

Agenda Item 3
58 Marion Road
Building Scale Variance for a Pergola

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan – Existing
Site Plan – Proposed
Elevations
Roof Plan
Photos of Existing Conditions

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

58 Marion Avenue

Consideration of a request for a building scale variance for a pergola.

Property Owner: Michael Brokaw
Presented by: Michael Carney, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a building scale variance for a pergola.

Description of Property

This property is located on the north side of Marion Avenue, between Route 41 to the west and Buena Road to the east. It is in the HO Stone Subdivision, which was approved in 1924. The home was built in 1969 and conformed to the building square footage regulations in place at the time.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The pergola is proposed in the rear patio against the northeast corner of the home. It conforms to the applicable zoning setbacks. It will be screened from the street by the home and from the adjacent neighbors by existing trees to the east and a fence which runs along the east, west, and north property lines in the rear yard.

Building Massing and Height – A variance is requested.

Based on the lot size, a residence of up to 3,085 square feet is permitted on the site with an allowance of 576 square feet for a garage and 308 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The existing residence totals 3,249 square feet. That is 5 percent over the maximum allowable square footage and includes excess square footage from the garage and from design elements as noted below.
- The existing garage totals 446 square feet.
- The design elements total 172 square feet.

- The proposed pergola is 245 square feet. A portion of the pergola square footage, 136 feet, can be calculated as a design element. The remaining 109 square feet must be added to the square footage of the residence.
- The pergola is 12 feet in height, well below the height limitation for accessory structures.

In conclusion, the residence with the proposed pergola addition totals 3,358 square feet. That is 273 square feet or 9 percent over the maximum allowable square footage for this property. A variance is requested.

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met.* The Code does not require that all five standards be met. These standards recognize that each project is different and must be considered in the unique context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The materials and design are consistent with the standards of the City of Lake Forest.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. Existing trees to the east of the proposed pergola will help soften and screen the structure, mitigating the visual impact on the adjacent neighbor's rear yard.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. The proposed pergola, placed in the rear yard behind the house, is sited so that it does not increase the appearance of the mass of the residence from the streetscape. There is no lighting in the pergola based on the plans submitted.

Standard 4 – The height and mass of the structure(s) will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. Design elements such as pergolas can be found in this neighborhood. The pergola is open on the sides with a standing seam metal roof. Openness minimizes the appearance of the mass of the structure.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not met. The property is not adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond.

In summary, the criteria for a building scale variance are satisfied. The first four standards are met. The fifth and sixth standards are not met.

Elevations – This standard is met.

The pergola is simple in design and appears appropriate in scale in relation to the home and rear patio.

Type, color, and texture of materials – This standard is met.

The pergola will be constructed with cedar posts and trim and a standing seam roof.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches.

Landscaping - This standard is met.

No trees are proposed for removal. Existing trees to the east of the pergola shall remain to screen the structure.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a building scale variance to allow the construction of an open pergola based on the findings presented in this staff report subject to the following conditions of approval.

1. Standing seam roof panels shall be no wider than 12 inches.
2. All modifications to the plans made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Tree Protection Plan – Prior to the issuance of a building permit, a plan to protect all trees that may be impacted during construction must be submitted and will be subject to review and approval by the City. The existing trees to the east should be protected to remain.
3. A plan for contractor parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 58 Marion Owner(s) Michael Brokaw
 Architect Micheal Carney Reviewed by: L. Prado
 Date 12/3/2025
 Lot Area 12750 sq. ft. Allowable Square Feet = 3085

Square Footage of Residence -- Existing

1st floor 1917 + 2nd floor 1283 3rd floor 0 = 3200 sq. ft.

Design Element Allowance = 308 sq. ft.

Total Actual Design Elements = 172 sq. ft. Excess = 0 sq.ft.

Garage 446 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Garage Width 20 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 49 sq. ft.

Total Square Footage of Existing Residence = 3249 sq. ft.

DIFFERENTIAL (Existing) = 115 sq. ft. 5% over Max. allowed
over Maximum

Square Footage of Proposed Addition:

Pergola 245 = 109 sq. ft.
 Minus Remaining Design Element of 208 sf

TOTAL SQUARE FOOTAGE = 3358 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3085 sq. ft.

DIFFERENTIAL = 273 sq. ft. **NET RESULT:**
Over Maximum

273 sq. ft. is

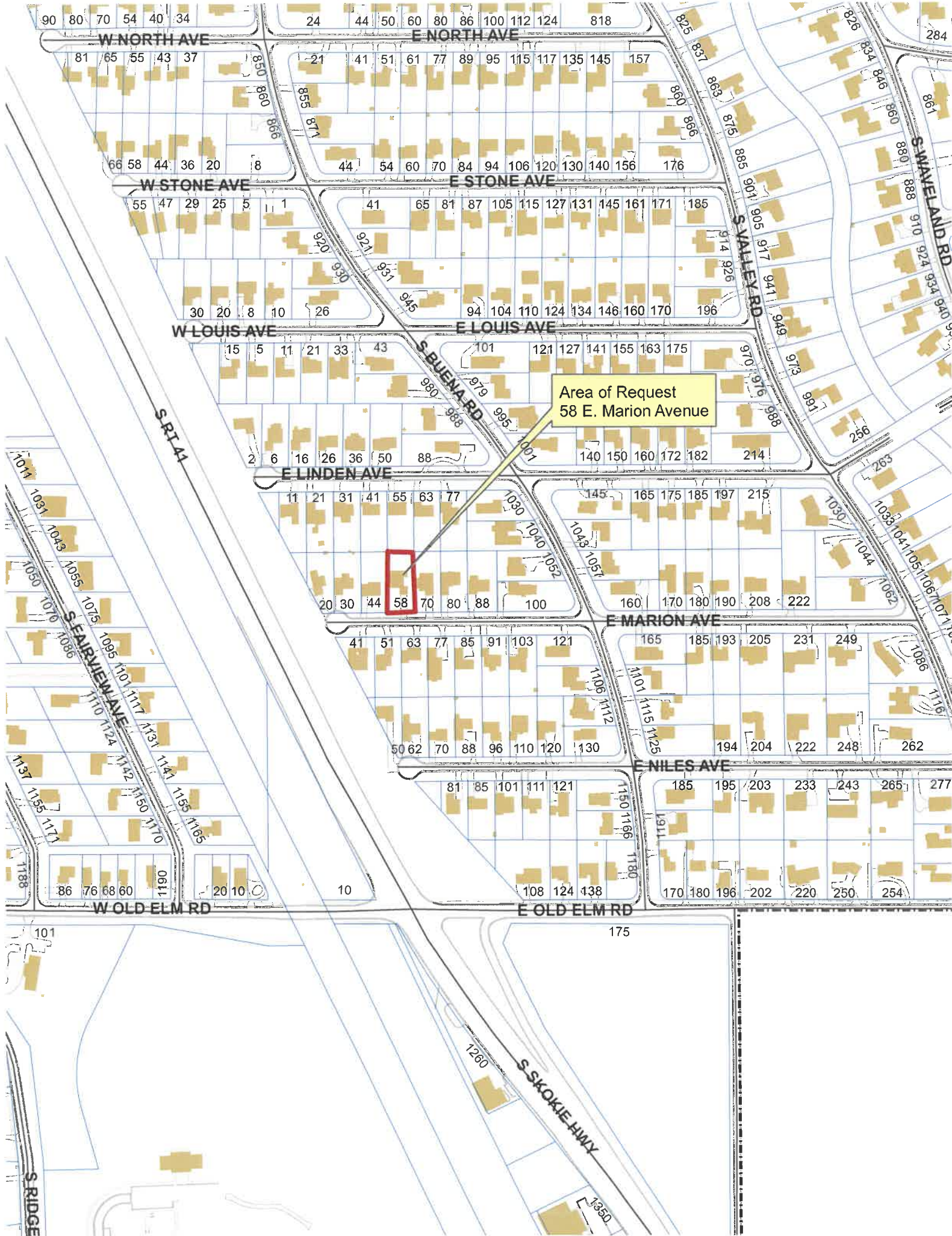
Allowable Height: 30 ft. Actual Height 24 ft. 9% over Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 308 sq. ft.

- Open Porches = 158 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 0 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Individual Dormer = 0 sq. ft.
- Bay Windows = 14 sq. ft.

Total Actual Design Elements = 172 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
58 E. Marion Avenue



W NORTH AVE

E NORTH AVE

W STONE AVE

E STONE AVE

W LOUIS AVE

E LOUIS AVE

E LINDEN AVE

E MARION AVE

E NILES AVE

W OLD ELM RD

E OLD ELM RD

S SKOKIE HWY

S WHEELAND RD

S RIDGE

90 80 70 64 40 34

24 44 50 60 80 86 100 112 124 818

81 65 55 43 37

21 41 51 61 77 89 95 115 117 135 145 157

66 58 44 36 20 8

44 54 60 70 84 94 106 120 130 140 156 176

30 20 8 10 26

41 65 81 87 105 115 127 131 145 161 171 185

2 6 16 26 36 50 88

101 121 127 141 155 163 175

11 21 31 41 55 63 77

145 165 175 185 197 215

20 30 44 58 70 80 88 100

160 170 180 190 208 222

41 51 63 77 85 91 103 121

165 185 193 205 231 249

50 62 70 88 96 110 120 130

1106 1112

81 85 101 111 121

185 195 203 233 243 265 277

86 76 68 60 100 110

108 124 138

170 180 196 202 220 250 254

101

175

1260

1350

284

826 834 846 860 861

880 888 910 924 934 940

970 976 988

1030 1033 1041 1051 1061 1071 1082

1086 1116

194 204 222 248 262

185 195 203 233 243 265 277

170 180 196 202 220 250 254



Area of Request
58 E. Marion Avenue

W NORTH AVE

E NORTH AVE

W STONE AVE

E STONE AVE

W LOUIS AVE

E LOUIS AVE

E LINDEN AVE

E MARION AVE

E NILES AVE

W OLD ELM RD

E OLD ELM RD

S SKOKIE HWY

S VALLEY RD

S WAVELAND RD

S RIAL

S FAIRVIEW AVE

S BUENA RD

S RIDGE



Area of Request
58 E. Marion Avenue

E MARION AVE

E NILES AVE

S BUENA RD

E LINDEN AVE

S RIA



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 58 Marion Ave

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input checked="" type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Michael Brokaw
Owner of Property

58 Marion Ave
Owner's Street Address (may be different from project address)

Lake Forrest, IL 60045
City, State and Zip Code

847-770-5507
Phone Number *Fax Number*

mbrokaw2@gmail.com
Email Address

Michael Brokaw
Michael Brokaw (01/21/2015 15:09:04 CDT)
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Michael Carney / ARCHITECT
Name and Title of Person Presenting Project

STUDIO CARNEY ARCHITECTURE, INC
Name of Firm

2000 CENTER DRIVE
Street Address

HOFFMAN ESTATES, IL 60142
City, State and Zip Code

847.701.4138
Phone Number *Fax Number*

MCARNEY@STUDIOCARNEY.COM
Email Address

[Signature]
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Studio Carney Architecture

Michael Carney, AIA

President/Architect

2000 Center Drive, Ste. East D219

Hoffman Estates, IL 60192

847.701.4138 x. 700

mcarney@studiocarney.com

City of Lake Forest

Planning Commission

220 East Deerpath

Lake Forest, IL 60045

Description of Exterior Materials

Property Address: 58 Marion Avenue, Lake Forest, Illinois

Zoning District: R-1 Residential

Applicant: Michael Brokaw

Builder: Bryan Slowick, BDS Design Build Remodel

Architect: Michael Carney, Studio Carney Architecture, Inc.

The proposed roof structure will be constructed of pressure treated 6x6 posts which will be wrapped with 1x cedar trim boards. The roof structure will be constructed of 2x10 cedar boards with pressure treated sheathing supporting the standing seam metal roof. Additional structural components will be 4x6 cedar posts diagonally installed.

Sincerely,

Michael Carney, AIA, NCARB, ALA



Studio Carney Architecture

Michael Carney, AIA
President/Architect

2000 Center Drive, Ste. East D219
Hoffman Estates, IL 60192
847.701.4138 x. 700
mcarney@studiocarney.com

City of Lake Forest
Planning Commission
220 East Deerpath
Lake Forest, IL 60045

Statement of Support for Building Scale Variance

Property Address: 58 Marion Avenue, Lake Forest, Illinois
Zoning District: R-1 Residential
Applicant: Michael Brokaw
Builder: Bryan Slowick, BDS Design Build Remodel
Architect: Michael Carney, Studio Carney Architecture, Inc.

We are requesting a Building Scale Variance to allow for a modest increase in allowable bulk at the property located at 58 Marion Avenue, Lake Forest, Illinois. The variance is being sought to permit the construction of a freestanding covered outdoor kitchen structure located in the rear yard.

Per the Building Scale Workbook, the maximum allowable bulk for this property is 3,085 square feet, which yields a maximum exemption of 308.5 square feet. The existing property improvements currently utilize a portion of this exemption as follows:

- Screen Porch (east side): 158 sq ft
- Bay Window (front elevation): 14 sq ft
- Rear Yard Shed: 49 sq ft

These existing features collectively account for 221 sq ft of the allowable exemption, leaving 87.5 sq ft remaining.

The proposed covered roof structure, measuring 245 sq ft, is required to be included in the total bulk calculation. Applying the remaining exemption, the project results in an increase of 157.5 sq ft above the maximum allowable bulk. Based on the Building Scale Workbook, this equates to a total relief request of 273 sq ft, or approximately 2.13% over the allowable bulk. If the available exemptions are applied, the effective relief requested is 157.5 sq ft, or approximately 0.91% over allowable.

The design intent of the proposed structure is to create a small-scale, open-air outdoor kitchen that enhances the functionality and livability of the residence. The



structure is not attached to the home, maintains compliance with all required setbacks, and has been designed with careful attention to proportion, scale, and material compatibility with the existing residence. Its low visual profile and rear yard location ensure that the improvement will have minimal impact on neighboring properties and preserve the character of the surrounding neighborhood.

Hardship Justification

The hardship associated with this request arises from the existing configuration of the home and prior construction and improvements, which collectively utilize the majority of the property's permitted bulk and exemption allowance. These existing elements—such as the screen porch and bay window—were constructed to meet functional and aesthetic needs but now limit the ability to introduce modest outdoor amenities under the current bulk restriction. The homeowners wish to enhance their property with a small, freestanding roof structure designed for outdoor cooking and family use, consistent with modern living standards and comparable residential improvements in the community.

The requested variance represents the minimum relief necessary to allow a functional outdoor kitchen and covered structure that supports the way the homeowners use their property. The proposed roof structure is open on all sides, does not contain enclosed floor area, and will not materially increase the perceived mass of the residence. The proposed design maintains neighborhood compatibility and architectural integrity while providing a modest and functional improvement that is in keeping with community standards. Granting the variance will not alter the essential character of the neighborhoods will allow for the reasonable enjoyment of the property.

Sincerely,

Michael Carney, AIA, NCARB, ALA

Studio Carney Architecture

Michael Carney, AIA

President/Architect

2000 Center Drive, Ste. East D219
Hoffman Estates, IL 60192
847.701.4138 x. 700
mcarney@studiocarney.com

City of Lake Forest
Planning Commission
220 East Deerpath
Lake Forest, IL 60045

Standards of building scale variance

Standard 1

The project is consistent with the design standards in Section 147 of the City of Lake Forest Code.

The proposed project's location exceeds the minimum side yard setbacks, conforms with allowable height for accessory structures (less than 25 feet) and will be similar in height to the existing ridge line of the existing first floor roof.

Standard 2

Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

The proposed project's location will be screened from the easternmost adjacent property by existing deciduous trees. These trees will be protected throughout construction.

Standard 3

New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

The proposed project's location is in the rear yard. A small portion of the roof line of the proposed structure may be slightly visible above the ridge line of the existing residence's single story screen porch.



Standard 4

The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

The proposed project will be compatible with similar structures in the neighborhood.

Standard 5

The property is located in a local historic district or is designated as a Local Landmark and the addition is consistent with the standards in the Historic Preservation Ordinance and approval of a variance would further the purpose of the Ordinance.

The proposed project location is not within a historic district.

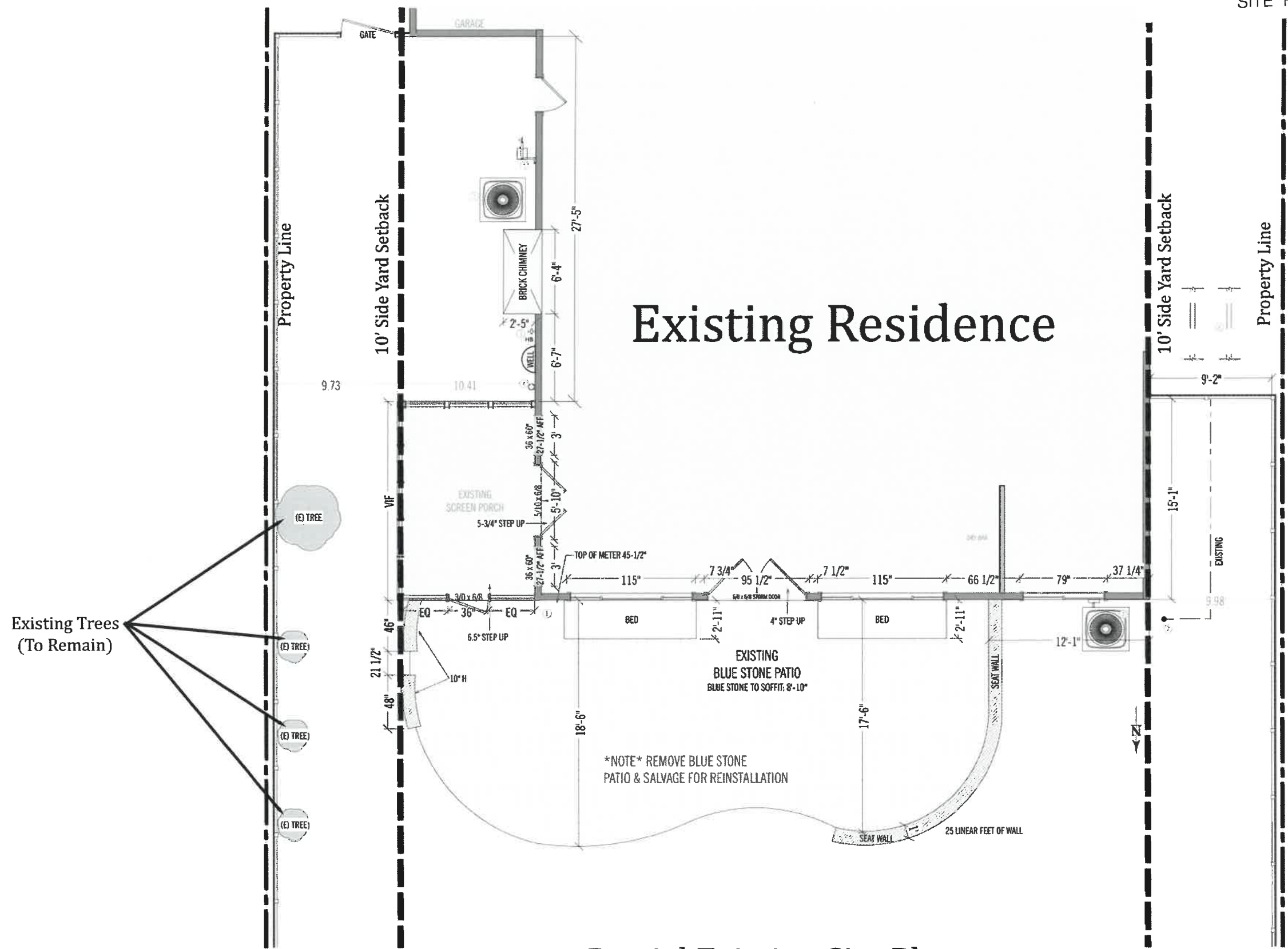
Standard 6

The property is adjacent to land use and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

The proposed project location is not adjacent to permanent open space, conservation easement, detention pond, or will negatively impact the streetscape of the neighborhood.

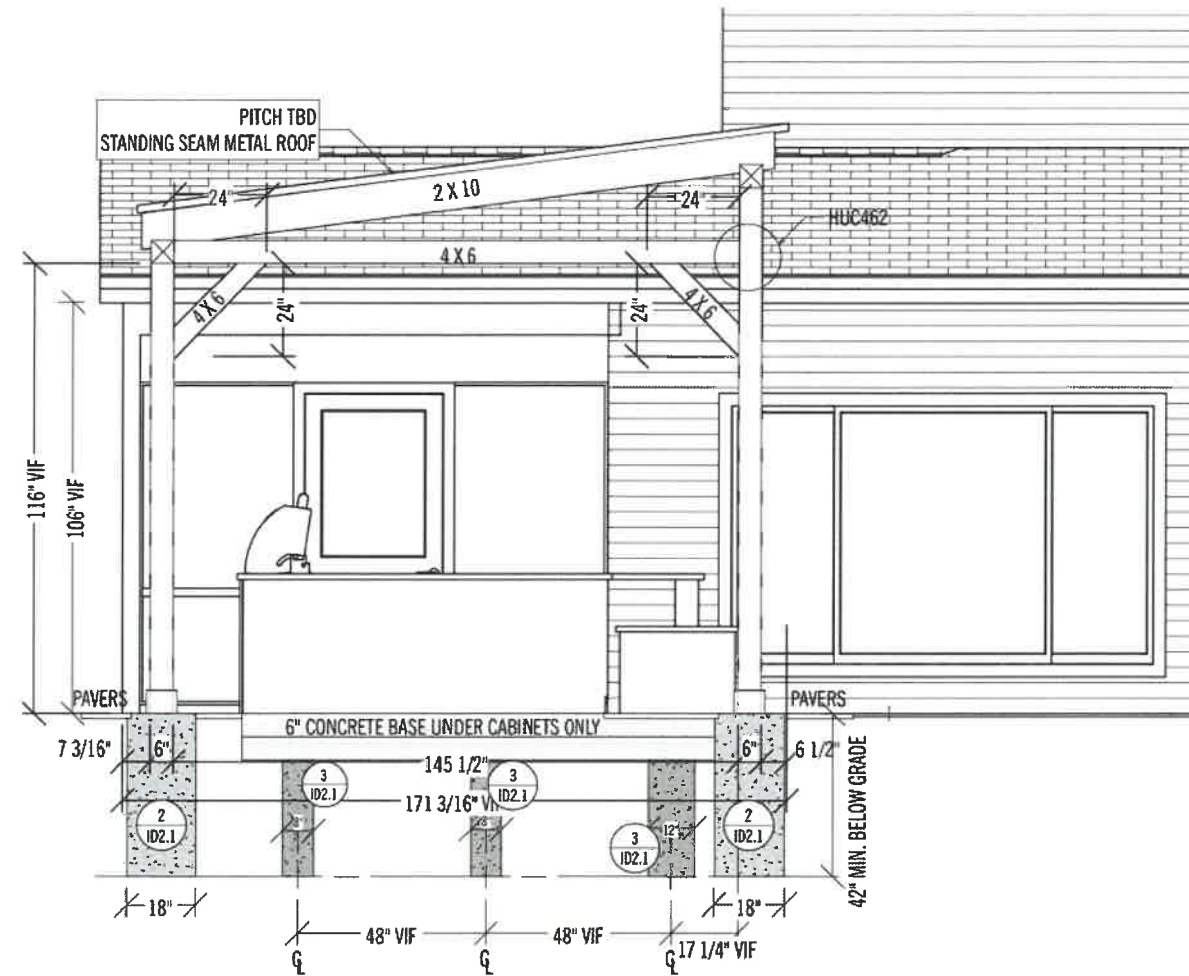
Sincerely,

Michael Carney, AIA, NCARB, ALA



58 Marion Ave., Lake Forest, IL 60045



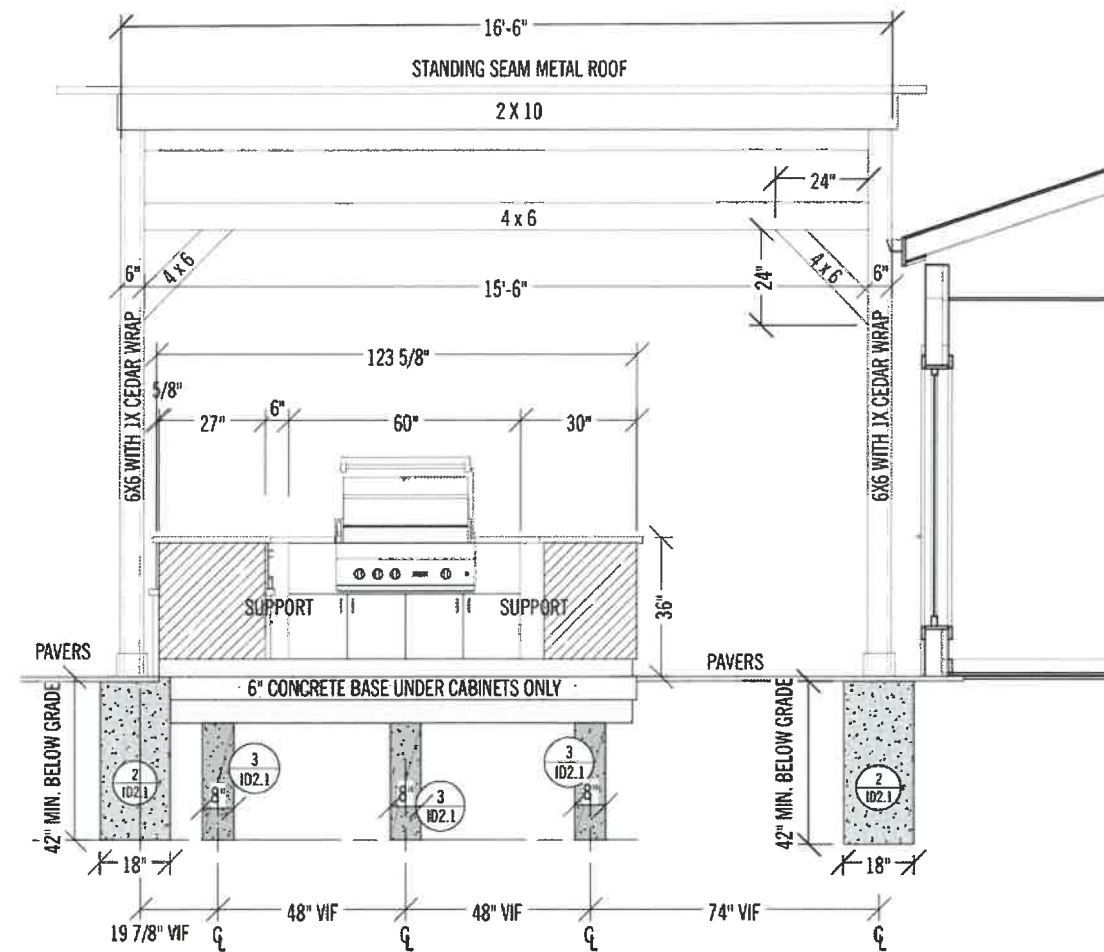


North Elevation

Scale: 1/4" = 1'-0"

58 Marion Ave., Lake Forest, IL 60045





West Elevation

Scale: 1/4" = 1'-0"

58 Marion Ave., Lake Forest, IL 60045



Agenda Item 4
163 Washington Road
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Examples of Materials
Renderings
Section - House
Roof Plan - House
Floor Plans – House
Section – Detached Garage
Floor Plan – Detached Garage
Tree Survey and Tree Removal Plan
Landscape Plan
Streetscape Study – Setback from Front Property Line
Streetscape Study – Front Elevation and Height
Grading Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

163 Washington Road

Consideration of a new house with a detached garage and the associated hardscape and landscape proposed on vacant property.

**Property Owners: Aristothomas and Mykel Nicholson
Presented by: Mark Golan, Architect**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with a detached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

This property is located on the east side of Washington Road. The previous house on the lot was demolished in 2020 after remaining unoccupied for an extended period of time and becoming uninhabitable due to extensive water damage.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The residence is sited toward the front of the lot however, it is setback further from the front property line than the immediate neighbors to the north and south, as demonstrated in the streetscape study submitted in the Board's packet. Being sited further back mitigates difference in height and massing when compared to the smaller neighboring homes immediately adjacent. The proposed setback is consistent with a larger and taller house a few lots to the north.

A driveway is proposed immediately adjacent to the south property line, accessing a detached garage at the rear of the property. A curb is noted on the site plan, along the south property line to mitigate stormwater runoff on to the neighboring property. Consideration could be given to flipping the home so the driveway is adjacent to the neighboring driveway to the north, creating additional space between the houses and eliminating the driveway being located close to the private areas of the neighboring home to the south.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,129 square feet is permitted on the site with an allowance of 576 square feet for a garage and 313 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,100 square feet.
- The proposed garage totals 572 square feet.
- In addition to the above square footage, a total of 305 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 3,10 square feet, 29 square feet or less than 1 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 27 feet. The maximum height allowed for a residence on this size lot is 30 feet:

Elevations – This standard is met.

The petitioner identifies the architectural style of the proposed home as Modern Craftsman. Modern Craftsman homes are recognized by their low-pitched gable roofs, wide eave overhangs, front porches and exposed wooden elements.

The west (front) elevation demonstrates characteristics of the selected style, including a prominent front porch with wood columns and eaves. Throughout the elevations, the relationship and organization of windows to solid walls is somewhat balanced and the massing and roof shapes are simple. Further articulation of the massing on the north and south elevations, to mitigate the impact of a full two story unbroken wall on the smaller homes to the north and south should be considered. The elevations should be refined further to more fully align with the residential design guidelines.

On the south elevation, further study and refinement of the large stairway window should be considered to mitigate the impact on the neighboring home to the south and to relate proportionally to other windows across the elevations.

Staff Recommendation: Consider additional articulation of massing on the north and south elevation and refinement of window placement.

Staff Recommendation: Refine the stairway window on the south elevation recognizing the closeness of the neighboring home and to better relate proportionally to the other windows around the home.

Type, color, and texture of materials – This standard is generally met.

The petitioner proposes pearl grey Hardie shingle siding for the façade material of the home and garage. The Board routinely approved the use of a Hardie product for horizontal siding.

The Hardie shingle product has not been routinely approved in the past. Asphalt shingles, white aluminum-clad windows with simulated divided lites with muntins affixed to the inside and outside of the windows, aluminum gutters and downspouts, and wood trim are proposed throughout. On the front elevation, a metal standing seam roof is proposed. The driveway will be asphalt. The sidewalk from the driveway to the front entrance and the rear patio will be bluestone. The walk from the garage side entrance door to the driveway will be concrete.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches

Staff Recommendation: Board direction is request on the use of a Hardie product shingle.

Landscaping - This standard can be met.

The tree removal plan identifies 5 trees of varying species, size, and condition for removal. The proposed landscape plan does not yet meet the minimum criteria for new construction and does not demonstrate compliance with the inch-for-inch replacement requirement. A revised plan should clearly show how the replacement inches will be replanted on the site.

The landscape plan shows some vegetative screening at the garage apron to screen the neighboring yards from car lights however, consideration should be given to plantings which will provide some level of year-round screening.

The final landscape plan will be subject to staff review and approval by the City at the time of permit.

Staff Recommendation: Revise the landscape plan to meet the minimum planting criteria for new construction and in addition, reflect the required replacement tree inches.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence has been submitted.

Recommendation

Recommend approval of a new house with a detached garage, hardscape and a conceptual landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit:

- a. Consider additional articulation of massing on the north and south elevation to soften the impact of a flat two story wall on the smaller homes on either side.
 - b. Refine the stairway window on the south elevation and consider refinements to other windows to better balance openings to solid walls on the north and south elevations.
 - c. Specify that the standing seam roof panels are no wider than 12 inches to achieve a residential scale.
 - d. Revise the landscape plan to the reflect minimum plantings for new construction as required by the Code and, in addition, all of the required replacement tree inches.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches to account for trees removed from the site. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is

tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

f. A plan for contractor parking and equipment and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 163 Washington Road Owners Aristomas and Mykel Nicholson
 Architect Mark Golan Reviewed by: L. Prado
 Date 12/3/2025
 Lot Area 13066 sq. ft. Allowed Square Footage 3129

Square Footage of Residence

1st floor 1617 + 2nd floor 1483 + 3rd floor 0 = 3100 sq. ft.

Design Element Allowance = 313 sq. ft.

Total Actual Design Elements = 305 sq. ft. Excess = 0 sq. ft.

Garage 572 sf actual ; 576 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 3100 sq. ft.

TOTAL SQUARE FOOTAGE = 3100 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 3129 sq. ft.

DIFFERENTIAL = 29 sq. ft. **NET RESULT:**
Under Maximum 29 sq. ft. is
 less than 1% under **Max. allowed**

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 313 sq. ft.

- Open Porches = 304 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 0 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Dormers = 0 sq. ft.
- Bay Windows = 0 sq. ft.

Total Actual Design Elements = 304 sq. ft.

Excess Design Elements = 0 sq. ft.

Area of Request
163 Washington Road





Area of Request
163 Washington Road

N WASHINGTON RD

E WOODLAWN AVE



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 163 Washington Rd, Lake Forest, IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Aristothomas & Mykel Nicholson

Owner of Property

5212 Woodland Avenue

Owner's Street Address (may be different from project address)

Western Springs, IL 60558

City, State and Zip Code

(847) 922-4301

Phone Number

Fax Number

mykelvnicolson@gmail.com

Email Address

Aristothomas Nicholson

Mykel V Nicholson

Owner's Signature

ARCHITECT/BUILDER INFORMATION

Mark Golan, Architect

Name and Title of Person Presenting Project

Mark T. Golan Architecture, Ltd

Name of Firm

1820 Robinwood Ln

Street Address

Riverwoods, IL 60015

City, State and Zip Code

(847) 542-6275

Phone Number

Fax Number

golanarch@aol.com

Email Address

Mark T Golan

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER

REPRESENTATIVE

Please fax a copy of the staff report

OWNER

REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER

REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>Hardie Shingle Siding</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material Pearl Gray

Window Treatment

- | | |
|--|---|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended) |
| <input checked="" type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |
- Color of Finish White

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other N/A

Foundation Material

- Brick
- Stone
- Stucco
- Other Poured concrete

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles Asphalt
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other Aluminum

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Statement of Intent

163 Washington Rd, Lake Forest, IL 60045

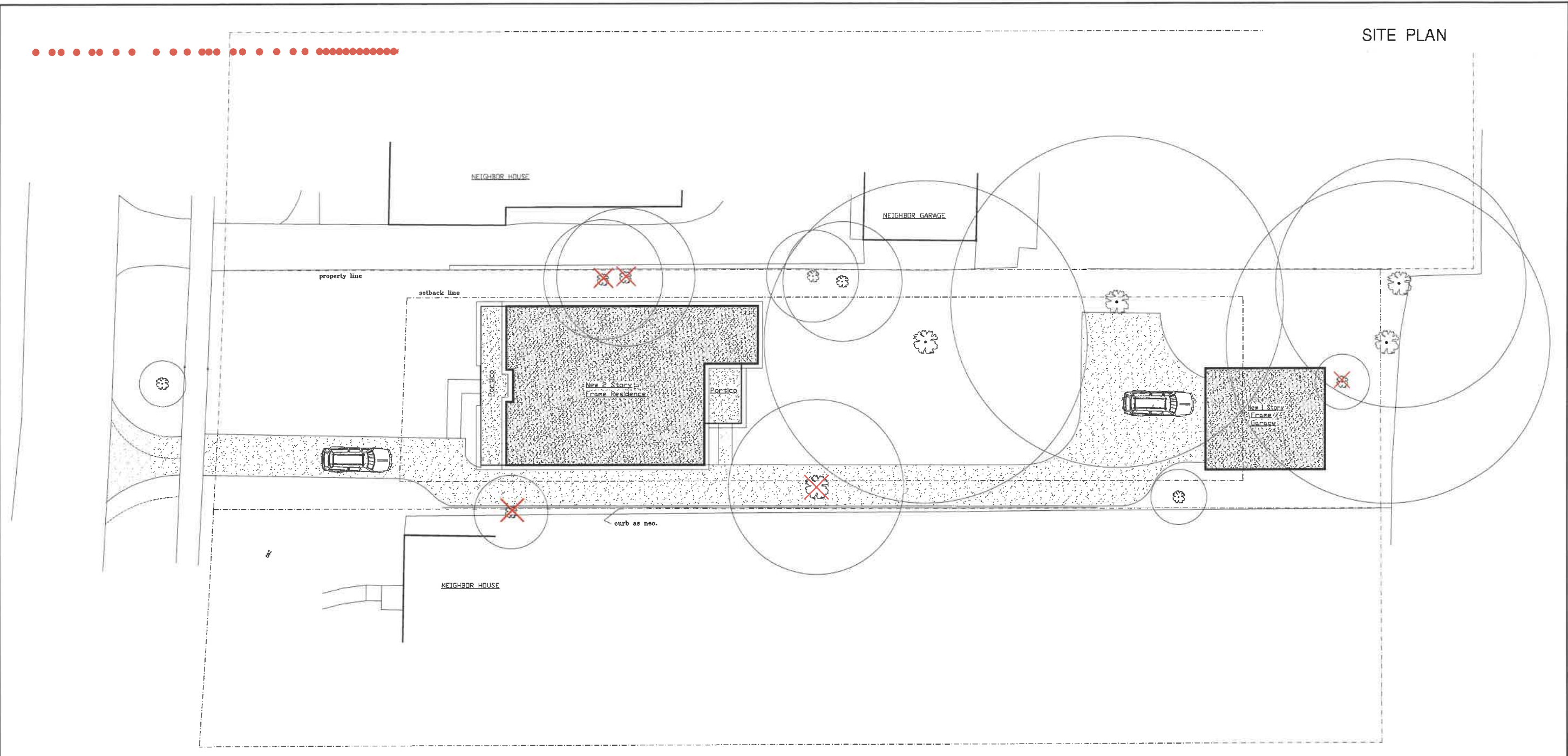
Dear Chairman and the Members of the Building Review Board,

We respectfully submit the attached building review board application and supporting documents for a new single family home located at 163 Washington Road.

1. **Background** – The home will be built by Brad Zenner of Z Construction LLC for Mykel (Vandenberg) and Aristothomas “Tommy” Nicholson. The Nicholsons are eager to return to the Lake Forest community, the very town where Mykel was born and raised.
2. **Initial Goal** – The purpose of the project is to seamlessly integrate a modern craftsman style home into the existing neighborhood, maintaining harmony and complimenting the surrounding architectural character.
3. **Design Strategy** – The home is designed with a detached garage, facing the West side of the property. The primary visual focus will be on the symmetrical front entry, portico, and rooflines as viewed from Washington Road. These elements are carefully planned in consideration of the overall scale, proportions, and perceived mass of the home, ensuring a balanced and cohesive aesthetic across all elevations. The home is strategically set back to ensure balance across the neighboring homes.
4. **Materials** – Pearl Gray Hardie Board Shingle Siding will be used on the exterior. The wood trim, soffit and fascia are to be white. The roof will be Certainteed Landmark Pro asphalt shingles in the color Max Def Moire Black. The windows are to be white in color. The front door and shutters are to be in the gunmetal gray color family.
5. **Conclusion** – Our intent is to construct an elegant and attractive home that blends harmoniously into its surroundings. The refined quality of the design will enhance the neighborhood, providing a charming addition to the existing landscape.
6. **Variances** – No variances are required for the proposed design in the GR-3 zoning district.

We understand that Lake Forest places high value on architectural appropriateness and contextual sensitivity. Our design team has reviewed the City's Design Guidelines and the Residential Building Review process to ensure the design aligns with both the community's expectations and Lake Forest's architectural traditions.

SITE PLAN



ZONING DISTRICT -- GR-3
 LOT SIZE = 13,066 SQ. FT.
 ALLOWABLE BULK = 3,129 SQ. FT.
 ACTUAL BULK = 3,111 SQ. FT.
 PRINCIPAL STRUCTURE FOOTPRINT = 1,617 SQ. FT.
 PORTICOS = 304 SQ. FT.
 GARAGE = 572 SQ. FT.
 WALKS = 156 SQ. FT.
 DRIVEWAY = 2,728 SQ. FT.
 TOTAL IMPERVIOUS SURFACE = 5,377 SQ. FT.
 = 41.2% OF LOT SIZE

Plot Plan
 scale: 1" = 10'-0"

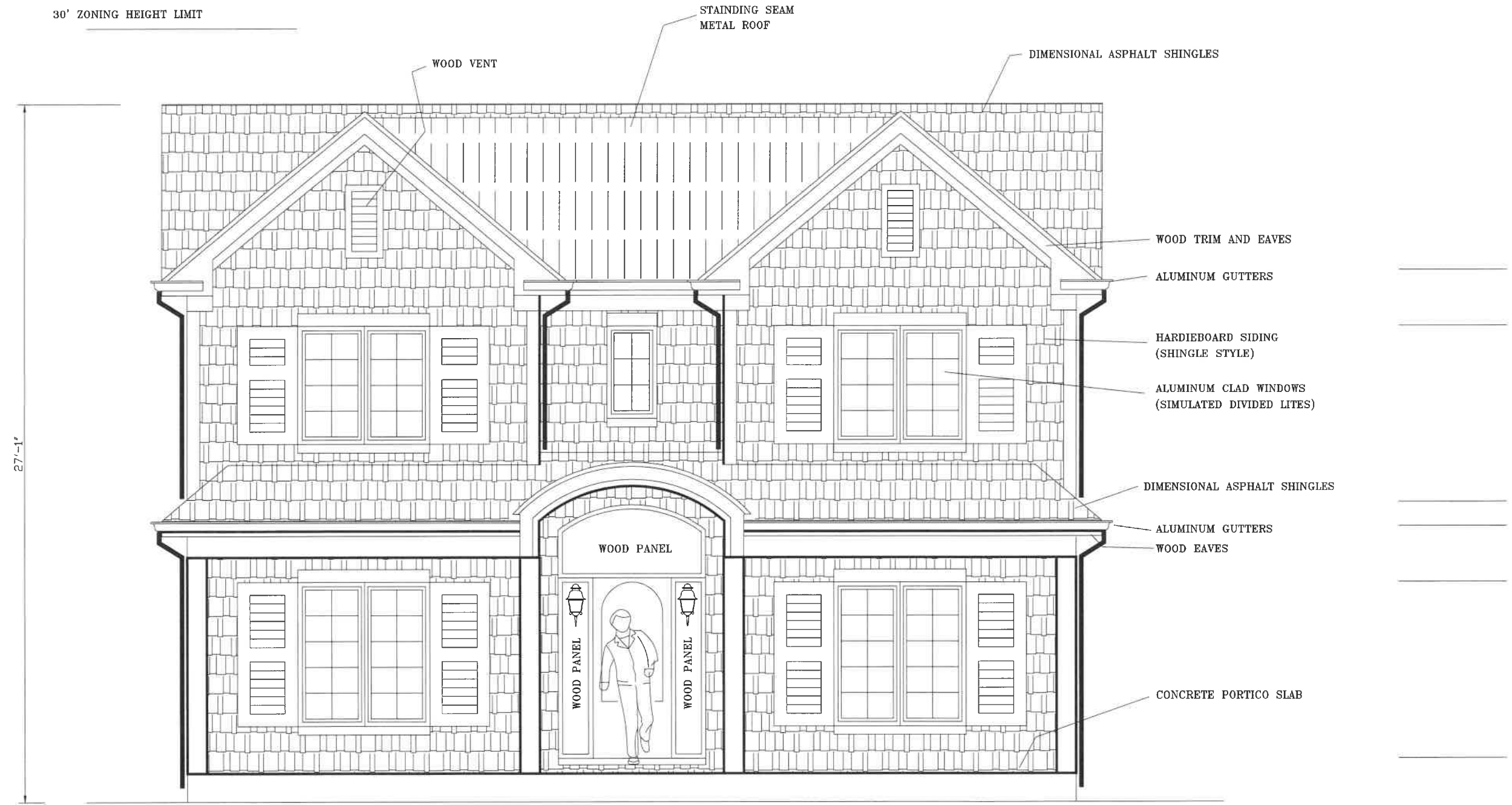


163 WASHINGTON ROAD

NICHOLSON HOUSE LAKE FOREST, ILLINOIS  MARK T. GOLAN ARCHITECT, LTD. <small>1820 ROBINWOOD LN., RIVERWOODS, IL 60015 (847) 542-6275</small>	DATE: 10/20/25 SCALE: DRAWN BY: JOB: 2508 SHEET #: 1 OF SHEETS
	1

WEST ELEVATION

30' ZONING HEIGHT LIMIT



WEST ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON  MARK T. GOLAN ARCHITECT, LTD. <small>1820 ROBINWOOD LAKE, BIRMINGHAM, AL 35215 (205) 542-6278 GOLANARCH@aol.com</small>	DATE:
	SCALE:
	DRAWN BY:
	JOB: 2508
	SHEET #:
	5
	OF SHEETS

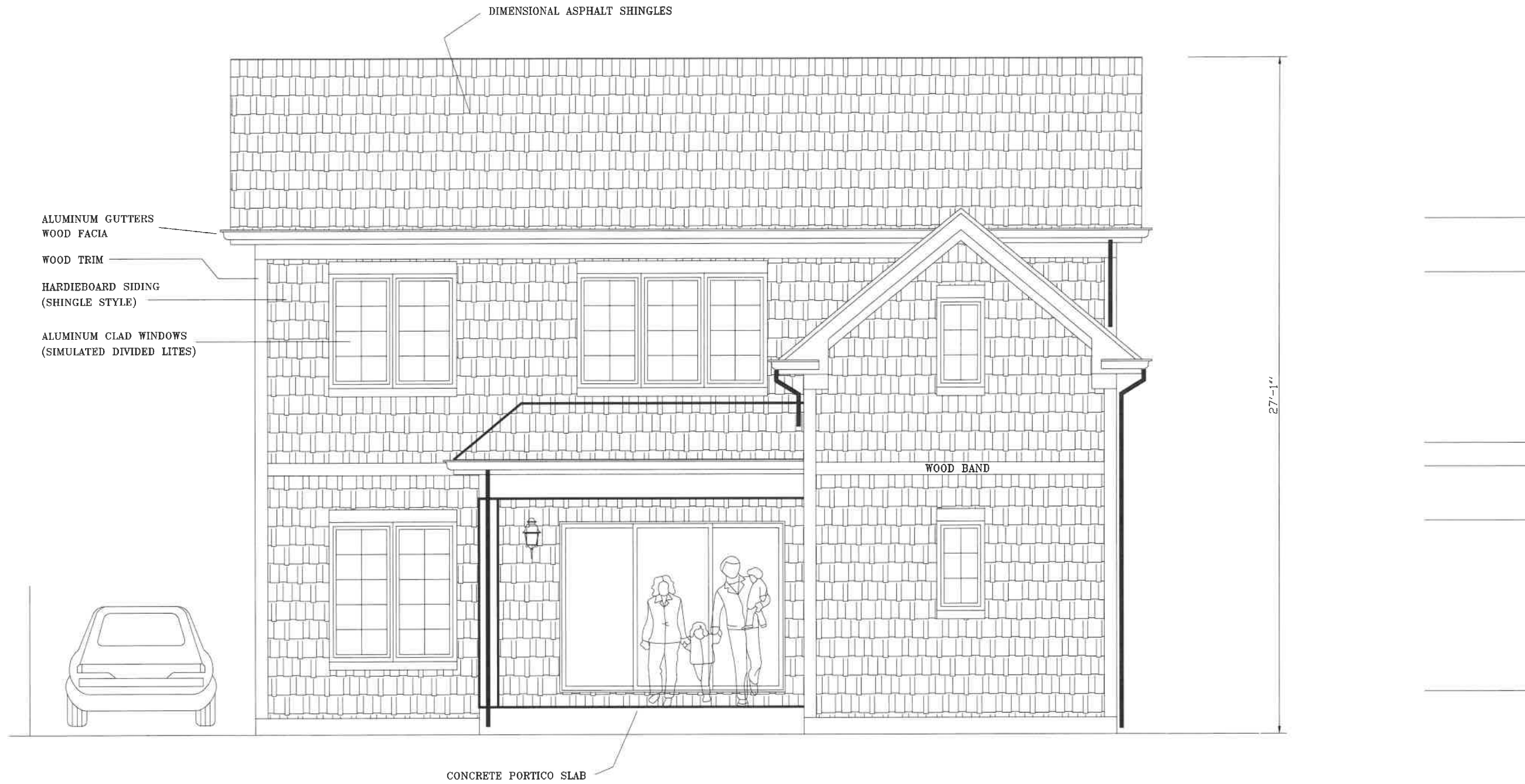
SOUTH ELEVATION



SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON	DATE:
	SCALE:
MARK T. GOLAN ARCHITECT, LTD.	DRAWN BY:
	JOB: 2508
1820 BOBBYWOOD LAKE, RIVERWOODS, IL 60915 (847) 542-5275 GOLANARCH@AOL.COM	SHEET #:
	8
	OF SHEETS

EAST ELEVATION



EAST ELEVATION

SCALE: 1/2" = 1'-0"

NICHOLSON		DATE:
		SCALE:
		DRAWN BY:
		JOB: 2508
		SHEET #:
		6
MARK T. GOLAN ARCHITECT, LTD.		OF SHEETS
<small>1822 ROBINWOOD LAKE ZWENGERWOOD, IL 60095 (847) 543-6175 GOLAN@MCHRAO.COM</small>		

NORTH ELEVATION

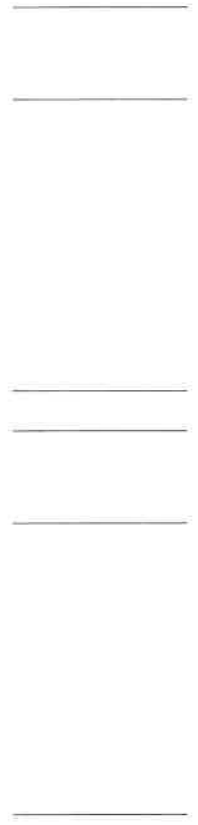


NORTH ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON	DATE:
	SCALE:
MARK T. GOLAN ARCHITECT, LTD.	DRAWN BY:
	JOB: 2508
1820 ROBINWOOD LANE, BIRMINGHAM, IL 60015 (847) 542-0275 GOLANARCH@AOL.COM	SHEET #: 7
	OF SHEETS

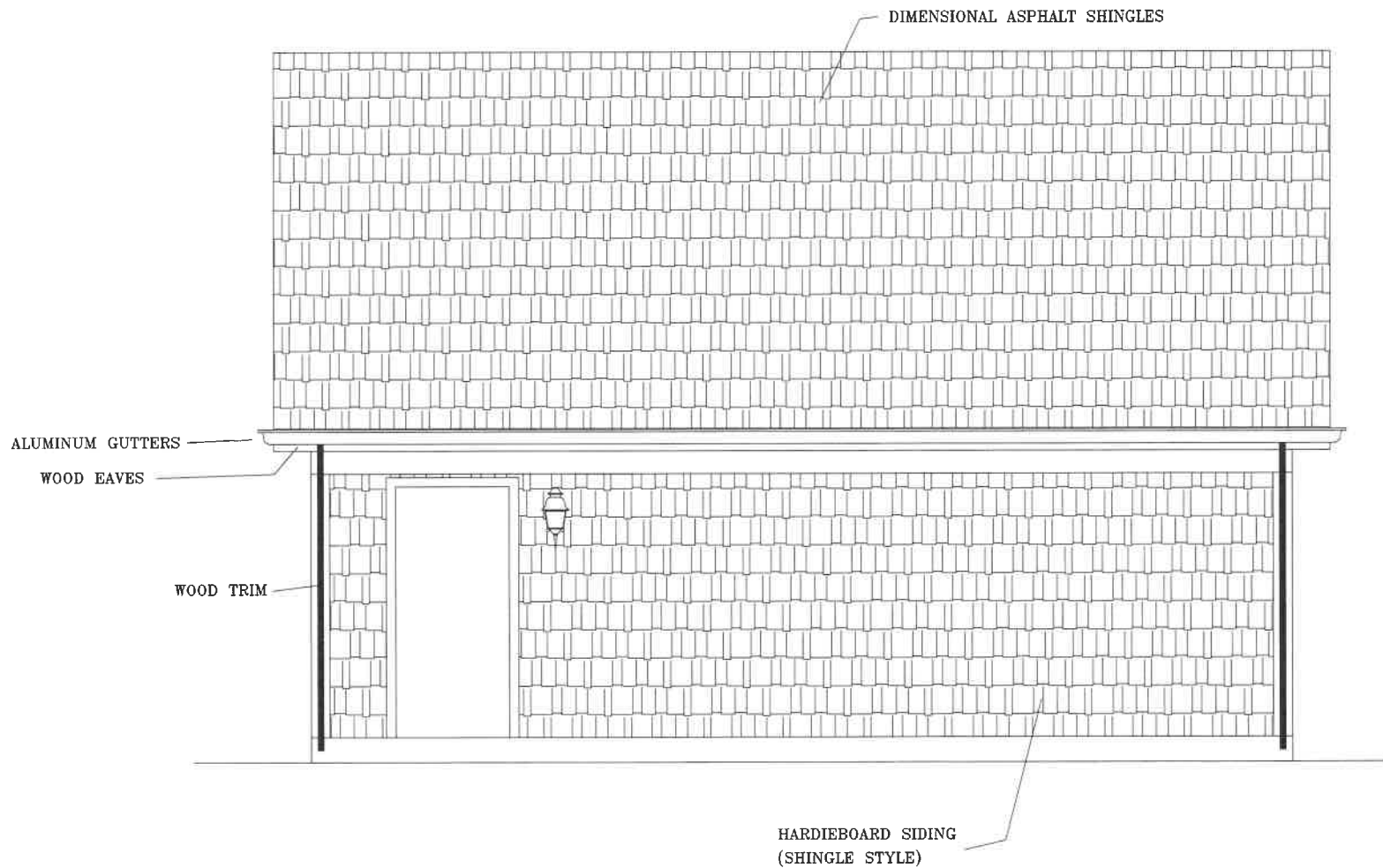
GARAGE - WEST ELEVATION

25' ZONING HEIGHT LIMIT



GARAGE WEST ELEVATION
SCALE: 1/2" = 1'-0"

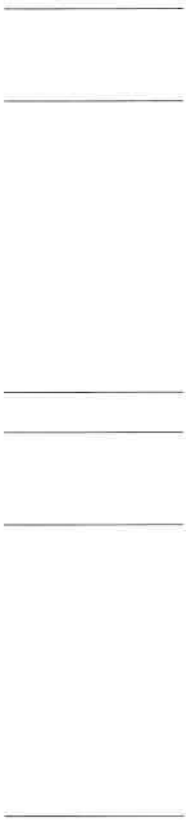
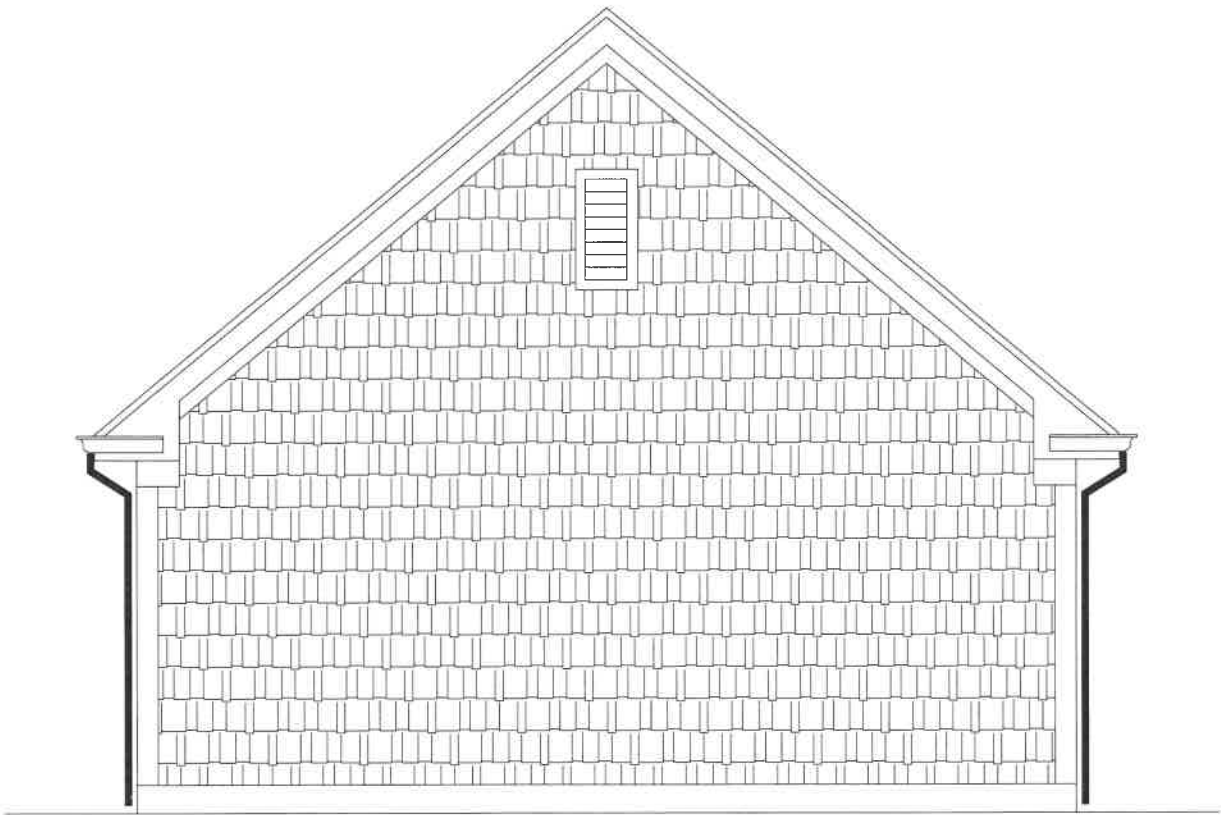
NICHOLSON  MARK T. GOLAN ARCHITECT, LTD. <small>1820 ROBINWOOD LAKE PINEWOODS, IL 60115 (847) 542-8275 DOLANARCH@AOL.COM</small>	DATE:
	SCALE:
	DRAWN BY:
	JOB: 2508
	SHEET #:
	13
	OF SHEETS



GARAGE NORTH ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON		DATE:
MARK T. GOLAN ARCHITECT, LTD.		SCALE:
1428 ROBINWOOD LAKE, RIVERWOODS, IL 60015 (847) 542-6275 GOLAN@MCHOLAN.COM		DRAWN BY:
		JOB: 2508
		SHEET #:
		15
		OF SHEETS

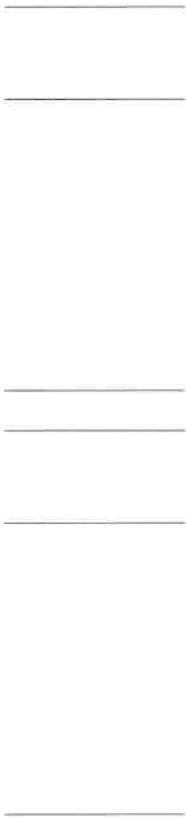
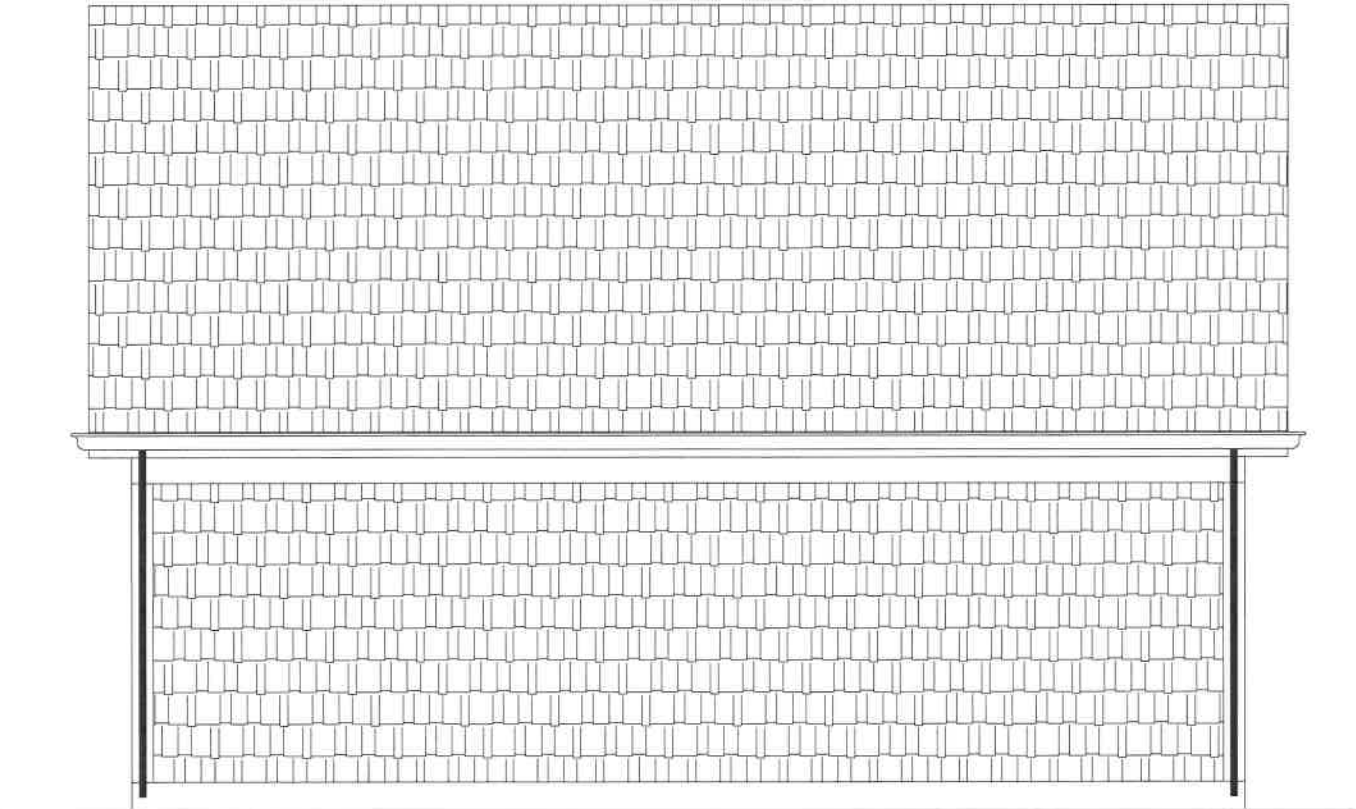
GARAGE - EAST ELEVATION



GARAGE EAST ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON		DATE:
MARK T. GOLAN ARCHITECT, LTD.		SCALE:
1820 ROBINWOOD LAKE, SPICEWOODS, IL 60093 (847) 543-8275 COLMARCH@AOL.COM		DRAWN BY:
		JOB: 2508
		SHEET #:
		14
		OF SHEETS

GARAGE - SOUTH ELEVATION



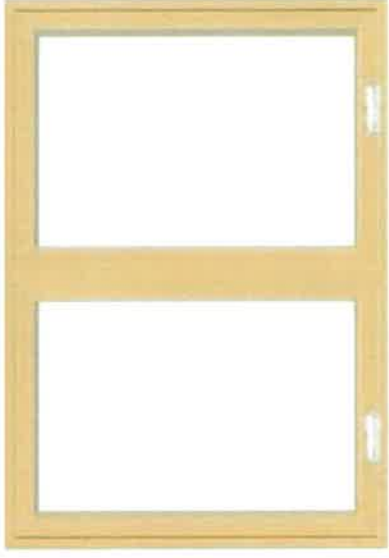
GARAGE SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

NICHOLSON	DATE:
	SCALE:
MARK T. GOLAN ARCHITECT, LTD.	DRAWN BY:
	JOB: 2508
1822 ROBINWOOD LANE BLENHEIM, IL 60015 (847) 342-8275 GOLAARCH@AOL.COM	SHEET #: 16 OF SHEETS

Samples of Exterior Materials



HARDIE BOARD SHINGLE SIDING
Pearl Gray



ALUMINUM CLAD CASEMENT WINDOWS
White

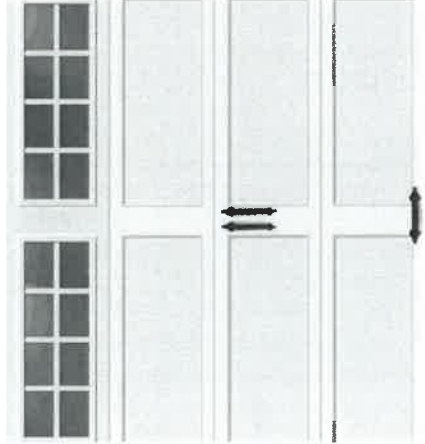


PRIMARY ROOF - ASPHALT SHINGLES
Max Def Moire Black



ACCENT ROOF - STANDING SEAM METAL
Matte Black

Samples of Exterior Materials



GARAGE DOORS
White



SHUTTERS
*Gun-metal gray family
(or similar)*



LIGHTING FIXTURES
Black



DOORS
*Gun-metal gray family
(or similar)*



RENDEREING - WEST ELEVATION



RENDERING - SOUTH ELEVATION



RENDERING - SOUTHEAST PERSPECTIVE



RENDERING - NORTH ELEVATION



RENDERING - GARAGE

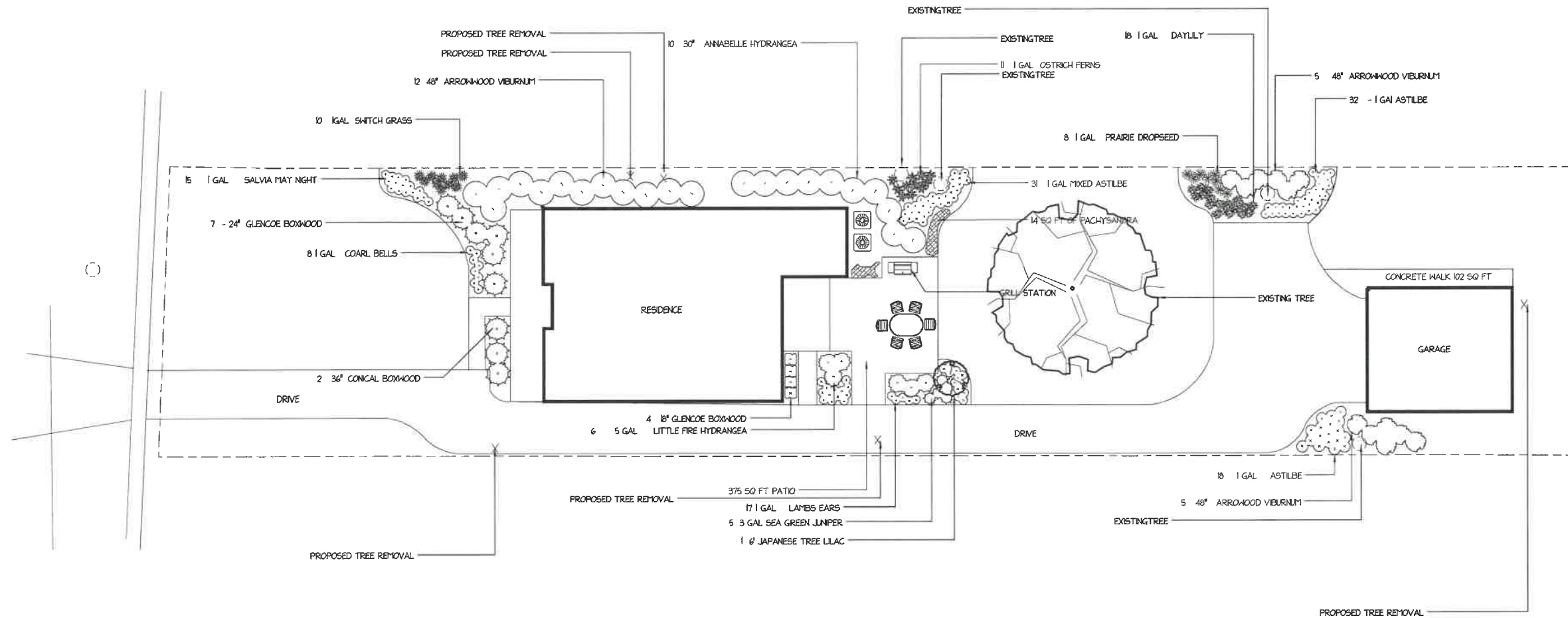
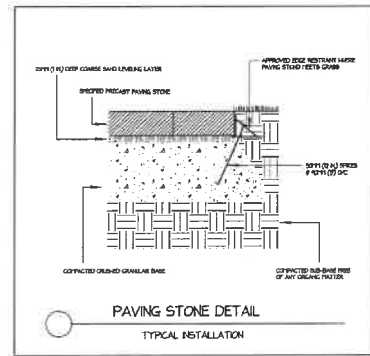


LANDSCAPE PLAN



ATTENTION:
 ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF APEX LANDSCAPING, INC. WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

NICHOLSON RESIDENCE
 163 WASHINGTON ROAD
 LAKE FOREST ILLINOIS 60045



REVISIONS

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Drawn By: BA
 Approved By:
 Date: OCTOBER 28, 2025
 Project No: OCTOBER 28, 2025

Customer Design and Layout Approval
 I, _____ approve above drawing and it's details to be executed at my property. Apex Landscaping, Inc. reserves the right to deviate from plan due to unknown and unmovable utilities, or structural reasons. Any changes to plan during construction outside of these reasons require a change order form signed by Apex Landscaping, Inc. and client prior to changes being made.
 Signature _____
 Date _____



Agenda Item 5
1241 Ash Lawn Drive
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Rendering -Aerial View
Elevations and Renderings
Roof Plan
Building Sections
Floor Plans
Tree Removal and Landscape Plan
Renderings
Renderings – Materials
Streetscape Photos
Drainage and Grading Plan

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1241 Ash Lawn Drive

Consideration of a new house with an attached garage and the associated hardscape and landscape proposed on vacant property.

Property Owner: Daniel Daoud
Presented by: Oana Herghelegui, Architect

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

This property is located on the south side of Ash Lawn Drive in the Meadowood Park Subdivision. A large portion of the front of the lot is dedicated to a detention easement and is developed with a pond. There is a 75' wide Conservation Easement, which requires the area to remain undeveloped and vegetated, in the rear of the lot.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The home is sited towards the center of the lot. The house is angled to the northeast and setback a substantial distance from Ash Lawn Drive. The orientation and siting of the residence is due to the pond and detention easement on the north portion of the property, access and public utilities easements along the west side of the property, and a Conservation Easement along the south property line. Despite the limitations on the property the location of the home relates well to the pattern of development along the street to the east and west.

The driveway provides access to an attached 3-car garage which faces northwest. A study should be done to ensure that there is adequate space to maneuver into and out of the garage

Staff Recommendation: Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles of a size commonly used by families today to turn into and pull out of the garage.

Building Massing and Height – This standard is met.

In the case of this subdivision, the plat of subdivision limits the square footage of a residence on this parcel to 4,500 square feet. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,354 square feet.
- The proposed garage totals 753 square feet.
- In addition to the above square footage, a total of 143 square feet of design elements are incorporated into the design of the house.

In conclusion, the proposed residence totals 4,354 square feet, 173 square feet or less than 3 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 29 feet. The maximum height allowed for a residence on this size lot is 35 feet.

Elevations – This standard is met.

The petitioner describes the home as a modern and site-responsive home which applies Scandinavian design principles. Such principles include simplicity, functionality, and a strong connection to nature.

The north elevation reflects this approach through clean, symmetrical massing. A two-story glazed central volume is flanked by gabled wings, each incorporating large, two-story window groupings which reinforce the selected style. The design approach is reflected on the south elevation. Given the amount of windows on the north and south elevations, consideration should be given to potential light spillover however, the siting of the residence, the setback from the street, and the vegetated Conservation Easement should all help to mitigate off site impacts.

The east and west elevations also display simple massing and roof forms with an appropriate balance of windows to solid walls. Consideration should be given to the modifying the garage door material, currently proposed as glass, to avoid off site light impacts, reflectivity, and to avoid views into the garage.

Staff Recommendation: Consider refining the expansive windows on the north and south elevations to mitigate the potential for off site light impacts.

Staff Recommendation: Consider modifying the material of the garage doors to limit the impacts of offsite light spillover.

Type, color, and texture of materials – This standard is met.

The petitioner proposes light gray vertical cedar plank siding for the façade material of the home and attached garage. Light grey snap-clad metal roofing panels, light gray aluminum-clad windows without muntins, aluminum gutters and downspouts, and cedar trim are proposed throughout. The front walk and rear patio will be light gray concrete. The driveway will be asphalt. Samples of the materials should be provided at the meeting. As mentioned above, consideration should be given to modifying the garage doors.

Landscaping - This standard can be met.

The tree removal plan identifies 6 trees of varying species, size, and condition for removal. The proposed landscape plan appears to meet the minimum criteria for new construction and demonstrates compliance with the inch-for-inch replacement requirement. The plan appears to show sufficient year round vegetative screening across from the garage to mitigate car headlights.

The final landscape plan will be subject to staff review and approval at the time of permit. If additional trees on the site are impacted by construction activity, additional replacement tree inches will be required.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, two letters of correspondence have been submitted and are included in the Board's packet.

Recommendation

Recommend approval of a new house with an attached garage and approval of the , hardscape and conceptual landscape plan on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit:
 - a. Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage.
 - b. Consider refining the expansive windows on the north and south elevations to mitigate the potential for off site light impacts.
 - c. Consider modifying the material of the garage doors to limit the impacts of offsite light spillover.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to

review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. The plan shall demonstrate inch-for-inch replacement of trees proposed for removal unless payment of a fee in lieu of planting is approved by the City.

All areas of the site where existing trees and vegetation will be preserved must be indicated on the landscape plan including the Conservation Easement area.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior

lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Contractor Parking, Staging, and Tree Protection

f. A plan for contractor parking and equipment and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET

Address 1241 Ash Lawn Drive Owners Daniel Daoud
 Architect Oana Herghelegiu Reviewed by: L. Prado
 Date 12/3/2025
 Lot Area 46580 sq. ft. Allowed Square Footage 4500

Square Footage of Residence

1st floor 2395 + 2nd floor 1959 + 3rd floor 0 = 4354 sq. ft.

Design Element Allowance = 450 sq. ft.

Total Actual Design Elements = 143 sq. ft. Excess = 0 sq. ft.

Garage 753 sf actual ; 800 sf allowance Excess = 0 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 4353 sq. ft.

TOTAL SQUARE FOOTAGE = 4353 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4500 sq. ft.

DIFFERENTIAL = 147 sq. ft.

NET RESULT:
Under Maximum

147 sq. ft. is

3% under
Max. allowed

Allowable Height: 35 ft. Actual Height 29.0 ft.

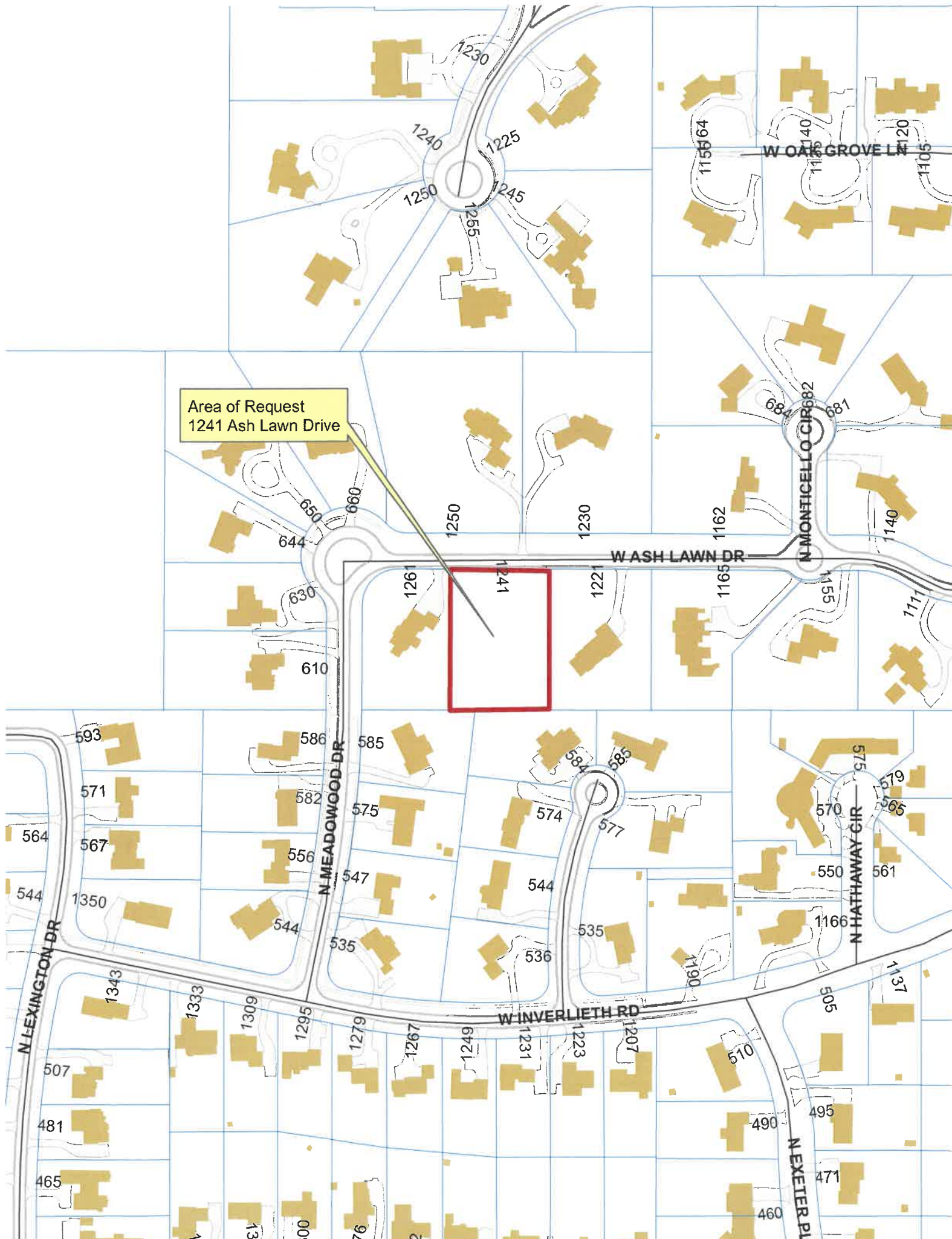
DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 450 sq. ft.

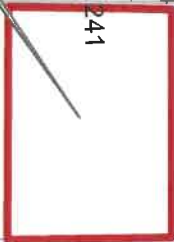
- Open Porches = 0 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 143 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Dormers = 0 sq. ft.
- Bay Windows = 0 sq. ft.

Total Actual Design Elements = 143 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1241 Ash Lawn Drive





Area of Request
1241 Ash Lawn Drive





Area of Request
1241 Ash Lawn Drive

WASH LAWN DR

N MEADOWOOD DR

N FLETCHER CIR



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1241 ASH LAWN DR LAKE FOREST IL 60045

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Daniel Daoud

Owner of Property

7161 N CICERO AVE STE 208

Owner's Street Address (may be different from project address)

LINCOLNWOOD IL 60712

City, State and Zip Code

312-218-0229

Phone Number

Fax Number

build@preservationrestoration.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

OANA HERGHELEGIU - AOR

Name and Title of Person Presenting Project

SHAPED ARCHITECTURE

Name of Firm

20 N CLARK ST., SUITE 3300,

Street Address

CHICAGO, IL 60602

City, State and Zip Code

(312)722-3852

Phone Number

Fax Number

INFO@SHAPED.DESIGN

Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER

REPRESENTATIVE

Please fax a copy of the staff report

OWNER

REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER

REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|---|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____
- Color of Material CEDAR PLANK
LIGHT GRAY

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other FLOOR TO CEILING
CUSTOM CASEMENT & FIXED

Color of Finish LIGHT GRAY

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

October 24th, 2025

Building Review Board
City of Lake Forest
Community Development Department
800 Field Dr.
Lake Forest, IL 60045

**RE: Statement of Intent
1241 Ash Lawn Dr., Lake Forest**

Dear Commissioners,

We respectfully submit the Building Review Board application and supporting documents for the proposed construction of a two-story single-family residence at 1241 Ash Lawn Dr.

The design responds directly to the property's environmental constraints—primarily the existing detention pond, dense native vegetation, and multiple recorded easements—and applies Scandinavian design principles to create a modern, simple, and site-responsive home. Natural materials, daylight, and balanced proportions establish a strong connection to the landscape while maintaining full compatibility with the surrounding neighborhood.

STANDARDS FOR ARCHITECTURAL AND SITE DESIGN REVIEW

1. Site Plan:

- The property is located in the R-5 District and is governed by the Meadowoods Subdivision recorded plat, which supersedes the base district setbacks.
- The lot is significantly constrained by a 75-ft Conservation Easement and Detention and Drainage Easements recorded on the plat of survey.
- The proposed residence has been sited to fully respect all easements and setbacks.
- The building footprint fits entirely within the limited buildable envelope and avoids all protected areas.

2. Elevations:

- The design complies with all bulk, height, and scale requirements.
- Due to the restricted buildable footprint, the architecture adopts a vertical composition consistent with several nearby homes that exhibit similar proportions.
- This verticality is balanced through the arrangement of volumes, window placement, and material transitions.
- Existing and proposed landscaping helps soften the elevations and ensures visual compatibility with the streetscape.

3. Landscaping:

- The existing detention pond remains undisturbed and continues to serve as both a stormwater feature and natural visual buffer.
- Dense native vegetation along the perimeter of the lot is preserved to maintain privacy and ecological integrity.
- Five medium-sized trees must be removed due to the building placement; all removals will be mitigated with code-compliant replacement plantings.
- Additional landscaping at the garage entrance and driveway improves headlight screening and strengthens the natural buffer.
- Supplemental plantings enhance overall site character and support a seamless transition between the new construction and its surroundings.

4. Type, Color, and Texture of Materials:

- The material palette was selected for durability, authenticity, and compatibility with the natural environment and Scandinavian aesthetic.
 - Vertical cedar siding
 - Light gray standing-seam metal roof
 - Light gray stone chimney
 - Large windows with light gray frames and wood trims
 - Concrete patios for modern, clean exterior transitions
- All materials are high-quality and natural, intended to weather gracefully and harmonize with the site's vegetation and pond.
- The cohesive palette supports a simple, modern architectural identity consistent with City standards.

5. Overall Site Layout:

- The residence is positioned to maximize separation from neighboring properties while remaining within a highly constrained buildable area.
- The layout preserves key site features—including the pond, conservation area, and dense vegetation—and enhances screening where appropriate.
- Massing, height, and scale remain fully compliant with zoning requirements and align with the character of nearby homes.
- The combined effect of thoughtful siting, material selection, and landscape preservation results in an architecturally compatible and context-appropriate development.

Thank you in advance for considering our application.
We look forward to hearing the Board's feedback.

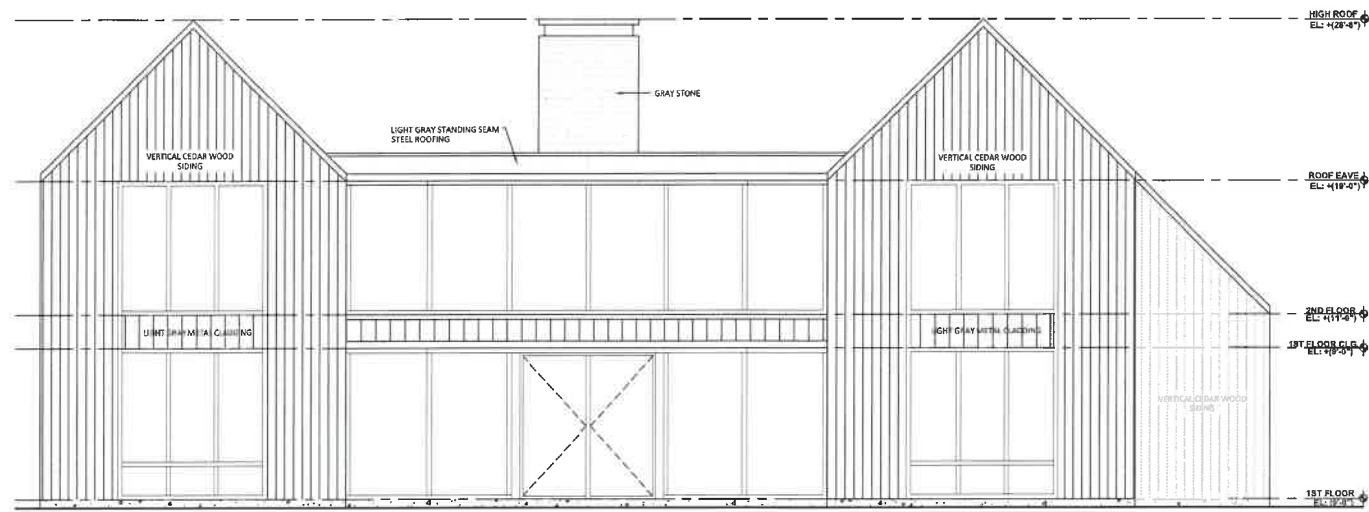
Sincerely,
Owner: Daniel Daoud
Architect: Oana Herghelegiu

RENDERING - AERIAL VIEW



ELEVATIONS:

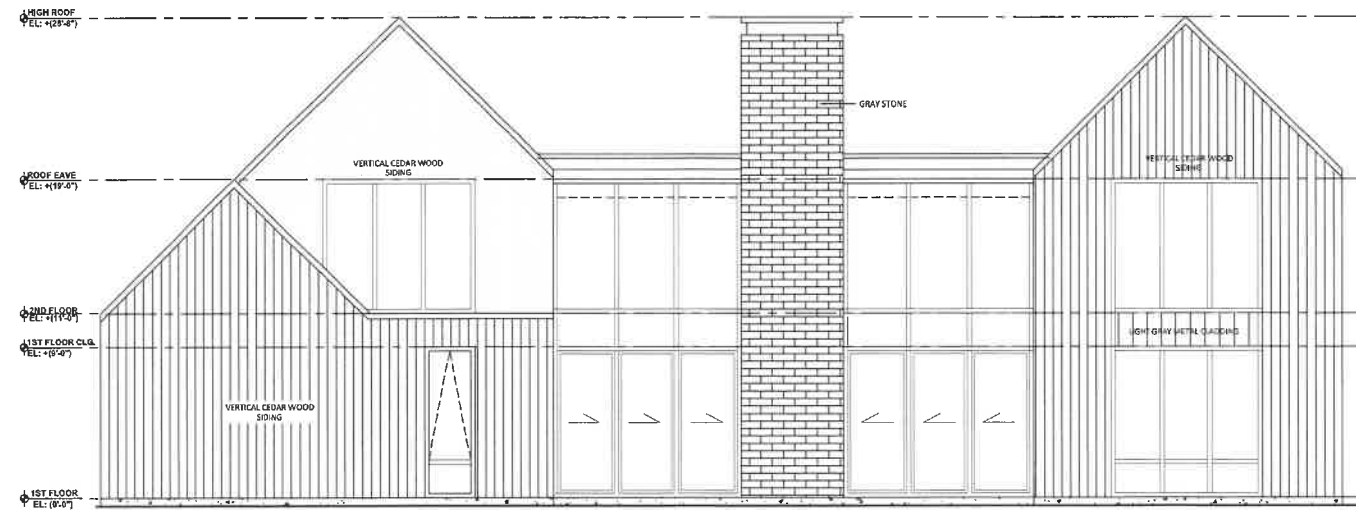
NORTH AND SOUTH ELEVATIONS



ARCHITECTURAL NORTH ELEVATION



PROPOSED NORTH ELEVATION

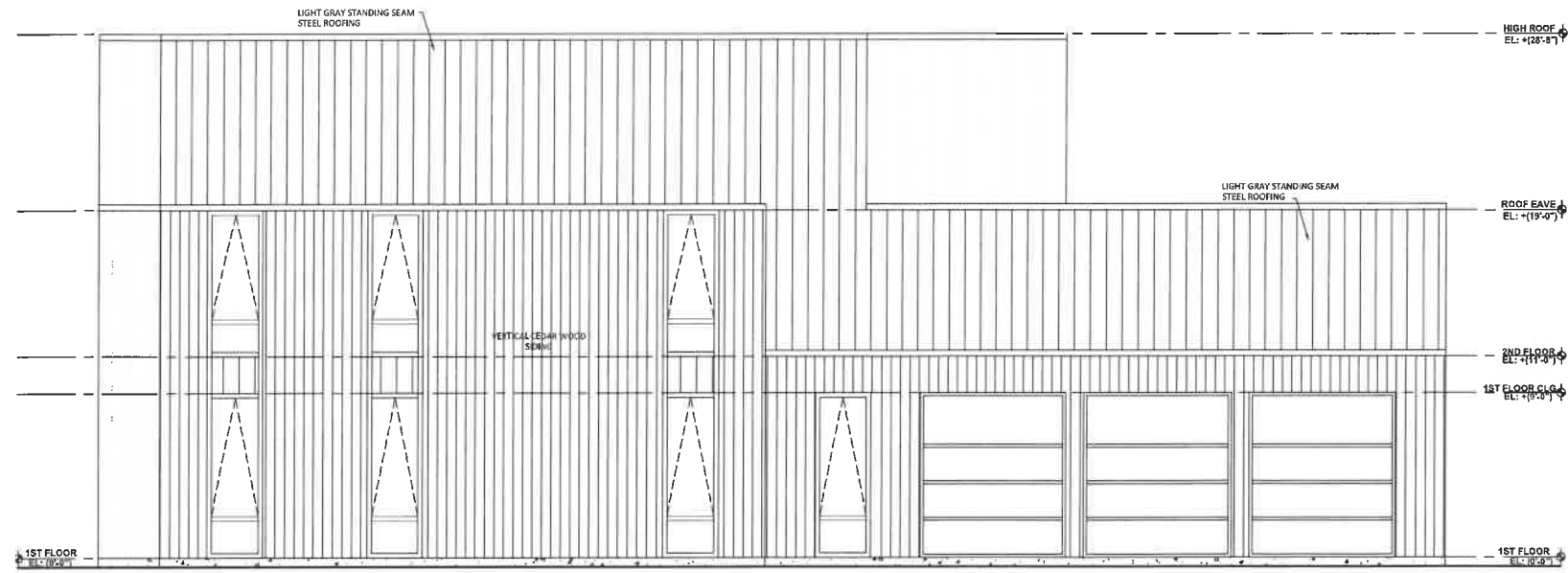


ARCHITECTURAL SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

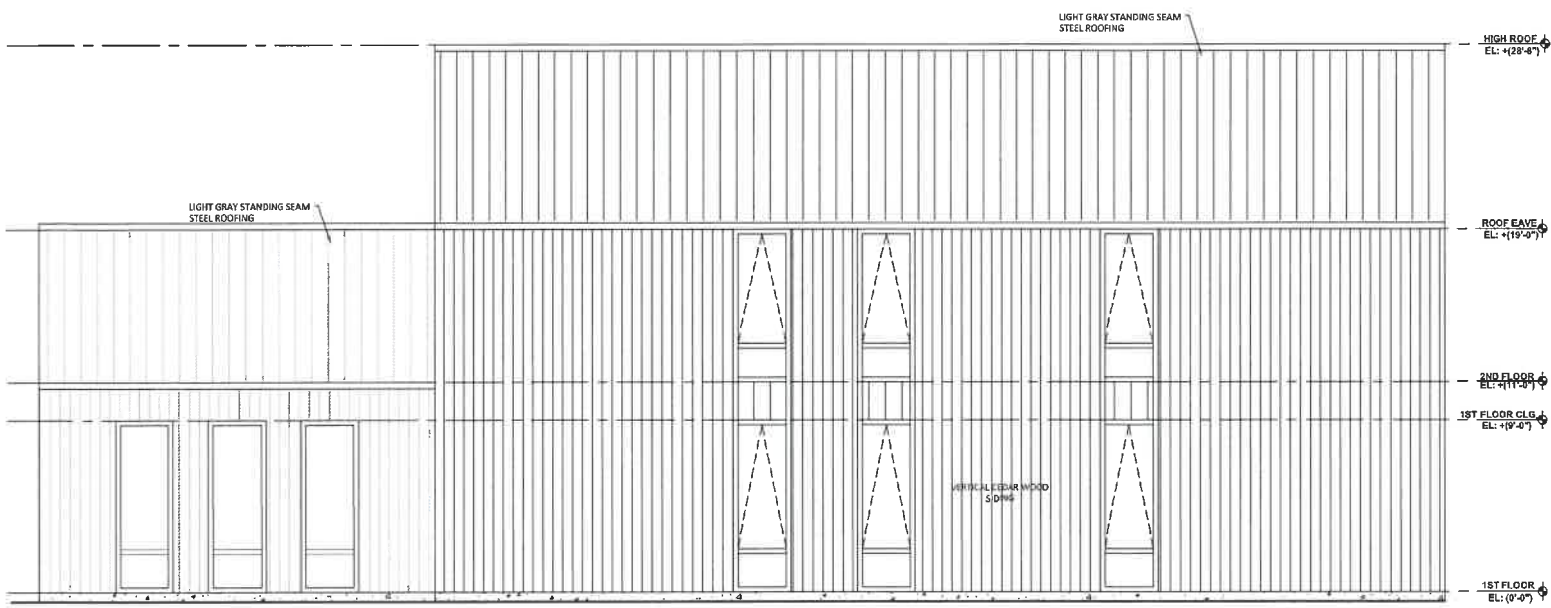
ELEVATIONS:



ARCHITECTURAL WEST ELEVATION



PROPOSED WEST ELEVATION



ARCHITECTURAL EAST ELEVATION



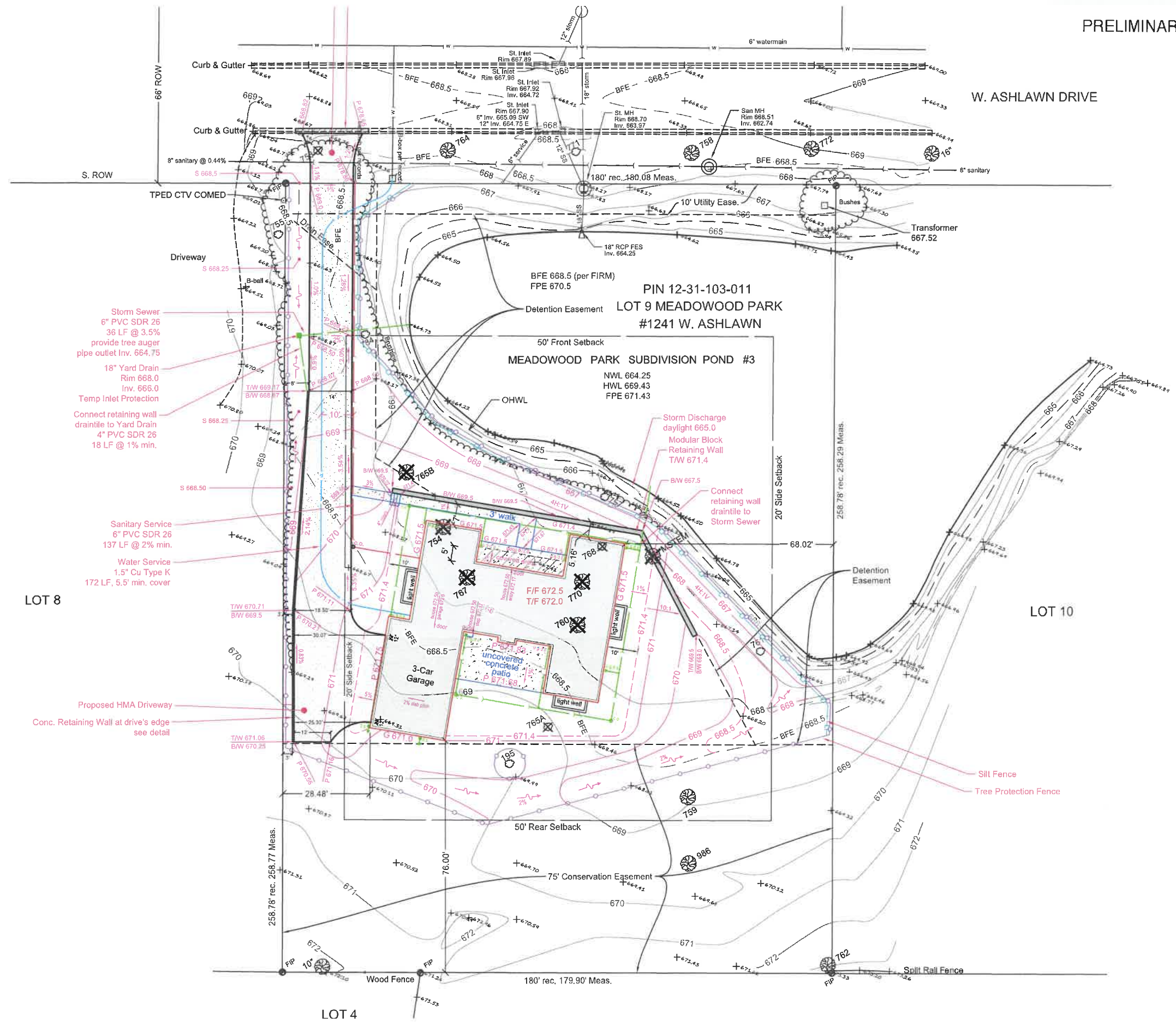
PROPOSED EAST ELEVATION

EAST AND WEST ELEVATIONS

OVERALL SITE LAYOUT

PRELIMINARY DRAINAGE PLAN

PRELIMINARY DRAINAGE AND GRADING PLAN



Storm Sewer
6" PVC SDR 26
36 LF @ 3.5%
provide tree auger
pipe outlet Inv. 664.75

18" Yard Drain
Rim 668.0
Inv. 666.0

Temp Inlet Protection

Connect retaining wall
drain tile to Yard Drain
4" PVC SDR 26
18 LF @ 1% min.

Sanitary Service
6" PVC SDR 26
137 LF @ 2% min.

Water Service
1.5" Cu Type K
172 LF, 5.5' min. cover

LOT 8

Proposed HMA Driveway

Conc. Retaining Wall at drive's edge
see detail

LOT 4

LOT 10

W. ASHLAWN DRIVE

S. ROW

TPED CTV COMED

Driveway

BFE 668.5 (per FIRM)
FPE 670.5

Detention Easement

PIN 12-31-103-011
LOT 9 MEADOWOOD PARK
#1241 W. ASHLAWN

MEADOWOOD PARK SUBDIVISION POND #3

NWL 664.25
HWL 669.43
FPE 671.43

50' Front Setback

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