

Agenda Item 3
821 Northmoor Road
Continued – Revisions to previously approved plans and a building scale variance.

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Roof Plan
Building Sections
Floor Plans
Landscape Plan
Engineering Plans

Materials Submitted by Petitioner from the October 1st, 2024

Meeting
Elevations
Roof Plan
Cross Section
Floor Plans

Approved Materials from the February 2nd, 2022 Building Review Board Meeting

Elevations
Renderings
Streetscape Elevation

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

821 Northmoor Road

Continued consideration of a request for approval of revisions to previously approved plans for additions and alterations to a residence at 821 Northmoor Road. A building scale variance is requested.

**Property Owner: Black House LLC – Series 821 Northmoor (Patrick Shaver, 100%)
Project Representative: Patrick Shaver, builder**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of revisions to previously approved plans for additions and alterations to a residence.

The Board last reviewed this petition on October 1st, 2024. During this meeting, the Board provided direction to the petitioner to make changes to align the plans with the original approvals and continued the petition. A Board subcommittee was appointed to help move the petition forward given the stalled construction at the site.

The Board subcommittee met with the petitioner and staff on December 13th, 2024 and offered recommendations to the petitioner on how the concerns raised could be addressed.

The Board subcommittee met a second time on April 9th, 2025 to review revised plans. The subcommittee's direction and the petitioner's responses are summarized below. Staff comments (bolded) are provided and speak to how the subcommittee's recommendations and direction were addressed.

- *Lower the primary suite roof by 12 inches and lower the stairway lantern roof to make it flush with the primary suite roof.*
The primary suite is now lowered by 10 inches and the stairway lantern matches the height of the primary suite.
- *Move the east and west primary suite walls in, eliminating 4 to 5 feet of interior dimension to reduce the square footage and to mitigate impacts on the privacy of the neighboring home to the west.*
The east and west walls of the primary suite are moved in by two feet on each side, eliminating 4 feet of interior dimension, reducing the overall square footage and mitigating the impact of the residence on the neighboring home to the west.
- *Remove the foyer/back hall to reduce the square footage.*
The foyer/back hall, addressed as the “mudroom” by the petitioner in the statement of intent, is removed from the plans.

- *Submit spec sheets for the proposed exterior lighting. The lights must comply with the Residential Lighting Guidelines, the source of light must be fully shielded from views from off the site.*
Spec sheets will be provided at the Building Review Board meeting. Exterior lighting will also be assessed at the time of permit to assure compliance with Residential Lighting Guidelines and the character of the neighborhood.
- *Provide exterior material and color samples at the Building Review Board meeting. The materials and color palette should be consistent with the original approvals. Consider retaining the horizontal siding as previously approved or provide written rationale for any proposed change.*
Material and color samples will be provided at the Building Review Board Meeting.

After reviewing the revised plans, the Board subcommittee directed that the plans be moved forward to the full Board with a favorable recommendation. The petitioner now presents these plans to the Board for final action.

Description of Property

The subject property is located in the Northmoor subdivision, established in 1922. The house is on the south side of Northmoor Road between Wooded Lane and Sheridan Road. The rectangular lot is 11,250 square feet. The original residence, built in 1949, was a contemporary split-level home with an attached garage.

The current structure under construction is a midcentury modern design. Construction was stopped in May 2024 due to deviations from the approved plans.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Building Massing and Height – A variance is requested.

Based on the lot size, a residence of up to 2,875 square feet is permitted on the site. In addition, a garage of up to 576 square feet is permitted along with up to 288 square feet of design elements. Design elements are defined as those

elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence, **as built**, totals 3,619 square feet.
- The garage totals 590 square feet. With a maximum garage exemption of 576 square feet, 14 square feet must be added to the square footage of the residence.
- No design elements are incorporated into the current design of the house.
- **As built**, the house is 26% over the maximum allowable square feet.

In response to comments and direction of the Board, the massing and height of the residence was reduced by removing the stairway lantern, lowering the primary suite roof, bringing in the primary suite walls, and removing the first-floor mud room.

The height of the residence as now proposed, as measured from the lowest existing grade, at the garage door, to the tallest point of the residence, is 27 feet. This is below the maximum allowable height of 30 feet.

A building scale variance of 20% is requested, 6% less than the overage requested at the October 13th, 2024 meeting.

Standards for Approval of a Building Scale Variance

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 - The project is consistent with the design standards of the City Code.

This standard is met. The design is generally consistent with the design originally approved by the Building Review Board in 2022. The current design responds to concerns and direction offered by the Board and neighbors at past meetings.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is generally met. The landscape plan reflects arborvitae along the south and west property lines in an effort to mitigate the impacts of the mass of the structure and potential light impacts on the neighboring properties.

Staff Recommendations:

1. Prior to submitting for permit, a detailed landscape plan shall be provided to the immediate neighbors to provide an opportunity for review and input.
2. Prior to planting, specific locations of plant material shall be staked on the site and subject to City staff review and approval.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is generally met. Removing the stairway lantern, lowering of the primary suite roof, and bringing in the primary suite walls mitigate the impact of the light to and views from neighboring homes.

Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. Given the reduction in height and mass of the home, the structure more closely aligns with the surrounding neighborhood and with the original approvals.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

This standard does not apply as this is not a historic district nor governed by the ordinance.

Standard 6 – The property is adjacent to land use and zoned as a permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard does not apply.

Landscape Plan: The standard is mostly met.

To mitigate the visual impact of the structure on the adjacent south and west properties, the petitioner proposes arborvitaes. The petitioner has stated a willingness to work with City staff and neighboring property owners to review and get feedback on the proposed landscape plan. The final landscape plan will be reviewed by City staff and shared with adjacent property owners.

See Staff Recommendations Above:

Type, color, and texture of materials – This standard can be met.
Material and color samples will be provided at the Building Review Board meeting. The samples shall closely match the originally approved materials and colors.

To mitigate interior light spillover through the windows, the petitioner is removing windows on the rear and east elevations, adding window treatments such as an opaque film, and installing soft white interior lighting within recessed fixtures.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence was received regarding this petition.

Recommendations

Recommend approval of a building scale variance for revisions to previously approved plans for additions and alterations to a residence subject to the following conditions.

1. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Prior to the issuance of a building permit:
 - Landscape Plan*
 - a. Prior to submitting for permit, a detailed landscape plan shall be provided to the immediate neighbors to provide an opportunity for review and input.
 - b. Prior to planting, specific locations of plant material shall be stake on the site and subject to City staff review and approval.
 - c. The arborvitae shall be a minimum of six feet tall at the time of planting.

- d. The detailed landscape plan shall identify all existing vegetation intended to remain on the site, vegetation intended to be removed, and the species, location, and size at time of planting of all proposed vegetation and trees.

Tree Protection

- e. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long-term survival of the trees intended for preservation which are located close to construction activity if determined to be necessary by the City's Certified Arborist.

Drainage and Grading

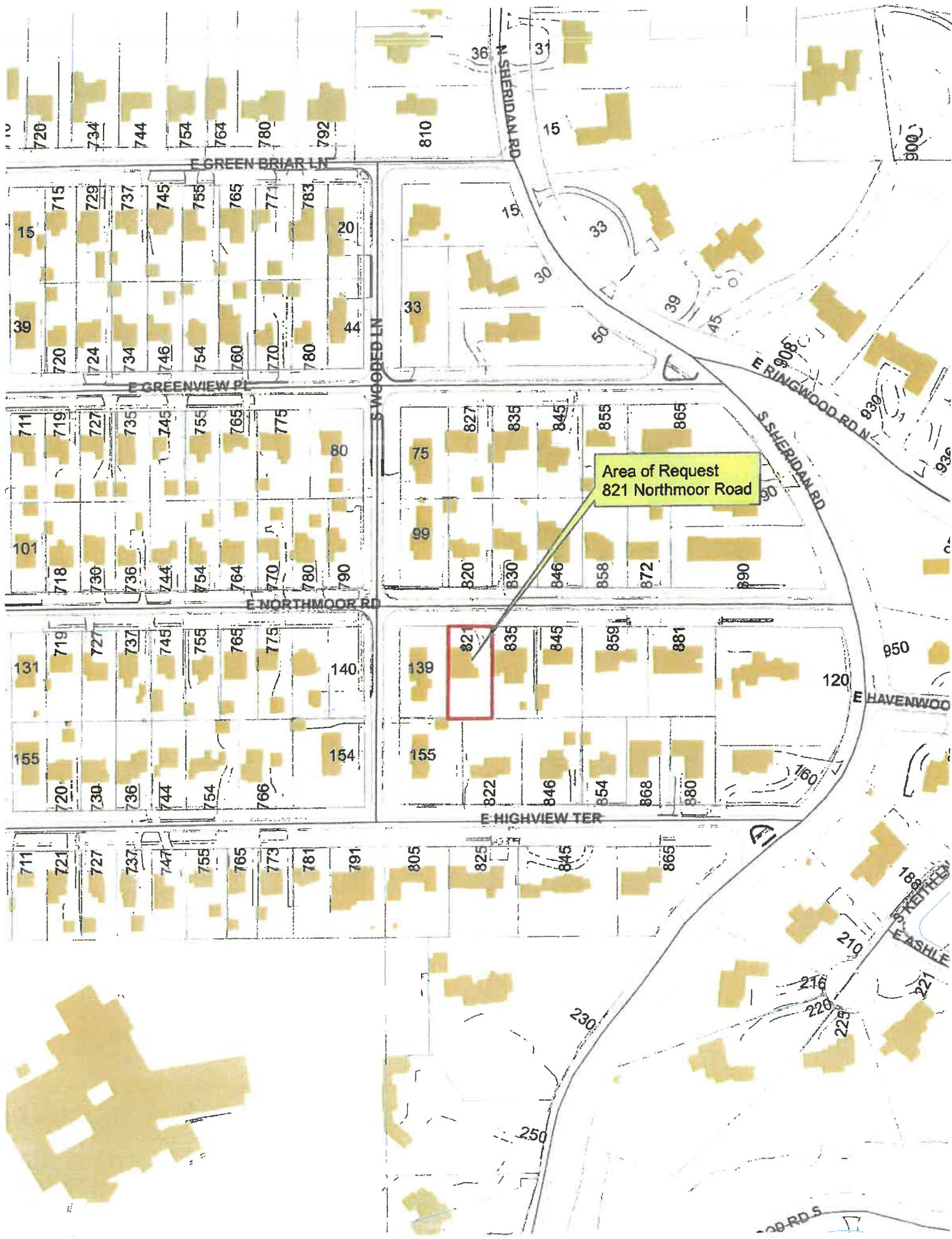
- f. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- g. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- h. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The public street must remain unobstructed, passable, and clean at all times.



Area of Request
821 Northmoor Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 821 Northmoor Rd, Lake Forest, IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Black House LLC - Series 821 Northmoor

Owner of Property

1225 Lincoln Ave S

Owner's Street Address (may be different from project address)

Highland Park, IL 60035

City, State and Zip Code

847-652-7519

Phone Number

Fax Number

patrick.shaver@blackhouse.consulting

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Patrick Shaver, President

Name and Title of Person Presenting Project

Black House Design

Name of Firm

1225 Lincoln Ave S

Street Address

Highland Park, IL 60035

City, State and Zip Code

847-652-7519

Phone Number

Fax Number

patrick.shaver@blackhouse.design

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER

REPRESENTATIVE

Please fax a copy of the staff report

OWNER

REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER

REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material Natural wood, Gray/black

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish Black

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other Azek

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other Azek

Fascias, Soffits, Rakeboards

- Wood
- Other _____
- Synthetic Material Azek

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other Modified Bitumen

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material Silver/White

Gutters and Downspouts

- Copper
- Aluminum
- Other Internal or Fin

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Black House LLC
%: Patrick Shaver
1225 Lincoln Ave S
Highland Park, IL 60035
Patrick.Shaver@blackhouse.design
847-652-7519

April 30, 2025

Lake Forest Building Review Board
220 East Deerpath
Lake Forest, IL 60045

**RE: Revised Letter of Intent for 821 Northmoor Rd – Updated Following April 9, 2025
Subcommittee Review**

Dear Members of the Lake Forest Building Review Board,

Following our recent meeting with the Building Review Board Subcommittee on April 9, 2025, I am submitting this updated Letter of Intent for the construction project at 821 Northmoor Rd. I want to express my appreciation for the collaborative and constructive tone of the conversation and for the board's continued guidance throughout this process.

The revised plans and narrative address the specific concerns raised during that meeting and reflect a thoughtful and responsive approach to aligning with the City's regulations and neighborhood character.

1. Height Reduction and Massing

We have lowered the overall height of the home to 25 feet 11 inches, well under the 30-foot limit. Specifically, we have lowered the Primary Suite roof by approximately 10 inches, and the Clearstory roof will be lowered to match that same height. The Clearstory has been significantly reduced, and the south-facing Clearstory windows have been removed, mitigating previous concerns about mass and visibility from the street. Once implemented, these changes will eliminate the visibility of the Clearstory from the public way and adjacent homes. A street-view rendering will be submitted to visually demonstrate this impact. These modifications have been carefully designed to maintain the architectural intent, respect the surrounding neighborhood, and reduce visual disruption for neighboring properties.

2. Square Footage and Bulk Compliance

The total square footage has been reduced by approximately 5%, bringing the project from 26% over to 21% over allowable bulk. This includes the removal of the first-floor mudroom, a revised second-floor master suite with pulled-in walls on both the east and west elevations. These efforts reflect a good faith response to board and community concerns, while recognizing the preexisting bulk calculation error that occurred during the original approval.

3. Windows, Privacy, and Lighting Mitigation

We have made the following revisions:

- Primary bathroom window will include opaque film and soft window treatments to ensure privacy for both occupants and neighbors.
- A reduction in the overall window count, particularly on the south elevation.
- All interior lighting is 2700K soft white and installed using recessed trumpet fixtures designed to minimize light spillage.
- Additional interior window treatment infrastructure will be installed to support soft treatments.

We are also preparing a lighting narrative and fixture summary to support the board's review and confirm mitigation of any offsite lighting impact.

4. Landscape Plan and Screening

In response to feedback, we have aligned our landscape plan to include:

- Five 10' Arborvitae (or like species) along both south and west elevations (10 total).
- Collaboration with adjacent neighbors on final tree placement.
- Commitment to consult with the City Forester (Corey and Kelly) for final species selection and location guidance.

We have updated our landscaping plan to include five Arborvitae along both the south and west property lines. We will work collaboratively with adjacent property owners during installation, allowing trees to be dry-set to ensure optimal placement and privacy screening. Existing mature trees are also present, but we acknowledge the need to supplement lower coverage due to tall trunks. We will consult with the City Forester on species selection and placement. Any changes to the landscaping plan will be submitted administratively if they fall outside the original scope of approval.

5. Timeline and Construction Resumption

We are prepared to resume construction immediately following permit reissuance. The project was halted at the drywall/insulation stage, with materials and subcontractors (including stucco and siding) already queued. We estimate a realistic 4–6 month timeline for completion and will include a Gantt chart to outline key phases and milestones. Our intent is to move quickly and efficiently, minimizing ongoing disruption to the neighborhood. We understand the prolonged impact this has had on neighbors and are committed to maintaining a clean and organized site, limiting noise and traffic to the extent possible, and completing the exterior work as early in the timeline as feasible.

6. Additional Submissions for Board Review

- A visual street-view rendering showing the impact of the lowered roofline.
- A lighting cut sheet for interior and exterior fixtures.
- Siding and material samples.

We trust these revisions reflect our sincere effort to meet the standards of the City of Lake Forest, address neighbor concerns, and complete this project in a timely and respectful manner. I look forward to presenting these updates formally to the Board and working together toward final approval and resumption.

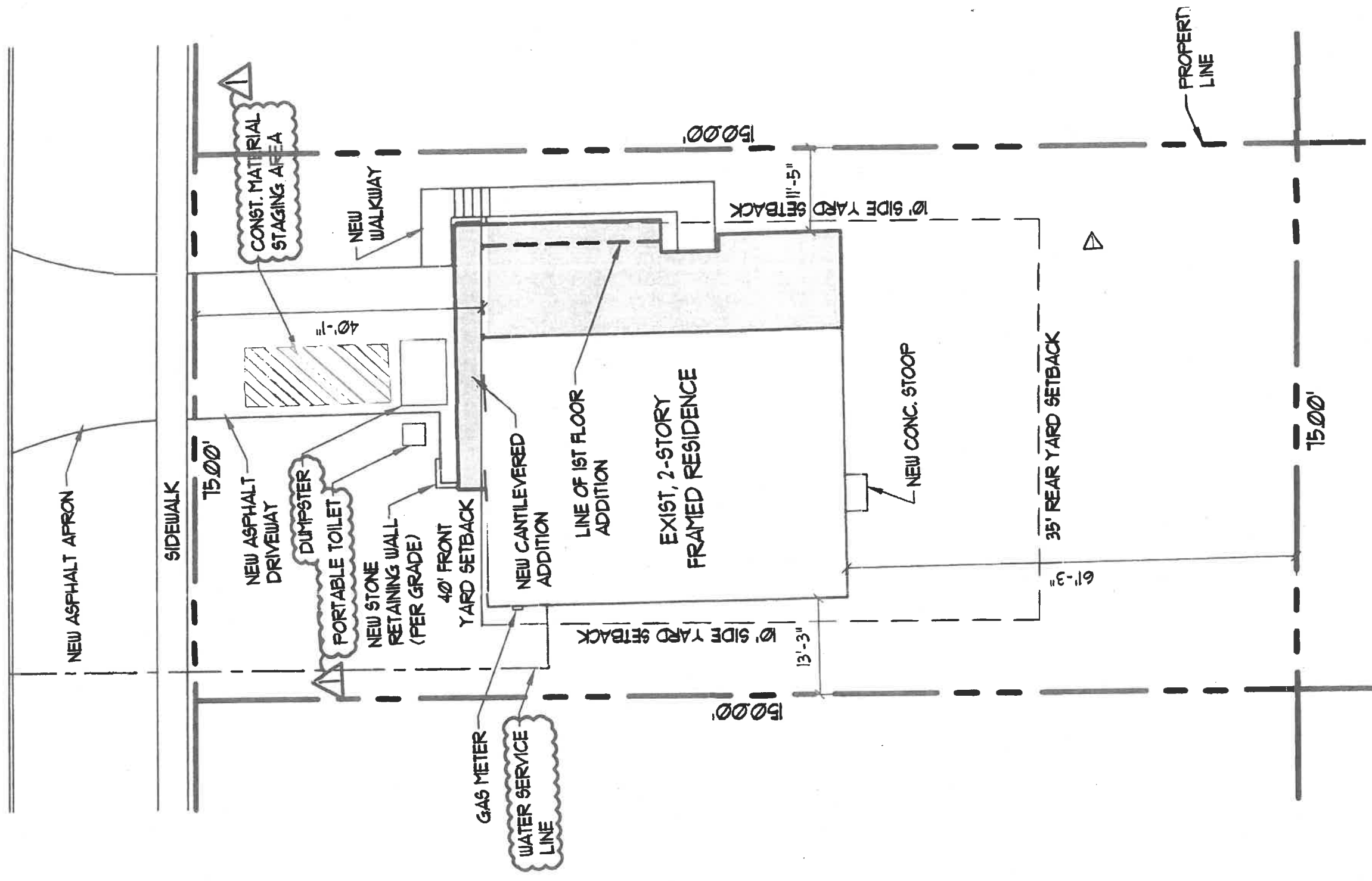
Thank you for your time, consideration, and continued guidance.

Sincerely,

Patrick H. Shaver
Black House LLC
Patrick.Shaver@blackhouse.design
847.652.7519

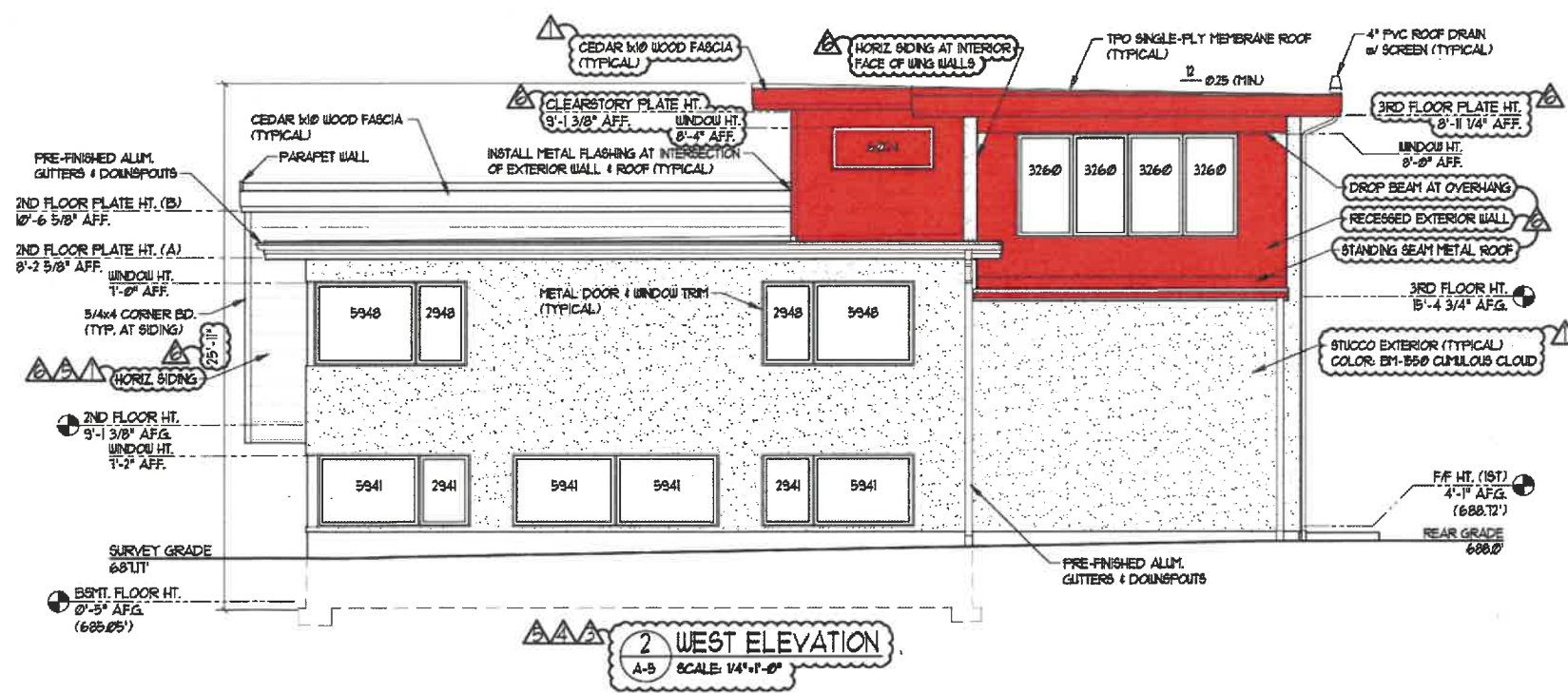
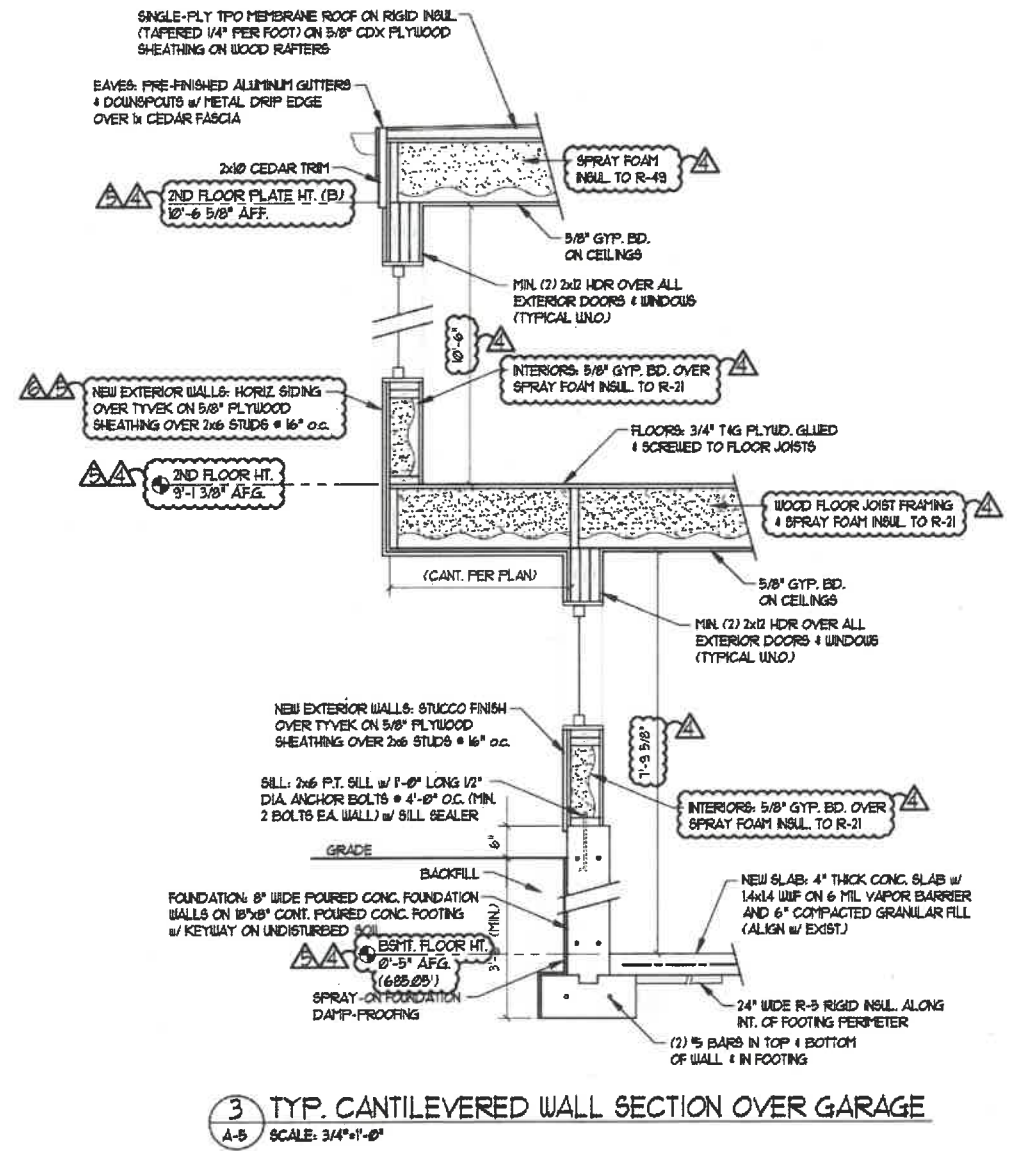
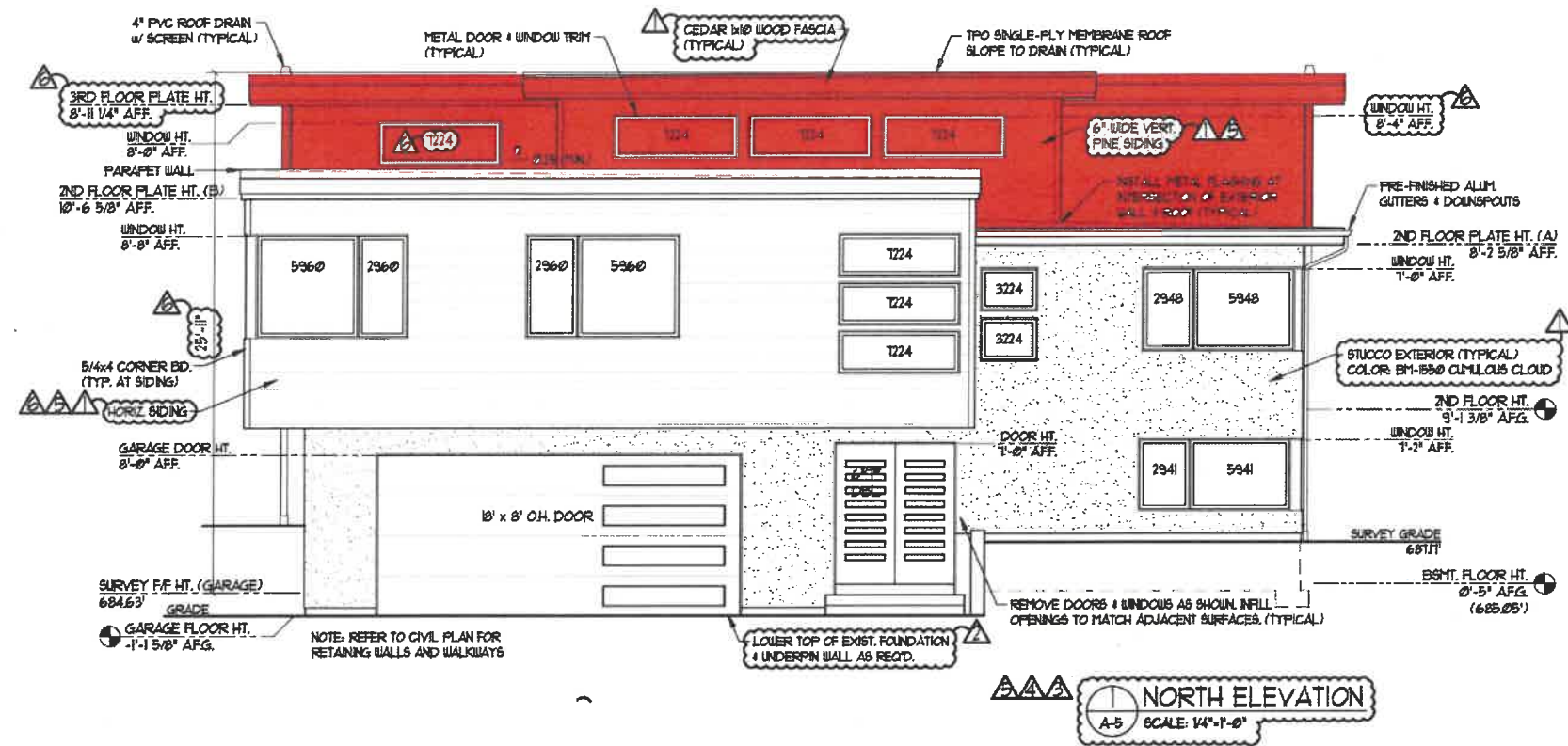
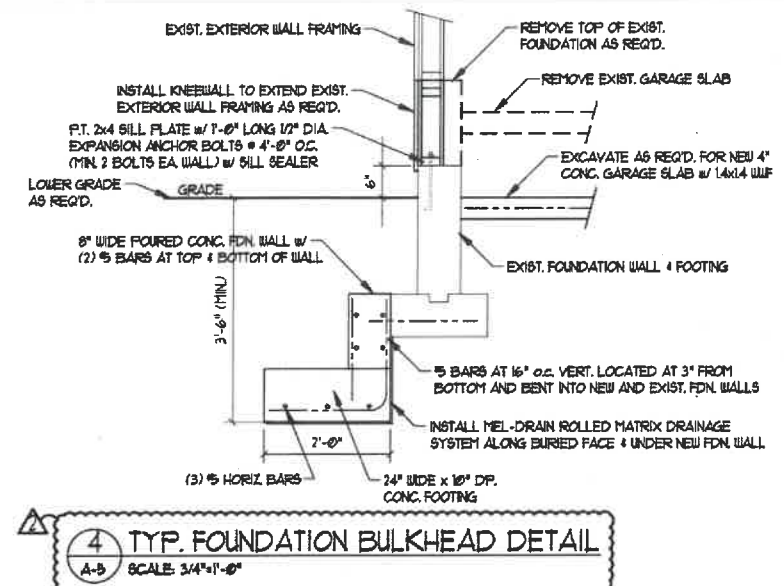
SITE PLAN
MAY 7
2025

NORTHMOOR RD



NORTH ELEVATION AND WEST ELEVATION

MAY 7, 2025



AKL
architectural services
WWW.AKLARCH.COM

BLACKHOUSE
821 NORTHMOOR RD.
LAKE FOREST, IL 60045

BUILDING ELEVATIONS
TYP. CANTILEVER WALL SECTION
BDN. BULKHEAD DETAIL
SCALE: AS NOTED

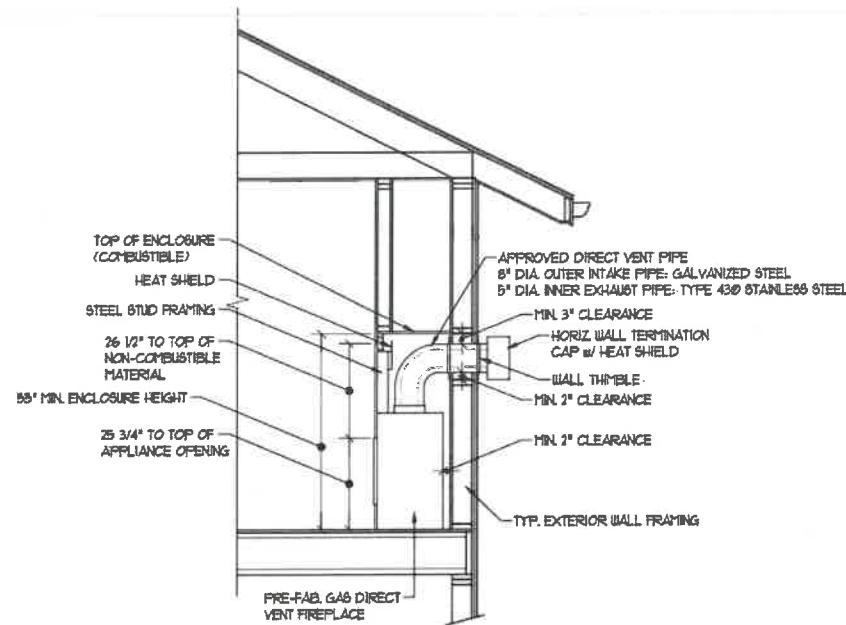
NO.	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL
1	AS-BUILT REVISION	3/28/22	RF	3/28/22	RF
2	DIV. REVISION	4/5/24	RF	4/5/24	RF
3	BUILDING HEIGHT	3/7/24	RF	3/7/24	RF
4	BUILDING HEIGHT	10/2/24	RF	10/2/24	RF
5	BUILDING HEIGHT EXTERIOR WALLS	7/24/25	RF	7/24/25	RF

DATE: 3/28/22
DRAWN: RF
CHECKED: NAG
PROJ. NO.: 21019

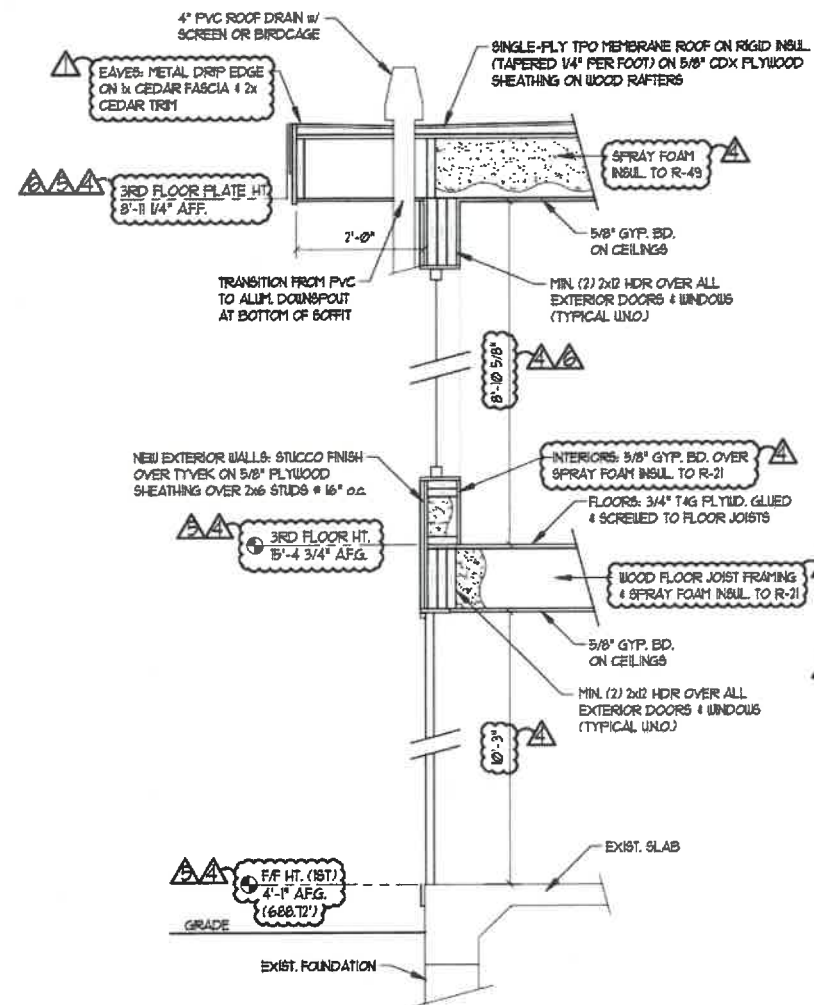
A-5
SHEET NO.:

SOUTH ELEVATION AND EAST ELEVATION

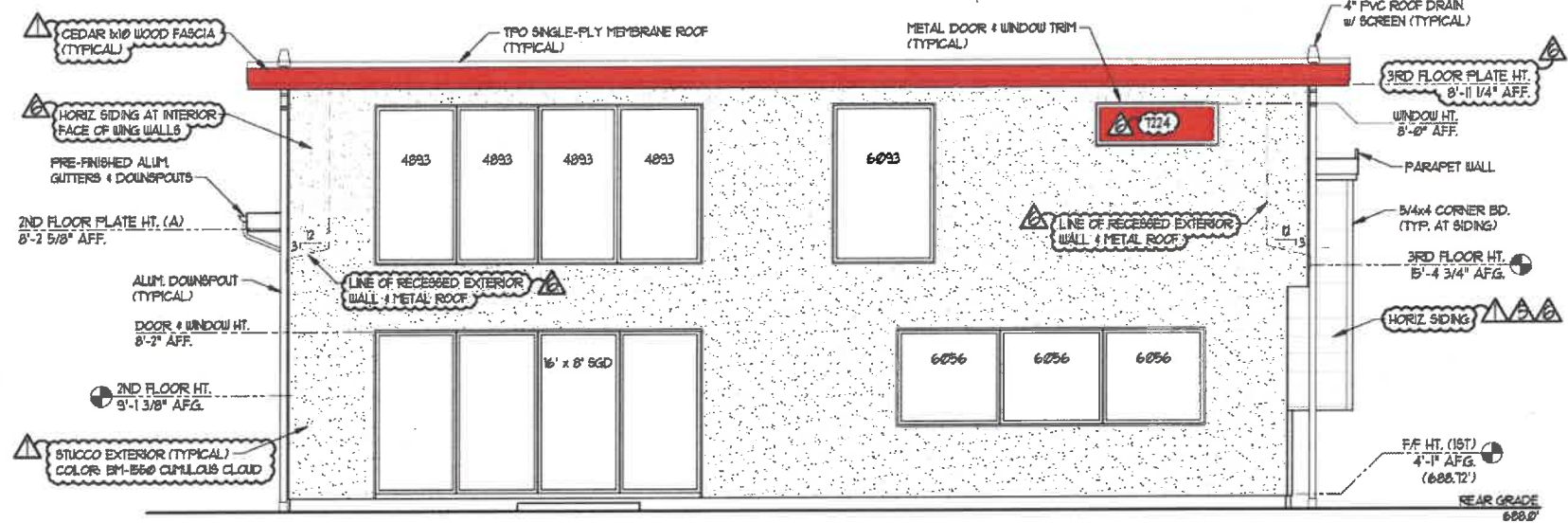
MAY 7, 2025



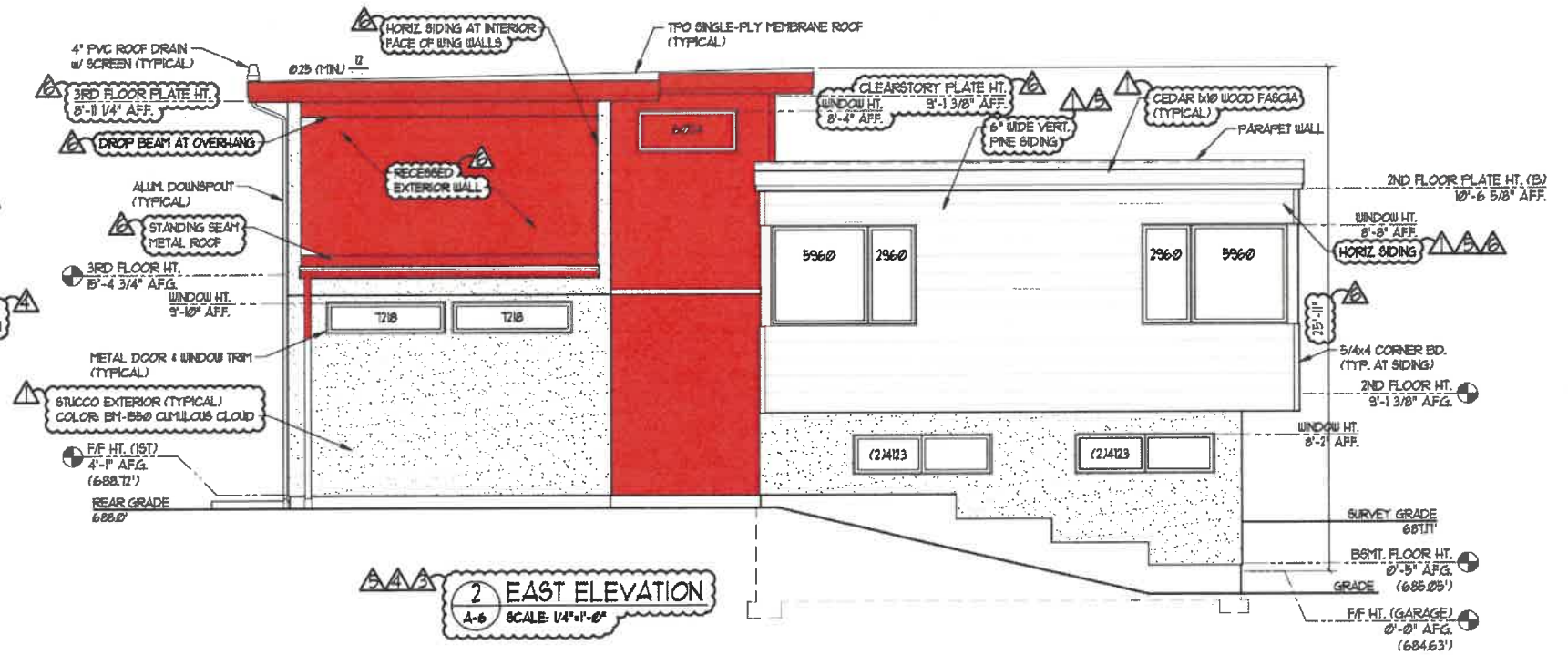
4 TYP. D.V. FIREPLACE DETAILS
A-6 SCALE: 1/2"=1'-0"



3 TYP. REAR WALL SECTION
A-6 SCALE: 3/4"=1'-0"



1 SOUTH ELEVATION
A-6 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
A-6 SCALE: 1/4"=1'-0"

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BLACKHOUSE
821 NORTHMOOR RD.
LAKE FOREST, IL 60045

BUILDING ELEVATIONS
TYP. REAR WALL SECTION
TYP. D.V. FIREPLACE DETAILS

NO.	REVISION DESCRIPTION	DATE	INITIAL
1	AS-BUILT REVISION	3/20/23	R.F.
2	D.V. FIREPLACE	4/2/24	R.F.
3	BUILDING HEIGHT	5/1/24	R.F.
4	BUILDING HEIGHT	7/24/24	R.F.
5	BUILDING HEIGHT & EXTERIOR WALLS	7/24/25	R.F.

DATE: 3/28/25
DRAWN: R.F.
CHECKED: N.G.
21079
PROJ. NO.:

A-6
SHEET NO.:

34121 N. U.S. RT. 45, SUITE 209, GRAYS LAKE, ILLINOIS 60030 847.356.8025

SCALE: AS NOTED

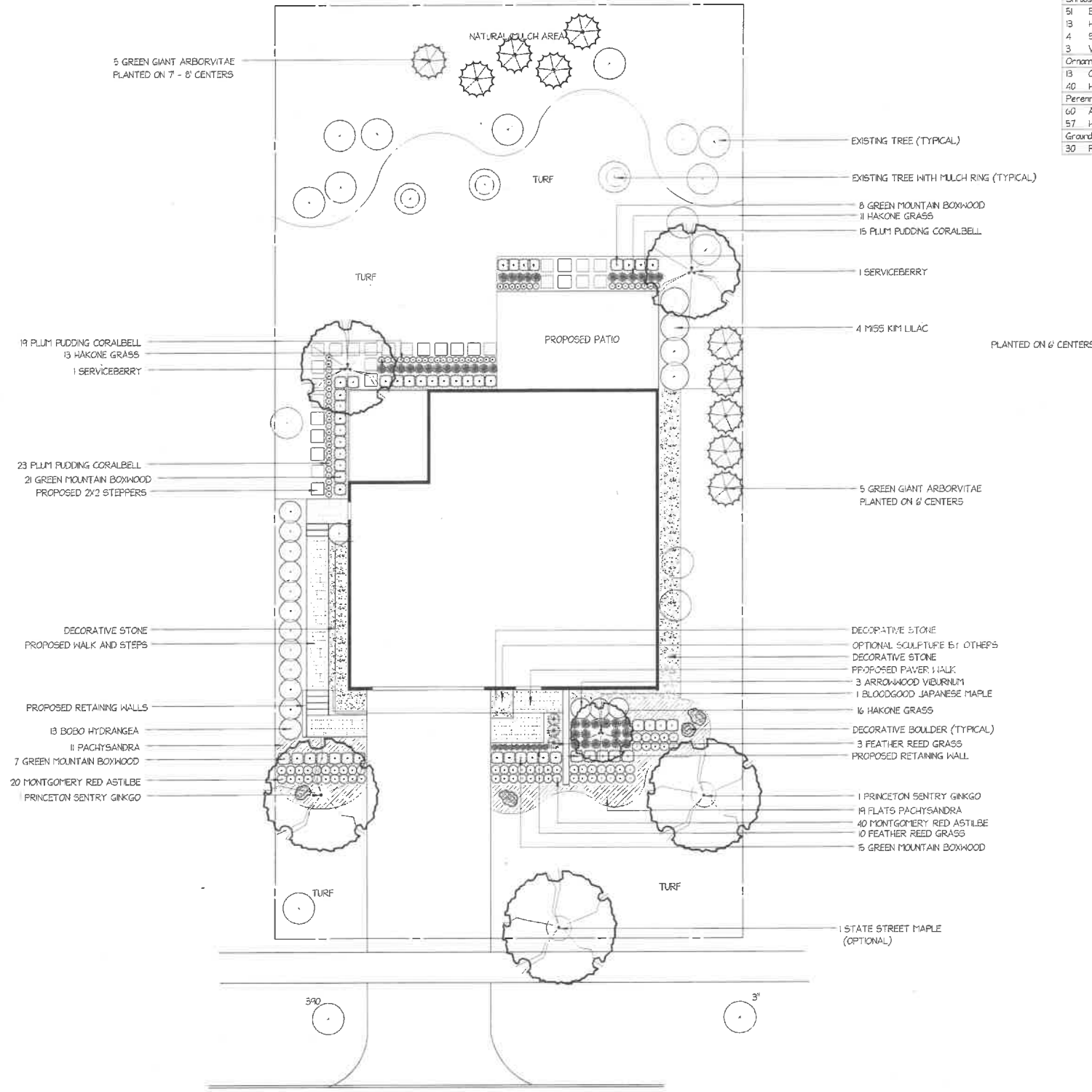


OVERALL LANDSCAPE SITE PLAN

LANDSCAPE PLAN

Qty	Botanical Name	Common Name	Size/Condition
Evergreens			
10	<i>Thuja Green Giant</i>	GREEN GIANT ARBORVITAE	8'
Trees			
1	<i>Acer Miyabei Marlot</i>	STATE STREET MAPLE	4"
1	<i>Acer palmatum Bloodgood</i>	BLOODGOOD JAPANESE MAPLE	4"
2	<i>Anelander grandiflora</i>	SERVICEBERRY	8'
2	<i>Ginkgo biloba Princeton Sentry</i>	PRINCETON SENTRY GINKGO	4"
Shrubs			
51	<i>Buxus Green Mountain</i>	GREEN MOUNTAIN BOXWOOD	18"
13	<i>Hydrangea paniculata Bobo</i>	BOBO HYDRANGEA	#3
4	<i>Syringa patula Miss Kim</i>	MISS KIM LILAC	36"
3	<i>Viburnum dentatum Royal Sentry</i>	ARROWWOOD VIBURNUM	36"
Ornamental Grasses			
13	<i>Coenocorybia Karl Forester</i>	FEATHER REED GRASS	1 Gallon
40	<i>Hakonechloa Aureola</i>	HAKONE GRASS	1 Gallon
Perennials			
60	<i>Astilbe Montgomery Red</i>	MONTGOMERY RED ASTILBE	1 Gallon
57	<i>Hexachora Plum Pudding</i>	PLUM PUDDING CORALBELL	1 Gallon
Groundcovers			
30	<i>Pachysandra Green Carpet</i>	PACHYSANDRA	Flat

MAY 7, 2025



NOTES

No.	Date	Description
2	06/27/24	ADDED CEDAR TREE LABELS ON WEST SIDE OF LOT
1	06/13/24	ADDITION OF EVERGREENS WEST PROPERTY LINE AND SOUTH MULTIPLE AREA



OVERALL LANDSCAPE PLAN

821 NORTHMOOR ROAD
LAKE FOREST, ILLINOIS

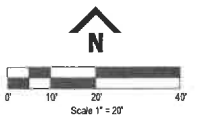
SCALE: 1" = 10' - 0"	PROJECT NO.
DRAWN BY: KEB	SHEET NO.
DESIGNED BY:	L 10
DATE: JANUARY 11, 2022	
DATE OF PRINT:	

821 Northmoor Road, Lake Forest

LOT 18 IN NORTHMOOR TERRACE, BEING A SUBDIVISION OF LOTS 304 AND 305 IN THE ORIGINAL TOWN OF LAKE FOREST, IN SECTION 3, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 1922, AS DOCUMENT NO. 213550, IN BOOK "L" OF PLATS, PAGE 16, IN LAKE COUNTY, ILLINOIS

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
T 847.295.5200 F 847.295.7081
www.bleckeng.com

821
Northmoor
Lake Forest, IL



BENCHMARK:
ARROW BOLT ON HYDRANT
ELEVATION = 679.52 NAVD88

ISSUED DATE	ISSUED FOR
01.04.2022	BRB REVIEW
05.26.2022	PERMIT
07.20.2023	SANITARY SEWER
10.30.2023	SANITARY SEWER SLOPE
10.24.2024	REVISED GRADING

PROFESSIONAL SEAL
To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if such surface waters drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the developer has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of the damage to the adjoining property because of the construction of the project.



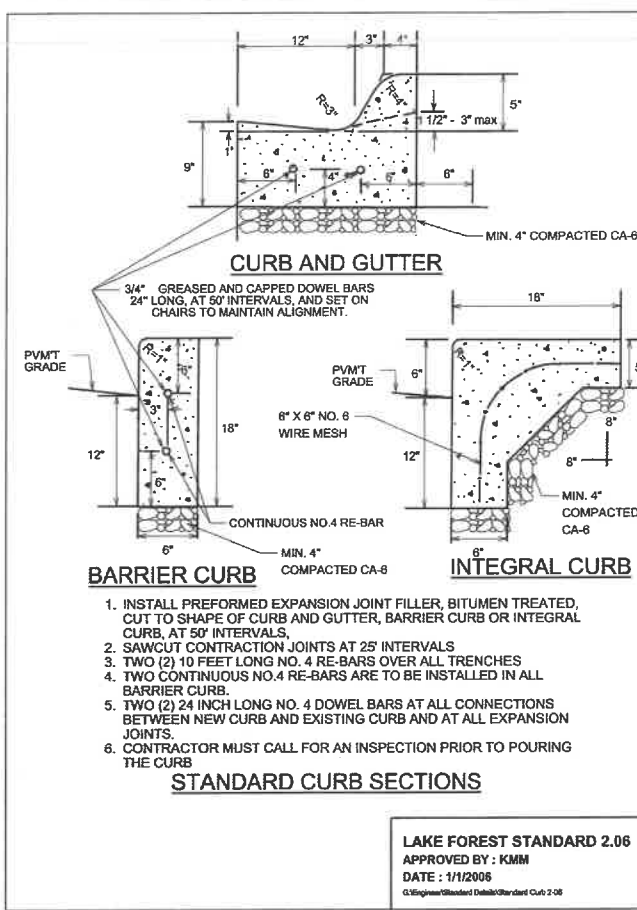
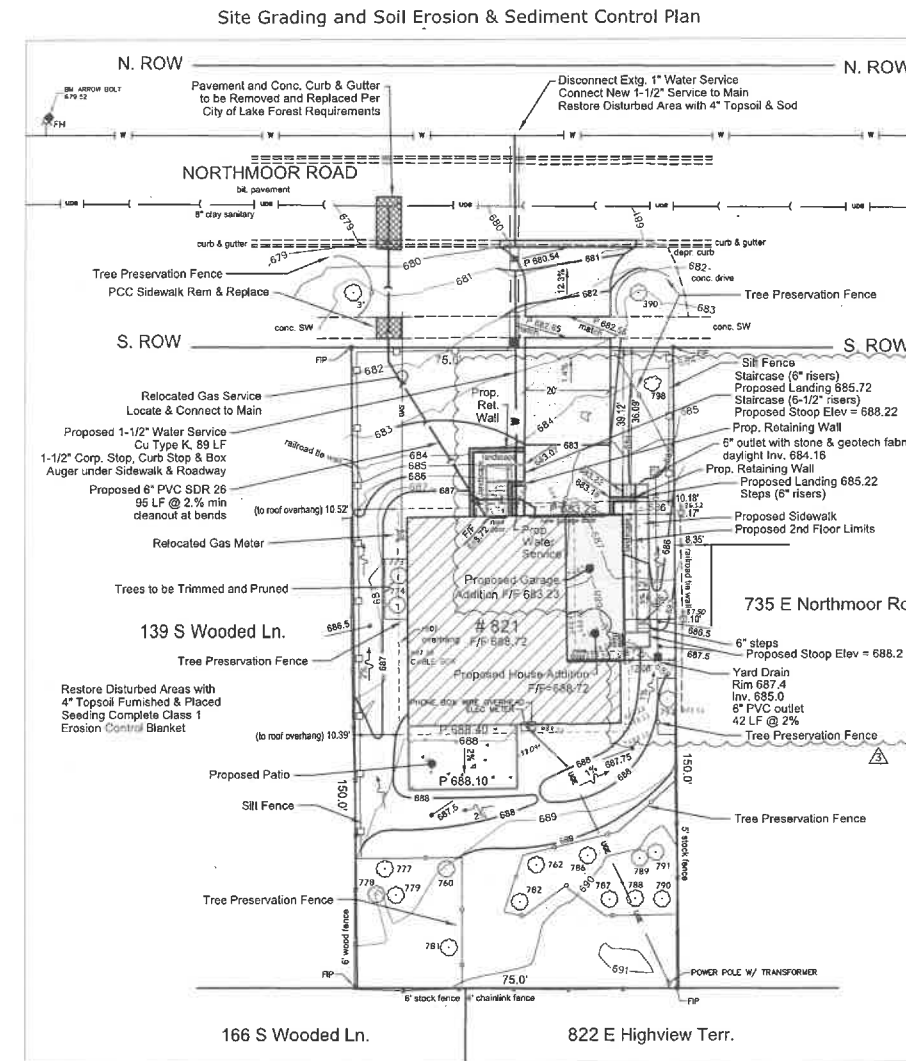
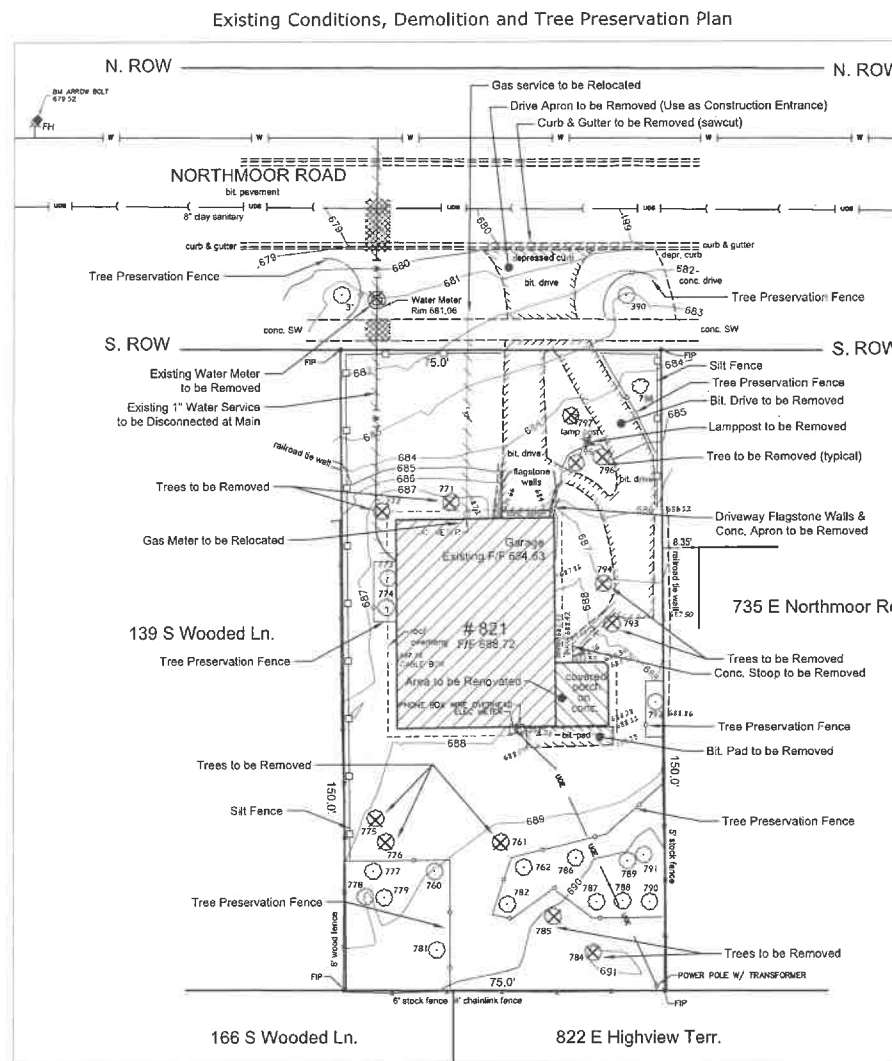
Michael G. Bleck, PE Oct. 24, 2024
License No. 062-04880 Expires 11/30/25

B-H Design

70-1251	Project No.
DJD	Drawn By
MGB	Checked By

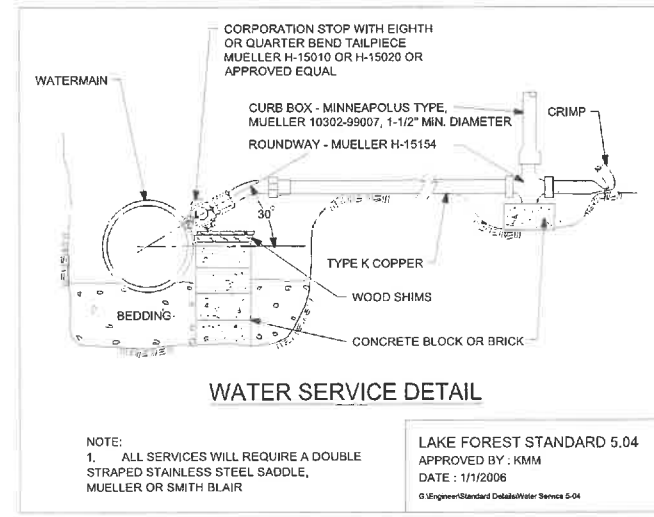
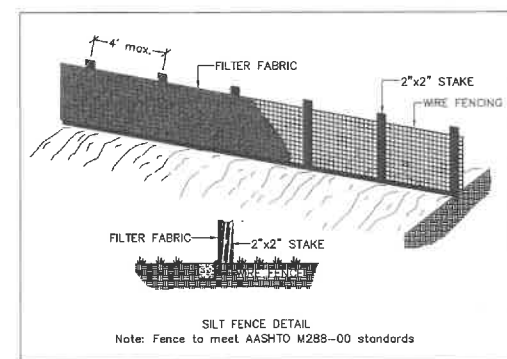
Drawing No.

Drawing Name
Site Grading Plan



- INSTALL PREFORMED EXPANSION JOINT FILLER, BITUMEN TREATED, CUT TO SHAPE OF CURB AND GUTTER, BARRIER CURB OR INTEGRAL CURB, AT 50' INTERVALS.
- SAWCUT CONTRACTION JOINTS AT 25' INTERVALS
- TWO (2) 10 FEET LONG NO. 4 RE-BARS OVER ALL TRENCHES
- TWO CONTINUOUS NO.4 RE-BARS ARE TO BE INSTALLED IN ALL BARRIER CURB.
- TWO (2) 24 INCH LONG NO. 4 DOWEL BARS AT ALL CONNECTIONS BETWEEN NEW CURB AND EXISTING CURB AND AT ALL EXPANSION JOINTS.
- CONTRACTOR MUST CALL FOR AN INSPECTION PRIOR TO POURING THE CURB

- ### LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES
- SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
 - FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
 - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
 - A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
 - TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
 - DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
 - ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
 - SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
 - APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
 - STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
 - IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
 - IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
 - ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
 - ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.
- U:\Regulatory Programs\SE-SC handbooks\SE-SC Notes 2013 TAC-approved.docx

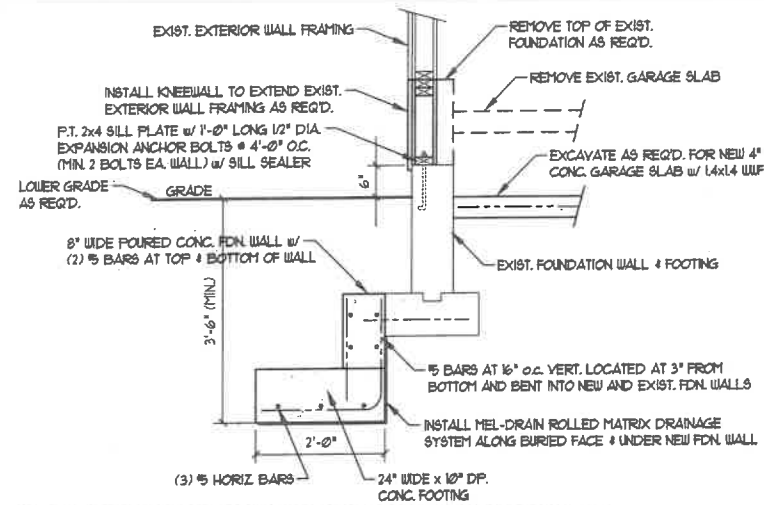


**Materials Submitted by Petitioner from the October 1st, 2024
Meeting**

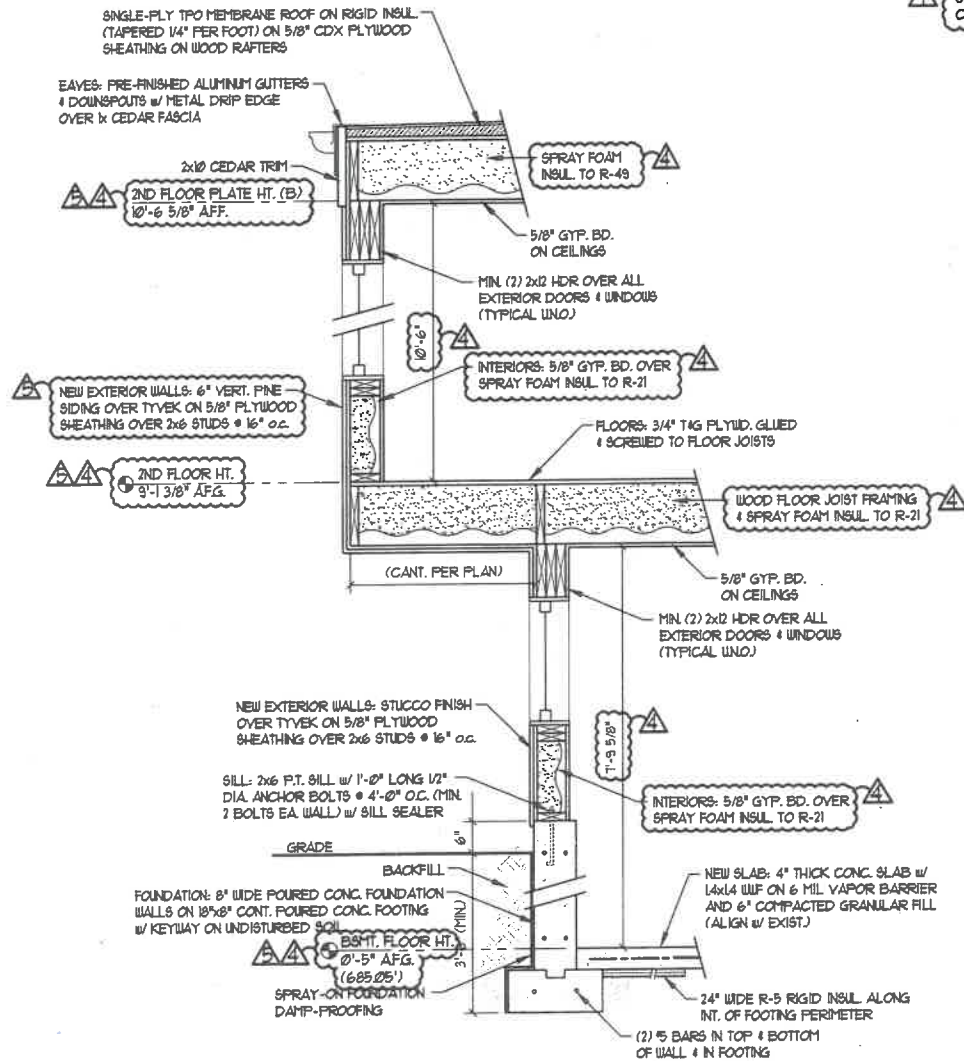
NORTH AND WEST ELEVATION

OCTOBER 1, 2024

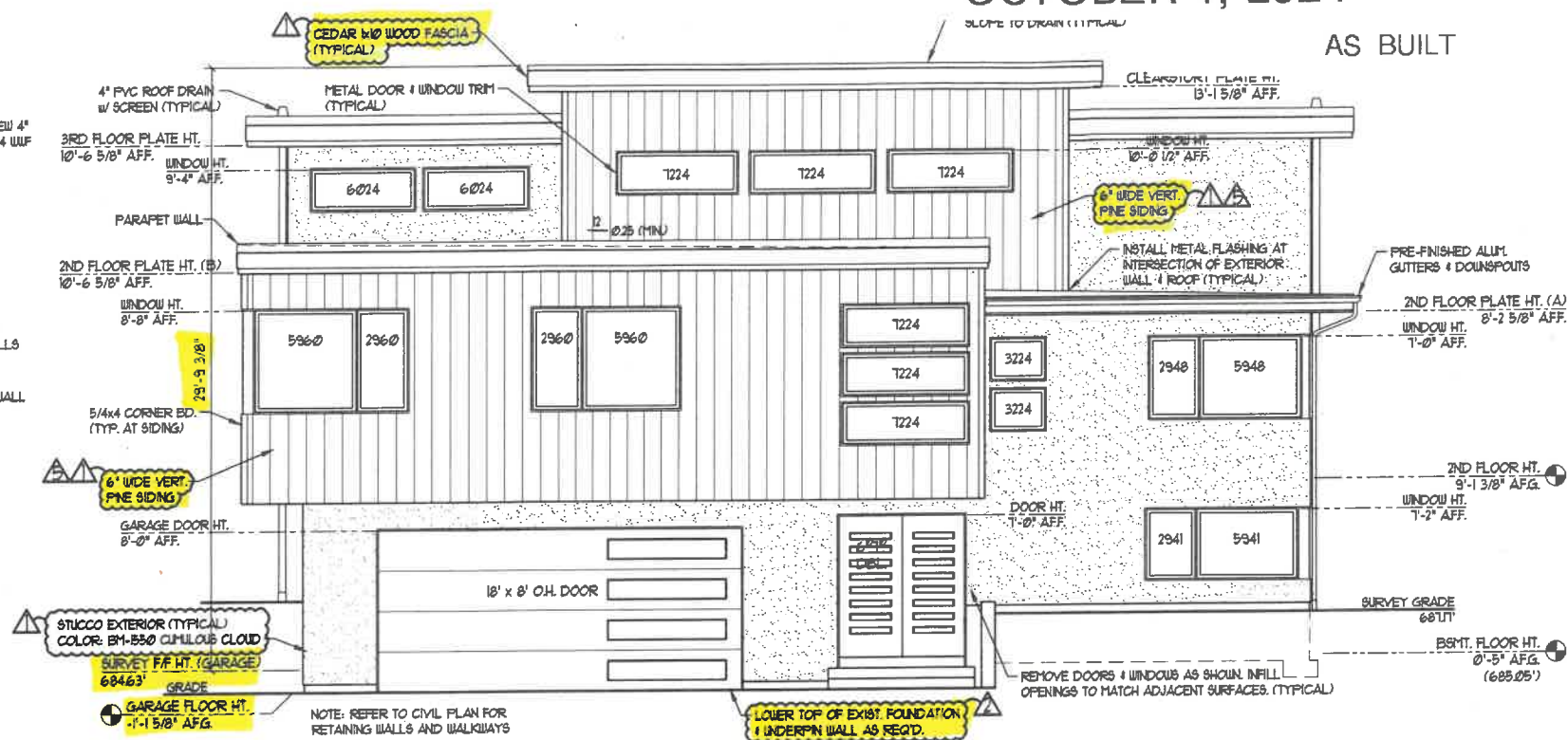
AS BUILT



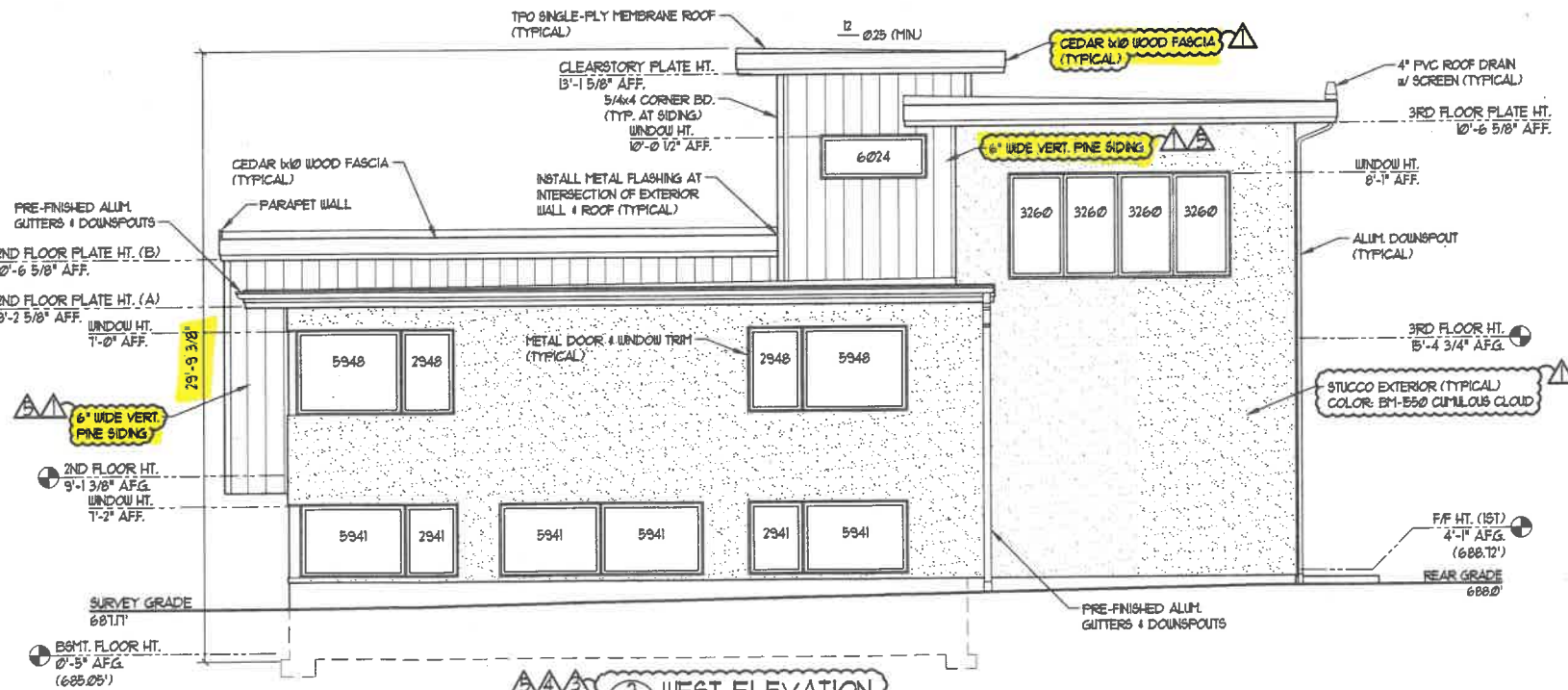
4 TYP. FOUNDATION BULKHEAD DETAIL
A-5 SCALE: 3/4"=1'-0"



3 TYP. CANTILEVERED WALL SECTION OVER GARAGE
A-5 SCALE: 3/4"=1'-0"



1 NORTH ELEVATION
A-5 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
A-5 SCALE: 1/4"=1'-0"

architectural services
WWW.AKLARCH.COM

AKL

BLACKHOUSE
821 NORTHMOOR RD.
LAKE FOREST, IL 60045

BUILDING ELEVATIONS
TYP. CANTILEVER WALL SECTION
BDN. BULKHEAD DETAIL

NO.	REVISION DESCRIPTION	DATE
1	PERMIT REVIEW	10/01/24
2	AS-BUILT REVISION	10/02/24
3	D.V. PREPARE	10/04/24
4	BUILDING HEIGHT	10/04/24
5	BUILDING HEIGHT	10/04/24

DATE: 10/01/24
DRAWN: R/F
CHECKED: N/S
PROJ. NO.: 21079

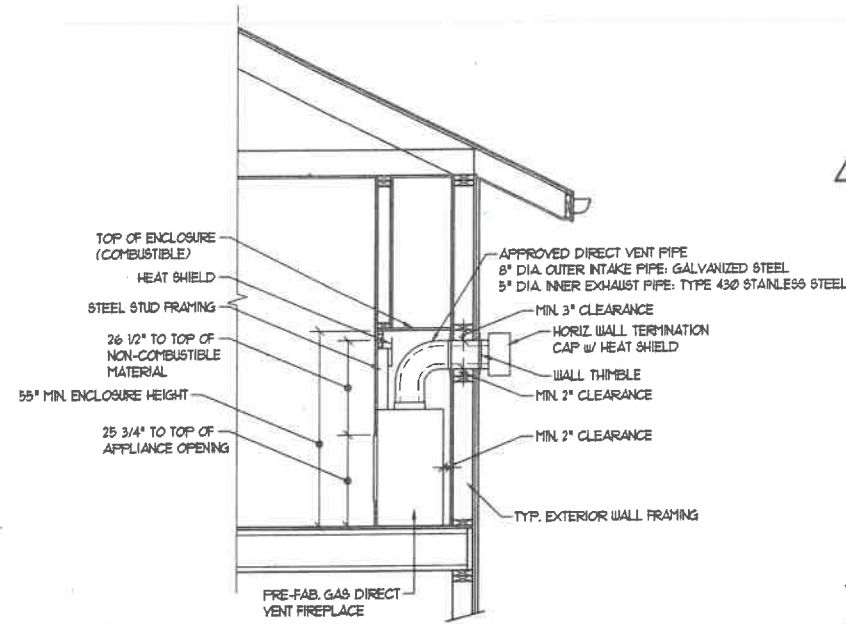
A-5
SHEET NO.:

34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025

SCALE: AS NOTED

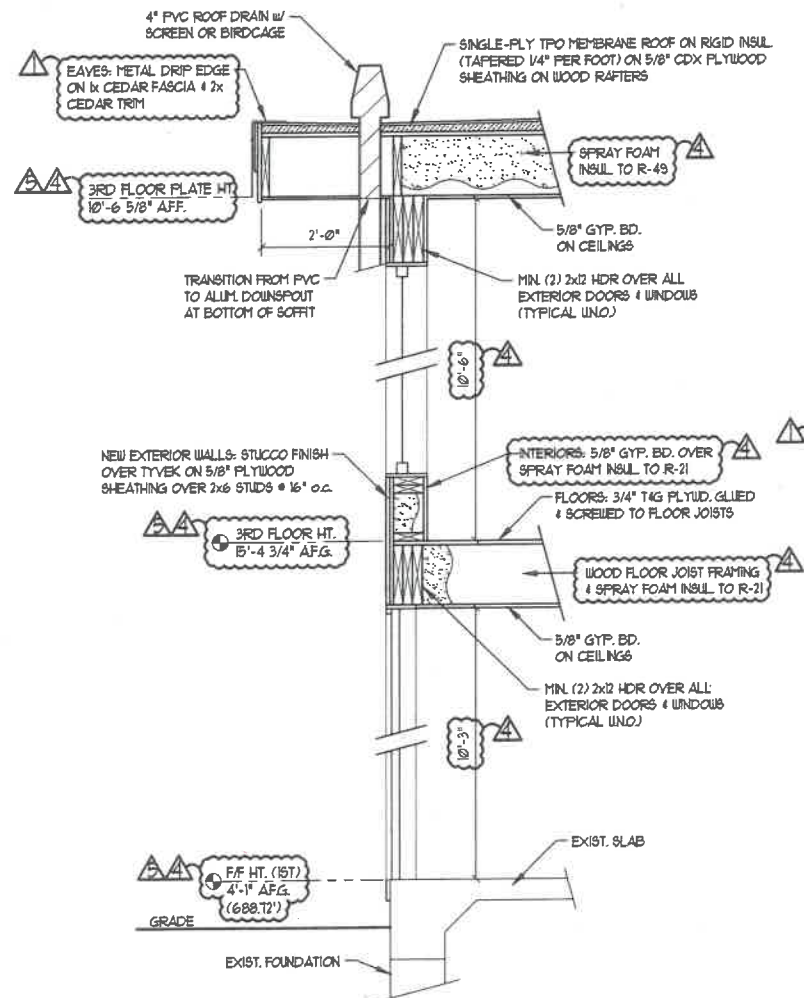
SOUTH AND EAST ELEVATION

OCTOBER 1ST 2024



D.V. FIREPLACE NOTE:
DETAIL INDICATES TYPICAL CLEARANCES FOR DIRECT VENT FIREPLACE INSTALLATION.
REFER TO MANUFACTURER SPECIFICATIONS FOR REQUIRED CLEARANCES.

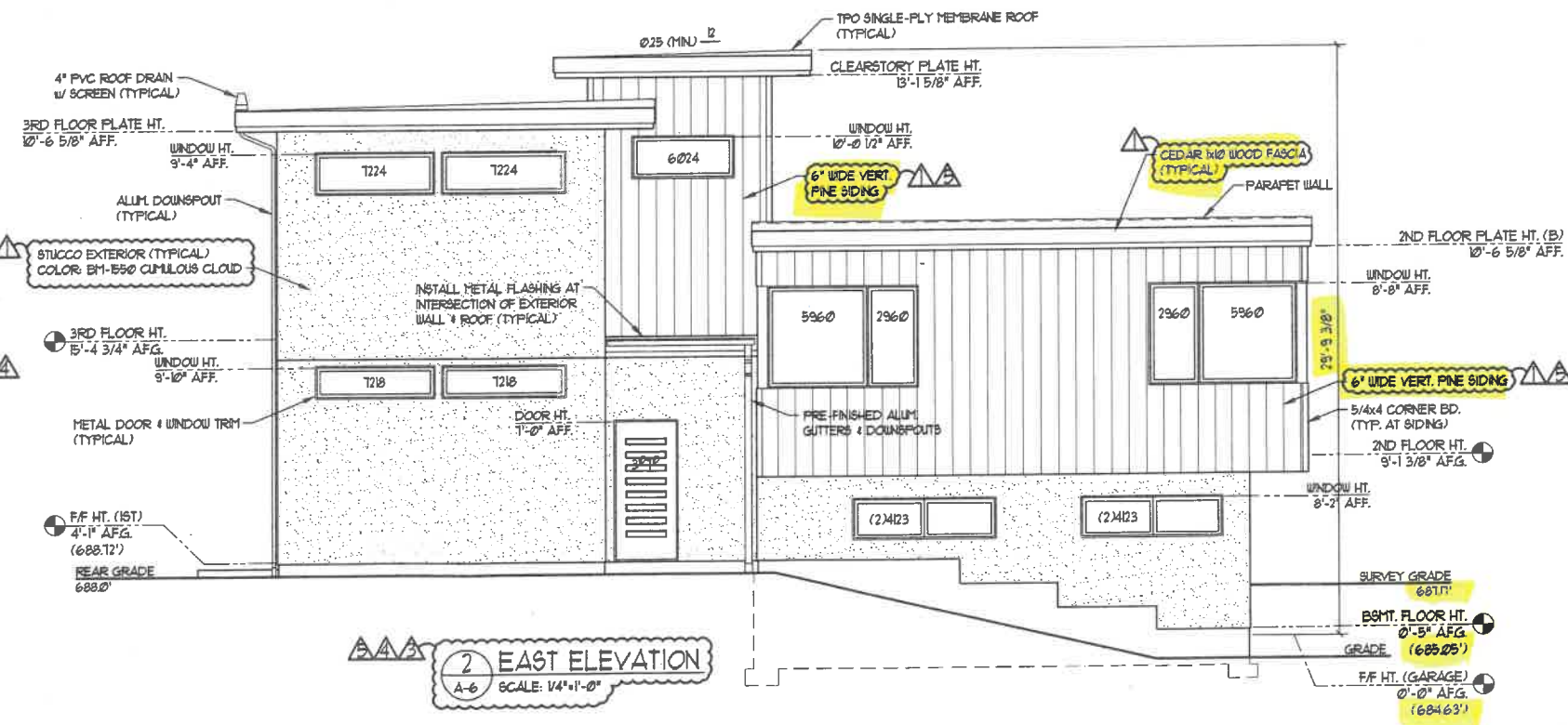
4 TYP. D.V. FIREPLACE DETAILS
A-6 SCALE: 1/2"=1'-0"



3 TYP. REAR WALL SECTION
A-6 SCALE: 3/4"=1'-0"



SOUTH ELEVATION
A-6 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
A-6 SCALE: 1/4"=1'-0"

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BLACKHOUSE
821 NORTHMOOR RD.
LAKE FOREST, IL 60045

BUILDING ELEVATIONS
TYP. REAR WALL SECTION
TYP. D.V. FIREPLACE DETAILS
SCALE: AS NOTED

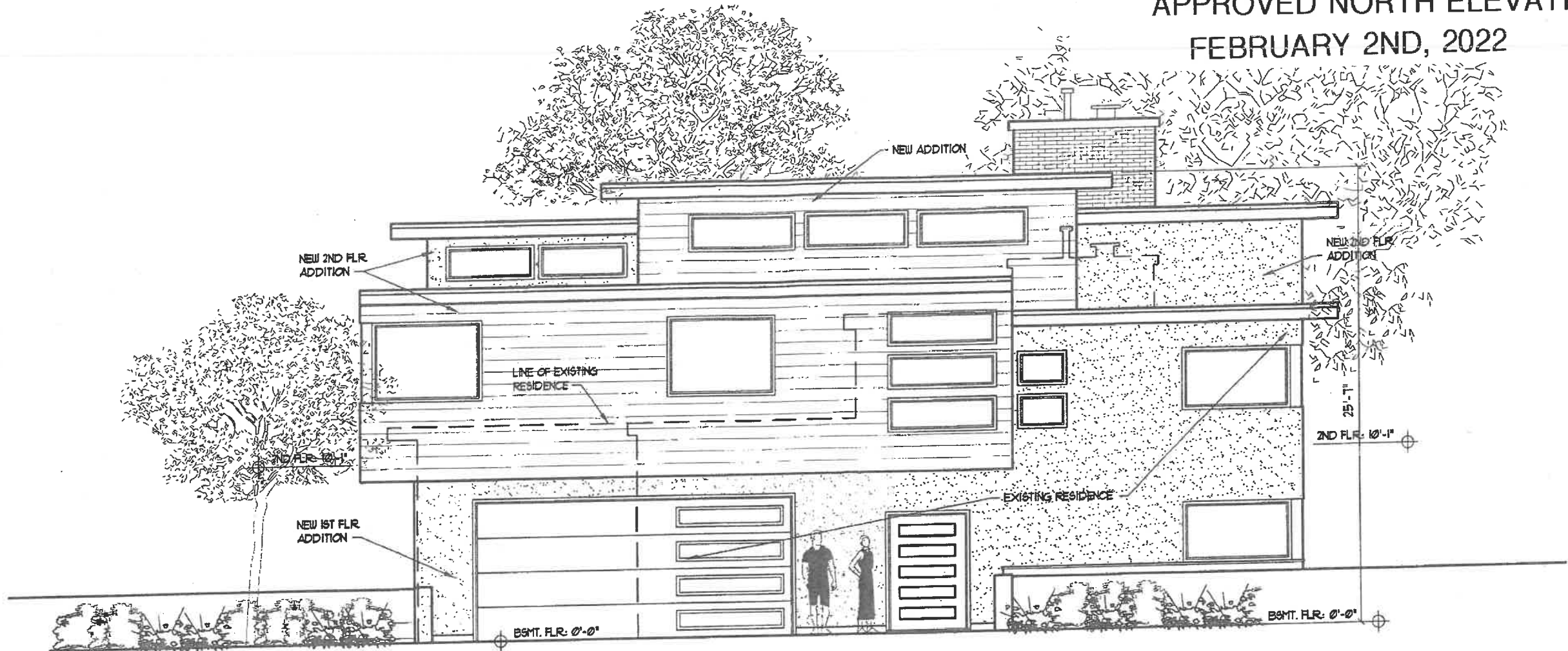
NO.	REVISION DESCRIPTION	DATE
1	PERMIT REVIEW	5/9/23
2	AS-BUILT REVISION	3/28/23
3	D.V. FIREPLACE	4/8/24
4	BUILDING HEIGHT	5/17/24
5	BUILDING HEIGHT	10/04

DATE: 3/28/24
DRAWN: R.F.
CHECKED: N.G.
PROJ. NO.: 21079

A-6
SHEET NO.:

**Approved Materials from the February 2nd, 2022
Building Review Board Meeting**

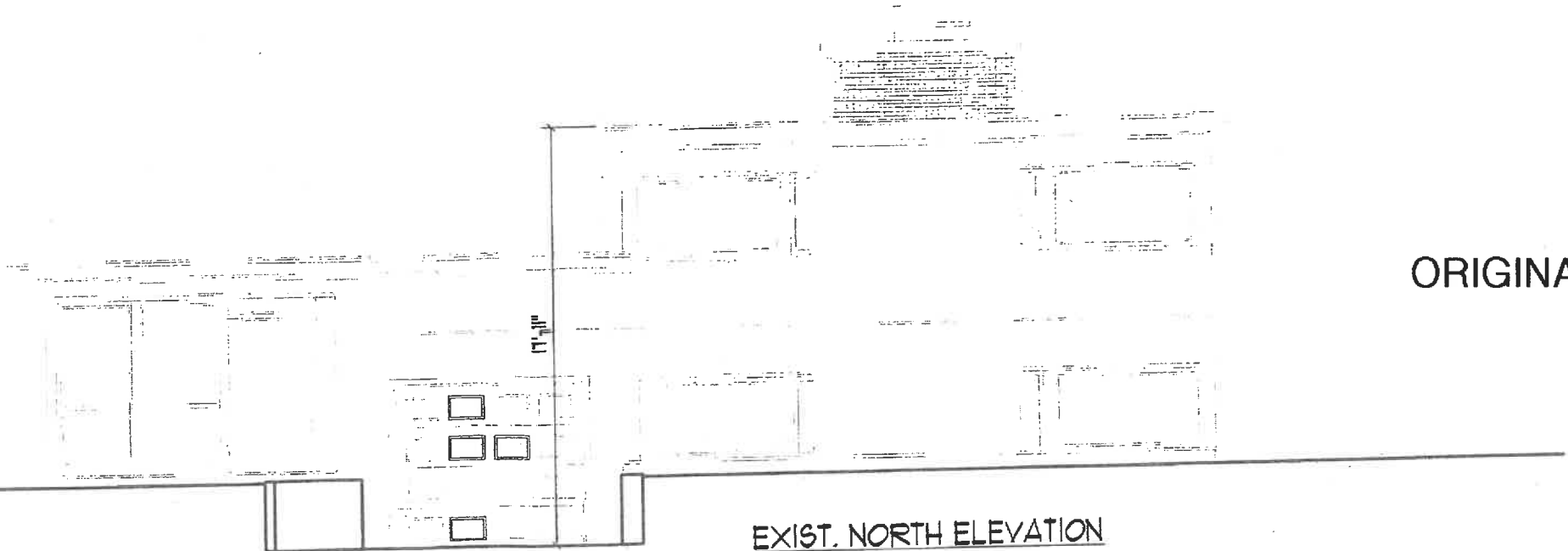
APPROVED NORTH ELEVATION
FEBRUARY 2ND, 2022



PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

DATE: 1/24/22

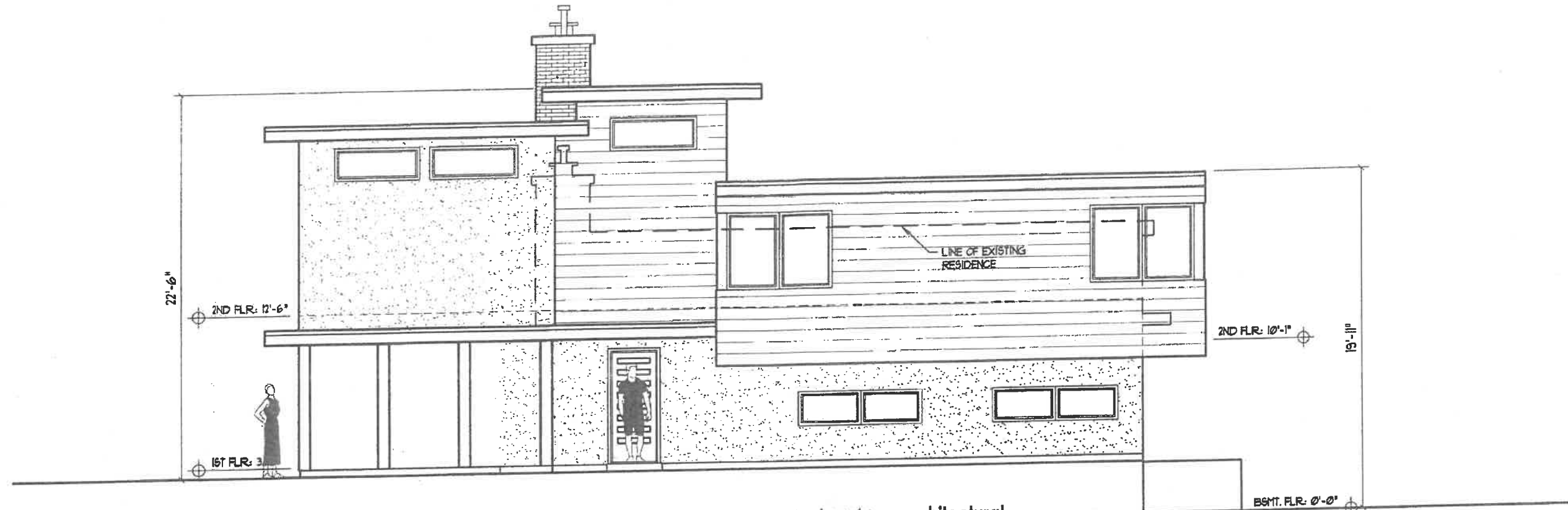
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ORIGINAL

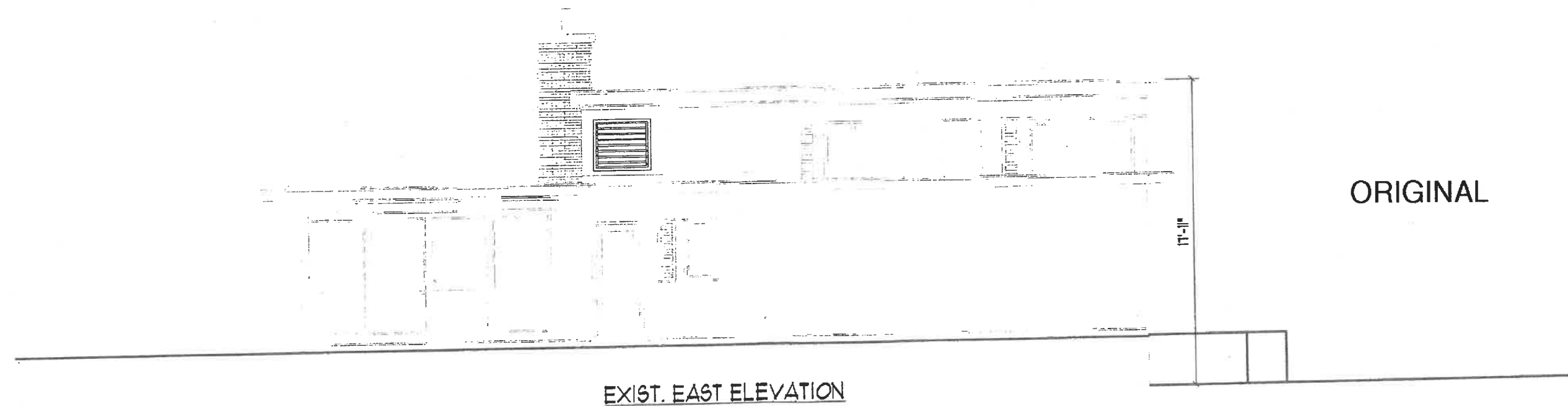
EXIST. NORTH ELEVATION

APPROVED EAST ELEVATION
FEBRUARY 2ND, 2022



PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0" DATE: 12/20/21

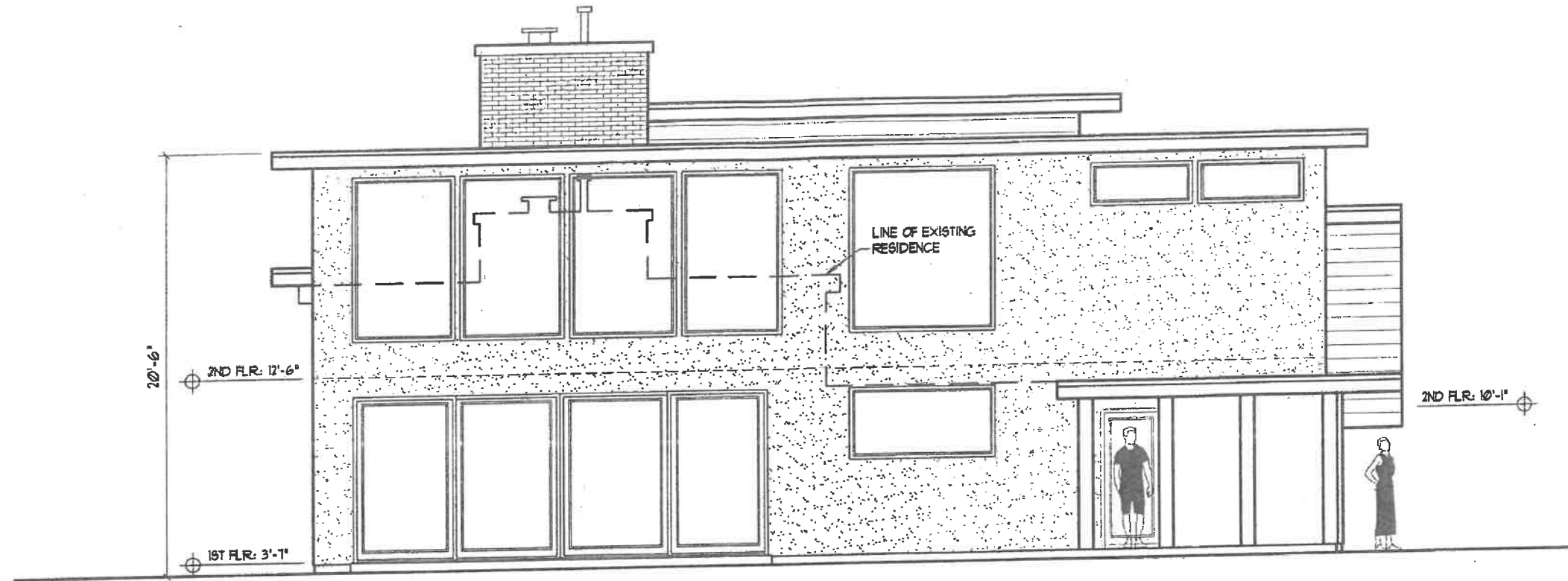
AKL architectural services
WWW.AKLARCH.COM
3421 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



ORIGINAL

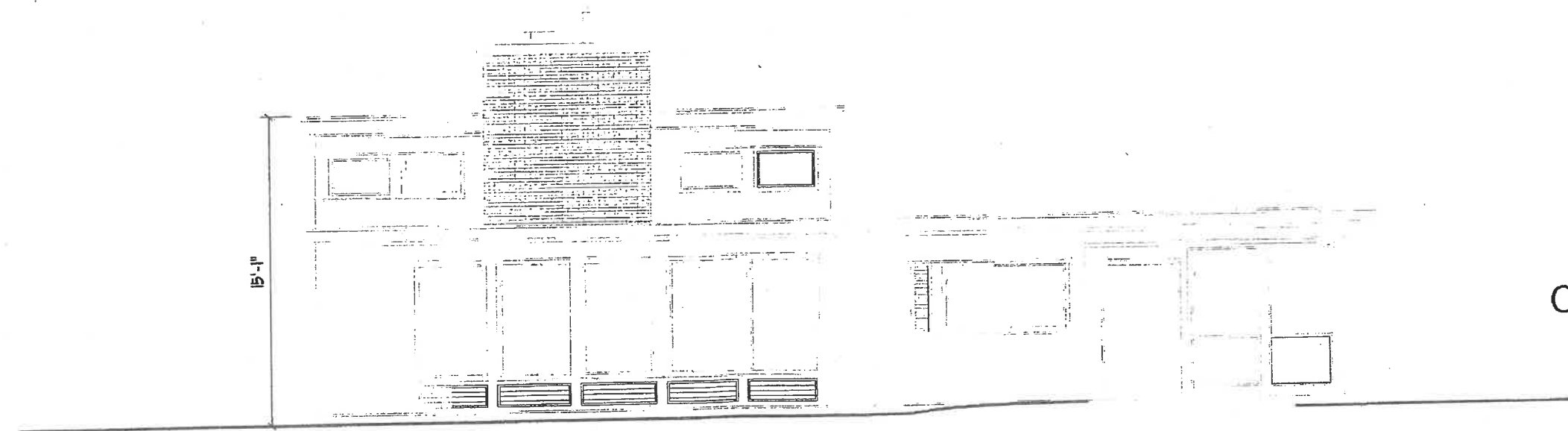
EXIST. EAST ELEVATION

APPROVED SOUTH ELEVATION
FEBRUARY 2ND, 2022



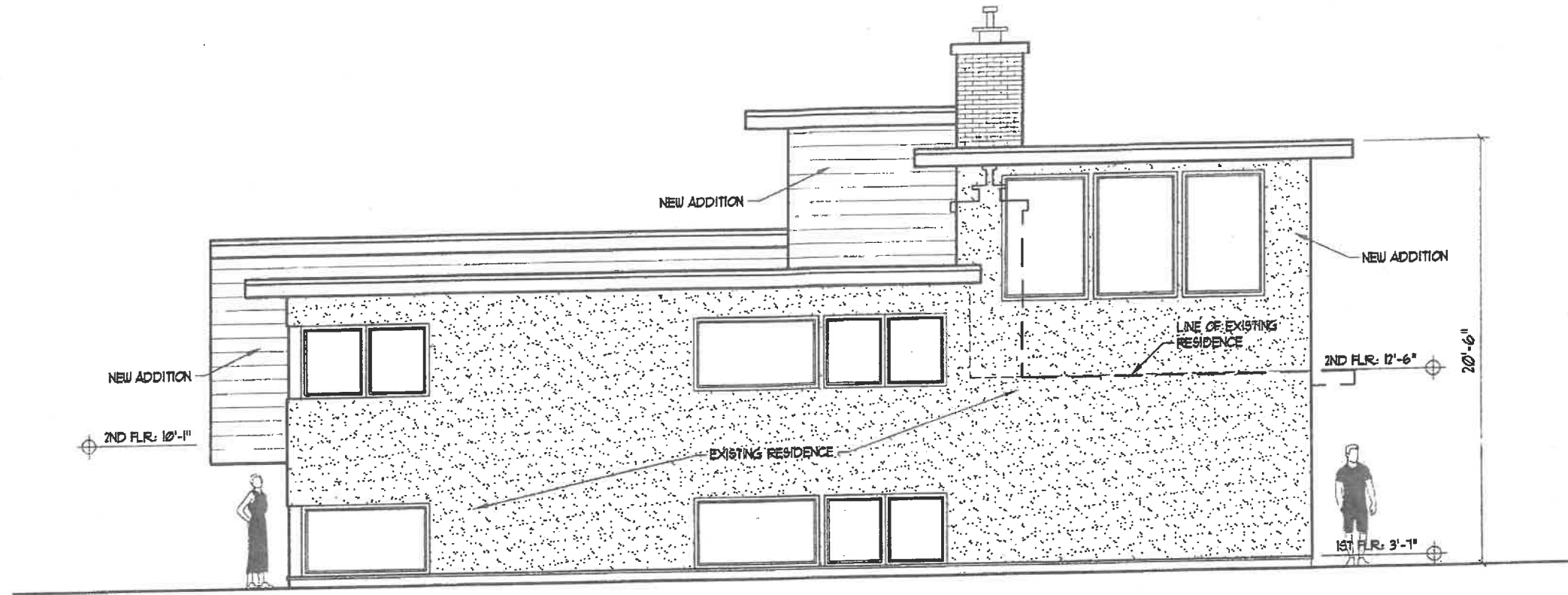
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0" DATE: 12/20/21

AKL architectural services
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34121 N. U.S. RT. 45, SUITE 209, GRAYSLAKE, ILLINOIS 60030 847.356.8025



EXIST. SOUTH ELEVATION

ORIGINAL

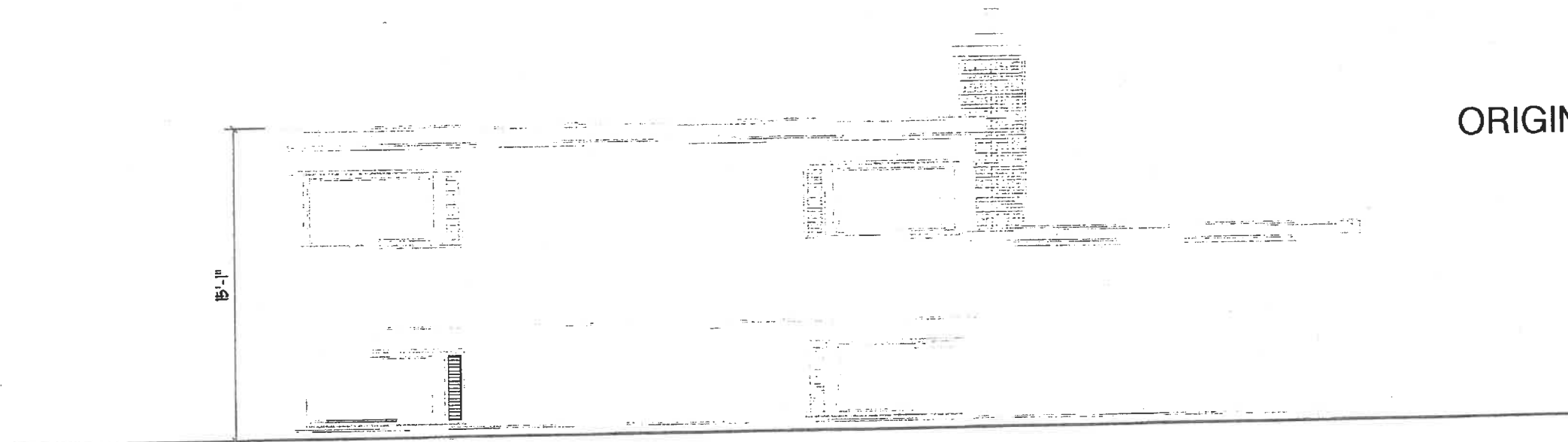


BGMT. FLR: 0'-0"

PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0" DATE: 12/20/21

AKL architectural services
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ORIGINAL



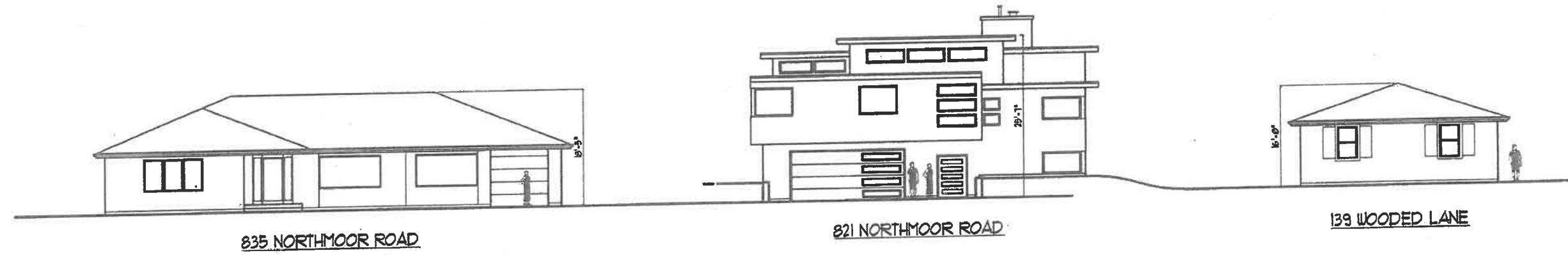
EXIST. WEST ELEVATION





APPROVED

STREETSCAPE ELEVATION
FEBRUARY 2ND, 2022



Agenda Item 4
980 Mellody
**Continued consideration of demolition, alterations, first floor additions, and
hardscape and landscape plans.**

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Demolition Plans
Elevations
 Existing Elevations
 Proposed Elevations
 Elevation Overlays
Renderings
Roof Plan
Building Section
Floor Plans
Landscape Plan

Materials Submitted by Petitioner – February 5th, 2025 Meeting

Site Plan
Elevations
Renderings

*Materials shown in italics are included in the Board packet only. A complete copy of the
packet is available from the Community Development Department.*

980 Melody Road

Continued consideration of substantial demolition, alterations, first floor additions and the associated hardscape and landscape plans.

Property Owner and Project Representative: Karl Svensson

Staff Contact: Luis R. Prado, Assistant Planner

Summary of Request

This is a continued request for a recommendation in support of substantial demolition, alterations, first floor additions, hardscape and landscape plans.

The Board reviewed this petition and provided comments and direction to the petitioner at the February 5th, 2025, Building Review Board meeting. In response to the comments and direction offered by the Board, the petitioner made several changes to the design of the home. The plans are presented to the Board for further review and action.

Description of Property

The property is located at the northwest corner of Waukegan Road and Melody Road, fronting on Melody Road. The existing home is a single-story ranch house built in 1955. The house has remained unoccupied since 2023, interior walls were demolished during unpermitted work by the previous owner and a structural report identified the need for significant repairs to and reinforcement of the foundation due to cracks and bowing that were identified. This work must be permitted, inspected, and completed before work on alterations and additions can begin. Cracks in the exterior brick walls are visible throughout as well.

The house in its present state appears to meet the criteria for complete demolition given the overall deterioration and the interior demolition that has already occurred.

Review of the Board Comments from the Last Meeting

A summary of the comments and direction offered at the last meeting is provided below. **Staff commentary on how the petitioner responded to the direction of the Board is in bold**

1. Conduct further study of the merits of working with the existing structure in comparison to the quality of the end product that may be achieved by demolishing the existing residence and constructing a new residence. *Note: Demolition of 50% or more of the existing structure overall including, but not limited to walls, roof, mechanicals, exterior materials, windows, and doors, is considered a complete demolition for purposes of calculating applicable fees.*
The petitioner is electing to continue forward with additions and

alterations to the existing home, resulting in significant, but not complete, demolition of the home.

Given the extent of work proposed on the house, a complete demolition and construction of a replacement residence, without the limitations of trying to work around the limited components of the existing residence that are identified as remaining, will likely produce a higher quality end product.

2. If limited portions of the existing residence are proposed to remain, conduct further study and refinement of the proposed alterations and additions with consideration given to, but not limited to, the following:

Overall

- a. Refine all elevations to achieve a more regular pattern and proportional arrangement of windows and solid walls to more closely align with the City's Residential Design Guidelines.
 - Add two windows to the mudroom to align with the windows on the garage.
 - Add a window in the closet on the rear elevation.
 - Use a double window in the breakfast room.
 - Improve the proportions of the windows on the side elevations.

The arrangement and proportionality of the windows and solid walls, with a completely new design, more closely aligns with the City's Residential Design Guidelines. However, further refinement of the east and west elevations could benefit the overall design.

- b. Locate the master bedroom on the east side of the home and allow the garage to buffer the home from Waukegan Road.

The master bedroom remains on the side of the home closest to Waukegan Road.

- c. Eliminate the second floor and maintain the one-story ranch style.
The second floor is eliminated in the new design.

- d. Align the wings of the house to the central mass with respect to the proportions, massing, and symmetry.

The single-story design addresses concerns of proportionality, massing and symmetry that the Board previously expressed about the previous design.

- e. Soften the elevations overall to appear less stark.

The ranch style design softens the stark appearance of the previous design.

Front Elevation

- f. Lower the two-story gabled front entrance to match the fascia line of the second story element or make the height of the entrance a story and a half.

Eliminating the second-floor responds to Board direction pertaining to the front entrance and fascia line of the second story element.

- g. Articulate the front entrance to create more interest, for example by recessing the front door to create shadow lines.

The front entrance is now less detailed than previously proposed however, it is more prominent than the existing front entrance.

- h. Eliminate or lower the gabled dormers on either side of the entrance to simplify the massing and roof forms.

The gabled dormers are removed.

- i. Lower the height of the stone on the front elevation and integrate the stone element into all elevations for consistency.

The stone element is lowered on the front elevation and integrated onto all sides of the home.

Side Elevation

- j. Remove or refine the dormer blocking the second story study room window.

The dormer is removed.

Rear Elevation

- k. Eliminate the second-floor cantilevered gable element on the rear.

This comment is addressed by removing the second floor.

Staff Review Comments

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

The existing footprint will be expanded with two rear additions. The interior of the home is being completely rebuilt due to previous interior demolition, and the new additions, expanding the footprint about 26 feet to the north, will accommodate a new primary bedroom suite, family room and kitchen. Two rear decks and a slate tile patio are proposed.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,722 square feet is permitted on the site with an allowance of 600 square feet for a garage and 472 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 2,444 square feet.
- The proposed addition adds 978 square feet.
- 30 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 3,422 square feet, 1,300 square feet or 28 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 16 feet and is below the allowable height of 35 feet for the property.

In conclusion, the residence totals 3,422 square feet, 1,300 square feet or 28 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 16 feet and is below the allowable height of 35 feet for the property.

Elevations – This standard is met.

In response to comments from the Board, the petitioner is making significant changes to the design originally proposed. The house is now one story, the elevations appear less stark and the pattern and proportional arrangement of windows and solid walls more closely aligns with the City's Residential Design Guidelines. Further attention should be given to the proportions of the openings to solid walls on the east and west elevations. Overall, the changes better maintain the character of the original ranch style home and the product fits more quietly into the neighborhood than the design previously proposed.

Staff Recommendation: Refine the relationship of the windows to solid walls on the east and west elevations.

Type, color, and texture of materials – This standard is met.

The siding will be an off-white true cement stucco. The color of the stucco is proposed to be grey-toned stone. Samples will be provided at the meeting. The stucco will be placed directly over the existing brick. The existing stone on the front façade will remain. In response to comments made by the Board, the stone band on the front façade is lowered to better fit the elevations and continues onto the other sides of the home.

The windows are black aluminum clad casement windows with no muntins. Wood and limestone trim are proposed for the doors and windows. Aluminum is proposed as a soffit material. Asphalt shingles are proposed for the roof material. The gutters will be aluminum and the chimney will be stucco.

Staff Recommendation: The chimney shall be masonry rather than stucco as a distinctive feature.

Landscaping – This standard can be met.

The lot is wooded with thick vegetative screening, including buckthorn, along the west property line bordering Waukegan Road. New plantings are proposed around the foundation of the home. Three trees are proposed for removal to improve the integrity of the foundation of the structure. Currently, the plan does sufficiently demonstrate inch for inch replacement of the proposed trees for removal. The plan shall demonstrate how the replacement inches will be replanted or, if approved by the City's Certified Arborist, a fee in lieu of some of the inches may be accepted at the time the permit is issued.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

Recommendation

Recommend approval of substantial demolition, alterations, first floor additions and the associated hardscape and landscape plans subject to the following conditions.

1. Conduct further study of and refine the windows in relation to the solid walls on the east and west elevations.

2. The chimney shall be masonry.
3. Submit a structural evaluation from an independent structural engineer providing an assessment of the structural condition of the building after completing the proposed work to repair and reinforce the existing foundation and structure. All required permits shall be obtained for structural repair work, and inspections successfully completed. The updated structural evaluation shall be submitted to the City before the plans approved by the Building Review Board proceed to permit.
4. Plans submitted for permit shall clearly document the extent of all proposed demolition activity. If the extent of demolition constitutes more than 50% of the home in total as calculated by the City, the project will be considered a complete demolition for purposes of calculating the fees.
5. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
6. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree survey shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required

replacement tree inches to account for trees removed to the extent possible using good forestry practices. If on site planting of the required replacement inches is not feasible, at the discretion of the City, a payment in lieu of on site planting may be accepted by the City. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

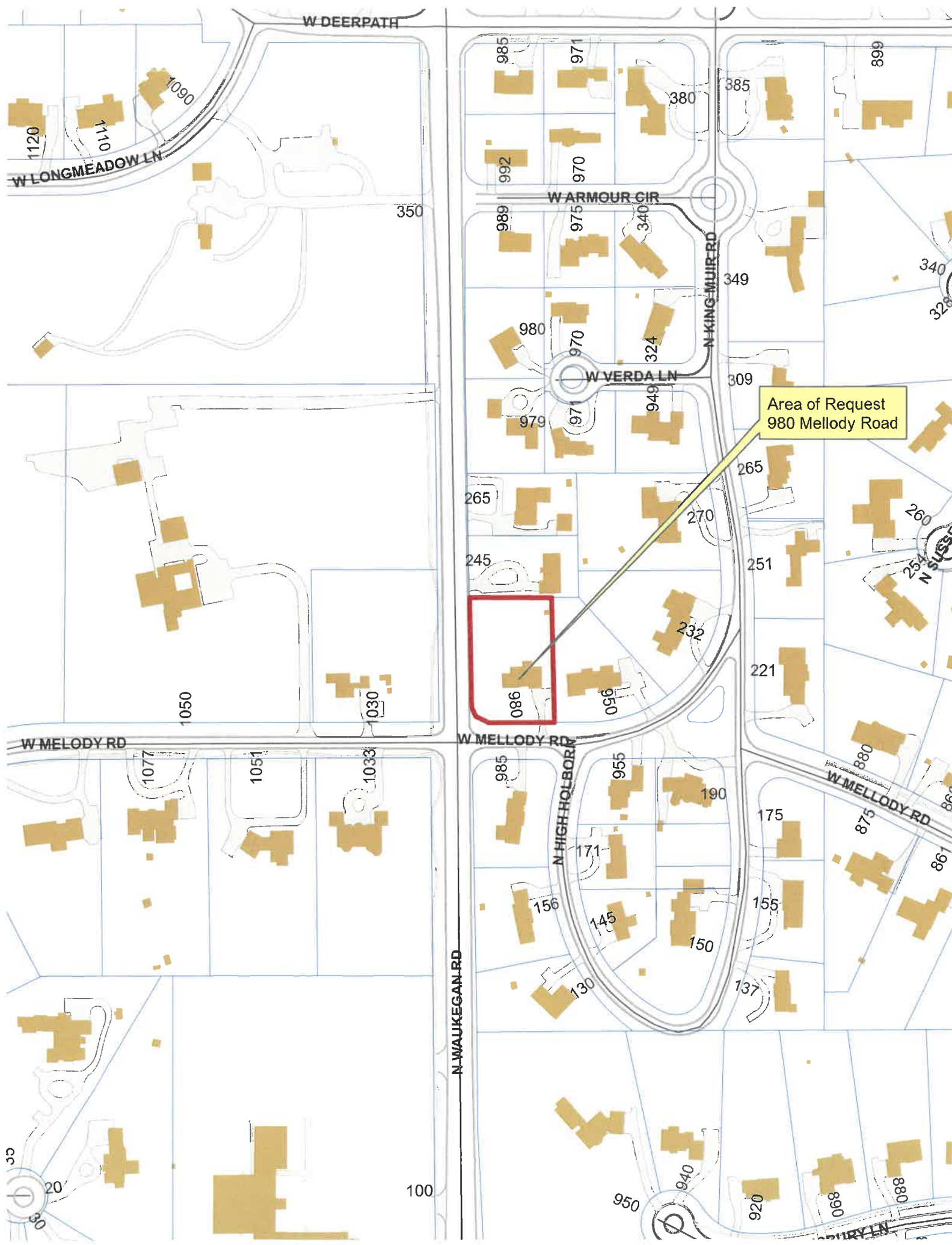
- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No construction access, parking, or staging is permitted on Waukegan Road. Mellody Road must remain fully passable, unobstructed and free of dirt and debris at all times.



Area of Request
980 Mellody Road

N WAUKEGAN RD

W DEERPETH

W LONGMEADOW LN

W ARMOUR CIR

W VERDA LN

N KING MUIR RD

W MELODY RD

W MELODY RD

N HIGHHOLBORN

W MELODY RD

...RY LN



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 980 Melody Rd

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Karzatron Holdings LLC

Owner of Property

1565 W Everett Rd

Owner's Street Address (may be different from project address)

Lake Forest, IL, 60045

City, State and Zip Code

651-485-7622

Phone Number

Fax Number

karzatron@gmail.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Andy Kacprzynski

Name and Title of Person Presenting Project

Pro-Plan Architects PC

Name of Firm

705 Devon Ave

Street Address

Park Ridge IL 60068

City, State and Zip Code

773-733-2675

Phone Number

Fax Number

andy@proplanarchitects.com

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material Off white stucco, light grey-toned stone

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish black

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other Aluminum Soffit

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other Concrete _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other Asphalt Shingles (architectural) _____

Flashing Material

- Copper
- Sheet Metal
- Other Aluminum _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other slate tiles _____

Building Review Board
City of Lake Forest
Community Development Department
800 Field Drive
Lake Forest, IL, 60045

RE: Statement of Intent
980 W Mellody Road, Lake Forest

Dear Commissioners,

Following our presentation at the February meeting, we have carefully reviewed the feedback the Board provided and have amended our proposed project accordingly. Our intent is to renovate and modernize the existing midcentury structure, with a simplified and less contemporary design. Our updated design represents a significant improvement upon the existing structure, retains the feel and style of the original home, while simplifying and refining the elevations.

As recommended, we have eliminated the second story addition and are retaining a one-story ranch layout. This will reduce the challenges related to the massing of the wings and the center of the house. Many of the exterior design concerns, such as the cantilevered extension on the north elevation, the two-story entryway tower, and the placement of the dormers relative to the windows have naturally resolved with this change. Our modified design has windows that are more symmetrically placed on the façade.

We have retained a gabled wall dormer over the west wing of the home on the south elevation to provide architectural interest and balance with the gabled wall dormers on the rear of the home. The slope and design is consistent with other ranch homes in the area. The roofline has been raised to prevent low ceilings in the front bedrooms and an abnormally low garage entrance. To retain the midcentury feel, the fascia flows in a connected manner around the home. We retain the existing stone facade, although it will be lowered to window height, and extended to the rear of the home; mixing in stone that is as consistent as possible to retain a uniform look.

The floorplan has been reworked to be extremely functional and family friendly. It accommodates four bedrooms and laundry on the first floor, with a master suite addition located at the rear with a small private walk-out patio. An expanded kitchen and living area will replace the existing rear porch. This addition allows for a more modernized living area, with a walk-in pantry, dedicated dining area, and mudroom connected to the garage.

PROPOSED SITE PLAN

MAY 7, 2025

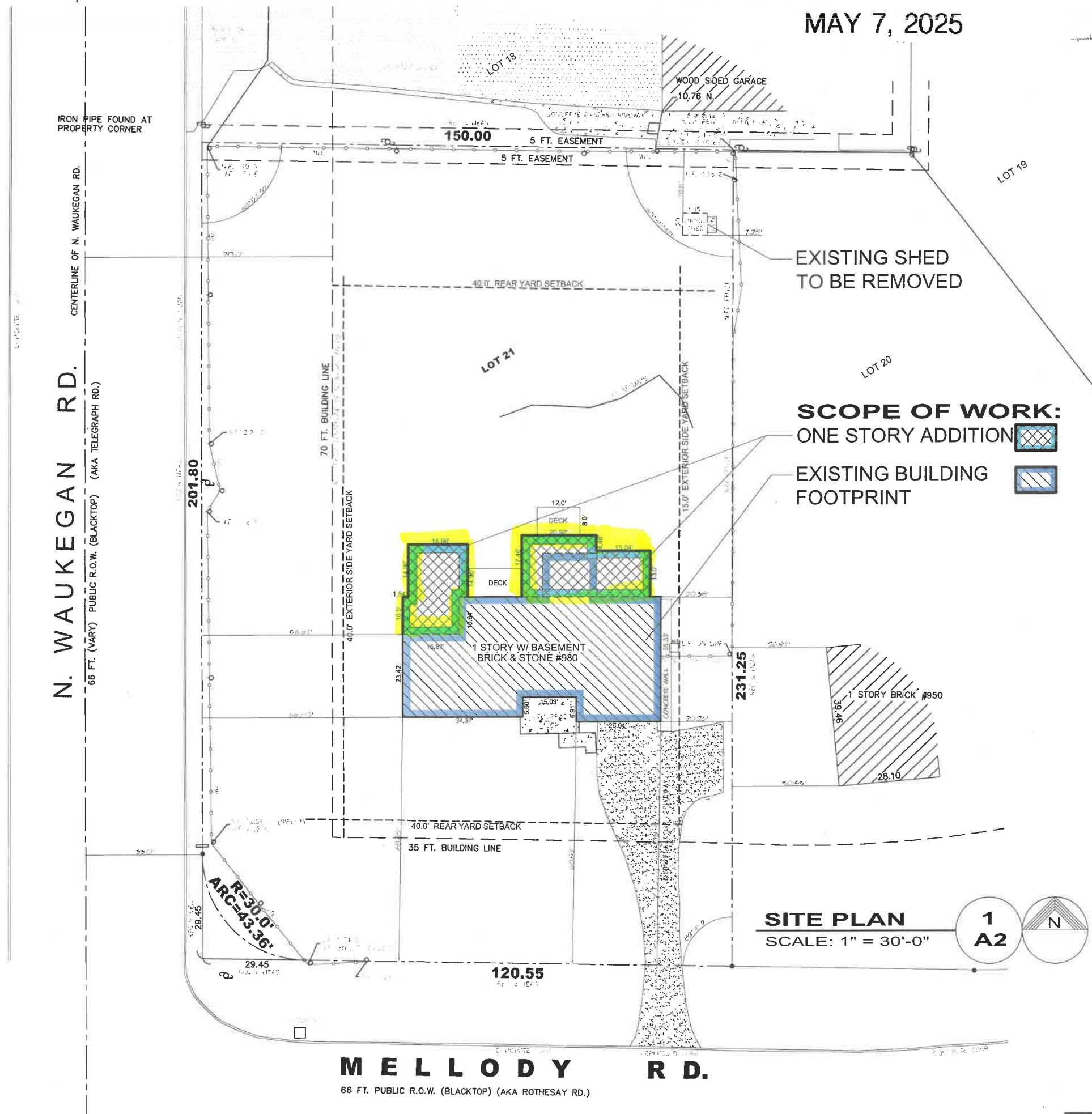
ISSUE DATES	
DATE	DESCRIPTION
03.21.2025	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
 andy kaczprzynski
 705 JOURNAL CENTER
 TEL: 773.733.2675
 ANDY@PROPLANARCHITECTS.COM

JOB NO	24090
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
 PROPOSED SITE PLAN
 2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

SHEET NO
A2



SCOPE OF WORK:
 ONE STORY ADDITION
 EXISTING BUILDING FOOTPRINT

SITE PLAN
 SCALE: 1" = 30'-0"

1
A2

MELLODY RD.
 66 FT. PUBLIC R.O.W. (BLACKTOP) (AKA ROTHESAY RD.)

N. WAUKEGAN RD.
 66 FT. (VARY) PUBLIC R.O.W. (BLACKTOP) (AKA TELEGRAPH RD.)



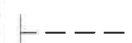

IRON PIPE FOUND AT PROPERTY CORNER

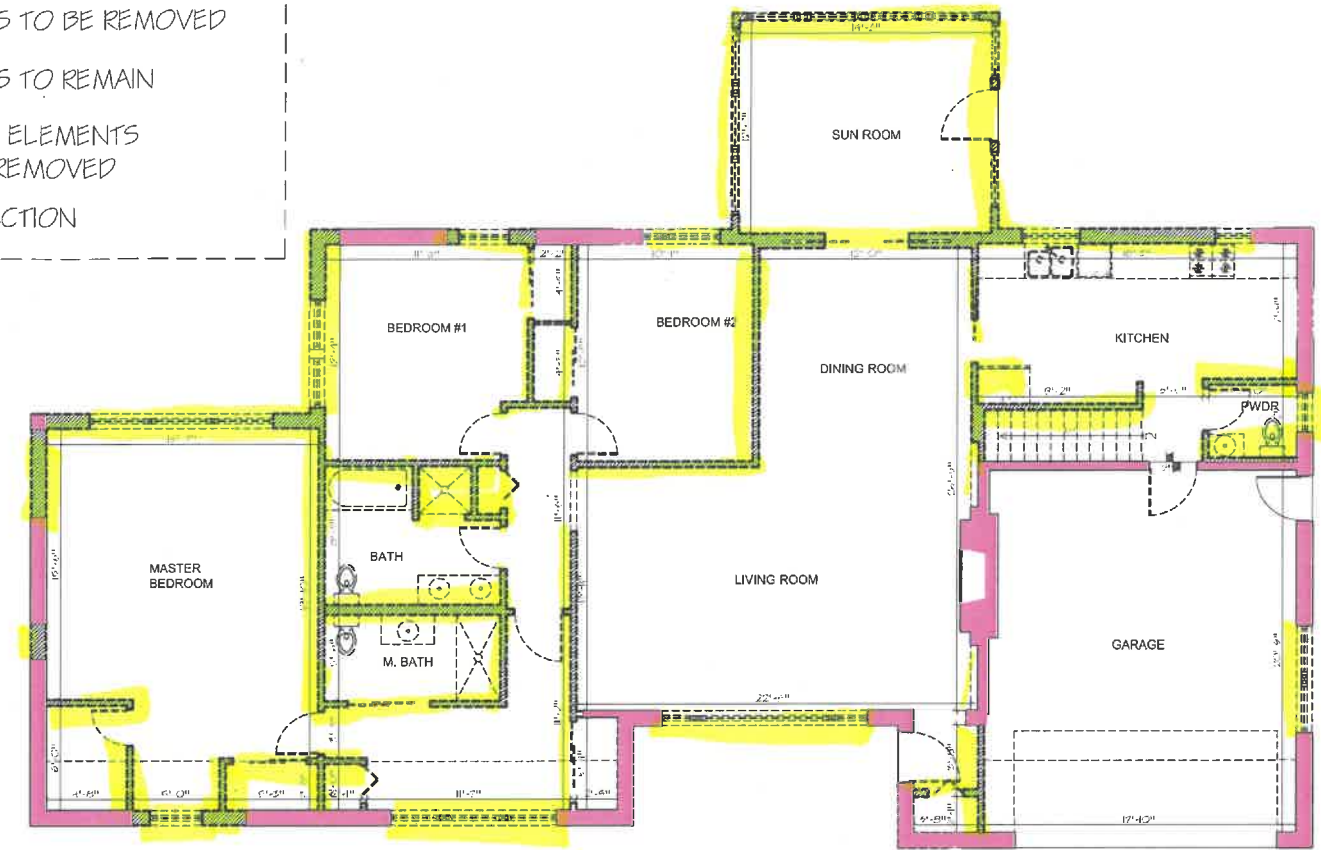
EXISTING FLOOR PLANS & DEMOLITION PLAN

MAY 7, 2025

LEGEND:

APPLIES ONLY TO EXISTING FLOOR PLANS

-  EXIST'G WALLS TO BE REMOVED
-  EXIST'G WALLS TO REMAIN
-  EXIST'G OTHER ELEMENTS THAT WILL BE REMOVED
-  NEW CONSTRUCTION

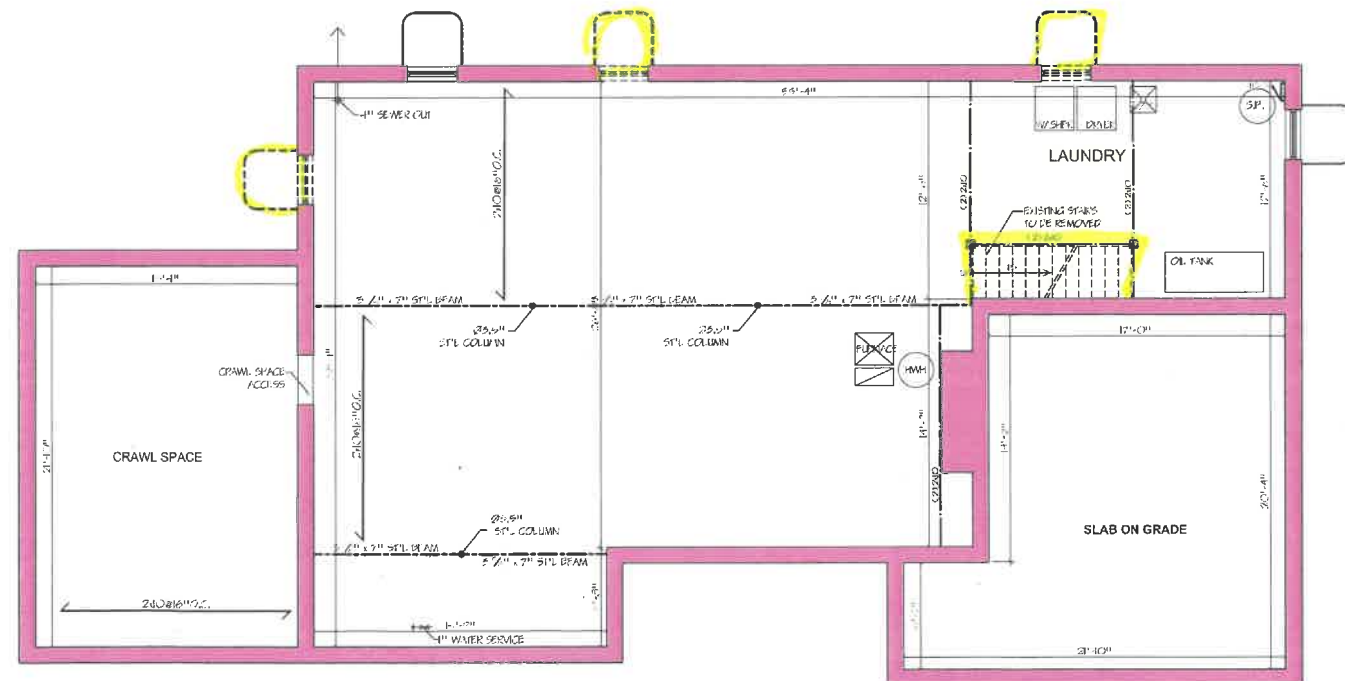


1st FLOOR PLAN- proposed

SCALE: 3/32" = 1'-0"



2
A13



BSMNT. & FNDN. PLAN- existing

SCALE: 3/32" = 1'-0"



1
A13

ISSUE DATES	
DATE	DESCRIPTION
03.21.2025	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, P.C.
 architects
andy kacprzynski
 705 devon ave park ridge il 60068
 tel 773 733 2675
 ANDY@PROPLANARCHITECTS.COM

JOB NO	24090
DRAWN BY:	ANDY KACPRZYNSKI

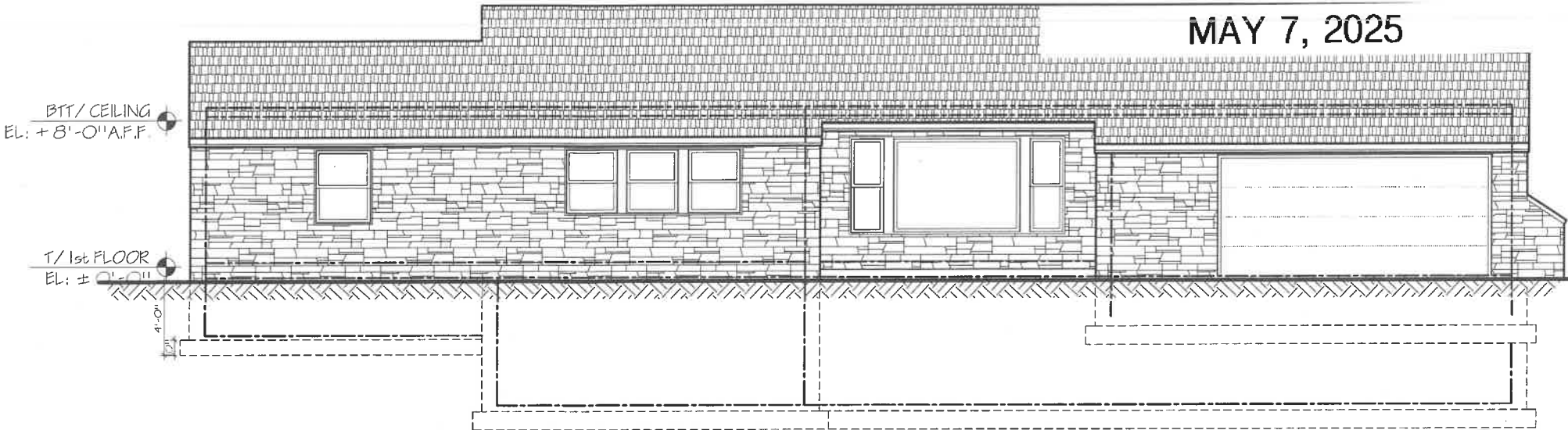
DRAWING LIST
 EXISTING FLOOR PLANS
 DEMOLITION PLAN
 2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

SHEET NO
A13

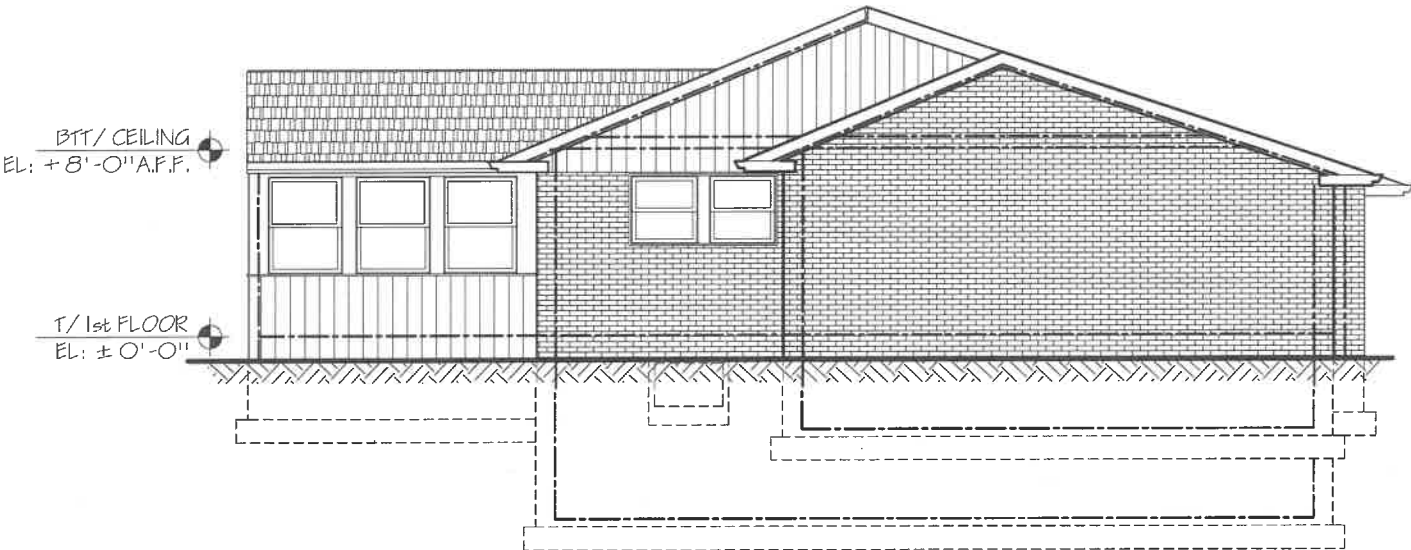


EXISTING ELEVATIONS

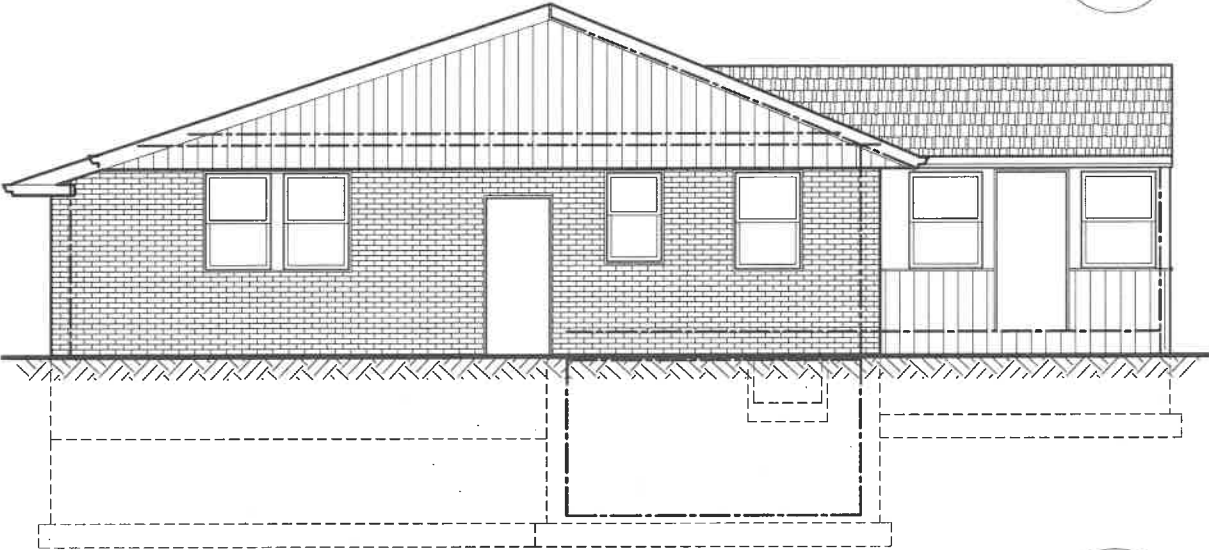
MAY 7, 2025



SOUTH ELEVATION - existing 1
SCALE: 1/8" = 1'-0" A3



WEST ELEVATION - existing 3
SCALE: 1/8" = 1'-0" A3



EAST ELEVATION - existing 2
SCALE: 1/8" = 1'-0" A3



NORTH ELEVATION - existing 4
SCALE: 1/8" = 1'-0" A3

ISSUE DATES	
DATE	DESCRIPTION
03.21.2025	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, P.C.
 andy kaczynski
 705 Devon Ave. #10068
 Tel: 773.733.2675
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090
 DRAWN BY:
 ANDY KACPRZYNSKI

DRAWING LIST
 EXISTING ELEVATIONS

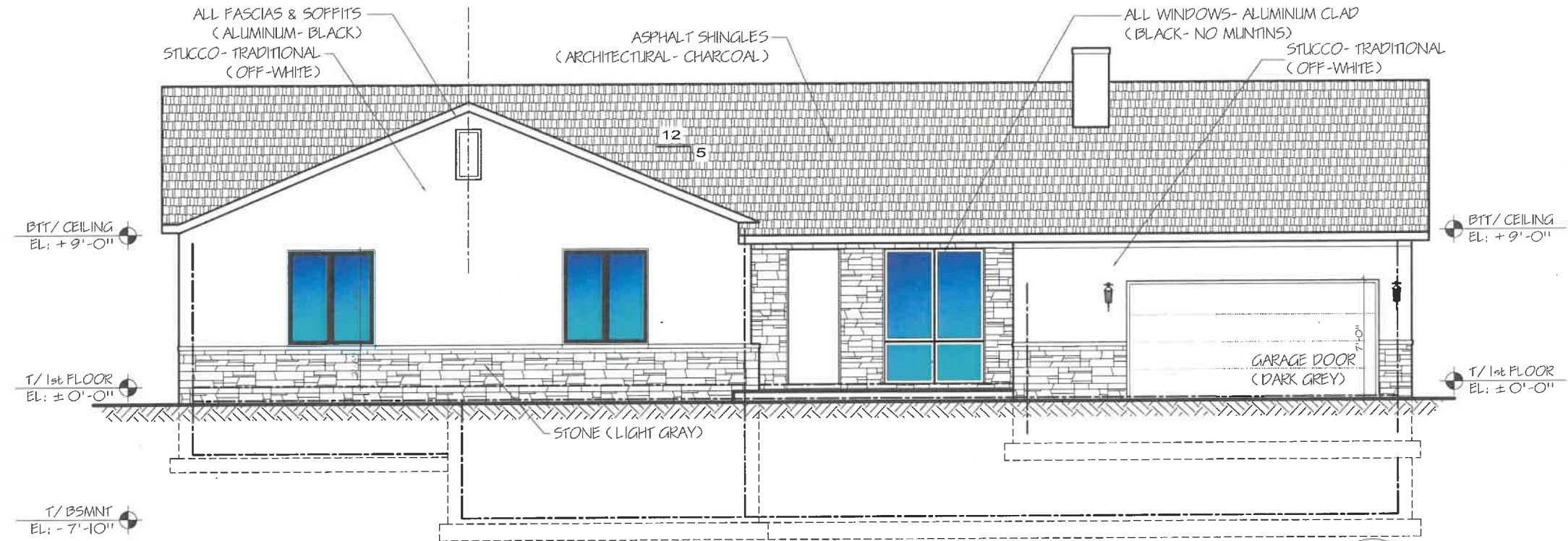
2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

SHEET NO
A3



PROPOSED SOUTH & EAST ELEVATIONS

MAY 7, 2025



SOUTH ELEVATION - proposed 1
A4
SCALE: 1/8" = 1'-0"



EAST ELEVATION - proposed 2
A4
SCALE: 1/8" = 1'-0"

ISSUE DATES	
DATE	DESCRIPTION
03.21.2025	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, P.C.
 andy kaczynski
 705 devon ave park ridge il 60068
 tel 773 733 2675
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090
 DRAWN BY: ANDY KACPRZYNSKI

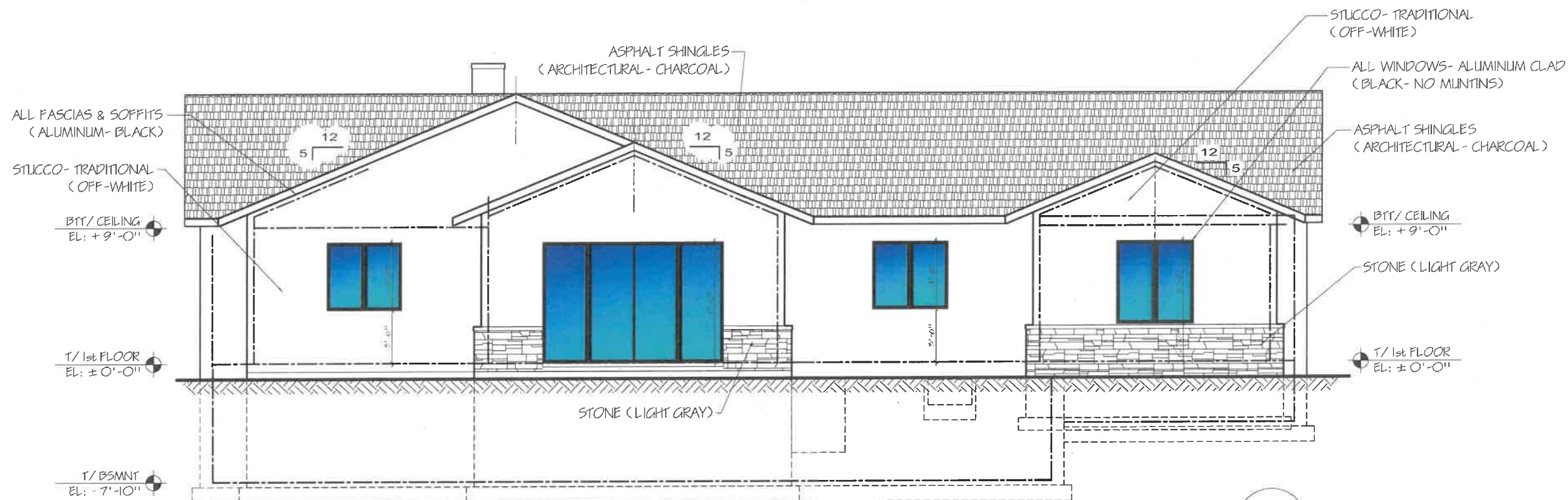
DRAWING LIST
 PROPOSED SOUTH ELEVATION
 PROPOSED EAST ELEVATION
 2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

SHEET NO
A4



PROPOSED NORTH & WEST ELEVATIONS

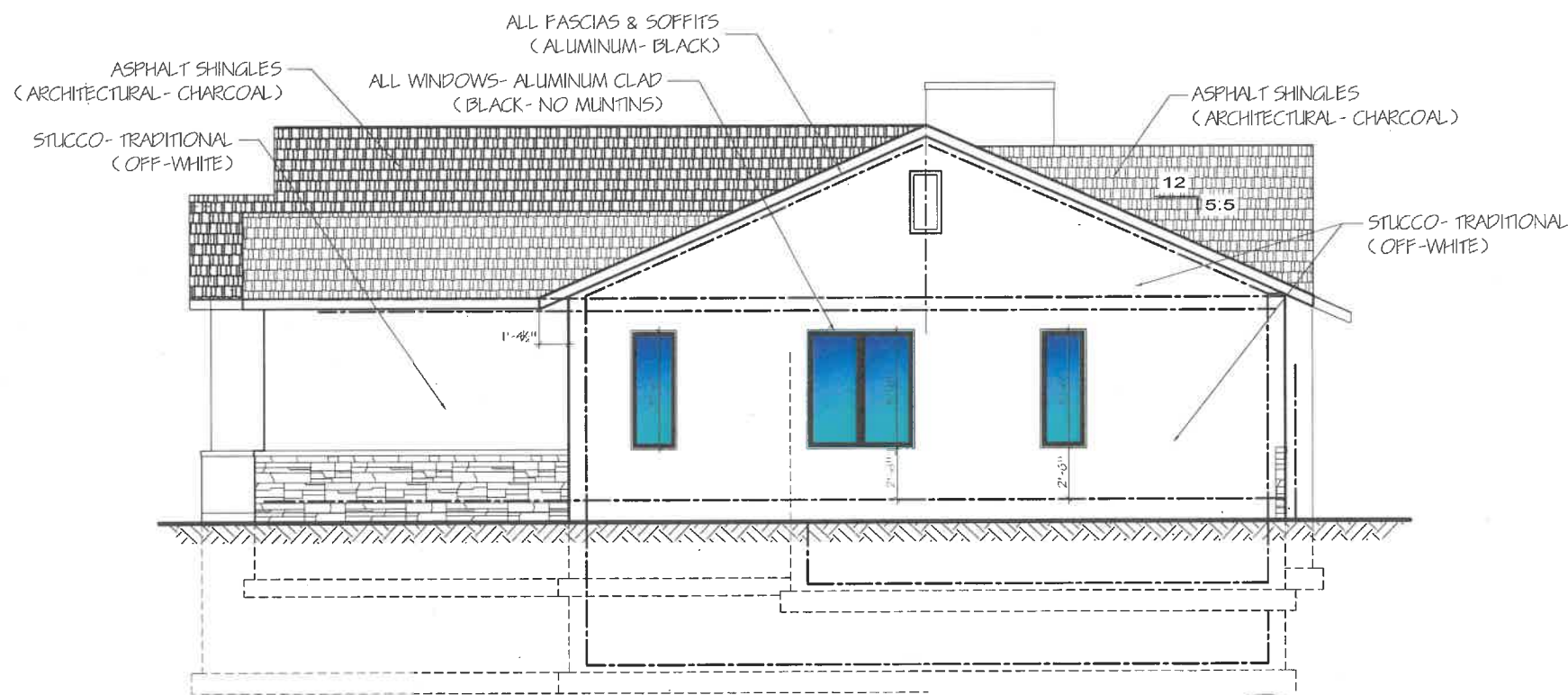
MAY 7, 2025



NORTH ELEVATION - proposed

SCALE: 1/8" = 1'-0"

1
A5



WEST ELEVATION - proposed

SCALE: 1/8" = 1'-0"

2
A5

ISSUE DATES	
DATE	DESCRIPTION
03.21.2025	PRELIMINARY PLANS

PRO PLAN ARCHITECTS, P.C.
 a n d r z e j k a c p r z y n s k i
 a r c h i t e c t
 705 86th St. #100
 Oak Park, IL 60468
 tel: 773 267-2675
 andy@proplanarchitects.com

JOB NO	24090
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST
 PROPOSED NORTH ELEVATION
 PROPOSED WEST ELEVATION
 2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

SHEET NO
A5



RENDERING
MAY 7, 2025

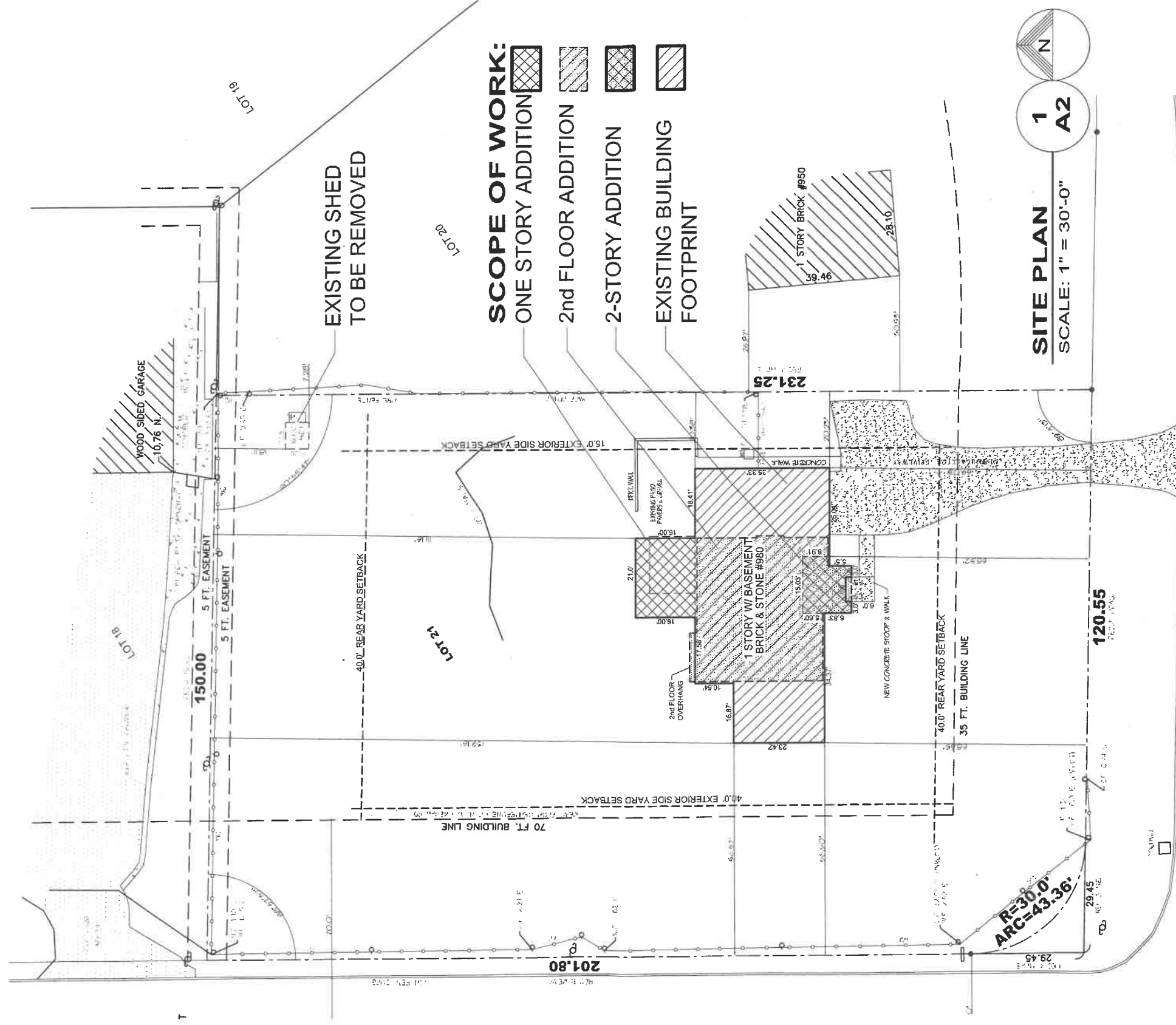


RENDERING
MAY 7, 2025



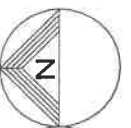
**Materials Submitted by Petitioner from the February 5, 2025
Meeting**

SITE PLAN
FEBRUARY 5, 2025



- SCOPE OF WORK:**
-  ONE STORY ADDITION
 -  2nd FLOOR ADDITION
 -  2-STORY ADDITION
 -  EXISTING BUILDING FOOTPRINT

EXISTING SHED
TO BE REMOVED



1
A2

SITE PLAN
SCALE: 1" = 30'-0"

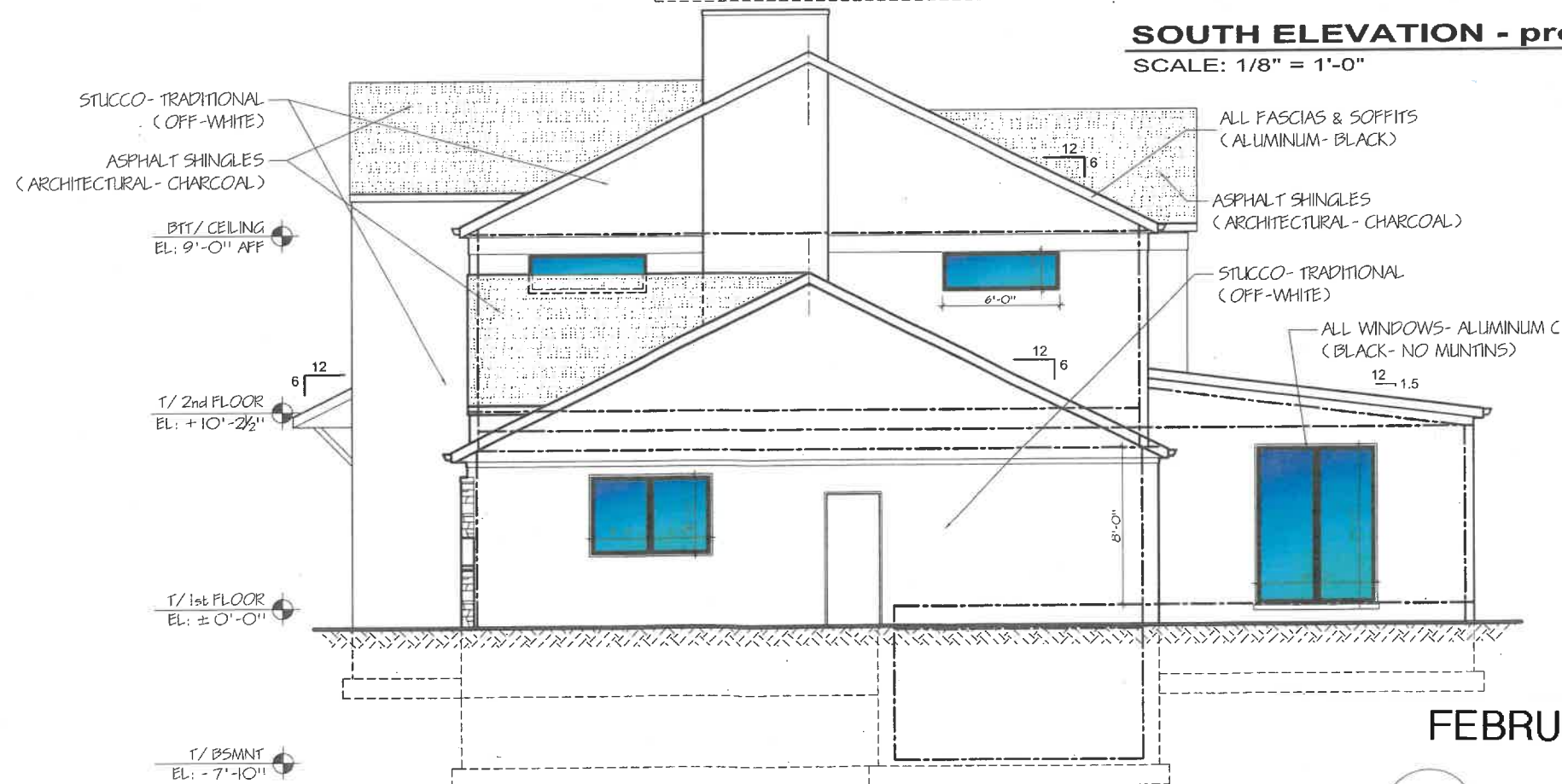
M E L L O D Y R D.

66 FT. PUBLIC R.O.W. (BLACKTOP) (AKA ROTHESAY RD.)

PROPOSED SOUTH & EAST ELEVATIONS



SOUTH ELEVATION - proposed 1
A4
SCALE: 1/8" = 1'-0"



EAST ELEVATION - proposed 2
A4
SCALE: 1/8" = 1'-0"

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
 a r c h i t e c t s
 a n d y k a c p r z y n s k i
 705 devon ave park ridge il 60068
 tel 773 733 2675
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090
 DRAWN BY: ANDY KACPRZYNSKI

DRAWING LIST
 PROPOSED SOUTH ELEVATION
 PROPOSED EAST ELEVATION
 2nd FLOOR ADDITION & INTERIOR REMODELING
 980 MELLODY RD LAKE FOREST, IL

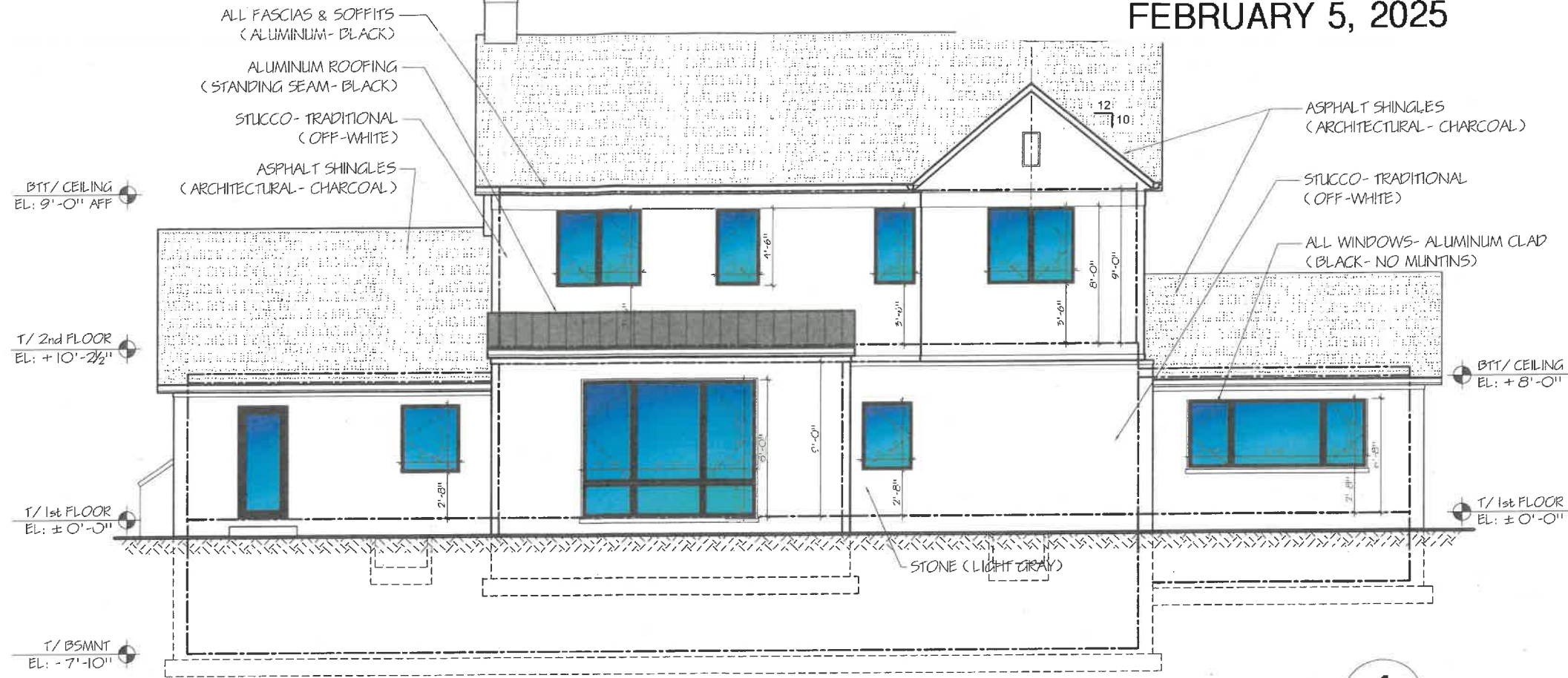
SHEET NO
A4

FEBRUARY 5, 2025

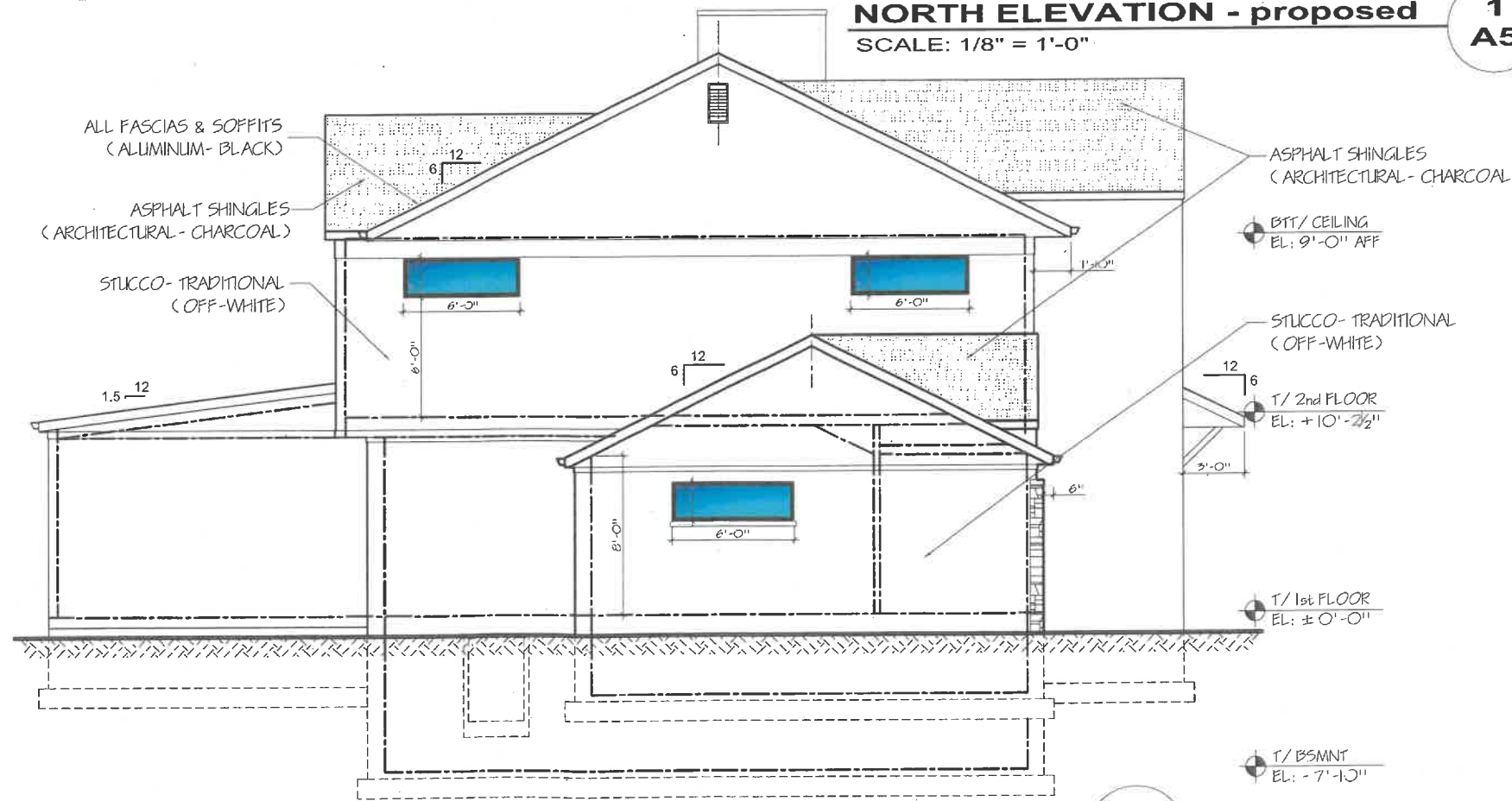


PROPOSED NORTH & WEST ELEVATIONS

FEBRUARY 5, 2025



NORTH ELEVATION - proposed
SCALE: 1/8" = 1'-0"



WEST ELEVATION - proposed
SCALE: 1/8" = 1'-0"

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS

PRO-PLAN ARCHITECTS, PC
and y kacprzynski
705 devon ave park ridge il 60068
tel 773 733 2675
ANDY@PROPLANARCHITECTS.COM

JOB NO 24090
DRAWN BY:
ANDY KACPRZYNSKI

DRAWING LIST
PROPOSED NORTH ELEVATION
PROPOSED WEST ELEVATION
2nd FLOOR ADDITION & INTERIOR REMODELING
980 MELLODY RD LAKE FOREST, IL

SHEET NO
A5



RENDERING – SOUTH ELEVATION
FEBRUARY 5, 2025



RENDERING – NORTH ELEVATION
FEBRUARY 5, 2025



Agenda Item 5
375 Deerpath Square
Continued consideration of a new single-family residence, attached garage
and associated hardscape and landscape plan on a vacant lot.

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Roof Plan
Building Section
Floor Plans
Landscape Plan
Grading and Tree Removal Plan
Tree Inventory List

Materials Submitted by Petitioner - April 2nd, 2025 Meeting

Site Plan
Elevations

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

375 Deerpath Square

Continued consideration of a new single-family residence, attached garage and associated hardscape and landscape plans on a vacant lot.

**Property Owners: Daniel and Adriana Axeunte
Presented by: John Nelson, Architect**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a continued request for a recommendation in support of a new single-family residence, attached garage and the associated hardscape and landscape plans on a vacant lot.

On April 2nd, 2025, the Board reviewed this petition and provided input on the siting, design and proposed materials. The petitioner made modifications in response to the comments and direction offered by the Board. The revised plans are presented to the Board for further review and action.

Description of Property

This property is located on the east side of Deerpath Square, at the southeast corner of the intersection of Deerpath and Deerpath Square and just west of the Route 41 on-ramp heading south from Deerpath. The property is located in the Deerpath Hill Estates, 2nd Addition subdivision which was recorded in 1929. This property is unique in that it is bordered on four sides by public streets.

On May 27, 2025, the petitioner is scheduled to appear before the Zoning Board of Appeals to request variances to allow minor encroachments into the zoning setbacks on the east and west sides of the property for small portions of the proposed house and to allow a functional driveway

Review of the Board Comments from the Last Meeting

A summary of the comments and direction offered by the Board at the last meeting is provided below. Staff commentary on how the petitioner responded to the direction of the Board is in **bold**.

1. Shift the house to the south to provide more distance between the curb cut and the inset curb along the north portion of the property.
The house is shifted an additional 70 feet to the south.
2. Conduct further study and refine the windows throughout for a more consistent and proportional arrangement.

The windows are refined on all elevations. Removing the transom windows from the north, east and west elevations creates a more consistent look throughout.

3. Conduct further study and refine the dormers to soften the appearance in a manner that is more consistent with the character of homes in the area.
The size, shape and pitch of the gables of the dormers were modified softening the appearance and achieving a style that is more consistent with the architecture and character of the neighborhood.
4. Study and refine the board and batten siding and standing seam roof to fit the size of the home more appropriately.
The width of both the board and batten panels and the standing seam roof panels is reduced. The board and batten panels are now 24 inches on-center and the standing seam roof panels are now 16 inches on-center. Staff recommends 12 inch wide standing seam roof panels to achieve a residential scale.
5. Study and refine the roof of the home and garage with attention to lowering the roof pitch and reducing the massing.
The roof pitch and roof lines of the house and attached garage are lower, creating an appearance more consistent with the City's Residential Design Guidelines.
6. Conduct further study of the front door design to appear less commercial and more residential.
The transom windows are removed to create a front door with a more residential scale and appearance.

Staff Review Comments

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

In response to Board comments, the house is sited 111 feet from the north property line, an additional 70 feet further south than originally proposed. The siting provides substantial space between the driveway curb cut and the inset area along Deerpath Square. Shifting the house south allows the home to fit better within the streetscape

and also creates a greater buffer between the house and Deerpath, the road to the north.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,485 square feet is permitted on the site with allowances of 600 square feet for a garage and 449 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,092 square feet.
- The proposed garage totals 810 square feet. With a maximum garage exemption of 600 square feet, 210 square feet must be added to the square footage of the residence.
- 688 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 449 square feet, 210 square feet must be added to the square footage of the residence.

In conclusion, the residence totals 3,521 square feet, 964 square feet or 21 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 29 feet.

Staff Recommendation: Submit as built drawings while construction is in progress to confirm that the height of the residence does not exceed the maximum allowable height of 30 feet as measured from the pre-existing grade to the highest portion of the roof, excluding the chimney, and conforms to the approved plans.

Elevations – This standard is met.

In response to comments, the petitioner made several changes to the design originally proposed. Changes to the roof with respect to the pitch, roof lines and massing create a softer appearance for the home. The stepped back garage façade breaks up the front plane of the home. The refinement of the windows and dormers throughout creates a better balance of wall massing to openings. Removing the transom windows above the front door creates a more residential appearance. Overall, the elevations reflect the recommendations and direction provided by the Board during the April 2nd meeting.

Type, color, and texture of materials – This standard is met.

In response to Board direction, the board and batten panels are now shown at 24 inches on-center and the metal roof panels are shown at 16 inches on-center. While not reflected on the plans or in the application, the statement of intent states that the trim is cedar, rather than LP.

Staff Recommendation: Use a natural material for the trim, such as cedar.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches to achieve a residential scale.

Landscaping - This standard can be met.

The landscape plan does not yet meet the minimum criteria for new construction or clearly identify all trees and vegetation intended for removal or intended to remain. At a minimum, the plan must reflect foundation plantings around the entire residence and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Staff Recommendation: Submit a detailed plan of existing landscape conditions identifying trees and vegetation to remain and any proposed removals. Submit a detailed landscape plan that satisfies the minimum planting requirements for new construction either by preserving and protecting existing plantings or by additional plantings proposed for the site. Foundation plantings must be detailed on the plan.

Trees 10 and 31, a black locust tree and maple tree, are proposed for removal. In addition, tree 11, a black locust in fair condition, should be shown for removal given its proximity to the proposed driveway. These trees total 37 inches for replacement. Any removal of parkway trees will need to be compensated with new plantings in the parkway or through a payment in lieu of planting as determined to be appropriate by the City at the time.

Substantial vegetative screening exists along the north and west property lines. This is not proposed for removal but should be clearly noted as remaining.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a new house, attached garage, and hardscape and landscape plans proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit, make the following refinements based on Board direction. The refinements shall be subject to staff approval.
 - a. Use a natural material for the trim, such as cedar.
 - b. Standing seam metal roof panels shall be no wider than 12 inches.

- c. Submit a detailed landscape plan meeting the minimum planting requirements for new construction at the time of permit. The plan shall be coordinated with the grading plan.
 - d. Submit a tree removal plan which shows all vegetation planned for removal due to construction or grading impacts and identifies trees and vegetation intended to remain.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Protection

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity if determined to be necessary by the City's Certified Arborist.

Drainage and Grading

- b. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

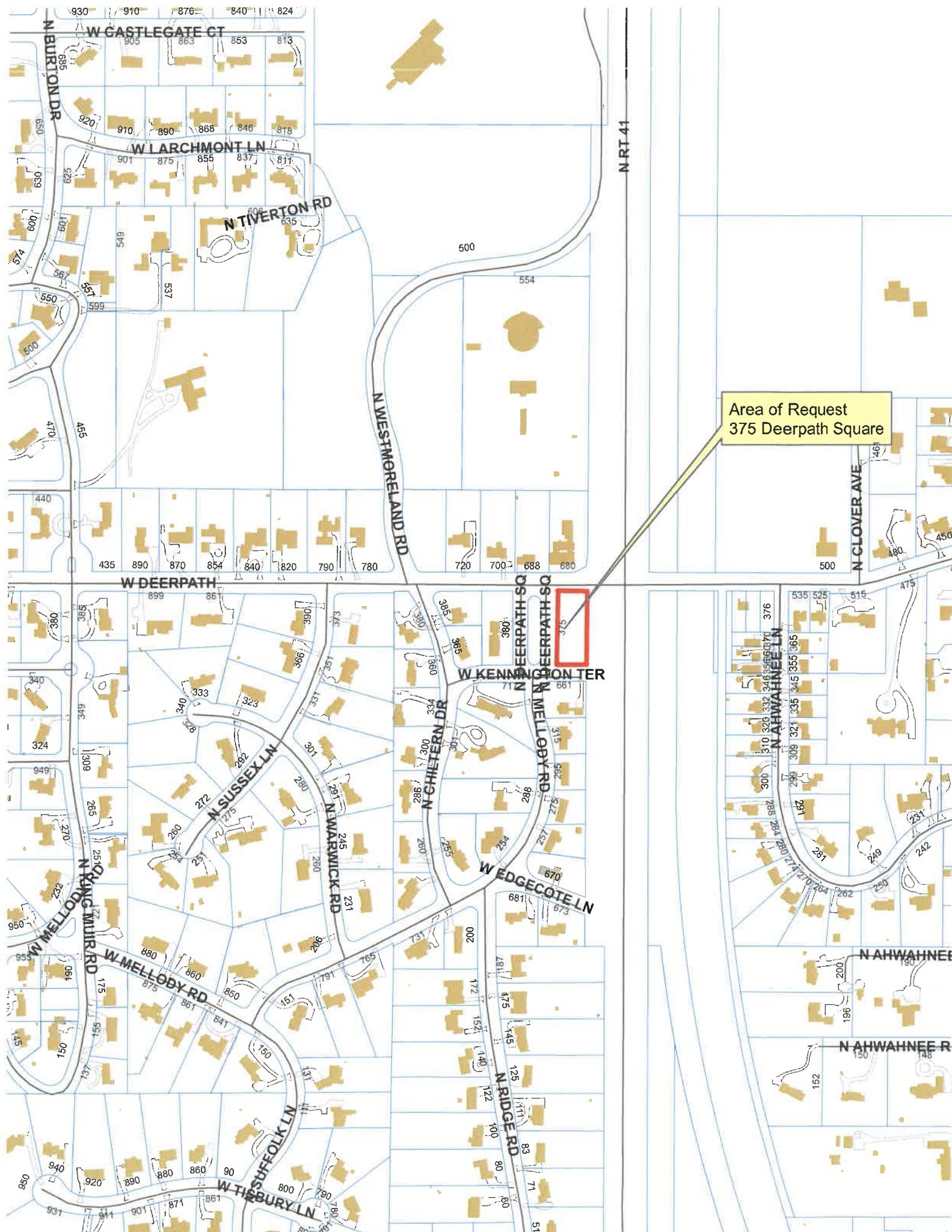
- c. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer, and Director of Community Development. The public street

must remain unobstructed, passable, and clean at all times. No parking or staging of construction vehicles is permitted on Deerpath.

4. Submit as built drawings while construction is in progress to confirm that the height of the residence does not exceed the maximum allowable height of 30 feet and conforms to the approved plans.



Area of Request
375 Deerpath Square

N RT 41

N CLOVER AVE

OS HYPER DEERPATH
OS HYPER DEERPATH

W KENNING CENTER
W KENNING CENTER

N CHILTERN DR
N CHILTERN DR

N WARWICK RD
N WARWICK RD

N SUSSEX LN
N SUSSEX LN

N KING MUIR DR
N KING MUIR DR

N KING MUIR RD
N KING MUIR RD

W MELLODY RD
W MELLODY RD

W EDGACOTE LN
W EDGACOTE LN

N RIDGE RD
N RIDGE RD

N AHWAHNEE LN
N AHWAHNEE LN

N AHWAHNEE R
N AHWAHNEE R

W MELLODY RD
W MELLODY RD

N SUFFOLK LN
N SUFFOLK LN

W TIBBURY LN
W TIBBURY LN

PA



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 375 PEKER PATH SQUARE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Daniel + Adriana Axente
Owner of Property

587 IVY CT.
Owner's Street Address (may be different from project address)

Lake Forest IL 60045
City, State and Zip Code

2247151426 —
Phone Number Fax Number

Axente30@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN NELSON - SOLE PROPRIETOR
Name and Title of Person Presenting Project

JOHN NELSON - ARCHITECT, INC.
Name of Firm

1400 WILKINSON SPRINGS CIRCLE
Street Address

PALATINE, ILLINOIS 60074
City, State and Zip Code

847-913-4389 —
Phone Number Fax Number

JANCO4@COMCAST.NET
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report OWNER REPRESENTATIVE

Please fax a copy of the staff report OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

(The use of natural materials is strongly encouraged)

375 DEER PATH GOWANUE

Facade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>L/P (LOUISIANA PACIFIC)</u> |
| <input type="checkbox"/> Wood Shingle | <u>STONE & BOARD - OSB - JEFFERSON TAN</u> |
- Individual or Panels? PANELS w/ BRUSH STRIPS
- Color of Material JEFFERSON TAN

Window Treatment

- | | |
|--|--|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement <u>MARVIN - ELEVATE</u> | <input type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding <u>ULTEAC - FIBER GLASS</u> | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other <u>ULTEAC - FIBERGLASS EXTERIOR</u> |
- Color of Finish EBONY FRAME w/
WOOD INTERIOR w/ SPL GRILLS

Window Muntins

- Not Provided
- True Divided Lites SPL GRILLS, INT & EXT.

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended) SPLS b MARVIN
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other L/P OSB - JEFFERSON TAN

Window Trim

- Limestone
- Brick
- Wood
- Other L/P OSB - JEFFERSON TAN

Fascias, Soffits, Rakeboards

- Wood
- Other L/P OSB, JEFFERSON TAN

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

375 DEER PATH SW

Chimney Material

- Brick
- Stone
- Stucco
- Other NA.

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes TIMBERLINE
- Slate KS II
- Clay Tile
- Composition Shingles CHARCOAL
- Sheet Metal
- Other PARCH - VERTICAL STANDA
SEAM 16" SEAM @ 1.75"
20 GAUGE - JEFFERSON TAN

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other JEFFERSON TAN

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

JOHN NELSON – ARCHITECT, INC.

NCARB CBO

1420 Whispering Springs Circle
Palatine, IL 60074
847-991-9154 - Office
847-513-4389 - Cell
janco4@comcast.net

April 22, 2025

City of Lake Forest
Building Review Board
800 Field Drive
Lake Forest, Illinois 60045

Re: Request for a Building Review for a New Single-Family Residence
375 Deer Path Square (PIN: 12-32-303-001-000)
Daniel and Adriana Axente – Owners/Petitioners – 2nd Meeting/Presentation

Ladies and Gentlemen,

As cited earlier in our letter to you of February 23, 2025 Daniel and Adriana Axente are the owners of the 375 Deer Path Square lot who presently live at 587 Ivey Court in Lake Forest, Illinois.

They purchased a property at this 375 Deer Path Square lot for the purpose of building a new single-family residence for their family.

The property is 29700 sq. ft. (0.68 acres) which appears fairly large for a single family lot. However the property is zoned R-3 resulting in forty foot setbacks around all sides constraining a reasonable single family use and appropriate appearance.

As a result the Axente family will be in front of the Zoning Board of Appeals on May 27, 2025 seeking relief as follows:

1. A 1.5 foot variance at the easterly side (rear yard) of the property in order to allow a 2 foot 2nd floor cantilever extension so that the 2nd story cantilever will be 38.5 feet from the rear lot line and not 40.0 feet from the rear lot line.
2. A 4.5 foot variance at the westerly side (front yard) of the property in order to allow a one-story covered porch (design element) to encroach into that 40 foot front yard setback so that the porch will be 35.5 feet from the front yard line.

As a result of our last meeting with the Architectural Review Board on April 2, 2025 we have incorporated the Boards recommendations as follows.

1. The house has been relocated approximately 70 feet to the south from what was originally presented with the attached garage and drive way to the south of the principle structure. See engineering plans, site plan and landscape plan attached.
2. The roof lines have been lowered considerably as shown sheets A3 and A4. Note too the dimensions shown on the cross-sections found sheet A5 and A6.
3. The garage has been indented east 2 feet in order to further break-up the façade. This along with the garage roof lowered further serves to break up the façade and create more interesting shadow lines.
4. The transom windows have been eliminated to all elevations.
5. Gable end architecturally styled ventilators have been added to the south and north of the residence façade.
6. Nominal 1 x 3 vertical batten strips are now shown at 24 inches on-center.
7. The metal roof ridges are now more clearly shown at 16 inches on-center.
8. The trim pieces around the doors and windows along with the horizontal trim pieces are now called-out as cedar; in a Jefferson Tan color.

From our letter of intent to the Architectural Board of February 21, 2025, the cantilevered 2nd floor allows for reasonable size bedrooms, baths and further serves as a shadow line architectural element breaking up the rear yard elevation to the east.

The one-story covered porch is a design element breaking up the front elevation to the west.

All foundations, except for the covered porch structure, are within the 40 foot setback line.

From the RESIDENTIAL DESIGN GUIDELINES booklet, the primary criteria for seeking approval from the Building Review Board are to:

1. Show how the new single-family residence accommodates the general character of the neighborhood.
2. Locate the building and associated hard surfaces on the lot so as not to affect the existing trees and mature vegetation.
3. Create simplicity of massing, roof framing and roof slope in keeping with the immediate neighborhood.
4. Create a scale and height of the building yet still providing visual diversity and architectural character to the neighborhood.
5. Provide fenestration arrangement, comfortable entryways and simple detailing.

We contend that this proposed single-family residence, standing alone on this single lot/block accommodates the general character of the neighborhood in size and massing and scale yet provides visual diversity and architectural character to the neighborhood

The building, driveway and the covered porch design element has been located on plan so as to affect only one the trees presently located in the right-of-way along Deer Path Square.

With these recommendations provided us by the Board and incorporated into the plans, the Axente family asks that positive consideration and approval for this project be given them.

Respectfully submitted,

John Nelson, Architect, Inc.
NCARB 080-009966



SITE PLAN
MAY 7, 2025

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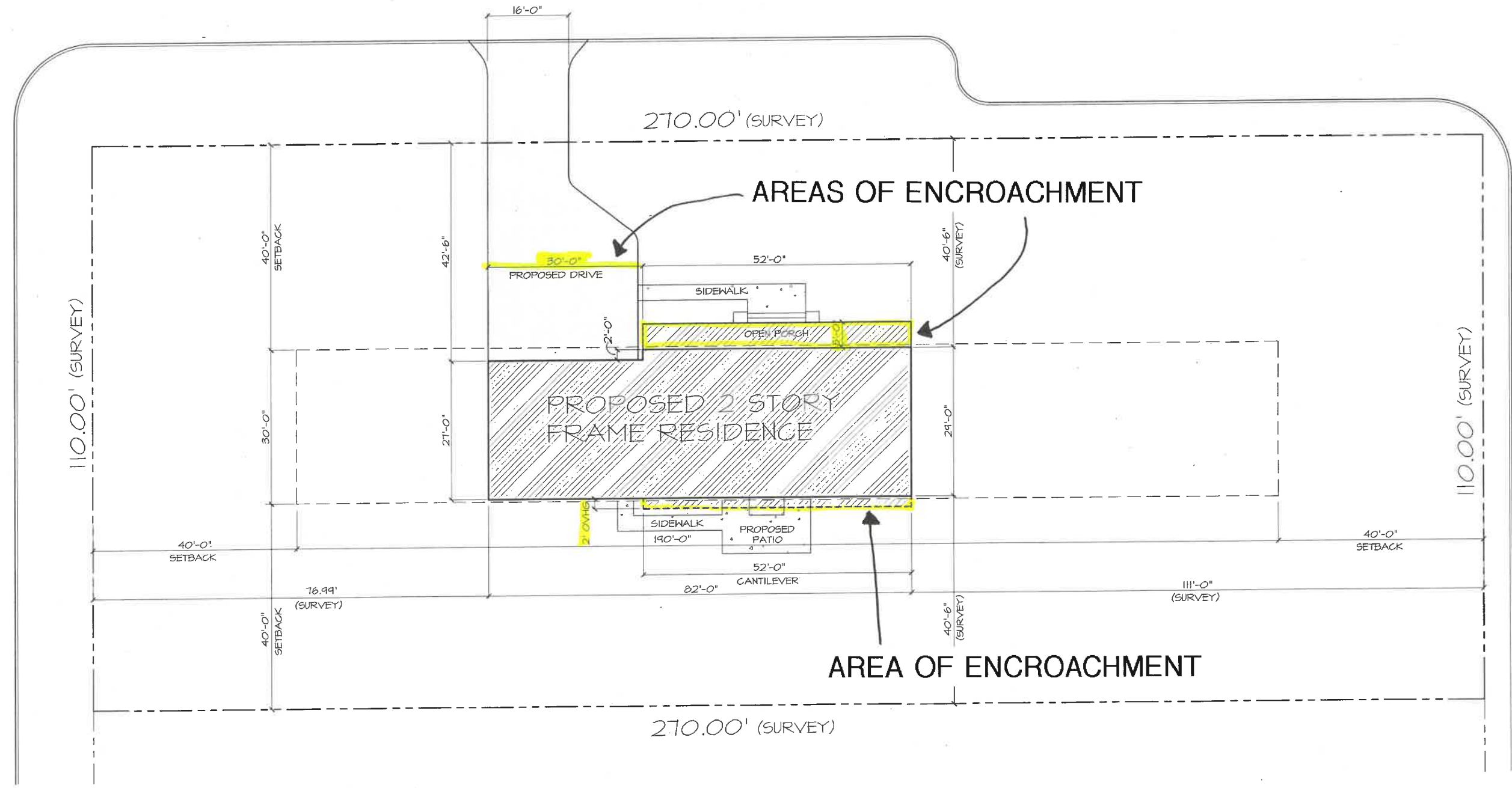
JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074

PROPOSED NEW SINGLE FAMILY
RESIDENCE FOR:
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

WEST DEERPATH

KENNINGTON TERRACE

DEERPATH SQUARE



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

DATE	REVISION
2/11/25	APPEAR REVIEW
4/14/25	VILLAGE REVIEW

DATE:
DRAWN BY:
CHECKED BY:
SCALE:

SHEET TITLE:
PROPOSED SITE PLAN
SHEET NUMBER:
OF: TOTAL SHEETS

51

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WEST ELEVATION
MAY 7, 2025



SID
JEFFERSON TAN
BOARD & BATTEN
SIDING by LP

WDW
EBONY FRAMED
WINDOWS by
MARVIN

STM
JEFFERSON TAN
STORM DOOR

TRM 1
WDW. & DOOR
TRIM by LP

MTL
MTL. ROOF
CHARCOAL

SID
JEFFERSON TAN
BOARD & BATTEN
SIDING by LP

TRM 2
JEFFERSON TAN
GARAGE DOOR
& TRIM

PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	
2/17/25	APPEAR. REVIEW
4/14/25	VILLAGE REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE

SHEET DESCRIPTION:
**PROPOSED
EXT. ELEVATION**

SHEET NUMBER:
A3B

EAST ELEVATION

MAY 7, 2025



RFS
 CHARCOAL
 ARCH. ROOF
 SHINGLE by
 TIMBERLINE

12
 10

95'-0"

WDW
 EBONY FRAMED
 WINDOWS by
 MARVIN

TRM 1
 WDW. & DOOR
 TRIM by LP

SID
 JEFFERSON TAN
 BOARD & BATTEN
 SIDING by LP

WDW
 EBONY FRAMED
 WINDOWS by
 MARVIN

PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"

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 1420 WHISPERING SPRINGS CIRCLE
 PALATINE, IL 60074

DATE	
2/17/25	APPEAR. REVIEW
4/14/25	VILLAGE REVIEW

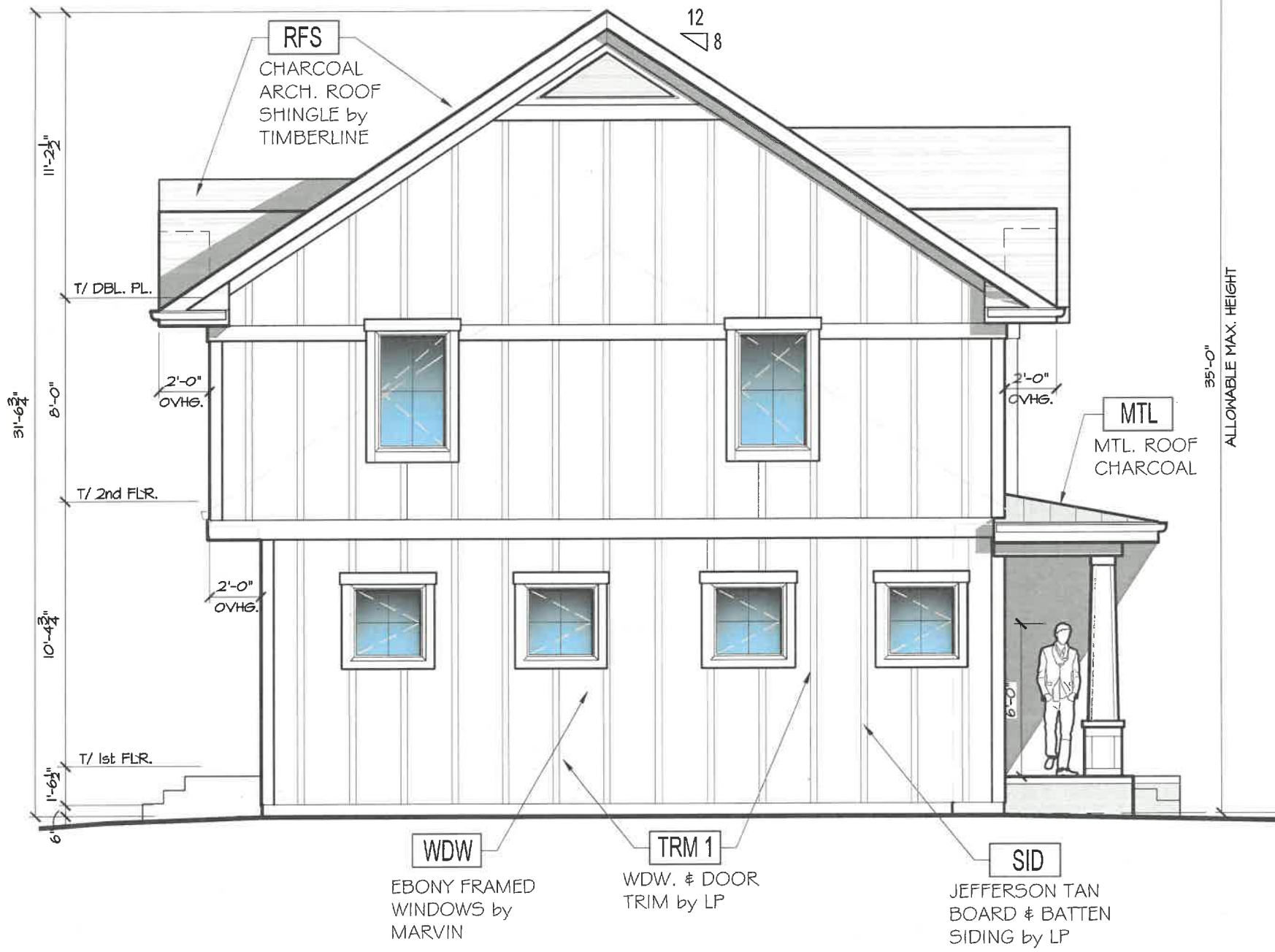
PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
 375 DEER PATH SQUARE

SHEET DESCRIPTION:
**PROPOSED
 EXT. ELEVATION**

SHEET NUMBER:
A3A

NORTH ELEVATION

MAY 7, 2025



PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	
2/11/25	APPEAR. REVIEW
4/14/25	VILLAGE REVIEW

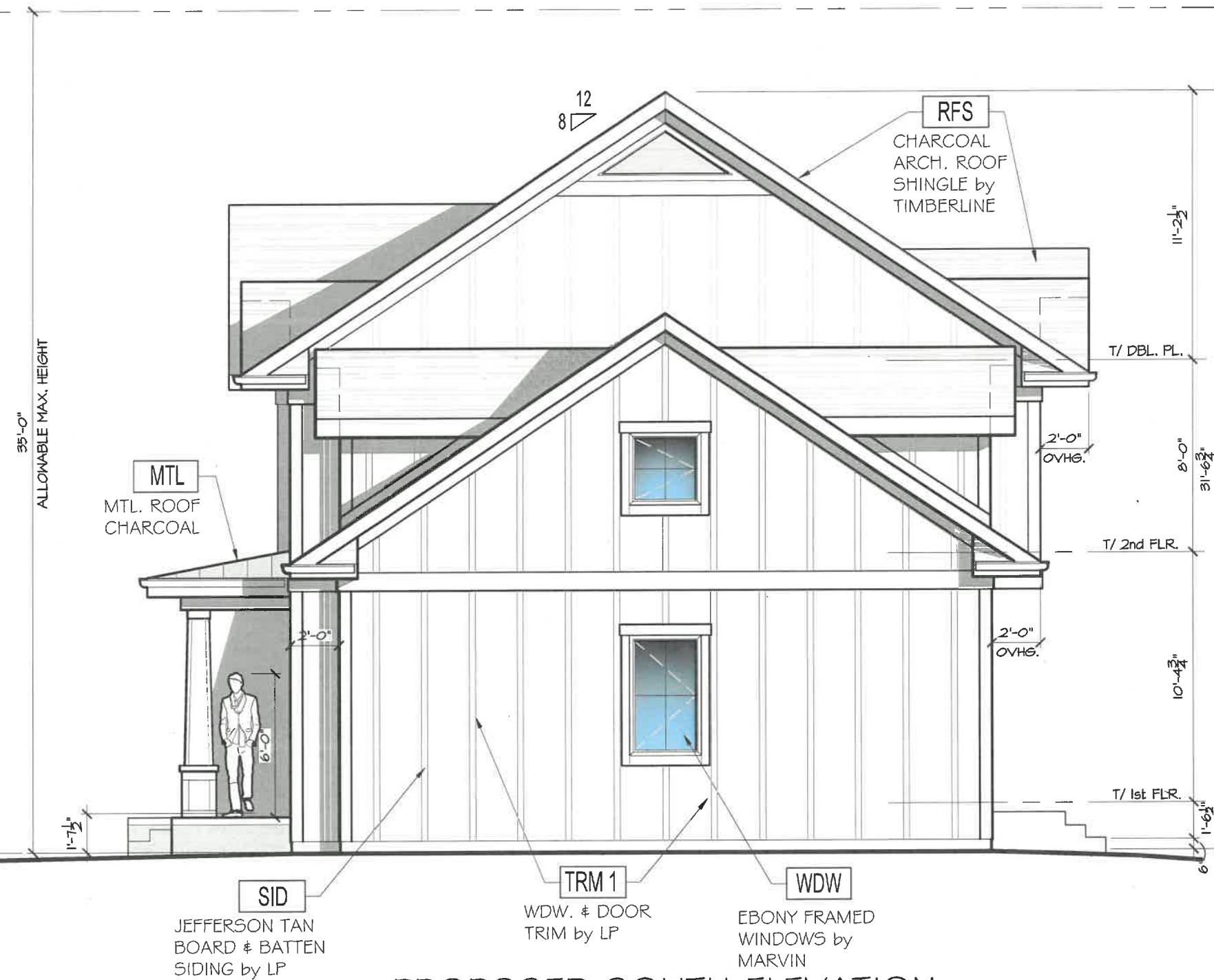
PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A4A

SOUTH ELEVATION

MAY 7, 2025



PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	REVISION
2/17/25	APPEAR. REVIEW
4/14/25	VILLAGE REVIEW

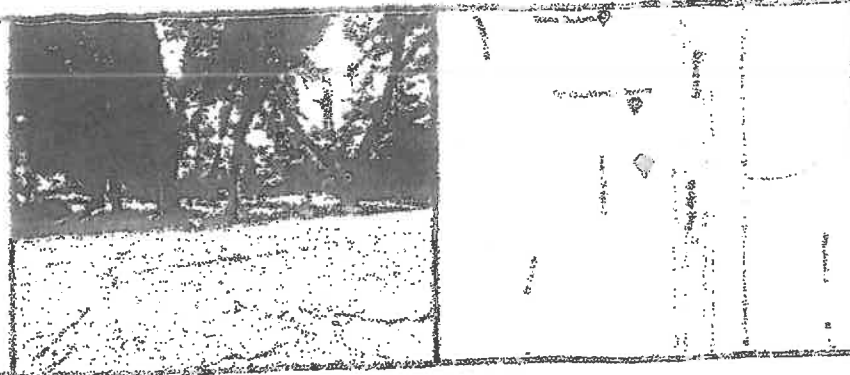
PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A4B



www.exactalands.com | office: 773.305.4011



SURVEY NUMBER: 2408.1391

PROPERTY ADDRESS: 375 DEERPATH SQUARE, LAKE FOREST, ILLINOIS 60015

LANDSCAPE PLAN

PLANT LIST

- 1 RSM ROYAL STAR MAGNOLIA 10'
- 4 DBB DWARF BURNING BUSH 36"
- 8 HP HYDRANGEA PAN. 'QUICK' 36"
- 5 DL DWARF LILAC 36"
- 13 GB GLENCOE BOXWOOD 18"
- 21 OO ORNAMENTAL ONION 14"
- 16 LM LADY'S MANTLE 14"
- 9 TH TURTLE HEAD 14"
- 117 LT LILY TURF QT
- 2 TA REDMOND LINDEN 3"
- 3 PL CHANTICLEER PEAR 3"

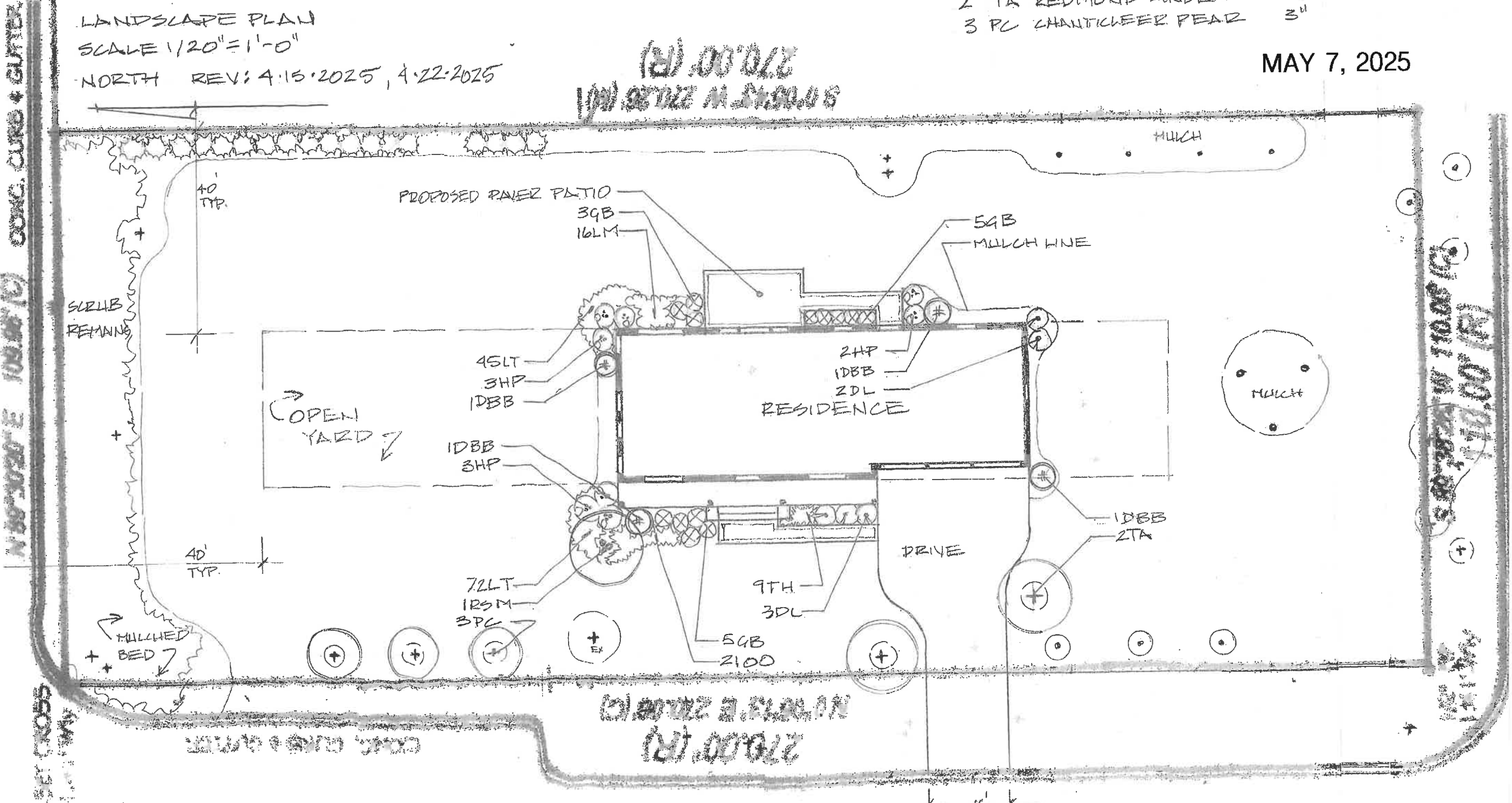
MAY 7, 2025

LANDSCAPE PLAN

SCALE 1/20" = 1'-0"

NORTH REV: 4.15.2025, 4.22.2025

270.00 (R)
110.00 (R)



110.00 (R)
110.00 (R)
CONC. CURB + GUTTER
SET CROSS

110.00 (R)
110.00 (R)
CONC. CURB + GUTTER

**Materials Submitted by Petitioner from the April 2nd, 2025
Meeting**

SITE PLAN
APRIL 2, 2025

DEERPATH SQUARE

KENNINGTON TERRACE

WEST DEERPATH

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JOHN NELSON - ARCHITECT,
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074

PROPOSED NEW SINGLE FAMILY
RESIDENCE FOR:
DANIEL & ADRIANA AXENTE
375 DEERPATH SQUARE
LAKE FOREST, IL

DATE: 2/11/25
APPEAR: REVIEW

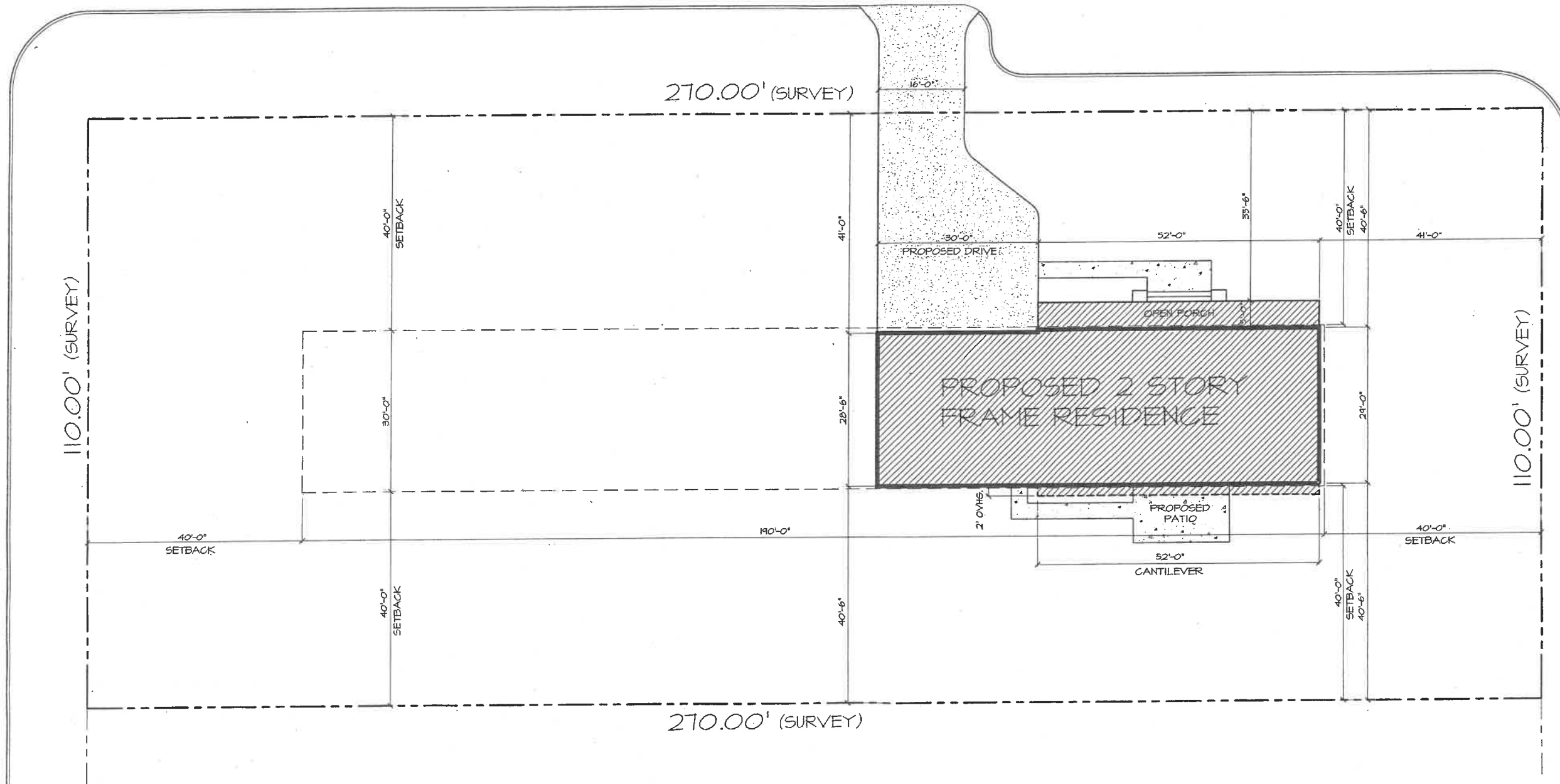
DATE:
DRAWN BY:
CHECKED BY:
SCALE:

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SHEET TITLE:
PROPOSED
SITE PLAN

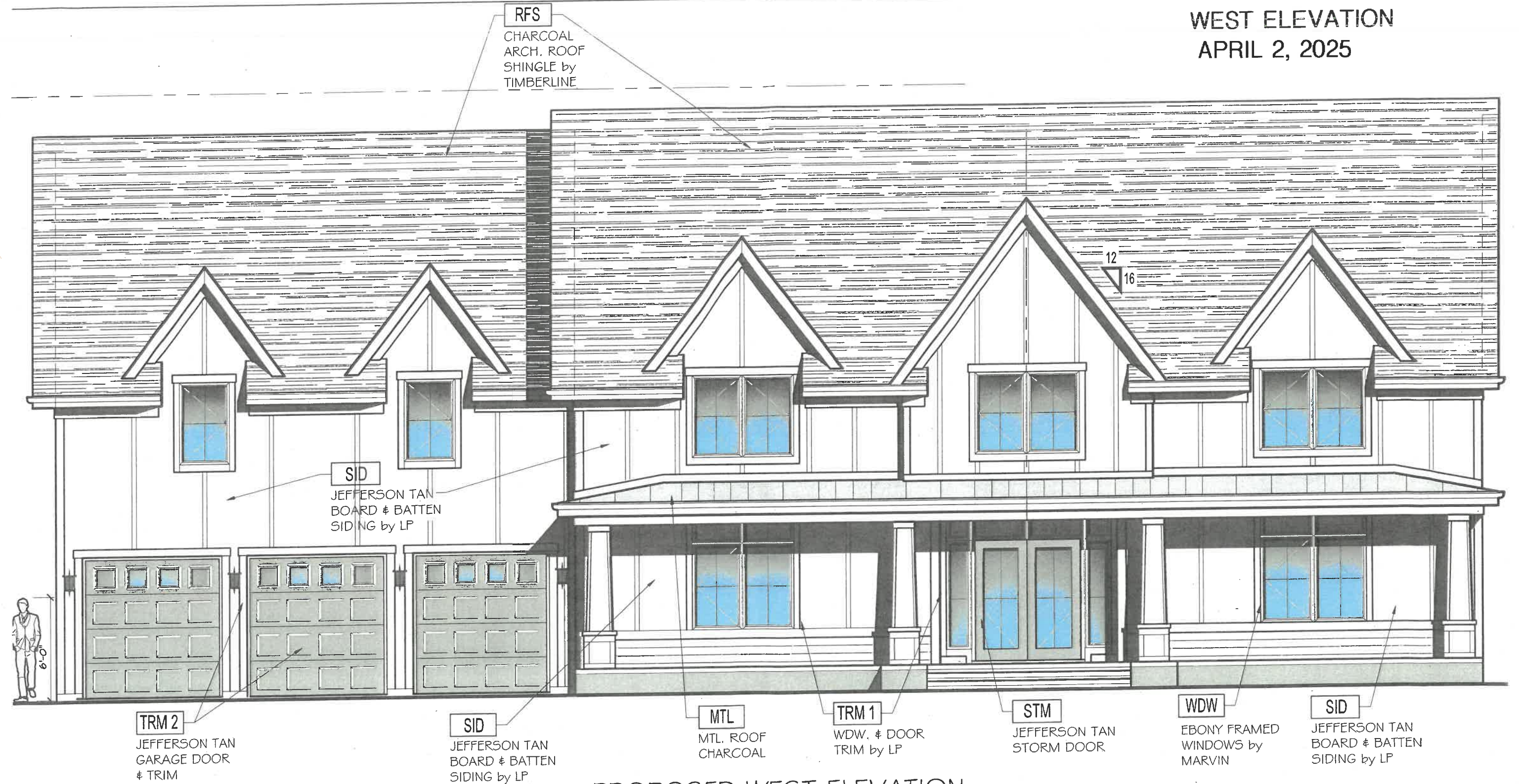
SHEET NUMBER:
OF: TOTAL SHEETS

SI



NORTH
PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

WEST ELEVATION
APRIL 2, 2025



PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	APPEAR.	REVIEW
2/17/25		

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A3B

EAST ELEVATION

APRIL 2, 2025

RFS
CHARCOAL
ARCH. ROOF
SHINGLE by
TIMBERLINE

TRM 1
WDW. & DOOR
TRIM by LP



WDW
EBONY FRAMED
WINDOWS by
MARVIN

SID
JEFFERSON TAN
BOARD & BATTEN
SIDING by LP

TRM 1
WDW. & DOOR
TRIM by LP

WDW
EBONY FRAMED
WINDOWS by
MARVIN

PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	REVISION
2/17/25	APPEAR. REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A3A

SOUTH ELEVATION
APRIL 2, 2025



MTL
 MTL. ROOF
 CHARCOAL

RFS
 CHARCOAL
 ARCH. ROOF
 SHINGLE by
 TIMBERLINE

12
 11

B/ CLG. JST.
 T/ DBL. PL.

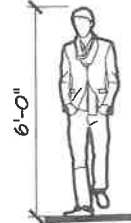
8'-0"
 7'-0"

T/ 2nd FLR.

2'-0" 2'-0"
 OVHS.

10'-0"

T/ 1st FLR.



SID
 JEFFERSON TAN
 BOARD & BATTEN
 SIDING by LP

TRM 1
 WDW. & DOOR
 TRIM by LP

WDW
 EBONY FRAMED
 WINDOWS by
 MARVIN

PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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DATE	REVISION
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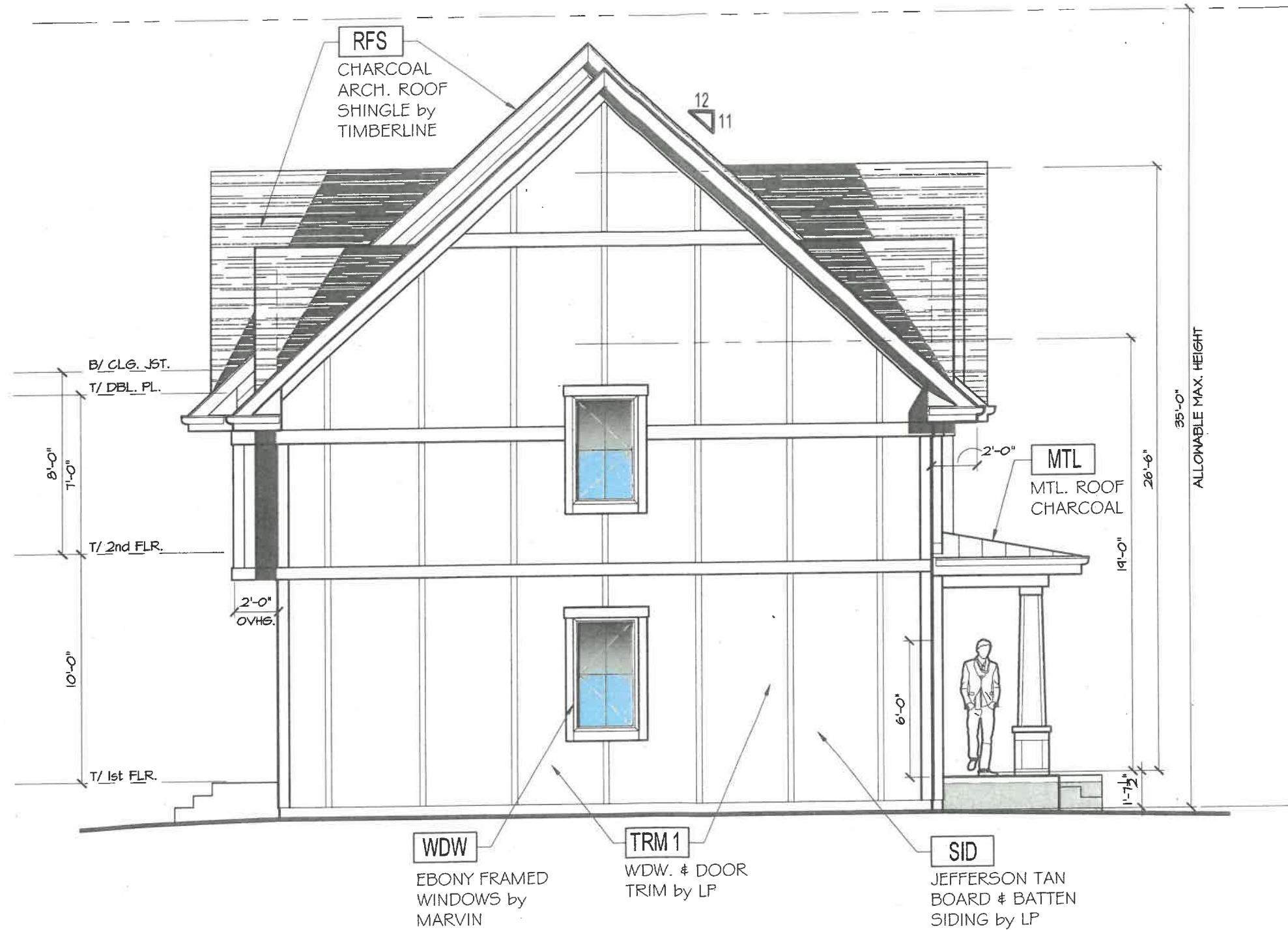
PROPOSED RESIDENCE FOR;
 DANIEL & ADRIANA AXENTE
 375 DEER PATH SQUARE
 LAKE FOREST, IL

SHEET DESCRIPTION:
 PROPOSED
 EXT. ELEVATION

SHEET NUMBER:
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NORTH ELEVATION

APRIL 2, 2025



PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	REVISION
2/17/25	APPEAR. REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A4B

Agenda Item 6
30 Washington Circle
Consideration of a new house on a vacant lot, hardscape and landscape plans.

Staff Report
Building Scale Summary
Vicinity Map
Air Photo.

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations

Roof Plan
Building Section
Proposed Floor Plans
Garage Plans
Landscape Plan
Engineering/Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

30 Washington Circle

Consideration of a new house on a vacant lot, hardscape and landscape plans.

Property Owner: Gary Penella

Contract Purchaser: John and Robyn Suba

Presented by: Jeffrey Letzter, President of Aspect Design, Inc.

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for approval of a new residence on a vacant lot. The property is the site of a previous demolition. A detached garage and hardscape and landscape plans will also be considered.

Description of Property

This property is located south of Washington Circle on a 10,485 square foot lot. It falls within the Robert J Smith subdivision, platted in 1927. The previous house was demolished in 2019 due to its poor condition and negative impact on the neighborhood.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The proposed house faces north, towards Washington Circle. The lot is rectangular and narrow, similar in configuration to other properties in the neighborhood. The front entrance is setback 70 feet from the front property line, consistent with the pattern of setbacks along the established streetscape. An asphalt driveway is proposed along the right side of the lot leading to a new two-car detached garage in the rear. The driveway placement creates space between the proposed two-story home and the modest, single-story house to the east. Concrete walkways will lead to the front and rear entrances from the driveway. A concrete patio in the rear is proposed.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 2,768 square feet is permitted on the site with an allowance of 576 square feet for a garage and 277 square feet for design elements. Design elements are defined as those elements that provide human scale to

a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- 107 square feet of design elements are incorporated into the design of the house.
- The new garage totals 528 square feet.
- The new residence totals 2,603 square feet.

In conclusion, the residence totals 2,603 square feet, 165 square feet or 6 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 28 feet. The allowable height for a lot of this size is 30 feet.

The height of the garage is proposed at 19 feet. The allowable height for the garage, an accessory structure, is 25 feet.

Elevations – This standard is met.

According to the petitioner's statement of intent, the selected architectural style is "Modern American Folk". The house expresses this style through its gabled roof, front porch, dormer and simplicity throughout the elevations. The openings around the home are for the most part, evenly spaced and consistently sized with the exception of the east elevation. Further study and refinement of the rear half of the east elevation is recommended to break up the large expanses of solid wall.

Overall, the home appeals to the City's residential design guidelines and will fit within the character of the surrounding neighborhood.

Staff Recommendation: Refine the rear half of the east elevation to break up the elongated expanses of solid wall to help mitigate impacts and an imposing feel on the adjacent home and yard.

Type, color, and texture of materials – This standard is met.

Alabaster painted veneer brick is proposed with charcoal aluminum clad windows. The brick veneer must be a minimum of four inches in thickness. The roof material will be charcoal colored asphalt shingles. Copper tone aluminum gutters and downspouts are proposed. The driveway will be asphalt, and the patio and walkways will be poured concrete. The petitioner is expected to provide samples of materials and colors at the Board meeting

Staff Recommendation: Specify the brick veneer as a minimum of four inches in thickness on the plans submitted for permit.

Landscaping - This standard is met.

The landscape plan meets the minimum criteria for trees required by Code for new construction. Consideration should be given to additional screening at the apron to the garage to screen headlights and back up lights from the neighboring properties.

Staff Recommendation: Add screening at the apron to the garage to screen headlights and back up lights from the neighboring properties.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a new house on a vacant lot, hardscape and landscape plans subject to the conditions below.

1. Revise the plans as follows and provide the additional material requested:
 - a. Refine the rear half of the east elevation to break up the large expanses of unbroken wall to mitigate the impact of the two-story home on the adjacent massing.
 - b. Spec the brick veneer as a minimum of four inches in thickness.
 - c. Add landscape screening at the apron to the garage to mitigate the impact of headlights and back up lights on the neighboring properties.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the changes of

long term survival of the trees intended for preservation which are located close to construction activity.

- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure, plantings near the garage to mitigate the impact of headlights and back up lights on neighboring properties, and at least the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Drainage and Grading

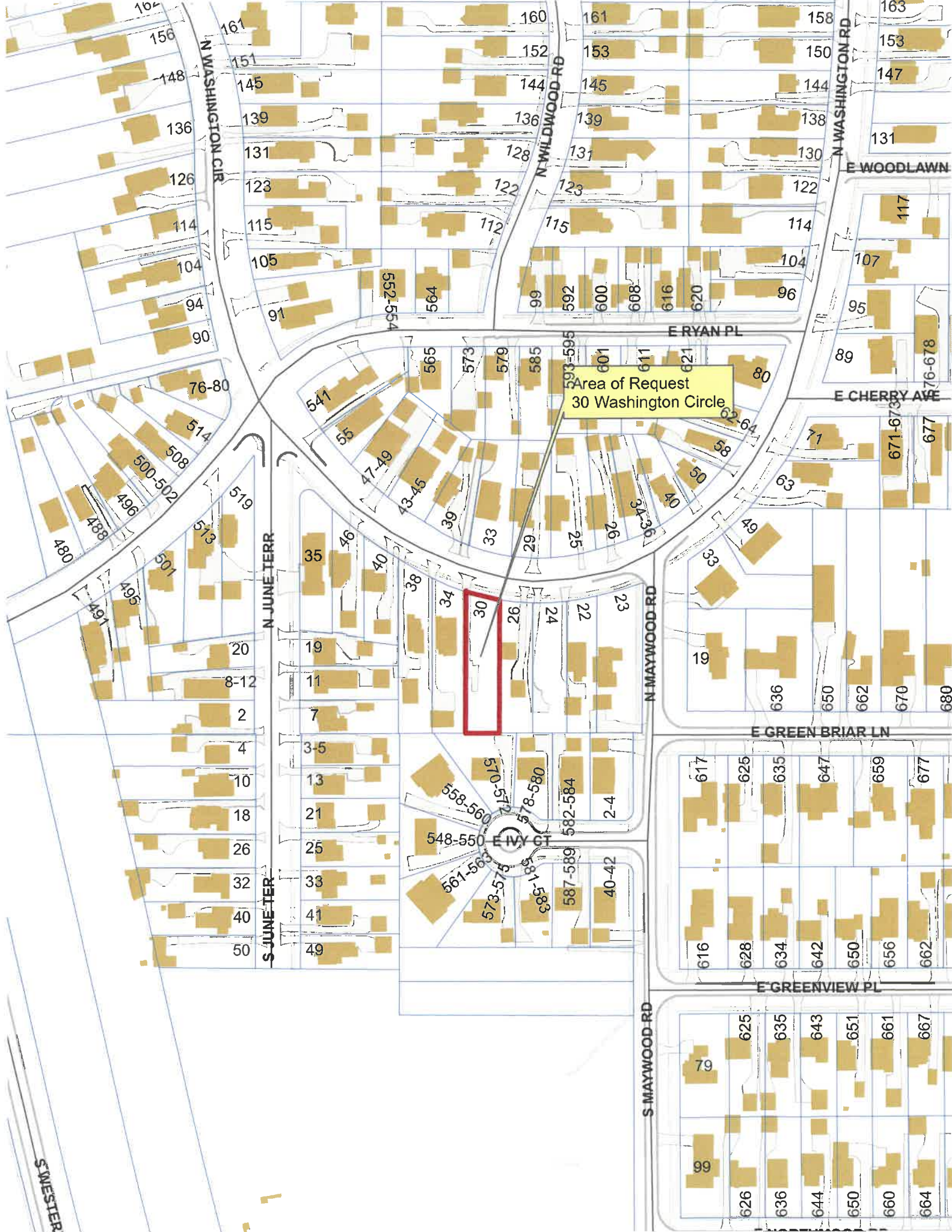
- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff during construction and from the new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be included with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The public street and all private driveways must remain unobstructed, passable, and clean at all times. Due to the narrow, curving street, off site contractor parking in public parking lots may be required at the discretion of the City.



Area of Request
30 Washington Circle



S WESTERN



THE CITY OF LAKE FOREST BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 30 Washington Circle,

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

John & Robyn Suba Contract Purchasers, closing to take place on 4/29/25
Owner of Property

1410 W. Huron Street #1
Owner's Street Address (may be different from project address)

Chicago, IL 60642
City, State and Zip Code

301-641-2881
Phone Number *Fax Number*

robyn.suba@gmail.com
Email Address

Signed by:

26A82C9448D044B...
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Jeff Letzter
Name and Title of Person Presenting Project

Aspect Design, inc
Name of Firm

26575 Commerce Drive Suite 607
Street Address

Volo, IL 60073
City, State and Zip Code

847-875-4372
Phone Number *Fax Number*

jletzter.aspectdesigninc.com
Email Address
Signed by:

REPRESENTATIVE'S SIGNATURE (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 30 WASHINGTON CIRCLE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

GARY PENNELLA
Owner of Property

694 MOENINGSIDE DRIVE
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045
City, State and Zip Code

(847) 494-7366 Phone Number
Far Number

GARY.PENNELLA@FIELDCREST
Email Address DEVELOPERS.COM


Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZTER, PROJECT MGR.
Name and Title of Person Presenting Project

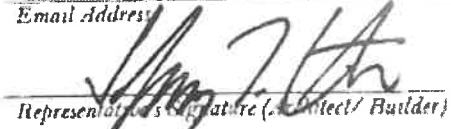
ASPECT DESIGN, INC.
Name of Firm

26575 COMMELLE DR
Street Address

VOLO, IL 60073
City, State and Zip Code

(847) 457-2500 Phone Number
Fax Number

JLETZTER@ASPECTDESIGNINC.COM
Email Address


Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at
the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? SW ALABASTER
- Color of Material _____

Window Treatment

- | | |
|--|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish CHARCOAL

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ARCHITECTURAL
ASPHALT, CHARCOAL

Flashing Material

- Copper
- Sheet Metal
- Other ALUMINUM

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum COPPER TONE
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

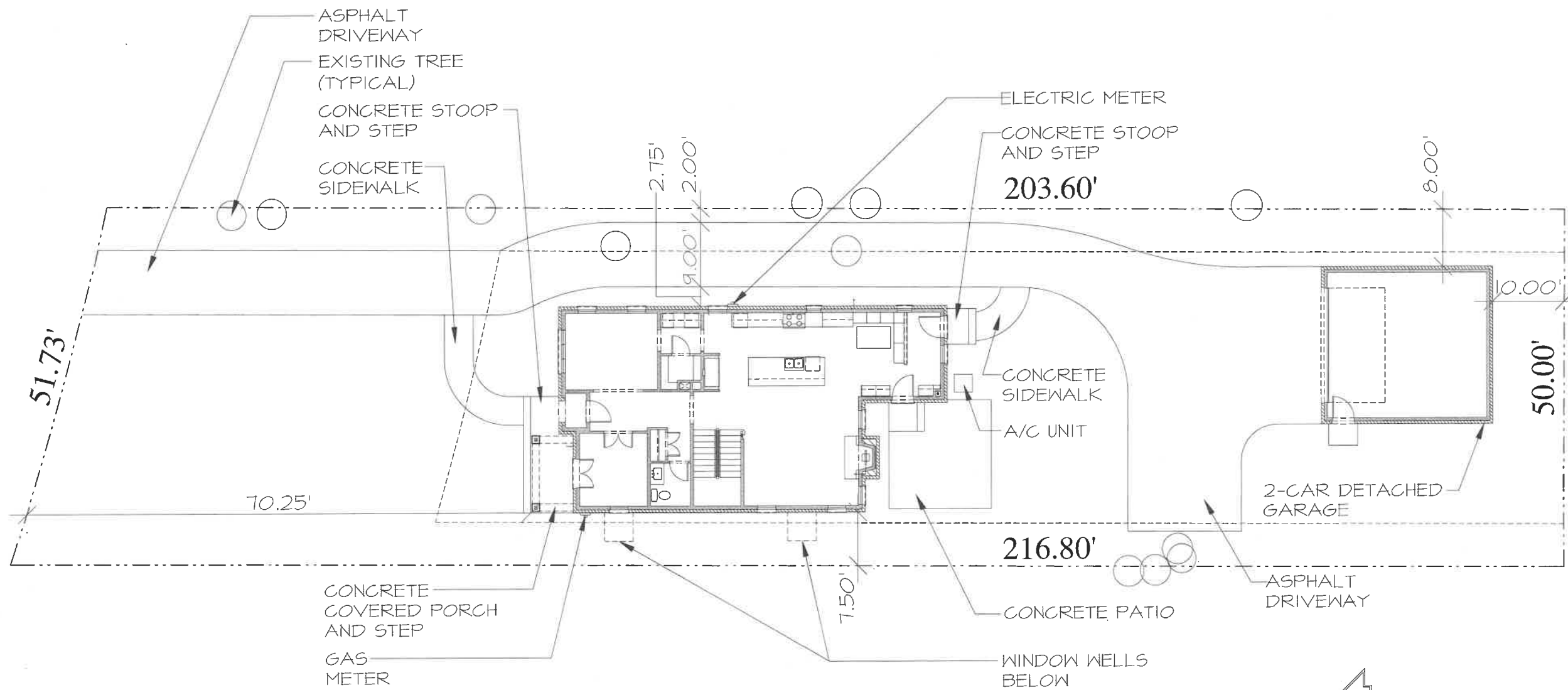
Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Statement of Intent 30 Washington Circle, Lake Forest, IL 60045

1. Background—The home will be built by Peter Childs, owner of Childs Development.
2. Initial Goal—The purpose of the project is to create a new home with modern features, while preserving the community with a welcoming and comfortable Modern American Folk Style home.
3. Design Strategy—Our intent is to plan the home with a detached garage to the South and have the front entry, front porch and roof lines being the focal point as you view the home from Washington Circle.
4. Materials—Sherwin Williams Alabaster painted brick will be used on the exterior. The wood trim, soffit and fascia are to be white; the roof will be Architectural asphalt shingles in a charcoal color. The windows are to be charcoal color. The front door and front porch ceiling will be stained.
5. Conclusion—Our intent is to build an attractive home that quietly fits into its current site. The restrained quality of the new home will help reinforce this great neighborhood.
6. Variances— None are required for the proposed home in the GR-3 zoning district.

WASHINGTON CIRCLE



1
AR 01

SITE PLAN

NOTE: SEE FINAL APPROVED CIVIL ENGINEERING PLANS FOR ALL EXISTING CONDITIONS AND NEW SITE IMPROVEMENTS.



SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER, (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

REVIEW	01/05/2025
REVIEW	01/06/2025
REVIEW	01/07/2025
REVIEW	01/18/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/21/2025

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2500
WWW.ASPECTDESIGN.COM



PROJECT # AD24199
DRAWN BY: DB/MB
30 WASHINGTON CIRCLE
SITE PLAN

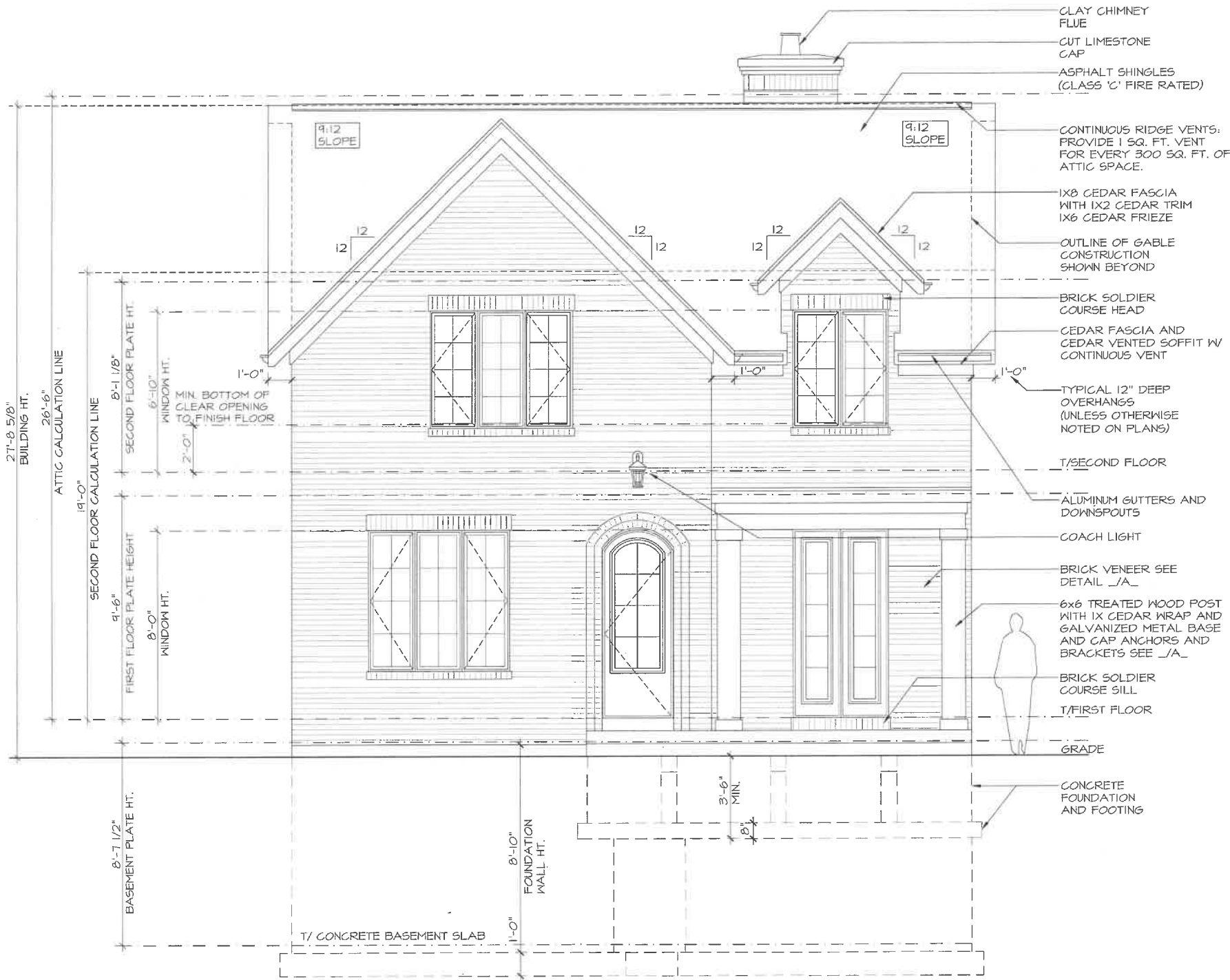
AR 01

1 OF 13 TOTAL SHEETS

NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

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NORTH ELEVATION



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NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

REVIEW	01/03/2025
REVIEW	03/06/2025
REVIEW	03/07/2025
REVIEW	03/18/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/23/2025

26575 COMMERCE DR.
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Volo, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2501
WWW.ASPECTDESIGNINC.COM



PROJECT # AD24199
DRAWN BY: DB / MB
30 WASHINGTON CIRCLE
EXTERIOR ELEVATIONS

AR 03

3 OF 13 TOTAL SHEETS

1 FRONT ELEVATION (NORTH)
AR 03

SCALE: N.T.S.

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EAST ELEVATION



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NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

REVIEW	01/05/2025
REVIEW	01/06/2025
REVIEW	01/07/2025
REVIEW	01/18/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/23/2025

REVIEW	01/05/2025
REVIEW	01/06/2025
REVIEW	01/07/2025
REVIEW	01/18/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/23/2025

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
ILLINOIS #1840034

ASPECT DESIGN INC.
ARCHITECTS

PROJECT #	AD24199
DRAWN BY:	DB/MB
30 WASHINGTON CIRCLE EXTERIOR ELEVATIONS	
AR 04	
# 4 OF 13 TOTAL SHEETS	

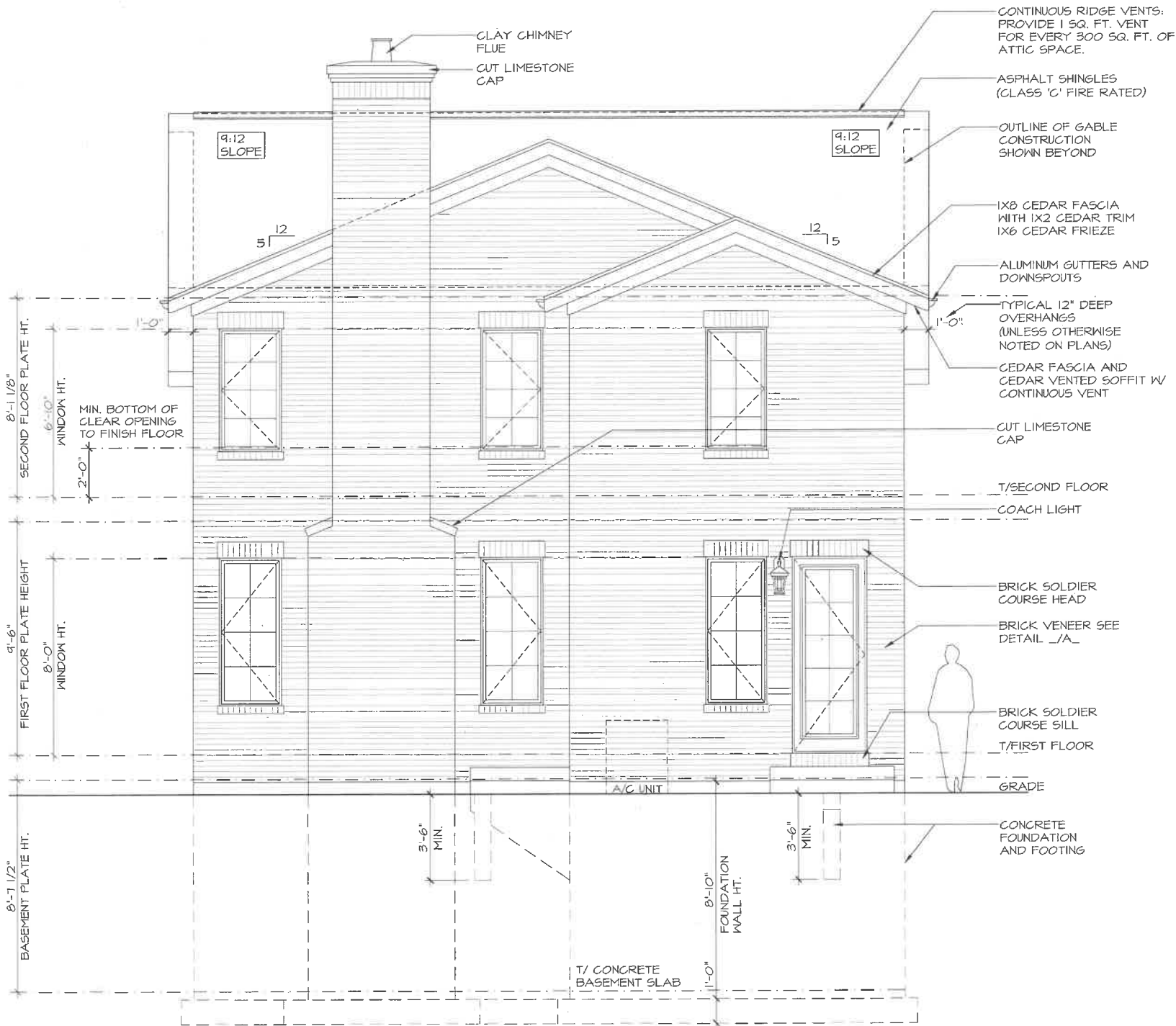
1 LEFT ELEVATION (EAST)
AR 04

SCALE: 1/4" = 1'-0"

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SOUTH ELEVATION



REVIEW ONLY-NOT FOR CONSTRUCTION

NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

REVIEW	03/05/2025
REVIEW	03/06/2025
REVIEW	03/07/2025
REVIEW	03/18/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/23/2025

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SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2501
WWW.ASPECTDESIGN.COM



PROJECT # AD24199
DRAWN BY: DB/MB
30 WASHINGTON CIRCLE
EXTERIOR ELEVATIONS

AR 05

5 OF 13 TOTAL SHEETS

1 REAR ELEVATION (SOUTH)
AR 05

SCALE: N.T.S.

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WEST ELEVATION



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NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

REVIEW	03/05/2025
REVIEW	03/06/2025
REVIEW	03/07/2025
REVIEW	03/10/2025
REVIEW	04/08/2025
REVIEW	04/09/2025
REVIEW	04/23/2025

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-437-2500
FAX: 847-437-2501
E: LICENSE # 14-20052



PROJECT # AD24199
DRAWN BY: DB / MB
30 WASHINGTON CIRCLE
EXTERIOR ELEVATIONS

AR 06

6 OF 13 TOTAL SHEETS

1 RIGHT ELEVATION (WEST)
AR 06

SCALE: 1/4" = 1'-0"

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GARAGE PLANS

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NEW CONSTRUCTION
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS 60045

REVIEW	03/05/2025
REVIEW	03/06/2025
REVIEW	03/07/2025
REVIEW	03/18/2025

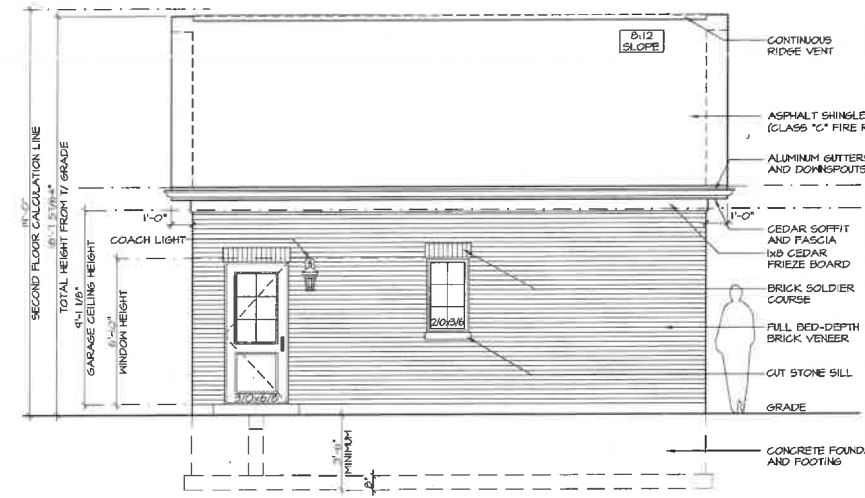
26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL 151851410000

ASPECT DESIGN INC.
ARCHITECTS

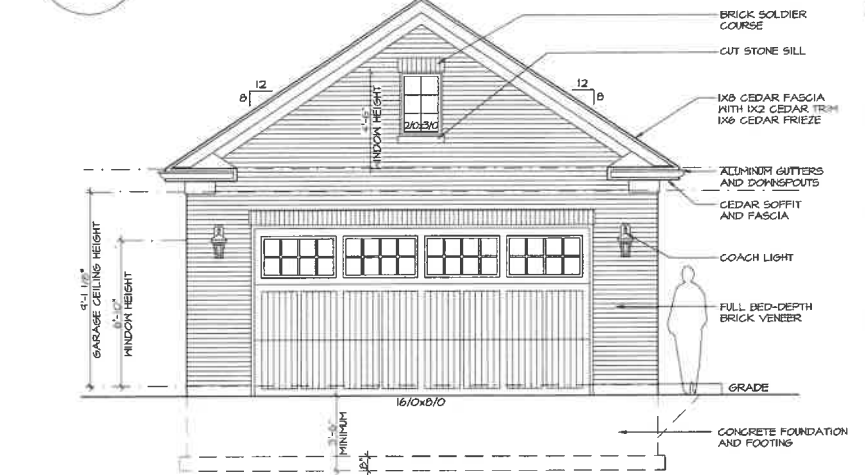
PROJECT # AD24159
DRAWN BY: DB / MB
30 WASHINGTON CIRCLE
GARAGE PLANS & ELEV.

AR 13

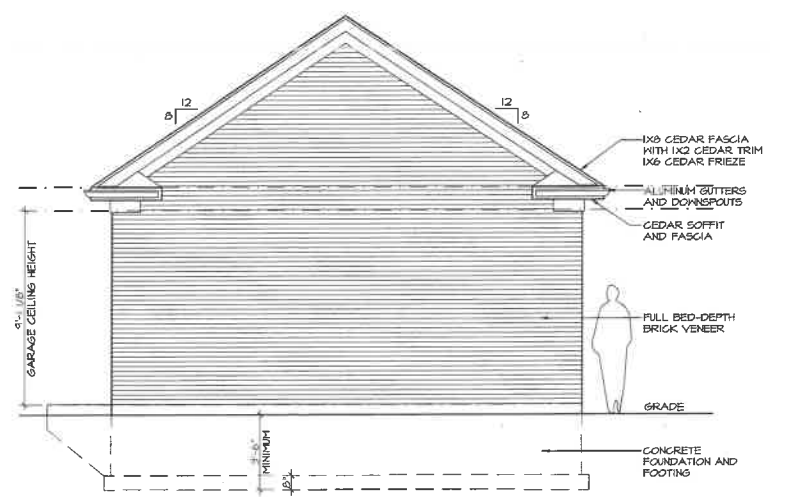
13 OF 13 TOTAL SHEETS



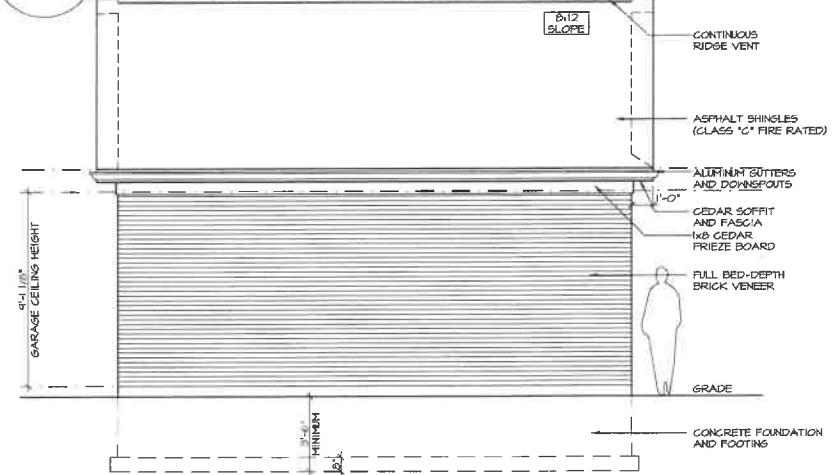
6 RIGHT ELEVATION (WEST)
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



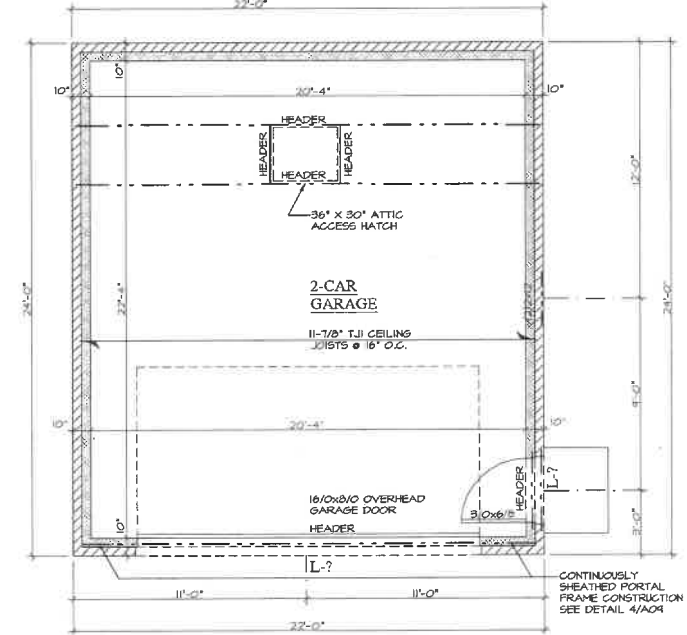
4 FRONT ELEVATION (NORTH)
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



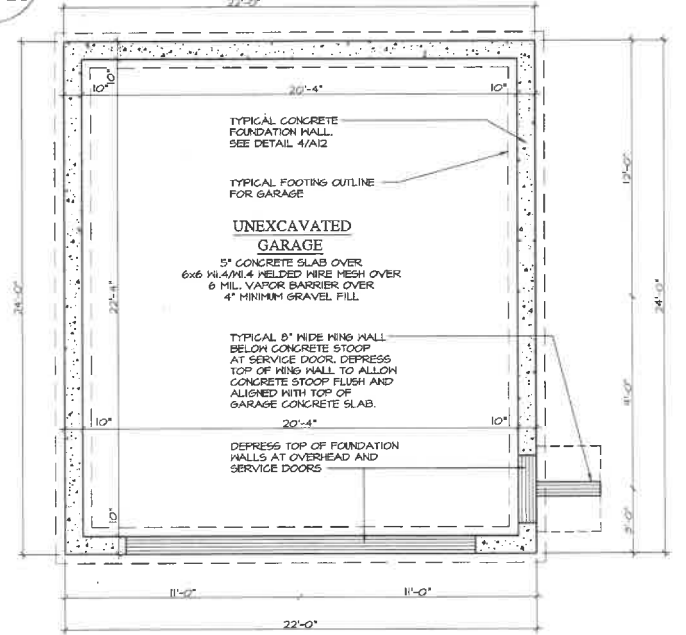
7 REAR ELEVATION (SOUTH)
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



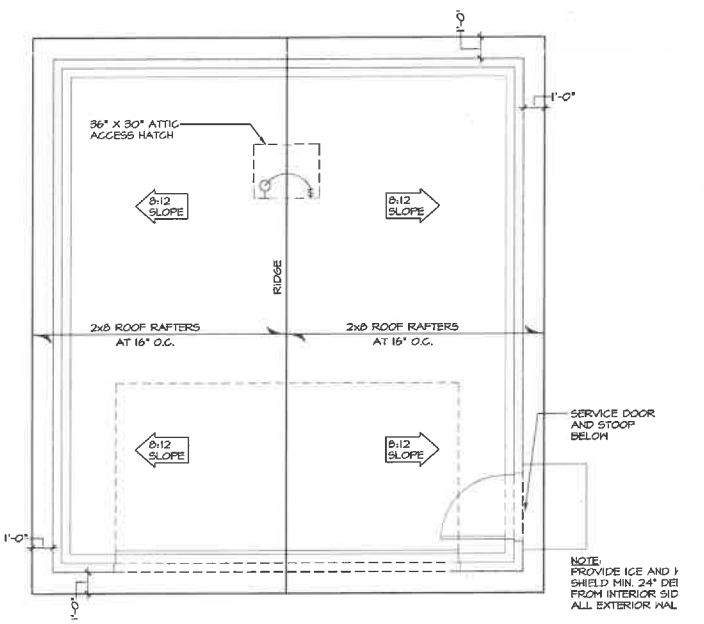
5 LEFT ELEVATION (EAST)
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



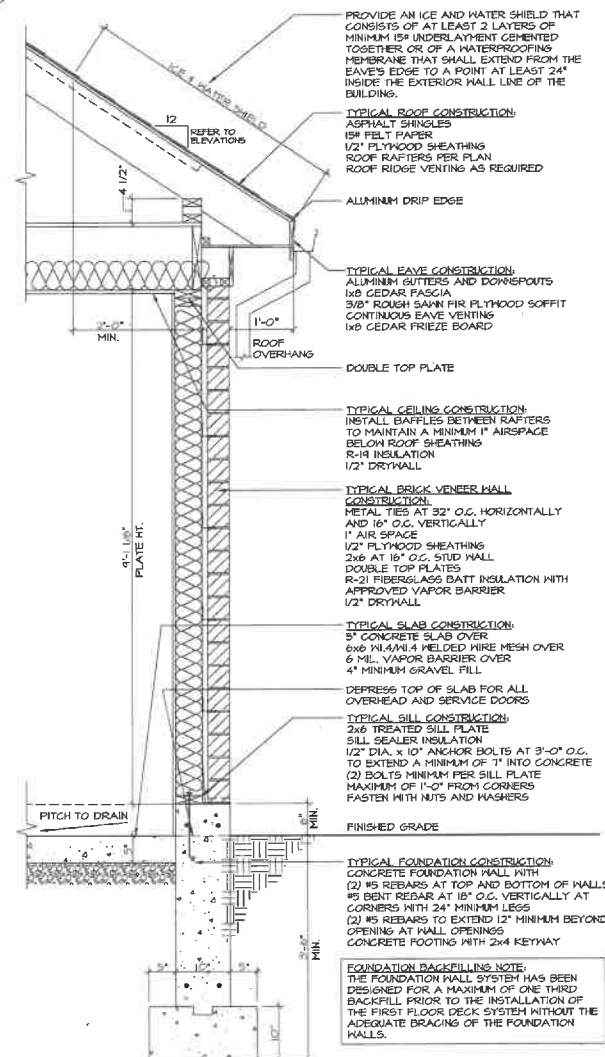
2 GARAGE FLOOR PLAN
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



1 GARAGE FOUNDATION PLAN
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



8 GARAGE ROOF PLAN
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.



3 TYPICAL GARAGE WALL SECTION
AR 13 DETACHED TWO-CAR GARAGE SCALE: N.T.S.

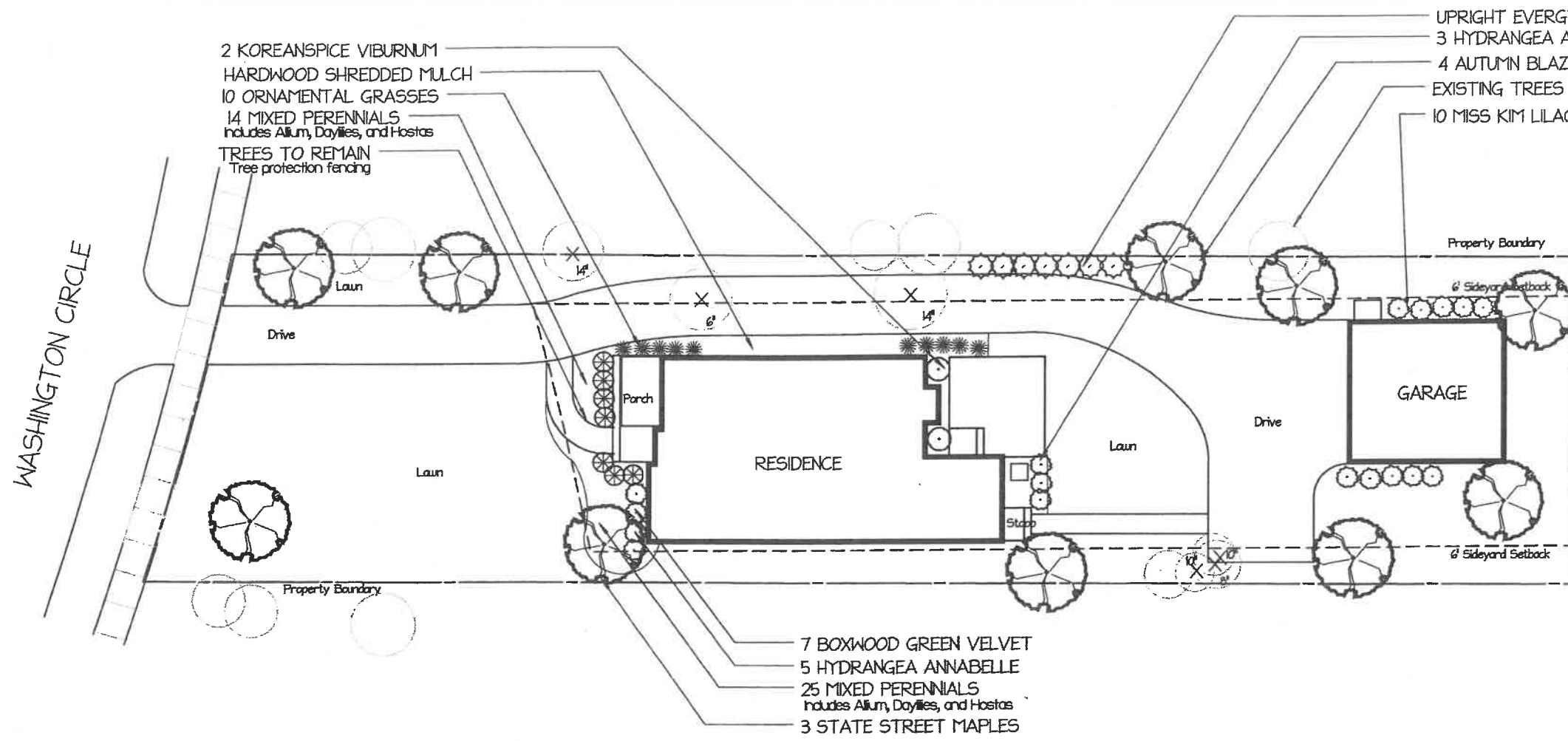
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LANDSCAPE PLAN



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 WILL BE PROSECUTED TO THE FULLEST EXTENT
 OF THE LAW.



2 KOREANSPICE VIBURNUM
 HARDWOOD SHREDDED MULCH
 10 ORNAMENTAL GRASSES
 14 MIXED PERENNIALS
 Includes Allium, Daylilies, and Hostas
 TREES TO REMAIN
 Tree protection fencing

UPRIGHT EVERGREEN SCREENING
 3 HYDRANGEA ANNABELLE
 4 AUTUMN BLAZE MAPLE
 EXISTING TREES to remain
 10 MISS KIM LILACS

7 BOXWOOD GREEN VELVET
 5 HYDRANGEA ANNABELLE
 25 MIXED PERENNIALS
 Includes Allium, Daylilies, and Hostas
 3 STATE STREET MAPLES

PROPERTY LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

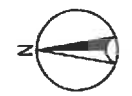
PLANTING SCHEDULE

Qty	Botanical Name	Common Name	Size/Condition
Trees			
6	Acer freemanii 'Autumn Blaze'	AUTUMN BLAZE MAPLE	3" cal.
4	Acer 'State Street'	STATE STREET MAPLE	3" cal.
Shrubs			
8	Hydrangea arborescens 'Annabelle'	ANNABELLE SMOOTH HYDRANGEA	5 Gallon
2	Viburnum carlesii 'Compactum'	COMPACTUM KOREANSPICE VIBURNUM	5 Gallon
10	Syringa patula 'Miss Kim'	MISS KIM LILAC	5 Gallon
7	BUXUS 'Green Velvet'	GREEN VELVET BOXWOOD	18"
Perennials			
7	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
10	Allium 'Millennium'	MILLENNIUM ALLIUM	1 Gallon
10	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	1 Gallon
7	Aster Purple Dome	PURPLE DOME ASTERS	1 Gallon
5	Hostas 'Blue Angel'	BLUE ANGEL HOSTAS	1 Gallon
Evergreens			
7	Thuja occidentalis	EMERALD GREEN ARBORVITAE	6'

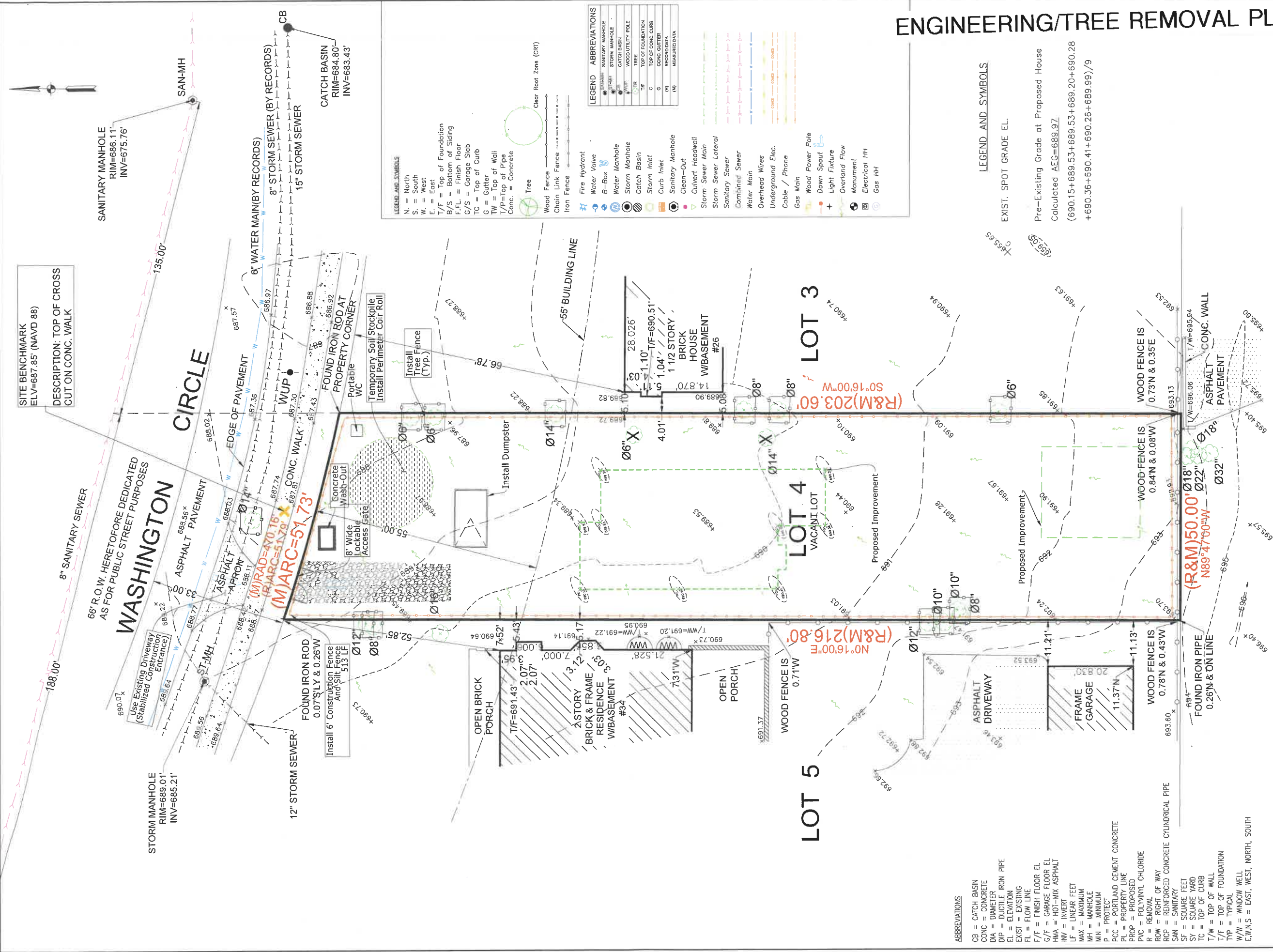
REVISIONS	
1	April 17, 2025
2	
3	
4	
5	
6	
7	
8	
9	
10	

Drawn By: B Phillips
 Approved By:
 Date: March 18, 2025
 Project No: 25-118
 Scale: 1" = 20'-0"

NEW RESIDENCE
 30 West Washington Circle
 Lake Forest, IL 60045



ENGINEERING/TREE REMOVAL PLAN



LEGEND ABBREVIATIONS	LEGEND AND SYMBOLS
N. = North	EXIST. SPOT GRADE EL.
S. = South	Pre-Existing Grade at Proposed House
W. = West	Calculated AEG=689.97
E. = East	(690.15+689.53+689.53+689.20+690.28
T/F = Top of Foundation	+690.36+690.41+690.26+689.99)/9
B/S = Bottom of Sliding	
F.F.L. = Finish Floor	
G/S = Garage Slab	
TC = Top of Curb	
G = Gutter	
T/P = Top of Pipe	
Conc. = Concrete	
Tree	
Wood Fence	
Chain Link Fence	
Iron Fence	
Fire Hydrant	
Water Valve	
B-Box	
Water Manhole	
Storm Manhole	
Catch Basin	
Storm Inlet	
Curb Inlet	
Sanitary Manhole	
Clean-Out	
Culvert Headwall	
Storm Sewer Main	
Storm Sewer Lateral	
Sanitary Sewer	
Combined Sewer	
Water Main	
Overhead Wires	
Underground Elec.	
Cable / Phone	
Gas Main	
Wood Power Pole	
Down Spout	
Light Fixture	
Overland Flow	
Monument	
Electrical HH	
Gas HH	

ABBREVIATIONS
CB = CATCH BASIN
CONC = CONCRETE
DIA = DIAMETER
DIP = DUCTILE IRON PIPE
EL = ELEVATION
EXIST = EXISTING
FL = FLOW LINE
F/F = FINISH FLOOR EL
G/F = GARAGE FLOOR EL
HMA = HOT-MIX ASPHALT
INV = INVERT
LF = LINEAR FEET
MAX = MAXIMUM
MH = MANHOLE
MIN = MINIMUM
P = PROTECT
PCC = PORTLAND CEMENT CONCRETE
PL = PROPERTY LINE
PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
R = REMOVAL
ROW = RIGHT OF WAY
RCP = REINFORCED CONCRETE CYLINDRICAL PIPE
SAN = SANITARY
SF = SQUARE FEET
SY = SQUARE YARD
TC = TOP OF CURB
T/W = TOP OF WALL
T/P = TOP OF FOUNDATION
TYP = TYPICAL
W/W = WINDOW WELL
E/WANS = EAST, WEST, NORTH, SOUTH

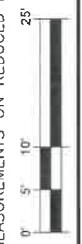
LEGEND AND SYMBOLS
EXIST. SPOT GRADE EL.

Pre-Existing Grade at Proposed House
Calculated AEG=689.97
(690.15+689.53+689.53+689.20+690.28
+690.36+690.41+690.26+689.99)/9

ENGINEERING PLANS PREPARED BY:
RBD Associates, Inc.
Design Firm License Number: 184.008755
GLENNVIEW, IL
rom@rbdengineering.com
224.425.0009

PLANS PREPARED FOR:
Peter Childs
Childs Development, LLC.
222 E. Wisconsin, Suite #303a
Lake Forest, IL 60045
312-882-5307

FULL SIZE PLANS HAVE BEEN PREPARED USING
STANDARD ENGINEERING SCALES.
REDUCED SIZED PLANS WILL NOT CONFORM TO
STANDARD SCALES. USE THE SCALE BELOW TO
MAKE MEASUREMENTS ON REDUCED PLANS.



DATE	REMARKS
04/23/2025	ISSUED FOR REVISED SITE PLAN
03/18/2025	ISSUED FOR DESIGN COORDINATION

Signed: 03/18/2025
Expires: 11/30/2025
Romiz B. Dababneh
REGISTERED PROFESSIONAL ENGINEER
STATE OF ILLINOIS NO. 062-073740



NEW SINGLE FAMILY
RESIDENTIAL
30 WASHINGTON CIRCLE
LAKE FOREST, ILLINOIS

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AUTHORIZED IN WRITING BY THE ENGINEER.

EXISTING CONDITIC
DESIGNED BY: RBD
PROJECT NO.: 25-30
DATE: 03/18/2025
SCALE: 1:10 (FULL), 1:20 (1:1X17)
SHEET 2 OF 4