

Agenda Item 3
772 Oak Knoll
Demolition and replacement of a single-family residence and a landscape plan

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Structural Engineering Report
Plat of survey – Existing Conditions
Site Plan - Proposed
Elevations
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 Proposed
Renderings – Proposed
Roof Plan
Building Section
Floor Plans
Landscape Plan
Grading and Tree Removal Plan
Tree Inventory

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

772 Oak Knoll Drive

Consideration of a request for a recommendation in support of the demolition of a residence, a replacement single-family residence, and hardscape and landscape plans.

**Property Owners: Douglas and Karen Close
Architect: Edward Deegan**

Staff Contact: Luis R. Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of demolition of the existing residence and attached garage, a replacement residence and attached garage and the associated landscape and hardscape plans.

Description of Property

The property is located on the west side of Oak Knoll on an 89,250 square foot lot. It falls within the Westlands Unit 3 Subdivision, platted in 1956. The existing home was built in 1957 and has undergone several additions and alterations over time.

Proposed Demolition

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home was built in 1957 and does not have any particular significance in relation to its surroundings.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is somewhat met. According to the structural report, the foundation of the home shows signs of past repairs and current distress including previous epoxy injections, cracks in the foundation walls, and evidence of foundation walls shifting. Additional investigation and repair of the foundation is likely be necessary before undertaking significant alterations or additions to the home however, no major signs of structural issues are reported and continued use of the existing structure as a residence is possible.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or

structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is not met. The owners currently reside in the home.

Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. There is no evidence to suggest that the proposed demolition will adversely impact the value of other properties in the neighborhood. Investment in this property and redevelopment with a new home will likely support property values in the neighborhood. In recent years, several properties in this area have been redeveloped with new homes.

Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The existing house, a one-story ranch style home, will be replaced with a house of a similar style. Homes of this style as well as larger homes can be found throughout the Oak Knoll Drive streetscape and neighborhood.

Review by the Building Review Board is required to assure that all applicable standards and the City's Design Guidelines are satisfied.

Staff finds that the criteria for demolition are generally satisfied.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

The proposed home is wider than the existing home extending to the required zoning setbacks to the north and south which results in the edge of the driveway extending to the north property line allowing no space for landscaping or drainage.

The north and south wings of the house project slightly closer to the street than the existing house. Overall, the proposed house is sited similarly to the existing house.

The house faces east, towards Oak Knoll Drive and the attached garage faces north toward the side of the neighboring home. There is a fence located to the north of the driveway, slightly north of the property line which is owned by the neighboring property. The driveway is proposed to extend beyond the garage presumably to accommodate parked vehicles immediately adjacent to the property line.

The driveway in front of the garage, as proposed, is not as deep as the existing garage apron due to the increased width of the house. The limited area for maneuvering into and out of the garage could be problematic and with the edge of the driveway as proposed on the north property line, there will be no space to make an adjustment at a later date.

A new curb cut and nine foot wide asphalt driveway are proposed just north of the existing curb cut and extend across the front yard to the garage. Care should be taken to protect trees located to the north of the new driveway location which are identified for preservation. A bluestone walk from the driveway to the front entrance and a bluestone pool patio in the rear are proposed.

Recommendation: Consider adjusting the siting of the home or slightly reducing the width to provide some limited space between the driveway and the north property line.

- If adjustments are not made, a curb should be required along the north edge of the driveway to avoid water run off on to the neighboring property.
- The owner of the subject property should be responsible for maintaining a fence on the property line, to screen views of vehicles on an ongoing basis.
- An auto turn study will be required to demonstrate that vehicles of the sizes commonly owned by families are able to maneuver into and out of the garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 8,940 square feet is permitted on the site with an allowance of 800 square feet for a garage and 894 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 5,387 square feet.
- The proposed garage totals 1,164 square feet. With a maximum garage exemption of 800 square feet, 364 square feet must be added to the square footage of the residence.

- In addition to the above square footage, a total of 802 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 5,751 square feet. That is 3,189 square feet or nearly 36 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 21 feet and is below the allowable height of 40 feet for the property.

Elevations – This standard is met.

The petitioner proposes a simple one-story, ranch style home. The statement of intent states that the architecture is influenced by the Craftsman architectural style. The massing of the proposed home is similar to the existing home. The proposed house is symmetrical and well balanced. The scale is modest. The rhythm and organization of windows to walls throughout the elevations align, overall, with the City's Residential Design Guidelines.

Type, color, and texture of materials – This standard is mostly met.

The siding will be Boothbay Blue cement board shingles with a stone veneer water table along the base of all four elevations. The windows will be white double hung fiberglass windows with simulated divided lites with interior and exterior muntin bars affixed. Boral trim is proposed throughout. Boral, although not natural wood, is a high-quality product that both the Building Review Board and Historic Preservation Commission have approved for trim in the past. The chimney will be stone and the roofing will be asphalt shingles. Copper gutters and downspouts are proposed.

Material sample should be presented at the Board meeting and to the extent possible, the site should be staked to reflect the expanded foot print of the house, curb cut and driveway in advance of the meeting.

Recommendation: The veneer stone must be a minimum of 4" in thickness.

Landscaping – This standard is met.

The minimum landscape requirement for new homes appears to be met by the proposed conceptual landscape plan.

According to the tree removal plan, 117 tree inches are proposed for removal. Screening across from the proposed three car garage should be considered if sufficient space can be achieved for plantings. The final landscape plan will be subject to staff review and approval when plans are submitted for permit. At that time, final consideration will be given to the required replacement tree inches. Trees that may be impacted by grading changes, construction activity, and the shifting of the curb cut and driveway through the front yard.

Recommendation: Landscape screening shall be provided along portions of the north property line to provide screening for the neighboring house to the north of parked vehicles and from lights from vehicles maneuvering into and out of the garage.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

Recommendation

Recommend approval of demolition of the existing residence and detached garage, and approval of a replacement residence and attached garage and the associated hardscape and landscape plans.

1. Prior to Submitting Plans for Permit
 - a. Consider adjusting the siting of the home or slightly reducing the width to provide some limited space between the driveway and the north property line for planting and drainage.
 - If adjustments are not made, a curb should be required along the north edge of the driveway to avoid water run off on to the neighboring property.
 - The owner of the subject property should be responsible for maintaining a fence on the property line, to screen views of vehicles on an ongoing basis.
 - An auto turn study will be required to demonstrate that vehicles of the sizes commonly owned by families are able to maneuver into and out of the garage.
 - b. The veneer stone will be a minimum of 4” in thickness.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation and shall be based on the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the changes of long term survival of the trees intended for preservation which are located close to construction activity.

- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and incorporate all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan shall include plantings along the north property line if so directed by the Board to screen the driveway, lights from vehicles maneuvering into and out of the garage, and vehicles parked on the extended driveway. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- c. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.
- d. If the driveway is located close to the north property line, a curb shall be installed about the north edge of the driveway to contain water runoff and debris.

Exterior Lighting

- e. Details of all proposed exterior lighting, on the residence and on the property, shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low

light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

Area of Request
772 Oak Knoll Drive





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772 Oak Knoll Drive

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772 Oak Knoll Drive





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 772 Oak Knoll Dr, Lake Forest, IL 60045

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

ARCHITECT/BUILDER INFORMATION

Douglas & Karen Close
Owner of Property

Edward Deegan
Name and Title of Person Presenting Project

772 Oak Knoll Dr
Owner's Street Address (may be different from project address)

Edward Deegan Architects
Name of Firm

Lake Forest, IL 60045
City, State and Zip Code

560 Green Bay Rd
Street Address

847-814-6805
Phone Number

Winnetka, IL 60093
City, State and Zip Code

Fax Number

Phone Number

Fax Number

khclose@gryphonadvisors.net
Email Address

847-906-4110
Phone Number

eid@edwarddeeganarchitects.com
Email Address

KHce
Owner's Signature

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|------------------------------------------------|-----------------------------------------------------------------------|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>Cement board shingle</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material Boothbay Blue

Window Treatment

- | | |
|-------------------------------------------------|-------------------------------------------------------------|
| Primary Window Type | Finish and Color of Windows |
| <input checked="" type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> Other <u>Fiberglass</u> |

Color of Finish White

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other Boral

Window Trim

- Limestone
 Brick
 Wood
 Other Boral

Fascias, Soffits, Rakeboards

- Wood
 Other Boral

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other Concrete

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other Asphalt Shingles

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

May 2, 2025

Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL 60045

Dear Chairman and the Members of the Building Review Board,

Statement of Intent for 772 Oak Knoll Drive:

The goal of this project is to construct a new one-story home that thoughtfully and graciously caters to the needs of its inhabitants.

The Established Architectural Venacular and Character:

This project is a contemporary and simple ranch home with Craftsman influence that emphasizes connectedness to the outdoors. It has clean lines and minimal ornamentation. The home is symmetrical in both the front and back with a low-pitched roof. The lower portion of the home is clad with stone to visually ground the structure. Its wide eaves provide shade around the perimeter of the home. The rear of the home is U-shaped and encloses on three sides the built-in pool for private enjoyment. The home's garage is attached and has a side entry that is not visible from the street.

Very truly yours,



Edward J Deegan AIA NCARB



May 2, 2025


Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL. 60045

Statement of Demolition for 772 Oak Knoll Drive:

Existing Conditions:

- Repairs have taken place to the concrete foundation wall cracking at some time in the past. Repair cracks via epoxy injection were observed in the “full” basement foundation walls. These repairs have been primarily along the north foundation wall. Where the epoxy injection repairs were performed, no cracking was observed.
- An addition was made to the rear of the property. The construction drawings of that addition were available and provided from which a digital copy will be made. For this portion of the addition, a crawl space was constructed. Access to the crawl space showed cracking of the foundation had also occurred and been repaired at some point in the past by the homeowner. Epoxy injection was also performed. Headroom clearances in the crawl space limited our access to all areas. Refer to **Photo No. 2** for an overview of the rear crawl space, **Photo No. 3** for an un-repaired crack and **Photo No. 4** for previous epoxy injections performed in the crawl space.
- While not observable in the basement, the foundation walls along the north side and to some extent along the east and south side appear to be moving “inward” due to the “soil thrust against those walls. Refer to **Photo No. 5**. Along the north side of the residence, adjacent to the garage, we noted the brick being “dislodged” as the brick no longer was bearing on the wall.
- We observed the foundation slab settlement and cracking on the inside of the garage. Refer to **Photo No. 6**.
- Refer to Structural report dated March 5, 2024.

Very truly yours,



Edward J Deegan AIA NCARB





Photo No. 1 – Front of residence. Note proximity of trees to residence. The roots of trees close to a residence can cause foundation wall damage.



Photo No. 2 – Overview of crawl space at rear expansion of residence.





Photo No. 3 – Crack to be repaired at entry into crawl space at rear of property.



Photo No. 4 – Typical foundation crack repaired in the crawl space. No “re-cracking” observed.





Photo No. 5 – On exterior of residence along the north basement foundation wall, note shifting of foundation wall inward. Brick, which is to bear on the foundation wall, is almost off its support. To a lesser extent, loss of foundation wall bearing was observed along the south and east sides as well.



Photo No. 6 – Garage slab cracking and settlement.



EXISTING HOME

EDWARD
DEEGAN
ARCHITECTS & INTERIORS

560 Green Bay Road
Suite No. 301
Winnetka, IL 60093

T 847 906 4110
E ejd@edwarddeeganarchitects.com

May 2, 2025

Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL. 60045

Photos of Existing Home at 772 Oak Knoll Drive:



Existing Front Elevation





Existing Rear Elevation

NEIGHBORING HOMES

Photos for 772 Oak Knoll Drive
Page 3 of 2
May 2, 2025



Front Elevation of 790 Oak Knoll Drive (the house south of 772 Oak Knoll Drive)



Front Elevation of 756 Oak Knoll Drive (the house north of 772 Oak Knoll Drive)



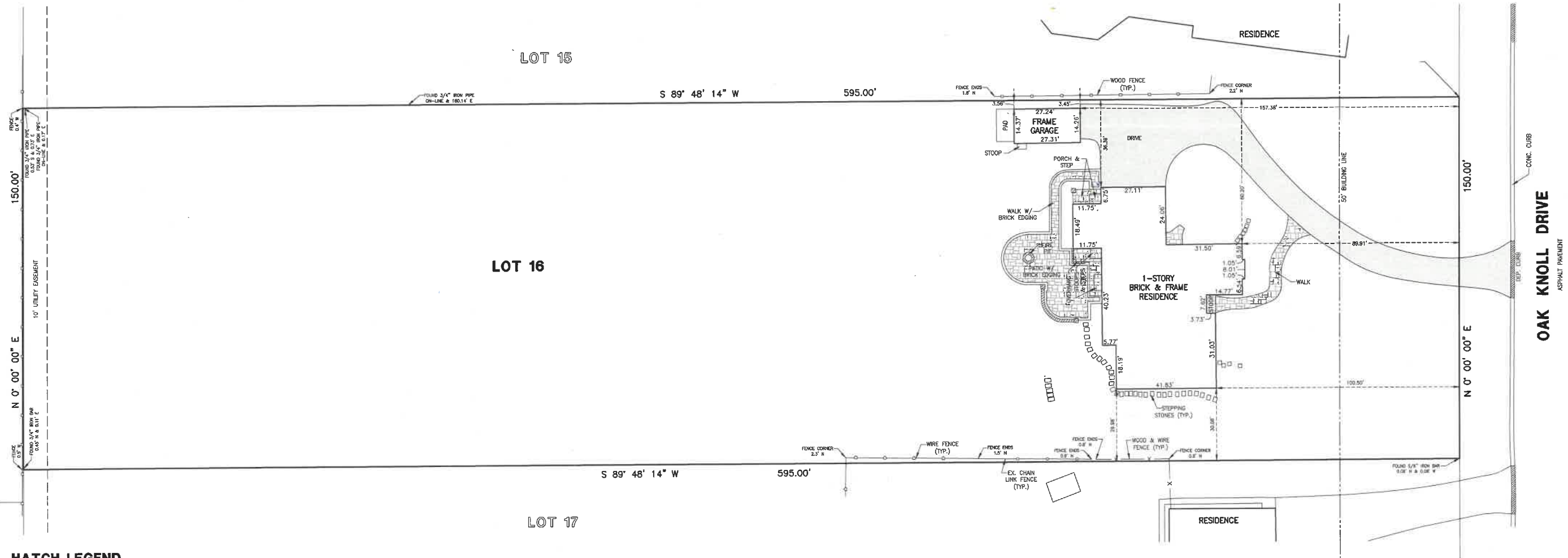
PLAT OF SURVEY

PLAT OF SURVEY - EXISTING CONDITIONS

LOT 16 IN UNIT NO. 3 OF PERCY WILSON'S LAKE FOREST WESTLANDS, BEING A RESUBDIVISION OF LOTS 1, 8, 9, 10 AND 11 OF UNIT NO. 2 OF PERCY WILSON'S LAKE FOREST WESTLANDS, IN SECTIONS 6 AND 7, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID UNIT NO. 3 OF PERCY WILSON'S LAKE FOREST WESTLANDS, RECORDED OCTOBER 25, 1956 AS DOCUMENT NO. 928347, IN BOOK 33 OF PLATS, PAGE 135, IN LAKE COUNTY, ILLINOIS.



LOCATION MAP
NOT TO SCALE



HATCH LEGEND

- ASPHALT DRIVE
- CONC.
- STONE
- STONE WALLS/COLUMNS

SURVEYORS' NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORD DIMENSION.
3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL CLIENT - EDWARD DIECKMANN ARCHITECTS
5. ORIGINAL FIELD WORK COMPLETED - 08-09-24

GENERAL NOTES:

1. DISTANCES ARE SHOWN IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE NEARBY POINT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT OF TITLE, LOCAL ORDINANCES, DEEDS, INSTRUMENTS, CONTRACTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE FIELD DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

AREA
89,250 Sq. Ft. OR 2.05 ACRES (MORE OR LESS)

STATE OF ILLINOIS } SS
COUNTY OF LAKE }

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 24TH DAY OF JUNE, A.D., 2024



GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

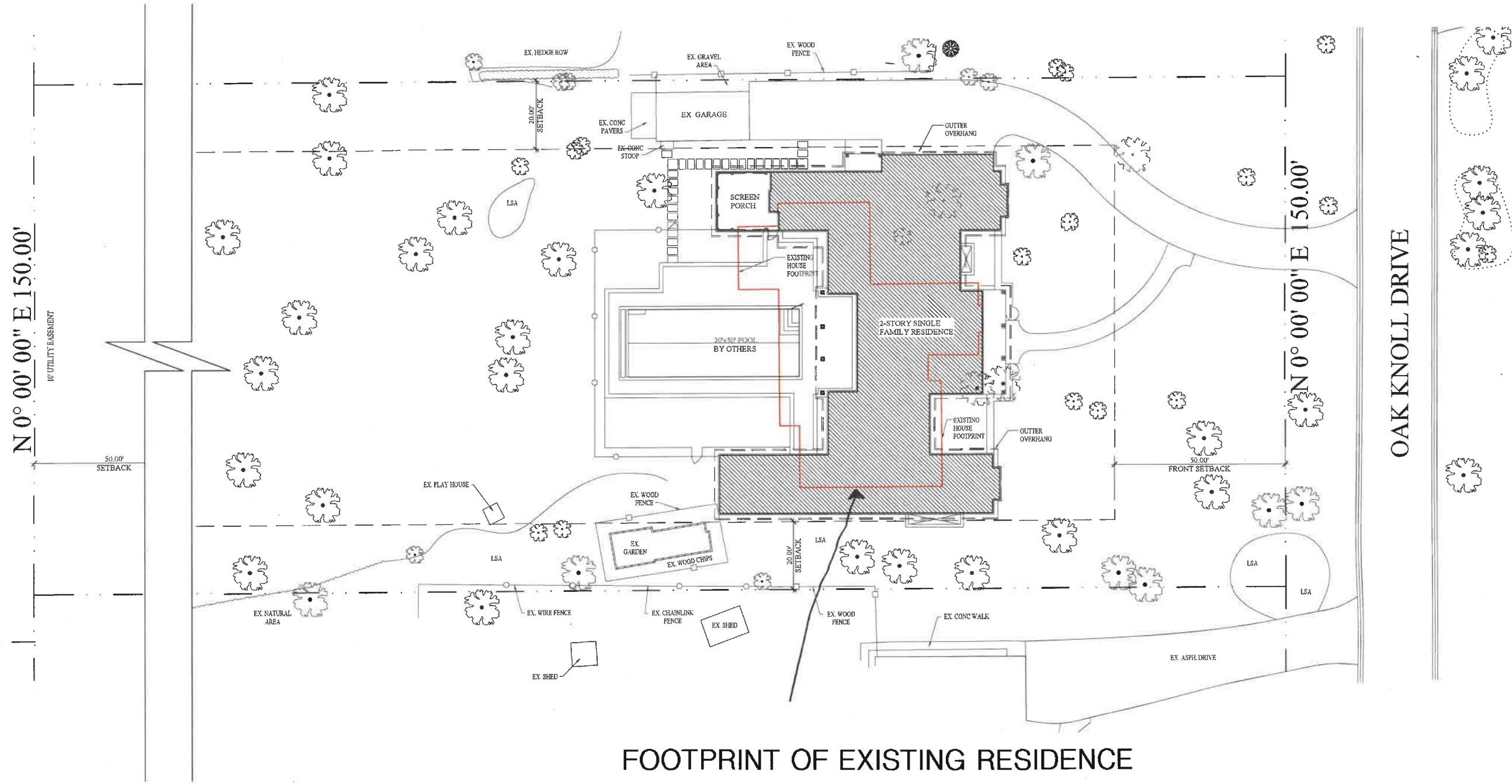
JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-24.

772 OAK KNOLL DRIVE - LAKE FOREST, ILLINOIS

PLAT OF SURVEY

DESIGNED BY: SLM	DATE: 06-24-24	<p>GREENGARD, INC. Engineers • Surveyors • Planners 111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615 PHONE: 847-534-3883 E-MAIL: 231@GREENGARDINC.COM FAX: 847-534-0887 ILL. REGISTRATION NO. 184-000993</p>	SCALE: 1"=20'	772 OAK KNOLL DRIVE - LAKE FOREST, ILLINOIS
CHECKED BY: JRS	DATE: 06-24-24		DRAWING NO: 70134	
APPROVED BY:	DATE:		SHEET 1 OF 1	
DRAWN BY:	DATE:		REVISIONS	

SITE PLAN
PROPOSED



FOOTPRINT OF EXISTING RESIDENCE

Site Plan
SCALE: 1/32"=1'-0"

05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #401
Winnetka, IL 60095
(847) 306-4110

Sheet No.
BRB
002

EAST ELEVATION - EXISTING

05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 906 - 4110

Sheet No.
BRB
200



Existing - East Elevation
SCALE: 1/8"=1'-0"

WEST ELEVATION - EXISTING



Existing - West Elevation
SCALE: 1/8"=1'-0"

05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 906-4110

Sheet No.
BRB
202

NORTH ELEVATION - EXISTING



Existing - North Elevation
SCALE: 1/8"=1'-0"

05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka, IL 60093
(847) 906 - 4110

Sheet No.
BRB
203

SOUTH ELEVATION - EXISTING



Existing - South Elevation

SCALE: 1/8"=1'-0"

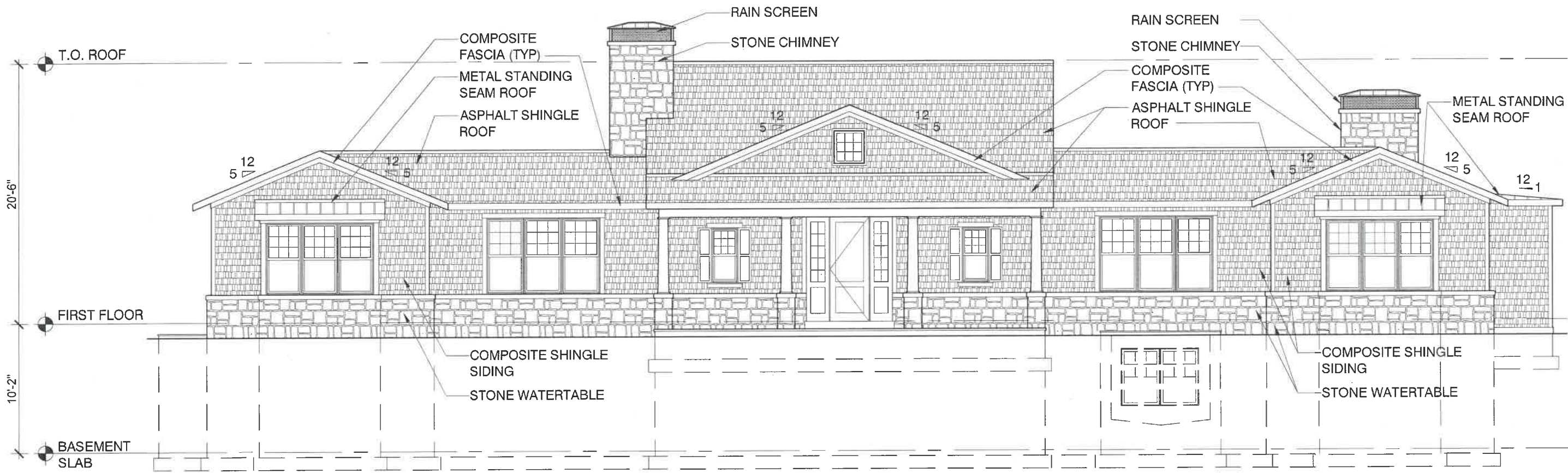
05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #501
Winnetka, IL 60093
(847) 906-4110

Sheet No.
BRB
201

EAST ELEVATION - PROPOSED



Proposed - East Elevation
SCALE: 1/8"=1'-0"

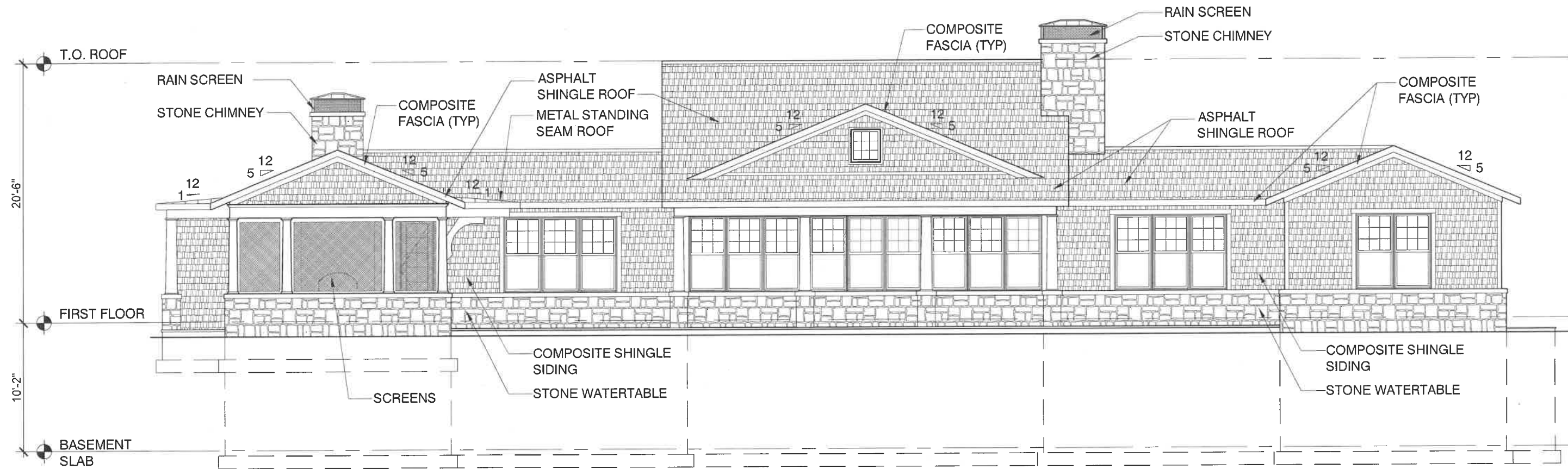
05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka IL 60093
(847) 566-4110

Sheet No.
BRB
204

WEST ELEVATION – PROPOSED



T.O. ROOF

20'-6"

FIRST FLOOR

10'-2"

BASEMENT SLAB

05.02.2025

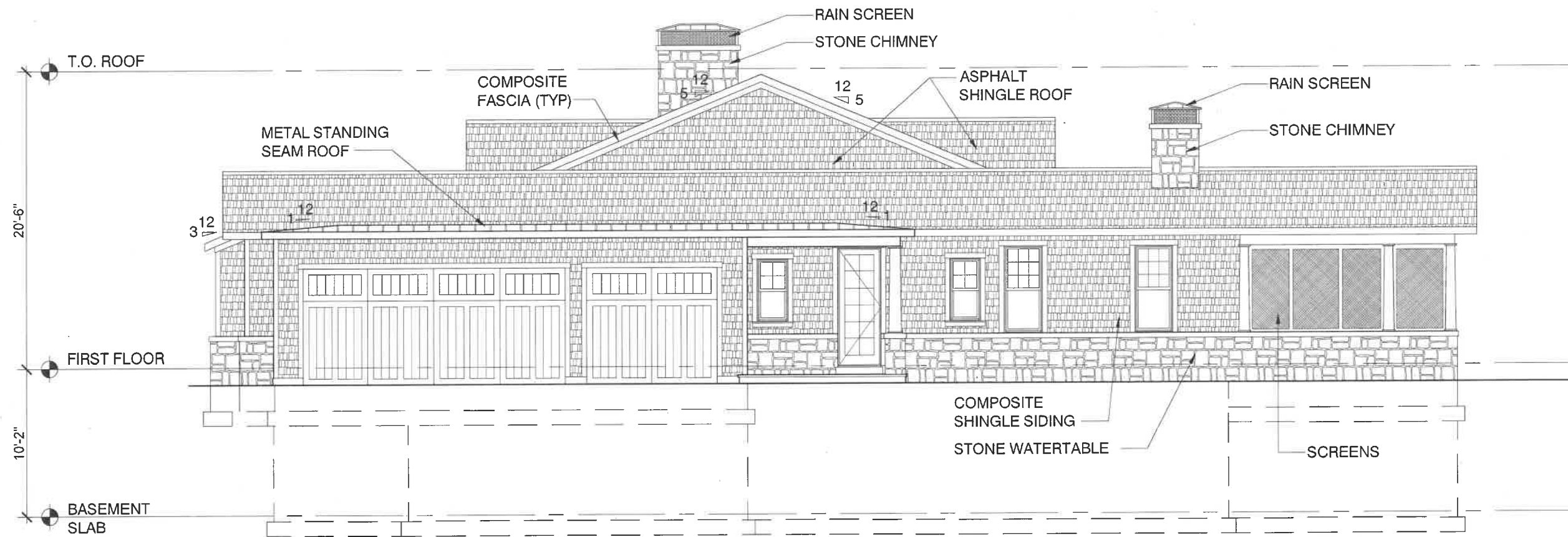
Close Residence
 11x17 BUILDING REVIEW BOARD
 772 Oak Knoll Dr
 Lake Forest, IL 60045

EDWARD DEEGAN
 ARCHITECTS & INTERIORS
 560 Green Bay Road #301
 Winnetka IL 60093
 (847) 906-4110

Proposed - West Elevation
 SCALE: 1/8"=1'-0"

Sheet No.
BRB
 206

NORTH ELEVATION – PROPOSED



Proposed - North Elevation

SCALE: 1/8"=1'-0"

05.02.2025

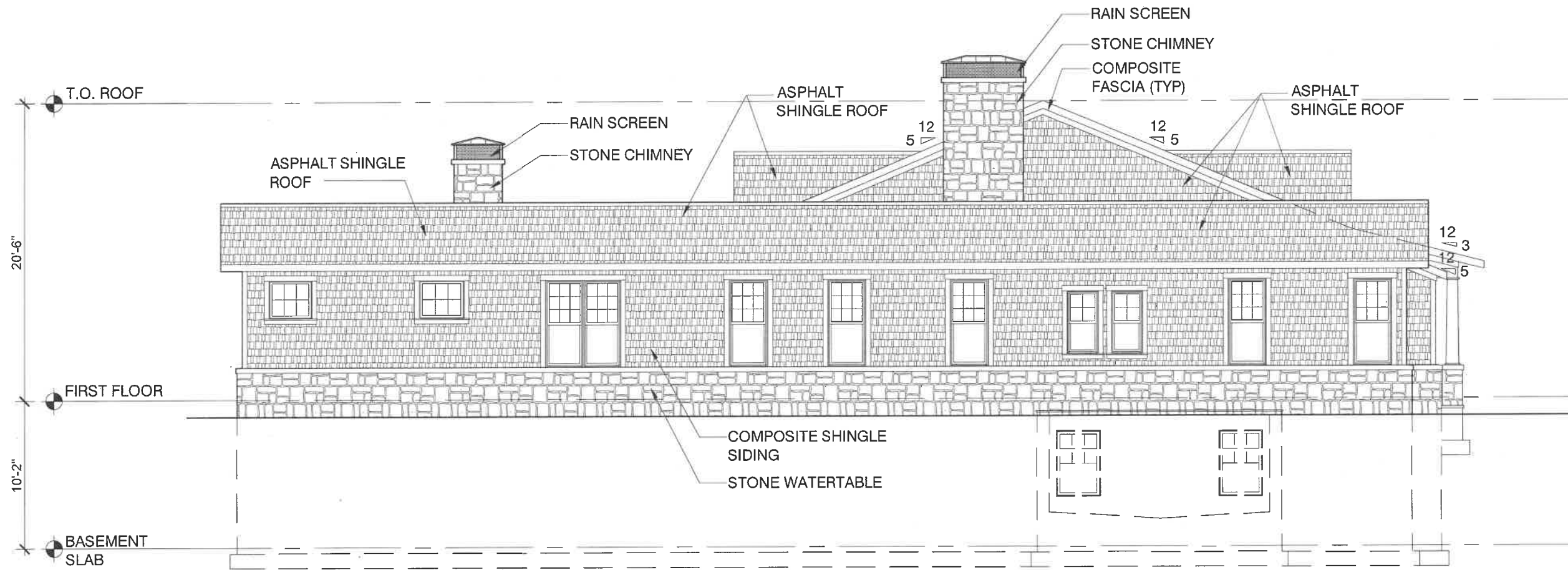
Close Residence
 11x17 BUILDING REVIEW BOARD
 772 Oak Knoll Dr
 Lake Forest, IL 60045

EDWARD DEEGAN
 ARCHITECTS & INTERIORS
 560 Green Bay Road #301
 Winnetka, IL 60093
 (847) 906 - 4110

Sheet No.
BRB
207

SOUTH ELEVATION - PROPOSED

05.02.2025



Proposed - South Elevation

SCALE: 1/8"=1'-0"

Close Residence
 11x17 BUILDING REVIEW BOARD
 772 Oak Knoll Dr
 Lake Forest, IL 60045

EDWARD DEEGAN
 ARCHITECTS & INTERIORS
 560 Green Bay Road #301
 Winnetka IL 60093
 (847) 906 - 4110

Sheet No.
BRB
205

RENDERING – PROPOSED EAST ELEVATION



Front Perspective
NOT TO SCALE

05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #301
Winnetka, IL 60093
(847) 906-4110

Sheet No.
BRB
212

RENDERING – PROPOSED WEST ELEVATION



Rear Perspective
NOT TO SCALE

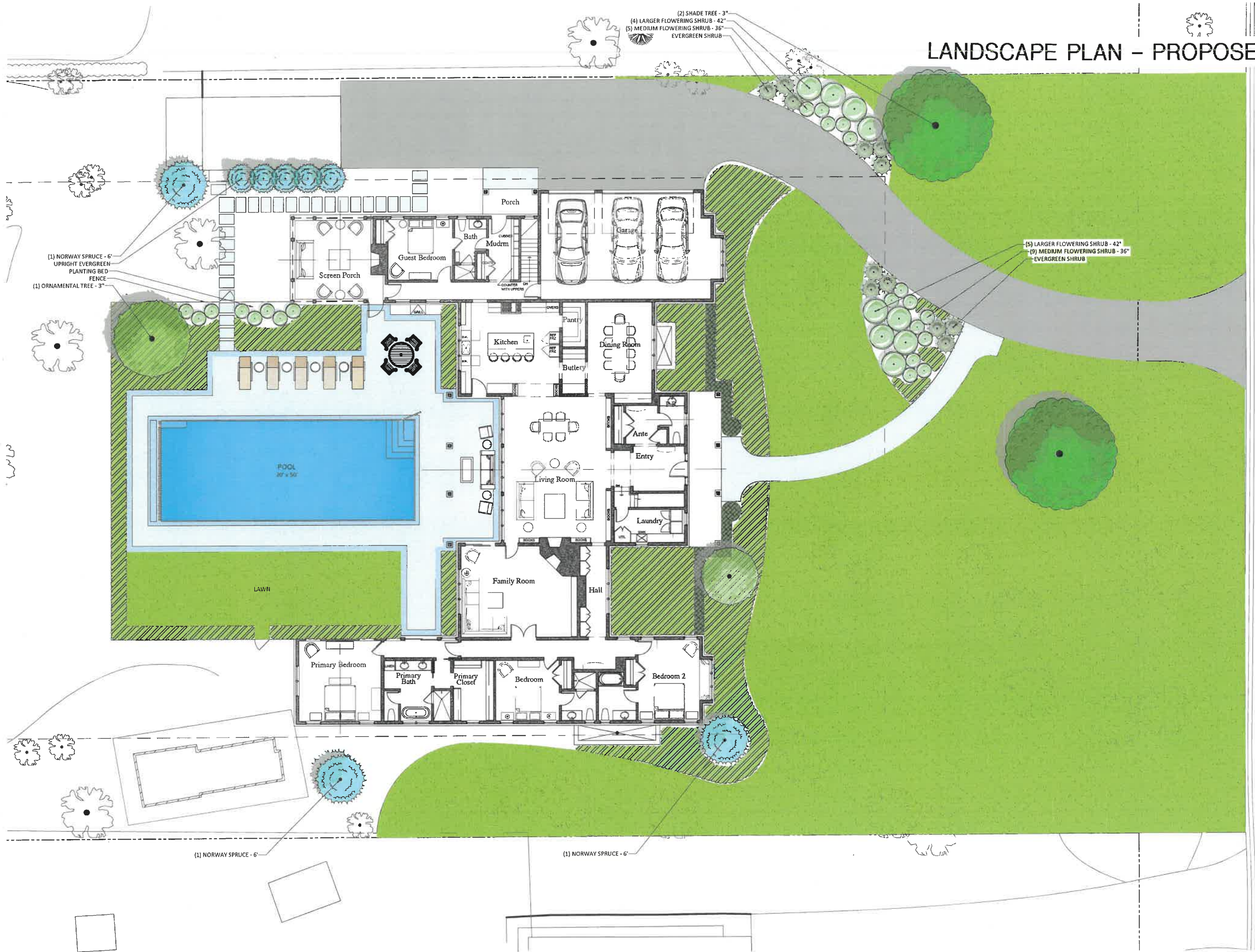
05.02.2025

Close Residence
11x17 BUILDING REVIEW BOARD
772 Oak Knoll Dr
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
560 Green Bay Road #101
Winnetka, IL 60093
(847) 906 - 4110

Sheet No.
BRB
213

LANDSCAPE PLAN - PROPOSED



OAK KNOLL DRIVE

RP
ROSBOROUGH
PARTNERS, INC.
 342 N. Ashland Ave. Suite 104
 #101-1013-1014
 www.rosboroughpartners.com

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GENERAL NOTES:

CONSULTANTS:

PROJECT:	DESIGNED BY:	JH	CONCEPT
CLOSE RESIDENCE	DRAWN BY:	JH, EP	ISSUE
772 OAK KNOLL	REVISIONS:		
LAKE FOREST, IL 60045	1	02/04/23	
	NO	DATE	

ISSUED FOR:
NOT FOR
CONSTRUCTION
 LANDSCAPE PLAN
L0.1

Agenda Item 4
1030 Oak Grove
First and second floor addition and alterations.

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
 Existing
 Proposed
Roof Plan
Building Sections – Existing and Proposed
Floor Plans

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1030 Oak Grove Lane

Additions and alterations to a single-family home.

Property Owner: Margaret Antonik
Presented by: Christopher Derrick, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a first and second floor additions and alterations to a single-family home. The expanded first floor space provides for expanded garage space with the addition of a single garage bay, a year round sunroom type space to support the pool, and expanded kitchen, laundry room, and powder room spaces.

Description of Property

This property is located on the north side of Oak Grove Lane, bordered by Waukegan Road to the east. The property is located in the Rolling Ridge subdivision which was recorded in 1960. The lot is rectangular in shape and screened by thick vegetation along the north and east property lines.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The rear addition will expand the home approximately 18 feet to the north and 14 feet to the east. The siting of the home will otherwise remain the same.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,548 square feet is permitted on the site with allowances of 800 square feet for a garage and 554 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 3,599 square feet.

- With the addition of the proposed garage, the total garage square footage is 835 square feet. With a maximum garage exemption of 800 square feet, 35 square feet must be added to the square footage of the residence.
- The proposed addition adds 1,337 square feet to the overall square footage of the home.
- In addition to the square footage above, a total of 248 square feet of design elements are incorporated into the design of the existing house.

In conclusion, the residence with the proposed additions totals 4,936 square feet, 611 square feet or 11% percent **under** the maximum allowable square footage for this property.

The height of the proposed addition is 28 feet. The allowable height for a property of this size is 40 feet.

Elevations – This standard is met.

The petitioner is proposing a first-floor addition on the north-east side of the home and a second story addition over the central mass. The proposed additions match the existing architectural style and are intended to improve the functionality of the home. The new hipped roof, second story windows, and single car garage appear proportional to, and do not overwhelm the front elevation. The relationship and organization of windows to wall area is mostly balanced across the elevations.

On the south elevation, further study could be given to the large arched stucco dormer proposed in the new bedroom. Although the arch appears to replicate the arch proposed on the existing and new garage doors, the radius differs from the curved elements, the windows and vent, on the rear elevation. In addition, the dormer appears oversized rising above the eave on the addition. Refining the design of the dormer could benefit the elevation.

No changes are proposed on the west elevation.

Staff Recommendation: Conduct further study of and refine the dormer on the rear elevation based on direction from the Board.

Type, color, and texture of materials – This standard is met.

Nearly all of the materials of the proposed additions and alterations will match the existing materials of the home. The arched dormer on the south elevation will have a metal roof.

Landscaping - This standard is met.

Only modest changes to the existing landscaping are proposed in the areas where the footprint of the house will be expanded. The petitioners state that no tree removals or impacts on trees is planned. A limited landscape plan reflecting

foundation plantings in the area of the expanded footprint will be required at the time of submittal for permit.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a first and second floor addition and alterations to a single-family home.

1. Prior to submitting plans for permit, conduct further study of the dormer on the rear elevation and make refinements, taking into consideration the comments of the Board.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Landscaping

- a. Prior to the issuance of a building permit, a detailed landscape plan for foundation plantings around the expanded footprint of the home shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards in the Code. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- b. A drainage and grading plan or a grading waiver application must be submitted at the time of application for permit and will be subject to review and approval by the City Engineer.

Exterior Lighting

- c. Details of exterior lighting shall be submitted with the plans submitted for permit. Both existing and proposed exterior lighting must be reflected on the plan. Cut sheets for all light fixtures shall be provided and all fixtures,

except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.



Area of Request
1030 Oak Grove Lane



Area of Request
1030 Oak Grove Lane



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1030 Oak Grove Lane Lake Forest IL

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Jenna Paulson
Owner of Property

1030 Oak Grove Lane
Owner's Street Address (may be different from project address)

Lake Forest IL 60045
City, State and Zip Code

847-271-41864
Phone Number

Fax Number

jenna@askthecfexpert.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Shawn Purcell
Name and Title of Person Presenting Project

STP Architecture
Name of Firm

20 Hawley Ct.
Street Address

Granville IL, 60030
City, State and Zip Code

847-989-2772
Phone Number

Fax Number

STParchitecture@gmail.com
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 9:00pm.

Please email a copy of the staff report OWNER REPRESENTATIVE

Please fax a copy of the staff report OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|----------------------------------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick <i>(to match existing)</i> | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material white

Window Treatment

- | | |
|-------------------------------------------------|-------------------------------------------------------------------------|
| Primary Window Type | Finish and Color of Windows |
| <input checked="" type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement | <input type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input checked="" type="checkbox"/> Vinyl Clad <i>to match existing</i> |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish white *to match existing*

Window Muntins

- Not Provided
- True Divided Lites
- Simulated Divided Lites*
- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass *to match existing*

Trim Material

- | | |
|-------------------------------------------|-------------------------------------------|
| Door Trim | Window Trim |
| <input type="checkbox"/> Limestone | <input type="checkbox"/> Limestone |
| <input checked="" type="checkbox"/> Brick | <input checked="" type="checkbox"/> Brick |
| <input type="checkbox"/> Wood | <input type="checkbox"/> Wood |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Fascias, Soffits, Rakeboards**
- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other concrete

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles match existing
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material No new driveway proposed, existing concrete driveway remains unaltered

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios No new terraces or patios proposed

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Statement of Intent to the Lake Forest Review Committee

June 4th, 2025

Thank you for this opportunity to share the details for the proposed project at 1030 Oak Grove Lane in Lake Forest. This project is proposed by myself, the owner, Jenna Paulson. I have been a Lake Forest resident for more than 10 years with a long history of working in the community and even attended Lake Forest College. I love Lake Forest, and it is truly one of the most beautiful communities I've ever seen—in part because of the many beautiful and highly cared for residences throughout--I feel very fortunate to call it home and our family intends to stay the course, making 1030 Oak Grove Lane a property to hold for a lifetime.

This proposed project has been many months in development as we have invested a great deal of time in researching and bringing to life the very exciting and classily designed updates for our property. We have lived at 1030 Oak Grove Lane for 8 years and made significant financial investments into seeing this property and the house that is built originally established on it more than 50 years ago developed to its fullest potential maximizing the beauty of the property and architectural value it adds to Lake Forest. We anticipate these changes will most certainly increase the value of the property and also the enjoyment and practicality for our family.

We have beautified the **1.2 acres of property** with a classic pool and in the past expanded the first floor master to add a sunroom which overlooks the pool areas. The house is nestled off of Waukegan Rd facing South toward another residential property, the side of our property faces a high fence and tree line maintained by the City of Lake Forest. We have excellent report with our neighbors and they are regularly commenting on the wonderful improvements that have been made since we purchased the property.

Architect of Choice: The proposed plans were developed by STP Architecture, a boutique firm that serves the Northshore and is owned by Shawn Purnell. Mr. Purnell regularly works with Lake Forest families to design their properties and proposed additions and has developed this design with careful attention to Lake Forest City requirements, design goals and building codes. Mr. Purnell has been responsible for other projects on Oak Grove Lane which have resulted in truly incredible property enhancements and transformations of dated homes that are now equipped for the modern families that reside in them. Mr. Purnell works diligently to bring the home owner's dreams to life while ensuring that the property maintains its inherent charm, character and design approach.

Proposed changes include:

1. The increase in square footage on the first floor will provide space for an additional single car garage which we envision will be stunning architectural focal point with wooden doors and a classic cupola which we are hopeful will be handmade by an award-winning cupola architect. The garage doors for the new garage will be stately and made of wood. The existing garage door will be replaced to match this, attending to every detail that impacts the design integrity and elevates the final look.
2. The back-facing design of the garage is the entrance to a new indoor space that we believe will be used by guests that are enjoying the pool. This space is designed much like a sunroom but will be built for year-round use and equipped with amenities like a bathroom.

3. Our project **maintains the existing architectural integrity and beauty of the home** and we intend to match existing materials, including the white brick siding, existing roof color, existing white windows and wooden doors. Our goal was to complement and expand the vision of the existing architecture while achieving the practical aspirations of the proposed design.
4. The proposed first floor space plan was designed to **achieve a stunning two-story foyer with a slightly curved staircase which will be classic in design**. The first-floor space plan also achieves the **expansion of the kitchen into a grand space with luxury features** like a **coffee bar** and **butler's pantry** as well as an **adjoining eating area** which will be full of light brought in by white French doors and faces the poolscape based on the current design. *It is important to note that while we are increasing the size of the kitchen, the kitchen remains in the same place as the original architecture/design of the home, which we believe is an important aspect to maintaining the integrity and cohesiveness of the property.*
5. The first-floor space plan also **expands the laundry room and the powder room** (in a similar vicinity to where they already exist) and **relocates the existing garage entrance to this area so that all areas of the home's interior feels polished and well thought out**.
6. **High end materials, finishings and fixtures**—like marble flooring in the kitchen and custom cabinetry by Habersham in all new first floor areas will be used. Lake Forest-based interior designer, Elisabeth Scott Design Group will be consulted on an ongoing basis as we make key decisions related to interior material selection.
7. The second story is a partial addition which adds space for our growing family and provides additional sleeping and an open loft recreation area alongside an additional full bath. We are eager to build the second story as **it will add to the grandness of the property from the street view**, while adding much needed living space. The design of this partial addition is classic in approach to enhance the current existing look and add curb appeal to the property.
8. The current rear view of our property is truly beautiful as the home is elevated above the pool and wooded treeline that runs the full length of the back. This addition is designed to increase the beauty and practical use of the back of the property with the same level of consideration and high design and material quality that we have dedicated to the front, adding windows and French doors as appropriate for the new spaces, resulting in a home where the 'best is yet to come,' from the street through to the thoughtfully developed backyard.

Key Facts:

1. Acreage—large amount of land, approximately 1.3 acres
2. Current Square Footage: 3564. Proposed addition area per bulk weight calculations is 1137. Most of the square footage is added to the back of the footprint of the house and the partial addition area for the second story.
3. Our proposed changes **DO NOT** impact any existing trees, nor are they in the vicinity of any existing trees.
4. **We do not request ANY variances** for either space/location/zoning/bulk weight for this property as we have intended to develop the design and scope within compliance of the City of Lake Forest.
5. Current Baths: 2.5 Proposed Baths: 2 Total Baths after Renovation: 4.5
6. Current Bedrooms: 4 Bedrooms Proposed Bedrooms: 2 Total Bedrooms after the Renovation is 6
7. Current Garage: 2 Car Garage, Proposal ADDS a 1 Car Garage.

We welcome any questions. Thank you for your time and consideration of this proposed project and are eager to take the next steps to bringing this dream to life should it be approved.

Photos of Existing Property, Neighboring Homes & Street View—1030 Oak Grove Lane



Front of home to be modified at the center where the proposed partial second story addition is. All other aspects of the front and roofline from the front remain unchanged.



Neighbor directly in front of 1030 Oak Grove Lane, faces our property. 1.5 story home, ½ story added as an addition at an earlier point in the home’s history. Additional street view below shows the distance between properties.



WEST SIDE OF HOME—NO ADDITION PROPOSED TO THIS SIDE INFORMATIONAL PHOTO ONLY



View of neighbor to the West of the property, they have a 1.5 story home that was altered as an addition at an earlier point in time. No addition proposed to this side of the property.



EAST SIDE FACING WAUKEGAN



This is the East Side of the home where the proposed addition will take place. There is no view to Waukegan Road. The proposed addition does not disturb the new driveway or the front landscaping which was installed by our family. The Proposed East Side Elevation is a strong enhancement to the property, you will see the existing garage is dated aluminum and we are proposing an upgrade to wood. Side entrance which is wood with stained glass remains in place and the purpose of the entrance is unchanged based on the addition.



Concept Studies

- We have developed several iterations of the proposed design prior to submitting the design that we believe is most complementary to the existing property. In reviewing the statement of intent provided, please note that it was our goal to maintain the existing layout for key areas of the home including front entry, garage placement, kitchen, laundry and powder room area, etc. Therefore, because we maintained the placement of all key areas of the home, there was no alternate plan that would be beneficial to the design intent or functionality of the existing property.
- We have matched existing materials and, in the case of the existing garage, proposed an upgrade to materials from composite siding to brick to match the new proposed garage and the rest of the home. An expense that we feel elevates the property and maintains the original look and feel. We have also upgraded the doors to custom wood doors.
- We have matched the existing white windows and opted for wooden doors as it is clear that natural materials are important and preferred by the City of Lake Forest.
- We have created a classic design in keeping with other homes in the area.

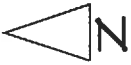
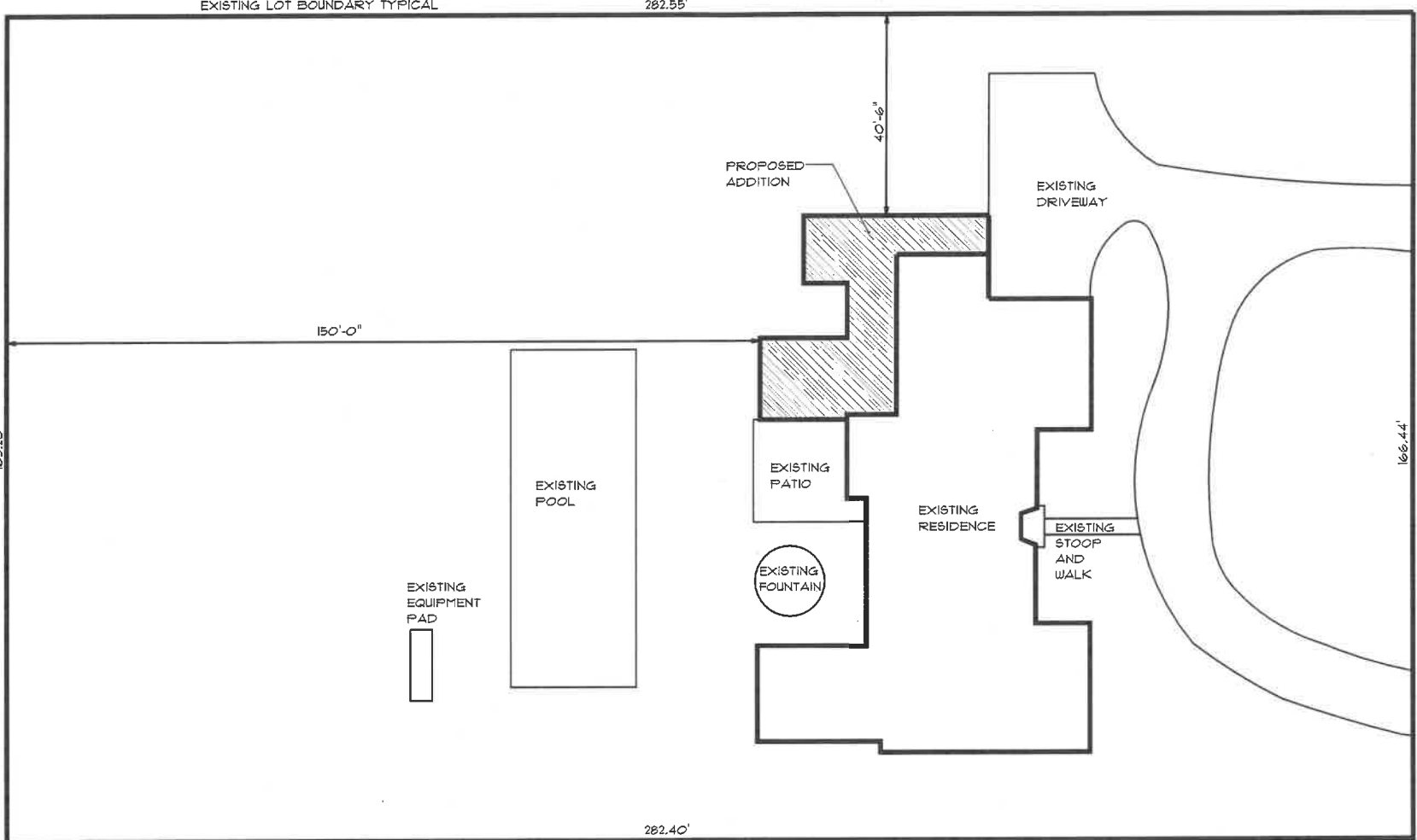
Supporting Document

Below please find additional property details and notes on key adjacencies and the abundance of privacy.

1. It is important and relevant to note that 1030 Oak Grove Lane is a very secluded property with a large 1.3 acre yard. The property is fenced on 3 sides. The East side of the house faces Waukegan Road and is in no way visible from the street as there is a 9ft fence and high tree line that runs the entire length of the property.
2. The backyard is wooded and there is NO VIEW to the neighbors immediately behind the home.
3. The neighboring home that is directly in front of our property, facing North, with a full view of the front of our home is a similar ranch style home that has gone through several phases of additions on its own, including the addition of a partial story, much like we are requesting. This neighboring property has a brick and cedar façade and is light brown/yellow in color.
4. The neighboring residence that faces the West side of our property is an older home that has also gone through several phases of additions. It is a two story home with a one-story ranch addition. This neighboring property has a cedar façade and is white in color.
5. Our neighborhood has large yards, each over an acre, as such no other neighbors have visibility of the home.

SITE PLAN

5-15-2025



SITE DIAGRAM

SCALE 1/32" = 1'-0"

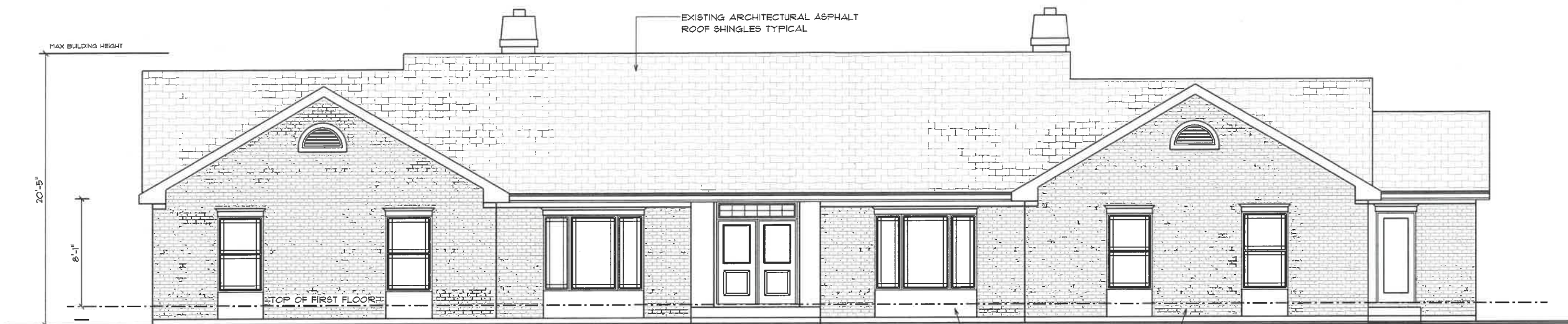
- EXISTING RESIDENCE - 4,102
- ADDITION - 944 SF
- DRIVEWAY - 3,623 SF
- POOL AND EQUIPMENT - 1,124 SF
- STOOP AND WALK - 200 SF
- TOTAL LOT COVERAGE - 10,593 SF
- LOT AREA - 46,846 SF
- IMPERVIOUS SURFACE COVERAGE - 22%

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYS LAKE IL 60030
shawnpurnell.com 847-989-2112



SOUTH ELEVATION - EXISTING



EXISTING FRONT ELEVATION
SCALE 1/8" = 1'-0"

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shawna@shawnpurnell.com 847-989-2112

SOUTH ELEVATION - PROPOSED

5-15-2025



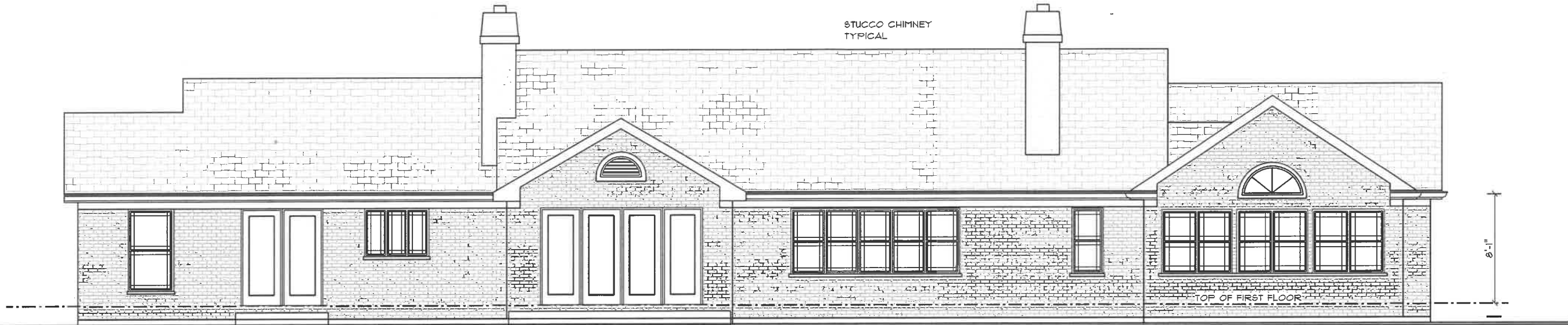
ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PROPOSED FRONT ELEVATION
SCALE 1/8" = 1'-0"

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shaww@shawnpurnell.com 847-989-2772



NORTH ELEVATION - EXISTING



EXISTING REAR ELEVATION
SCALE 1/8" = 1'-0"

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shawne@shawnpurnell.com 847-989-2772

NORTH ELEVATION - PROPOSED



PROPOSED REAR ELEVATION
SCALE 1/8" = 1'-0"

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shauneshawpurnell.com 847-989-2112

EAST AND WEST ELEVATIONS - EXISTING

5-15-2025



EAST ELEVATION

EXISTING RIGHT ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION

EXISTING LEFT ELEVATION
SCALE 1/8" = 1'-0"

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

PURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shawn@shawnpurnell.com 847-989-2112



EAST ELEVATION - PROPOSED

5-15-2025



PROPOSED RIGHT ELEVATION
SCALE 1/8" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE 1/8" = 1'-0"

WEST ELEVATION - PROPOSED

ADDITION FOR
EXISTING RESIDENCE
1030 OAK GROVE LANE LAKE FOREST IL

FURNELL ARCHITECTS, INC.
20 HAWLEY COURT
GRAYSLAKE IL 60030
shaw@shawnpurnell.com 847-989-2772



Agenda Item 5
663 Circle Lane
Partial demolition and significant alterations

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey
Demolition Plans
Elevations
 Existing Elevations
 Proposed Elevations
 Elevation Overlays
Building Section and Sight Line Study
Roof Plan
Floor Plans - Proposed

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

663 Circle Lane

Partial demolition and significant alterations of a single-family residence. A building scale variance is also requested.

Property Owner: Margaret Antonik
Presented by: Christopher Derrick, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of partial demolition including removal of the roof and three porticos and reconfiguration of some of the windows. Significant alterations are proposed to the single-family residence. A building scale variance is also requested to accommodate the proposed roof form.

Description of Property

This property is located at the south end of Circe Lane, southeast of the cul-de-sac. It is bordered by Lake Michigan to the east and McCormick Ravine, the John and Jean Greene Nature Preserve, to the south. The property is located in the Villa Turnicum, Unit 2 Subdivision which was recorded in 1968. The house was originally constructed in 1983 and has undergone additions and alterations over time.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

There are no proposed changes to the footprint of the home with the exception of the removal of three porticos.

Building Massing and Height – A variance is requested.

Based on the lot size, a residence of up to 9,766 square feet is permitted on the site with allowances of 800 square feet for a garage and 977 square feet for design elements. The allowable square footage takes into account the reduction due to the non-table land on the bluff.

Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 10,710 square feet.
- The existing garage is 1,094 square feet.
- In addition to the square footage above, a total of 343 square feet of design elements are incorporated into the design of the house.
- The existing home is 944 square feet or 8% **over** the maximum allowable square footage.
- The proposed alterations will reduce second floor and the design element square footage but add square footage to the third floor. This is due to raising the roof of the home with no changes to the footprint.
- The proposed changes, the change in the roof form, add a total 893 square feet to the overall square footage of the home.

In conclusion, the residence with the proposed alterations totals 11,603 square feet, 1,837 square feet or 19% percent **over** the maximum allowable square footage for this property.

The height of the proposed addition is 31 feet and 8. The allowable height is 40 feet.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met*. The Code does not require that all five standards be met. These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The selected French Provincial architectural style and proposed design is in keeping with the City of Lake Forest's design standards. The alterations to reflect the selected style drive the petitioner's desire to raise the height of the roof, causing the square footage overage.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. Existing trees and vegetation along the street frontage and along the north and west property lines mitigate the visual impacts of the of the residence on the streetscape and adjacent neighbors. In addition, the location of the home at the

end of the cul-de-sac minimizes visibility from the neighborhood. The residence does have visibility from the adjacent preserved open land.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. The siting of the home is not changing. The home will be taller as a result of the proposed alterations however, greater impacts on light and views from neighboring homes are not anticipated. In addition, the home is setback and screened in a way which will limit its impact on the streetscape.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is met. The property is adjacent to Lake Michigan to the east and to the John and Jean Greene Nature Preserve to the south.

In summary, the criteria for a building scale variance is satisfied.

Elevations – This standard is met.

The petitioner intends to make significant changes to the exterior of the home, transforming the home's architectural style from Georgian to French Provincial. This includes the removal of three two-story porticos, raising and reconfiguring the roof, altering the windows and doors throughout, and changing the exterior materials, amongst other minor changes.

Overall, the new design aligns with the City's Residential Design Guidelines. The west and south elevations are well balanced in their arrangement and organization of windows to walls. The north and east elevations however, could benefit from further study.

On the north elevation, along the first-floor walls of the garage and bedroom seven, and along the second-floor wall of bedroom six, further consideration should be given to the addition of windows to better balance the relationship of windows to solid walls.

On the east elevation, the windows take advantage of the view of the rear yard and Lake Michigan. However, there is a significant imbalance between solids and voids due to the expanse of windows. Further study and some adjustments should be considered. The shed roofs above the balconies appear out of character with the selected architectural style of the home. Further study and refinement could benefit this rear-facing elevation.

Staff Recommendation: Study and refine the relationship of windows to solid walls on the north elevation.

Staff Recommendation: Study and refine the east elevation for consistency in style including consideration of window placement and the shed dormers for a better balance of windows to solid walls.

Type, color, and texture of materials – This standard is met.

The siding will be a veneer limestone cladding. It should be a minimum of 4" in thickness. The windows will be cream colored aluminum clad casement windows with simulated divided lites with interior and exterior muntin bars affixed. Limestone and wood trim are proposed throughout. The chimney will have a limestone cladding to match the siding. The roofing will be Brava synthetic slate shingles. Aluminum gutters and downspouts are proposed.

Recommendation: The veneer stone shall be a minimum of 4" in thickness.

Landscaping - This standard is met.

No changes to the existing landscaping are proposed. No trees are proposed for removal.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of partial demolition, significant alterations, and a building scale variance for a single-family residence.

1. Prior to the submittal of plans for permit:
 - a. Conduct further study and refinement of the north and east elevations.
 - i. Study and refine the relationship of windows to solid walls on the north elevation.

- ii. Study and refine the east elevation, the windows and dormers in particular, to achieve more consistency with the selected style and a better balance of openings to solid walls.
 - b. The limestone cladding shall be a minimum of 4" in thickness.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Protection

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

Exterior Lighting

- b. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- c. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The cul-de-sac must remain unobstructed and free from debris.



Area of Request
663 Circle Lane



Area of Request
663 Circle Lane



Area of Request
663 Circle Lane



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 663 Circle Lane

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Margaret Antonik

Owner of Property

2560 Telegraph Road

Owner's Street Address (may be different from project address)

Bannockburn Il 60047

City, State and Zip Code

773-415-2400

Phone Number

n/a

Fax Number

MAntonik33@Gmail.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Christopher Derrick, AIA

Name and Title of Person Presenting Project

Derrick Architecture, Inc.

Name of Firm

506 S. Gables Boulevard

Street Address

Wheaton, Il 60187

City, State and Zip Code

847-606-6460

Phone Number

n/a

Fax Number

CED@DerrickArchitecture.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER

REPRESENTATIVE

Please fax a copy of the staff report

OWNER

REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER

REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|-----------------------------------------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> Stone - Limestone Cladding | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material _____

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish Cream

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone *-Limestone Cladding*
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other *Concrete- existing*

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles *Synthetic Slate (Brava)*
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers *(Existing)*
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone *(Existing)*
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



D E R R I C K
A R C H I T E C T U R E

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f: 630/517.8578

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www.derrickarchitecture.com

April 18, 2025

Community Development Department
The City of Lake Forest
800 Field Drive
Lake Forest IL 60045
Attn: Luis Prado

RE: 663 Circle Lane
Statement of Intent

Dear Mr. Prado,

Regarding our project located at 663 Circle Lane, the scope of our project entails an alteration to an existing home. The alterations proposed include the removal of the existing roof structure, including three 2-story porticoes, changing windows to a more consistent sizing and spacing, and transforming the building identity from a Brick Georgian with non-sympathetic additions to a more consistent French Provincial style.

Regarding the Standards for Architectural and Site Design Review, please note the following:

Standard 1: Site plan. The nature of this alteration is to an existing residence. We will not be modifying the building footprint or site and therefore will not impact the building setbacks. There are no neighbors to the South, as the property abuts the McCormick Nature Preserve. There is a neighbor to the West and a neighbor to the North, approximately 215 feet and 52 feet away, respectively. The property extends to Lake Michigan in the East. The existing residence exceeds all the building setbacks, sitting 100.8 feet away from the front property line instead of the required 40 feet in the R3 district. There is also a gated entry and dense landscape screening at the front of the property. This home is situated at the end of a cul-de-sac and has minimal visual impact on the neighborhood.

Standard 2: Elevations: The proposed alteration to this residence would modify the relatively low-pitched roof with front-facing gable ends to a hipped mansard roof. The nature of a mansard roof and the height required for the addition of dormers to the front elevation raises the height of the roof

by approximately four feet (4'-0"). The maximum height in the R-3 district is 40 feet as measured from the main level floor. The newly proposed roof structure is still compliant with the height restriction, with a maximum ridge height of 31'-8".

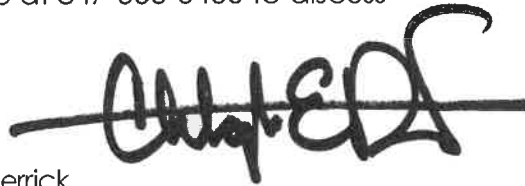
Standard 3: Landscaping: There are no modifications to the existing landscaping in combination with this roof alteration.

Standard 4: Type, Color and Texture of Materials: The main modification to the materials will be a limestone cladding applied to the building with limestone detailing at windows and doors. The roof will have Brava Synthetic Slate installed to emulate the look of a true slate while adding minimal loads to the structure.

Standard 5: Overall Site Layout: This is not applicable as the building is existing and we are maintaining the existing structure with no additions to the building footprint.

Should you have any further questions or require additional information, please call me at 847-606-6460 to discuss

Respectfully,

A handwritten signature in black ink, appearing to read "Chris E. Derrick". The signature is stylized with a long horizontal line extending to the left and a large, looping flourish at the end.

Christopher E Derrick,
President
Derrick Architecture
CD

cc: Margaret Antonik, Owner
cc: Piotr Antonik, Owner



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April 18, 2025

Community Development Department
The City of Lake Forest
800 Field Drive
Lake Forest Il 60045
Attn: Luis Prado

RE: 663 Circle Lane
Existing Structure Photos

Photo 1: Front of Residence (House faces west)



Photo 2: View of the South Façade (Note, there is a steep drop off along the property common to the McCormick Nature Preserve which limits where a photo can be taken)



Photo 3: Rear of the house (Facing Lake Michigan)



Photo 4: View of the Portico with low roof at bedroom wing.



Photo 5: Looking out bedroom window at portico beam.



Photo 6: View of rear of garage.



Photo 7: View of Garages



Aerial of Lot and adjacent properties



Aerial of lot via Google Earth:



Should you have any further questions or require additional information, please call me at 847-606-6460 to discuss

Respectfully,

A handwritten signature in black ink, which appears to read "Christopher E. Derrick". The signature is stylized and written over a horizontal line.

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cc: Margaret Antonik, Owner
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April 18, 2025

Community Development Department
The City of Lake Forest
800 Field Drive
Lake Forest IL 60045
Attn: Luis Prado

RE: 663 Circle Lane
Statement Addressing the Demolition Criteria

Dear Mr. Prado,

Regarding our project located at 663 Circle Lane, the scope of the demolition involves the removal of the current roof structure and the replacement of the windows. Please take note of the following details related to the Demolition Criteria.

Criterion 1: 663 Circle Lane is an expansive mansion, constructed in 1983 and situated on a 2.48-acre lakefront property within the prestigious McCormick/Rockefeller Villa Sul Lago Estate. While the residence does not possess notable architectural significance, it has historical ties, having been part of the Villa Turicum estate, which was owned by the McCormick family from Chicago. The identity of the architect remains unknown. Since 1990, the house has changed hands several times, and in 2016, the then-current owners made the property available for rental.

The home features a Georgian architectural style, though it has experienced various non-sympathetic modifications since its original construction. A prominent entrance is framed by a two-story portico, which is centrally located in the main structure, flanked by symmetrical wings that culminate in front-facing gables. The arrangement of windows at the front of the house is orderly, creating a visually pleasing rhythm. However, as one moves around the house in a clockwise direction, the window arrangement becomes irregular, disrupting the initial harmony. Furthermore, variations in window sizes—affecting height, width, and head height—lead to inconsistent repetition.

At the rear of the house, two inadequately positioned two-story porticoes can be found, one with a gable end and the other with a hip roof. The first of these is located on the bedroom wing, where its low positioning results in an

awkward view from the windows beneath the portico, as occupants are faced with the supporting beam and the underside of the structure. In the great room, another two-story portico features a hipped roof but is angled in a manner that introduces an unusual 'splayed' geometry.

As part of our proposal, we aim to remove these porticoes to establish a more cohesive façade for the building. Adjustments to window sizes and a few locations will be made to restore a proper rhythm and repetition throughout the house. Additionally, we plan to introduce a mansard roof to achieve a French Provincial aesthetic, which will serve as a unifying design element for the overarching improvements to the building's façade.

Criterion 2: We would like to clarify that our intention is not to demolish the existing home. Rather, we aim to enhance its architectural design by introducing consistency in design elements such as opening sizes, detailing and window placement, ultimately giving the home a distinct identity while addressing the current discrepancies in the Georgian façade. Our primary objective is to preserve the existing structure and minimize any alterations to the building's framework.

It's important to note that we do not plan to expand the home's footprint or increase its usable square footage. However, the removal of the three porticoes will lead to a reduction in the roof's square footage. Additionally, our proposal includes the adoption of a mansard roof. This decision is driven by the second floor's ceiling height, which currently stands at 7'-10". We aim to raise this height to 10'-0" to ensure the overall quality and aesthetic appeal of the home is maintained, which is more compatible with a home of this caliber.

Criterion 3: The current structure is deemed appropriate for further development. We intend to retain the existing framework while modifying the roof design to achieve higher ceilings and enhance the overall appearance.

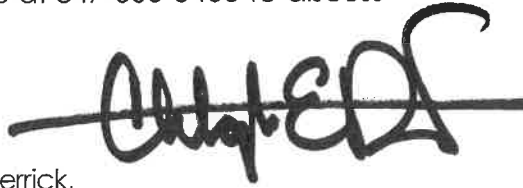
Criterion 4: The roof revision will not adversely impact the property's value within the neighborhood. If anything, the improved look will enhance the property's value and the neighborhood's atmosphere.

Criterion 5: The updated appearance of this house will align with the attractive homes nearby. The enhancements on this property will blend well with the other well-maintained homes on this street.

● Page 3

Should you have any further questions or require additional information, please call me at 847-606-6460 to discuss

Respectfully,

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Christopher E Derrick,
President
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CD

cc: Margaret Antonik, Owner

cc: Piotr Antonik, Owner



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May 29, 2025

Community Development Department
The City of Lake Forest
800 Field Drive
Lake Forest Il 60045
Attn: Luis Prado

RE: 663 Circle Lane
Building Scale Variance

Regarding the project located at 663 Circle Lane and our request to remove the existing roof in favor of a new roof structure, please note the following regarding the Standards for Approval of a Building Scale Variance.

Standard 1: The project is consistent with the design standards in Section 147 of the City of Lake Forest Code

Response: This project is consistent with the design standards as outlined in Section 147 of this code

Standard 2: Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

Response: The existing mature trees and Arbor Vitae hedge mitigate the appearance of excessive height and mass of this existing structure. This property is at the end of a Cul-de-Sac with a neighbor to the North, Lake Michigan to the East and the Jean and John Greene Nature Preserve to the South.

View of property from Cul-de-sac:



506 South Gables Boulevard, Wheaton Illinois 60187

Standard 3: Landscaping. Landscaping plans should be consistent with the natural environment of the site and surrounding properties. Existing natural features should be appropriately preserved and integrated into the project

Response: There are no modifications to the existing landscaping for this project

Standard 4: Type, Color and Texture of Materials. Exterior materials should be of the highest quality, appropriate for the intended use and consistent with the chosen architectural style. Imitation and synthetic substitutions should be avoided and the design, material, and color scheme should be compatible with and enhance the character of the property and the surrounding neighborhood.

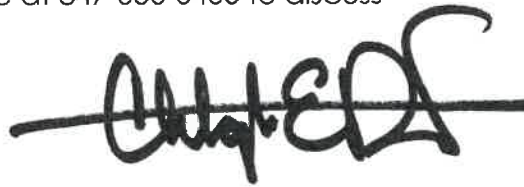
Response: Our material selection complies with the level of quality requested and is consistent with the Architectural style being utilized. We will be adding a limestone cladding over the existing structure with stone trim details. The roof shingles will be Brava composite slate tiles.

Standard 5: Overall Site Layout. The building layout should maximize the distance between buildings on the site and adjacent properties. The size, scale and nature of a building or project should be consistent with the existing streetscape and character of the neighborhood.

Response: The nature of this project is such that there will be no expansion to the existing footprint of the home. We will be reducing the overall footprint with the elimination of three non-sympathetic porticoes in favor of a more cohesive design. The new roof structure will be approximately 8'4" below the 40'-0" maximum allowable ridge height.

Should you have any further questions or require additional information, please call me at 847-606-6460 to discuss

Respectfully,

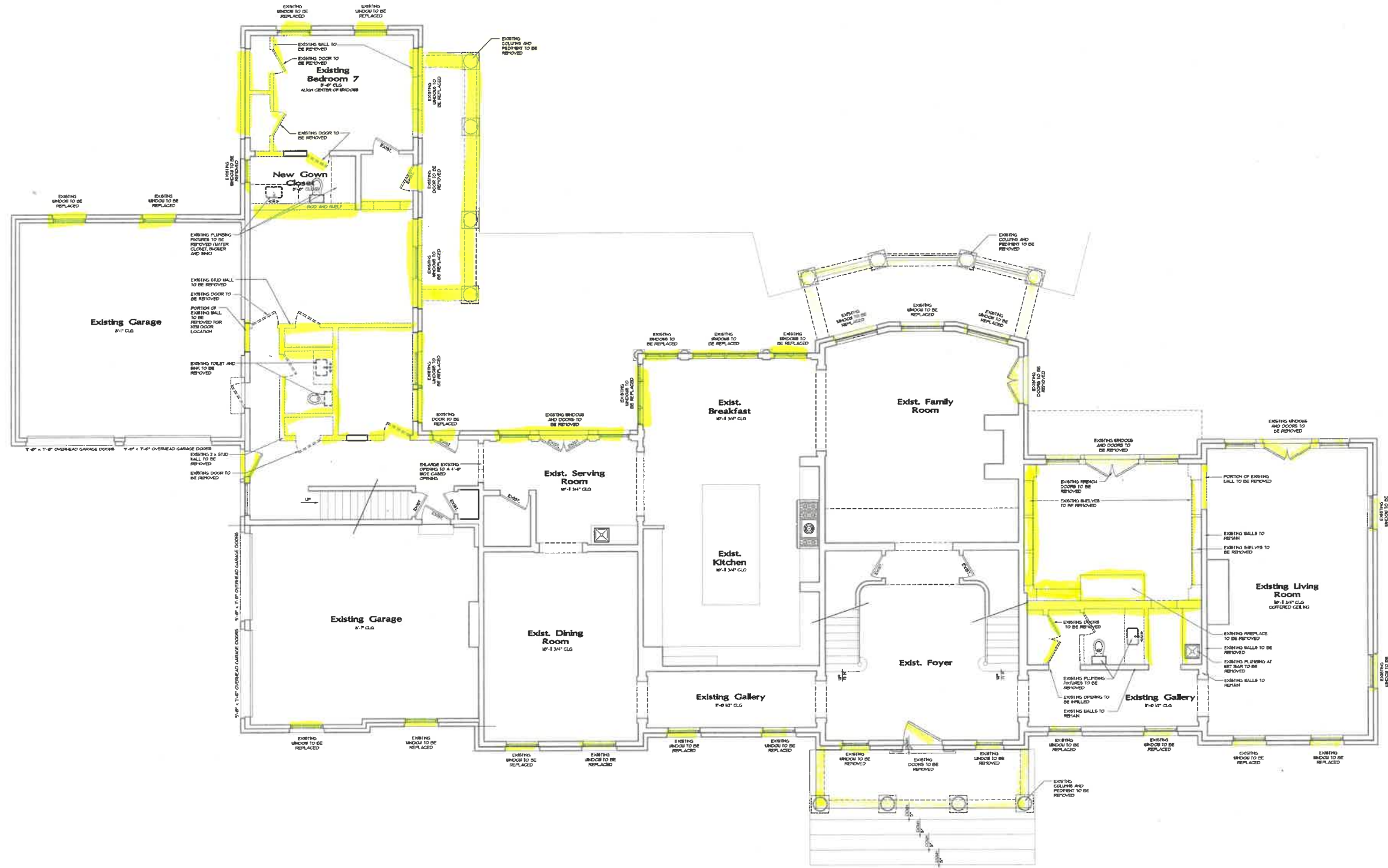
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Christopher E Derrick,
President
Derrick Architecture
CD

cc: Margaret Antonik, Owner

cc: Piotr Antonik, Owner

EXISTING FIRST FLOOR PLAN AND DEMOLITION PLAN



HIGHLIGHTED PORTIONS PROPOSED FOR DEMOLITION



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 WHEATON, ILLINOIS 60187
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 F: 630/517.8578
 DERRICKARCHITECTURE.COM
 INFO@DERRICKARCHITECTURE.COM

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REVISIONS	DATE
PRELIMINARY DESIGN	1/3/2025
REDESIGN	1/3/2025
CLIENT REVISIONS	1/16/2025
WINDOW UPDATE	3/12/2025
WINDOW UPDATE	3/12/2025
BLDG REVIEW BOARD	4/12/2025

Villa Surlago
 663 Circle Lane
 Lake Forest, IL 60045

DRAWN BY: CED
 DATE: 04 / 18 / 25
 SCALE: AS NOTED
 PROJECT NO: 2435

SHEET TITLE:
**Existing Main
 level / Demo
 plan**

SHEET NUMBER:
D101

BUILDING REVIEW BOARD 4.17.2024

EXISTING SOUTH AND WEST ELEVATIONS



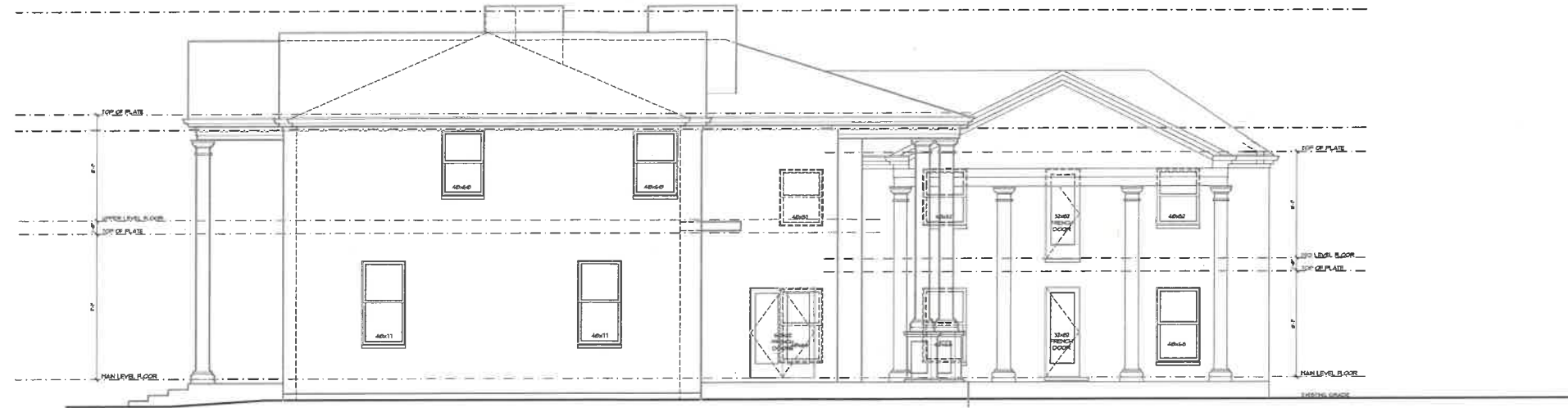
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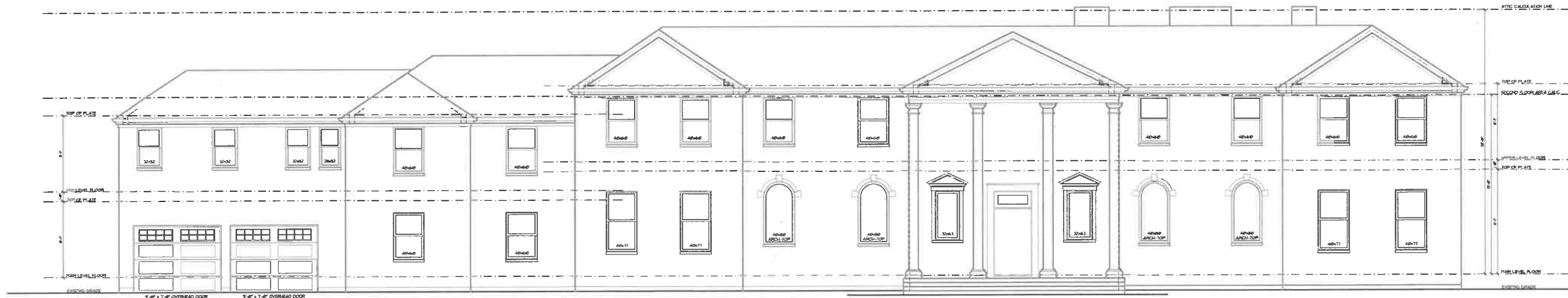
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REVISIONS	DATE
PRELIMINARY DESIGN	13.28.25
REDESIGN	1.13.2025
CLIENT REVISIONS	1.16.2025
WINDOW UPDATE	3.12.2025
WINDOW UPDATE	3.12.2025
BLDG REVIEW BOARD	4.11.2025

BUILDING REVIEW BOARD 4.17.2024



2
D202 Existing Right Elevation (Facing South)
SCALE: 3/16" = 1'-0"



1
D201 Existing Front Elevation (Facing West)
SCALE: 3/16" = 1'-0"

Villa Sul'ago
663 Circle Lane
Lake Forest il 60045

DRAWN BY: CED

DATE: 04 / 18 / 25
SCALE: AS NOTED
PROJECT NO: 2435

SHEET TITLE:
Existing Front and
Side Elevations

SHEET NUMBER:
D201

SOUTH AND WEST ELEVATIONS - PROPOSED



DERRICK ARCHITECTURE

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WHEATON, ILLINOIS 60187

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REVISIONS	DATE
PRELIMINARY DESIGN	1/9/2025
REDESIGN	1/13/2025
CLIENT REVISIONS	1/16/2025
WINDOW UPDATE	3/12/2025
WINDOW UPDATE	3/12/2025
BLDG REVIEW BOARD	4/17/2025

BUILDING REVIEW BOARD 4.17.2024



2 New Right Elevation (Facing South)
A20.2 SCALE: 3/16" = 1'-0"



1 New Front Elevation (Facing West)
A201 SCALE: 3/16" = 1'-0"

Villa Surlago
663 Circle Lane
Lake Forest IL 60045

DRAWN BY: CED

DATE: 04 / 18 / 25
SCALE: AS NOTED
PROJECT NO: 2435

SHEET TITLE:
**New Front and
Side Elevations**

SHEET NUMBER:
A201

EXISTING NORTH AND EAST ELEVATIONS



DERRICK ARCHITECTURE

506 SOUTH GABLES BLVD
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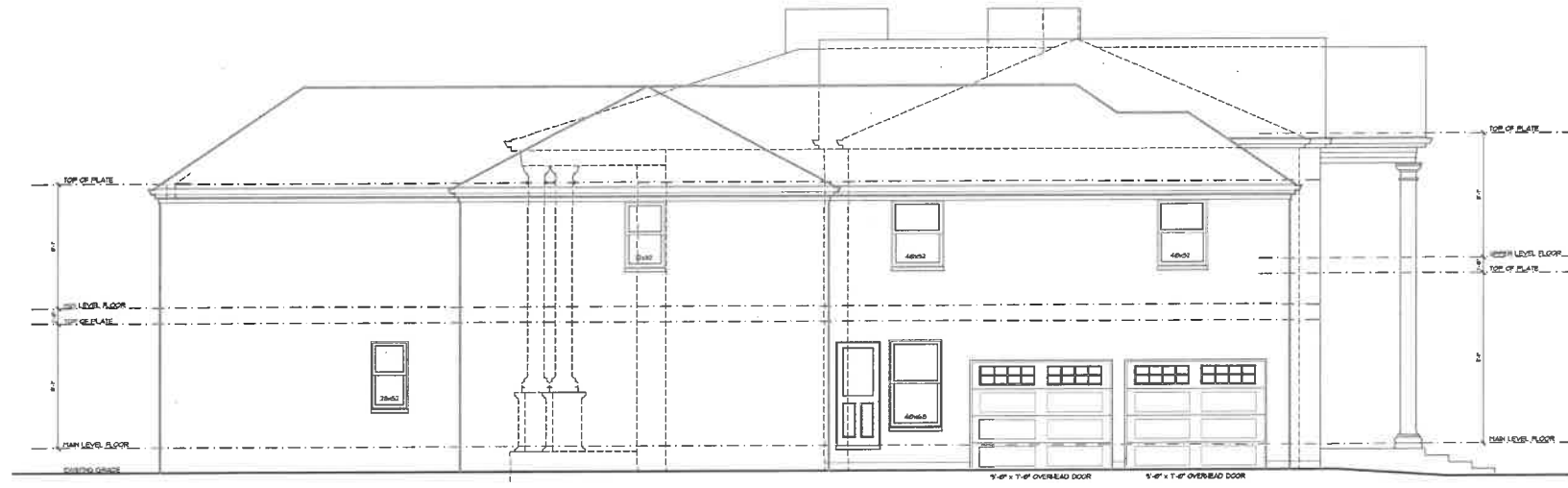
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REVISIONS	DATE
PRELIMINARY DESIGN	12.2023
REDESIGN	03.2024
CLIENT REVISIONS	10.2024
WINDOW UPDATE	3.12025
WINDOW UPDATE	3.12025
BLDG REVIEW BOARD	4.12025

BUILDING REVIEW BOARD 4.17.2024



2 Existing Side Elevation (Facing North)
SCALE: 3/16" = 1'-0"



1 Existing Rear Elevation (Facing East)
SCALE: 3/16" = 1'-0"

Villa Sul'ago
663 Circle Lane
Lake Forest IL 60045

DRAWN BY: CED

DATE: 04/18/25
SCALE: AS NOTED
PROJECT NO: 2435

SHEET TITLE:
Existing Rear and
Side Elevations

SHEET NUMBER:
D202

NORTH AND EAST ELEVATIONS - PROPOSED

REVISIONS	DATE
PRELIMINARY DESIGN	12.2023
REDESIGN	1.13.2025
CLIENT REVISIONS	1.16.2025
WINDOW UPDATE	3.12.2025
WINDOW UPDATE	3.12.2025
BLOG REVIEW BOARD	4.17.2025



2 New Side Elevation (Facing North)
SCALE: 3/16" = 1'-0"



1 New Rear Elevation (Facing East)
SCALE: 3/16" = 1'-0"

Villa Sullago
663 Circle Lane
Lake Forest il 60045

DRAWN BY: CED
DATE: 04 / 18 / 25
SCALE: AS NOTED
PROJECT NO: 2435

SHEET TITLE:
New Rear and Side Elevations

SHEET NUMBER:
A202