handwritten signature in black ink, appearing to read "R. Swanson", followed by a horizontal line extending to the right.

Rick Swanson AIA, NCARB  
R.M. Swanson Architects PC

**Agenda Item 7**  
**315 Stable Lane**  
**New Single-Family Residence on a Vacant Lot**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Site Plan  
Elevations  
*Roof Plan and Garage Floor Plan*  
*Building Sections and Streetscape Elevations*  
*Proposed Floor Plans*  
Landscape Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 315 Stable Lane

**Consideration of a request for a recommendation in support of a new single-family residence on a vacant lot, and hardscape and landscape plans.**

**Property Owner: John and Anne Crane**

**Representative: Nate Lochner – Vice President at A. Perry Homes**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of a new single-family residence on a vacant lot and the associated hardscape and landscape plans.

### **Description of Property**

The property is located to the northeast of the Stable Lane cul-de-sac. The property is located in the Girardis Resubdivision which was recorded in 2005. It is bordered by the Westleigh Farms subdivision to the north and east and Lake Forest Open Lands to the west.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

#### *Standards in General*

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

#### *Site Plan – This standard is met.*

The residence is sited towards the middle of the lot and sprawls from the northwest side yard setback to the southeast side yard setback. The house faces southwest, towards the cul-de-sac. One attached two-car garage faces southeast and a three and one split four car garage, accessed through a porte-cochere, faces northwest. A single curb cut is proposed in the cul-de-sac. A 12-foot-wide driveway is proposed leading to the front entrance roundabout and parking area before extending across the front yard to the porte cochere and the garages and associated motor court.

The foot print of the house and driveway should be staked on the site at least a week in advance of the meeting.

A 3-foot wide paver walkway leads from the rear motor court to a large stamped concrete patio and pool area in the rear. Consideration could be given to softening the angles in the walkway to provide a more direct connection, one which people may be more likely to follow.

A landscape wall is shown between the roundabout and the front entrance. Additional detail and images should be provided on the wall including the proposed height of the wall, the materials, and detail on associated plantings.

**Staff Recommendation:** Submit drawings of the proposed landscape wall and images in relation to the house and approaching stairs.

**Staff Recommendation:** Consider softening the angles on the walkway in the rear yard connecting the garage area to the patio.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 9,690 square feet is permitted on the site with an allowance of 800 square feet for a garage and 969 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 8,383 square feet.
- The proposed garage totals 1,980 square feet. With a garage exemption of 800 square feet, 1,180 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 1,046 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 969 square feet, 77 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 9,640 square feet. That is 50 square feet or less than 1 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 39 feet as measured from the pre-existing lowest adjacent to the house to the tallest roof ridge and is below the allowable height of 40 feet for the property.

**Staff Recommendation:** Submit as built drawings while construction is in progress to confirm that the height of the residence, as measured from the point of lowest existing adjacent grade to the tallest peak of the roof does not exceed the maximum allowable height of 40 feet and conforms to the approved plans.

*Elevations – This standard is somewhat met.*

The architect defines the style of architecture as French Eclectic. The selected style is reflected in the steeply pitched rooflines, limestone façade, and tall, narrow windows. Elements of the architecture, such as the box bay windows, appear to represent a transitional architecture style, rather than French Electric. The elevations could benefit from further study and refinement to more closely align with the Residential Design Guidelines.

The Residential Design Guidelines recommend a regular arrangement of openings and a balance of windows to solid wall massing. Across the elevations, several different sizes and shapes of windows are used. Further study and refinement of the windows should be undertaken to create a more regular arrangement of openings. Further study should also be given to the balance of windows to solid wall massing. The southwest, northeast and northwest elevations have significant window coverage, while the southeast elevation has larger expanses of unbroken wall massing along the wall of the optional outdoor kitchen. The southeast elevation also has very little stone compared to the other elevations. Further study of the use of stone, for consistency, could be considered.

The Residential Design Guidelines also recommend simplicity of massing and simple roof forms. Further study and refinement of the massing and roof forms, across the elevations, should be considered. Consideration could be given to placing the box bay windows with standard casement windows on the southwest and northeast elevations, to simplify the elevations and more closely relate the architecture to the selected architectural style. Board input on the simplification of the massing and roof forms is requested.

**Staff Recommendation:** Study and refine the elevations to create a more regular arrangement of openings and balance of windows to solid wall massing.

**Staff Recommendation:** Consider the use of additional stone on the southeast elevation, for consistency with other elevations.

**Staff Recommendation:** Consider replacing the box bay windows with standard casement windows.

**Staff Recommendation: Refine** and simplify the roof forms to achieve a design truer to the selected architectural style.

*Type, color, and texture of materials – This standard is met.*

The siding will be limestone veneer with a depth of at least four inches and gray true cement stucco. The windows will be gray wood aluminum clad

wood casement windows with simulated divided lites with interior and exterior muntin bars affixed. Cedar, limestone and stucco trim is proposed throughout. The chimney will be limestone to match the siding. The roofing will be DaVinci synthetic tile roofing. Standing seam metal roofing is proposed for on the box bay windows. Aluminum gutters and downspouts are proposed.

Material samples and an illustration of the color palette should be brought to the meeting and presented to the Board for review.

**Staff Recommendation:** The veneer stone must be a minimum of 4" in thickness.

**Staff Recommendation:** Standing seam roof panels shall be no wider than 12 inches, consistent with past Board review.

*Landscaping – This standard is mostly met.*

The minimum landscape requirement for new homes appears to be met by the proposed conceptual landscape plan.

According to the tree removal plan, no trees are proposed for removal.

The final landscape plan will be subject to staff review and approval when plans are submitted for permit. At that time, final consideration will be given to whether any replacement tree inches are required.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

### **Recommendation**

Recommend approval of a new single-family residence on a vacant lot and hardscape and landscape plans subject to review and final approval by a subcommittee of the Board. The Board is authorized to grant final approval if refinements are determined to address concerns and respond to the direction of the Board.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested. The refinements shall be subject to review and approval by a subcommittee of the Board appointed by the Chairman.

- a. Submit drawings and provide details of the proposed landscape wall at the front of the home.
  - b. Study and refine the elevations to create a more regular arrangement of openings and balance of windows to solid wall massing.
  - c. Consider the use of additional stone on the southeast elevation, for consistency.
  - d. Consider replacing the box bay windows with standard casement windows.
  - e. Annotate the plans to reflect that stone veneer will be no less than four inches thick and standing seam roof panels, no wider than 12 inches.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the subcommittee as appropriate, to determine whether the modifications are in conformance with the Board's and the subcommittee's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. An existing tree plan shall be submitted and all tree removals, if any, will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees identified for protection and preservation and shall correlate with the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and incorporate all required replacement tree inches, if any, to account for trees removed to the extent possible using good forestry practices. The

landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

- c. Detailed drainage and grading plans must be submitted. **Grading or filling is limited to the minimum necessary** to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

- d. Details of all proposed exterior lighting, on the residence and on the property, shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

- 4. Submit as built drawing while construction is in progress to confirm that the height of the residence, as measured from the point of lowest existing adjacent grade to the tallest peak of the roof, does not exceed the maximum allowable height of 40 feet and conforms to the approved plans.



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 315 Stable Lane

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**PROPERTY OWNER INFORMATION**

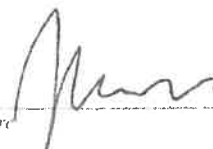
John Crane  
*Owner of Property*

14424 Iz Brook  
*Owner's Street Address (may be different from project address)*

Homer Glen, IL 60491  
*City, State and Zip Code*

847 727 6700  
*Phone Number*                      *Fax Number*

cranezoo@aol.com  
*Email Address*

  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Nate Lochner - Vice President Architecture  
*Name and Title of Person Presenting Project*

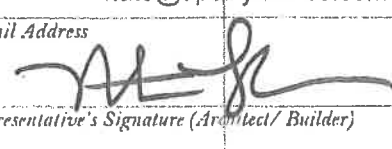
A. Perry Homes  
*Name of Firm*

1220 Washington Ave.  
*Street Address*

Wilmette, IL 60091  
*City, State and Zip Code*

847 549 0668  
*Phone Number*                      *Fax Number*

nate@aperryhomes.com  
*Email Address*

  
*Representative's Signature (Architect/ Builder)*

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco     | <input type="checkbox"/> Other _____      |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_  
See description of exterior  
Color of Material materials / physical samples

**Window Treatment**

- |  |   |
|--|---|
| <b>Primary Window Type</b>                   | <b>Finish and Color of Windows</b>                                |
| <input type="checkbox"/> Double Hung         | <input checked="" type="checkbox"/> Wood (recommended) (INTERIOR) |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad (EXTERIOR)      |
| <input type="checkbox"/> Sliding             | <input type="checkbox"/> Vinyl Clad                               |
| <input type="checkbox"/> Other _____         | <input type="checkbox"/> Other _____                              |
- Color of Finish Gray

- Window Muntins**
- Not Provided  
 True Divided Lites

- Simulated Divided Lites*
- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

- |   |   |
|---|---|
| <b>Door Trim</b>  | <b>Window Trim</b>                                      |
| <input checked="" type="checkbox"/> Limestone           | <input checked="" type="checkbox"/> Limestone           |
| <input type="checkbox"/> Brick                          | <input type="checkbox"/> Brick                          |
| <input type="checkbox"/> Wood                           | <input type="checkbox"/> Wood                           |
| <input checked="" type="checkbox"/> Other <u>Stucco</u> | <input checked="" type="checkbox"/> Other <u>Stucco</u> |

- Fascias, Soffits, Rakeboards**
- Wood  
 Other \_\_\_\_\_

**THE CITY OF LAKE FOREST**  
**HISTORIC PRESERVATION COMMISSION APPLICATION**  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

---

- Brick
- Stone
- Stucco
- Other poured concrete

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles Divinci or similar
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete (Stamped)
- Other \_\_\_\_\_

A . P E R R Y   H O M E S  
C R A N E   R E S I D E N C E

315 Stable Lane, Lake Forest IL 60045

Description of Exterior Materials



Wall Material

**Stone Veneer - Full Depth**

**Blend: Mountain Crest Country Manor Dimensional**



Wall / Trim / Custom Bracket Material

**Gray Pre-Stained Cedar Trim / Smooth Panel Siding**



Sill Material

**Gray Indiana Limestone**



Roof Material

**DaVinci Composite Tile Roofing**



Wall Material

**Gray Stucco**



Gutter and Downspouts

**Aluminum Gutters & Downspouts**

A . P E R R Y H O M E S  
C R A N E R E S I D E N C E

315 Stable Lane, Lake Forest IL 60045

Description of Exterior Materials



Window Material

**Black Aluminum Cladding w/ Natural Wood Interior Finish**

Surround Material

**Gray Indiana Limestone**



Terrace Material

**Stamped Concrete**



Chimney Pot Material

**Black Glaze Clay**



Conceptual  
Roof Material

**Standing Seam Metal Roofing**

# C R A N E   R E S I D E N C E

315 Stable Lane, Lake Forest, IL 60045

## Statement of Intent

*On behalf of our clients, we respectfully submit the considerations for approval of a New Single Family Residence with an Attached and Detached Garage located at 315 Stable Lane in the Girardis Resubdivision. The intent is to build a new home for our client that encompasses the character of the neighborhood while utilizing quality materials & consistent architectural design forms.*

*The siting of the house was chosen in order to to be consistent with the neighboring house to the south. It strives to maintain & add to the natural screening along the property lines to the neighboring properties along with conforming with all zoning setbacks & easements. The Proposed Residence is sited with the front of the home presenting towards Stable Lane similar to the other residence in the neighborhood. The residence is accessed via a single curb cut driveway proposed off of the cul-de-sac on Stable Lane. The careful placement & orientation of the home screens the view of the garage doors from the street via a rear facing motor courtyard layout in keeping with the neighboring residence. The central massing / front entry porch being the focal point upon entry to the site. The Proposed Single Family Residence conforms with all City & Platted Setback lines.*

*The Proposed Single Family Residence was designed in the French Eclectic Style with the composition of steep rooflines with authentic flared roof to eave detail, natural materials, & consistency of fenestration sizes between floors of the home. The hierarchy of massing presents as one-and-half story elements at the ends & builds to primarily two-and-half story forms at the central portion of the home. The simplicity of the steep pitched hipped roofs is accentuated by a two-story masses with gable roofs at the central portion of the home. The hierarchy of massing of the Proposed Residence is consistent with the neighboring residence as depicted by the Photographs of the Neighboring Properties & Neighborhood Context Elevations provided. The Proposed Residence complies with the City of Lake Forest Bulk Regulations & Workbook.*

*The exterior materials of the home stay true to the French Eclectic style with a composition of quality materials, including full depth natural stone veneer, limestone sills / intricately detailed surrounds, stucco, stained cedar wood trim, & architectural composite shingle. The proposed windows are aluminum clad casement windows with interior & exterior muntin bars to reflect the Historic Character of Lake Forest. All materials are intended to be high quality and low maintenance to keep consistent with the neighborhood.*

*We thank the City of Lake Forest staff for their feedback & guidance throughout the process of designing the Proposed Residence.*

Dear Members of the Oversight Committee,

My name is John Crane, a current applicant for approval to build a new home in Lake Forest.

Years ago, in the early 1990s, while working on my Master's degree in Spanish and Portuguese at the University of Chicago, I was awarded an assistant lecturer position at Lake Forest College. I truly enjoyed the atmosphere both at the college and in the town.

Now that my two youngest daughters have reached their teenage years, I find that the resources and opportunities for shared experiences are lacking in our current neighborhood and cannot be replaced without moving back to the north shore.

My wife Ann and I look forward to sharing the best that the north shore has to offer with our new home base in Lake Forest.

Thank you for your consideration.

John Crane

# SITE PLAN



## CRANE RESIDENCE

315 STABLE LANE, LAKE FOREST, ILLINOIS  
**PEARSON, BROWN & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 1859 W. WINCHESTER ROAD - SUITE 205  
 LIBERTYVILLE, IL. 60048  
 PHONE: (647) 397-6707  
 FAX: (647) 397-2587  
 E-MAIL ADDRESS: pba@pearsonbrown.com  
 © COPYRIGHT 2015 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED.

DESIGNED BY: G.A.Z.  
 DRAWN BY: A.Z.  
 CHECKED BY: A.K.Z.  
 ORIGINAL ISSUE: 05/23/25

### DESCRIPTION

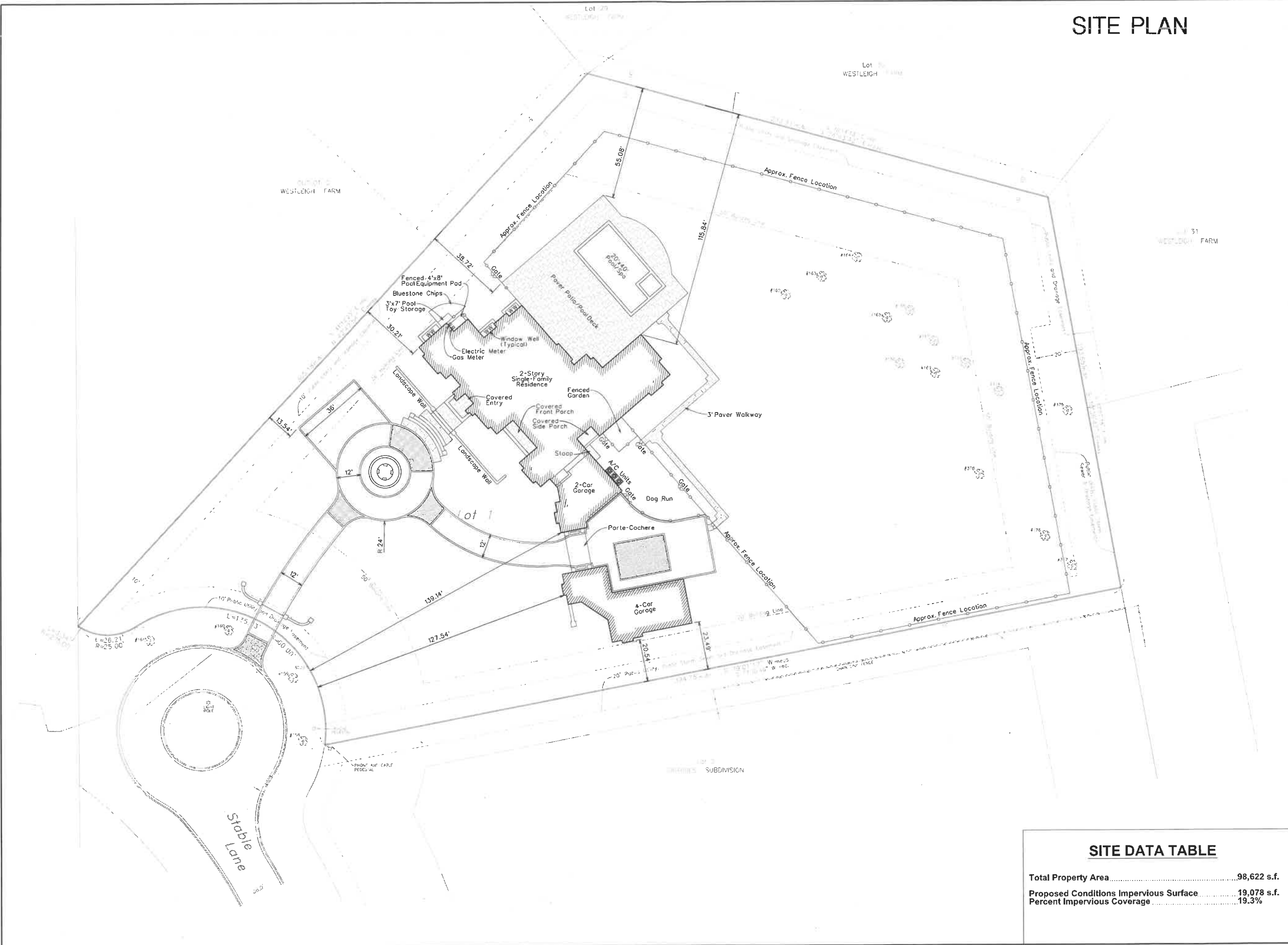
### DATE BY

### REVISIONS

## SITE PLAN

SHEET NUMBER  
**3**  
 OF 5 SHEETS  
 JOB No. 1543

SITE DATA TABLE	
Total Property Area	98,622 s.f.
Proposed Conditions Impervious Surface	19,078 s.f.
Percent Impervious Coverage	19.3%



A . P E R R Y H O M E S  
C R A N E R E S I D E N C E

*315 Stable Lane, Lake Forest IL 60045*

CONCEPTUAL RENDERING



SOUTHWEST PERSPECTIVE

Conceptual Front Perspective Rendering



NORTHEAST PERSPECTIVE

Conceptual Rear Perspective Rendering

# PROPOSED ELEVATIONS

- ELEVATION NOTES:**
- STONE VENEER w/ 8" MITRED CUT LIMESTONE SILLS
  - CUT LIMESTONE SURROUNDS AND SILLS AS SHOWN (ONLY AT MASONRY VENEER)
  - CUT LIMESTONE CHIMNEY CAP
  - STUCCO, 4-COAT SYSTEM
  - STAINED CEDAR TRIM AS SHOWN
  - STAINED 1x CEDAR PLYWOOD PANEL SIDING
  - STAINED CEDAR BRACKETS
  - DIVING SLATE ROOFING AS SHOWN
  - STANDING SEAM METAL ROOFING AS SHOWN
  - ALUMINUM ROOF FLASHING
  - ALUMINUM GUTTERS & DOWNSPOUTS
  - TYPICAL OVERHANG CONDITION: 1x6 STAINED CEDAR FASCIA BOARD w/ 2x8 STAINED CEDAR FRIEZE w/ CEDAR CROWN TRIM & CEDAR PLYWOOD ROOFIT
  - TYPICAL BASE CONDITION: 1x6 STAINED CEDAR TRIM OVER 2x8 STAINED CEDAR TRIM
  - WINDOWS ARE DENOTED BASIC UNIT SIZE. VERIFY w/ SELECTED MFG. TO ENSURE LEAKS WHERE REQ'D.
  - SEE ELECTRICAL PLAN FOR EXTERIOR LIGHT LOCATIONS



PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ FRONT DOOR = 679.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'

SEE GARAGE ELEVATIONS

**FRONT ELEVATION @ HOUSE** **SOUTHWEST ELEVATION**  
 315 STABLE LANE - 1/8"=1'-0"



PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ REAR = 680.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'

**REAR ELEVATION @ HOUSE** **SOUTHEAST ELEVATION**  
 315 STABLE LANE - 1/8"=1'-0"

DATE	DESCRIPTION
04/03/25	Iss. For Design Dev.
05/22/25	Building Review Board

Professional Design Firm # 194.008762-0001  
 ARCHITECTS SEAL

**AP**

**A. PERRY ARCHITECTS, ILLINOIS, PLLC.**  
 1220 WASHINGTON AVE.  
 WILMETTE, IL 60091  
 847.549.0668  
 WWW.APERRYTHOMES.COM

---

**CRANE RESIDENCE**  
 315 STABLE LN  
 LAKE FOREST, IL - 60045

---

PROJECT NO.: 24.353 / N  
 PROJECT TYPE: NEW CONSTRUCTION  
 PROJECT FILE: PR25523\_Crane\_BRB (old house location).pln  
 DATE: 05/02/25  
 © A. PERRY ARCHITECTS, ILLINOIS, PLLC.

---

**FRONT / RIGHT ELEVATIONS**

---

**A-5**

SHEET 5 of 7

# PROPOSED ELEVATIONS



REAR ELEVATION @ HOUSE  
315 STABLE LANE - 1/8"=1'-0" **NORTHEAST ELEVATION**

- ELEVATION NOTES:**
- STONE VENEER w/ 8" METRED CUT LIMESTONE BELLS
  - CUT LIMESTONE SURROUNDS AND BELLS AS SHOWN (ONLY AT MASONRY VENEER)
  - CUT LIMESTONE CHIMNEY CAP
  - STUCCO, 4-COAT SYSTEM
  - STAINED CEDAR TRIM AS SHOWN
  - STAINED 1x CEDAR PLYWOOD PANEL SIDING
  - STAINED CEDAR BRACKETS
  - DWYING SLATE ROOFING AS SHOWN
  - STANDING SEAM METAL ROOFING AS SHOWN
  - ALUMINUM ROOF FLASHING
  - ALUMINUM GUTTERS & DOWNSPOUTS
  - TYPICAL OVERHANG CONDITION: 1x6 STAINED CEDAR FASCIA BOARD w/ 2x8 STAINED CEDAR TRIM w/ CEDAR CROWN TRIM & CEDAR PLYWOOD SOFFIT
  - TYPICAL RAKE CONDITION: 1x2 STAINED CEDAR TRIM OVER 2x8 STAINED CEDAR TRIM
  - WINDOWS ARE DENOTED BASIC UNIT SIZE. VERIFY w/ SELECTED MFG. TO ENSURE FIT/ISSUE WHERE REQ'D.
  - SEE ELECTRICAL PLAN FOR EXTERIOR LIGHT LOCATIONS

39'-0" (BUILDING HEIGHT PER LAKE FOREST ZONING CODE) (MEASURED FROM LOWEST ADJACENT EXIST. GRADE TO PEAK OF RIDGE)

19'-0" (LAKE FOREST 2ND FLOOR CALC. LINE)

28'-0" (LAKE FOREST 3RD FLOOR CALC. LINE)

4'-20"± 1/4" (3) ATTIC

11'-3 3/4" (2) SECOND FLOOR

0" (1) FIRST FLOOR

PROPOSED T/FF @ 1ST FLOOR = 681.00'

PROPOSED GRADE @ REAR = 680.5'

LOWEST EXISTING ADJACENT GRADE = 674.37'



LEFT ELEVATION @ HOUSE  
315 STABLE LANE - 1/8"=1'-0" **NORTHWEST ELEVATION**

39'-0" (BUILDING HEIGHT PER LAKE FOREST ZONING CODE) (MEASURED FROM LOWEST ADJACENT EXIST. GRADE TO PEAK OF RIDGE)

28'-0" (LAKE FOREST 3RD FLOOR CALC. LINE)

19'-0" (LAKE FOREST 2ND FLOOR CALC. LINE)

4'-20"± 1/4" (3) ATTIC

11'-3 3/4" (2) SECOND FLOOR

0" (1) FIRST FLOOR

PROPOSED T/FF @ 1ST FLOOR = 681.00'

PROPOSED GRADE @ REAR = 680.5'

LOWEST EXISTING ADJACENT GRADE = 674.37'

DATE	DESCRIPTION
04/22/25	Iss. For Design Div.
05/22/25	Building Review Board

Professional Design Firm #  
184.008762-0001

ARCHITECTS SEAL

**AP**

**A. PERRY ARCHITECTS, ILLINOIS, PLLC.**  
1220 WASHINGTON AVE.  
WILMETTE, IL 60091  
847.549.0668  
WWW.APERRYHOMES.COM

---

**CRANE RESIDENCE**  
315 STABLE LN  
LAKE FOREST, IL - 60045

---

PROJECT NO.: 24.353.N  
PROJECT TYPE: NEW CONSTRUCTION  
PROJECT FILE: #228523\_Crane\_BRB (old house location).pdf  
DATE: 05/02/25  
BY: A. PERRY ARCHITECTS, ILLINOIS, PLLC.

---

**REAR / LEFT ELEVATIONS**

---

**A-6**

SHEET 6 of 7

# GARAGE ELEVATIONS - PROPOSED

- ELEVATION NOTES:**
- STONE VENEER: #1 METRED CUT LIMESTONE SILLS
  - CUT LIMESTONE SURROUNDS AND SILLS AS SHOWN (ONLY AT MASONRY VENEER)
  - CUT LIMESTONE CHIMNEY CAP
  - STUCCO, 4-COAT SYSTEM
  - STAINED CEDAR TRIM AS SHOWN
  - STAINED 1/4 CEDAR FLYWOOD PANEL SIDING
  - STAINED CEDAR BRACKETS
  - D'AVINCI SLATE ROOFING AS SHOWN
  - STANDING SEAM METAL ROOFING AS SHOWN
  - ALUMINUM ROOF FLASHING
  - ALUMINUM GUTTERS & DOWNSPOUTS
  - TYPICAL OVERHANG CONDITION: 1x6 STAINED CEDAR FASCIA BOARD W/ 2x8 STAINED CEDAR FRIeze W/ CEDAR CROWN TRIM & CEDAR PLYWOOD SOFFIT
  - TYPICAL RAFTER CONDITION: 1x2 STAINED CEDAR TRIM OVER 2x8 STAINED CEDAR TRIM
  - WINDOWS ARE DENOTED BASIC UNIT SIZE. VERIFY W/ SELECTED MFG. TO ENSURE EGRESS WHERE REQ'D.
  - SEE ELECTRICAL PLAN FOR EXTERIOR LIGHT LOCATIONS

**A. PERRY ARCHITECTS, ILLINOIS, PLLC.**  
 1220 WASHINGTON AVE.  
 WILMETTE, IL 60091  
 847.549.0668  
 WWW.APERRYHOMES.COM

**CRANE RESIDENCE**  
 315 STABLE LN  
 LAKE FOREST, IL - 60045

PROJECT NO.: 24.353.N  
 PROJECT TYPE: NEW CONSTRUCTION  
 FILE: 523\_Crane\_BRR (old house location).pin  
 DATE: 05/02/25  
 © A. PERRY ARCHITECTS, ILLINOIS, PLLC.

DATE	DESCRIPTION
04/03/25	Iss. For Design Dev.
05/23/25	no. Building Review Board

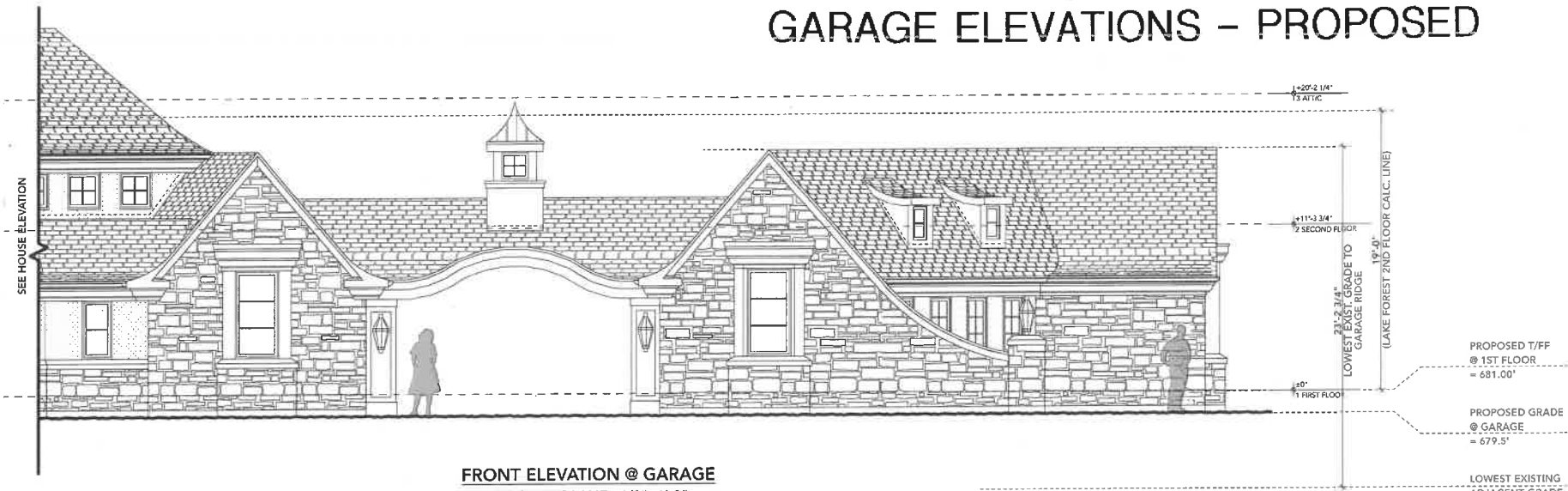
Professional Design Firm #  
 184.008762-0001

ARCHITECT'S SEAL

## GARAGE ELEVATIONS

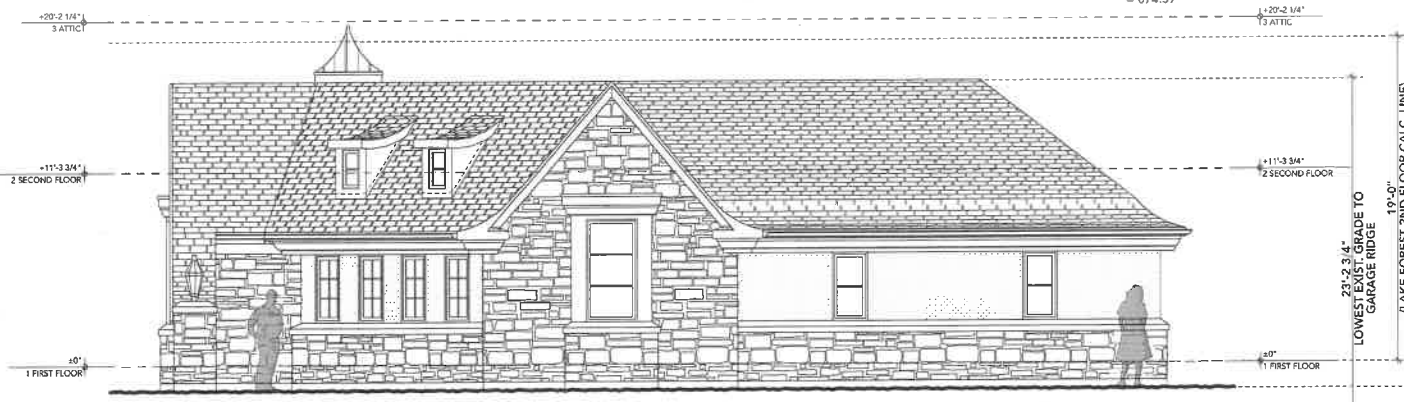
A-7

SHEET 7 OF 7



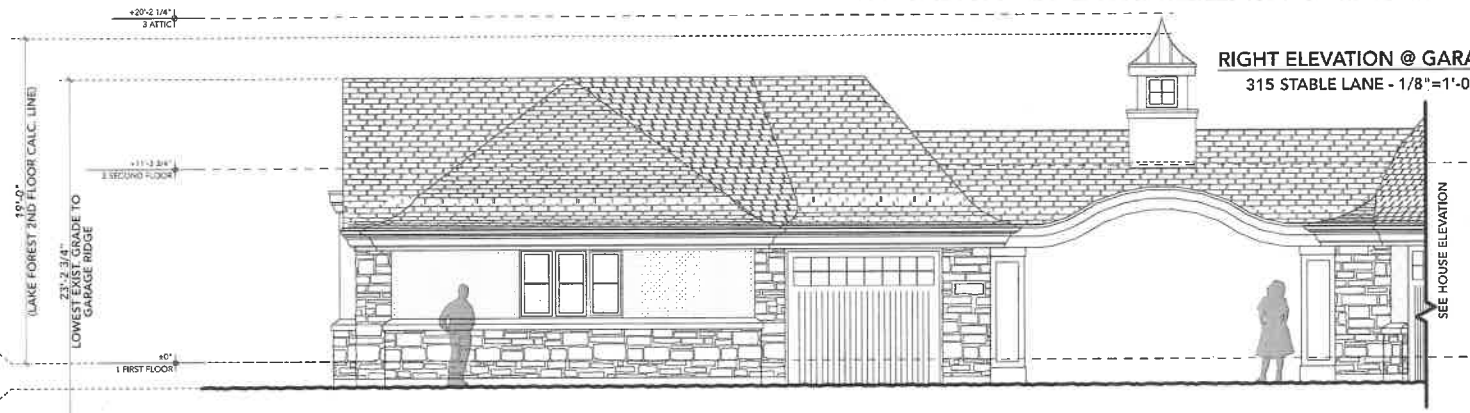
**FRONT ELEVATION @ GARAGE**  
 315 STABLE LANE - 1/8"=1'-0"

PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ GARAGE = 679.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'



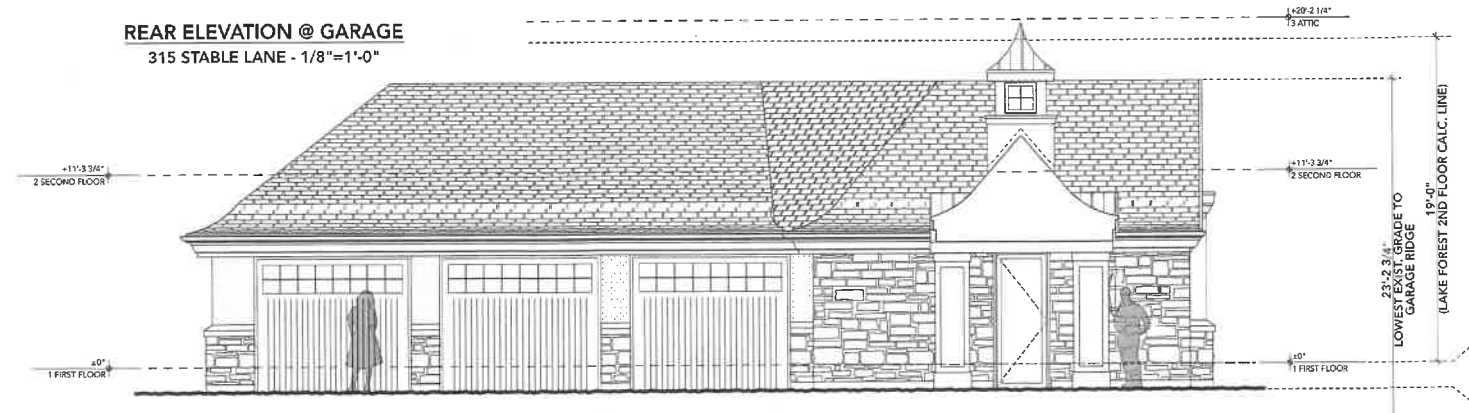
**RIGHT ELEVATION @ GARAGE**  
 315 STABLE LANE - 1/8"=1'-0"

PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ GARAGE = 679.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'



**REAR ELEVATION @ GARAGE**  
 315 STABLE LANE - 1/8"=1'-0"

PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ GARAGE = 679.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'



**LEFT ELEVATION @ GARAGE**  
 315 STABLE LANE - 1/8"=1'-0"

PROPOSED T/FF @ 1ST FLOOR = 681.00'  
 PROPOSED GRADE @ GARAGE = 679.5'  
 LOWEST EXISTING ADJACENT GRADE = 674.37'

# LANDSCAPE PLAN



525 Enterprise Pkwy, Lake Zurich, IL 60047  
Ph.847.465.1160

**PROJECT:**  
**Crane Residence**  
 315 Stable Lane  
 Lake Forest, Illinois

**SHEET TITLE:**  
**Site Plan**

**ISSUE DATE:**  
 April 30th, 2025  
**REVISIONS:**  
 May 5th, 2025

**SCALE:**  
 1/16"=1'-0"

