

Agenda Item 3

172 Atteridge

Consideration of a request for a recommendation in support of a building scale variance for a rear second story addition and alterations

Staff Report

Building Scale Summary

Vicinity Map

Air Photos

Materials Submitted by Petitioner

Application

Description of Materials

Statement of Intent

Plat of Survey – Existing and Proposed

Enlarged Site Plan

Elevations – Existing

Elevations - Proposed

Roof Plan – Existing and Proposed

Cross Sections – Existing and Proposed

Floor Plans - Proposed

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

172 Atteridge Road

Consideration of a second floor rear addition, a height variance, and alterations to the front facing dormer.

**Property Owners: Rich and Kathleen Hanson
Presented by: Micheal Rafferty, Architect**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a second floor addition to the rear of the house and a height variance. Alterations to the exterior materials on the dormer on the front elevation are also proposed.

Description of Property

This property is located on the north side of Atteridge Road, at the intersection of Atteridge Road and Oakwood Avenue. The property is located in the Green Bay Addition subdivision which was recorded in 1907. The house was originally constructed in 1920. A rear first floor rear addition was added in 2019. The proposed addition is located over the earlier first floor addition.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

There are no proposed changes to the footprint of the home. The rear deck will be reconfigured and become slightly smaller. The existing ramps will be removed.

Building Massing and Height – A variance is requested.

Based on the lot size, a residence of up to 2,525 square feet is permitted on the site with allowances of 576 square feet for a garage and 253 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 1,729 square feet.
- The existing garage is 444 square feet.

- In addition to the square footage above, a total of 225 square feet of design elements are incorporated into the design of the house.
- The proposed addition totals 456 square feet.

In conclusion, the residence with the proposed addition totals 2,185 square feet, 341 feet or 13% percent **below** the maximum allowable square footage for this property.

The height of the proposed addition is 30 feet and 3 inches as measured from the point of lowest existing grade to the tallest roof peak. The addition as proposed matches the height of the existing residence. The allowable height is 30 feet. A variance of 3 inches to the maximum allowable height is requested. The proposed height is discussed further below.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met*. The Code does not require that all five standards be met. These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The addition is designed in a manner that is generally consistent with the form, detailing, and materials of the residence. The proposed roof forms and articulation of the massing of the addition enhance the earlier single story addition and better align the rear of the residence with the original residence.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. There is limited vegetative screening on the property and no additional planting is proposed. Space for planting is constricted by the narrowness of lot however, additional plantings, where the opportunity exists, may help to mitigate the massing of the rear addition on the neighboring homes and yards.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is somewhat met. The proposed addition is not visible from the streetscape. The addition will, however, have an impact on the light and views from the rear yards of the adjacent neighboring homes. This relationship of

homes to rear yard spaces is common in this neighborhood because of the narrow lots. There is a taller, multi-family residential development to the north.

Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is mostly met. Residences with a full two-story mass as proposed in this petition are present in the neighborhood. However, the neighboring homes directly to the east and west, as many others in the neighborhood, do not have second story space which spans the length of the property like that which is proposed. The fact that the addition steps back, away from the property line on the east side is a mitigating factor as is the setback on the west side of the property due to the driveway on the west side of the house.

Elevations – This standard is met.

The petitioner intends to build a rear, second story addition matching the existing architectural style. The hipped roof over the existing second floor space will be extended to the north and stepped down to a second hipped element over the proposed master suite.

Residences with a full two story mass as proposed in this petition are present in the neighborhood. However, the neighboring homes directly to the east and west, unlike other homes in the neighborhood, do not have second story space which spans the length of the property like that which is proposed. The addition will have an impact on the light and views from the rear yards of the adjacent neighboring homes. However, this relationship of homes to rear yard spaces is common in this neighborhood because of the narrow lots. There is a taller, multi-family residential development to the north.

The fact that the addition steps back, away from the property line on the east side is a mitigating factor as is the setback from the house to the west due to the driveway on the west side of the house.

On the east and west elevations, square clerestory windows are proposed. On the north elevation, a master bedroom window is proposed. Consideration could be given to conducting further study and refinement of the proposed windows to better match the size and shape to the existing windows.

The entire roof will receive new shingles and the materials of the south facing dormer will be adjusted to be more in keeping with the streetscape.

Staff Recommendation: Conduct further study and consider refinement of the proposed windows to better match the size and shape of the windows on the original residence.

Height Variance

A height variance of three inches is requested to allow a portion of the roof of the addition to match the height of the existing residence which was constructed prior to current height limitations. The minimal variance requested and the intent to match the peak of only a portion of the roof of the addition to the existing height appears to justify the variance requested.

Type, color, and texture of materials – This standard is met.

The new windows will be aluminum clad with simulated divided lites, with muntins affixed to the interior and exterior of the windows. All other materials will match the existing materials.

Landscaping - This standard is met.

No changes to the existing landscaping are proposed.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of the rear, second story addition and a height variance for a rear addition and alterations subject to the following conditions.

1. Prior to the submittal of plans for permit, conduct further study and consideration refinements to the windows on the addition to better align with the windows on the original home. The refinements shall be subject to staff approval.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity if determined to be necessary by the City's Certified Arborist.

Exterior Lighting

- b. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

- c. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The public street and all private driveways must remain unobstructed, passable, and clean at all times. Due to the narrowness of the street, off site contractor parking may be required at the discretion of the City.
4. Submit an as-built survey during construction to assure that the addition does not exceed a height of 30 feet and 3 inches from the lowest existing grade to the highest point.



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 172 ATTERIDGE ROAD

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

RICH & KATHLEEN HAUSDN
Owner of Property

1135 LAWRENCE AVE.
Owner's Street Address (may be different from project address)

LAKE FOREST, IL
City, State and Zip Code

(847) 651-1740
Phone Number *Fax Number*

REHJR465@GMAIL.COM
Email Address

Michael J Hausdn
Owner's Signature

ARCHITECT/BUILDER INFORMATION

MICHAEL RAFFERTY
Name and Title of Person Presenting Project

RAFFERTY / ARCHITECTS
Name of Firm

57 WITT ROAD
Street Address

SOUTH BARRINGTON, IL 60010
City, State and Zip Code

(847) 381-0289
Phone Number *Fax Number*

MIKE@RAFFERTYARCHITECTS.COM
Email Address

Michael P Rafferty
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 5:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|---|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? INDIVIDUAL

Color of Material WHITE

Window Treatment

- | | |
|---|---|
| Primary Window Type | Finish and Color of Windows |
| <input checked="" type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |

Color of Finish WHITE

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other NO NEW DOORS

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other NO NEW FOUNDATION

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles NEW ADDITION
EXISTING HOUSE
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other NO NEW DRIVEWAY

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other NO NEW PATIO



STATEMENT OF INTENT

After having lived at 1135 Lawrence in West Lake Forest since 2001, Mr. and Mrs. Hanson have made the sometimes-difficult decision to downsize from their large, more modern home into a smaller 3-bedroom home more walkable to the center of town.

To do that, they have purchased the home at 172 Atteridge Road which was built in 1920. Like most homes of that era, all three bedrooms are modest in size, lack closet space and share a common hall bathroom. Before moving in, they want to give their new home the kind of Primary Suite that is common today as opposed to 100 years ago. They don't need an opulent spa with a tub the size of Texas, but they do want to have a Walk-in Closet and en-suite Bath arrangement - features that will greatly improve the functionality of the house.

By building new Second Floor space on top of the one-story tall Family Room addition out the back (which was built by the previous Owner back in 2019), they will not be changing the home's appearance from the street, expanding the footprint of the home or incurring any excavation or foundation headaches. Instead, the uncharacteristically low pitched roof that was needed to cover the Family Room will be removed so that the new addition can sit on top of it. We feel that by doing so, the architecture of the home will actually be improved.

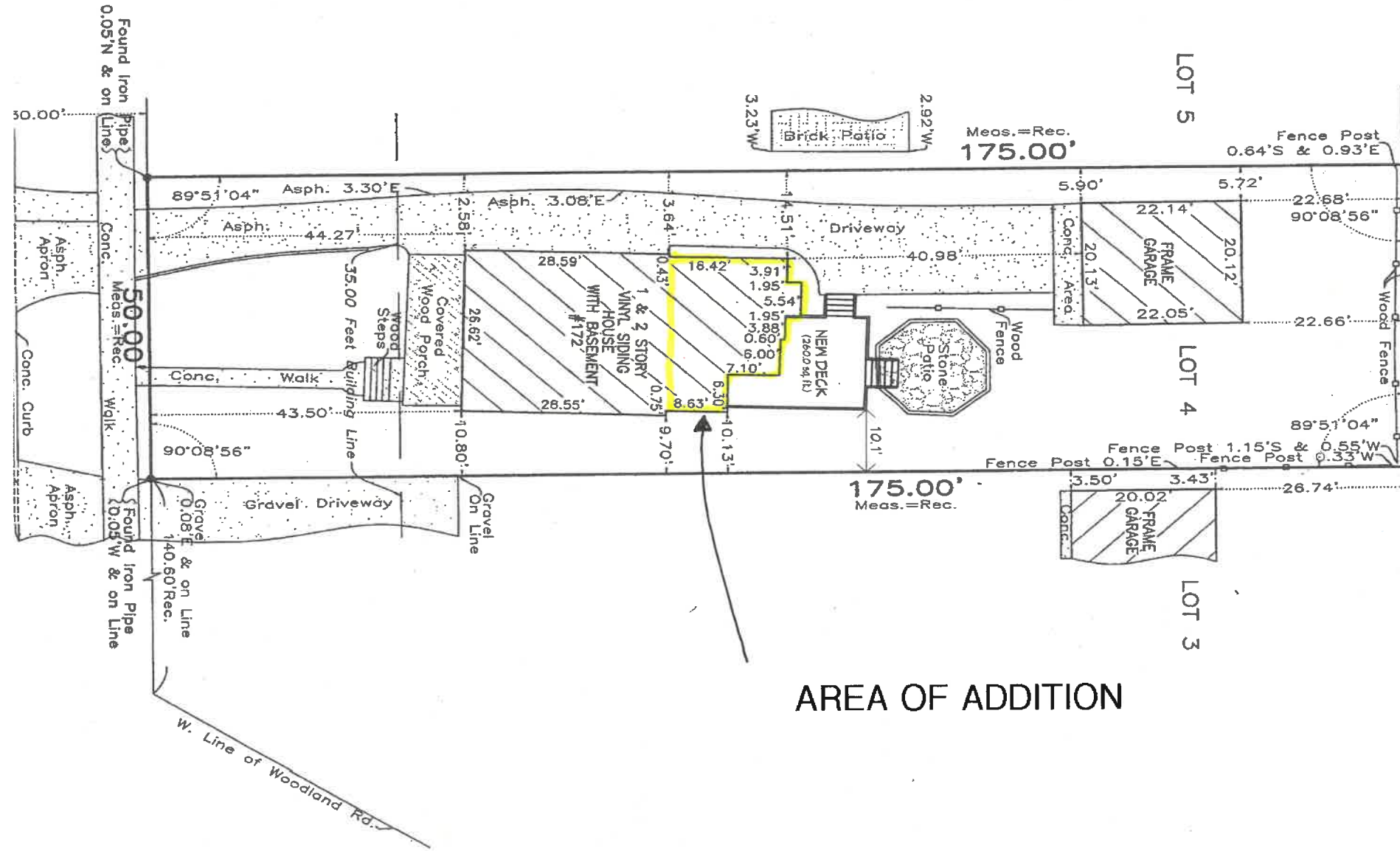
Originally, thought was given to have the new Primary Bedroom enjoy a 9 foot ceiling height but to do so would have broken the existing eavelines and ridgeline. This design did not look especially nice. Further, the current height of the house sits at 30'-2 3/4" , a pre-existing nonconformity is that is it 2 3/4" over the 30 foot limit. The Hansons decided to redesign the project in order to avoid increasing the already too-tall height of the house, as well as to make the make the eavelines and ridgeline look much better and more architecturally correct. We were able to design this in a manner that doesn't sacrifice any functionality of the new space. Though our project is safely under the bulk limit, this latest design also actually makes the bulk calculations even better.

We hope that the Building Review Board will understand the hardship we suffer, as well as our desire to maintain the character and fit of the house within the context of the neighborhood. The house has been compatible with the height, mass and design of the neighborhood for over 100 years, and we feel strongly that our work, once completed, will only enhance the house's appearance and fit within the neighborhood. Thus, we are requesting that the Building Review Board and the City Council grant us an exception to the height limitations.

ENLARGED SITE PLAN

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 OF THE WORK, IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
 CONTRACTOR SHALL VERIFY ALL PLAN AND EXISTING DIMENSIONS AND
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 IN WRITING OF ANY DISCREPANCY BEFORE PROCEEDING WITH WORK OR BE
 RESPONSIBLE FOR ALL UNAUTHORIZED DEVIATIONS FROM THE PLAN.
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AREA OF ADDITION

SITE PLAN
 Scale: 1" = 20 feet

REVISIONS	DATE

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CUSTOM ADDITION
 DESIGNED EXPRESSLY FOR RICH AND KATHLEEN HANSON
 LOT 4 IN GREEN BAY ADDITION
 172 ATTRIDGE ROAD
 LAKE FOREST, ILLINOIS

rafferty/architects
 57 Witt Road
 South Barrington, IL 60010
 phone: (847) 381-6289
 www.raffertyarchitects.com
 Michael P. Rafferty, Architect
 Kelly P. Rafferty, Architect

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EXISTING EAST AND WEST ELEVATIONS

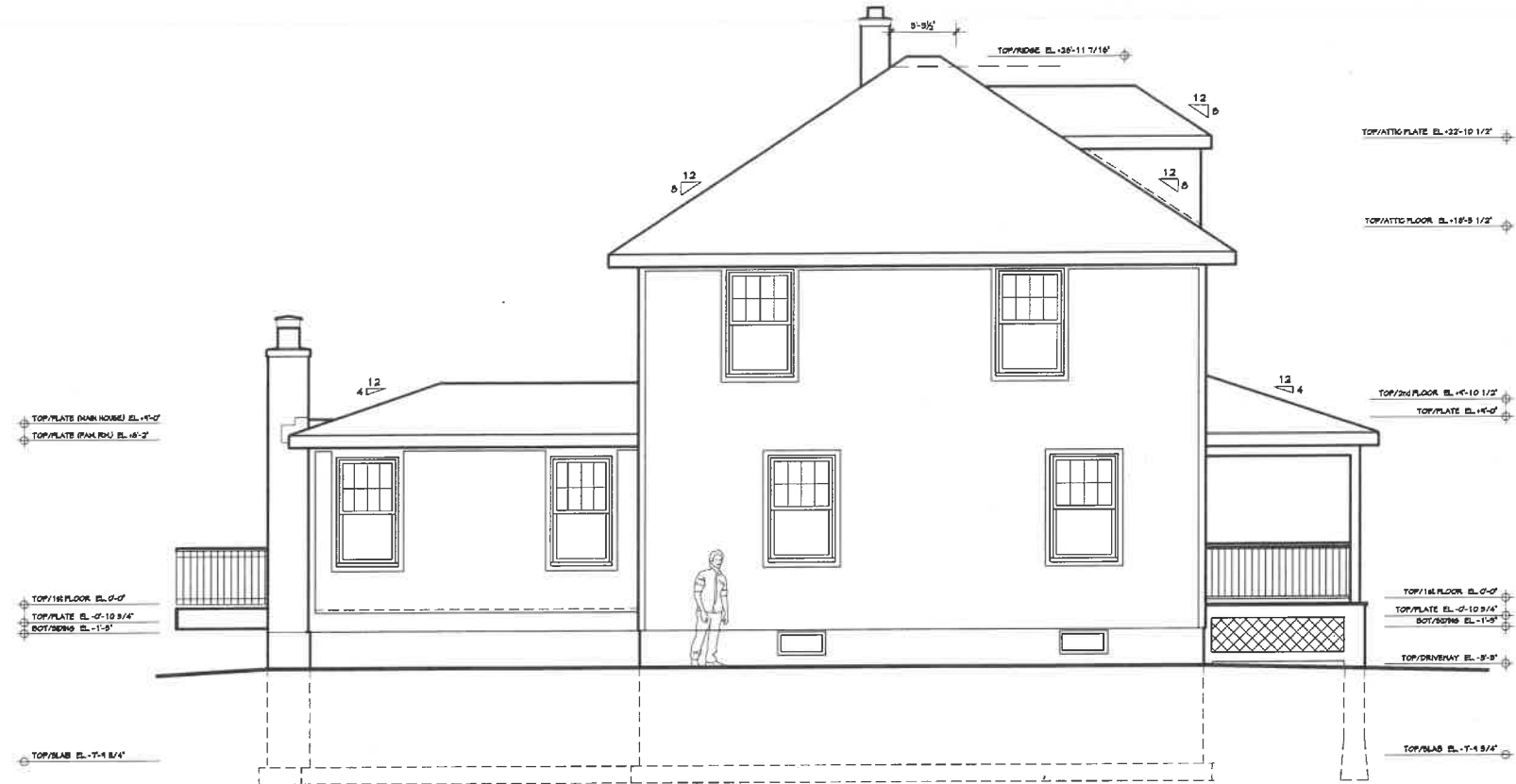
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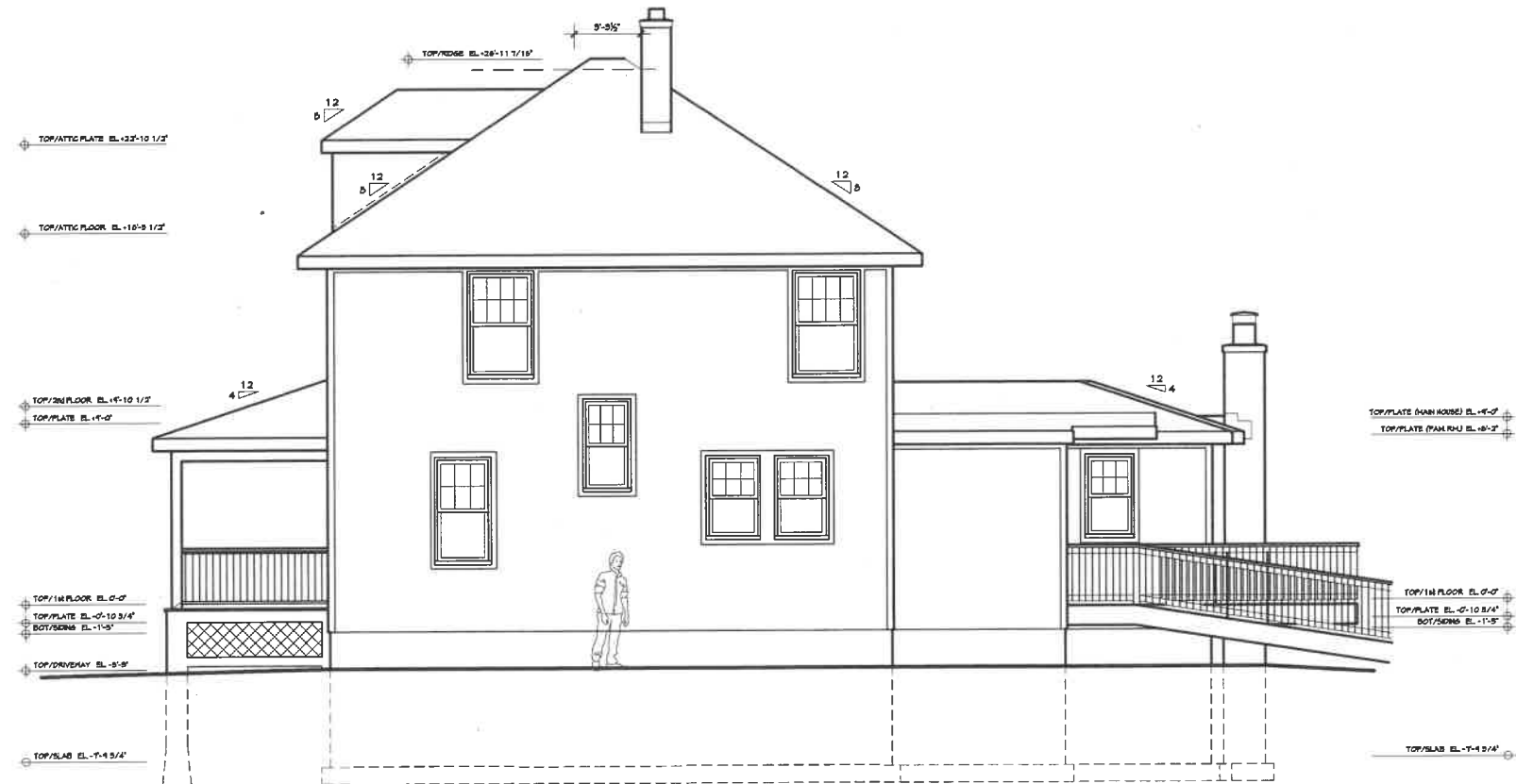
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LEFT SIDE ELEVATION (BEFORE)
 Scale: 1/4" = 1'-0"

WEST ELEVATION



RIGHT SIDE ELEVATION (BEFORE)
 Scale: 1/4" = 1'-0"

EAST ELEVATION

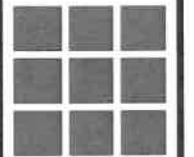
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 Michael P. Rafferty, Architect
 Kelly P. Rafferty, Architect

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PROPOSED NORTH AND SOUTH ELEVATIONS

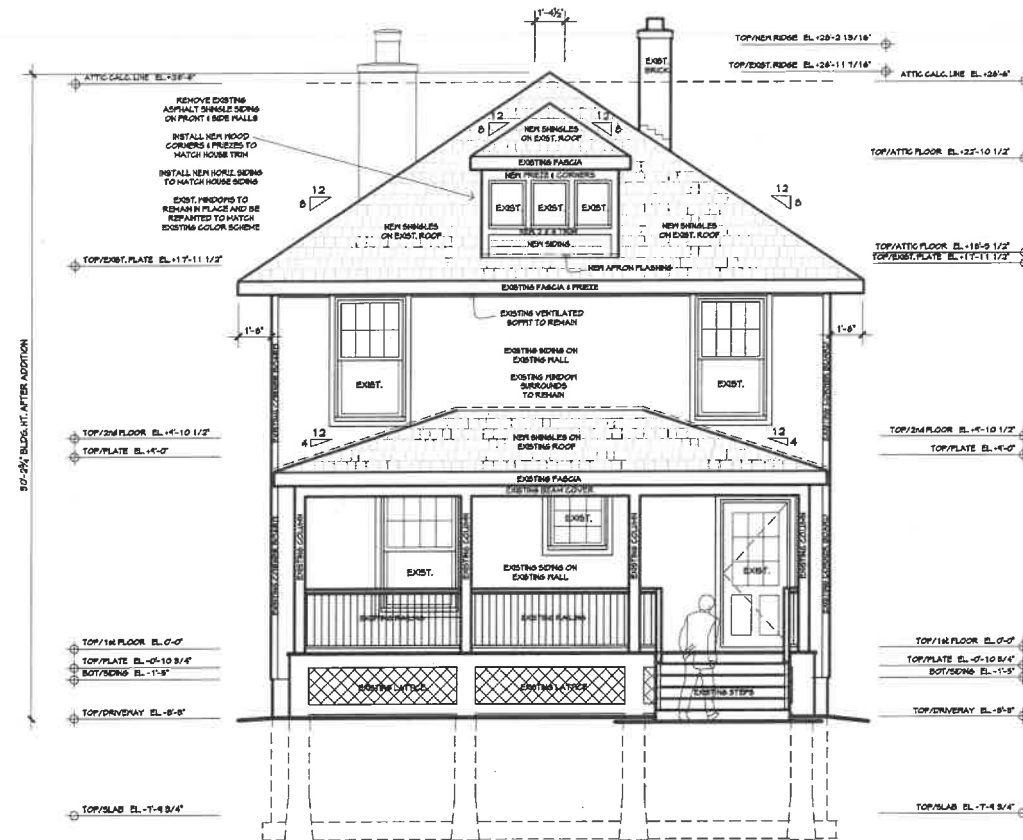
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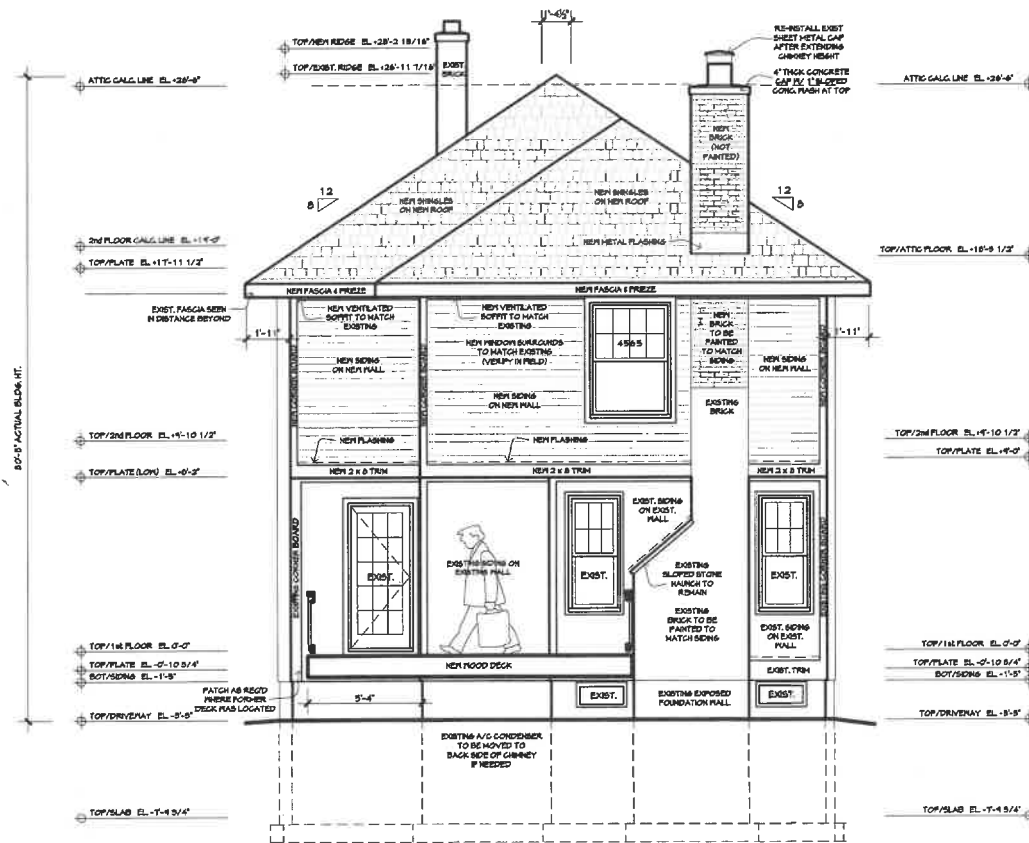
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FRONT ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

SOUTH ELEVATION



REAR ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

NORTH ELEVATION

REVISIONS	DATE

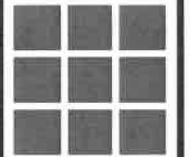
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PROPOSED EAST AND WEST ELEVATIONS

GENERAL NOTES

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ATTIC GABLE LINE EL. +28'-6"

TOP/NEW WALLS EL. +11'-1 1/2"

TOP/NEW 2ND FLOOR EL. +10'-1 1/2"

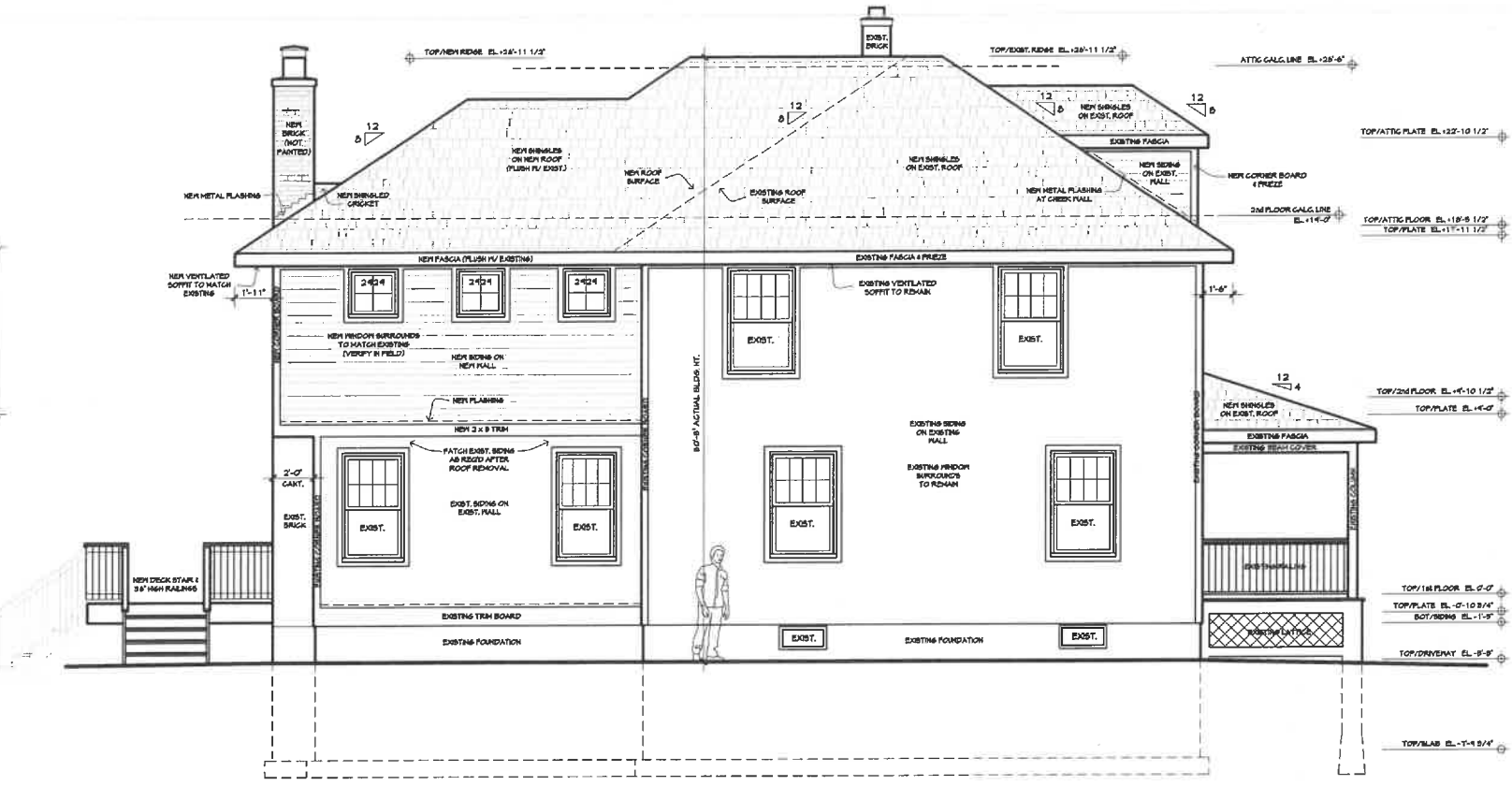
TOP/PLATE (PAK/RD) EL. +9'-3 1/2"

TOP/1ST FLOOR EL. 0'-0"

TOP/PLATE EL. -0'-10 3/4"

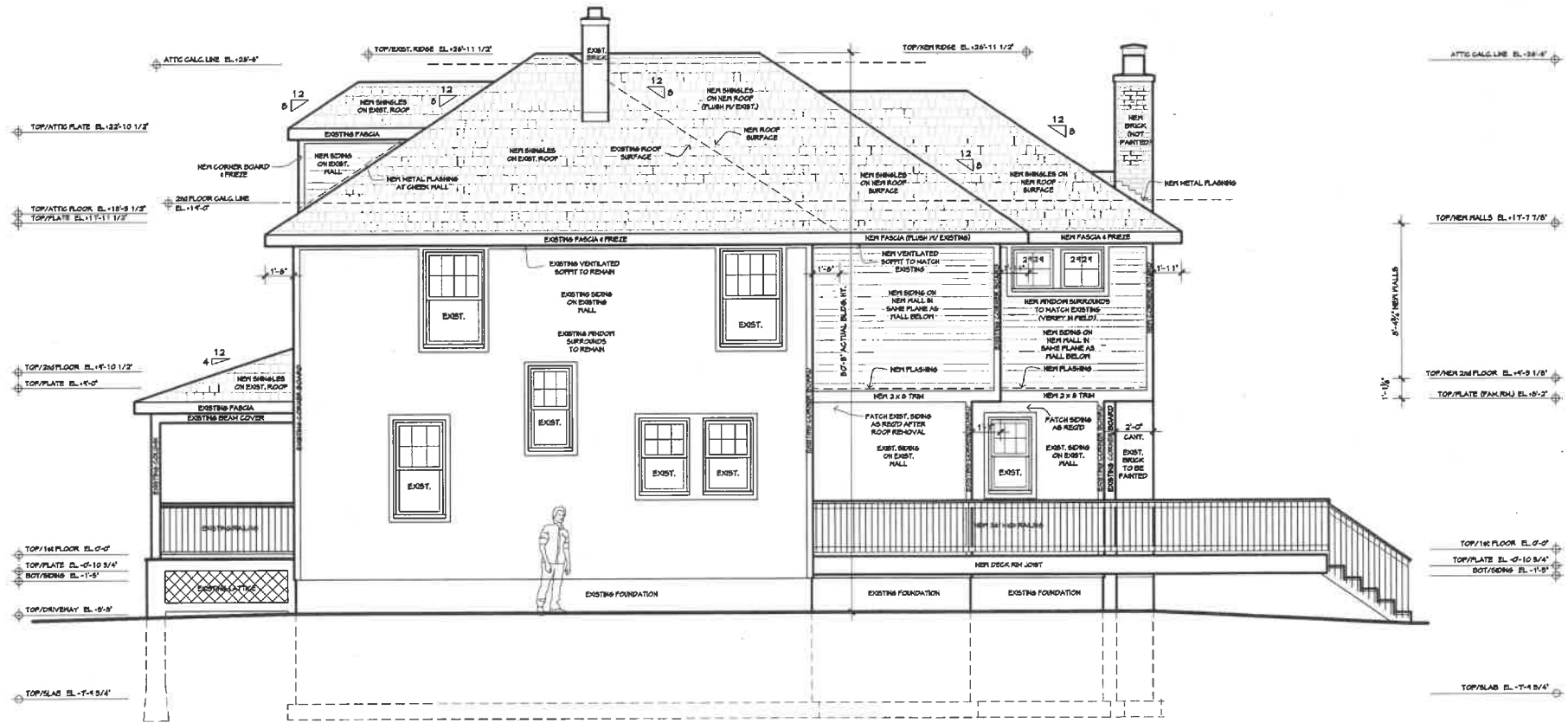
DOT/SOING EL. -1'-0"

TOP/SLAB EL. -7'-4 5/4"



LEFT SIDE ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

WEST ELEVATION



RIGHT SIDE ELEVATION (AFTER)
 Scale: 1/4" = 1'-0"

EAST ELEVATION

REVISIONS	DATE

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CUSTOM ADDITION

DESIGNED EXPRESSLY FOR RICH AND KATHLEEN HANSON
 LOT 4 IN GREEN BAY ADDITION
 172 ATTERIDGE ROAD
 LAKE FOREST, ILLINOIS

rafferty/architects

57 Witt Road
 South Barrington, IL 60010
 phone: (847) 381-6289

www.raffertyarchitects.com
 Michael P. Rafferty, Architect
 Kelly P. Rafferty, Architect

DRAWN
CHECKED
DATE 03/21/25
SCALE
JOB NO.
SHEET A-8
OF SHEETS

Agenda Item 4
375 Deerpath Square
Consideration of a new single-family residence, attached garage and
associated hardscape and landscape plan on a vacant lot.

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan - Before Being Flipped
Site Plan - Flipped
Colored Rendering
Elevations
Roof Plan
Cross Section
Floor Plans
Landscape Plan
Grading and Tree Removal Plan
Tree Inventory List

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

375 Deerpath Square

Consideration of a new single-family residence, attached garage and associated hardscape and landscape plan on a vacant lot.

**Property Owners: Daniel and Adriana Axeunte
Presented by: John Nelson, Architect**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a new single-family residence, attached garage and the associated hardscape and landscape plan on a vacant lot.

Description of Property

This property is located on the east side of Deerpath Square, at the southeast corner of the intersection of Deerpath and Deerpath Square and just west of the Route 41 on-ramp heading south from Deerpath. The property is located in the Deerpath Hill Estates, 2nd Addition subdivision which was recorded in 1929. This property is unique in that it is bordered on three sides by public streets.

On December April 28, 2025, the petitioner is scheduled to appear before the Zoning Board of Appeals to request variances from the east and west side yard setbacks to allow an open front porch and a cantilevered second floor. The variances are requested due to the narrowness of the buildable area as a result of the 40 foot setbacks on all sides of the property.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard can be met.

The residence is sited close to Deerpath Road, right at the 40 foot setback. The house and attached three-car front-loading garage face west towards Deerpath Square. A single curb cut is proposed along the west property line for the driveway. A 16-foot-wide asphalt driveway expands to a 30-foot-wide garage apron.

The house was originally proposed with the curb cut closer to Deerpath, in the inset area which is currently designated for limited parking. To create a safer amount of space between the driveway entrance and Deerpath, and recognizing the limited parking area, the petitioner agreed to flip the orientation of the house to locate the garage at the south end of the house.

The original and adjusted site plans are in the Board's packet. **The elevations, however, have not yet been flipped and will need to be adjusted.**

The home at 380 Deerpath Square, across from 375 Deerpath Square, is sited closer to the south, towards Kennington Terrace. Given the proximity of the proposed house to Deerpath Road and with respect to the existing streetscape, staff recommends shifting the house a bit further south, pulling the curbcut away from the inset area of the curb on the street. There is significant space at the south end of the lot, shifting the house 10 feet or so south will not negatively impact the available south yard area.

Staff Recommendation: Shift the house and curb cut towards the south.

A sidewalk of poured concrete is proposed leading from the driveway to the front entrance. A rear patio composed of poured concrete is also proposed.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,485 square feet is permitted on the site with allowances of 600 square feet for a garage and 449 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,779 square feet.
- The proposed garage totals 855 square feet. With a maximum garage exemption of 600 square feet, 255 square feet must be added to the square footage of the residence.
- 705 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 448 square feet, 403 square feet must be added to the square footage of the residence.

In conclusion, the residence totals 4,437 square feet, 48 feet or 1 percent below the maximum allowable square footage for this property.

Elevations – This standard is met.

The petitioner identifies the style of architecture as Farmhouse style with Cape Code dormers. Further study and refinement of the dormers should be considered. Softening the angle of the gables could help to create a more cohesive design reducing the starkness of the front elevation to better align with other homes in the area.

Overall, the massing and roof forms are simple. The doors and windows are regularly arranged and proportional throughout the elevations. On the north elevation, further study could be given to the garage windows to better break up the wall massing.

Staff Recommendation: Conduct further study and refinement of the dormers.

Staff Recommendation: Conduct further study and refinement of windows on the south elevation to break up the solid wall.

Type, color, and texture of materials – This standard is met.

According to the petitioner, the home will have Jefferson tan LP board and batten siding. The trim is proposed as LP however, the Board traditionally encourages a natural trim material like cedar. The windows will be fiberglass and wood Marvin windows with simulated divided lites with interior and exterior affixed muntins. The roof will be composed of charcoal composition architectural asphalt shingles. The porch roof will be vertical standing seam metal. To related to a residential scale, the standing seam roof panels should be no wider than 12 inches. The gutters will be aluminum. Poured concrete is proposed for the front walk and rear patio. The driveway will be asphalt.

Staff Recommendation: Use a natural material for the trim, such as cedar.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches.

Landscaping - This standard can be met.

Currently, the proposed landscape plan does not match the proposed site plan and must be updated. It also does not yet meet the minimum criteria for new construction or clearly identify all trees and vegetation intended for removal or intended to remain. At a minimum, the plan must reflect foundation plantings around the entire residence and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Staff Recommendation: Submit a detailed plan of existing landscape conditions identifying trees and vegetation to remain and any proposed removals. Submit a detailed landscape plan that demonstrates that the minimum planting requirements for new construction are satisfied either by existing plantings or by additional plantings proposed for the site. Foundation plantings must be detailed on the plan.

Trees 5 and 6, a maple tree and a black locust tree in poor condition, are proposed for removal. In addition, trees 7 and 8 (black locusts in poor condition), should be shown for removal given their proximity to the proposed driveway. Any removal of parkway trees will need to be compensated with new plantings in the parkway or through a payment in lieu of planting as determined to be appropriate by the City.

Substantial vegetative screening exists along the north and west property lines. This is not proposed for removal but should be clearly noted as remaining.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition other than the letter of approval received from the HOA.

Recommendation

Recommend approval of a new house, attached garage, hardscape and a conceptual landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit, make the following refinements based on Board direction. The refinements shall be subject to staff approval.
 - a. Shift the house to the south to provide distance between the curb cut and the inset curb along the north portion of the property.
 - b. Conduct further study and refine the windows on the south elevation to break up the solid wall.
 - c. Conduct further study and refine the dormers to soften the appearance in a manner that is more consistent with the character of homes in the area.
 - d. Use a natural material for the trim, such as cedar.
 - e. Standing seam metal roof panels shall be no wider than 12 inches.
 - f. Submit a detailed landscape plan meeting the minimum planting requirements for new construction at the time of permit.
 - g. Submit a tree removal plan which shows all vegetation planned for removal due to construction or grading impacts and identifies trees and vegetation intended to remain.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:
 - a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the changes of long term

survival of the trees intended for preservation which are located close to construction activity if determined to be necessary by the City's Certified Arborist.

Drainage and Grading

a. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

b. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

c. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The public street must remain unobstructed, passable, and clean at all times. No parking or staging of construction vehicles is permitted on Deerpath.

PA



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 375 PEER PATH SQUARE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Daniel + Adriana Axente
Owner of Property

587 IVY CT.
Owner's Street Address (may be different from project address)

Lake Forest IL 60045
City, State and Zip Code

224 715 1426 —
Phone Number Fax Number

Axente30@gmail.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN NELSON - SOLE PROPRIETOR
Name and Title of Person Presenting Project

JOHN NELSON - ARCHITECT, INC
Name of Firm

1400 WHISPERING SPRINGS CIRCLE
Street Address

PALATINE, ILLINOIS 60074
City, State and Zip Code

847-513-4389 —
Phone Number Fax Number

JANCO4@COMCAST.NET
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

(The use of natural materials is strongly encouraged)

375 DEXIE PATH SQUAD

Facade Material

- Stone
 - Brick
 - Wood Clapboard Siding
 - Stucco
 - Wood Shingle
 - Aluminum Siding
 - Vinyl Siding
 - Synthetic Stucco
 - Other L/P (LOUISIANA PACIFIC)
PLY & BOARD - OSB - JEFFERSON TAN
- Individual or Panels? PANELS w/ BATH GRAB
- Color of Material JEFFERSON TAN

Window Treatment

- Primary Window Type**
- Double Hung
 - Casement MARVIN - ELEVATE
ULTRAC - FIBER GLASS
 - Sliding
 - Other
- Finish and Color of Windows**
- Wood (recommended)
 - Aluminum Clad
 - Vinyl Clad
 - Other ULTRAC - FIBER GLASS EXTERIOR
WOOD INTERIOR w/ SPL GRILLS
- Color of Finish BRONZE FRAME w/

Window Muntins

- Not Provided
- True Divided Lites SPL GRILLS, INT & EXT.

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended) SPLS b MARVIN
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other L/P OSB - JEFFERSON TAN

Window Trim

- Limestone
- Brick
- Wood
- Other L/P OSB - JEFFERSON TAN

Fascias, Soffits, Rakeboards

- Wood
- Other L/P, OSB, JEFFERSON TAN

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS - CONTINUED

475 VAIL PARK DR

Chimney Material

- Brick
- Stone
- Stucco
- Other NA

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles CHARCOAL
- Sheet Metal
- Other FIRCH - VERTICAL STANDB
SEAM 10" SEAM @ 1.75"
20 GAUGE - JEFFERSON TAN

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other JEFFERSON TAN

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

JOHN NELSON – ARCHITECT, INC.

NCARB CBO

1420 Whispering Springs Circle
Palatine, IL 60074
847-991-9154 - Office
847-513-4389 - Cell
janco4@comcast.net

February 21, 2025

City of Lake Forest
Building Review Board
800 Field Drive
Lake Forest, Illinois 60045

Re: Request for a Building Review for a New Single-Family Residence
375 Deer Path Square (PIN: 12-32-303-001-000)
Daniel and Adriana Axente – Owners/Petitioners

Ladies and Gentlemen,

Daniel and Adriana Axente are the owners of the 375 Deer Path Square lot who presently live at 587 Ivey Court in Lake Forest, Illinois.

They purchased a property at this 375 Deer Path Square lot for the purpose of building a new single-family residence for their family.

The property is 29700 sq. ft. (0.68 acres) which appears fairly large for a single family lot. However the property is zoned R-3 resulting in forty foot setbacks around all sides constraining a reasonable single family use and appropriate appearance.

As a result the Axente family will be coming to the Zoning Board of Appeals seeking relief as follows:

1. A 1.5 foot variance at the easterly side (rear yard) of the property in order to allow a 2 foot 2nd floor cantilever extension so that the 2nd story cantilever will be 38.5 feet from the rear lot line and not 40.0 feet from the rear lot line.
2. A 4.5 foot variance at the westerly side (front yard) of the property in order to allow a one-story covered porch (design element) to encroach into that 40 foot front yard setback so that the porch will be 35.5 feet from the front yard line.

The cantilevered 2nd floor allows for reasonable size bedrooms, baths and further serves as a shadow line architectural element breaking up the rear yard elevation.

The one-story covered porch is a design element breaking up the front elevation.

All foundations, except for the covered porch structure, are within the 40 foot setback line.

From the RESIDENTIAL DESIGN GUIDELINES booklet, the primary criteria for seeking approval from the Building Review Board are to:

1. Show how the new single-family residence accommodates the general character of the neighborhood.
2. Locate the building and associated hard surfaces on the lot so as not to affect the existing trees and mature vegetation.
3. Create simplicity of massing, roof framing and roof slope in keeping with the immediate neighborhood.
4. Create a scale and height of the building yet still providing visual diversity and architectural character to the neighborhood.
5. Provide fenestration arrangement, comfortable entryways and simple detailing.

We contend that this proposed single-family residence, standing alone on this single lot/block accommodates the general character of the neighborhood in size and massing and scale yet provides visual diversity and architectural character to the neighborhood

The building, driveway and the covered porch design element has been located on plan to as not to affect any of the trees and landscaping.

The southerly and easterly portions of the lot will not be disturbed.

The Axente family asks that you give positive consideration and approval for this project.

Respectfully,



John Nelson – Architect, Inc.
NCARB CBO

KENNINGTON TERRACE

SITE PLAN
FLIPPED
AS NOW PROPOSED

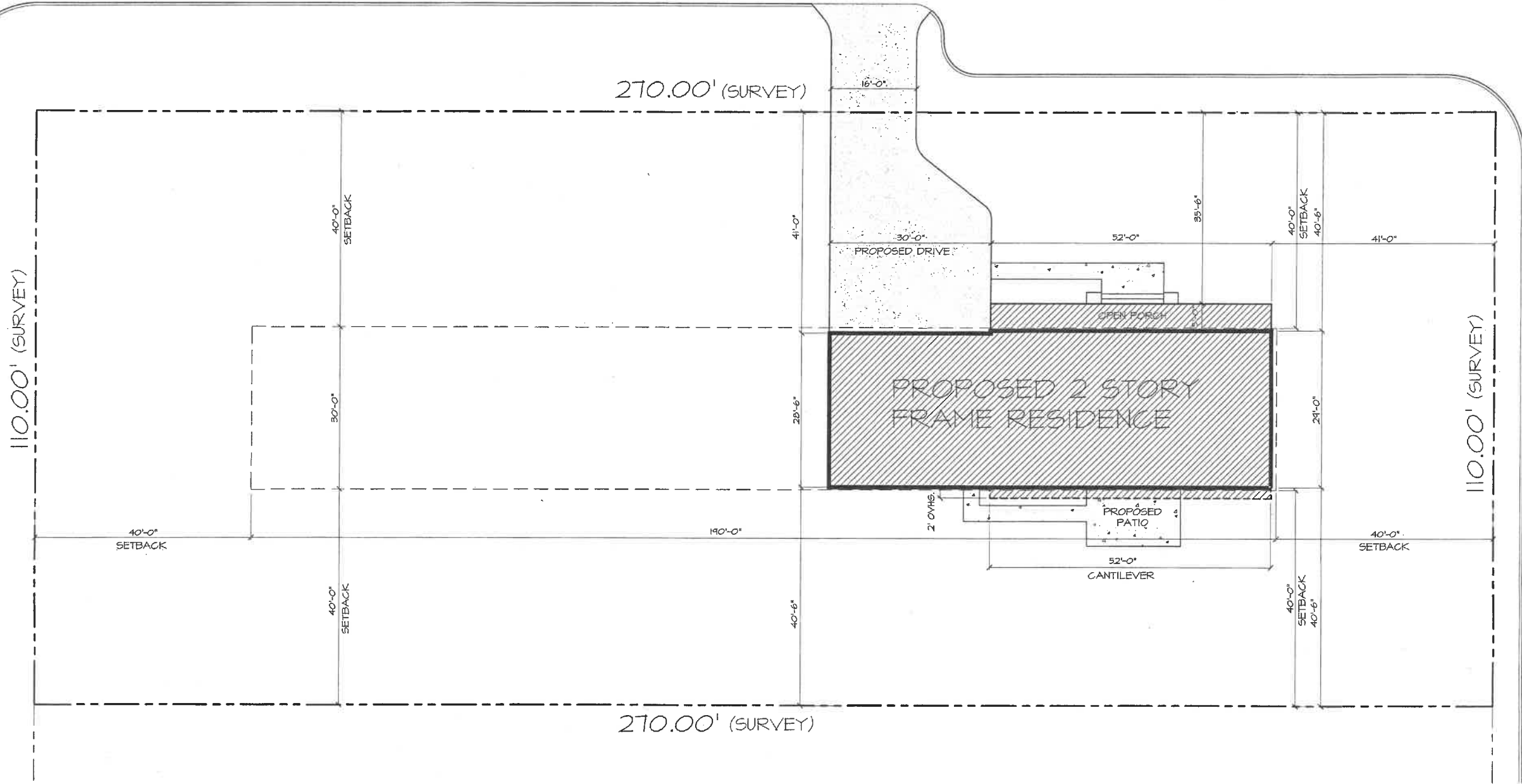
DEERPETH SQUARE

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JOHN NELSON - ARCHITECT,
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074

PROPOSED NEW SINGLE FAMILY
RESIDENCE FOR:
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

WEST DEERPETH



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

DATE: 2/17/25 / APPEAR, REVIEW

DATE:

DRAWN BY:

CHECKED BY:

SCALE:

SHEET TITLE:
**PROPOSED
SITE PLAN**

SHEET NUMBER:
OF: TOTAL SHEETS

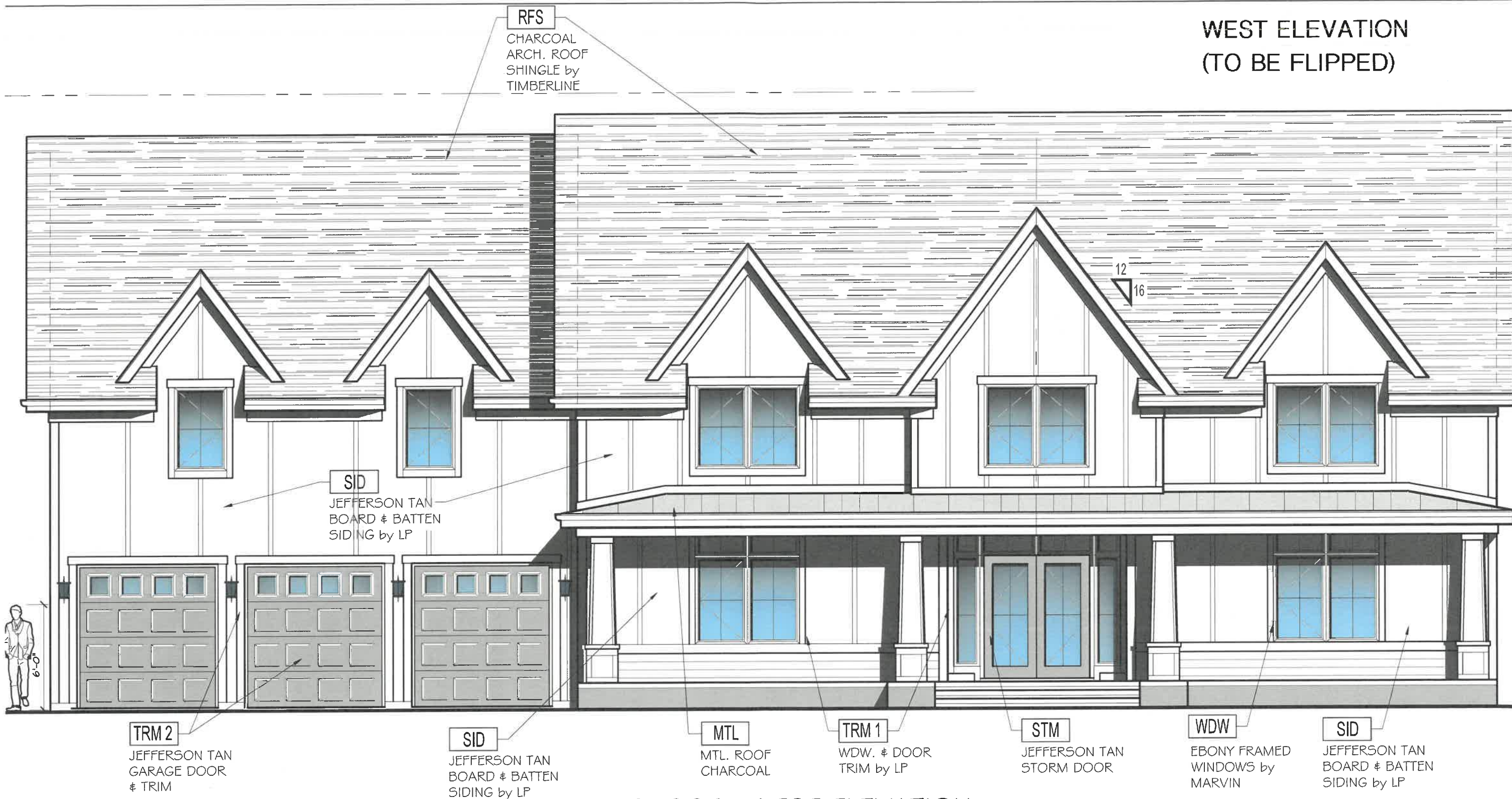
51

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COLORED RENDERING
FLIPPED



WEST ELEVATION
(TO BE FLIPPED)



PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

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1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074

DATE
2/17/25 APPEAR. REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A3B

EAST ELEVATION
(TO BE FLIPPED)



WDW
EBONY FRAMED
WINDOWS by
MARVIN

SID
JEFFERSON TAN
BOARD & BATTEN
SIDING by LP

TRM 1
WDW. & DOOR
TRIM by LP

WDW
EBONY FRAMED
WINDOWS by
MARVIN

PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

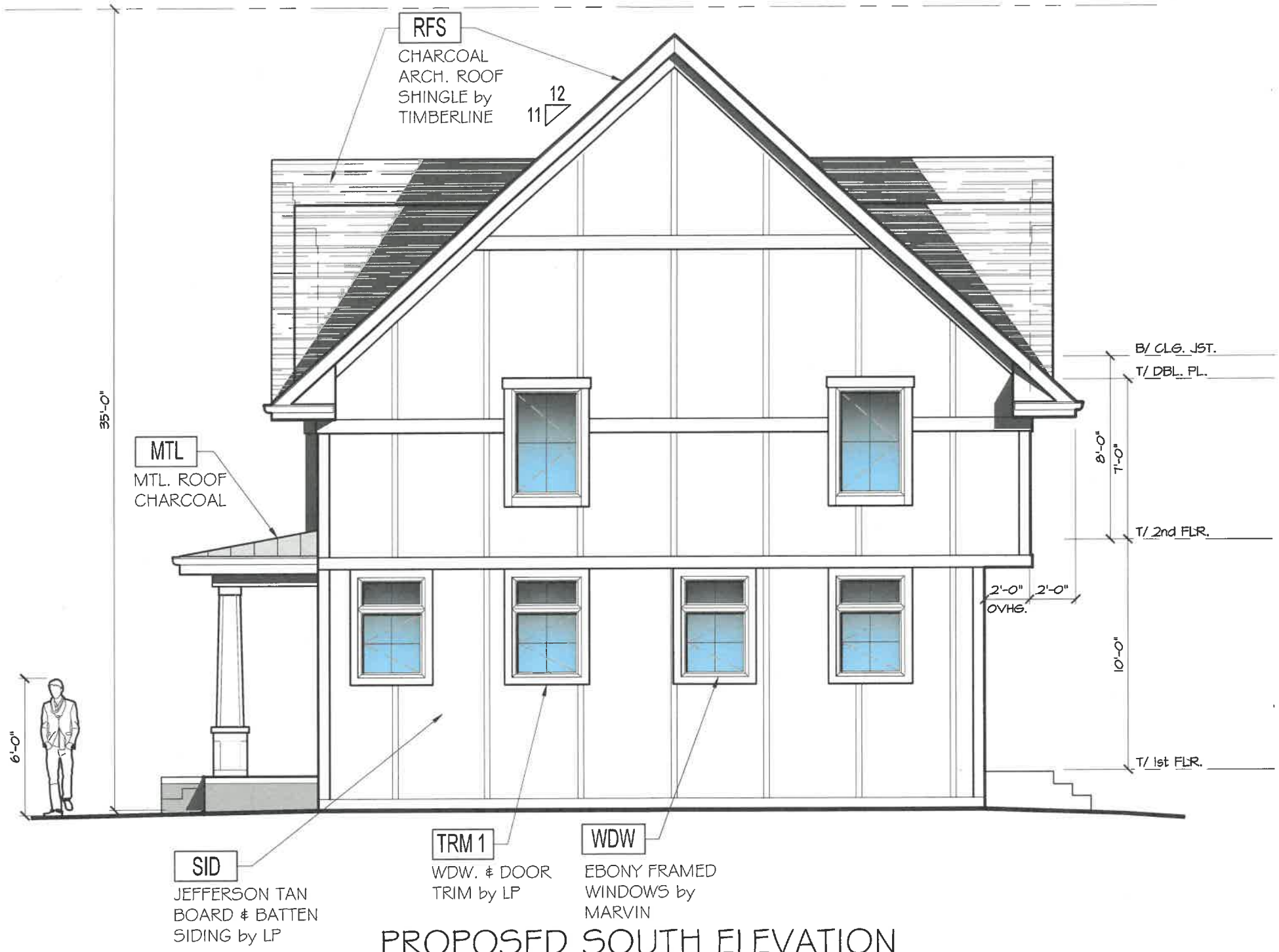
DATE	REVISION
2/17/25	APPEAR. REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A3A

**SOUTH ELEVATION
(TO BE FLIPPED)**



PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

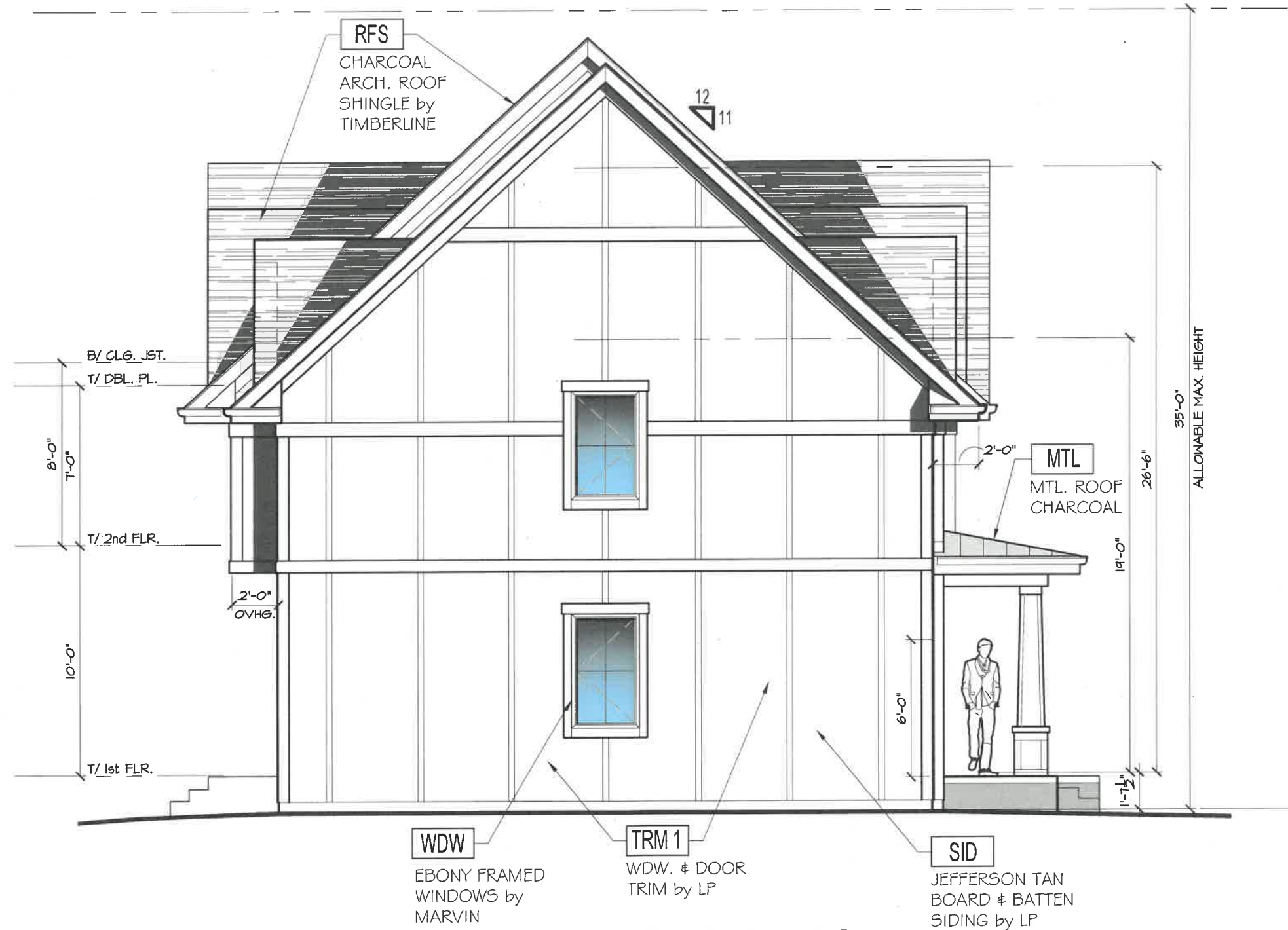
DATE	2/17/25	APPEAR. REVIEW

PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
**PROPOSED
EXT. ELEVATION**

SHEET NUMBER:
A4A

NORTH ELEVATION
(TO BE FLIPPED)



PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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PALATINE, IL 60074

DATE	REVISION
2/11/25	APPEAR. REVIEW

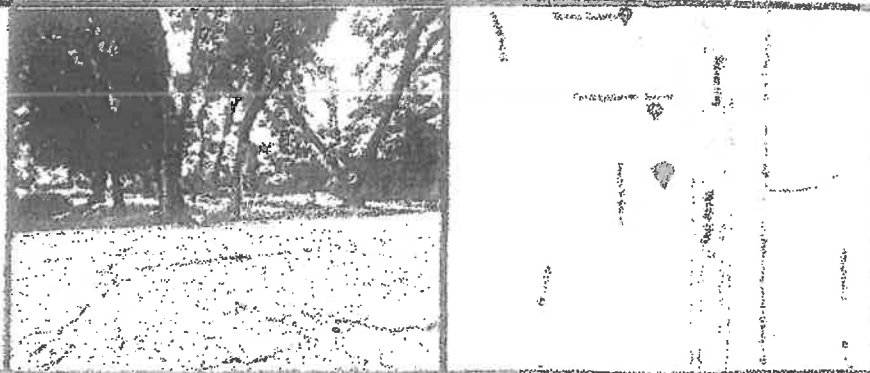
PROPOSED RESIDENCE FOR;
DANIEL & ADRIANA AXENTE
375 DEER PATH SQUARE
LAKE FOREST, IL

SHEET DESCRIPTION:
PROPOSED
EXT. ELEVATION

SHEET NUMBER:
A4B



www.exactalands.com | office: 773.305.4011



PROPERTY ADDRESS: 375 DEERPATH SQUARE, LAKE FOREST, ILLINOIS 60045

SURVEY NUMBER: 2408.1391

PLANT LIST:

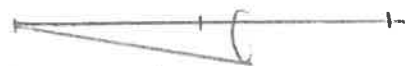
Quantity	Code	Plant Name	Size
1	RSM	ROYAL STAR MAGNOLIA	10'
2	DBB	DWARF BURNING BUSH	36"
9	DL	DWARF LILAC	24"
17	GB	GLENCOE BOXWOOD	18"
21	OD	ORNAMENTAL ONION	19"
16	LM	LADY'S MANTLE	19"
7	TH	TURTLEHEAD	19"
117	LT	LIVY TURF	QT.

(TO BE FLIPPED)

LANDSCAPE PLAN

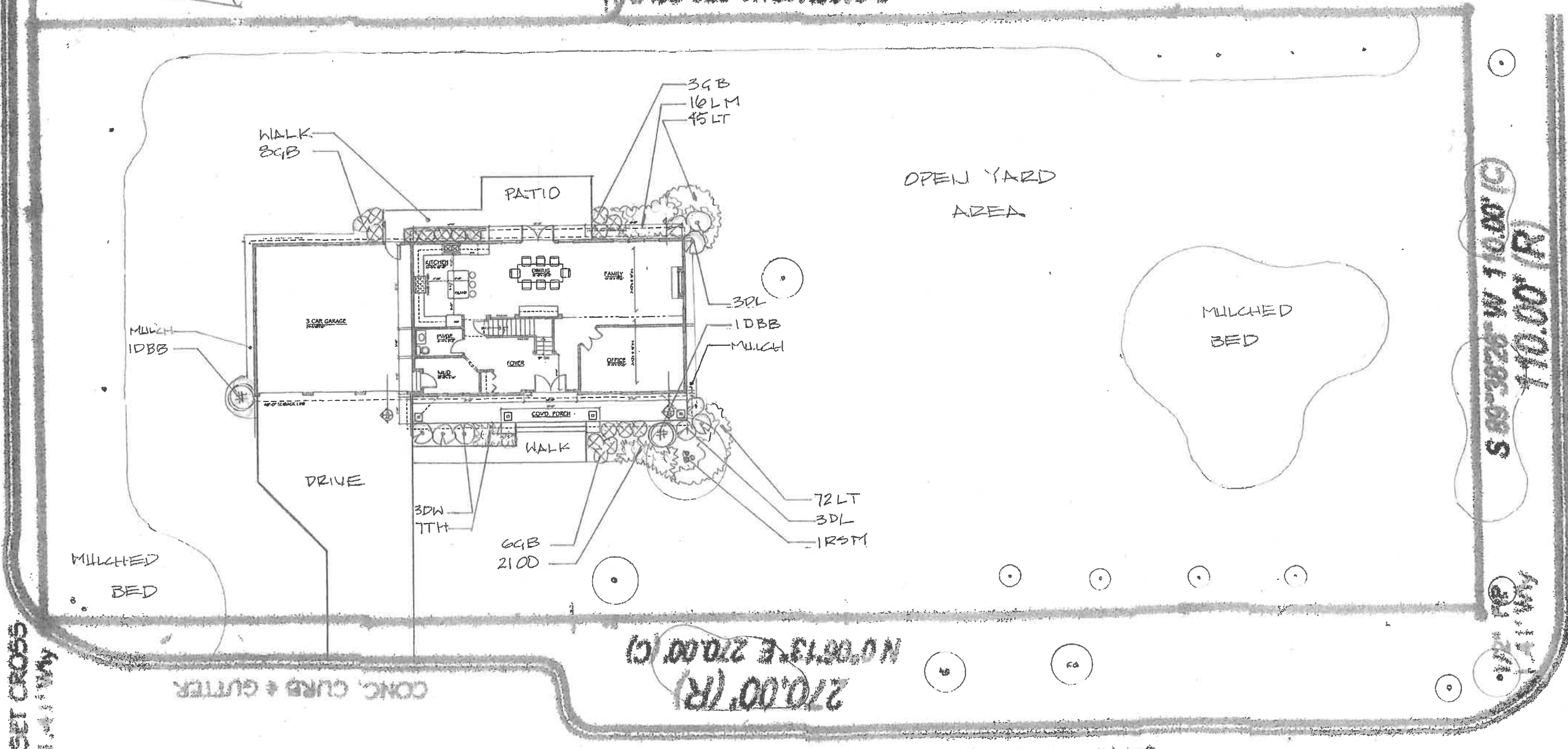
SCALE 1/20" = 1'-0"

NORTH



270.00' (R)
S 0° 05' 43" W 270.26' (M)

110.00' (W)
N 89° 30' 20" E 109.95' (C) CONC. CURB & GUTTER



CONC. CURB & GUTTER

SET CROSS
1.4' W/4"

CONC. CURB & GUTTER

270.00' (R)
N 0° 06' 13" E 270.00' (C)