

**Agenda Item 3**  
**825 Morningside Drive**  
**Consideration of demolition of the existing residence and attached garage, a  
replacement residence and attached garage and the associated hardscape  
and landscape plan.**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner for August 8<sup>th</sup> Meeting  
Application

Description of Materials  
Statement of Intent and Review of Demolition Criteria  
*Evaluation of Existing Conditions – Inspection Summary*  
Site Plan

Existing  
Proposed  
*Overlay - Existing and Proposed*

Proposed Streetscape Study

Elevations  
Proposed  
*Overlay of Existing and Proposed*

Renderings  
*Roof Plan*  
*Building Section*  
*Proposed Floor Plans*  
Landscape Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 825 Morningside Drive

**Consideration of demolition of the existing residence and attached garage, a replacement residence and attached garage and the associated hardscape and landscape plans.**

**Property Owners: Richard and Amanda Small  
Architect: Diana Melichar**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of demolition of the existing residence and attached garage, a replacement residence and attached garage and the associated hardscape and landscape plans.

### **Description of Property**

The property is located on the south side of Morningside Drive in the Sunset Hills Estates Subdivision, established in 1924. The lot is 23,712 square feet and rectangular in shape. The existing home is a single-story mid-century modern house originally built in 1945.

### **Proposed Demolition**

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below.

***Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.***

This criterion is met. The home was built in 1945. A rear addition was built in 1950. The single-story home fits discreetly in its neighborhood. There is no known architect of record. Overall, the structure does not have a special aesthetic, architectural, cultural or historical significance to the community.

***Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.***

This criterion is met. According to the third-party evaluation of the residence submitted by the petitioner, the home requires considerable repair and upgrading and the end product may not result in a high-quality residence that contributes to the neighborhood.

***Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.***

This criterion is somewhat met. The existing home is occupied by the homeowners. The existing structure is not a health or safety hazard. It could be restored for continued residential use. Nevertheless, the structure in its present form displays signs of structural inadequacies, water damage, and several conditions which necessitate renovations to meet current Building Code requirements.

***Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.***

This criterion is met. There is no evidence which indicates that the demolition and replacement of the existing home will negatively impact the values of properties within the neighborhood. It is the intention of the petitioner to invest in the property so that the new home and associated landscaping is of higher quality than the existing conditions. Therefore, the demolition and replacement of the existing structure will likely improve the value of the surrounding properties within the neighborhood.

***Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.***

This criterion is met. The neighborhood is composed of diverse architectural styles. The proposed home is designed to fit quietly into the neighborhood. It will have a subtle but positive impact on the neighborhood's character. In addition, review by the Building Review Board is required and is intended to assure that all applicable standards and the City's Design Guidelines are satisfied.

Staff finds that the criteria for demolition are satisfied.

**Staff Review of Standards – Evaluation, Comments, and Recommendations**

*Standards in General*

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

*Site Plan – This standard is met.*

The existing house encroaches into the side yard setback to the west. The new house complies with the current zoning setbacks. The proposed house faces north, like the existing home. The new garage is reoriented facing the west, changing the front-loading garage to a side-loading garage. To accommodate this change, a new asphalt driveway is proposed. A new patio with concrete pavers is proposed in the rear.

Overall, the home is setback from the street a similar distance as the existing home and is in keeping with the character with the streetscape.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,185 square feet is permitted on the site with an allowance of 600 square feet for a garage and 419 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 2,483 square feet.
- The proposed garage totals 637 square feet. With a maximum garage exemption of 600 square feet, 37 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 41 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 2,520 square feet. That is 1,665 square feet or nearly 40 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 16 feet and is below the allowable height of 35 feet for the property.

*Elevations – This standard is met.*

The owners appreciate the style of the existing midcentury modern home. Therefore, the petitioners propose a home designed similarly to the existing home. The proposed single-story contemporary ranch with flat/low sloping roofs and a simple, functional design adheres, overall, to the Residential Design Guidelines.

The proposed windows work in combination with the interior and exterior design. Some adjustments to the windows to better improve the balance of solid walls and windows may be worth considering. For example, on the north elevation, the windows on the guest bedroom wall might be reduced to make the arrangement of openings on this elevation more regular. On the east elevation, the addition of windows on the garage might be considered to break up the solid wall and balance the elevation. Finally, while designed to take in the views of the rear yard, the south elevation could be studied to better balance the windows with solid walls, as the proposed elevation is mostly windows.

**Recommendation:** Consider refinements to better balance the relationship of windows and walls on the north, south, and east elevations.

*Type, color, and texture of materials – This standard is met.*

The siding will be Nichia fiber cement panels. The panels are wood-like rain screening (“Vintagewood Series”) and darker, “Illumination Series” panels. The windows will be aluminum wood clad casement windows with no muntins and a gray finish. The fascia, soffit and gutters will be aluminum. The roof will be bituminous sheet roofing with aluminum flashing. The driveway will be asphalt and the rear patio is concrete pavers.

**Recommendation:** Bring samples of the materials to the Board meeting.

*Landscaping – This standard can be met.*

The minimum landscape requirement for new homes is nearly met by the proposed landscape plan. Only one tree, a pear tree, is proposed for removal. At this time, it appears that the required inches for replacement of this tree will be accounted for by the scheduled planting plan however, the plan submitted for permit will be reevaluated by staff to assure that the required replacement inches are satisfied in addition to satisfying the minimum landscape requirements.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City’s website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

### **Recommendation**

Recommend approval of demolition of the existing residence and attached garage, a replacement residence and attached garage and the associated hardscape and landscape plans.

1. Present material and color samples at the Board meeting.
2. Consider refinements to better balance the relationship of windows to solid walls on the north, south, and east elevations.
3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine

whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

4. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long-term survival of the trees intended for preservation which are located close to construction activity.
- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

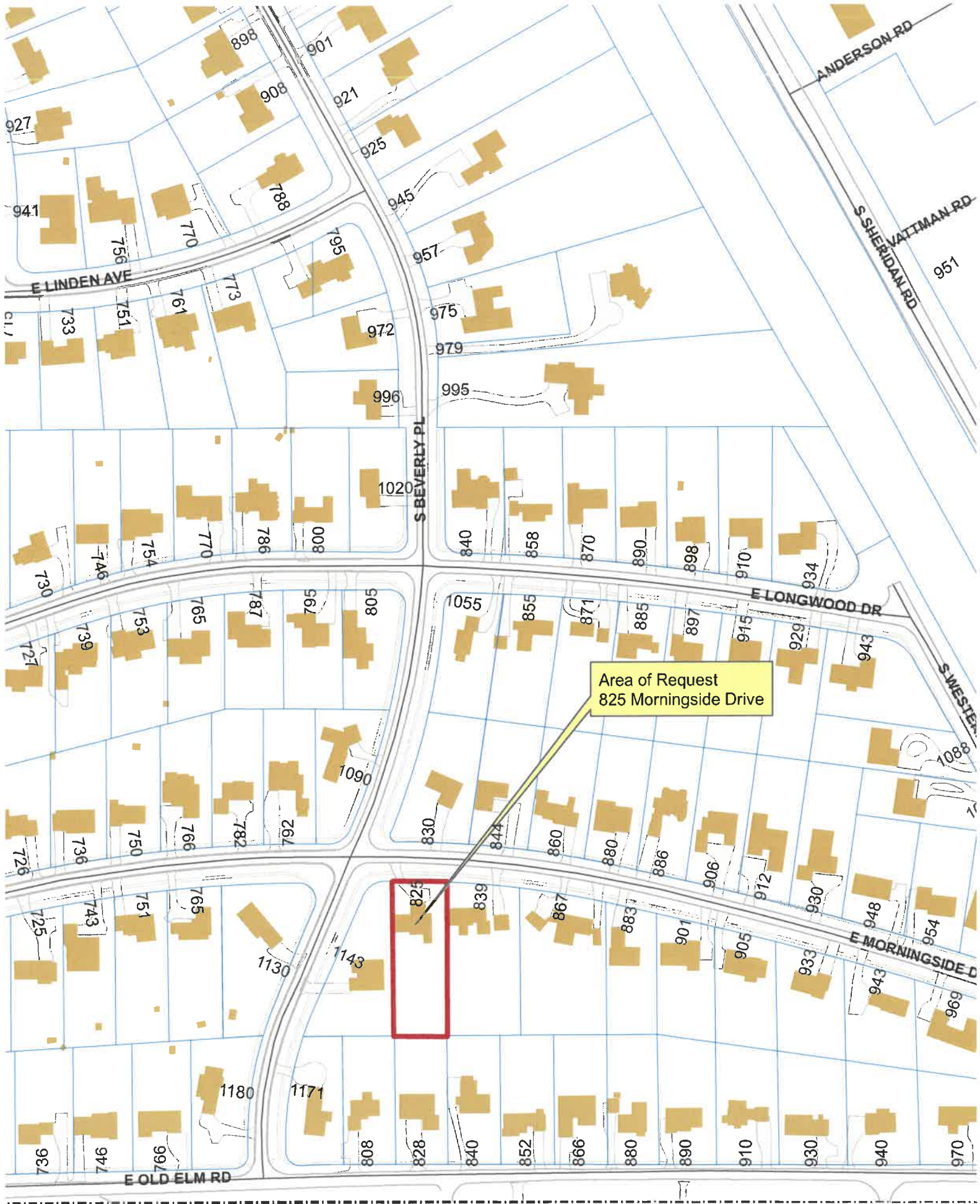
- c. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

- d. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Beverly Place and Morningside Drive must remain fully passable, unobstructed and free of dirt and debris at all times.



Area of Request  
825 Morningside Drive



ANDERSON RD

S SHERIDAN RD  
VATMAN RD

E LINDEN AVE

S BEVERLY PL

E LONGWOOD DR

S WESTER...

E MORNINGSIDE DR

E OLD ELM RD



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 825 MORNINGSIDE DRIVE, LAKE FOREST IL 60045

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

MR. & MRS. RICARD SMALL  
Owner of Property

825 MORNINGSIDE DRIVE  
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045  
City, State and Zip Code

708 828-4740 Phone Number      Fax Number

amandam.small630@gmail.com  
Email Address

*Amanda M Small*  
Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

DIANA MELICHAR  
Name and Title of Person Presenting Project

MELICHAR ARCHITECTS  
Name of Firm

207 EAST WESTMINSTER  
Street Address

LAKE FOREST, IL 60045  
City, State and Zip Code

847-295-2440 Phone Number      Fax Number

diana@melichararchitects.com  
Email Address

*Diana Melichar*  
Representative's Signature (Architect/ Builder)

**The staff report is available the Friday before the meeting, after 3:00pm.**

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding   |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco   |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>Fiber cement siding panels (Nichiha)</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_

Color of Material Refer to images

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement (awnings & picture units)  
 Sliding  
 Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other Aluminum clad wood

Color of Finish Refer to images

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other No trim

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other No trim

**Fascias, Soffits, Rakeboards**

- Wood  
 Other Aluminum

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material** *N/A*

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other *Concrete* \_\_\_\_\_

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other *Bituminous sheet roofing for low slope* \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other *Aluminum* \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

# LAKE FOREST BUILDING REVIEW BOARD

## RICK AND AMANDA SMALL RESIDENCE

825 Morningside Drive

February 5, 2025

Prepared by Melichar Architects

On behalf of Mr. and Mrs. Small, Melichar Architects is requesting Building Review Board approval for the demolition of an existing home and design of a replacement structure.

### **Background**

Mr. and Mrs. Small have lived at 825 Morningside Drive since 2008. They love their neighborhood and Lake Forest, and they would like to age-in-place in a healthy, energy efficient home on their same property.

After initial review of possible renovations and additions to their existing home, the Smalls determined that they should demolish the existing home and build a replacement structure on the property.

The following are Demolition Criteria with our accompanying assessments regarding this specific petition:

### **Criteria for Approval of Demolition**

**Criterion 1: The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.**

According to the Lake County Tax Assessor's records, the original home was built in 1945, with a rear family room added in 1950.

Melichar Architects does not know of the architect of record, and we are not aware of any past owner of significance. The existing home has no distinctive architectural features.

**Criterion 2: Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.**

The home's current condition has aged-out beyond its useful life (refer to the independently prepared building assessment report).

Costs to improve the property, by way of renovations and additions to the existing home, would be considerable compared to any potential benefits to the property at the completion of the project. Therefore, the Smalls chose to demolish the home and rebuild.

**Criterion 3: The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure an immediate health or safety hazard.**

The existing structure is suitable for residential use, and the structure is not a health or safety hazard. However, the existing concrete slab-on-grade home appears to be under-structured, as the concrete floor pitches and rolls, has evidence of cracking, and hydrostatic ground pressure forces water up to the home's interior walking surfaces during rain events.

**Criterion 4: The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.**

The replacement structure should improve the value of the property within the neighborhood. The replacement structure and proposed landscape upgrades should improve the streetscape. Also, the new building construction and landscape will be of better quality than the current conditions on the property.

**Criterion 5: The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.**

The proposed replacement structure will be compatible with the existing neighborhood. The proposed home is a one-story, contemporary style structure. The current neighborhood has a mixture of architectural styles, with numerous mid-century, one-story ranch and contemporary homes. (Refer to attached neighborhood diagram and sampling of nearby contemporary home images).

#### **Replacement Structure**

The Smalls would like to build a new home in a contemporary style home in nearly the same location on-site as their current home. Construction of a new replacement structure and property improvements will allow the Smalls to achieve the following:

- Basement living, mechanical and storage spaces that are currently not available in their slab-on-grade home.
- Handicap accessible features
- Better air quality (no under-slab air ducts that are susceptible to underground water intrusion via the floor slab)
- Durable building materials
- Energy efficiency
- Code compliant building structure
- Fire-rated construction and sprinklers, as required
- Adequate storage at living areas (such as the Kitchen, Mudroom, Primary Bedroom, etc.)
- Driveway turn around and guest parking NOT encroaching into the front yard setback
- Garage for two cars, with the garage doors facing away from the street

### **Criteria for Replacement Structure**

*Standards for review are itemized below.*

**Compatibility with Neighborhood** – The proposed home is compatible with the neighborhood. It has a contemporary style that is in-keeping with the other homes, but is not a repetitive duplication of other homes.

**Rhythm** - The replacement home has been designed to maintain the existing rhythm of structures on the street, and fit-in with the established neighborhood.

**Architectural Style** – The home’s contemporary style is consistent with many of the existing homes in the Whispering Oaks (Sunset Hills Estates) neighborhood.

**Building Scale and Height** – The building scale of the new home is low profile, and not that different than the existing home on-site.

**Relationship of Solids to Voids** – The front façade of the proposed home has a consistent solid to void ratio that is in-keeping with the contemporary style of the architecture.

**Continuity of Roofs and Contributing Elements** – Roofs and building surfaces are consistent with the contemporary architectural style.

**Exterior Materials** – Refer to the BRB materials checklist.

**Colors** – Colors are consistent with the contemporary architectural style. Refer to renderings.

**Massing** – The building massing is additive, reflecting the home’s unassuming contemporary style.

**Roof Shapes** – Roof shapes are low-sloped to be consistent with the home’s architectural style.

**Detailing and Fenestration** – The home has a dynamic play of horizontal and vertical, as well as color differentiation. The home’s wall surfaces emphasize the horizontal, with mostly vertically proportioned windows to punctuate them. Wall colors are natural, golden and coffee browns.

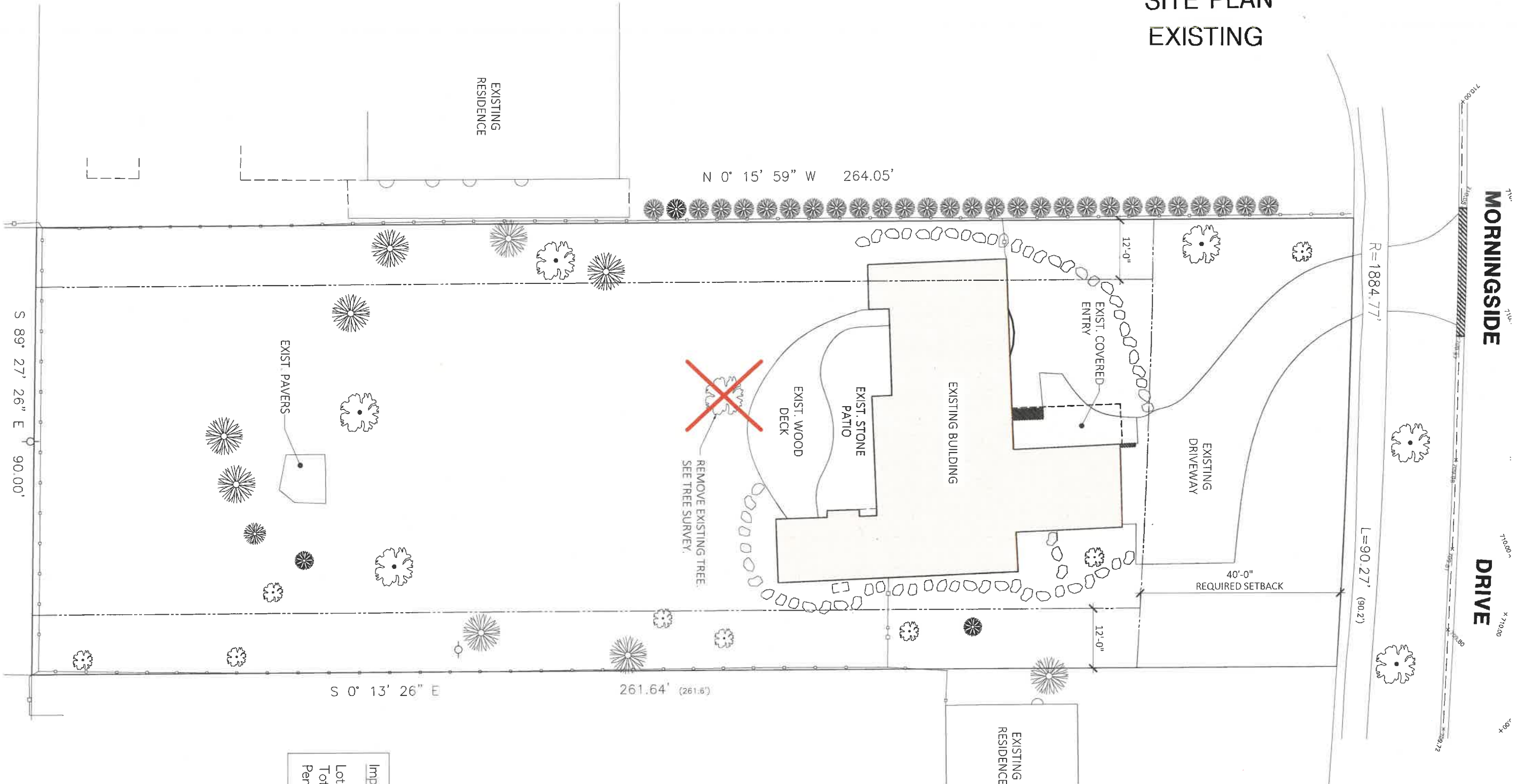
**Site Plan and Driveway**– The proposed site plan is an improvement over the existing site plan, since guest parking is tucked closer to the house, and the home’s garage doors face away from the street.

**Landscape** – New trees and plantings will be provided to complement the home’s new construction, for the Small’s personal enjoyment and to increase curb appeal at the street.

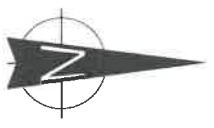
### **Conclusion**

A renovation approach to the Small’s existing home would be comprehensive, extensive and costly, while the final design/construction product would be less than optimal due to existing inherent conditions that cannot be resolved. Therefore we concluded that it best to tear down the existing home and replace it with a home and attached garage that will provide quality, long-term solutions for the Small’s property and the neighborhood.

# SITE PLAN EXISTING



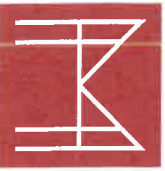
**Impervious Surface Information**  
 Lot Area: 23,711.73 sf  
 Total existing impervious surface: 4,726 sf  
 Percentage of lot coverage: 20%



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

SCALE: 1" = 20'-0"

TITLE: SITE PLAN - EXISTING

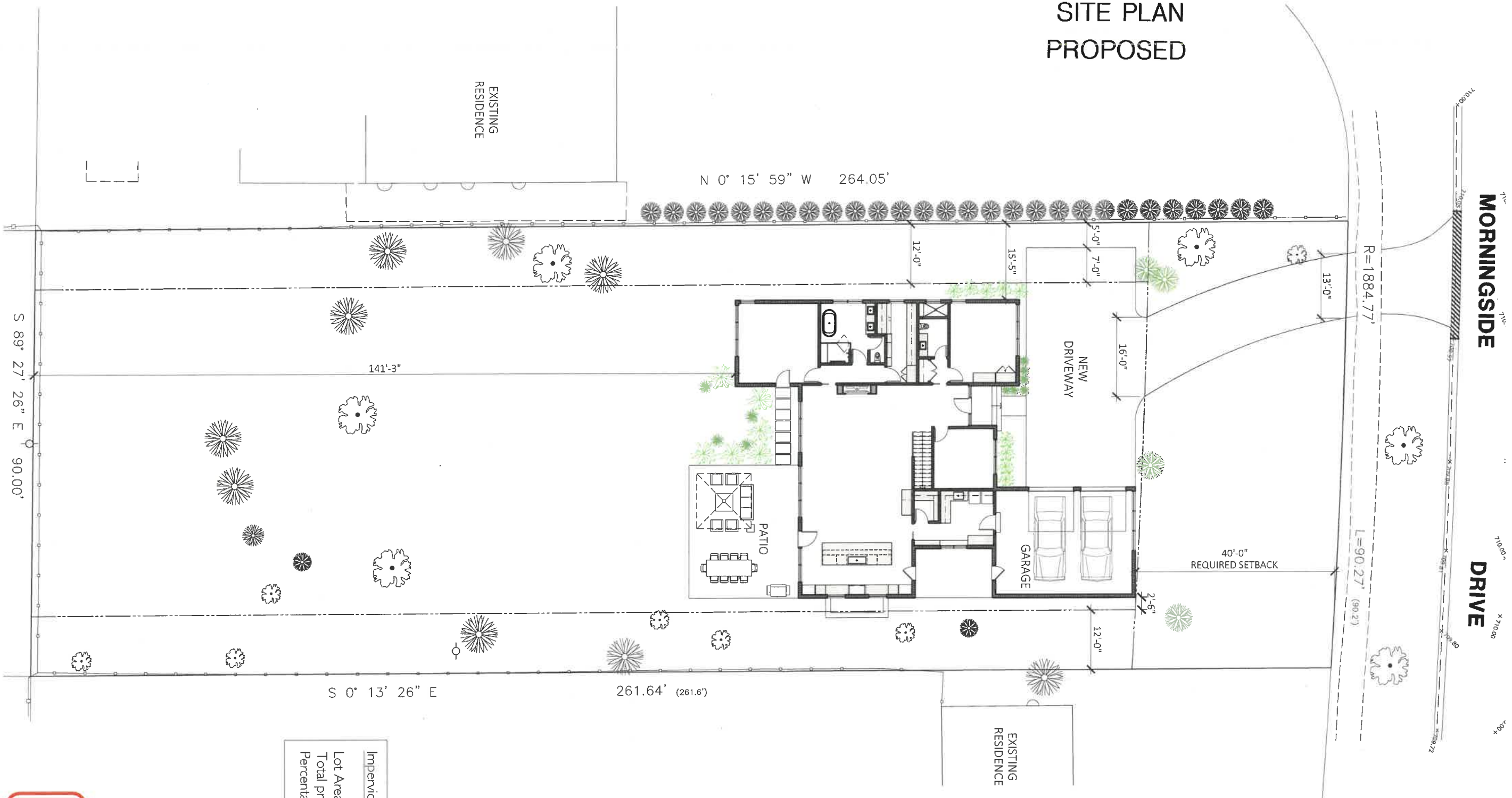


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**SMALL RESIDENCE**  
 825 MORNINGSIDE DRIVE  
 LAKE FOREST, IL

JOB NO.: 2056  
 ISSUE DATE: 01/10/2025

# SITE PLAN PROPOSED



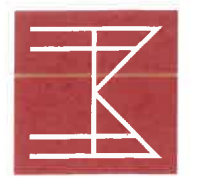
**Impervious Surface Information**  
 Lot Area: 23,707 sf  
 Total proposed impervious surface: 5,672 sf  
 Percentage of lot coverage: 24%



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

TITLE: SITE PLAN - PROPOSED

SCALE: 1" = 20'-0"



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**SMALL RESIDENCE**  
 825 MORNINGSIDE DRIVE  
 LAKE FOREST, IL

JOB NO.: 2056  
 ISSUE DATE: 01/10/2025



○ STREETScape NORTH ELEVATION  
Scale: 1/16" = 1'-0"

TITLE: STREETScape NORTH ELEVATION - PROPOSED

SCALE: 1/16"=1'-0"



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SMALL RESIDENCE  
825 MORNINGSide DRIVE  
LAKE FOREST, IL



JOB NO.: 2056

01/10/2025

# PROPOSED NORTH AND EAST ELEVATIONS



1 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"

TITLE: PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8"=1'-0"



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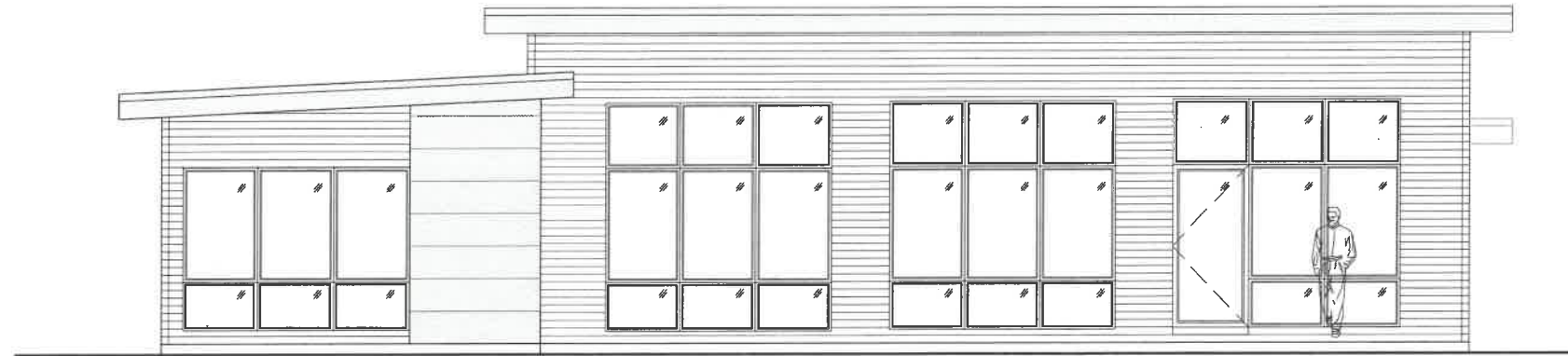
SMALL RESIDENCE  
825 MORNINGSIDE DRIVE  
LAKE FOREST, IL

PRELIMINARY  
NOT FOR CONSTRUCTION

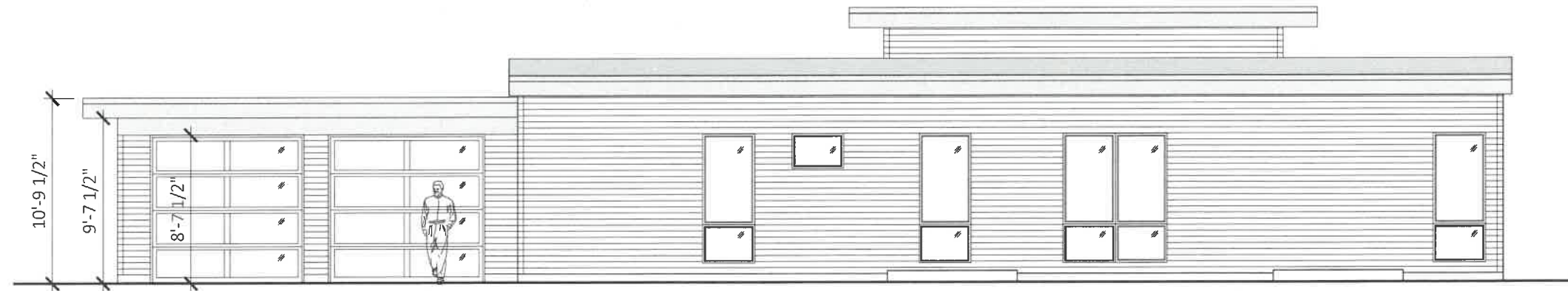
JOB NO.: 2056

01/10/2025

PROPOSED SOUTH AND WEST ELEVATIONS



1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"

TITLE: PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8"=1'-0"



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SMALL RESIDENCE  
825 MORNINGSIDE DRIVE  
LAKE FOREST, IL

PRELIMINARY  
NOT FOR CONSTRUCTION

JOB NO.: 2056

01/10/2025

RENDERING – NORTH (FRONT) ELEVATION



TITLE: PROPOSED FRONT (NORTH) ELEVATION VIEW

SCALE: NOT TO SCALE



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

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SMALL RESIDENCE  
825 MORNINGSIDE DRIVE  
LAKE FOREST, IL

PRELIMINARY  
NOT FOR CONSTRUCTION

JOB NO.: 2056

01/10/2025

RENDERING – SOUTH (REAR) ELEVATION



TITLE: PROPOSED REAR (SOUTH) ELEVATION VIEW

SCALE: NOT TO SCALE



MELICHAR ARCHITECTS  
THE PRACTICE OF FINE ARCHITECTURE

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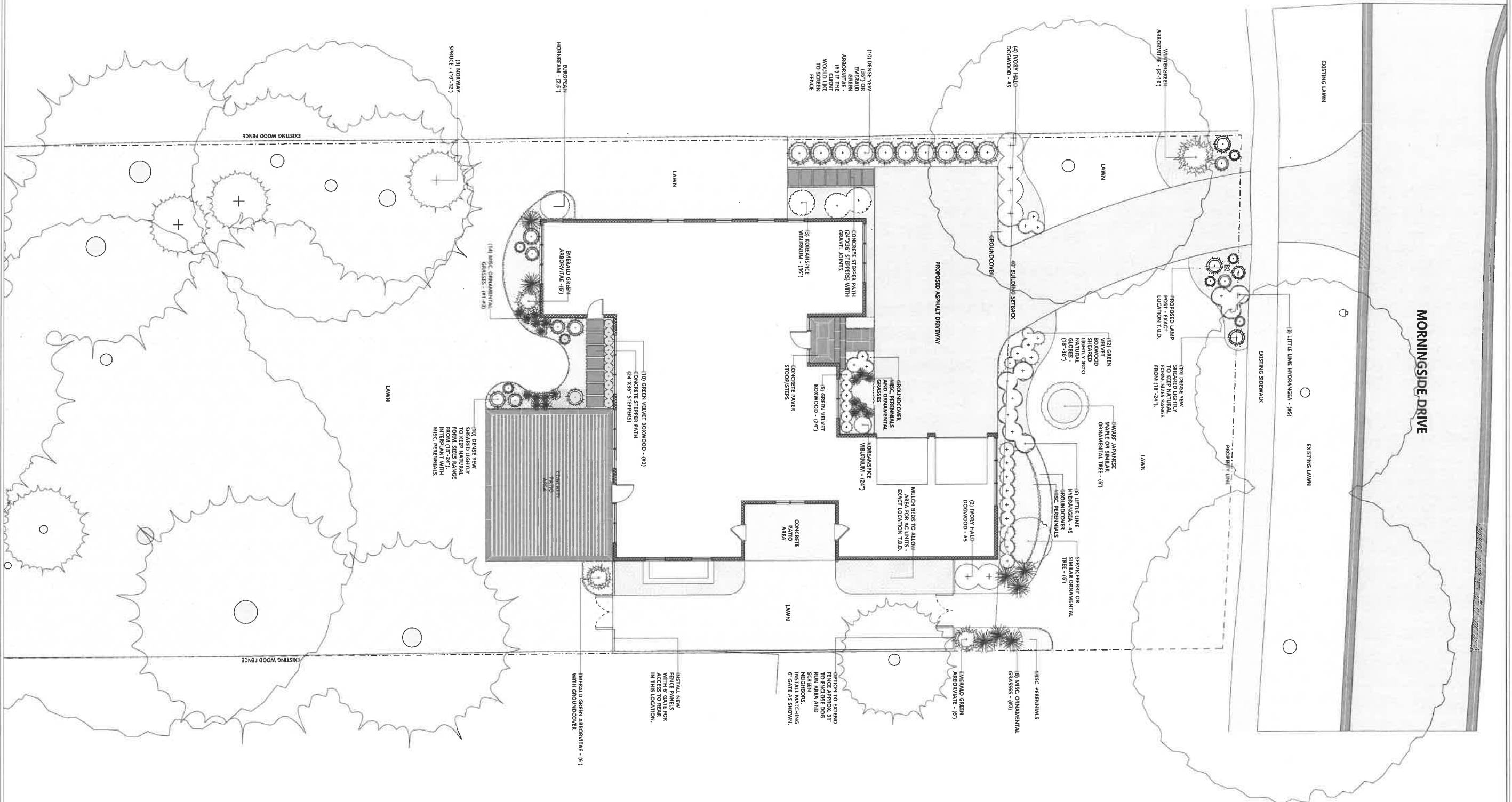
SMALL RESIDENCE  
825 MORNINGSIDE DRIVE  
LAKE FOREST, IL

PRELIMINARY  
NOT FOR CONSTRUCTION

JOB NO.: 2056

01/10/2025

# LANDSCAPE PLAN

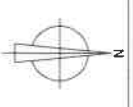


**WRIGHT**  
LANDSCAPING  
823 MORNINGSIDE DRIVE  
LAKE FOREST, IL 60045

SHEET REFERENCE NUMBER  
**L1/1.0**

SHEET TITLE  
**LANDSCAPE PLAN**

SCALE: 1/8" = 1' 0"  
DATE: 1/5/25  
REV: 1/17/25



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**Agenda Item 4**  
**1080 Sir William Lane**  
**Consideration of a new single-family residence, attached garage and  
associated hardscape and landscape plan on a vacant lot.**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
HOA Approval  
Streetscape Study  
Site Plan  
Colored Elevation  
Elevations  
*Roof Plan*  
*Cross Section*  
*Floor Plans*  
Landscape Plan  
*Survey of Existing Conditions and Tree Removal Plan*

*Materials shown in italics are included in the Board packet only. A complete copy of the  
packet is available from the Community Development Department.*

## 1080 Sir William Lane

**Consideration of a new single-family residence, attached garage and associated hardscape and landscape plan on a vacant lot.**

**Property Owners: Anthony and Elizabeth Schillaci**  
**Presented by: Daniel Bendixon, Architect**

Staff Contact: Luis Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of approval of a new single-family residence, attached garage and associated hardscape and landscape plan on a vacant lot.

### **Description of Property**

This property is located on the west side of Sir William Lane, just north of Sir William Lane's intersection with Bridgeview Lane. The property is located in the Arbor Ridge subdivision which was recorded in 1988. The surrounding established neighborhood contains homes of varying architectural styles that were mostly built in the 1990's.

On December 20th, 2024, the plans now presented to the Board were approved by the Arbor Ridge Homeowner's Association (HOA) subject to the following conditions as detailed in the letter submitted by the HOA which is included in the packet. To be clear, these conditions are imposed by the HOA, not the City although the Board may be in agreement with all or some of the conditions. Enforcement of the HOA conditions is the responsibility of the HOA.

*Excerpt from HOA Letter:*

1. The proposed stone veneer is Fond Du Lac Natural Stone (ashlar pattern) and no less than 4" thick material. All sills to be 4" cut limestone.
2. The stucco veneer is Omega pebble finish color: Sherwin Williams-classic buff 0050
3. The standing seam metal roofs are Pac Clad Antique Zinc. All exposed step-flashing must be either copper or aluminum material that matches the selected Pac Clad product. This will not apply to valley flashing or other hidden flashing types.
4. The cedar shingle roof is to be medium thickness.
5. The exterior trim, columns, gutters and downspouts are Sherwin Williams – "sand dollar 6099"
6. Windows to be SDL aluminum clad with Weathershield frame color (Bluestone)
7. The shutters are to be 1 ¾" thick wood louvered, plantation style with cast pintel hinges and cast shutter dogs.

8. Garage Doors are Cloplay-Bridgeport Series finish: mahogany lite option: SQ22 short.
9. Exterior sconce lights are Hinkley 1434 DZ for the front entrance and Garage sconces and Hinkley 1430 DZ for the rear door sconce per the attached cutsheets.
10. The porch and steps are Unilock pavers, color: limestone and pattern: "Brussels"
11. All the exterior materials and colors must be installed as presented and any deviation from the submitted palette must be reviewed and approved by the HOA before installation.
12. Any changes suggested by the Lake Forest Building Review Board shall not deviate from the Arbor Ridge Design Guidelines unless approved by the HOA.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

*Site Plan - This standard is met.*

The residence is sited in the middle of the lot, consistent with the siting of surrounding homes. The house faces east. The attached, side-loading garage faces north. A single curb cut is proposed along the east property line for the driveway. A 12-foot-wide asphalt driveway is proposed leading to the garage. The conditions for pulling into and backing out of the garage appear tight. Auto-turn diagrams are provided along with the site plan illustrating the maneuvering required to allow vehicles to enter and exit the garage. The driveway is setback a minimal distance, three feet, from the north property line. The proposed setback is not adequate to allow planting to screen vehicles or garage doors from the neighboring home. This is a condition fairly commonly found in this subdivision.

The distance of the house from the south property line is dimensioned as 12 feet and 1 inch. An as-built survey should be submitted during the construction process to assure that the house, including the furthest extent of the roof (usually the outer edge of the gutter or eave) does not encroach into the setback.

**Staff Recommendation:** Submit an as-built survey during construction to assure that the house does not encroach into the south side yard setback.

A sidewalk of stone pavers is proposed leading from the driveway to the front entrance. A rear patio composed of stone pavers is also proposed.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,007 square feet is permitted on the site with allowances of 600 square feet for a garage and 401 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,826 square feet.
- The proposed garage totals 750 square feet. With a maximum garage exemption of 600 square feet, 150 square feet must be added to the square footage of the residence.
- 240 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 3,976 square feet, 31 feet or less than 1 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 31 feet as measured from the point of lowest existing grade to the tallest roof peak, in compliance with the Code limitation of 35 feet.

*Elevations – This standard is met.*

According to the petitioner's statement of intent, the intended architectural style is French Provincial. This style is defined by steeply pitched roofs, arched doorways and tall, multi-paned windows often with curved headers. These homes are commonly composed of materials such as brick, stone and stucco with a soft color palette. The style commonly presents elements of symmetry, balance, and the use of decorative elements like shutters.

These defining elements of the French Provincial style are found throughout the elevations and overall, the balance and organization of the architectural features come together to make a well-designed residence. To enhance the design and adherence to the intended style, some minor refinements may be worth considering.

Throughout the elevations, the roof forms are quite complex. Although the proposed roof forms work well on the east (front) and west (rear) elevations, the north and south (side elevations) could benefit from further study and refinement to achieve some simplification.

**Staff Recommendation:** Conduct further study and refinement of the roof forms on the north and south elevations to simplify and better organize the massing.

*Type, color, and texture of materials – This standard is met.*

According to the petitioner, the home will have stone veneer and stucco siding. The stucco will be a light buff color. The windows will be aluminum clad casement windows, "blue

stone” in color, with simulated divided lites. The trim will be cedar and the roof will be cedar shake. The dormers and bay window roofs are proposed as metal. The gutters will be aluminum. Stone Unilock pavers are proposed for the front walk and rear patio. The driveway will be asphalt.

**Staff Recommendation:** Provide material samples at the time of submittal for permit demonstrating the stone veneer is a minimum of 4” thick.

*Landscaping - This standard can be met.*

According to the proposed landscape plan, the minimum landscape requirement for new homes appears to be met. According to the tree removal plan, 6 trees of varying species, size and condition are proposed for removal. The inches for replacement accumulate to 77 inches. The final landscape plan will be subject to staff review and approval when the plans are submitted for permit and at that time, the landscape and tree replacement plan will be reevaluated. The plan shall demonstrate 77 replacement inches in addition to meeting the minimum landscape requirements or, at the City's discretion, a fee in lieu of planting some of the inches on the site may be accepted at the time the permit is issued.

Due to the narrow nature of the lot and the space necessary for a sufficient turning radius to enter and exit the side loading garage, as noted above, the distance between the driveway and the north property line reaches a narrow width of 3 feet. This creates a challenge to plant vegetative screening for car headlights. Consideration should be given to installing a solid fence along the property line, if one does not currently exist, to assure that car headlights across from the garage are screened to the extent possible.

**Staff Recommendation:** Provide a solid fence along the driveway at the apron to the garage to screen headlights and back up lights from the private areas of the neighboring home.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition other than the letter of approval received from the HOA.

### **Recommendation**

Recommend approval of a new house, attached garage, hardscape and a conceptual landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit, make the following refinements based on Board direction. The refinements shall be subject to staff approval.
  - a. Conduct further study and refinement of the roof forms on the north and south elevations to simplify and better organize the massing.
  - b. Submit material samples demonstrating the minimum thickness of 4" for the veneer stone.
  - c. Incorporate a solid fence into the landscape plan along the driveway across from the garage, to screen headlights and back up lights from the neighboring home.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity if determined to be necessary by the City's Certified Arborist.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The public street must remain unobstructed, passable, and clean at all times.

4. Submit an as-built survey during construction to assure that the house does not encroach into the south side yard setback as measured from the point of furthest encroachment, most often the outside edge of the gutter, to the south property line.





**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1080 SIR WILLIAM LANE

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

**ARCHITECT/BUILDER INFORMATION**

ANTHONY & ELIZABETH SCHILLACI  
*Owner of Property*

DANIEL BENDIXON, ARCHITECT  
*Name and Title of Person Presenting Project*

45 THE COURT OF COBBLESTONE  
*Owner's Street Address (may be different from project address)*

BENDIXON DESIGN GROUP, LTD.  
*Name of Firm*

NORTHBROOK, IL. 60062  
*City, State and Zip Code*

25235 W. HIGHWOODS DRIVE  
*Street Address*

773.491.2572  
*Phone Number*                      *Fax Number*

ANTIOCH, IL. 60002  
*City, State and Zip Code*

tony@schillacigroup.com  
*Email Address*

847.989.9472  
*Phone Number*                      *Fax Number*

*Anthony Schillaci*  
*Owner's Signature*

dbendixon@comcast.net  
*Email Address*

*Daniel Bendixon*  
*Representative's Signature (Architect/ Builder)*

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>	
<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
(The use of natural materials is strongly encouraged)

**Facade Material**

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Stone                       | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                                  | <input type="checkbox"/> Vinyl Siding     |
| <input type="checkbox"/> Wood Clapboard Siding                  | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco                      | <input type="checkbox"/> Other _____      |
| <input checked="" type="checkbox"/> Wood Shingle (DORMER SIDES) |   |
- Individual or Panels? \_\_\_\_\_

Color of Material STUCCO: LIGHT BUFF

**Window Treatment**

- |  |   |
|--|---|
| <b>Primary Window Type</b>                   | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung         | <input type="checkbox"/> Wood (recommended)       |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding             | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____         | <input type="checkbox"/> Other _____              |

Color of Finish WEATHERSHIELD "BLUE STONE"

**Window Muntins**

- Not Provided  
 True Divided Lites

**Simulated Divided Lites**

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

- |   |   |
|---|---|
| <b>Door Trim</b>                              | <b>Window Trim</b>                            |
| <input checked="" type="checkbox"/> Limestone | <input checked="" type="checkbox"/> Limestone |
| <input type="checkbox"/> Brick                | <input type="checkbox"/> Brick                |
| <input checked="" type="checkbox"/> Wood      | <input checked="" type="checkbox"/> Wood      |
| <input type="checkbox"/> Other _____          | <input type="checkbox"/> Other _____          |

**Fascias, Soffits, Rakeboards**

- Wood  
 Other \_\_\_\_\_

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal PAC CLAD @ DORMERS
- Other MODIFIED BITUMIN @ FLAT AREA

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers (UNILOCK)
- Poured Concrete
- Other \_\_\_\_\_



**CLAY CHIMNEY POT**  
SUPERIOR CLAY CORP  
"COLONIAL" -18" HIGH  
10" I.D. AT BASE



**GARAGE DOOR**  
"CLOPAY"- BRIDGEPORT SERIES  
9'-0" x 8'-0" STEEL CARRIAGE STYLE  
OVERHEAD DOORS W/ MAHOGANY FINISH



SQ22 Short

**GARAGE DOOR LITE OPTION**



**CEDAR SHAKE ROOF**



**CASEMENT  
WINDOWS:**  
WEATHERSHIELD SDL  
ALUMINUM CLAD

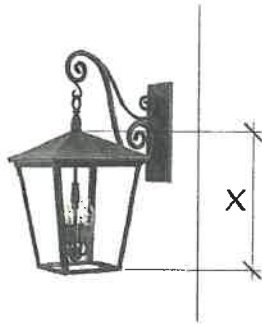


**SHUTTERS:**  
WOOD LOUVERED  
PLANTATION STYLE W/ PIN HINGES &  
SHUTTER DOGS



**COLOR:**  
WEATHERSHIELD ALUMINUM: BLUE STONE

SHUTTERS TO BE COLOR-MATCHED



**SCONCE LIGHT**

ENTRY LIGHTS, GARAGE & SIDE ENTRY:  
 HINKLEY 1434 DZ X = 14"  
 PATIO DOOR:  
 HINKLEY 1430 DZ X = 10"  
 FINISH: AGED ZINC W/ CLEAR GLASS



**PORCH & STEPS**

'UNILOCK' -BRUSSELS  
 COLOR: LIMESTONE (SHOWN)



**FRONT DOOR**

3'-6" x 8'-0" WOOD DOOR  
 MAHOGANY STAIN FINISH



**BAY WINDOW ROOF & DORMERS**

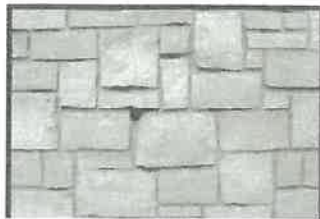
"Pac-Clad"  
 PRE-FINISHED STANDING SEAM  
 METAL ROOFING  
 PREMIUM COLOR: "WEATHERED ZINC"

**COLOR:**

-STUCCO: 'OMEGA' -PEBBLE FINISH  
 SHERWIN WILLIAMS  
 -CLASSIC LIGHT BUFF 0050

**COLOR:**

-ALUM. GUTTER & DNSPT.: "DESERT SAND"  
 -EAVES & TRIM (TO MATCH GUTTER & DNSPT.)  
 SHERWIN WILLIAMS -SAND DOLLAR 6099



**STONE VENEER**

FOND DU LAC NATURAL STONE  
 "RIDGE" VENEER





25235 WEST HIGHWOODS DRIVE  
ANTIOCH, ILLINOIS 60002

December 27, 2024

Building Review Board  
City of Lake Forest  
Community Development Department  
800 Field Drive  
Lake Forest, IL 60045

Re: Statement of Intent  
Anthony & Elizabeth Schillaci Residence  
1080 Sir William Lane, Lake Forest

Dear Commissioners,

We respectfully submit the attached Building Review Board application & supporting documents for a new single family home, to be located in one of the last remaining infill lots in the Arbor Ridge Subdivision, at the above address.

If you were not aware, the Schillacis were working with another architect in the last year to design a ranch house on this same property. We made the decision to change direction when I was brought on board. Now we are proposing a 3935 s.f. 1 ½ story stone & stucco residence in the French Provincial style that we feel is much more appropriate for this eclectic, yet traditional neighborhood. We have recently met with the Home Owner's Association and know that they approve of our direction with the design.

The following are the specific responses to the Design Criteria of the City Code:

**Site Plan:**

Our proposed home complies with all zoning and building scale requirements. The previous ranch house design had been located such that the driveway was to be on the south of the property. After some study, it became clear that flipping the driveway and garage to the north side, some of our better trees were saved and it created a better rhythm with the driveway locations of the adjoining properties. In fact, 5 larger trees that need to be removed to accommodate the proposed driveway location are already dead. We are proposing centering our driveway between two of the existing parkway trees. While there are a few sidewalks in the neighborhood, they are not present on our property.

One of our earliest design, which did locate the garage to the north side of the property, had the garage to the front of the house, as is the case with the property to the south. We opted to push the garage back to the rear of the house to remove it altogether from the street view.

### **Elevations:**

The scale and the height of the proposed home also complies with all zoning and bulk requirements. We have included a streetscape elevation in our submittal which shows the proposed design to be compatible with the adjacent properties, while remaining at the lower end of the maximum roof height of 35'-0", we are at 30'-8".

The relationship of voids and solids is consistent with the French Provincial style we are proposing. The same is true of the rooflines and eaves.

Many alternate designs were considered to the north. If you take the time to study a few of our previous designs, you will see the consideration given to the massing of the design. Considerable time was given to the north elevation, which needed to be secondary to our symmetrical front, without drawing too much attention to itself, while providing the necessary fenestration for the second floor. The earlier design shared for the north elevation satisfied the floor plan but generally distracted from the massing of the dominant front elevation massing.

### **Landscaping:**

The proposed landscaping is consistent with the adjacent neighborhood, which mostly consists of building the foundation plantings and serves to conceal our air conditioning condensers at the northeast corner.

As mentioned before, we have made our best effort to allow the quality larger trees to remain, while taking advantage of areas where dead trees need to be removed.

**Color and texture of materials:**

The materials consist of natural stone veneer, stucco, smooth cedar trim, cedar shake roof, and metal dormer and bay window roofs. Our choice of stucco colors in combination with the trim should naturally blend in with the site and neighborhood. We wanted something different than the popular forest green accent color, which led to the decision of the dark “bluestone” color of the shutters, which will be color matched to the aluminum cladding of the casement windows. The aluminum cladding will guarantee the color lasting for years to come.

**Overall site layout:**

The building site layout complies with all zoning setback requirements and saves as many of the quality trees as possible. Please study the landscaping plan which outlines the replacement of the small amount of trees that are proposed to be removed on our project.

While there are a variety of architectural styles in this neighborhood, we have strived to produce one of a size and scale that fits. We are proposing a home that we feel meets or exceeds the level of the surrounding properties.

The proposed home shall not detract from the natural environment of the site. We are certain this home will maintain the character of the existing neighborhood.

Please feel free to contact me with any questions or comments during your review of this proposed project.

Sincerely,



Daniel E. Bendixon, President  
dbendixon@comcast.net  
847.989.9472

# **ARBOR RIDGE HOMEOWNERS' ASSOCIATION**

Tony Schillaci  
The Court of Cobblstone  
Northbrook, IL 60062

December 20, 2024

Re: Review of Proposed Plans for 1080 Sir William Ln.

Mr. Schillaci,

The Arbor Ridge Homeowner's Association has completed a review of the architectural plans prepared by Bendixon Design Group for your proposed new home at 1080 Sir William Ln.

We are pleased to inform you that the plans have been approved subject to the following conditions:

1. The proposed stone veneer is Fond Du Lac Natural Stone (ashlar pattern) and be no less than 4" thick material. All sills to be 4' cut limestone
2. The stucco veneer is Omega pebble finish color: Sherwin Williams-classic light buff 0050
3. The standing seam metal roofs are Pac Clad Antique Zinc. All exposed step-flashing must be either copper or aluminum material that matches the selected Pac Clad product. This will not apply to valley flashing or other hidden flashing types.
4. The cedar shingle roof is to be medium thickness.
5. The exterior trim, columns, gutters and downspouts are Sherwin Williams- "sand dollar 6099"
6. Windows to be SDL aluminum clad with Weathershield frame color (Bluestone)
7. The shutters are to be 1 3/4" thk wood louvered, plantation style with cast pintel hinges and cast shutter dogs.
8. Garage Doors are Cloplay-Bridgeport Series finish: mahogany lite option: SQ22 short.

9. Exterior sconce lights are Hinkley 1434 DZ for the front entrance and Garage sconces and Hinkley 1430 DZ for the rear door sconce per the attached cut sheets.
10. The porch and steps are Unilock pavers, color; limestone and pattern: "Brussels"
11. All the exterior materials and colors must be installed as presented and any deviation from the submitted palette must be reviewed and approved by the HOA before installation.
12. Any changes suggested by the Lake Forest Building Review Board shall not deviate from the Arbor Ridge Design Guidelines unless approved by the HOA.

We all wish to welcome you to the Arbor Ridge community and feel your home will be a beautiful addition to the neighborhood. Please feel free to contact us if you should have any questions about this review and thank you for your consideration and patience as we processed this application.

Very truly yours,

Julie Riccardi Halperin

*Board President, on behalf of the Arbor Ridge HOA*

# STREETSCAPE STUDY



② 1100



③ 1080 Sir William Lane



④ 1070

## STREETSCAPE ELEVATION



① Entrance to Subdivision



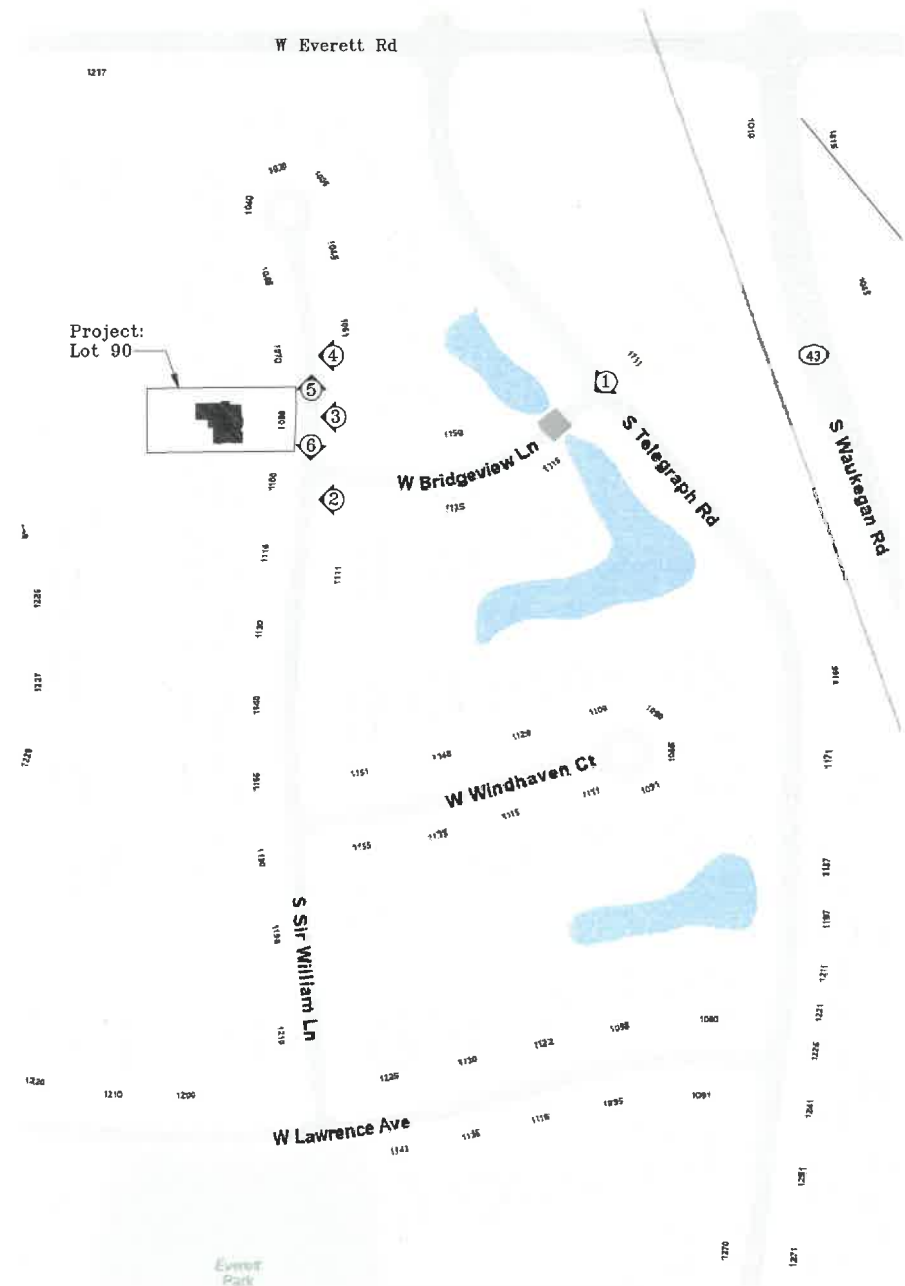
③ 1080 Sir William Lane/Lot 90



⑤ Sir William Lane to north



⑥ Sir William Lane to south



## NEIGHBORHOOD MAP

SCALE: 1/8" = 1' - 0"

NOT TO SCALE

The use of these plans and specifications shall be restricted to the original site for which they were prepared and published. No other use, reproduction, publication or reuse by any other party other than Bendixon Design Group, Inc. is hereby prohibited.  
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Bendixon Design Group, Inc.

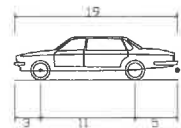
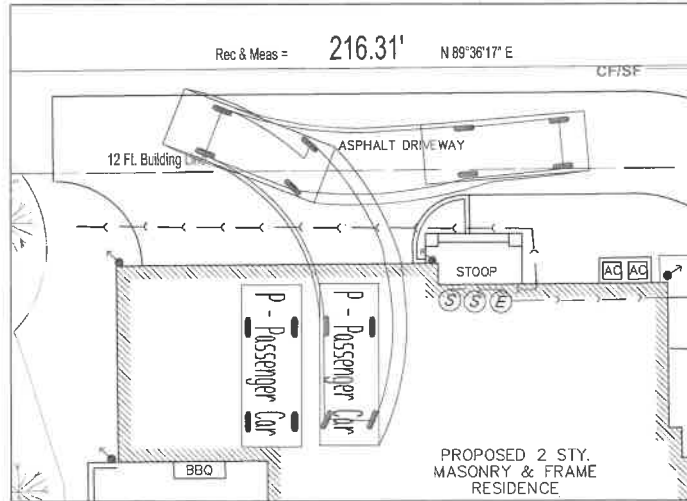
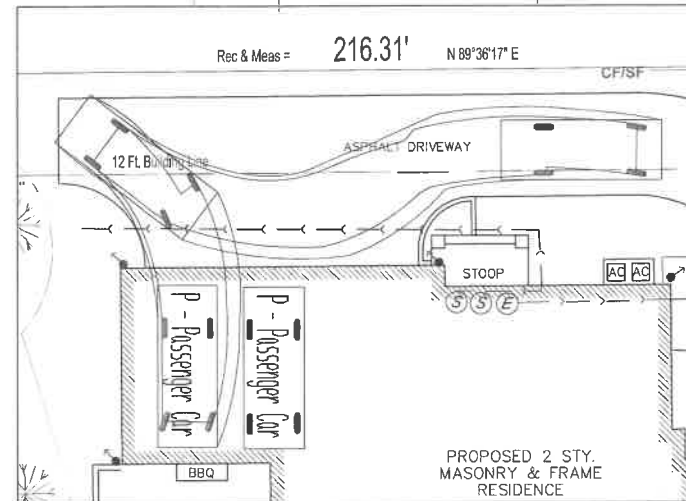
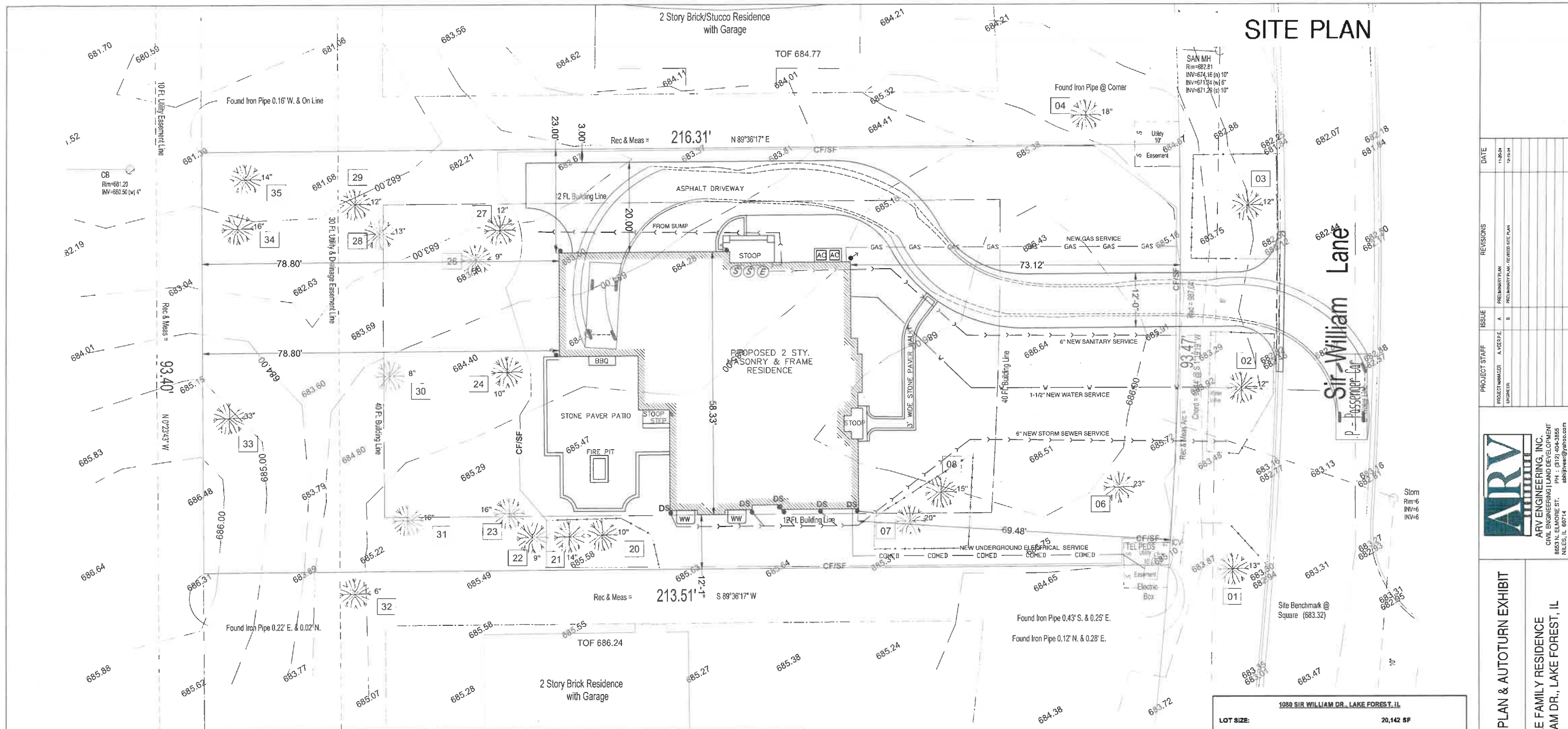
**SCHILLACI RESIDENCE**  
1080 SIR WILLIAM LANE  
ARBOR RIDGE SUBDIVISION  
LAKE FOREST, ILLINOIS

DANIEL E. BENDIXON  
ARCHITECT  
26235 W. Highwade Drive  
Aurora, Illinois 60002  
671-883-9747  
dhe@dbendixon.com

**BENDIXON  
DESIGN  
GROUP**  
FINE RESIDENTIAL & COMMERCIAL DESIGN

NO.	DATE	REVISIONS
1	10/21/24	ARBOR RIDGE IGA REVIEW
2	10/21/24	ENR SUBMITTAL
PLAN NO.: 24024		
SHEET A-10		

# SITE PLAN



P - Passenger Car  
 Overall Length 19.00ft  
 Overall Width 7.00ft  
 Overall Body Height 5.10ft  
 Min Body Ground Clearance 1.11ft  
 Track Width 6.00ft  
 Lock-to-lock time 4.00s  
 Curb to curb Turning Radius 24.00ft

1080 SIR WILLIAM DR., LAKE FOREST, IL	
LOT SIZE:	20,142 SF
EXISTING IMPERVIOUS AREA ENTIRE LOT (#.1)	0
PROPOSED IMPERVIOUS AREA ENTIRE LOT (#.1)	2,923
HOUSE & GARAGE	0
DRIVEWAYS	2,115
PATIOS, PORCHES & DECKS	978
TOTALS	6,017
% OF LOT	0.00%
	28.87%

NOTE:  
 EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY. THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM OFFICIAL PLATS AND RECORDS

LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL A.U.L.L.E. @ 1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST VERIFY LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

DATE	REVISIONS
11-28-24	
12-13-24	

ARV ENGINEERING, INC.  
 CIVIL ENGINEERING / LAND DEVELOPMENT  
 1001 S. WILSON ST.  
 NILES, IL 60714  
 815.733.8865  
 arvjw@arveng.com

PROPOSED SITE PLAN & AUTOTURN EXHIBIT  
 NEW SINGLE FAMILY RESIDENCE  
 1080 SIR WILLIAM DR., LAKE FOREST, IL

SHEET TITLE PROJECT ADDRESS

11.23.2024  
 EXP. 11/30/25

START DATE: MAR. 03, 2023  
 SCALE: 1"=20'

SHEET NUMBER  
**SP-1**

COLORED EAST ELEVATION

BENDIXON  
DESIGN  
GROUP  
LLC

FINE RESIDENTIAL & COMMERCIAL DESIGN

25235 W. Highwoods Drive  
Antioch, Illinois 60002  
847.395.9472



1 0 8 0   S i r   W i l l i a m   L a n e

# EAST ELEVATION



PROPOSED EAST ELEVATION

SCALE : 1/4" = 1' - 0"

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## SCHILLACI RESIDENCE

1080 SIR WILLIAM LANE  
ARBOR RIDGE SUBDIVISION  
LAKE FOREST, ILLINOIS

DANIEL E. BENDIXON  
ARCHITECT  
25235 W. Highlands Drive  
Antioch, Illinois 60002  
dbendixon@comcast.net

**BENDIXON**  
**DESIGN**  
**GROUP**  
FINE RESIDENTIAL & COMMERCIAL DESIGN

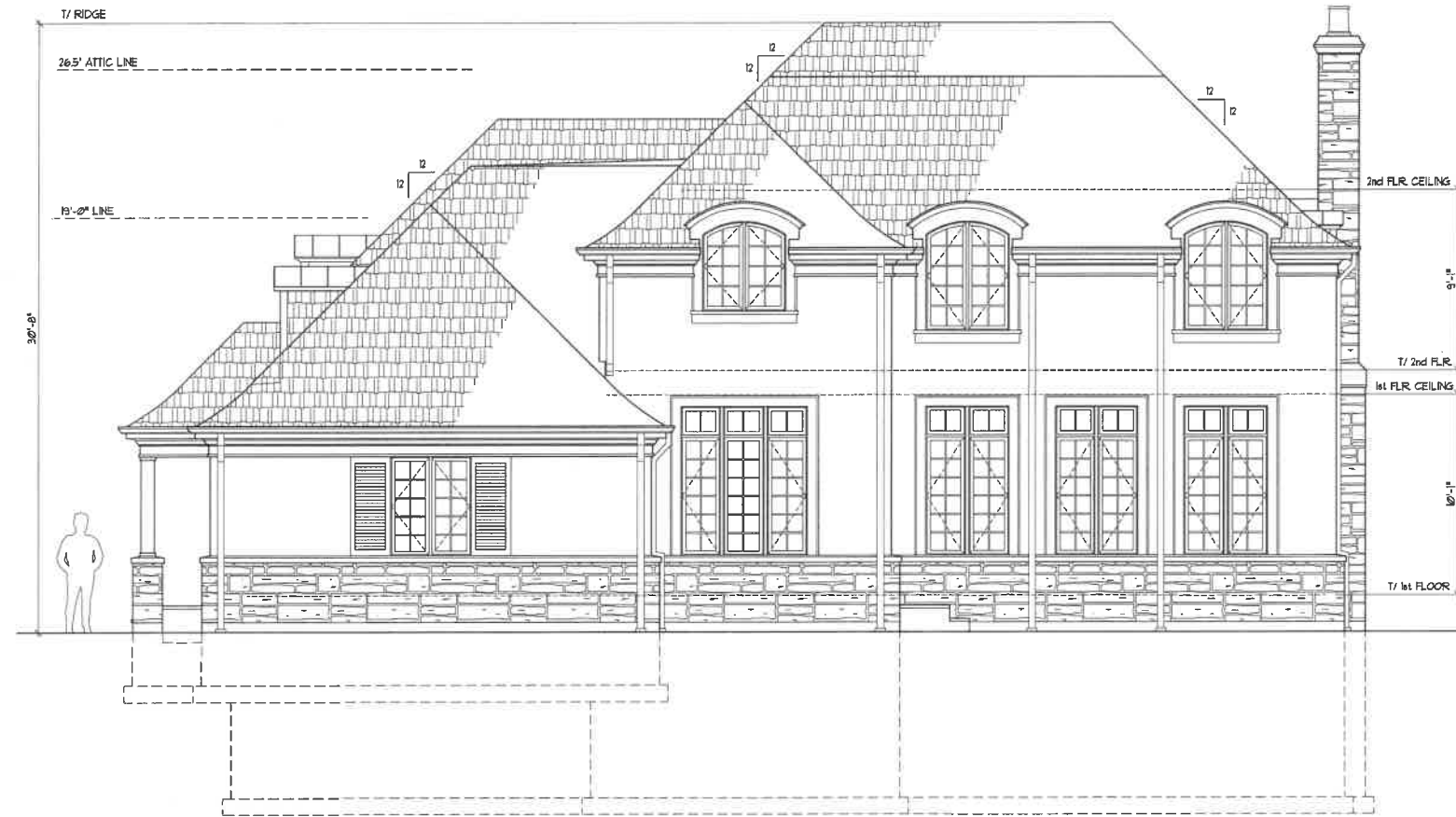
PREPARED BY:  
D.B.

NO.	DATE	REVISIONS
1	12/27/24	ARBOR RIDGE HOA REVIEW
2	12/27/24	BAR SUBMITTAL

PLAN NO.:  
24024

SHEET  
A-1

# WEST ELEVATION



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1' - 0"

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**SCHILLACI RESIDENCE**  
1080 SIR WILLIAM LANE  
ARBOR RIDGE SUBDIVISION  
LAKE FOREST, ILLINOIS

DANIEL E. BENDIXON  
ARCHITECT  
26235 W. Highwoods Drive  
Antioch, Illinois 60002  
dbendixon@comcast.net

**BENDIXON  
DESIGN  
GROUP**  
FINE RESIDENTIAL & COMMERCIAL DESIGN

PREPARED BY:  
D.E.

NO.	DATE	REVISIONS
1	12/27/24	ARBOR RIDGE HOA REVIEW
2	12/27/24	ENG SUBMITTAL

PLAN NO.:  
**24024**

SHEET  
**A-4**

# NORTH ELEVATION



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1' - 0"

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**SCHILLACI RESIDENCE**  
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ARBOR RIDGE SUBDIVISION  
LAKE FOREST, ILLINOIS

DANIEL E. BENDIXON  
ARCHITECT  
25235 W. Highlands Drive  
Aurora, Illinois 60002  
847.883.8472  
dbendixon@comcast.net

**BENDIXON  
DESIGN  
GROUP**  
FINE RESIDENTIAL & COMMERCIAL DESIGN

PREPARED BY:  
D.E.

NO.	DATE	REMARKS
1	02/24/24	ARBOR RIDGE ICA REVIEW
2	02/24/24	PRELIMINARY

PLAN NO.:  
24024

SHEET  
A-2

# SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

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**SCHILLACI RESIDENCE**  
1080 SIR WILLIAM LANE  
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LAKE FOREST, ILLINOIS

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dbendixon@comcast.net

**BENDIXON**  
**DESIGN**  
**GROUP**  
FINE RESIDENTIAL & COMMERCIAL DESIGN

PREPARED BY:  
D.E.

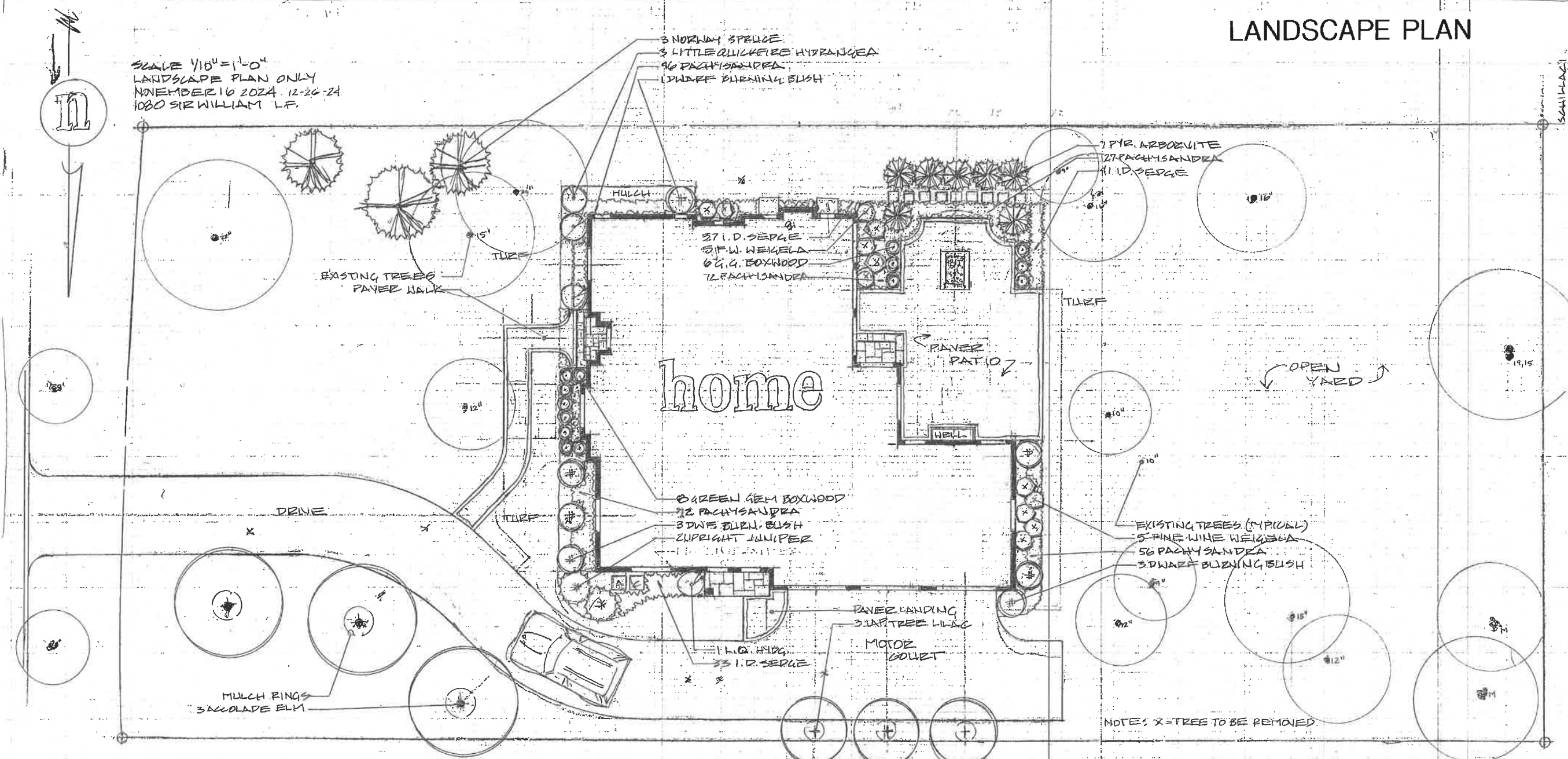
REVISIONS	DATE	DESCRIPTION
1	02/27/24	ARBOR RIDGE HOA REVIEW
2	02/27/24	ENG SUBMITTAL

PLAN NO.:  
24024

SHEET  
**A-3**

# LANDSCAPE PLAN

SCALE 1/10" = 1'-0"  
 LANDSCAPE PLAN ONLY  
 NOVEMBER 16 2024 12-26-24  
 1080 SIR WILLIAM LF.



## Plants

- 3 ACOLADE ELM 3 1/2"
- 3 JAPANESE LILAC 2 1/2"
- 7 PYRAMIDAL ARBOVITE 7'
- 2 UPRIGHT JUNIPER 7'
- 7 DWARF BURNING BUSH 42"
- 3 NORWAY SPRUCE 7, 10', 2, 8'
- 4 LITTLE QUICKFIRE HYDRANGEA 36"
- 10 FINE WINE WEIGELA 24"
- 14 GREEN GEM BOXWOOD 18"
- 11 ICE DANCE SEDGE 10'
- 343 PACHYSANDRA 2 1/4" POTS

the SCHILLACI site

SCHILLACI

SCHILLACI

**Agenda Item 5**  
**1411 Estate Lane**  
**Consideration of demolition of the existing residence and detached garage,**  
**a replacement residence and attached garage and the associated hardscape**  
**and landscape plan.**

Staff Report

*Excerpt – Minutes from August 8, 2024 Meeting*

*Building Scale Summary*

*Vicinity Map*

*Air Photos*

Materials Submitted by Petitioner

Application

Description of Materials

Statement of Intent

Review of Demolition Criteria

Site Plan – Existing Conditions

Photos of Existing Conditions

Site Plan – Proposed

Site/Grading Plan

Elevations

Renderings

*Roof Plan*

*Building Sections*

*Floor Plans*

*Conceptual Landscape Plan*

*Tree Removal Plan*

*Planting List*

*Existing Storm Sewer*

*Materials from the August 8<sup>th</sup>, 2024 Meeting – For Background  
Elevations*

*Materials shown in italics are included in the Board packet only. A complete copy of the  
packet is available from the Community Development Department.*

## 1411 Estate Lane

**Consideration of demolition of the existing residence and detached garage, a replacement residence and attached garage and the associated hardscape and landscape plans.**

**Property Owners: Allen and Susan Mandell**  
**Architect: Stuart Shaman**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

This is a request for a recommendation in support of demolition of the existing residence and detached garage, a replacement residence and attached garage and the associated hardscape and landscape plans.

On August 8<sup>th</sup>, 2024, the Board reviewed and approved the design of the proposed home at 370 Ridge Road as presented by the petitioners, Mr. and Ms. Mandell. The petitioners did not proceed with development of the Ridge Road property and instead, purchased the property at 1411 Estate Lane and now propose to construct a new home of the same architectural design as previously approved, on the newly purchased lot. An excerpt of the minutes from the August 8<sup>th</sup> meeting is provided in the Board's packet as background. The major concerns raised by the Board during the previous discussion focused on the extensive tree removal and regrading proposed.

### **Description of Property**

The property has 25' of frontage on Estate Lane. The 25' strip of land extends east from Estate Lane along the north side of the property addressed as 1421 Estate to the main portion of the property. The 1411 Estate Lane property consists of two tax parcels which together comprise a single zoning lot. The narrow parcel along the north side of the property was likely conveyed sometime in the past from the owner of the property to the north, to the previous owner of the subject property.

### ***Access Easement***

A 25' wide easement extends from Estate Lane across the subject property all the way to Oak Knoll Drive. The entire 25' strip is identified as an easement for the benefit of the neighboring property, 1421 Estate Lane Drive, providing the right for that lot to take access from Oak Knoll Drive in the future if desired. Although the subject property has frontage on Oak Knoll Drive there is currently no driveway access from the east. If both property owners agreed, it may be possible for a portion of the easement to be vacated providing more flexibility for the site plan for the subject property.

### *Utility Easement*

A 10' wide utility easement is located just to the north of the access easement and extends in an east/west direction.

### *Storm Sewers*

A private storm sewer pipe extends north to south through the center of the subject property. Based on information available to the City, this private storm sewer is in disrepair or collapsed and will need to be replaced. The private storm sewer connects to a public storm sewer that extends east to west across the south portion of the subject property. A 20' easement centered on the public storm sewer will be required as part of the permitting process for redevelopment of the lot.

### **Proposed Demolition**

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below.

#### ***Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.***

This criterion is met. The existing residence is not architecturally, aesthetically, or historically significant. The home was built in 1951 and does not have any particular significance in relation to its surroundings.

#### ***Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.***

This criterion is met. The existing structure is partially constructed over an unfinished crawlspace and the home shows signs of serious deterioration and water damage throughout. Due to the substantial work necessary to rehabilitate the existing home, the quality of the end product would likely not be worth the investment.

#### ***Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.***

This criterion is met. Due to water damage the structure is presently unsuitable for residential use. Although it could be restored to be habitable again, it would take substantial work to be restored.

#### ***Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.***

This criterion is met. There is no evidence to suggest that the proposed demolition will adversely impact the value of other properties in the neighborhood. Investment in this property, redevelopment with a new home,

and fixing the storm sewer to address drainage in the area will likely support property values in the neighborhood.

***Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.***

This criterion is met. The existing house is sited so that it encroaches significantly into the setback making the structure largely non-compliant with current zoning Code. The new home will bring the property into compliance with current zoning setbacks.

The proposed house was already approved by the Board in another location. The house appears to be more appropriate for the subject lot than it was for the previous lot and will not adversely impact the neighborhood's diverse character. Review by the Building Review Board is required to assure that all applicable standards and the City's Design Guidelines are satisfied.

Staff finds that the criteria for demolition are satisfied.

**Staff Review of Standards – Evaluation, Comments, and Recommendations**

*Standards in General*

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

*Site Plan – This standard is mostly met.*

The house is sited so that it complies with the applicable zoning setbacks, limits the impact on existing trees, and although significant re-grading is still proposed, the change in grade is proposed in the center of the property, away from neighboring properties. The house is deeply setback from Estate Lane and is located behind a house that fronts on Estate Lane limiting any visible from that streetscape. Thick vegetation will screen the home from Oak Knoll Drive.

The asphalt driveway extending from Estate Lane connects to a roundabout and backup area both of which are located within the 25' access easement. If vacation of the access easement is successfully pursued with the beneficiary of the easement, this site plan is workable. If not, the driveway configuration will need to provide for the opportunity for the 1421 Estate Lane property to access through to Oak Knoll Drive.

The grading plan proposes construction access from Oak Knoll Drive. The landscape plan demonstrates a plan to remediate the impact of the construction entrance. However, a construction entrance from Oak Knoll Drive is not permitted without a curb cut and a curb cut is not permitted unless a driveway is established.

All structures will need to be setback at least 15 feet from the proposed relocated storm sewer line along the west side of the property.

**Recommendation:** Show the new storm sewer line and the 20' easement for the existing public storm sewer on the site plan. Include dimensions to reflect that all structures are at least 15' from the new storm sewer line.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 8,258 square feet is permitted on the site with an allowance of 800 square feet for a garage and 825 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,095 square feet.
- The proposed garage totals 939 square feet. With a maximum garage exemption of 800 square feet, 139 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 1329 square feet of design elements are incorporated into the design of the house. With a maximum of 825 square feet allowed for design elements, 504 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 4,738 square feet. That is 3,520 square feet or nearly 43 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 22 feet and is below the allowable height of 40 feet for the property.

*Elevations – This standard is met.*

The proposed elevations are the same as those approved by the Building Review Board on August 8<sup>th</sup>, 2024. While the Board has already approved the design of the proposed home on a different property, because the home is before the Board again, a review of the design according to our standards is necessary.

Therefore, while the design has not changed, it is worth noting this opportunity to consider studying and refining the windows and sliding glass doors on all four elevations to create a more regular arrangement of openings and to better balance the solids walls and windows.

**Recommendation:** Consider refinement of the windows and sliding glass doors on all four elevations to create a more regular arrangement of openings and to better balance the solid walls and windows.

*Type, color, and texture of materials – This standard is mostly met.*

The siding will be white stucco with a stone veneer tile placed on the interior of the front entrance. The application identifies the aluminum clad casement windows with no muntins as black however, the statement of intent identifies the doors and windows as a dark bronze. The petitioner was encouraged to bring samples of the exterior materials to the meeting to clarify. Trim material will be Boral, a synthetic wood, throughout. A zinc finished metal roof is proposed although some areas will be a modified bituminous roofing. Solar panels are also proposed.

**Recommendation:** Samples of the materials and colors should be presented at the Board meeting.

*Landscaping – This standard is mostly met.*

The minimum landscape requirement for new homes appears to be met by the proposed conceptual landscape plan. Sufficient screening appears to be shown throughout the conceptual plan. Construction access should be reflected on the civil plan and based on current conditions, should be from Estate Lane. The final landscape plan will be subject to staff review and approval when plans are submitted for permit. At that time, the landscape and tree replacement plan will be reevaluated.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

### **Recommendation**

Recommend approval of demolition of the existing residence and detached garage, and approval of a replacement residence and attached garage and the associated hardscape and landscape plans.

1. Conduct further study and refinement of the site plan, elevations and materials.
  - a. Show the proposed relocated private storm sewer pipe and the 20' easement for the existing public (east/west) storm sewer on the plans. All structure must be setback at least 15 feet from the new storm sewer.
  - b. Submit documentation that the access easement through the subject property which benefits the 1421 Estate Lane property has been or will be vacated OR submit a revised site plan that reconfigures the driveway, roundabout and backout area to allow future access to Oak Knoll Drive for the 1421 Oak Knoll Drive property.
  - c. Consider refining the windows and sliding glass doors on all four elevations to create a more regular arrangement of openings and to better balance the solids walls and windows.
  - d. Bring samples of the exterior materials to the Board meeting.
  
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
  
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- b. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required

replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

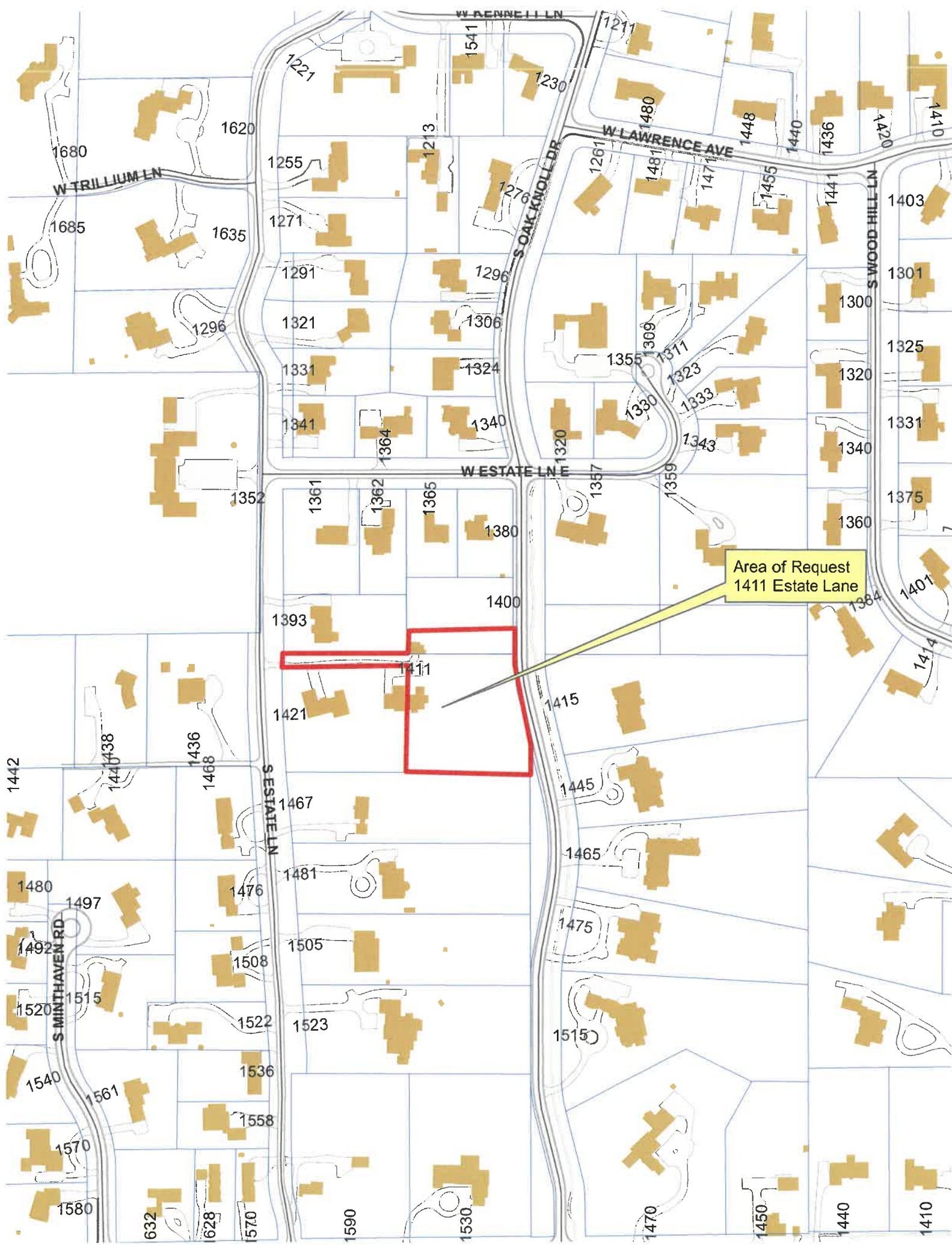
- c. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

- d. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- e. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.



Area of Request  
1411 Estate Lane



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1411 S. ESTATE LN.

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input checked="" type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**


Allen & Susan Mandell  
Owner of Property

1700 Ryders Lane  
Owner's Street Address (may be different from project address)

Highland Park, IL. 60035  
City, State and Zip Code

847-254-9266  
Phone Number

susiemandell@gmail.com,  
allenmandell@gmail.com  
Email Address

  
Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

Stuart Shayman  
Name and Title of Person Presenting Project

Stuart D. Shayman Associates  
Name of Firm

1780 Ash St.  
Street Address

Northfield, IL. 60093  
City, State and Zip Code

847-441-7555, 847-302-7554  
Phone Number

stu@shaymanarchitects.com  
Email Address

  
Representative's Signature (Architect/ Builder)

**The staff report is available the Friday before the meeting, after 3:00pm.**

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS*

**Façade Material**

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other STEEL SIDING

Color of Material \_\_\_\_\_

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood
  - Aluminum Clad
  - Vinyl Clad
  - Other ALUMINUM
- Color of Finish BLACK

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Synthetic Material BORAL
- Other \_\_\_\_\_

**Window Trim**

- Limestone
- Brick
- Wood
- Synthetic Material BORAL
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other \_\_\_\_\_
- Synthetic Material BORAL

THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other MODIFIED BITUMINOUS

**Flashing Material**

- Copper
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

Color of Material WEATHERED ZINC

**Gutters and Downspouts**

---

- Copper
- Aluminum SHEET METAL TO
- Other MATCH ROOF

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other PORCELAIN PAVERS

1411 ESTATE LANE  
STATEMENT OF INTENT

The proposed project for this property is contemporary single family residence for an empty-nester couple. The property is a very open flag-lot site, approximately 86,000 square feet. Current access is through a shared driveway off of Estate Lane, which the owner's intend to maintain. The west side of the property fronts onto Oak Knoll, with dense buckthorn and evergreen screening. It is the intent of the owners to try to keep as much existing vegetation and natural screening from the adjacent street and neighbors as feasible while creating a site for a new home and pool with strong indoor-outdoor connections. The appeal of this neighborhood to the owners is the large lot sizes, privacy from neighbors and the streets and variety of architectural styles, that it is an established neighborhood, not a new subdivision.

The project was previously approved for a lot at 370 S. Ridge Rd. Due to significant concerns about Heritage trees and drainage and grading, the Owners have purchased this lot which works well with the previously designed house, will not require removal of any healthy Heritage trees and does not require extensive re-grading to adequately handle storm drainage.

Neighborhood characteristics:

1. The architectural character of this neighborhood is best described as eclectic. The homes on Estate Lane range from the historic Lasker Estate to numerous one and two story houses of various styles from the 1950's through 1980's. The houses immediately west is a '50's ranch. The home across the street on Estate Lane is mid-century modern with flat roofs and wood siding. The houses on Oak Knoll Drive are generally newer. There is a very large traditional home across the street on Oak Knoll Drive. There is a new 2 story "French Manor" style house under construction on the north side on a much smaller lot and much smaller setback requirements. Existing materials of nearby homes run from stucco to wood siding to brick and stone.
2. The zoning of this area is R2, but, because of the unique nature of this lot, setbacks of 50 feet are required on all four sides.

Design inspiration:

The design of the house is based on the Owners' desire to create a contemporary home that fits their lifestyle, takes advantage of the natural beauty of the site with an orientation to the pool and patio, and where they can age-in-place. In order to take best advantage of the views to the site and achieve the indoor-outdoor connection they desire, we thought the best design would be one that will have large glass areas that can open onto the patio with unobstructed views to the pool and the woods beyond.

The layout of the house consists of three parts, the entry separates the two main sections: The main living and entertaining space runs in the east-west direction in order to orient toward the depth of the property and the pool to the south and is a large gabled area with a cathedral ceiling following the slope of the roof. Running north-south under another sloped roof are the private areas, primary suite, closets and bath. The service areas: garage, laundry, pantry and craft room are in the third section, which is under the modified bitumen roof in order to visually keep the scale of the house down and be able to have the clerestory windows in the great room.

After having lived in a wood sided house for the past 35 years, they were also seeking a lower maintenance solution. This led us to a stucco exterior with accents of natural stone and zinc finished metal trims. Zinc finished metal roofing is planned for the majority of the house, with

smaller areas of low slope modified bituminous roofing. Windows and exterior doors will be dark bronze aluminum, generally 9' tall sliding and stationary units.

The building will be one story, with a maximum height of 22' above existing finish grade.

#### Siting:

The current house is less than 4 feet from the west property line. Current zoning is requiring the new home to be a minimum of 50 feet from this line. The new home will be sited on the property at a 30 degree angle to the property line in order to take advantage of sun paths at the pool area, preserve trees and provide interest upon arrival to the house. The site drops off approximately 8 feet from the north toward an existing swale to the south-east. In order to minimize grade changes, the house is located toward the north building line. The furthest west point will be 50 feet from the west property line approximately 132 feet from the north and angle to the south-east and north-east from this point. Due to easements to the north, the closest point on the north side will be a minimum of 75 feet from the north property line. In order to maximize views and sun exposure to the great room and master bedroom and maintain privacy from Oak Knoll Drive, the house will be set back approximately 84 feet from the east property line.

#### Landscaping:

It is our intention to preserve as many of the existing healthy trees as feasible. Existing evergreens around the existing house will need to be removed for demolition of the house and for the new driveway. We have sited the house with the least impact to the existing walnut and maple trees. We have also tried to limit the grading on the site and driveways. The proposed finish floor height is approximately the same as the existing house on the property.

Additional evergreens will be planted on the north and west sides. Plans for the new neighboring property to the north is not indicating any planting that would screen that side of their house, so we will need to provide planting on that side. Existing buckthorn removed for the construction access will be replaced with new evergreens and deciduous shrubs.

#### Exterior Lighting:

Exterior lighting will be provided by recessed lights in the soffits and overhangs. There will be some additional entry and driveway bollards. We will plan some entry lighting and address lighting. All lighting will be Dark Sky Approved, fully shielded. No tree lighting or uplighting is planned.

## **DEMOLITION:**

### **Criterion 1:**

We could find no information that the existing structure has any special historical, architectural, aesthetic or cultural significance to the community.

Age of structure: According to county assessor's office, the existing structure was constructed in 1951.

Architect: unknown

History of building and site: The building has been used as a single family residence since its construction.

Identification of distinctive architectural features: None.

Description of architectural style: Mid Century Modern 1950's one story ranch.

Description of building materials: Brick and wood siding with full light windows. Low slope roll roofing.

Information on importance of the site or building to the community: None found.

### **Criterion 2:**

**Realistic alternatives, including adaptive re-uses, do not exist because of the nature or cost of work necessary to preserve the structure, or to realize any appreciable part of its value.**

Due to the condition and layout of the existing house, there was no feasible way to renovate and/or provide additions and achieve the owners' intent of creating a new functional home that could satisfy their goals.

The existing house is built partially over an unfinished dirt crawlspace and partially over concrete slab-on-grade. To accommodate storage and additional space for grandchildren's visits without adding ground floor area, the owners would like to have a basement. Maintenance has been deferred for numerous years and is noticeable throughout. The existing detached garage is built in a similar style and we would like to repair the deteriorating wood and roof and keep it for storage and maintenance supplies, replacing the existing wood siding with stucco to match the new home.

Based on the impracticality of re-using all or parts of the existing house, we did not pursue costs for repairs, renovation or building code compliance.

### **Criterion 3:**

**The structure, in its present or restored condition, is unsuitable for residential or a compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.**

The existing structure is unsuitable for residential use in its present condition. There is considerable water damage throughout. It is not an immediate health or safety hazard.

### **Criterion 4:**

**The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.**

The building portion of the existing property is currently appraised at \$182,500; land portion approximately \$420,000 (Lake county assessor). Based on our preliminary estimates, the new building portion will be significantly above the current value.

**Criterion 5:**

**The demolition and/or the replacement structure will be compatible with and not adversely impact the neighborhood character.**

The proposed new home will be compatible with the existing neighborhood. The proposed new home is a one story contemporary style and is located on its site a minimum of 50 feet to the property lines. Existing screening from the adjoining streets and neighboring properties will be maintained and enhanced.

Due to the impracticability of re-use, poor condition and lack of architectural character or significance to this house we are requesting to demolish it in order to construct a new house.

**Additional Information:**

In addition, there is currently a 12" diameter storm sewer which bisects the property and services three properties of the new subdivision to the north as well as a catch basin in West Estate Lane East. As well as being within the footprint of the new house, this line is not functioning, is causing issues with the property to the north, and needs to be replaced. As part of this project, this line is to be relocated along the west property line and will pass through the area of the existing house.



PHOTOS OF EXISTING CONDITIONS  
EXTERIOR OF HOUSE



EXISTING HOUSE FROM NORTH



EXISTING HOUSE FROM NORTH



EXISTING HOUSE FROM SOUTH



EXISTING HOUSE FROM SOUTH EAST

REVISIONS		
SYL.	DESCRIPTION	DATE

THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

NEW RESIDENCE FOR  
ALLEN & SUSAN MANDELL  
1411 S. ESTATE LANE  
LAKE FOREST, ILLINOIS

STUART D. SHAYMAN ASSOCIATES  
ARCHITECTS  
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stu@shaymanarchitects.com

SHEET TITLE	
EXISTING HOUSE EXTERIOR	
JOB NO.	SHEET NO.
SCALE: AS NOTED	3
DATE: 12.22.24	

PHOTOS OF EXISTING CONDITIONS  
EXTERIOR OF GARAGE



EXISTING GARAGE FROM SOUTH



EXISTING GARAGE FROM EAST



EXISTING GARAGE FROM WEST

REVISIONS		
SYM.	DESCRIPTION	DATE

THIS DRAWING		DATE
FOR BUILDING REVIEW BOARD		12.27.24

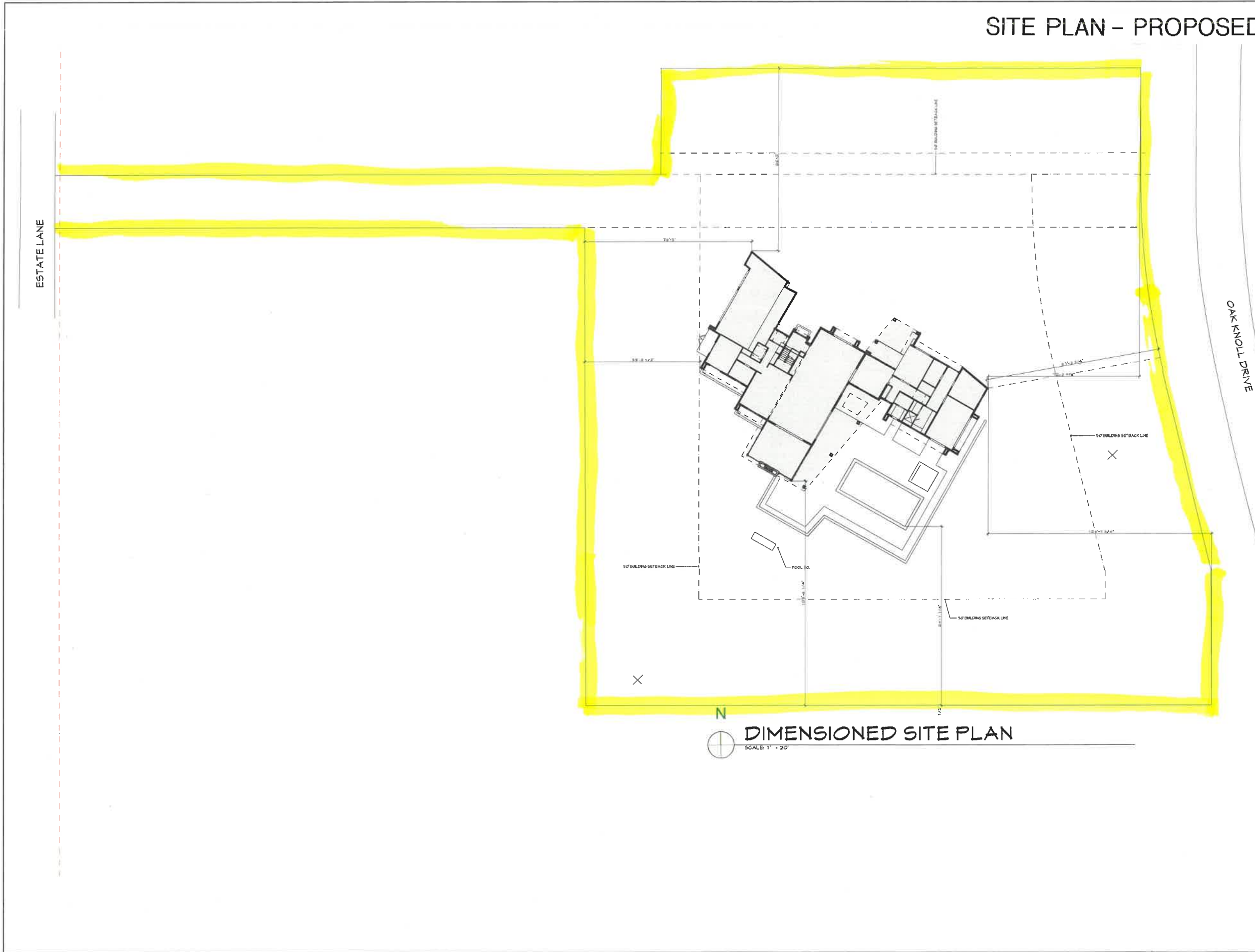
NEW RESIDENCE FOR  
ALLEN & SUSAN MANDELL  
1411 S. ESTATE LANE  
LAKE FOREST, ILLINOIS

STUART D. SHAYMAN ASSOCIATES  
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SHEET TITLE	
EXISTING GARAGE	
JOB NO.	SHEET NO.
SCALE: AS NOTED	4
DATE: 12.22.24	



# SITE PLAN - PROPOSED



**DIMENSIONED SITE PLAN**  
SCALE: 1" = 20'

CERTIFICATION	

REVISIONS		
SYM.	DESCRIPTION	DATE

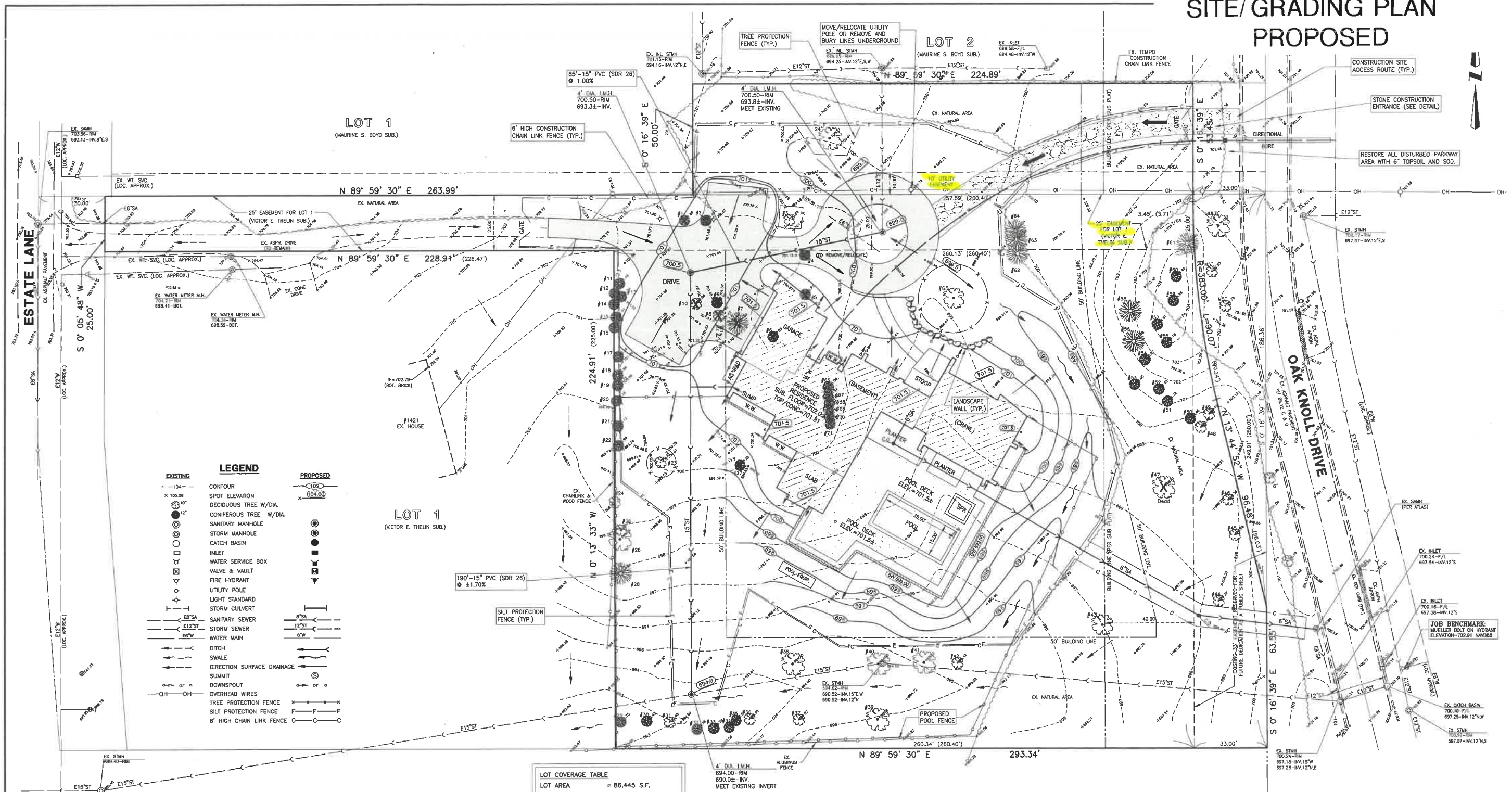
THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

**NEW RESIDENCE FOR  
ALLEN & SUSAN MANDELL  
1411 S. ESTATE LANE  
LAKE FOREST, ILLINOIS**

**STUART D. SHAYMAN ASSOCIATES  
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SHEET TITLE	
DIMENSIONED SITE PLAN	
JOB NO.	SHEET NO.
SCALE: AS NOTED	17
DATE: 12.22.24	

# SITE/GRADING PLAN PROPOSED



**LEGEND**

EXISTING	PROPOSED
104	102
109.08	104.50
12"	
CONTOUR	
SPOT ELEVATION	
DECIDUOUS TREE W/DIA.	
CONIFEROUS TREE W/DIA.	
SANITARY MANHOLE	
STORM MANHOLE	
CATCH BASIN	
INLET	
WATER SERVICE BOX	
VALVE & VAULT	
FIRE HYDRANT	
UTILITY POLE	
LIGHT STANDARD	
STORM CULVERT	
SANITARY SEWER	
SIDRM SEWER	
WATER MAIN	
DITCH	
SWALE	
DIRECTION SURFACE DRAINAGE	
SUMMIT	
DOWNSPOUT	
OVERHEAD WIRES	
TREE PROTECTION FENCE	
SILT PROTECTION FENCE	
6' HIGH CHAIN LINK FENCE	

**LOT COVERAGE TABLE**

LOT AREA = 86,445 S.F.

**EXISTING IMPERVIOUS AREAS**

HOUSE = 3,399 S.F.  
 GARAGE = 553 S.F.  
 DRIVE = 4,810 S.F.  
 STOOPS/DECKS = 50 S.F.  
 WALKS/PADS = 1,285 S.F.  
 TOTAL EXISTING = 10,097 S.F. (10.9%)

**PROPOSED IMPERVIOUS AREAS**

HOUSE = 5,475 S.F.  
 WINDOW WELLS = 218 S.F.  
 DRIVE = 7,876 S.F.  
 POOL DECK = 2,443 S.F.  
 POOL/SPA = 589 S.F.  
 STOOPS = 103 S.F.  
 WALKS/PADS = 458 S.F.  
 WALLS = 175 S.F.  
 TOTAL PROPOSED = 17,337 S.F. (20.1%)

NET INCREASE = 7,240 S.F. (71.7%)

**Tree Preservation Survey**

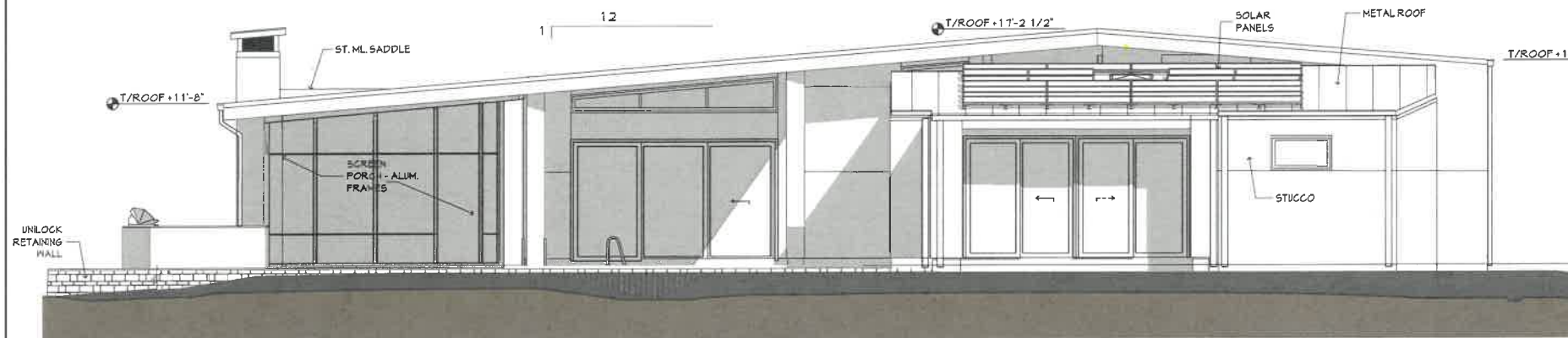
TAG #	SIZE	SPECIES	CONDITION	1-6 (BEST - DEAD)
1	12	White Pine	3	25
2	7	White Pine	3	26
3	14	Norway Spruce	3	27
4	8	White Pine	3	28
5	8	White Pine	3	29
6	11	White Pine	3	30
7	17	Sugar Maple	4	31
8	11	White Pine	4	32
9	12	White Pine	4	33
10	15	Norway Spruce	5	34
11	8	Red Cedar	3	35
12	8	Red Cedar	3	36
13	8	Red Cedar	3	37
14	7	Red Cedar	3	38
15	8	Red Cedar	3	39
16	8	Red Cedar	3	40
17	8	Red Cedar	3	41
18	8	Red Cedar	3	42
19	7	Red Cedar	3	43
20	7	Red Cedar	3	44
21	7	Red Cedar	3	45
22	7	Red Cedar	3	46
23	6	Sugar Maple	4	47
24	9	Red Oak	3	48
25	6	Sugar Maple	4	49
26	10	Siberian Elm	5	50
27	10	Siberian Elm	5	51
28	13	White Pine	3	52
29	10	White Pine	3	53
30	9	White Pine	3	54
31	14	Siberian Elm	5	55
32	7	White Pine	3	56
33	7	White Pine	3	57
34	5	White Pine	3	58
35	5	White Pine	3	59
36	20	Siberian Elm	4	60
37	14	Siberian Elm	4	61
38	21	Siberian Elm	5	62
39	19	Siberian Elm	4	63
40	18	Siberian Elm	4	64
41	25	Siberian Elm	5	65
42	18	Siberian Elm	4	66
43	30	American Elm	3	67
44	8	American Elm	3	68
45	10	American Elm	3	69
46	11	American Elm	3	70
47	21	American Elm	6	71
48	12	Siberian Elm	5	72
49	10	Siberian Elm	5	73
50	6	Red Cedar	3	74

# PROPOSED NORTH-EAST AND PROPOSED SOUTH-EAST ELEVATIONS



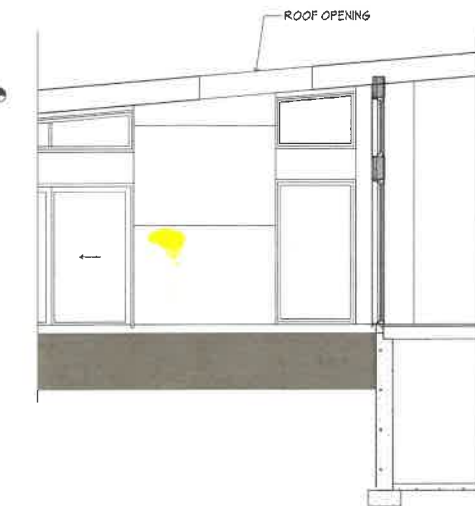
**NORTH-EAST ELEVATION**

NOTE: ROOF HEIGHTS DIMENSIONED FROM FINISHED FLOOR, APPROX. 8" ABOVE FINISHED GRADE

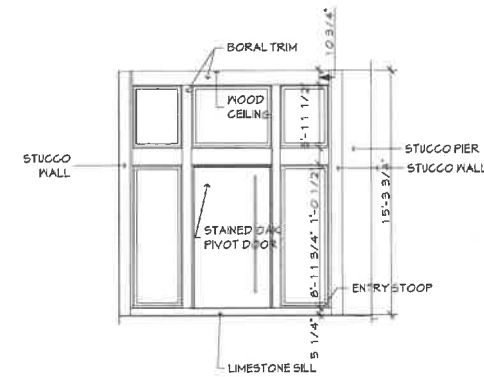


**SOUTH-EAST ELEVATION**

NOTE: ROOF HEIGHTS DIMENSIONED FROM FINISHED FLOOR, APPROX. 8" ABOVE FINISHED GRADE



**PARTIAL SOUTH-EAST ELEVATION**



**ENTRY**



CERTIFICATION		

REVISIONS		
SYM.	DESCRIPTION	DATE

THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

**NEW RESIDENCE FOR  
ALLEN & SUSAN MANDELL  
1411 S. ESTATE LANE  
LAKE FOREST, ILLINOIS**

**STUART D. SHAYMAN ASSOCIATES  
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stu@shaymanarchitects.com

SHEET TITLE	
NORTH-EAST & SOUTH-EAST ELEVATIONS	

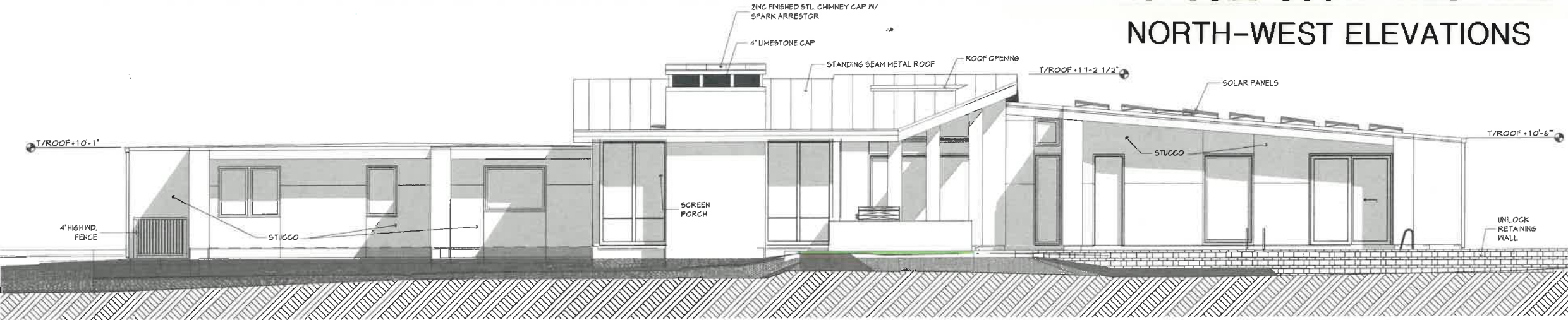
  

JOB NO.	SHEET NO.
	9

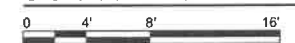
  

SCALE:	DATE:
AS NOTED	12.22.24

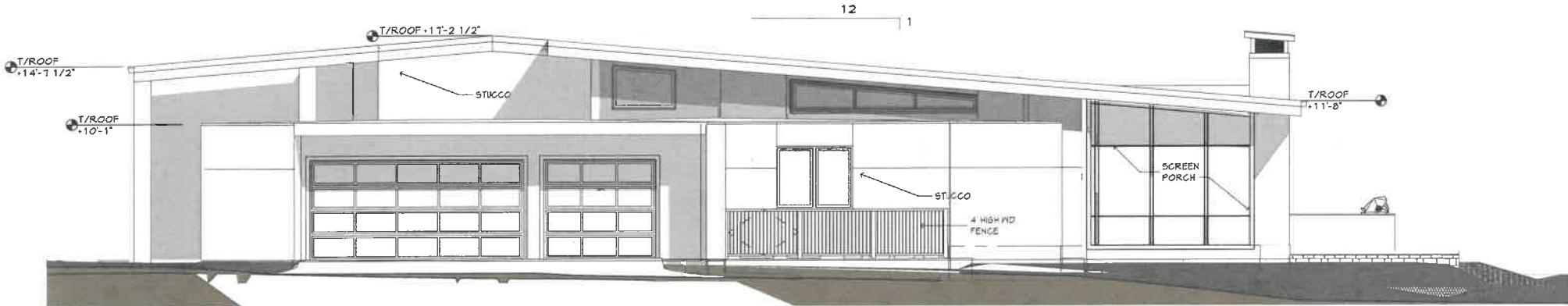
# PROPOSED SOUTH-WEST AND NORTH-WEST ELEVATIONS



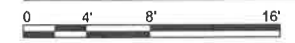
**SOUTH-WEST ELEVATION**



NOTE: ROOF HEIGHTS DIMENSIONED FROM FINISHED FLOOR, APPROX. 8" ABOVE FINISHED GRADE



**NORTH-WEST ELEVATION**



NOTE: ROOF HEIGHTS DIMENSIONED FROM FINISHED FLOOR, APPROX. 8" ABOVE FINISHED GRADE

CERTIFICATION		

REVISIONS		
SYMBOL	DESCRIPTION	DATE

THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

**NEW RESIDENCE FOR  
 ALLEN & SUSAN MANDELL  
 1411 S. ESTATE LANE  
 LAKE FOREST, ILLINOIS**

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 stu@shaymanarchitects.com

SHEET TITLE	
SOUTH-WEST & NORTH-WEST ELEVATIONS	
JOB NO.	SHEET NO.
SCALE: AS NOTED	10
DATE: 12.22.24	

RENDERINGS

EAST AND NORTH-EAST PERSPECTIVES

CERTIFICATION



OVERHEAD - FROM EAST



ENTRY - FROM NORTH-EAST

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REVISIONS		
SYM.	DESCRIPTION	DATE

THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

NEW RESIDENCE FOR  
 ALLEN & SUSAN MANDELL  
 1411 S. ESTATE LANE  
 LAKE FOREST, ILLINOIS

STUART D. SHAYMAN ASSOCIATES  
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SHEET TITLE  
 PROJECT  
 RENDERINGS - 1

JOB NO.	SHEET NO.
SCALE	12
AS NOTED	
DATE	
12.22.24	

RENDERINGS

WEST AND SOUTH-WEST PERSPECTIVES



WEST ELEVATION



SOUTH-WEST ELEVATION



REVISIONS		
SYM	DESCRIPTION	DATE

THIS DRAWING	DATE
FOR BUILDING REVIEW BOARD	12.27.24

NEW RESIDENCE FOR  
 ALLEN & SUSAN MANDELL  
 1411 S. ESTATE LANE  
 LAKE FOREST, ILLINOIS

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 stu@shaymanarchitects.com

SHEET TITLE	
PROJECT RENDERINGS - 2	
JOB NO.	SHEET NO.
SCALE AS NOTED	13
DATE 12.22.24	

**Agenda Item 6**  
**980 Mellody**  
**Consideration of partial demolition, alteration, a first and second floor**  
**addition, hardscape and landscape plans.**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner for the December 4<sup>th</sup> Meeting

Application  
Description of Materials  
Statement of Intent  
*Structural Evaluation*  
*Photos of Streetview*  
Site Plan  
Demolition Plans  
Elevations  
    Existing Elevations  
    Proposed Elevations  
    *Elevation Overlays*  
Renderings  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
*Landscape Plan*

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 980 Melody Road

### **Consideration of partial demolition, alterations, a first and second story addition and the associated hardscape and landscape plans.**

**Property Owner and Project Representative: Karl Svensson**

Staff Contact: Luis R. Prado, Assistant Planner

#### **Summary of Request**

This is a request for a recommendation in support of partial demolition, alterations, a first and second floor addition, and hardscape and landscape plans.

The Board reviewed and approved a different petition for this property in March of 2024 however, during the permit review phase the property was sold and the work was not completed. The petition now before is a new proposal from the new property owner.

#### **Description of Property**

The property is located at the northwest corner of Waukegan Road and Melody Road, fronting on Melody Road. The existing home is a single-story ranch house built in 1955. The house has remained unoccupied and uninhabitable since 2023 when interior walls were demolished during unpermitted work by the previous owner. A structural report submitted by the petitioner documents that repair and remediation is necessary to address cracks and bowing in the foundation before work on additions or alterations can begin. Cracks in the exterior brick walls are visible throughout. Overall, the house appears to be in deteriorating condition and would likely meet the criteria for complete demolition. A replacement residence may result in a better overall end product.

#### **Proposed Partial Demolition**

The petitioner provided a review of the demolition criteria which is included in the Board's packet. The applicable criteria are reviewed by staff below. Demolition of more than 50% of a home is considered a complete demolition. Based on the demolition plans submitted, detailed calculations will be required to demolition that in total, less than 50% of the residence including the exterior and interior walls, roof, and building systems is proposed for demolition.

***Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.***

This criterion is met. The home was built in 1955. There is no known architect of record. Overall, the structure does not have a special aesthetic, architectural, cultural or historical significance to the community.

**Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.**

This criterion is met. Significant interior demolition was done by the previous property owner without benefit of a permit. The foundation and exterior walls of the home show deterioration and some failure.

**Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.**

This criterion is met. The residence in the current condition is not habitable.

**Criteria 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.**

This criterion is met. The residence has been unoccupied and in a state of disrepair for some time. There is no evidence indicate that demolishing the residence will adversely impact values of properties in the neighborhood. Addressing the derelict condition of the property will address concerns raised by nearby residents.

**Criteria 5 – The demolition and/or replacement structure will be compatible with and not adversely impact the neighborhood character.**

This criterion and be met. Review by the Building Review Board is intended to assure that any alterations, additions, or a replacement residence is compatible with the character of the surrounding neighborhood.

Staff finds that the criteria for partial or complete demolition are satisfied.

**Staff Review of Standards – Evaluation, Comments, and Recommendations**

*Standards in General*

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

*Site Plan – This standard is met.*

Modest expansion of the footprint of the residence is proposed. The new front entrance projects forward 5.5-6.8 feet from the front façade toward the street. The rear addition extends 6 feet in width and 4 feet in length to convert the existing sunroom into a family room.

A new concrete front walk from the existing driveway to the front new entrance is proposed.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 4,722 square feet is permitted on the site with an allowance of 600 square feet for a garage and 472 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 2,444 square feet.
- The proposed additions total 1,889 square feet.
- 393 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 4,333 square feet, 389 square feet or 8 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 29 feet and is below the allowable height of 35 feet for the property.

*Elevations – This standard is generally met.*

According to the petitioner's statement of intent, the proposed architectural style is "transitional modern". The petitioner's intent is to work with the existing mid-century ranch style home, retaining existing architectural elements such as asymmetry and the stone front façade, while adding a modern appearance.

A second floor is proposed over the central mass of the house. The roofs over the east and west wings of the house are proposed to be raised for additional interior overhead space. Raising these roofs is intended to improve the relationship between the new second floor element and the low profile elements of the ranch style home. Study and refine the relationship of the side elements of the home wings to the height of the central mass with respect to their proportions and symmetry.

On the south (front) elevation, a two-story gabled front entrance is proposed. Gabled dormers are proposed over the master bathroom window and the garage. To simplify the massing and roof forms, consideration could be given to lowering the gabled front entrance to one-story or adding some articulation to provide a human scale to the element. Eliminating the gabled dormers over the bathroom window on the west side of the home and garage or lowering the gables to align with the eave should also be considered.

On the east elevation, consideration should be given to consistency in window size and shape, and placement. The second-floor study room window is blocked by the proposed gabled dormer facing south. Removing the dormer would make the window fully functional. It would also help to balance the symmetry of the elevation. In addition, adding two windows to the mudroom, symmetrical to the windows on the garage, could further improve the balance of the elevation and the relationship of solid walls to windows.

On the north (rear) elevation, although the windows and cantilevered second floor element are designed to accommodate the interior, refinements could improve the organization and simplicity of massing. Studying and refining the alignment of the windows and consistency in size and style could be beneficial to the elevation. Eliminating the second-floor cantilevered gable element, while it may require some adjustment to the floor plans, would simplify the massing and roof form.

On the west elevation, the balance of solid walls and windows could benefit from further study and refinement. Studying the potential placement of windows in the family room, closet, bedroom and bathroom could improve this elevation.

**Recommendation:** Refine the relationship of the massing of the wings of the house to the central mass with respect to the proportions and symmetry.

**Recommendation:** Consider lowering the two-story gabled front entrance and eliminating or lowering the gabled dormers on either side to simplify the massing and roof forms.

**Recommendation:** Consider removing the dormer blocking the second story study room window to make the window fully functional.

**Recommendation:** Consider the addition of two windows to the mudroom, symmetrical to the windows on the garage.

**Recommendation:** Refine the size, placement and arraignment of windows on the north elevation (rear) elevation.

**Recommendation:** Consider eliminating the second-floor cantilevered gable element on the rear.

**Recommendation:** Refine the relationship of the solid wall to the windows to achieve more balance on the west elevation.

*Type, color, and texture of materials – This standard is mostly met.*

The siding will be an off-white true cement stucco. The color of the stucco is proposed to be similar to a cream or dove white. Samples will be provided at the meeting. The stucco will be placed directly over the existing brick. The existing stone on the front façade will be maintained. The stone material is only present on the front façade. Consideration could be given to lowering the height of stone to the height of the sill of the office and bathroom windows as previously recommended by the Board for the earlier petition for this property. Consideration could also be

given to extending the stone onto the other elevations for a better consistency between the four elevations.

The windows will be black aluminum clad casement windows with no muntins. Wood and limestone trim are proposed for the doors and windows. Aluminum is also proposed as a soffit material. Asphalt shingles are proposed. Metal roofing is proposed at the front entrance and on the family room. The gutters will be aluminum and the chimney will be stucco. The existing tiles on the rear patio will remain.

**Recommendation:** Lower the stone to the height of the sill of the office and bathroom windows.

**Recommendation:** Consider extending the stone onto the other elevations for consistency between the four elevations.

*Landscaping – This standard is met.*

The lot is wooded with thick vegetative screening, including buckthorn, along the west property line bordering Waukegan Road. Four trees are proposed for removal to improve the integrity of the foundation of the structure. Prior extensive unauthorized tree removal was done under the prior ownership. New plantings are proposed around the foundation of the home. A detailed landscape plan will be required at the time of submittal for permit.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting.

### **Recommendation**

Recommend approval of partial demolition, alterations, a first and second story addition and the associated hardscape and landscape plans subject to the following conditions.

1. Submit an updated structural evaluation from an independent structural engineer providing an assessment of the structural condition of the residence after repairs and reinforcement are completed on the existing foundation and exterior walls. This evaluation shall be submitted before plans for the additions and alterations are submitted and will be subject to staff review and approval.

2. Plans submitted for permit shall clearly document the extent of all proposed demolition activity. If the extent of demolition constitutes more than 50% of the home in total, the project will be considered a completed demolition for purposes of calculating the fees.
3. Conduct further study and refinement of the elevations and materials.
  - a. Refine the relationship of the massing of the wings of the house to the central mass with respect to the proportions and symmetry
  - b. Consider lowering the two-story gabled front entrance and eliminating or lowering the gabled dormers on either side of the entrance to simplify the massing and roof forms.
  - c. Consider removing the dormer blocking the second story study room window to make the window fully functional.
  - d. Consider the addition of two windows to the mudroom, symmetrical to the windows on the garage.
  - e. Refine the size, placement and arraignment of windows on the north elevation (rear) elevation.
  - f. Consider eliminating the second-floor cantilevered gable element on the rear.
  - g. Refine the relationship of the solid wall to the windows on the west elevation to achieve a more balanced appearance.
  - h. Lower the stone to the height of the sill of the office and bathroom windows.
  - i. Consider extending the stone onto the other elevations for a better consistency between the four elevations
4. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

5. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- i. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- ii. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- iii. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

*Drainage and Grading*

6. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

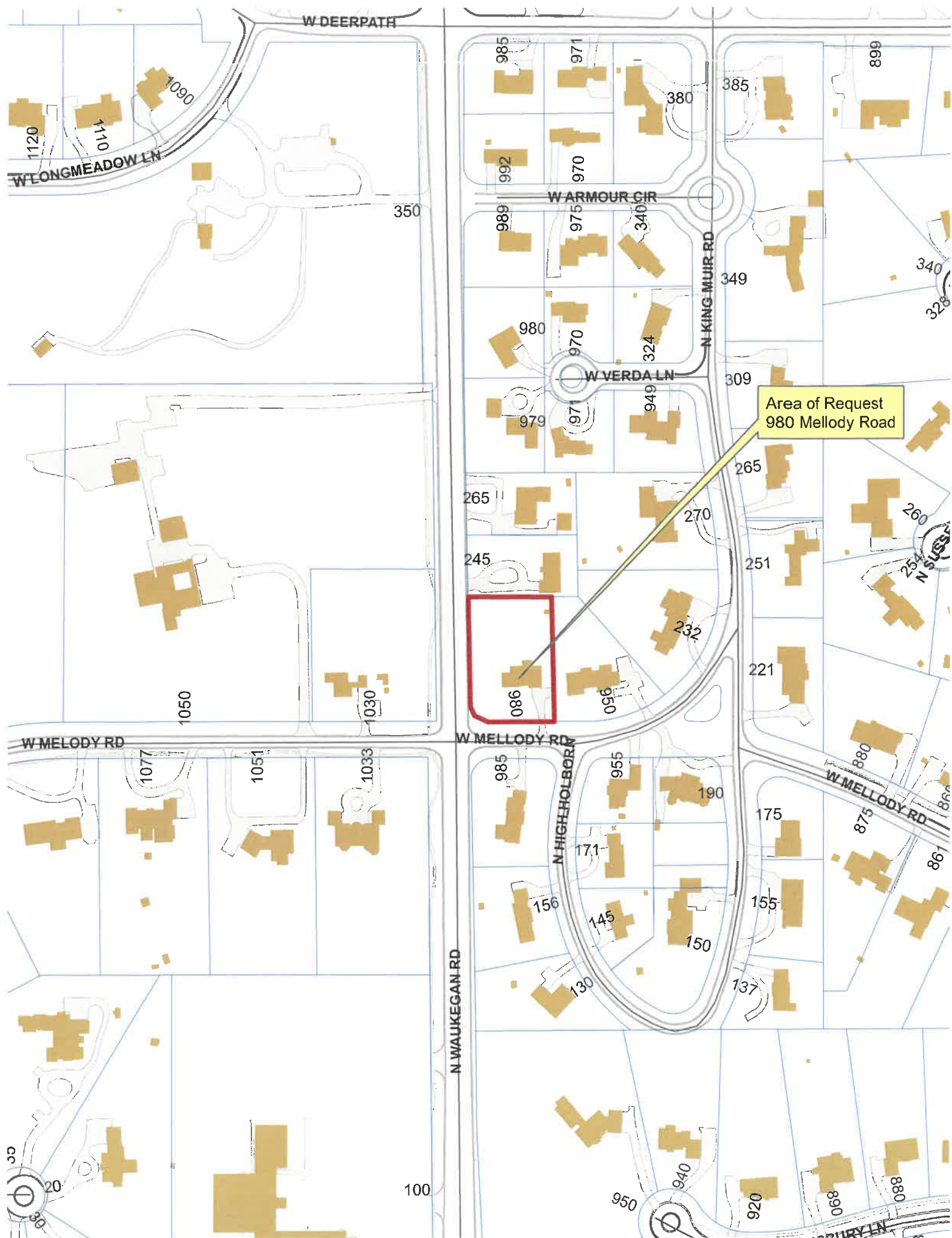
*Exterior Lighting*

7. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

8. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No construction access, parking, or staging is

permitted on Waukegan Road. Melody Road must remain fully passable, unobstructed and free of dirt and debris at all times.



Area of Request  
980 Mellody Road

W DEERPETH

W LONGMEADOW LN

W ARMOUR CIR

W VERDA LN

W MELODY RD

W MELODY RD

N WAUKEGAN RD

N HIGHHOLBORN

N KING MUIR RD

W MELODY RD





**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

**PROJECT ADDRESS** 980 Mellody Rd

**APPLICATION TYPE**

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**PROPERTY OWNER INFORMATION**

Karzatron Holdings LLC

*Owner of Property*

1565 W Everett Rd

*Owner's Street Address (may be different from project address)*

Lake Forest, IL, 60045

*City, State and Zip Code*

651-485-7622

*Phone Number*

*Fax Number*

karzatron@gmail.com

*Email Address*

*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

Andy Kacprzynski

*Name and Title of Person Presenting Project*

Pro-Plan Architects PC

*Name of Firm*

705 Devon Ave

*Street Address*

Park Ridge IL 60068

*City, State and Zip Code*

773-733-2675

*Phone Number*

*Fax Number*

andy@proplanarchitects.com

*Email Address*

*Representative's Signature (Architect/ Builder)*

**The staff report is available the Friday before the meeting, after 3:00pm.**

*Please email a copy of the staff report*

OWNER

REPRESENTATIVE

*Please fax a copy of the staff report*

OWNER

REPRESENTATIVE

*I will pick up a copy of the staff report at the Community Development Department*

OWNER

REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS***  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding  |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding     |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco     | <input type="checkbox"/> Other _____      |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_

Color of Material Off white stucco, light grey-toned stone

**Window Treatment**

**Primary Window Type**

- Double Hung
- Casement
- Sliding
- Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other \_\_\_\_\_

Color of Finish black

**Window Muntins**

- Not Provided
- True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Window Trim**

- Limestone
- Brick
- Wood
- Other \_\_\_\_\_

**Fascias, Soffits, Rakeboards**

- Wood
- Other Aluminum Soffit

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

---

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

---

- Brick
- Stone
- Stucco
- Other Concrete

**Roofing**

---

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other Asphalt Shingles (architectural)

**Flashing Material**

- Copper
- Sheet Metal
- Other Aluminum

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

---

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

---

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

---

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other slate tiles

Building Review Board  
City of Lake Forest  
Community Development Department  
800 Field Drive  
Lake Forest, IL, 60045

**RE: Statement of Intent  
980 W Mellody Road, Lake Forest**

Dear Commissioners,

We respectfully submit the attached Building Review Board application and supporting documentation for a second floor addition and accompanying renovation of the existing single family home located at the address referenced above. Key aspects of the project are outlined below:

**1. Design Approach & Style:**

The selected style for the renovation is transitional modern. The proposed project retains the home's defining midcentury modern features, including the asymmetrical massing and the dimensional stone façade, while adding a complementary off-white stucco, more aesthetically appealing gabled roofline with wall dormers, and an architecturally interesting entryway tower. The result will be a timeless design that updates the original midcentury modern aesthetic, retaining its unique character while introducing modern elements for a fresh and contemporary look.

**2. Preservation of Existing Landscape:**

Recognizing the importance of the natural surroundings, the project retains the densely wooded areas on the north and west sides of the property. Minimizing changes to the home's existing footprint limits potential disturbance of the mature landscape. This approach not only respects the site's natural beauty but also supports the privacy and aesthetic continuity valued by the neighborhood.

**3. Neighborhood Context:**

The proposed updates have been carefully planned to ensure the home remains compatible with the surrounding area. The transitional style enhances the property's appeal without overshadowing or clashing with neighboring homes, supporting a cohesive and visually appealing streetscape.

**4. Materials - Type, Color and Texture**

Proposed materials:

- Existing natural stone veneer - light gray with general monochromatic mix.
- Traditional stucco – off-white
- Asphalt shingles- architectural grade, dark gray (charcoal)
- Aluminum roofing on entryway and rear low slope roof - standing seam, black



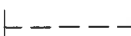

- Gutters and downspouts - aluminum, black
- Fascias and soffits - wood and aluminum, off-white (matching stucco)
- Windows - aluminum clad, black (with no muntins)

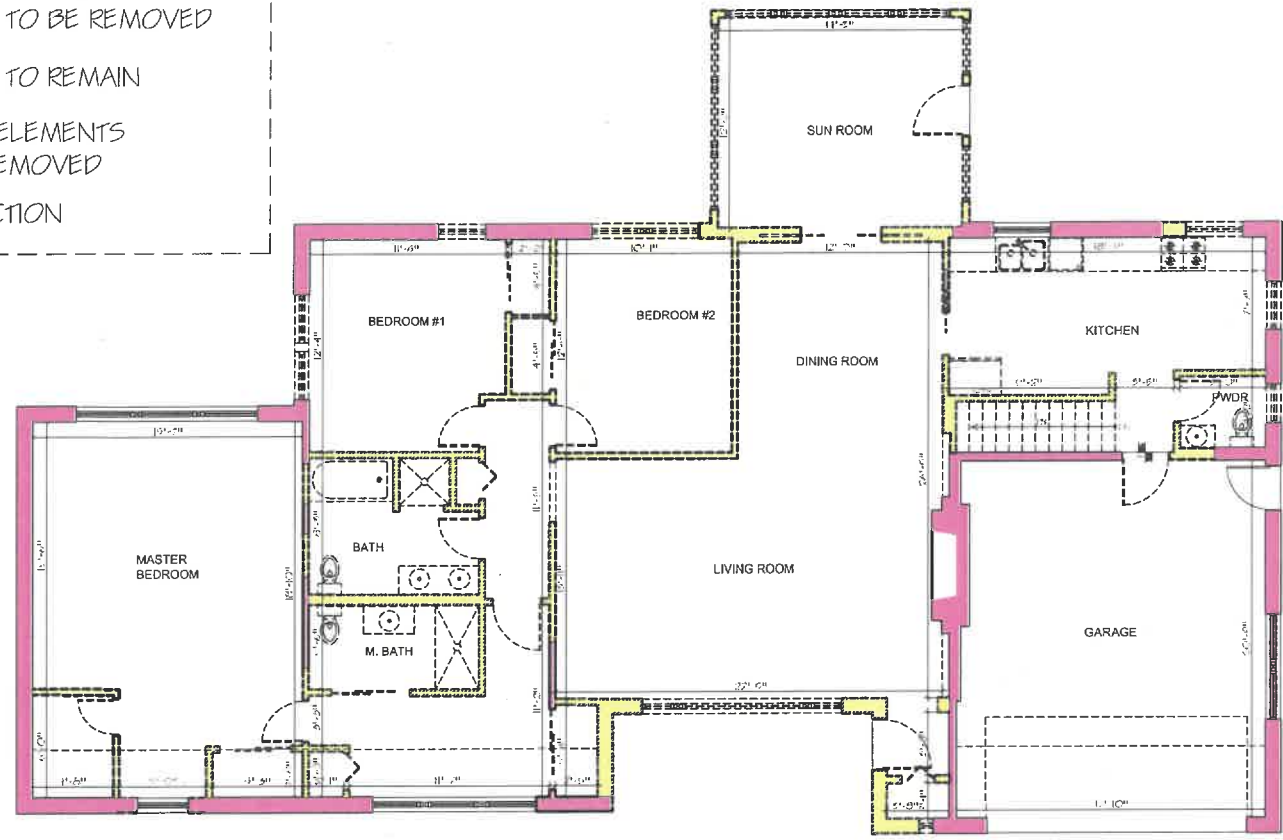
The proposed materials and colors are generally compatible with the style and character of the other residences of the neighborhood yet differentiated enough to prevent monotony.



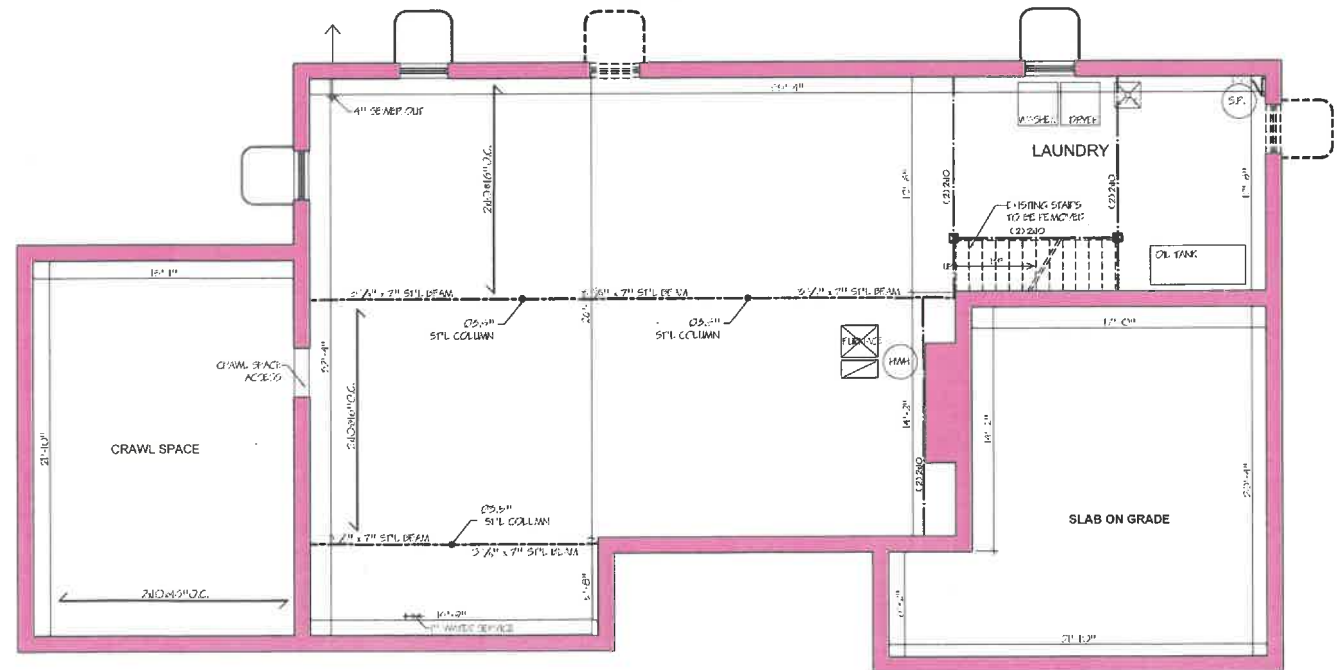
# EXISTING FLOOR PLANS & DEMOLITION PLAN

**LEGEND:**  
 APPLIES ONLY TO EXISTING FLOOR PLANS

-  EXIST'G WALLS TO BE REMOVED
-  EXIST'G WALLS TO REMAIN
-  EXIST'G OTHER ELEMENTS THAT WILL BE REMOVED
-  NEW CONSTRUCTION



**1st FLOOR PLAN- proposed** 2  
 SCALE: 3/32" = 1'-0"  
A15



**BSMNT. & FNDN. PLAN- existing** 1  
 SCALE: 3/32" = 1'-0"  
A15

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS

**PRO-PLAN ARCHITECTS, PC**  
 andy kacprzynski  
 705 devon ave park ridge, il 60068  
 tel 773 733 2675  
 ANDY@PROPLANARCHITECTS.COM

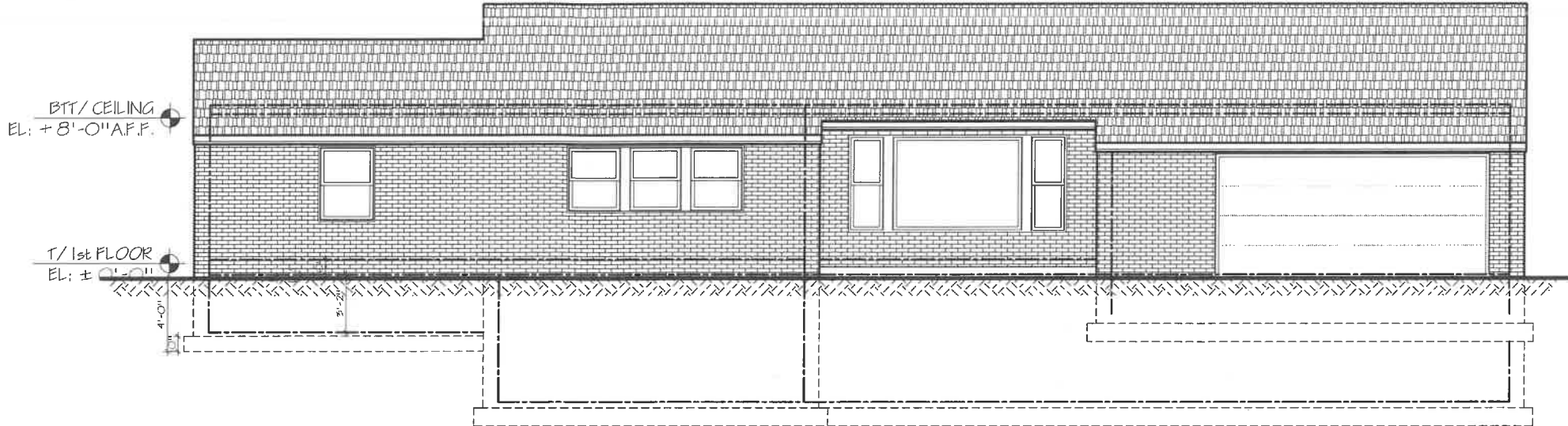
JOB NO	24090
DRAWN BY:	ANDY KACPRZYNSKI

DRAWING LIST  
 EXISTING FLOOR PLANS  
 DEMOLITION PLAN  
 2nd FLOOR ADDITION & INTERIOR REMODELING  
 980 MELLODY RD LAKE FOREST, IL

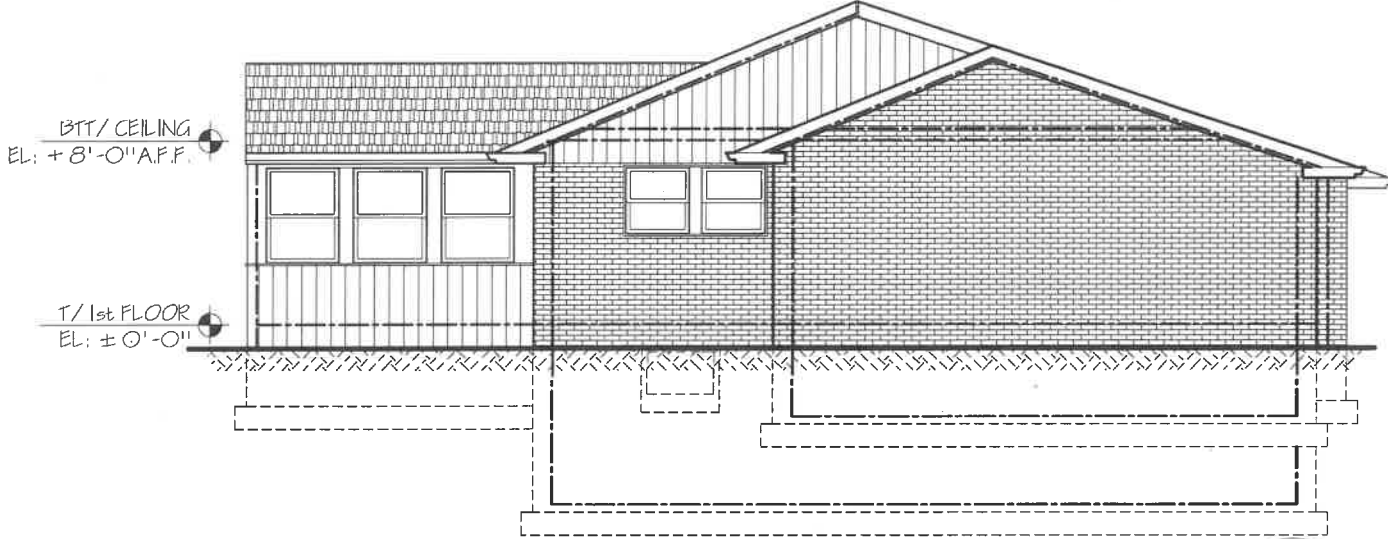
SHEET NO  
A15



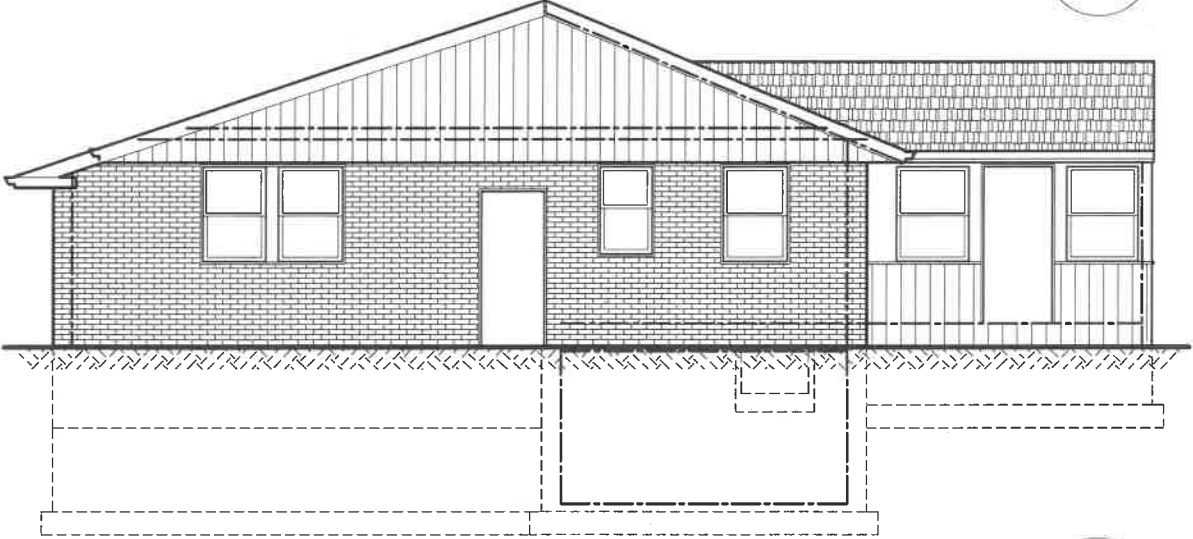
# EXISTING ELEVATIONS



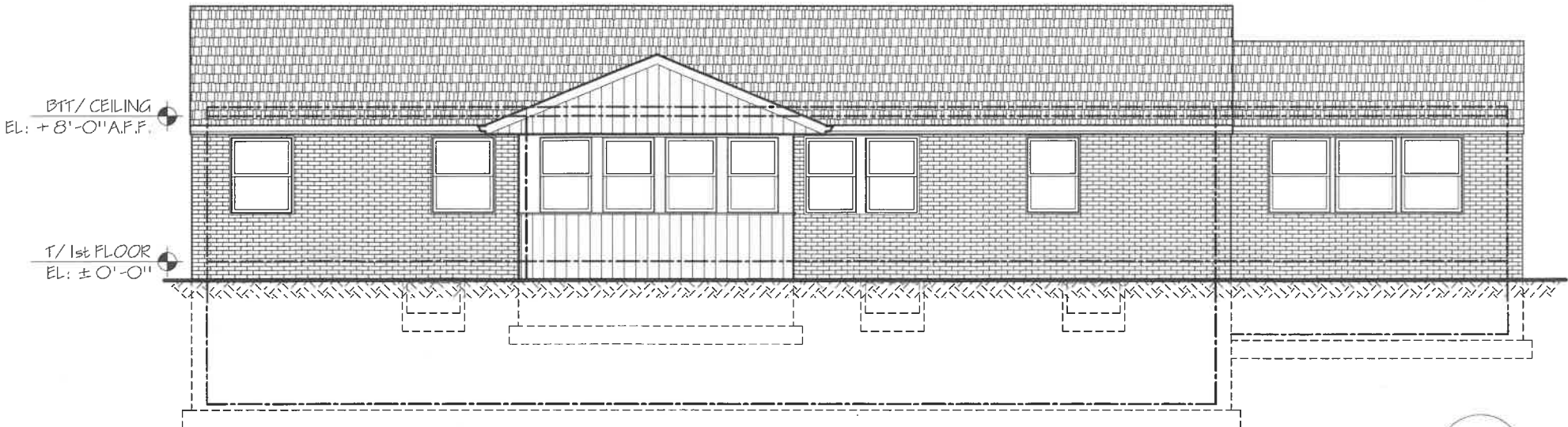
**SOUTH ELEVATION - existing** 1  
SCALE: 1/8" = 1'-0" A3



**WEST ELEVATION - existing** 3  
SCALE: 1/8" = 1'-0" A3




**EAST ELEVATION - existing** 2  
SCALE: 1/8" = 1'-0" A3



**NORTH ELEVATION - existing** 4  
SCALE: 1/8" = 1'-0" A3

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS


**PRO-PLAN ARCHITECTS, PC**  
 architect  
 andy kacprzyński  
 705 devon ave park ridge il 60068  
 tel 773 733 2675  
 ANDY@PROPLANARCHITECTS.COM

JOB NO	24090
DRAWN BY	ANDY KACPRZYNSKI

DRAWING LIST  
EXISTING ELEVATIONS

2nd FLOOR ADDITION & INTERIOR REMODELING  
980 MELLODY RD LAKE FOREST, IL

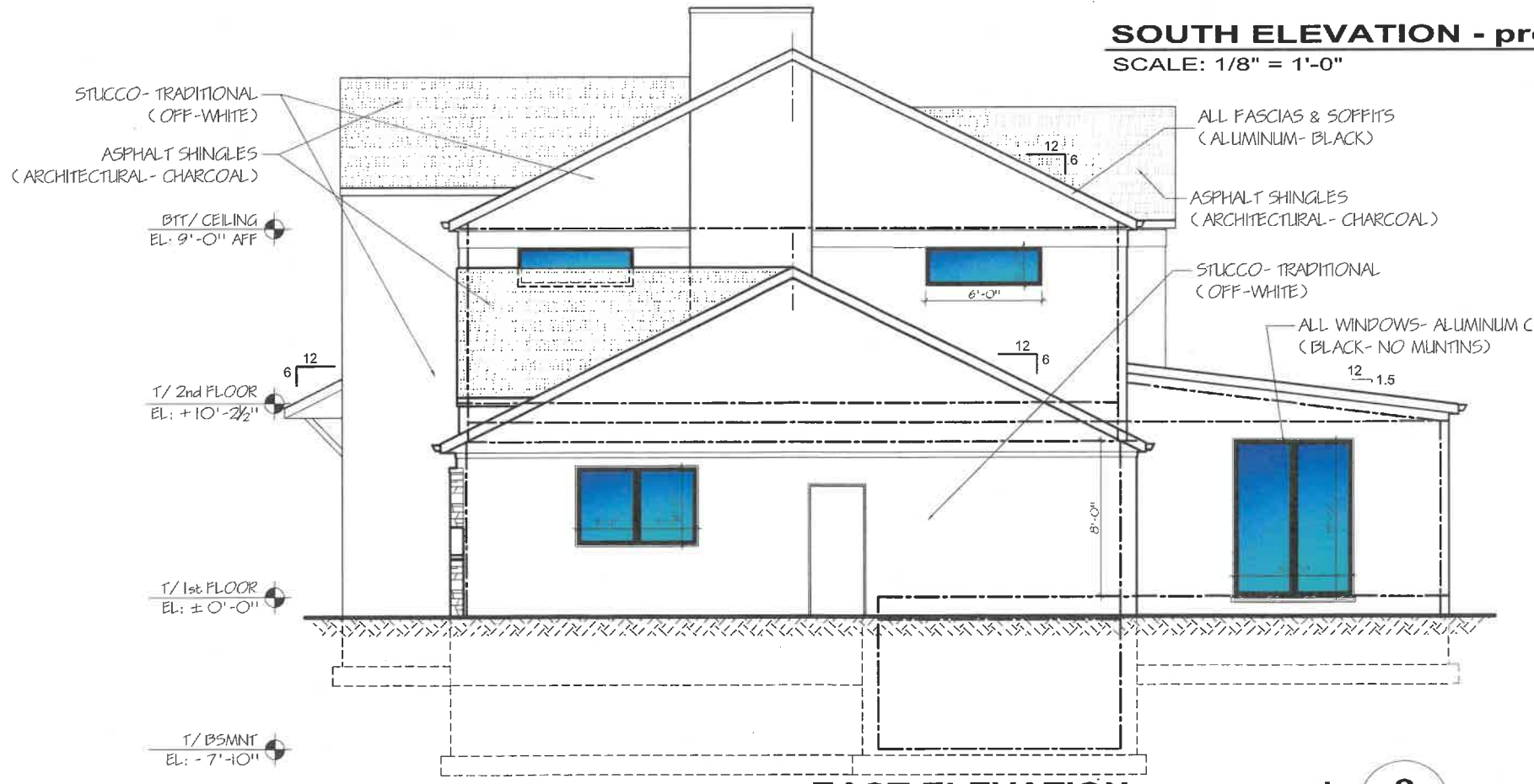
SHEET NO  
**A3**



# PROPOSED SOUTH & EAST ELEVATIONS



**SOUTH ELEVATION - proposed** 1  
A4  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - proposed** 2  
A4  
SCALE: 1/8" = 1'-0"

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS

**PRO-PLAN ARCHITECTS, PC**  
 a n d y k a c p r z y n s k i  
 a r c h i t e c t  
 705 devon ave park ridge il 60068  
 tel 773 733 2675  
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090  
 DRAWN BY: ANDY KACPRZYNSKI

DRAWING LIST  
 PROPOSED SOUTH ELEVATION  
 PROPOSED EAST ELEVATION

2nd FLOOR ADDITION & INTERIOR REMODELING  
 980 MELLODY RD LAKE FOREST, IL

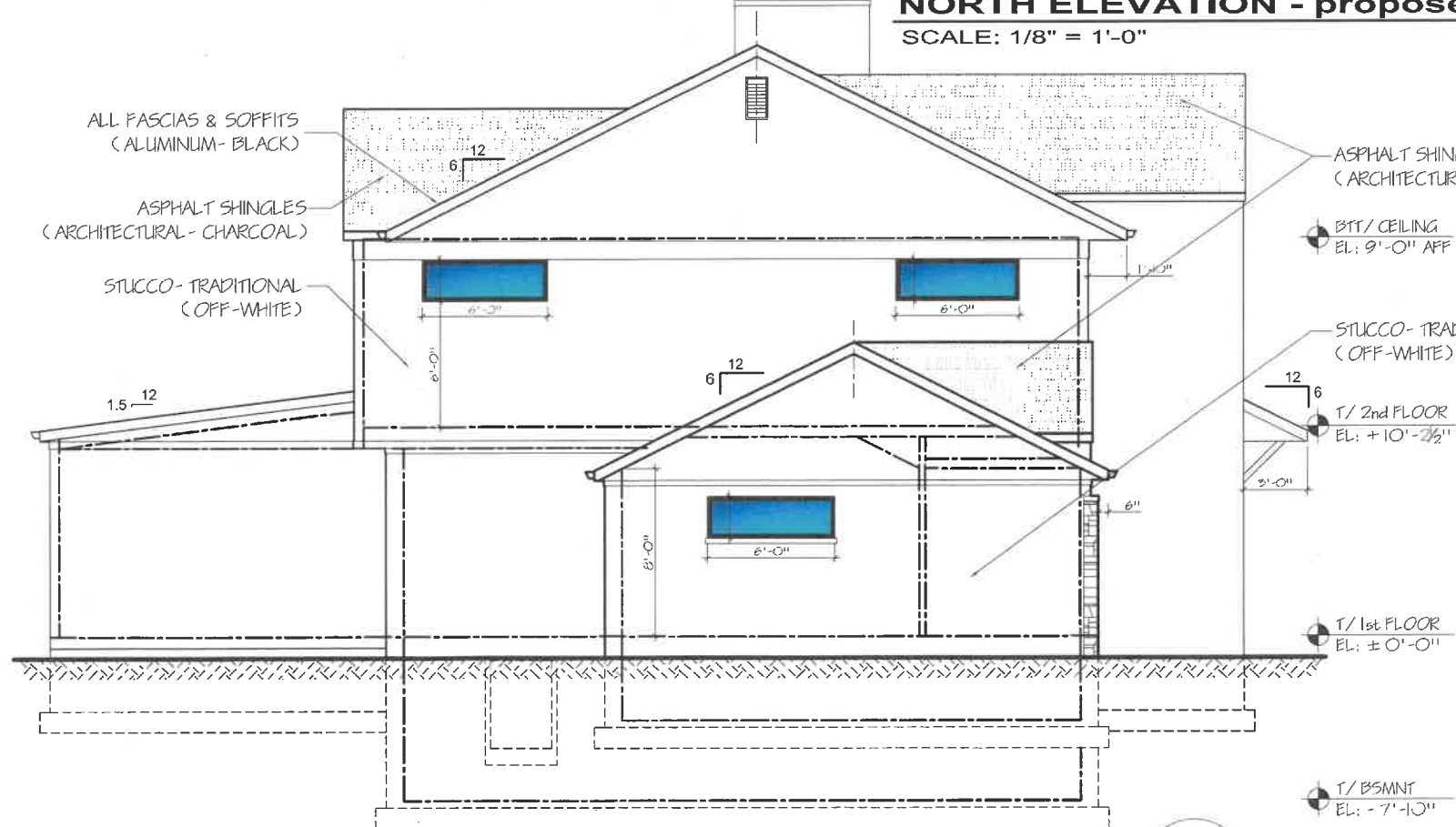
SHEET NO  
A4



# PROPOSED NORTH & WEST ELEVATIONS



**NORTH ELEVATION - proposed**  
SCALE: 1/8" = 1'-0"  
**1 A5**



**WEST ELEVATION - proposed**  
SCALE: 1/8" = 1'-0"  
**2 A5**

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS

**PRO-PLAN ARCHITECTS, PC**  
and y k a c p r z y n s k i  
705 devon ave park ridge ill 60068  
tel 773 733 2675  
ANDY@PROPLANARCHITECTS.COM

JOB NO	24090
DRAWN BY	ANDY KACPRZYNSKI

DRAWING LIST  
PROPOSED NORTH ELEVATION  
PROPOSED WEST ELEVATION

**2nd FLOOR ADDITION & INTERIOR REMODELING**  
**980 MELLODY RD LAKE FOREST, IL**

SHEET NO  
**A5**

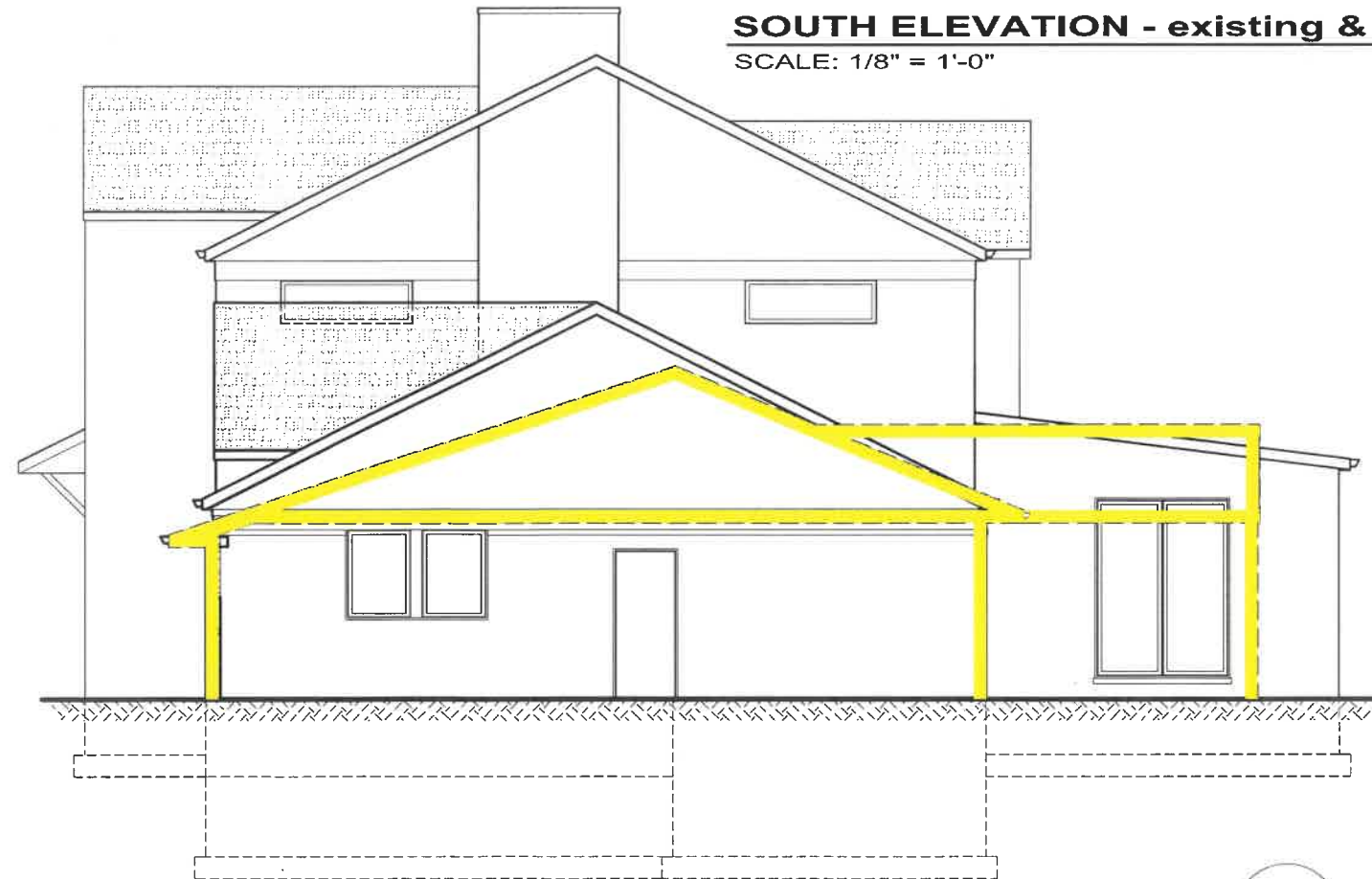


# EXISTING & PROPOSED SOUTH & EAST ELEVATIONS OVERLAYS



**SOUTH ELEVATION - existing & proposed**  
SCALE: 1/8" = 1'-0"

1  
A6



**EAST ELEVATION - existing & proposed**  
SCALE: 1/8" = 1'-0"

2  
A6

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS


**PRO-PLAN ARCHITECTS, PC**  
 architects  
 andy kacprzynski  
 705 devon ave park ridge il 60068  
 tel 773 733 2675  
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090  
 DRAWN BY:  
 ANDY KACPRZYNSKI

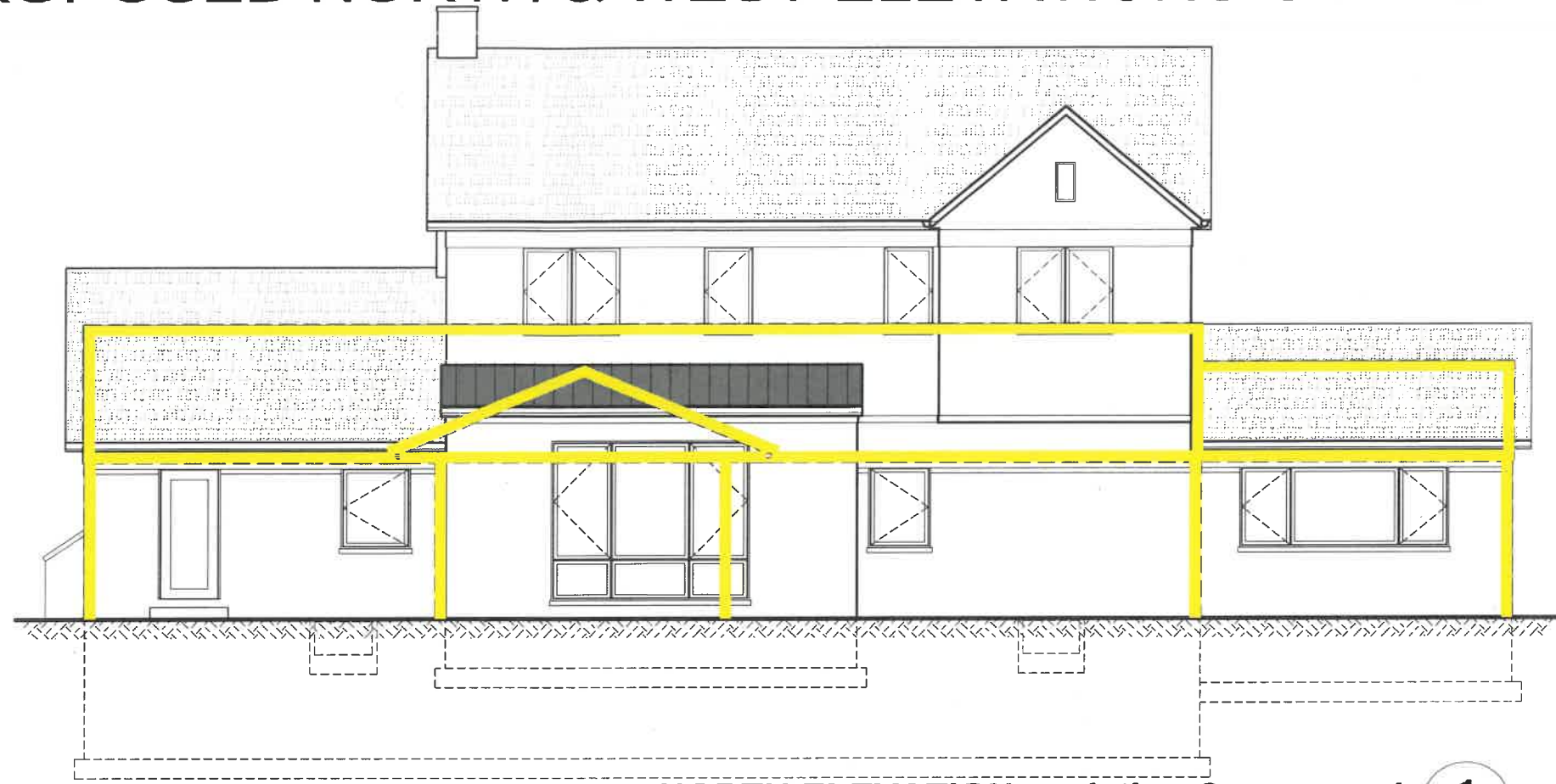
DRAWING LIST  
 EXISTING & PROPOSED  
 SOUTH & EAST ELEVATIONS

2nd FLOOR ADDITION & INTERIOR REMODELING  
 980 MELLODY RD LAKE FOREST, IL

SHEET NO  
**A6**

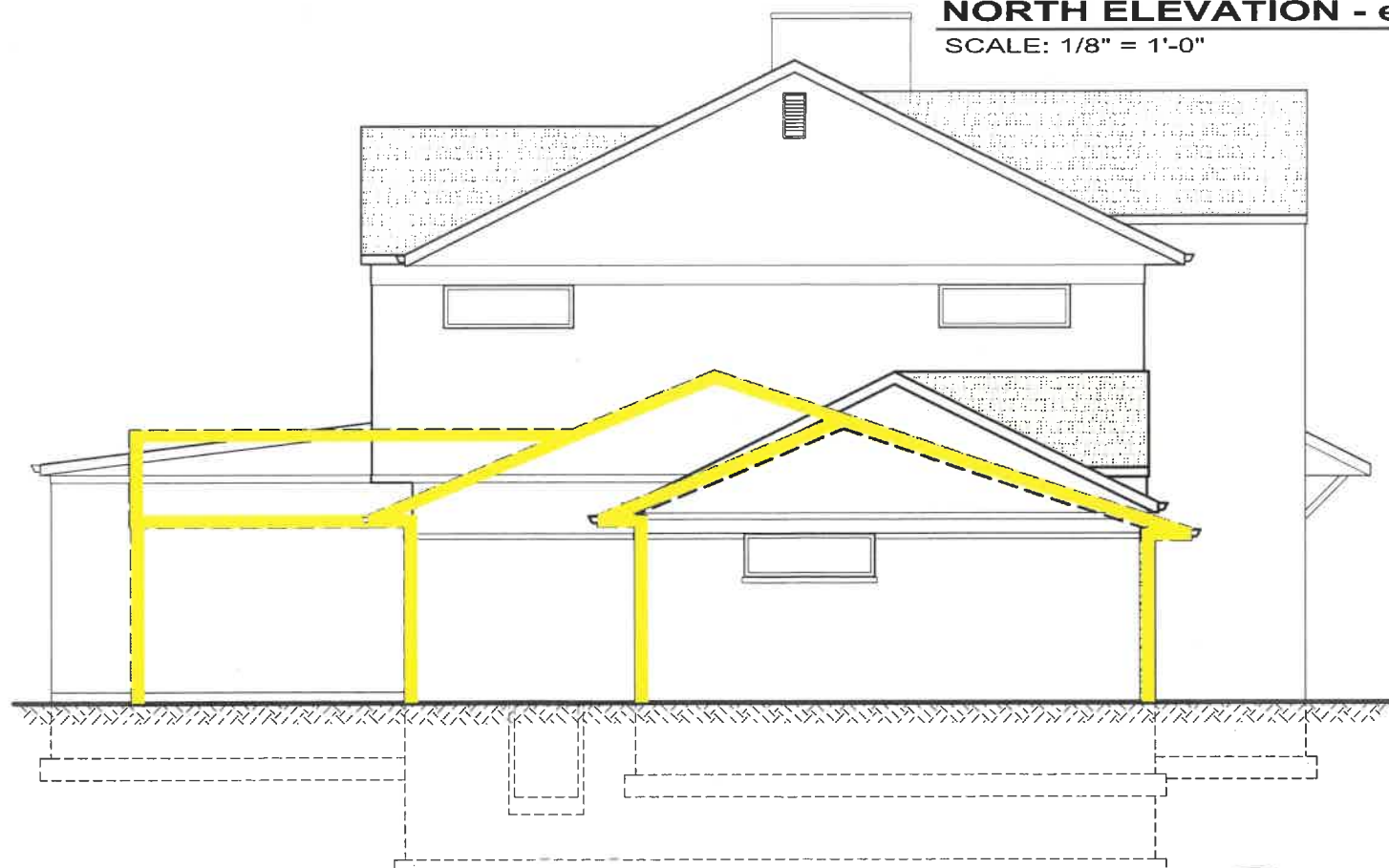


# EXISTING & PROPOSED NORTH & WEST ELEVATIONS OVERLAYS



**NORTH ELEVATION - existing & proposed**  
SCALE: 1/8" = 1'-0"

**1**  
**A7**



**WEST ELEVATION - existing & proposed**  
SCALE: 1/8" = 1'-0"

**2**  
**A7**

ISSUE DATES	
DATE	DESCRIPTION
12.20.2024	PRELIMINARY PLANS


**PRO-PLAN ARCHITECTS, PC**  
 a r c h i t e c t  
 a n d y k a c p r z y n s k i  
 705 devon ave park ridge il 60068  
 tel 773 733 2675  
 ANDY@PROPLANARCHITECTS.COM

JOB NO 24090  
 DRAWN BY:  
 ANDY KACPRZYNSKI

DRAWING LIST  
 EXISTING & PROPOSED  
 NORTH & WEST ELEVATIONS

2nd FLOOR ADDITION & INTERIOR REMODELING  
**980 MELLODY RD LAKE FOREST, IL**

SHEET NO  
**A7**



RENDERING – SOUTH ELEVATION



RENDERING – NORTH ELEVATION

