

**Agenda Item 3**  
**1781 Knollwood**  
**New Single-Family Residence on a Vacant Lot**

Staff Report  
*Building Scale Summary*  
Vicinity Map  
*Air Photos*

Materials Submitted by Petitioner

Application  
Description of Materials  
Statement of Intent  
Site Plan  
Elevations  
Renderings  
Samples of Exterior Materials  
*Roof Plan*  
*Building Section*  
*Floor Plans*  
*Landscape Plan Inspiration*  
Landscape Plan  
*Tree Survey*  
*Tree Survey/ Tree Removal Plan*

Materials from the October 7<sup>th</sup> Meeting

*Excerpt of the Minutes*  
Rendering  
Site Plan  
Elevations  
Landscape Plan

*Correspondence*

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

## 1781 Knollwood Lane

**Continued consideration of a request for a recommendation in support of a new single-family residence on a vacant lot, tree removal, hardscape and landscape plans.**

**Property Owner: Yuriy Nekrasov**  
**Representative: Mathew Kerouac, Architect**

Staff Contact: Luis R. Prado, Assistant Planner

### **Summary of Request**

Continued consideration of a request for a recommendation in support of a new single-family residence on a vacant lot and the associated tree removal, hardscape, and landscape.

The Board reviewed this petition and provided comments and direction to the petitioner at the September 3<sup>rd</sup>, 2025, Building Review Board meeting. In response to the comments and direction offered by the Board, the petitioner made several changes to the design of the home. The plans are presented to the Board for further review and action.

### **Description of Property**

The property is located to the southeast of Knollwood Lane which is a short lane that extends off of Knollwood Road. The lot is 60,189 square feet, a 40-foot-wide access easement extends along the south property line and a 50 foot by 50 foot tree protection area covers the southwest corner of the property.

### **Review of the Board Comments from the Last Meeting**

A summary of the comments and direction offered at the last meeting is provided below. **Staff commentary on how the petitioner responded to the direction of the Board is in bold.**

1. Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage and porte-cochere.  
**An auto turn study has not yet been submitted however, the driveway was widened. With a maximum allowable driveway width of 16 feet within the front yard setback, the proposed driveway will need to be adjusted. At the time of submittal for permit, an auto turn study will be required.**
2. Consider any opportunity to reduce the footprint of the house and hardscape and siting of the home to reduce the number of trees that will be removed and to minimize sightlines from the rear yard of the property to the north.

- a. Shift the house towards the south property line.  
**The house is shifted 2-3 feet to the south and is now sited at the side yard setback from the south.**
  - b. Consider eliminating the hallway between the music area and the children's wing.  
**The corridor to the children's wing remains and is desired by the property owners for the purposed of creating interior courtyards.**
  - c. Consider flipping the house.  
**According to the petitioner, the house could not be flipped without compromising the desired footprint of the house. The original orientation remains.**
3. On the north elevation:
- a. Refine the front entrance.
    - i. Consider slanting the roof of the entrance.  
**The roof at the entrance is slanted.**
    - ii. Consider lowering the height of the front door/entrance.  
**The height of the front entrance and front door is lower in the new design.**
  - b. Study and refine the port-cochere to appear less heavy.
    - i. Consider lowering the height of the port-cochere.  
**The height of the port-cochere is lower, breaking up the roof form and creating a more appropriate hierarchy of massing.**
  - c. Use stone on the pillar to the left of the study.  
**The pillar is now stone.**
  - d. Modify the garage doors to avoid off site light impacts, reflectivity, and to avoid views into the garage.
    - i. Consider the use of wood garage doors, rather than glass.  
**The garage doors are now proposed as wood.**
4. Submit a basement plan.  
**The packet now includes a basement plan.**
5. Submit a more naturalized landscape design which addresses discrepancies with the tree survey and tree removal plan and demonstrates a plan for inch-for-inch replacement.  
**The landscape plan is more naturalized. It does not yet demonstrate inch for inch replacement however, the plan is more in keeping with the character of the lot. The final landscape plan must reflect the specified inch for inch replacement on the site to the extent possible using good forestry practices. Any required inches that cannot be planted on the site may be compensated through a payment in lieu of on stie planting at the City's discretion.**

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

*Site Plan – This standard is met.*

In response to comments and direction from the Board, the house is shifted to the south to the furthest extent possible, now sited at the side yard setback from the south. This new siting creates additional space between the proposed residence and the neighbor to the north, mitigating the sightlines from the rear yard of the neighboring property by allowing for additional landscape plantings.

In response to concerns regarding adequate space within the garage apron for cars to maneuver into and out of the garage, the garage apron is widened. However, the driveway within the front yard setback was also widened and will need to be adjusted to ensure that it does not exceed a width of 16 feet within the front yard setback. An auto turn study will be required along with the submittal for permit to demonstrate that there is adequate space to maneuver into and out of the garage.

The footprint of the home was not reduced however, the property is a buildable lot so it is reasonable that there will be a significant amount of tree loss. An extensive tree replacement plan will, overtime, help to restore the wooded, natural character of the area.

**Staff Recommendation:** Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage and porte-cochere.

**Staff Recommendation:** Submit a plan prepared by a Certified Arborist detailing pre and post construction treatment of trees identified for preservation both on the subject property and if appropriate, on adjacent properties if construction activity is likely to impact those trees.

*Building Massing and Height – This standard is met.*

Based on the lot size, a residence of up to 5,341 feet is permitted on the site with an allowance of 800 square feet for a garage and 534 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the

appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 5,043 square feet.
- The proposed garage totals 656 square feet.
- In addition to the above square footage, a total of 791 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 534 square feet, 256 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 5,299 square feet. That is 42 square feet or less than 1 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 20 feet as measured from the pre-existing lowest adjacent grade to the house to the tallest roof ridge and is well below the allowable height of 40 feet for the property.

*Elevations – This standard is met.*

In response to comments from the Board, the petitioner is making several changes to the original front elevation. The front door and front entrance are lower in height and the roof of the front entrance is slanted. The height of the porte-cochere is lower, the pillar to the left of the study is stone to match the pillar to the right, and the garage doors are no longer use glass. Together, these changes appear to respond to the direction provided by the Board.

*Type, color, and texture of materials – This standard is mostly met.*

The siding will be composite anthracite colored millboard and buff gray stone veneer of at least 4" in thickness. The windows will be black aluminum clad wood casement windows with no muntins. Composite trim is proposed. Natural material, such as cedar, should be used in line with past Board approvals. The chimney will be stone to match the stone accent on the elevations. The roof will be asphalt and standing seam metal roofing with 12" wide panels. Aluminum gutters and downspouts are proposed. The driveway will be asphalt and the patios and front walkway will be bluestone.

Images of the proposed exterior materials are provided in the packet: roof material, 4-inch veneer stone, composite siding, and garage doors. In response to comments from the Board, the garage door design no longer contains glass.

**Staff Recommendation:** Use a natural material for the trim, such as cedar.

*Landscaping – This standard is mostly met.*

The proposed landscape plan appears to meet the minimum requirements for new homes. In response to the direction of the Board, a more naturalized approach is now considered.

According to the tree removal plan, 40 trees are proposed for removal, including a significant number of healthy oaks and hickories. The current plan does not adequately demonstrate inch-for-inch replacement of these removals, with some deduction provided given the wooded character of the buildable lot. It is acknowledged that a reasonable number of trees must be removed to accommodate a home on the site. A revised plan should show how the replacement inches will be replanted consistent with good forestry practices. If all required replacement inches cannot be accommodated on the site, at the City's discretion, a payment in lieu of on site planting may be accepted.

The final landscape plan will be subject to staff review and approval prior to the issuance of building permits.

**Staff Recommendation:** Provide a revised plan demonstrating inch-for-inch replacement of trees proposed for removal. A determination of the require replacement inches will be made by the City based on the final tree survey and tree removal/impact plan.

### **Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, one letter was received and is included in the Board's packet. Written and verbal testimony was presented at the previous meeting. Minutes from the meeting are provided in the Board's packet.

### **Recommendation**

Recommend approval of a new single-family residence and hardscape and landscape plans on a vacant lot subject to the following conditions of approval.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested.
  - a. Submit an auto turn study prepared by a licensed engineer to demonstrate sufficient space for vehicles turning into and pulling out of the garage and porte-cochere.
  - b. Submit a plan prepared by a Certified Arborist detailing pre and post construction treatment of trees identified for preservation.

- c. Specify on the plans that the trim will be a natural material.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

*Tree Removal and Landscaping*

- a. An existing tree survey shall be submitted detailing the species, size, and condition, of all trees and all tree removals proposed. The removals will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees identified for protection and preservation and shall correlate with the drainage and grading plan.

A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction. The plan shall also describe pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.

Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and incorporate replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. The plan must include inch-for-inch replacement of trees proposed for removal as directed by the City.

*Drainage and Grading*

- b. Detailed drainage and grading plans must be submitted.  
**Grading or filling is limited to the minimum necessary** to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed

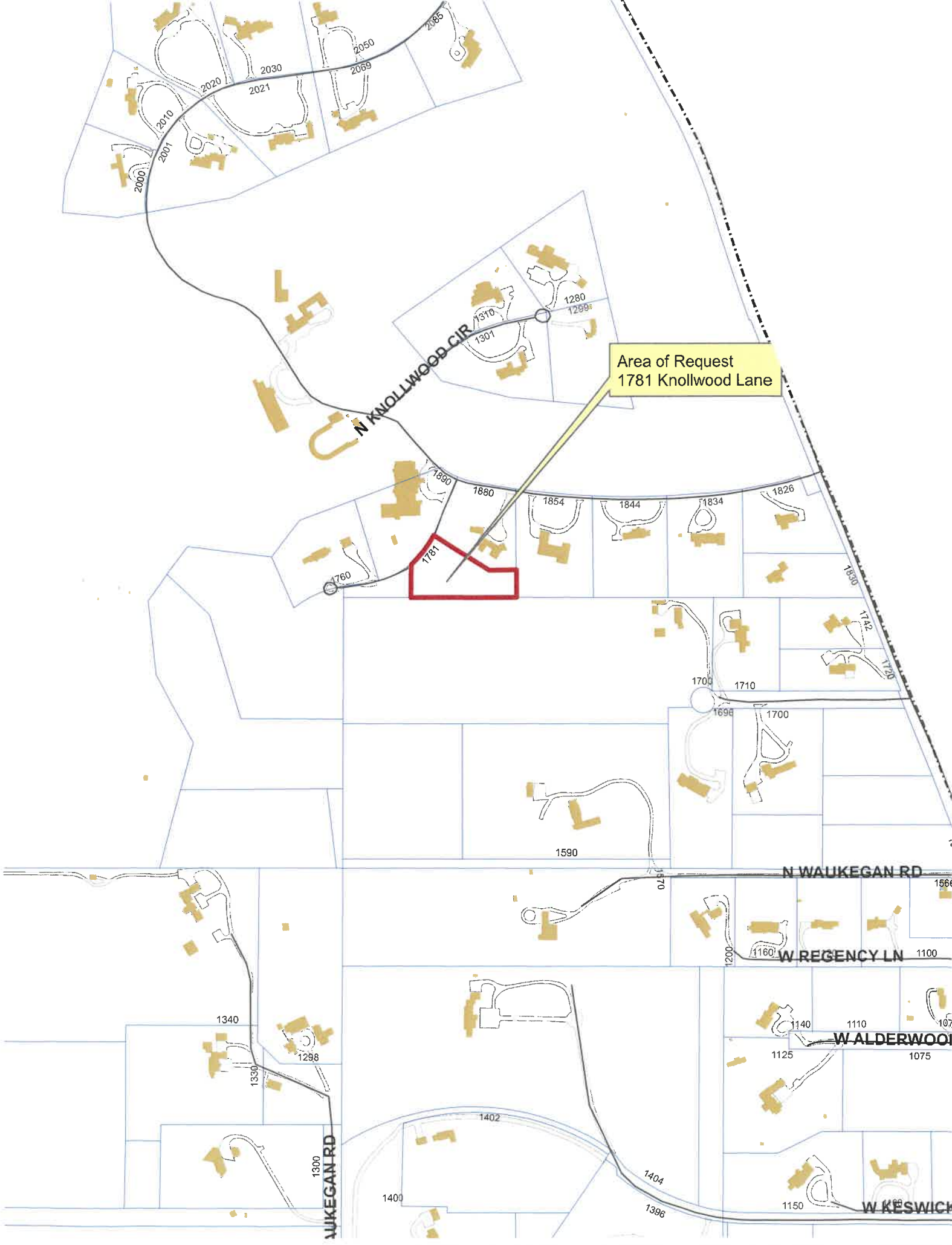
to avoid increasing stormwater runoff on to neighboring properties.

*Exterior Lighting*

- c. Details of all proposed exterior lighting on the residence and on the property shall be detailed on the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

*Construction Parking, Staging, and Tree Protection*

- d. A plan for contractor parking and material and equipment staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No parking or staging of construction vehicles is permitted on Knollwood Lane.





**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1781 KNOLLWOOD LANE

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

YURIY NEKRASOV  
Owner of Property

603 MARION AVE.  
Owner's Street Address (may be different from project address)

LAKE FOREST, IL 60045  
City, State and Zip Code

847.707.7532  
Phone Number

NKRSV28 @ GMAIL.COM  
Email Address

[Signature]  
Owner's Signature

**ARCHITECT/BUILDER INFORMATION**

MATTHEW KEROUAC, PRESIDENT  
Name and Title of Person Presenting Project

MATTHEW KEROUAC ARCHITECT, LTD  
Name of Firm

214 W. HANTHORNE CT.  
Street Address

LAKE BLUFF, IL 60044  
City, State and Zip Code

708.254.7903  
Phone Number

MJKEROUAC @ YAHOO.COM  
Email Address

[Signature]  
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Facade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding                                      |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding   |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco                                     |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>COMPOSITE SIDING - MILLBOARD</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_  
Color of Material 4" STONE: BUFF/GREY  
COMPOSITE SIDING: ANTHRACITE

**Window Treatment**

**Primary Window Type**

- Double Hung  
 Casement  
 Sliding  
 Other \_\_\_\_\_

**Finish and Color of Windows**

- Wood (recommended)  
 Aluminum Clad  
 Vinyl Clad  
 Other \_\_\_\_\_

Color of Finish BLACK

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other COMPOSITE TRIM

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other COMPOSITE TRIM

**Fascias, Soffits, Rakeboards**

- Wood  
 Other COMPOSITE TRIM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
*DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED*

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles DIMENSIONAL ASPHALT
- Sheet Metal 12" o.c. SEAM
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other \_\_\_\_\_

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

**MATTHEW KEROUAC ARCHITECT, LTD**  
314 W. Hawthorne Ct., Lake Bluff, IL 60044 708.254.7903 (cell)  
mjkerouac@yahoo.com

BUILDING REVIEW BOARD  
BRB RESPONSE  
1781 KNOLLWOOD LANE, LAKE FOREST

September 22, 2025

Chairman and Members of the Building Review Board  
The City of Lake Forest  
800 Field Drive  
Lake Forest, IL 60045

Dear Chairman and the Members of the Building Review Board,

Response to Board comments:

Item 1. Building relationship to neighboring property to the north.

Response: Proposed residence was moved towards the south lot line.

Item 2. Frosted glass at garage doors may create light pollution.

Response: All glass was eliminated from the garage doors.

Item 3. Roof canopy at entry was too flat.

Response: Roof canopy at entry was pitched to create a steeper slope.

Item 4. Entry door may have too much glass.

Response: Entry canopy was lowered, entry door transom was eliminated.

Item 5. Post at corner window creates an awkward relationship to the stone wall above.

Response: Post detail was eliminated, window is centered on the stone wall.

Item 6. Driveway requires turn-around study.

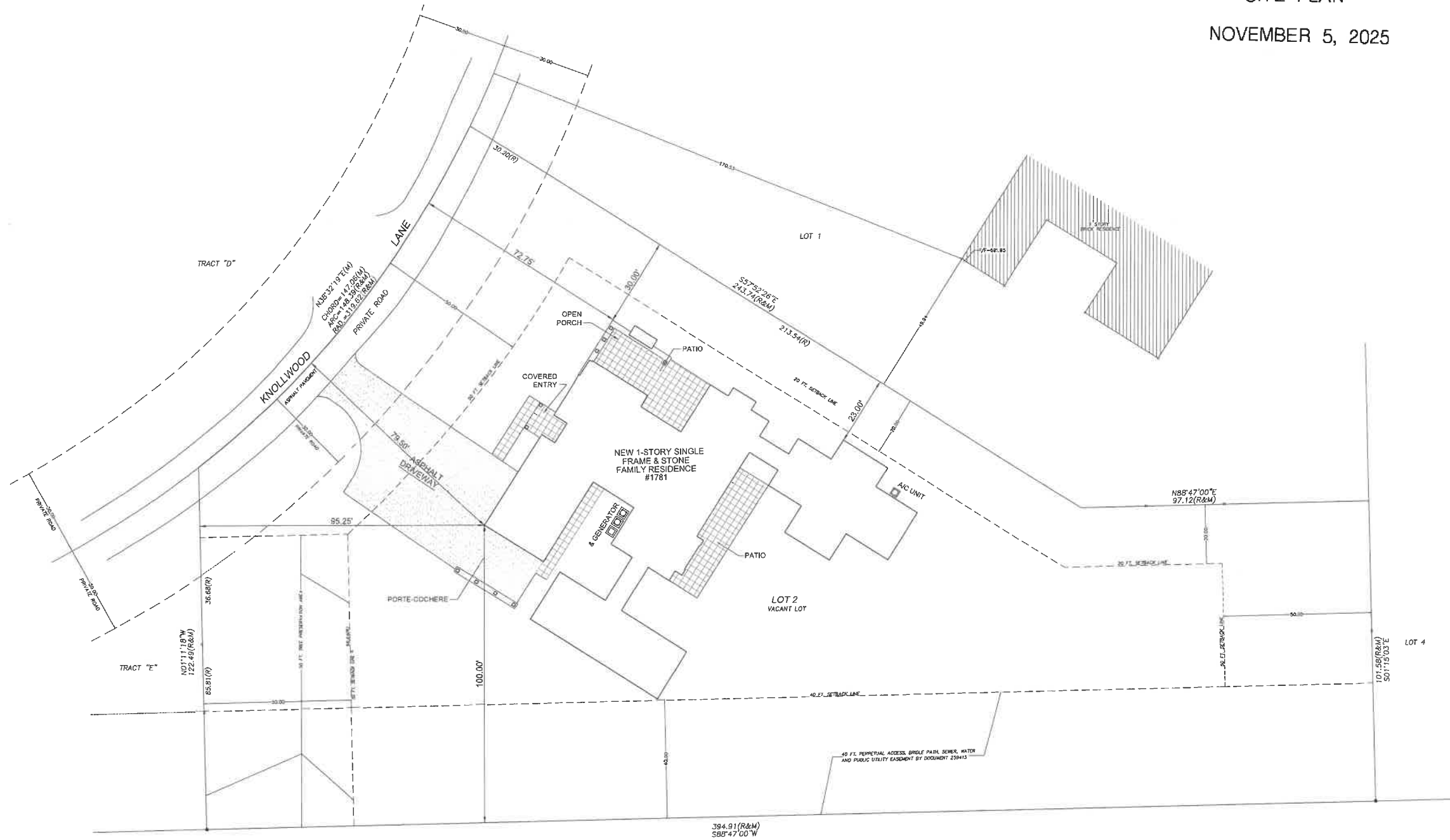
Response: Driveway study was completed - provided new driveway layout.

Item 7. Landscape plan requires new design - more "natural" landscape to be implemented.

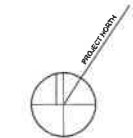
Response: New "natural" landscape plan was designed.

1781 Knollwood Lane  
Lake Forest, IL 60045

SITE PLAN  
NOVEMBER 5, 2025



1 SITE PLAN  
NTS



SITE DATA TABLE

TOTAL PROPERTY AREA:	60,189.00 S.F.
PROPOSED IMPERVIOUS COVERAGE:	10,457.00 S.F.
PERCENT IMPERVIOUS COVERAGE:	17.40 %

MATTHEW KEROUAC ARCHITECT, LTD

314 W. HAYTHORNE CT., LAKE BLUFF, IL  
708.254.7903  
MKEROUAC@YAHOO.COM  
B0044

NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

SITE PLAN

REV.	DATE	ISSUE
01	07.22.25	ISSUE REVIEW
02	09.18.25	ISSUE REVIEW, NO. 2
03	10.15.25	ISSUE REVIEW, NO. 3

A0.1

PROJECT NO. 2498

PROPOSED  
WEST AND NORTH ELEVATIONS  
NOVEMBER 5, 2025

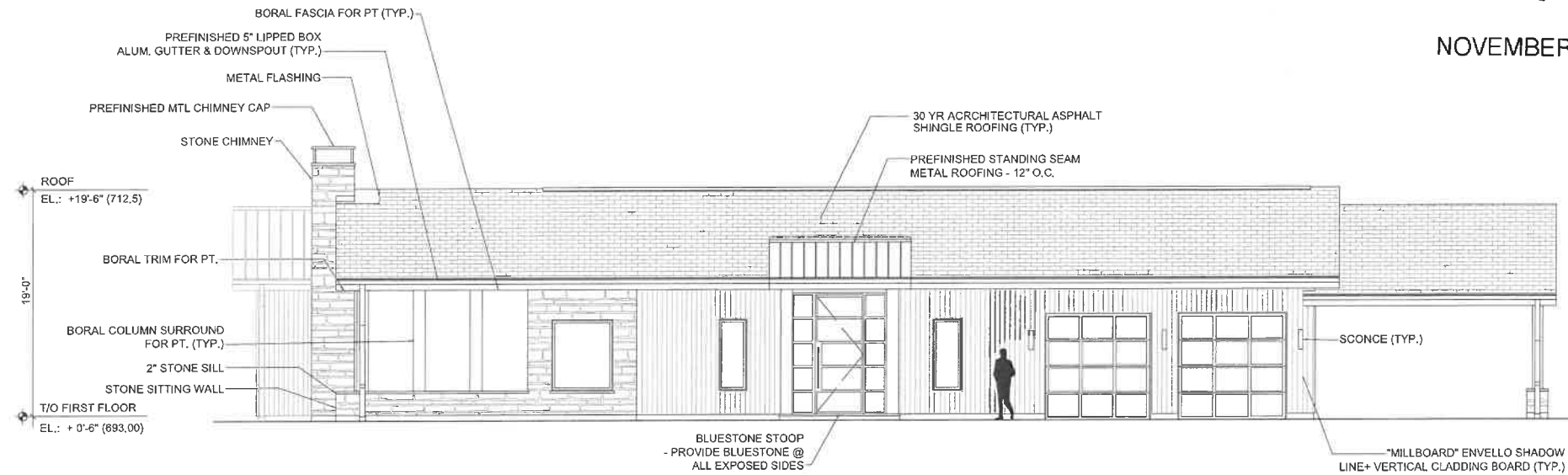
TECT, LTD  
MATTHEW KEROUAI

314 W. HAWTHORNE CT. LAKE BLUFF, IL 60044  
708.254.7803  
M.KEROUAI@YAHOO.COM

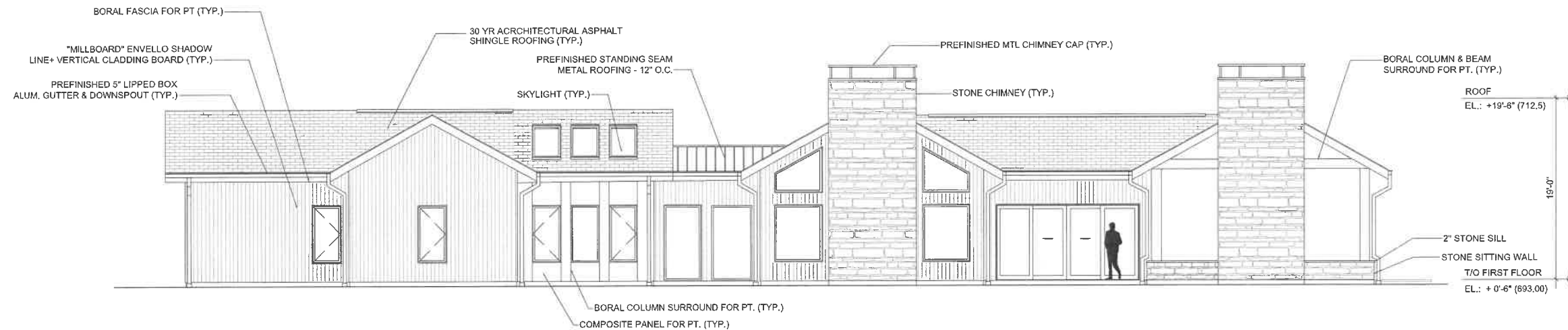
NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS



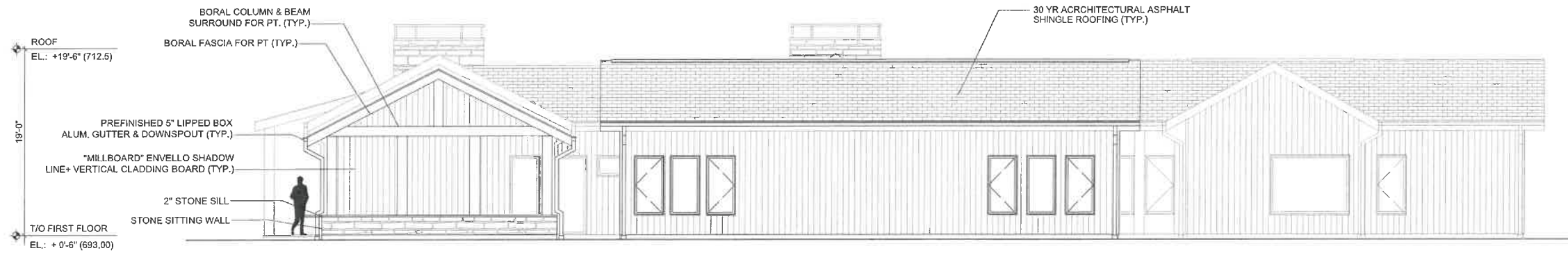
1 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"

REV.	DATE	ISSUE
01	20.22.25	30% SURVEY
02	20.18.25	30% REVIEW REV. NO. 2
03	11.18.25	30% REVIEW REV. NO. 3

PROPOSED  
SOUTH ELEVATION  
NOVEMBER 5, 2025



ROOF  
EL.: +19'-6" (712.5)

19'-0"

T/O FIRST FLOOR  
EL.: +0'-6" (693.00)

1 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"



ROOF  
EL.: +19'-6" (712.5)

19'-0"

T/O FIRST FLOOR  
EL.: +0'-6" (693.00)

2 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"

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708.254.7893 M.KEROUAC@YA-HOO.COM

NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
01	07.22.25	ISS. APPROVED
02	09.23.25	ISS. REVIEW REV. NO. 1
03	11.18.25	ISS. REVIEW REV. NO. 2

A2.3

PROJECT NO. 2488

PROPOSED  
WEST AND SOUTH ELEVATIONS  
NOVEMBER 5, 2025

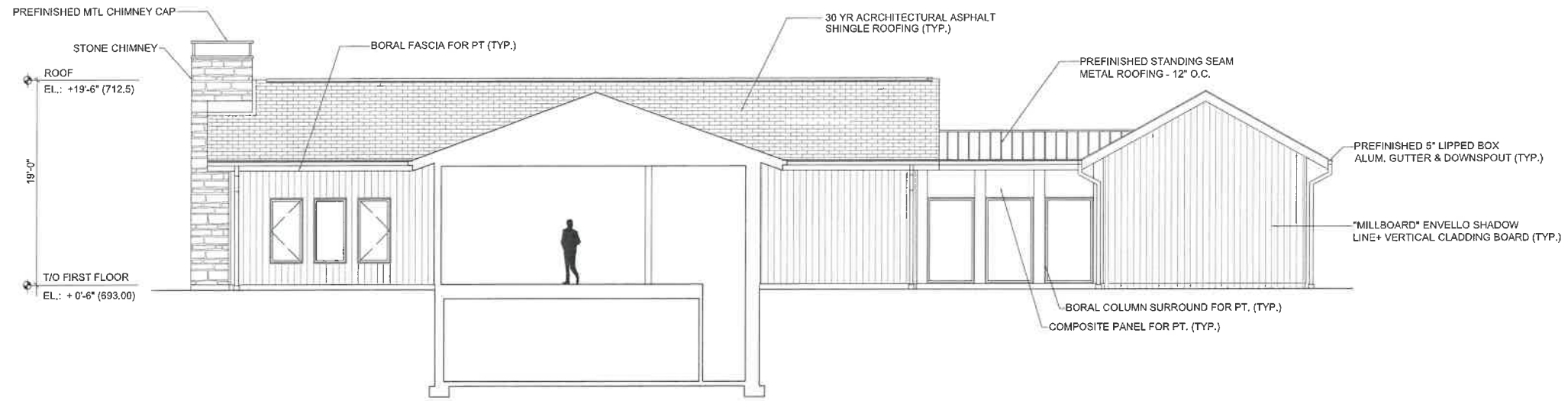
ECT, LTD  
MATTHEW KEROUAC

314 W. HAYTHORNE CT. LAKE BLUFF, IL 60044  
708.254.7903  
MIKEROUAC@YAHOO.COM

NEKRASOV RESIDENCE

1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS



1 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"

REV	DATE	ISSUE
01	11.05.25	ISSUE NO. 001
02	11.14.25	ISSUE REVIEW NO. 1
03	11.18.25	ISSUE REVIEW NO. 2

PROPOSED  
EAST ELEVATION  
NOVEMBER 5, 2025



1 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"

MATTHEW KEROUAC ARCHITECT, LTD  
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M.KEROUAC@YAHOO.COM

NEKRASOV RESIDENCE  
1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
01	02.25.25	ISSUE NO. 1
02	09.14.25	ISSUE NO. 2
03	10.18.25	ISSUE NO. 3

RENDERING - WEST ELEVATION

NOVEMBER 5, 2025



EXTERIOR ELEVATION - WEST



EXTERIOR ELEVATION - NORTH -WEST



EXTERIOR ELEVATION - EAST

RENDERING - SOUTHEAST ELEVATION

NOVEMBER 5, 2025



EXTERIOR ELEVATION - SOUTH - EAST

RENDERING – SOUTHWEST ELEVATION

NOVEMBER 5, 2025



EXTERIOR ELEVATION - SOUTH WEST



STANDING SEAM METAL ROOF



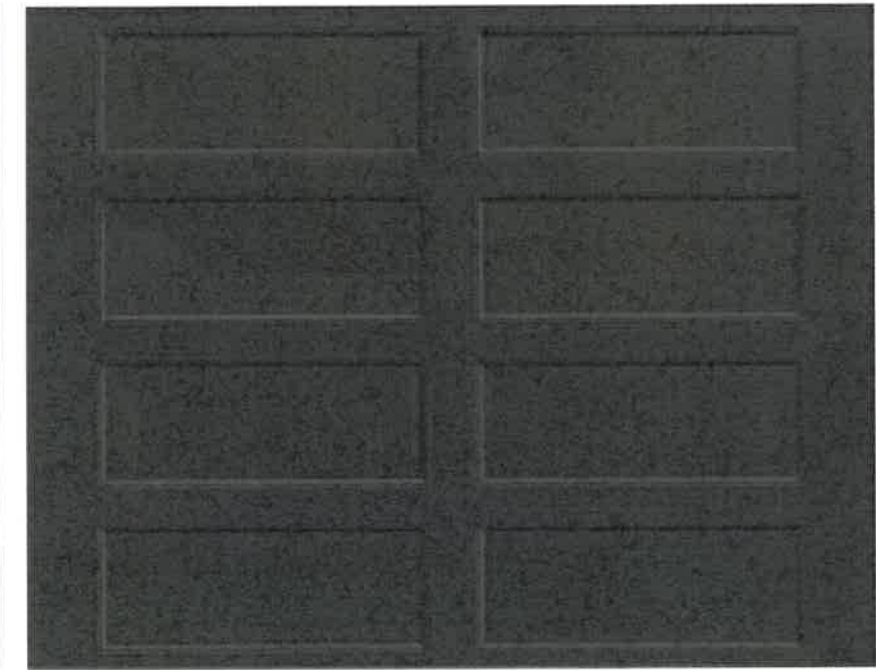
ASPHALT SHINGLE ROOFING



4" STONE VENEER



COMPOSITE SIDING



GARAGE DOOR

# MATERIAL SAMPLES



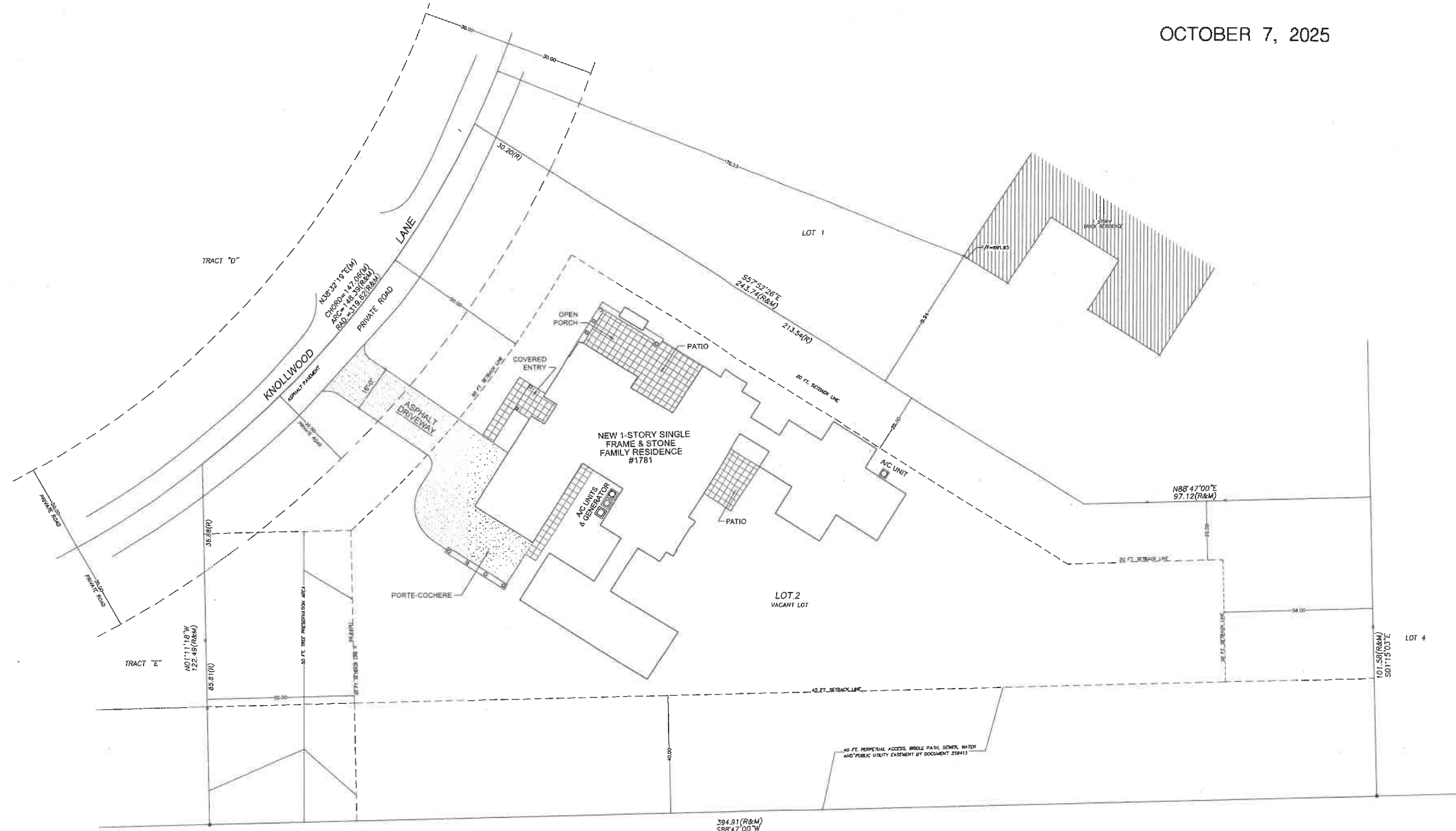
## **Materials from the October 7<sup>th</sup> Meeting**

RENDERING - WEST ELEVATION

OCTOBER 7, 2025



SITE PLAN  
OCTOBER 7, 2025



1 SITE PLAN  
NTS



**SITE DATA TABLE**

TOTAL PROPERTY AREA:	60,189.00 S.F.
PROPOSED IMPERVIOUS COVERAGE:	9,021.00 S.F.
PERCENT IMPERVIOUS COVERAGE:	14.98 %

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**NEKRASOV RESIDENCE**  
1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

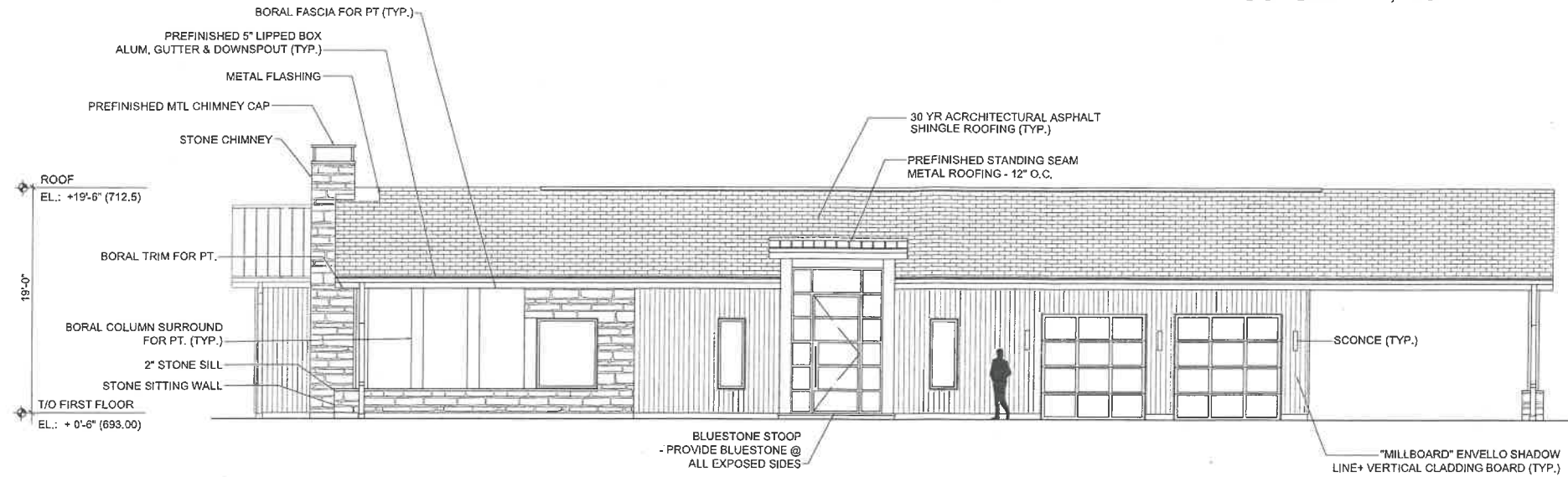
**SITE PLAN**

REV.	DATE	ISSUE

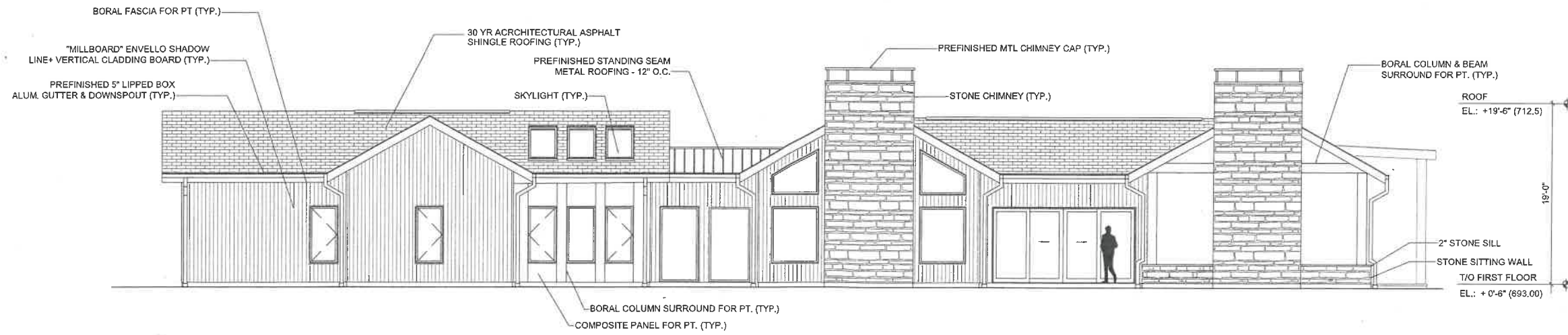
**A0.1**  
PROJECT NO. 2488

WEST AND NORTH ELEVATIONS

OCTOBER 7, 2025



1 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"

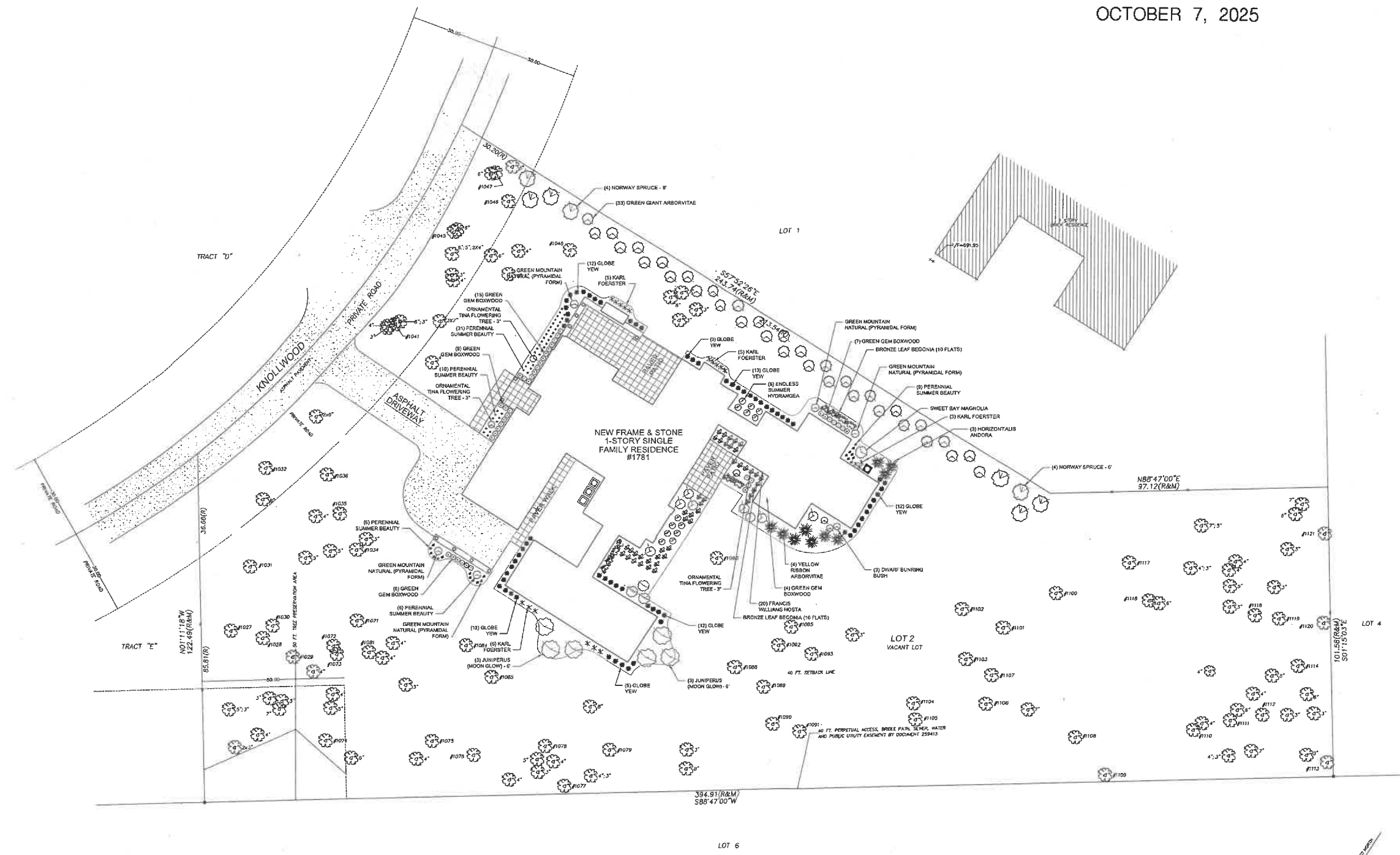
MATTHEW KEROUAC ARCHITECT, LTD  
314 W. HAWTHORNE CT. LAKE BLUFF, IL 60044  
708.254.7503  
M.KEROUAC@YAHOO.COM

NEKRASOV RESIDENCE  
1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

EXTERIOR ELEVATIONS

REV.	DATE	ISSUE
01	07.20.25	3-D REVIEW

LANDSCAPE PLAN  
OCTOBER 7, 2025



1 LANDSCAPE PLAN  
NTS



MATTHEW KEROUJAC ARCHITECT, LTD  
314 W. HAWTHORNE CT. LAKE BLUFF, IL  
708.254.7903  
M.KEROUJAC@YAHOO.COM  
80044

NEKRASOV RESIDENCE  
1781 KNOLLWOOD LANE  
LAKE FOREST, IL 60045

LANDSCAPE PLAN

REV.	DATE	ISSUE
01	07.25.25	ISSUE FOR REVIEW

**Agenda Item 4**  
**290, 300, 320 and 340 Majestic Oak Court**  
**New Single-Family Residences**

Staff Report  
Vicinity Map  
*Air Photo*

Materials from the April 3, 2024 Meeting  
Elevations

*Correspondence*  
*HOA Approvals*

Materials Submitted by Petitioner  
**290 Majestic Oak Court**  
**300 Majestic Oak Court**  
**320 Majestic Oak Court**  
**340 Majestic Oak Court**

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**Westleigh Farm Subdivision – Custom Home Lots (South)  
290, 300, 320 and 340 Majestic Oak Court**

**Presentation of design concepts for four new homes for initial input and Board direction.**

**Property Owners: Elite Development Group (Bartek Skrzynecki 50% and Grzegorz Malicki 50%) and 270-290 Majestic Court LLC (Marcin Kopacz 50% and John Lawson 50%)**

**Project Representative: Paul Szurley, President of SP Group Pro Inc**

Staff Contact: Luis Prado, Assistant Planner

**Summary of Request**

This is a request for input and direction on preliminary design concepts for four new homes in the Westleigh Farms Subdivision.

**Description of Property**

The four properties that are the subject of this petition were created through the Westleigh Farm Subdivision which was approved in 2017. The subdivision plat established 26 lots in the northern portion of the subdivision ringing the preserved open space in the center which slopes down to a pond. Several years ago, the Building Review Board approved a series of model homes with variations for the 26 homes. These homes were constructed, sold, and are occupied. The building style of the houses in the northern portion of the subdivision is described as Vernacular Farmhouse with Classical Colonial Revival and Traditional European influence.

The properties in this petition are four of seven lots in the Westleigh Farm Subdivision identified for custom homes. The seven lots platted in the southern portion of this subdivision are located along the west side of Majestic Oak Court, to the north and south of the original house on the property, 250 Majestic Oak Court, an historic home that is designated as a Local Historic Landmark. This residence, the Charles Garfield King Estate, was originally designed by Howard Van Doren Shaw. The discussions at the time of approval of the subdivision of the property contemplated that the seven custom homes would be inspired and defer in some way to the historic residence.

In May of 2024, homes for the properties addressed as 210, 230, and 270 Majestic Oak Court were approved by the Building Review Board. These homes were presented by the original developer of the subdivision, William Ryan Homes, and reflect a variety of architectural styles as described by the developer as Equestrian Farm Style, New England Colonial and French Provincial. These homes are currently under construction. Elevations of the homes can be found in the Board packet.

The four properties now under consideration were sold by the original developer to a subsequent developer who is presenting the concepts for the remaining four lots at the south end of the subdivision.

### **Staff Review of Standards – Evaluation, Comments, and Recommendations**

Below is staff commentary regarding the standards of review applied to Building Review Board petitions. The comments apply to all four proposed homes. Many of these comments were shared with the petitioner during predevelopment meetings with the petitioner. Board input is requested at this early stage in an effort to assist the new developer in moving the process forward.

#### Site Plan

- **Maximum allowable driveway width of 16 feet within the front yard setback**  
It appears that the driveway widths exceed the allowable maximum width of 16 feet within the front yard setback of the properties. The width of the driveways within the front yard setback should be dimensioned as 16 feet or less in width.
- **Distance of the driveways to the property lines**  
The distance between the driveway and the closest property line should be shown. This should demonstrate that the driveway does not encroach into the extended side yard setback and that there is sufficient space for drainage and landscape screening across from the garage doors of side loading garages.
- **Turn around space within the garage aprons**  
Auto turn studies prepared by a licensed engineer are required to demonstrate sufficient space for vehicles turning into and pulling out of the garages.

#### Building Massing and Height

- **Third floor space**  
Plans should be submitted with sufficient detail to allow square footage calculations consistent with the methodology in the City Code. Dimensioned plans identifying both the second floor and third floor calculation lines on the elevations, floor plans and roof plan are required.
- **Maximum height**  
All four homes are proposed at the maximum height of 35 feet. During construction, as-built drawings will be required to assure that the maximum permitted building height of 35 feet is not exceeded as measured from the lowest point of existing adjacent grade to the tallest peak of the roof and that the construction is in conformance with the approved plans.

#### Elevations

- **Diversity of architectural styles**  
The statements of intent describe one of the architectural styles (290 Majestic Oak Court) as Modern Farmhouse and the remaining three as Transitional Contemporary. To better align with the intended character of this area of the

Westleigh Farm Subdivision as individually designed custom homes, a greater diversity in architectural style should be explored.

- **Simplification of massing and roof forms, including overlapping gables**  
The City's Residential Design Guidelines emphasize simplicity of massing and roof forms. Across the elevations of the proposed homes, there are several instances of complex massing and roof forms, particularly on the front elevations of the homes. Elimination of overlapping gables should be explored.
- **Balance of windows to solid wall massing**  
The City's Residential Design Guidelines specify a regular pattern of windows and balanced proportions between openings and solid walls. The elevations as currently proposed reflect areas of extensive solids. Further study and refinement of the elevations is needed to improve the balance of solids and voids, particularly on the side elevations.

#### Type, color, and texture of materials

- **Color palette**  
290 Majestic Oak presents a stark, black and white color palette which appears inconsistent with the character of the historic home and other homes in the immediate area. The color palettes of the other homes, appear softer than the color palette proposed for 290 Majestic Oak Court however, additional detail is needed to understand the colors of the various proposed materials. The description of exterior materials is required for each house and samples should be presented at the meeting.
- **Natural trim**  
Natural material, cedar, should be used in line with past Board approvals.
- **Window specifications**  
Wood aluminum clad windows with simulated divided lites with interior and exterior muntin bars affixed should be specified.
- **Brick and stone specification of a minimum of 4" in thickness**  
The stone and brick should be specified as having a minimum thickness of 4". Material samples should be brought to the meeting.

#### Landscaping

- **Tree survey**  
Submit a tree survey prepared by a Certified Arborist documenting the existing trees, including the size, species, and health of each tree.
- **Inch for inch replacement**  
While the proposed plans appear to meet the minimum criteria for new construction, the plans do not demonstrate the additional inch for inch replacement of trees proposed for removal. A revised landscape plan should demonstrate inch-for-inch replacement of trees on site or in the immediate vicinity, along the private road, to compensate for trees proposed for removal.

➤ **Landscape screening**

Landscape screening should be planted at the apron of the side load garages to screen neighboring properties from headlights and back up lights.

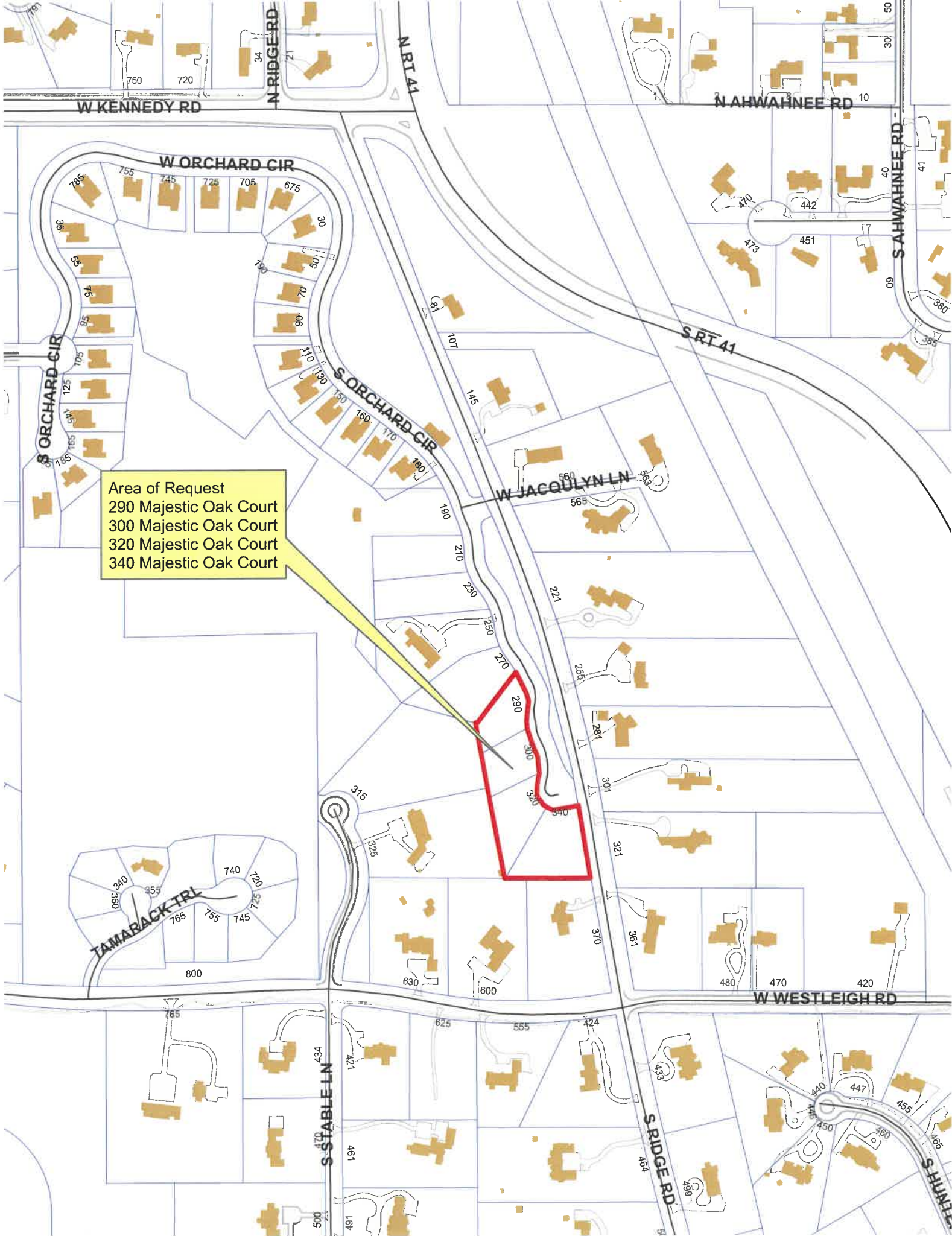
Landscape screening should be reflected along Ridge Road to maintain the landscape dominate character of the streetscape.

**Public Comment**

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, the City has received a letter of approval from the HOA for each property.

**Recommendations**

**Recommend continuation of the petition with direction to the petitioner to make refinements in response to the Board's questions and comments and to the comments presented in the staff report.**



Area of Request  
290 Majestic Oak Court  
300 Majestic Oak Court  
320 Majestic Oak Court  
340 Majestic Oak Court



Area of Request  
290 Majestic Oak Court  
300 Majestic Oak Court  
320 Majestic Oak Court  
340 Majestic Oak Court

## **Materials from the April 3, 2024 Meeting**

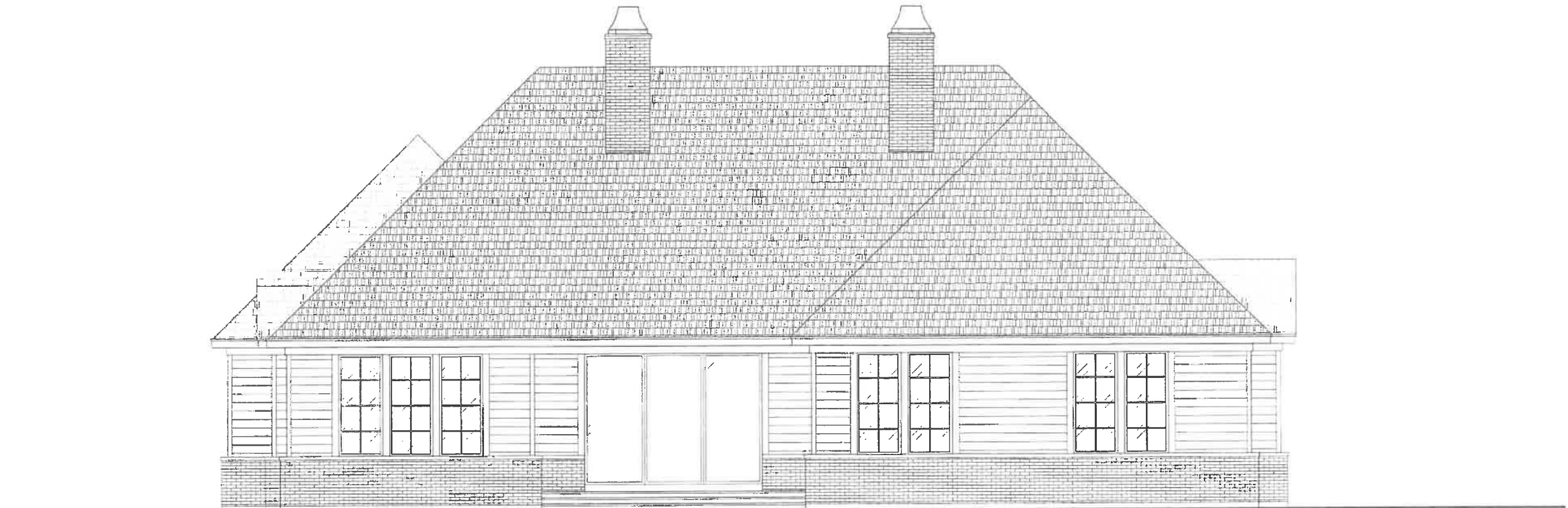
210 MAJESTIC OAK

APRIL 3, 2024



**Lot 27 - Front Elevation**

SCALE: 1/8"=1'-0"



**Lot 27 - Rear Elevation**

SCALE: 1/8"=1'-0"

230 MAJESTIC OAK

APRIL 3, 2024

Architectural drawing of the front elevation of Lot 28. The house features a gabled roof with four dormer windows. The main level has a central double door and two pairs of windows. A stone foundation is visible at the base.

**Lot 28 - Front Elevation**

SCALE: 1/8"=1'-0"

Architectural drawing of the rear elevation of Lot 28. The house features a gabled roof with a chimney on the right side. The main level has a large double door and two pairs of windows. A stone foundation is visible at the base.

**Lot 28 - Rear Elevation**

SCALE: 1/8"=1'-0"

270 MAJESTIC OAK

APRIL 3, 2024



**Lot 30 - Front Elevation**

SCALE: 1/8"=1'-0"



**Lot 30 - Rear Elevation**

SCALE: 1/8"=1'-0"

## **290 Majestic Oak**

Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Elevations

Samples of Materials

Rendering

*Roof Plan*

*Building Section*

*Floor Plans*

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Grading Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET**

Address 290 Majestic Oak Owner Marcin Kopacz and John Lawson

Representative Paul Szurley Reviewed by: L. Prado

Date 11.5.2025

Lot Area 20313 sq. ft. Allowed Square Footage 4016

**Square Footage of Residence**

1st floor 1702 + 2nd floor 2019 + 3rd floor 0 = 3721 sq. ft.

Design Element Allowance = 402 sq. ft.

Total Actual Design Elements = 352 sq. ft. Excess = 0 sq. ft.

Garage 600 sf actual ; 886 sf allowance Excess = 286 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Residence** = 4007 sq. ft.

**TOTAL SQUARE FOOTAGE** = 4007 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 9 sq. ft.

**DIFFERENTIAL** = 7 sq. ft. **NET RESULT:**  
**Under Maximum**

7 sq. ft. is

Allowable Height: 35 ft. Actual Height 35.0 ft. less than 1% under **Max. allowed**

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 402 sq. ft.

- Open Porches = 109 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 0 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 243 sq. ft.
- Dormers = 0 sq. ft.
- Bay Windows = 0 sq. ft.

**Total Actual Design Elements** = 352 sq. ft.

**Excess Design Elements** = 286 sq. ft.



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 290 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

**ARCHITECT/BUILDER INFORMATION**

270-290 MAJESTIC OAK LLC PAUL - PRESIDENT  
*Owner of Property* *Name and Title of Person Presenting Project*

8230 AUSTIN AVE SP GROUP PRO INC  
*Owner's Street Address (may be different from project address)* *Name of Firm*

MORTON GROVE IL 60053 1970 S. GOEBBERT RD  
*City, State and Zip Code* *Street Address*

773-727-8546 ARLINGTON HTS IL 60005  
*Phone Number* *Fax Number* *City, State and Zip Code*

MARCIN.DYNAMIC.GROUP@GMAIL.COM 847-323-9948  
*Email Address* *Phone Number* *Fax Number*

SPGROUPPRO@GMAIL.COM  
*Email Address*

*[Signature]*  
*Owner's Signature*

*[Signature]*  
*Representative's Signature (Architect/ Builder)*

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Date: 10/21/2025

## Statement of Intent for Proposed Residential Design

Project Address: **290 MAJESTIC OAK CT.**

Prepared by: **SP Group Pro.**

This Statement of Intent is submitted in support of the proposed residential design at 290 Forest Edge, Lake Forest, Illinois. The project reflects a thoughtful integration of modern farmhouse architecture with builder-informed design standards that define today's most desirable and market-responsive homes. The residence is designed to harmonize with the Forest Edge neighborhood while embracing the materials, forms, and spatial efficiencies actively seen in new construction across Lake Forest and surrounding communities.

### Architectural Style and Builder-Informed Design Characteristics

The proposed residence is a Modern Farmhouse, a style that has become a cornerstone of contemporary suburban development. It blends traditional rural forms with clean, modern detailing, offering timeless curb appeal and functional elegance. This architectural language is widely adopted by builders for its versatility, marketability, and enduring aesthetic.

### Key builder-driven features include:

- **Prominent Gabled Rooflines:** Multiple gables with dark asphalt shingles create architectural rhythm and visual interest while supporting efficient roof framing and drainage.
- **White Board and Batten Siding:** A signature element of modern farmhouse design, this siding offers texture, simplicity, and broad buyer appeal. It pairs well with stone veneer accents for a grounded, durable base.
- **Oversized Black-Framed Windows:** Vertically proportioned windows provide generous natural light and a sleek contemporary look. These are now standard in premium builds for both aesthetic and energy efficiency.
- **Defined Entryway with Porch and Metal Roof Accent:** The recessed front door is sheltered by a covered porch with a standing seam metal roof—an increasingly popular builder detail that adds character and weather protection.
- **Structured Landscaping:** The front yard features manicured lawns, ornamental shrubs, flowering plants, and decorative rockwork. These elements mirror landscaping strategies used in new construction developments to enhance curb appeal and site integration.

### **Market Alignment and Design Objectives**

This residence reflects what is actively being built, marketed, and sold in today's residential landscape particularly in high-demand suburban communities like Lake Forest. The design aligns with buyer expectations for:

- Open, light-filled interiors
- Low-maintenance exterior materials
- Energy-efficient fenestration
- Harmonious blend of traditional and modern elements
- Thoughtful site integration and curb appeal

This residence is designed to meet those expectations while respecting the architectural character of the Forest Edge neighborhood. It is not speculative, it is representative of what is being built and sold today, ensuring both community compatibility and long-term value.

This submission is made with full consideration of the Design Review Committee's role in preserving neighborhood character and promoting high-quality architectural outcomes. We welcome any feedback and remain committed to collaborative refinement as needed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Stone      | <input type="checkbox"/> Aluminum Siding                |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding                   |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco               |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_
- Color of Material \_\_\_\_\_

**Window Treatment**

- |                                      |   |
|--------------------------------------|---|
| <b>Primary Window Type</b>           | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended)       |
| <input type="checkbox"/> Casement    | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Siding      | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____              |

Color of Finish \_\_\_\_\_

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Fascias, Soffits, Rakeboards**

- Wood  
 Other ALUMINUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet metal
- Other DA VINCI SLATE

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

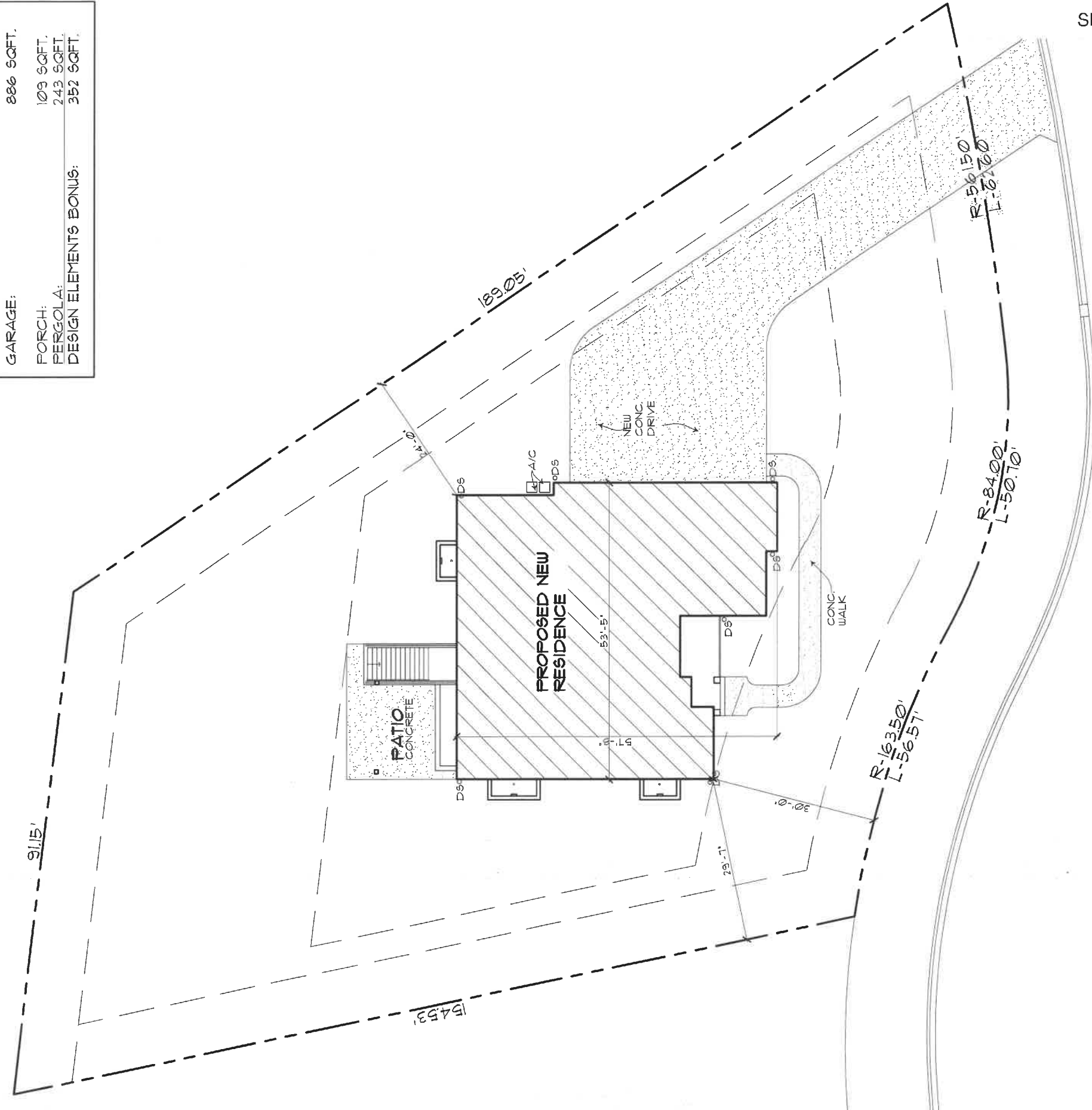
**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

LOT AREA:	20,313 SQFT.
ALLOWABLE BULK BY CODE:	4,016 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	402 SQFT.
NET AREA:	1,555 SQFT.
1ST FLOOR:	1,843 SQFT.
2ND FLOOR:	3,398 SQFT.
TOTAL NET LIVING AREA:	
GROSS AREA:	1,702 SQFT.
1ST FLOOR:	2,019 SQFT.
2ND FLOOR:	3,121 SQFT.
TOTAL GROSS BUILDING AREA:	
GARAGE:	886 SQFT.
FORCH:	109 SQFT.
PERGOLA:	243 SQFT.
DESIGN ELEMENTS BONUS:	352 SQFT.



290 MAJESTIC OAK  
SITE PLAN

MAJESTIC OAK COURT  
(OUTLOT E)  
**SITE PLAN**  
SCALE: 1"=20'-0"

**PROPOSED NEW S.F. RESIDENCE**  
**290 MAJESTIC OAK CT.**  
LAKE FOREST  
ILLINOIS

DATE: 16 SEPT. 25

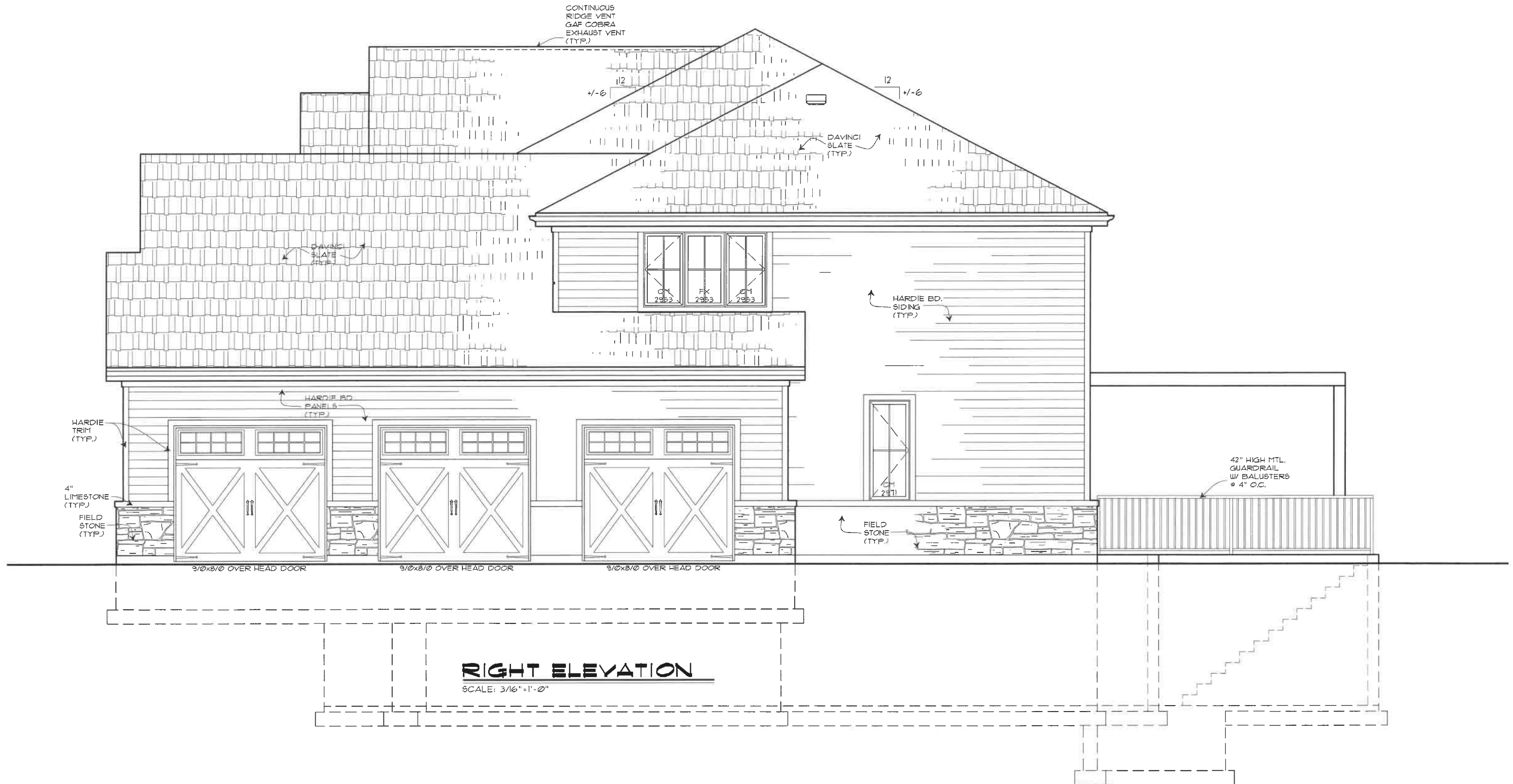
**ARCHIMAX, INC.**  
PROFESSIONAL DESIGN FIRM - NO: 184007363-0001  
3315 W. ALGONGUINI RD., STE. 440, ROLLING MEADOWS, IL 60038  
Phone: 847/877/4414  
Archimaxinc@gmail.com



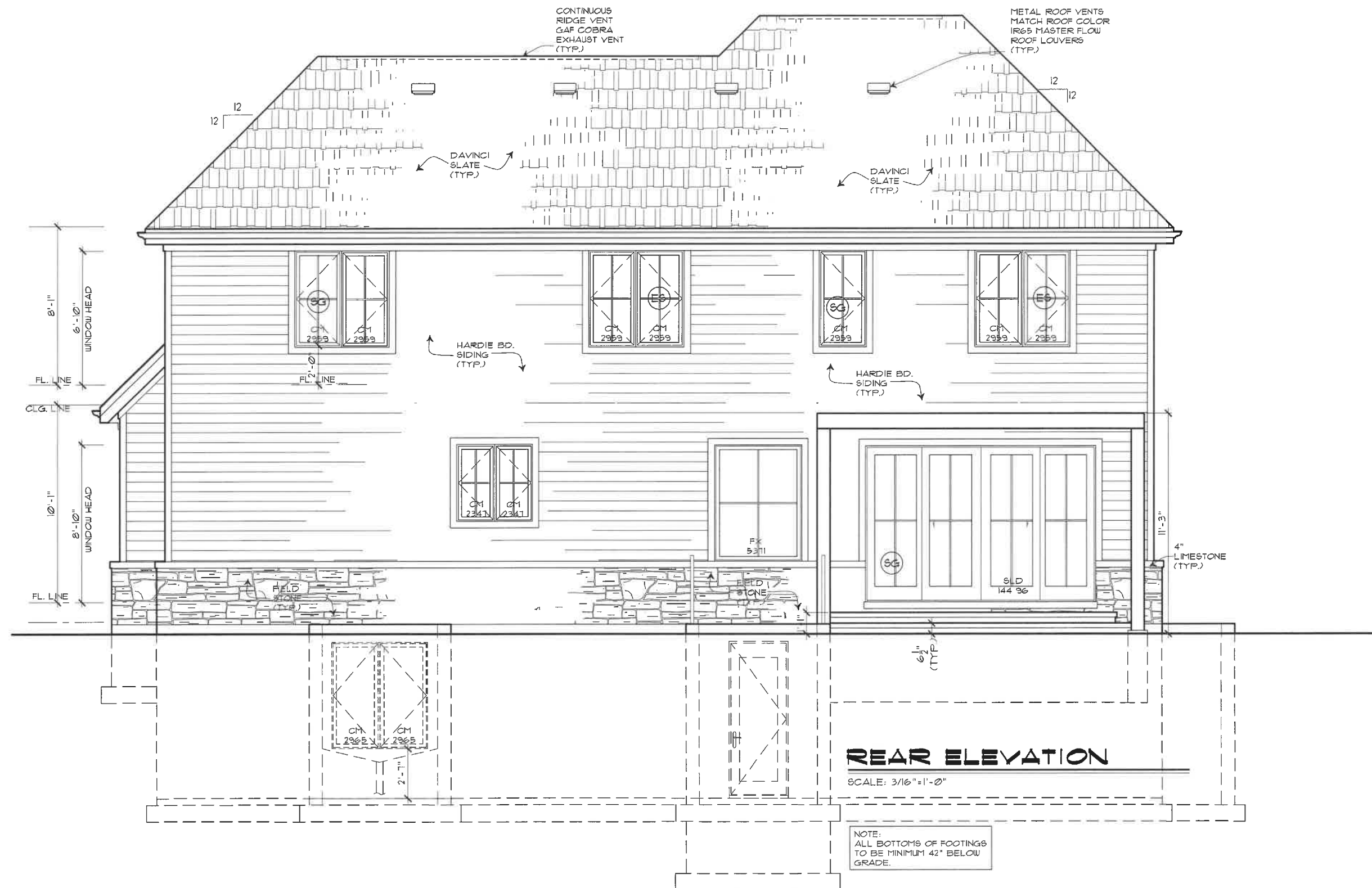
**FRONT ELEVATION**

SCALE: 3/16"=1'-0"

NORTH ELEVATION



WEST ELEVATION





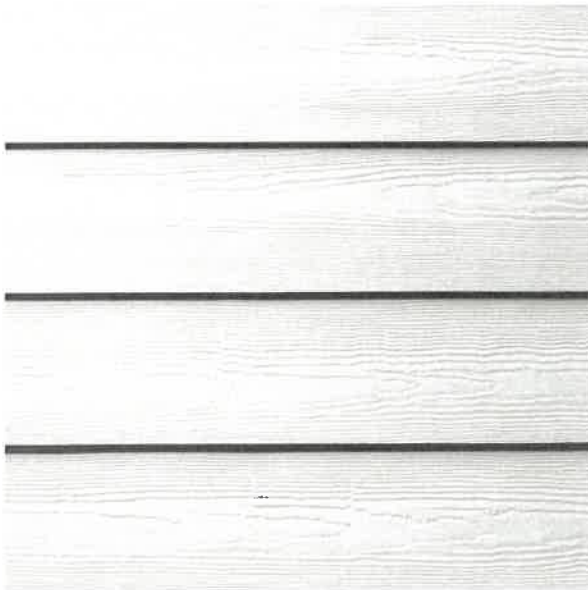
# 290 MAJESTIC OAK CT.



CHELSEA EDGE - NAPA VALLEY



DAVINCI ROOFSCAPES - BLACK



JAMES HARDIE-  
ARCTIC WHITE



ALUMINUM SOFFIT - WHITE



GUTTER SUPPLY - BLACK

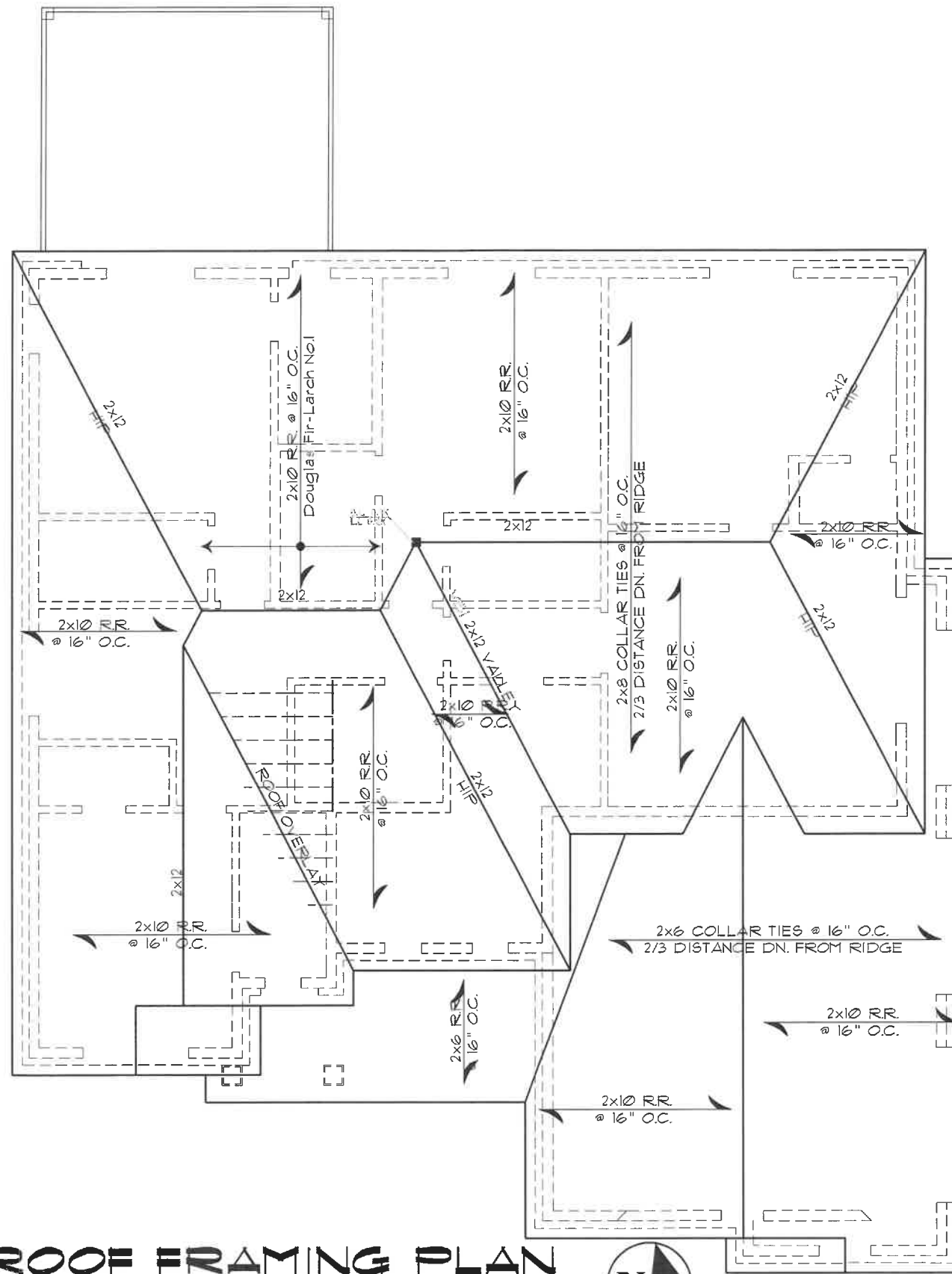
JAMES HARDIE  
PANELS - ARCTIC  
WHITE

290 MAJESTIC OAK

EAST ELEVATION

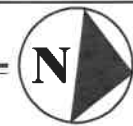
RENDERING

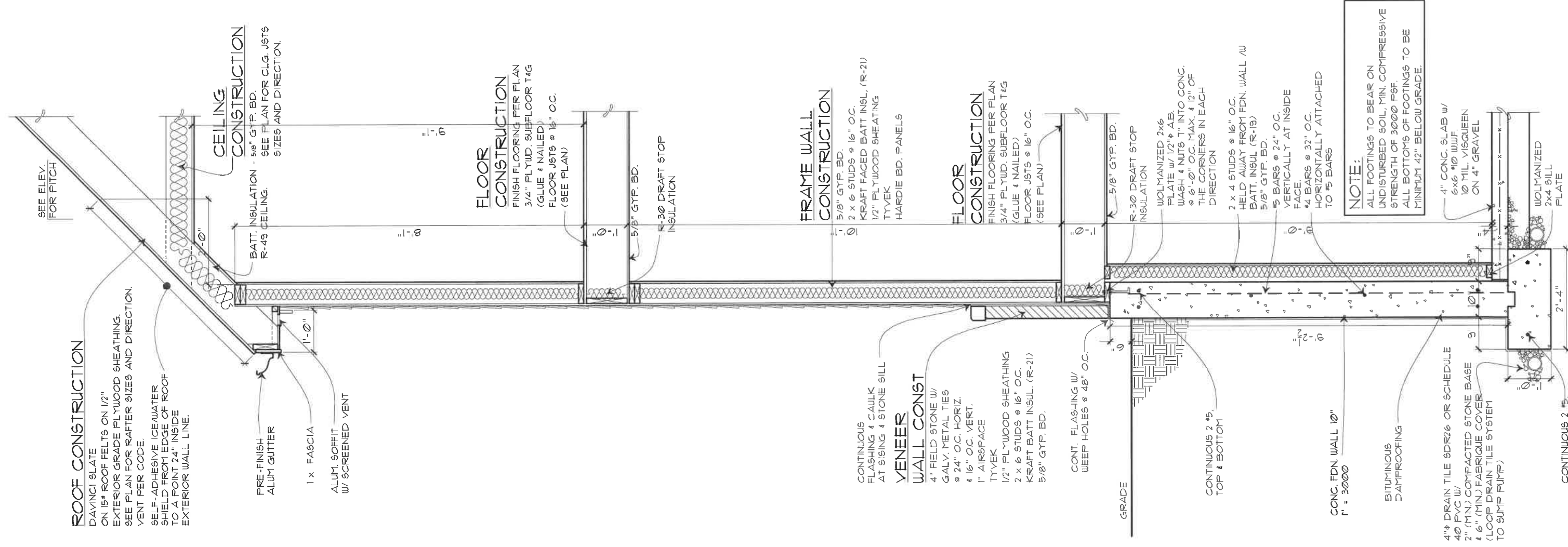




# ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

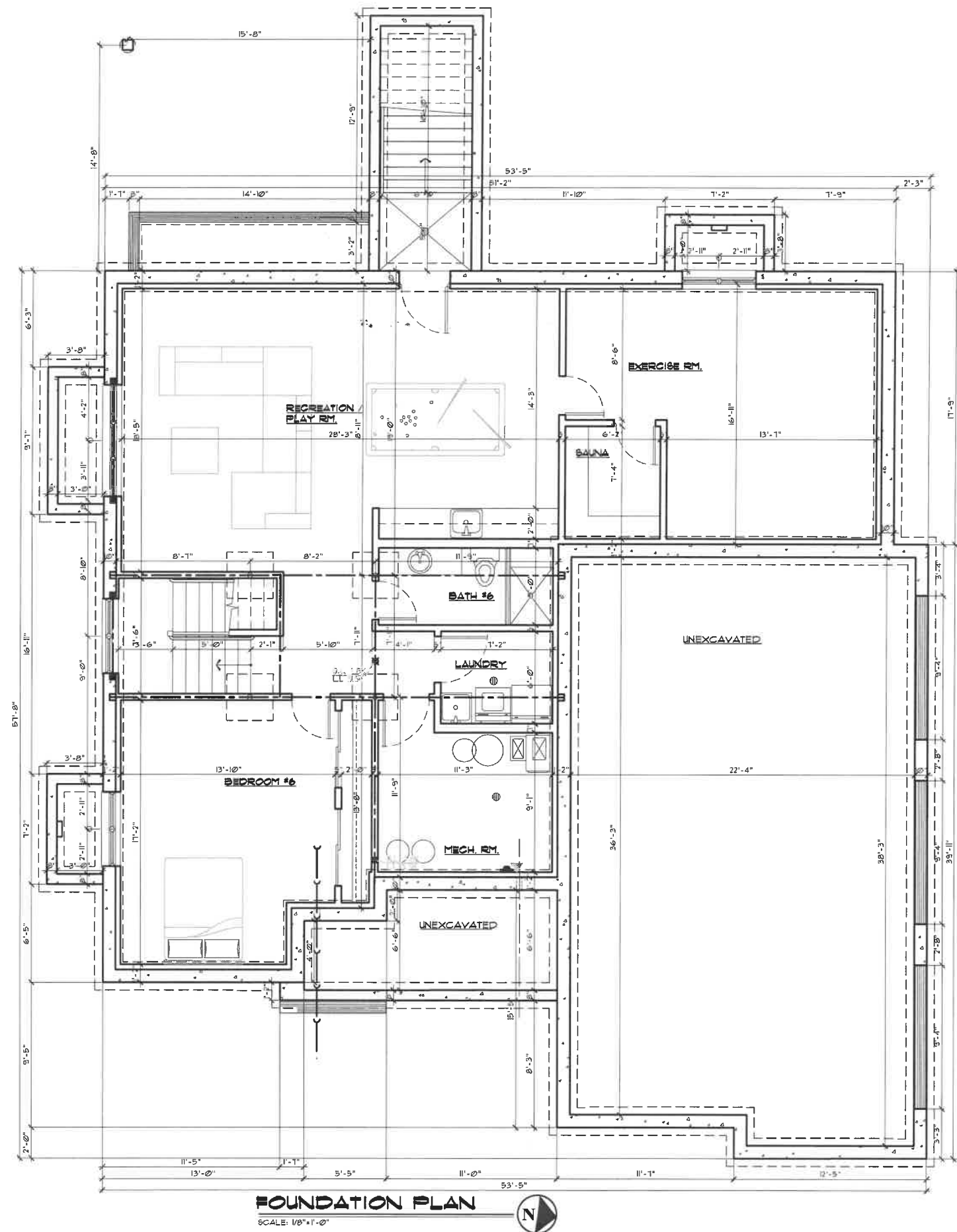




**TYP. WALL SECTION**

2 (A-5) SCALE: 1/2" = 1'-0"

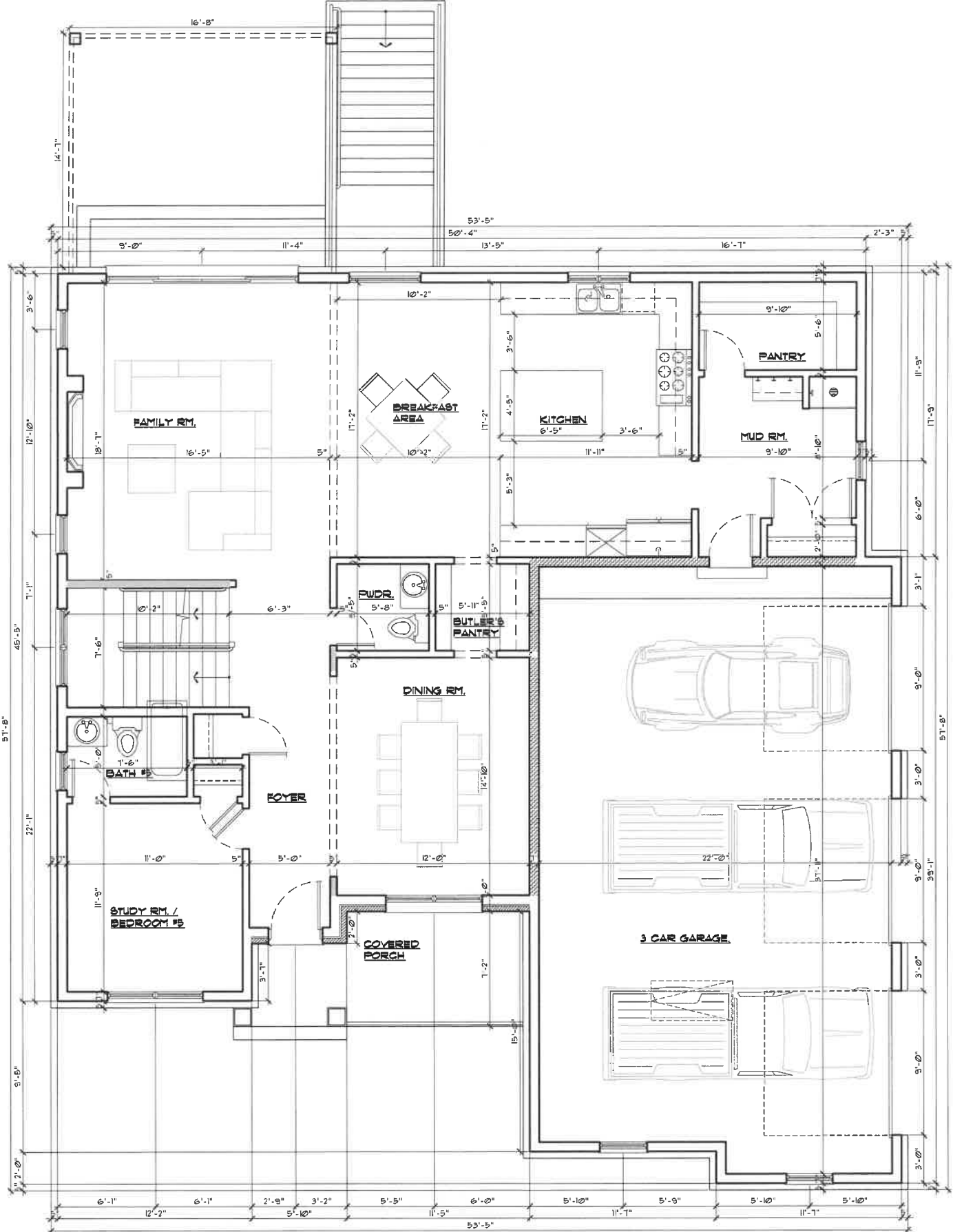
FOUNDATION PLAN



FOUNDATION PLAN

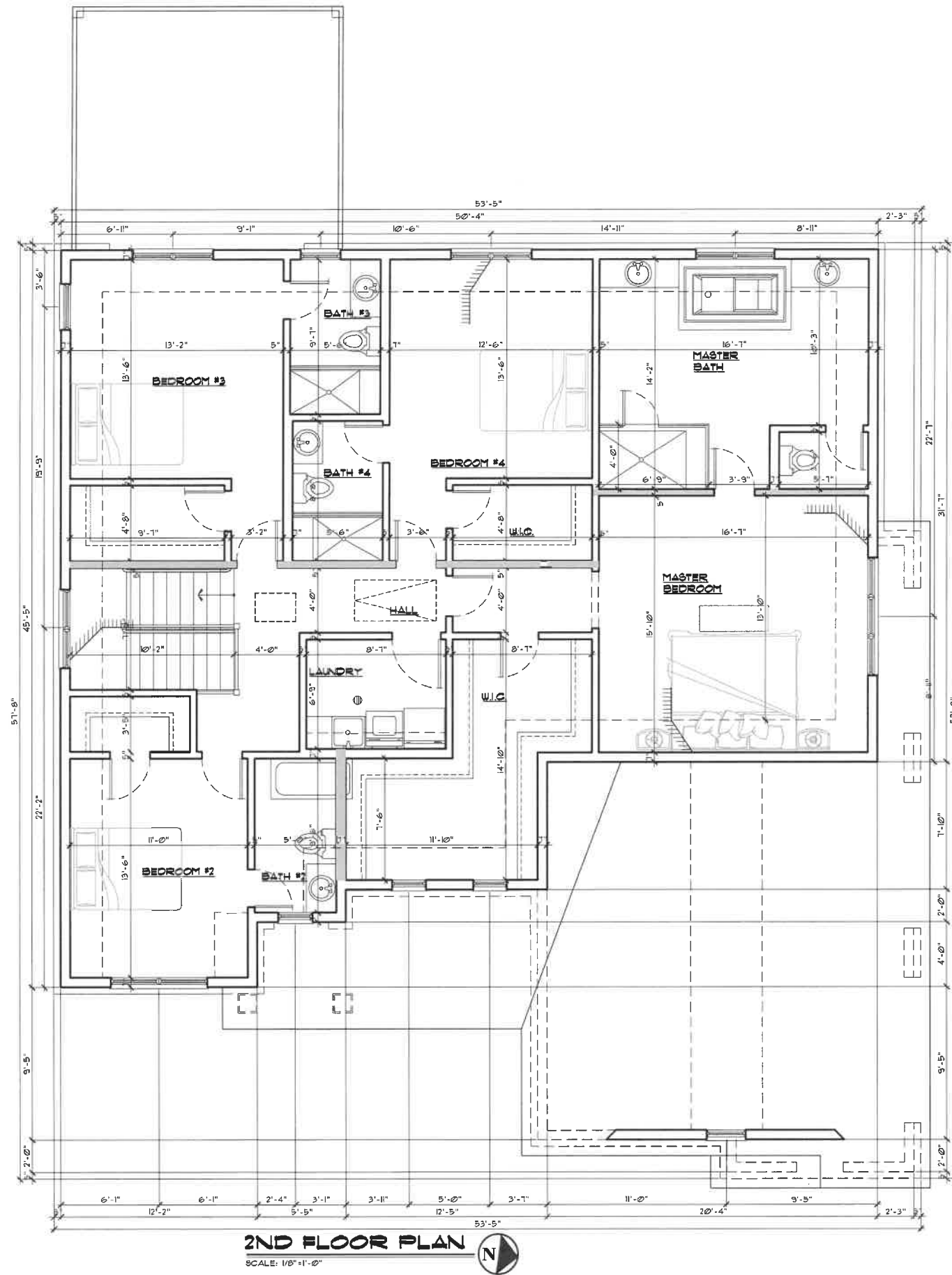
SCALE: 1/8" = 1'-0"





**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN



**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"





CONTRACTOR'S NOTE: THIS LANDSCAPE PLAN HAS BEEN DESIGNED BY THOMAS NORDLOH ASSOCIATES, INC. (TNA) AND IS SUBJECT TO ALL CITY, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND SURVEY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

No.	Date	Revised/Issue
1		
2		
3		
4		

**290 MAJESTIC OAK  
 LAKE FOREST, ILLINOIS**

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000629

Project: **20250821.1**  
 Date: **8-21-25 1**

Sheet  
**L-1.0**

**LANDSCAPE PLAN**

REFERENCE NOTES SCHEDULE

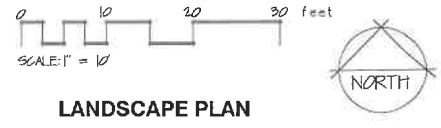
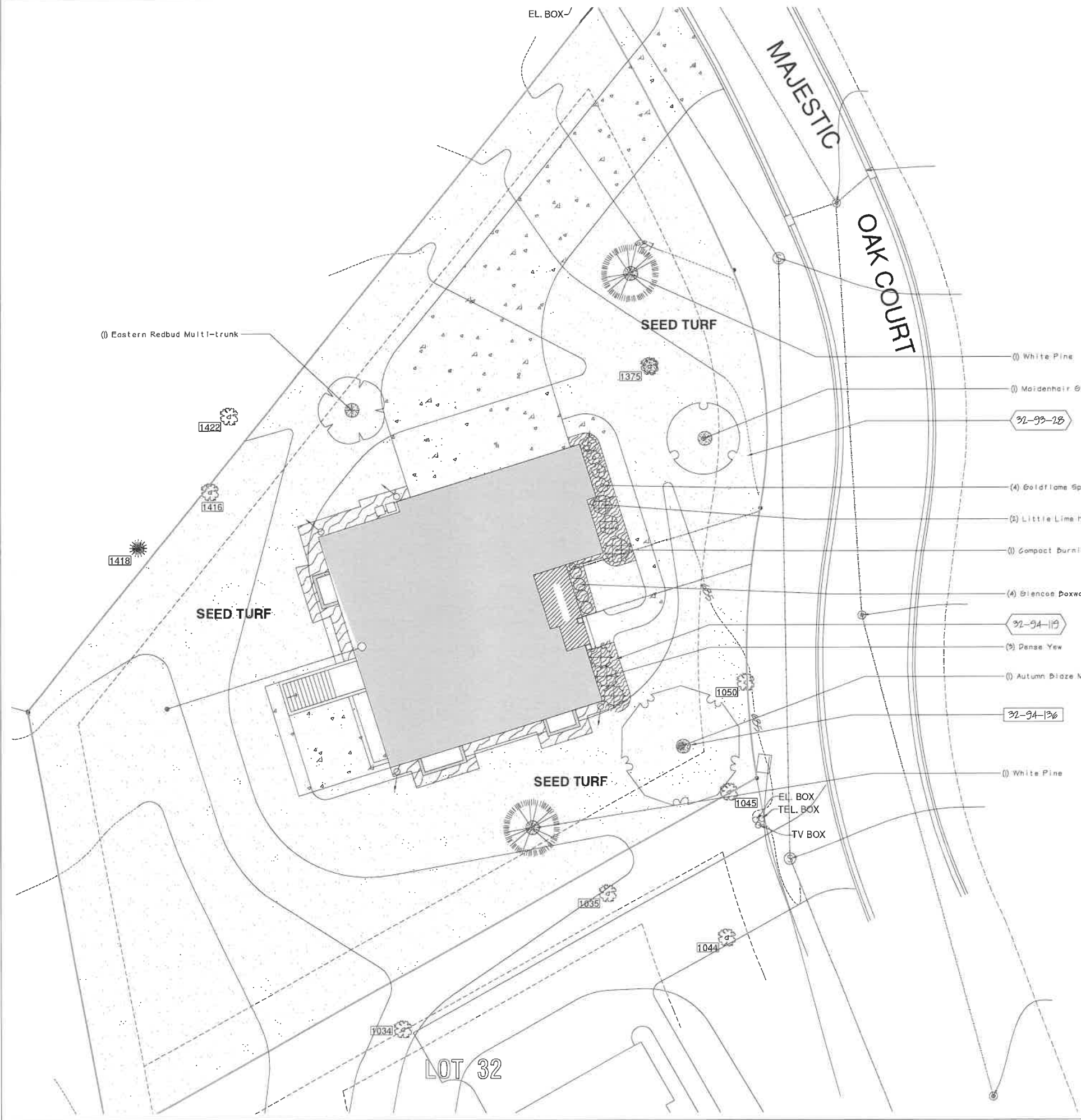
SYMBOL	CODE	DESCRIPTION	QTY
	32-93-28	REINFORC PREMIUM 60 TURF-SEED AND ON SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6" BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	14,454 sq ft
	32-94-119	SHREDDED DARK MULCH, 3-4" DEPTH	565 sq ft
	32-94-136	3" DIAMETER MULCH TREE RING	6
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	165 lf

LANDSCAPE ORDINANCE

STREET FOUNDATION LINEAL FOOTAGE -60' 2 X 3' SHRUBS PER 10 LF - 12 SHRUBS  
 REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF- 60' = 2 TREES. PLAN HAS 2 TREES  
 REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 ORNAMENTAL TREES  
 OR  
 REQUIRED EVERGREEN TREES -3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 EVERGREEN TREES

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>				
	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	3" Cal.	D&D	1
	Cercis canadensis / Eastern Redbud Multi-trunk	6" Ht.	D&D	1
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Ginkgo Tree	3" Cal.	D&D	1
<b>EVERGREEN TREES</b>				
	Pinus strobus / White Pine	6" Ht.	D&D	2
<b>SHRUBS</b>				
	Euonymus alatus 'Compactus' / Compact Burning Bush	3"	D&D	1
	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3" Ht.		2
	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	3" gal.		4
<b>SHRUB EVERGREENS</b>				
	Buxus x 'Chicagoland Green' TM / Glencoe Boxwood	24"		4
	Taxus x media 'Densiflora' / Dense Yew	24"		3
	Existing Trees			



LANDSCAPE PLAN

# SURVEY - EXISTING CONDITIONS AND TREE REMOVAL PLAN

## EXISTING CONDITIONS & REMOVAL PLAN

**LEGAL DESCRIPTION**

LOT 31 IN WESTLEIGH FARM, BEING A SUBDIVISION IN PART OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 20, 2017 AS DOCUMENT 7423085, IN LAKE COUNTY, ILLINOIS.

**ADDRESS**

290 MAJESTIC OAK COURT  
LAKE FOREST, IL

**PARCEL IDENTIFICATION NUMBER**

16-05-103-652

**AREA**

20,313 SQ. FT. = 0.466 ACRE

**SURVEYOR**

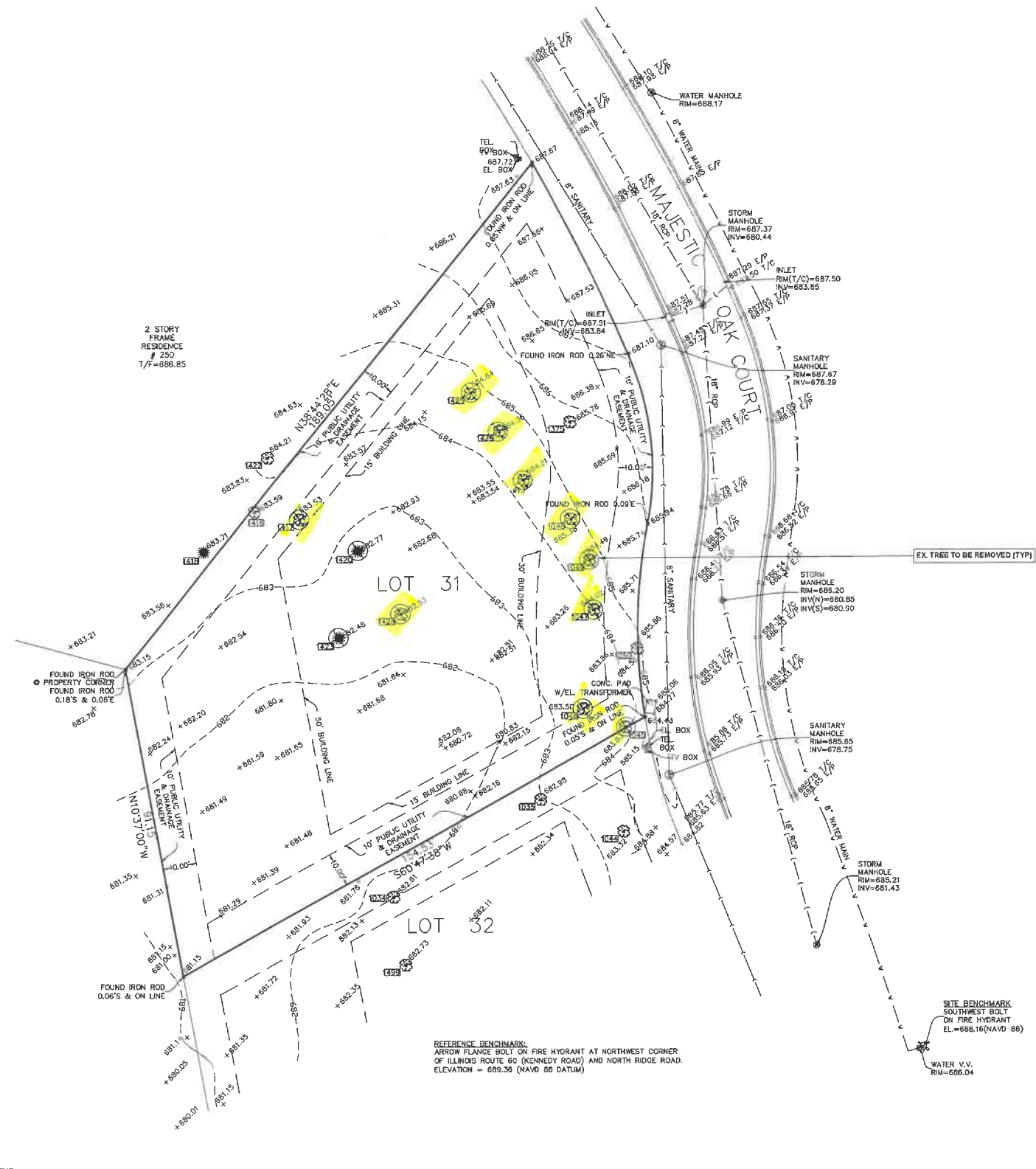
ACORN CONSULTANTS LTD.  
1340 GIESE ROAD  
BATAVIA, IL 60510

**CIVIL ENGINEER**

KRUENG DESIGN PLLC  
13399 MCCARTHY ROAD  
LEMONT, ILLINOIS  
KRYSTIAN@KRUENGDESIGN.COM

**GENERAL NOTES**

1. CALL JULIE 1-800-892-2123 BEFORE EXCAVATING.
2. GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
4. ALL UTILITY STRUCTURES, POWER POLE, FIRE HYDRANTS, TREES, & ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPERS OR HOMEOWNER'S EXPENSE.
5. NO CONCENTRATED DISCHARGE OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
6. PROPER TRAFFIC CONTROL (DOT STANDARDS) SHALL BE USED FOR ALL OBSTRUCTIVE STREET WORK.
7. GENERAL CONTRACTOR SHALL NOTIFY CITY / VILLAGE PRIOR TO THE START OF CONSTRUCTION.
8. ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGE'S OR CITY'S ENGINEERING STANDARDS AND SPECIFICATIONS.
9. REFER TO THE APPROVED ZONING APPLICATION FOR ALL SETBACK DIMENSIONS.
10. ANY EXISTING BROKEN OR CRACKED SIDEWALK SQUARES AND/OR DAMAGED SIDEWALK, RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGE PUBLIC IMPROVEMENT INSPECTOR. THE SIDEWALK SHALL BE COMPRISED OF FIVE-INCHES OF CLASS SI CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED CA-6 STONE BASE. THE SIDEWALK SHOULD DRAIN AT 1/4" PER FOOT TOWARD THE ROADWAY.
11. AGGREGATE BASE COURSE FOR DRIVEWAY & SIDEWALKS SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 8% STANDARD PROCTOR DENSITY.
12. THE CONTRACTOR MUST CONTACT THE PERMIT COORDINATORS AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL PROPOSED SANITARY SEWER, WATER SERVICE, STORM SEWER AND RELATED DRAINAGE STRUCTURES, FINAL GRADING AND DRIVEWAY/PATIO/WALKS INSTALLATION.
13. ALL VEHICLES ASSOCIATED WITH ANY CONSTRUCTION PROJECT IN RESIDENTIAL AREAS SHALL BE REQUIRED TO PARK ON THE SITE UNLESS OTHERWISE ALLOWED BY CITY / VILLAGE.
14. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN.
15. AN APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
16. STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
17. ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPERS OR HOMEOWNER'S EXPENSE.
18. ALL WORK SHALL BE COMPLETED SAFELY AND IN COMPLIANCE WITH OSHA, IDOT, ADA, AND LOCAL GOVERNING VILLAGE/TOWNSHIP/CITY STANDARDS.
19. RECORD DRAWINGS SHALL BE PROVIDED FOLLOWING CONSTRUCTION.
20. ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.



EXISTING	PROPOSED

NO.	DATE	DESCRIPTION

**KRUENG**

LICENSE NO: 164-98287-0082

EXPIRES: 11/30/2025

**EXISTING CONDITIONS**

**290 MAJESTIC OAK COURT, LAKE FOREST, IL**

JOB NO:	25-37D
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 20'

**1 OF 4**

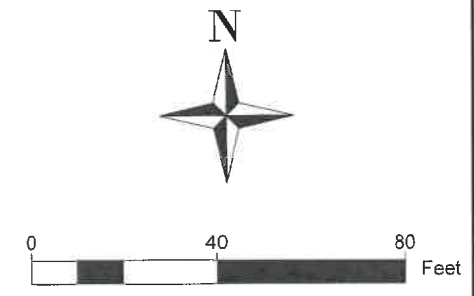
**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS  
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

*R. Valyon*

DATED 28TH DAY OF JULY, 2025



**INDEX OF SHEETS**

1. EXISTING CONDITIONS & REMOVAL PLAN
2. PROPOSED GRADING & UTILITY PLAN
3. SOIL EROSION & SEDIMENT CONTROL PLAN
4. CONSTRUCTION DETAILS

# PROPOSED GRADING & UTILITY PLAN

## GRADING PLAN

THE SANITARY SEWER STUB AND WATER SERVICE PRIOR TO CONNECTION. THE LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. CONTRACTOR MUST COORDINATE WITH THE ENGINEER FOR ANY NECESSARY ADJUSTMENTS.

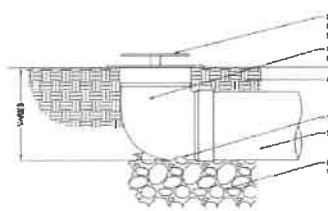
REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED FOUNDATION DIMENSIONS

### UTILITY NOTES

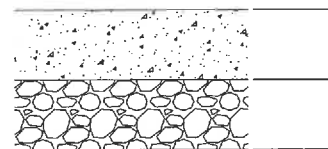
- ALL BASEMENTS MUST HAVE A SEWER EJECTOR AND OVERHEAD SEWER SYSTEM.
- FOOTING DRAINS CONNECT TO SUMP THAT DISCHARGES TO STORM SEWER.
- DOWNSPOUTS TO SPLASH TO GRADE, BE DIRECTED TOWARD THE FRONT OR REAR OF THE HOME, NOT DISCHARGE WITHIN 10' OF THE PROPERTY LINES AND NOT CONNECT TO THE STORM SEWER.
- INSTALL TIERS TO SATISFACTION OF VILLAGE. ALL PROPOSED CONNECTIONS TO HAVE A SECTION OF THE MAIN REPLACED WITH A WYE SECTION.
- ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES. UTILITIES CLOSER THAN THESE LIMITS MUST BE AUGERED.
- WATER SERVICE, SANITARY SERVICE, AND STORM SEWER SHALL BE AUGURED UNDER THE STREET.
- MINIMUM 10' DISTANCE BETWEEN NEW SANITARY AND WATER SERVICES.
- INSTALL FIRST SANITARY CLEANOUT WITHIN 10 FEET OF HOUSE.
- PLUMBER TO VERIFY TIE-IN INVERTS FOR STORM AND SANITARY BEFORE PLACING SEWER PIPE.
- ALL SEWER LINES SHALL UTILIZE 22-DEGREE, 45-DEGREE, OR LONG-SWEEP 90-DEGREE FITTINGS TO ACCOMMODATE CHANGES IN DIRECTION.
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE.
- NEW WATER SERVICE SHALL BE INSTALLED WITH MIN 5'4" SERVICE DEPTH.
- CONTACT PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO REQUEST A MAIN TAP.
- WATER & SANITARY SERVICES MUST BE INSTALLED BY A LICENSED PLUMBER.
- THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
- UTILITY SERVICES SHALL BE AS FOLLOWS:
  - WATER - TYPE "K" COPPER
  - SANITARY - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212, DUCTILE IRON PIPE PAST FOUNDATION OVERDIG.
  - STORM - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
- THE PROPOSED STORM/SANITARY SERVICE CONNECTION TO THE EXISTING SEWER LINE SHALL BE MADE WITH A SEWER TAP MACHINE WITH HUB AND STAINLESS STEEL SADDLE.
- SUMP PUMP IS TO BE CONNECTED TO THE PROPOSED STORM SEWER SERVICE UTILIZING 4-INCH PVC SDR 26 PIPE.
- THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE.
- TO PREVENT "FLOATING" OF PVC PIPING, ONLY USE SELECT EARTH BACKFILL AND BEDDING WITH THE EXCEPTION OF ALL DRIVEWAY LOCATIONS WHERE FULL DEPTH CA-6 IS REQUIRED.
- PROTECT ALL EXISTING AND NEW DRAINS USING ABOVE-GRADE INLET FILTERS (SEE DETAIL ER-6)
- THE EXISTING WATER SERVICE DISCONNECTION AND THE PROPOSED WATER SERVICE CONNECTION SHALL BOTH BE MADE AT THE MAIN.
- THE PROPOSED SERVICE CONNECTION MUST BE AT LEAST 18" FROM THE EX. SERVICE DISCONNECTION
- THE EXISTING B-BOX SHALL BE COMPLETELY REMOVED AND A NEW B-BOX SHALL BE PROVIDED IN A NON-PAVED AREA OF THE RIGHT OF WAY
- NEW WATER SERVICE CONNECTION MUST BE A MINIMUM OF 4-FEET FROM A FIRE HYDRANT

2 STORY FRAME RESIDENCE  
250  
T/F=686.85

### POP-UP EMITTER DETAIL



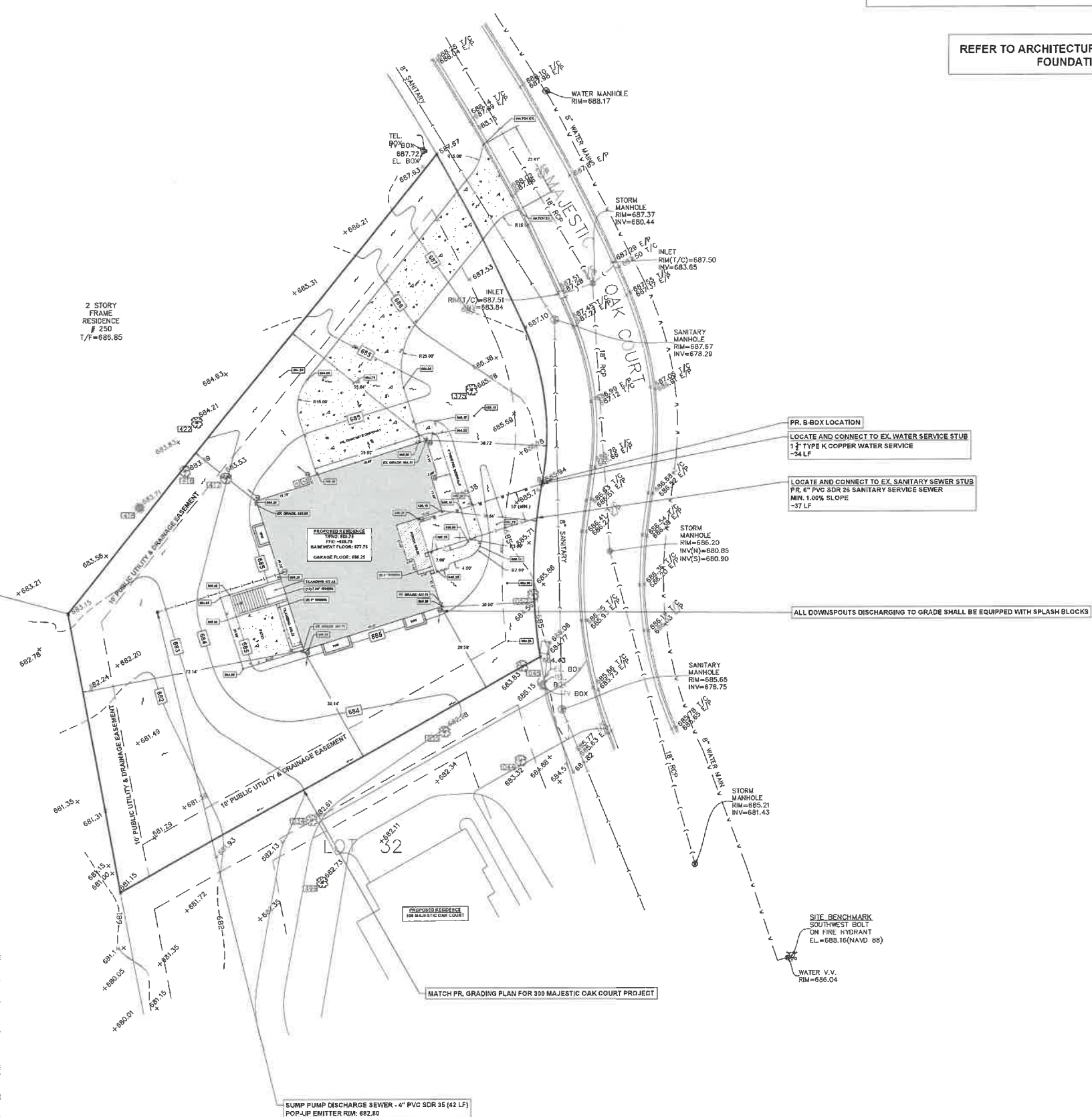
### DRIVEWAY DETAIL



- 5" PCC CONCRETE PAVEMENT (MIN)
- 4" AGG. BASE COURSE, TYPE B, CA-6 (MIN)
- 6 X 6 X 10 WIRE MESH

### GRADING NOTES

- CALL JULIE FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE NOTED ON THE PLOT PLAN OR ON THE CONSTRUCTION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE.
- NO WOOD CHIPS OR MULCH IN SIDEYARD DRAINAGE SWALE AREAS.
- ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE IN THE EXCEPT AS NOTED ON THE PLAN, THERE IS TO BE NO ALTERATION OF EXISTING GROUND ELEVATION ANYWHERE ON THE SUBJECT PROPERTY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
- ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
- INSTALL SILT CONTROL FENCING AROUND ALL AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK. REFER TO THE DETAIL SHEET FOR SILT CONTROL FENCING INSTALLATION. VILLAGE INSPECTION OF INSTALLED SILT CONTROL FENCING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH SIX-INCHES OF TOPSOIL & SOD WITHIN FIVE DAYS OF COMPLETION OF PERTINENT WORK, WEATHER PERMITTING. ALL SOD MUST BE WATERED TO SUSTAIN GROWTH.
- GRADE SHALL BE MATCHED AT ALL NEIGHBORING PROPERTY LINES.
- AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOP SOIL.
- DRAINAGE SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION)



PR. B-BOX LOCATION  
LOCATE AND CONNECT TO EX. WATER SERVICE STUB  
1 1/2" TYPE K COPPER WATER SERVICE  
-34 LF

LOCATE AND CONNECT TO EX. SANITARY SEWER STUB  
PR. 4" PVC SDR 26 SANITARY SERVICE SEWER  
MIN. 1.00% SLOPE  
-37 LF

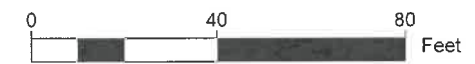
ALL DOWNSPOUTS DISCHARGING TO GRADE SHALL BE EQUIPPED WITH SPLASH BLOCKS

SITE BENCHMARK  
SOUTHWEST BOLT  
ON FIRE HYDRANT  
EL.=688.16(NAVD 88)

WATER V.V.  
RM=696.04

MATCH PR. GRADING PLAN FOR 300 MAJESTIC OAK COURT PROJECT

SUMP PUMP DISCHARGE SEWER - 4" PVC SDR 35 (42 LF)  
POP-UP EMITTER RIM: 682.80



NO.	DATE	DESCRIPTION



# PROPOSED GRADING & UTILITY PLAN

## 290 MAJESTIC OAK COURT, LAKE FOREST, IL

JOB NO:	25-37D
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 20'

2 OF 4

## **300 Majestic Oak**

### Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Elevations

Samples of Materials

Rendering

*Roof Plan*

*Building Section*

*Floor Plans*

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Grading Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET**

Address 300 Majestic Oak Owner Marcin Kopacz and John Lawson  
 Representative Paul Szurley Reviewed by: L. Prado  
 Date 11.5.2025  
 Lot Area 20850 sq. ft. Allowed Square Footage 4043

**Square Footage of Residence**

1st floor 1762 + 2nd floor 1998 + 3rd floor 0 = 3760 sq. ft.

Design Element Allowance = 404 sq. ft.

Total Actual Design Elements = 257 sq. ft. Excess = 0 sq. ft.

Garage 600 sf actual ; 797 sf allowance Excess = 197 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Residence** = 3957 sq. ft.

**TOTAL SQUARE FOOTAGE** = 3957 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4043 sq. ft.

**DIFFERENTIAL** = 86 sq. ft. **NET RESULT:**  
**Under Maximum**

86 sq. ft. is

Allowable Height: 35 ft. Actual Height 35.0 ft.

2% under  
**Max. allowed**

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 404 sq. ft.

- Open Porches = 0 sq. ft.
- Screen Porches = 0 sq. ft.
- Covered Entries = 17 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 240 sq. ft.
- Dormers = 0 sq. ft.
- Bay Windows = 0 sq. ft.

**Total Actual Design Elements** = 257 sq. ft.

**Excess Design Elements** = 0 sq. ft.



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 300 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

270-290 MAJESTIC OAK LLC  
*Owner of Property*

8230 AUSTIN AVE  
*Owner's Street Address (may be different from project address)*

MORTON GROVE IL 60053  
*City, State and Zip Code*

773-727-8546  
*Phone Number*                      *Fax Number*

MARCIN.DYNAMIC.GROUP@GMAIL.COM  
*Email Address*

*[Signature]*  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

PAUL - PRESIDENT  
*Name and Title of Person Presenting Project*

SP GROUP PRO INC  
*Name of Firm*

1970 S. GOEBBERT RD  
*Street Address*

ARLINGTON HES IL 60005  
*City, State and Zip Code*

847-323-9948  
*Phone Number*                      *Fax Number*

SPGROUPPRO@GMAIL.COM  
*Email Address*

*[Signature]*  
*Representative's Signature (Architect/ Builder)*

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Date: 10/21/2025

## Statement of Intent for Proposed Residential Design

Project Address: **340 MAJESTIC OAK CT.**

Prepared by: **SP Group Pro.**

This Statement of Intent is submitted in support of the proposed residential design at 340 MAJESTIC OAK CT. The project reflects a thoughtful integration of contemporary architectural principles within the established character of the surrounding neighborhood. The design prioritizes aesthetic cohesion, material durability, and functional livability, in alignment with the goals of the Design Review Committee and applicable zoning guidelines.

### Architectural Style and Contextual Integration

The residence is designed in a Transitional Contemporary style, blending traditional suburban forms with modern detailing and finishes. The architectural composition is defined by:

**Gabled Rooflines:** Multiple intersecting gables provide a familiar residential silhouette while introducing spatial variation and visual interest, while maintaining efficient framing and drainage.

**Material Palette:** A balanced combination of stone veneer and horizontal siding offers texture and contrast, while maintaining low-maintenance durability and a neutral color scheme that complements adjacent properties.

**Oversized Windows with Black Frames:** These are now standard in premium builds, offering enhanced natural light, energy efficiency, and a sleek modern aesthetic.

**Covered Entry with Defined Columns:** This feature provides a welcoming focal point and is consistent with builder trends that emphasize entryway prominence and transitional shelter.

**Recessed Double Garage Door:** Black garage doors with horizontal windows are increasingly favored for their clean lines and ability to visually anchor the facade without overwhelming it.

**Landscaping:** The front yard features structured plantings, including low-maintenance shrubs and seasonal flowering species, designed to soften the architectural edges and reinforce the home's connection to its site.

## **Design Objectives and Compliance**

The primary objective of this design is to deliver a residence that is architecturally respectful, functionally efficient, and aesthetically enduring. The project adheres to all applicable zoning regulations, including height restrictions, setback requirements, and lot coverage limitations. All materials proposed are consistent with neighborhood standards and selected for long-term performance and minimal environmental impact.

## **Market Comparables and Buyer Expectations**

Homes with this design profile are consistently featured in new construction developments and custom home offerings throughout Lake County and the North Shore. Recent listings in Lake Forest, Libertyville, and Highland Park show strong buyer preference for:

- Transitional contemporary exteriors
- Open-concept interiors with natural light
- Durable, low-maintenance materials
- Neutral palettes with modern accents
- Energy-efficient systems and smart home readiness

This residence is designed to meet those expectations while respecting the architectural character of the Forest Edge neighborhood. It is not speculative, it is representative of what is being built and sold today, ensuring both community compatibility and long-term value.

This submission is made with full consideration of the Design Review Committee's role in preserving neighborhood character and promoting high-quality architectural outcomes. We welcome any feedback and remain committed to collaborative refinement as needed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Façade Material**

- |  |  |
|--|--|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding     |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding        |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco    |
| <input type="checkbox"/> Stucco                | <input type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle          |  |
- Individual or Panels? \_\_\_\_\_
- Color of Material \_\_\_\_\_

**Window Treatment**

- |                                      |   |
|--------------------------------------|---|
| <b>Primary Window Type</b>           | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended)       |
| <input type="checkbox"/> Casement    | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding     | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____              |

Color of Finish \_\_\_\_\_

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

**Door Trim**

- Limestone  
 Brick  
 Wood  
 Other \_\_\_\_\_

**Window Trim**

- Limestone  
 Brick  
 Wood  
 Other HARDIE

**Fascias, Soffits, Rakeboards**

- Wood  
 Other ALUMINIUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
***DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED***

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other DA VINCI SLATE

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

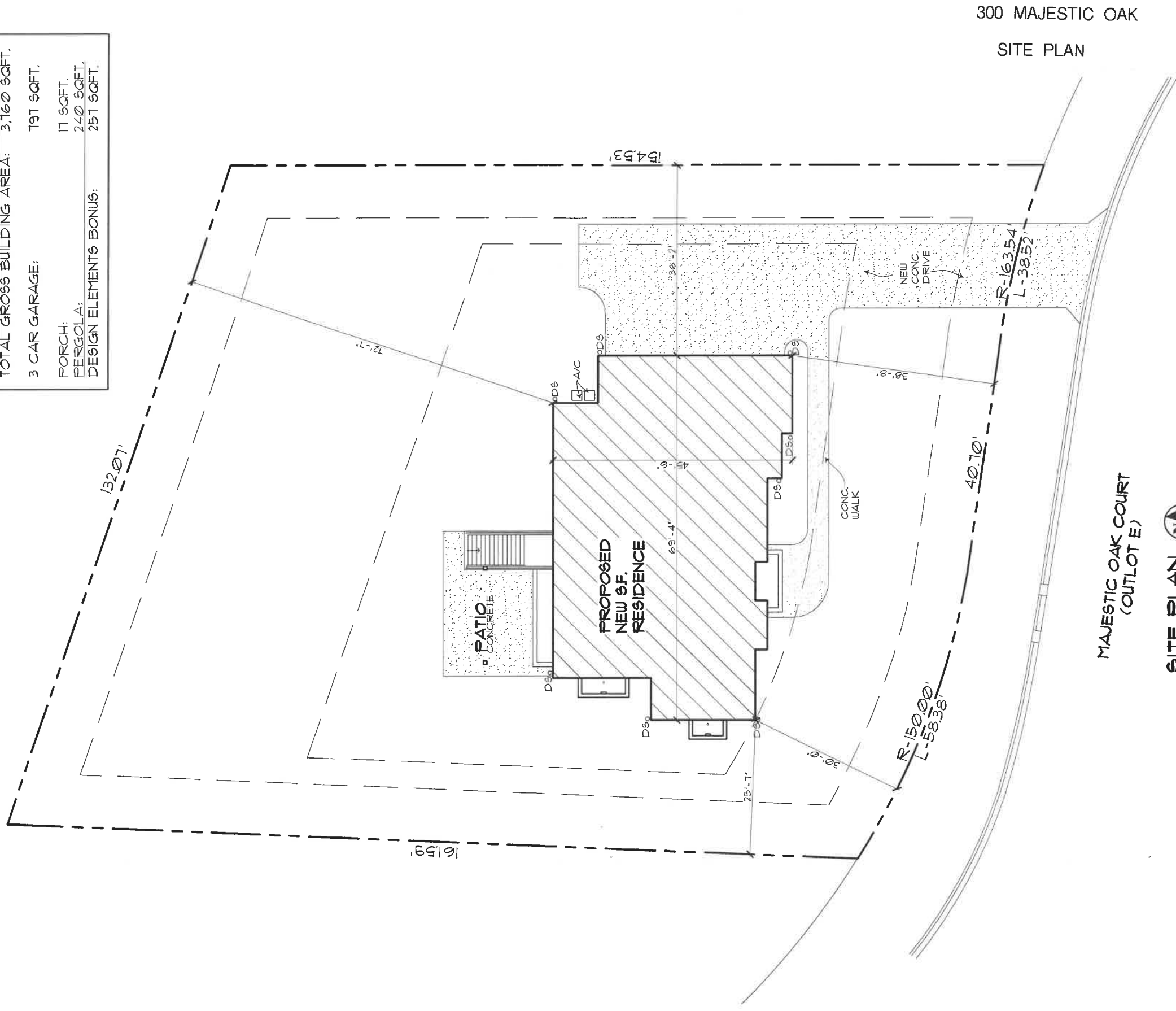
**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

LOT AREA:	20,850 SQFT.
ALLOWABLE BULK BY CODE:	4,043 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	404 SQFT.
NET AREA:	1,103 SQFT.
1ST FLOOR:	1 SQFT.
2ND FLOOR:	1 SQFT.
TOTAL NET LIVING AREA:	3,454 SQFT.
GROSS AREA:	1,162 SQFT.
1ST FLOOR:	1,998 SQFT.
2ND FLOOR:	1,998 SQFT.
TOTAL GROSS BUILDING AREA:	3,160 SQFT.
3 CAR GARAGE:	791 SQFT.
PORCH:	11 SQFT.
PERGOLA:	240 SQFT.
DESIGN ELEMENTS BONUS:	251 SQFT.



300 MAJESTIC OAK  
SITE PLAN

MAJESTIC OAK COURT  
(OUTLOT E)

**SITE PLAN**  
SCALE: 1"=20'-0"

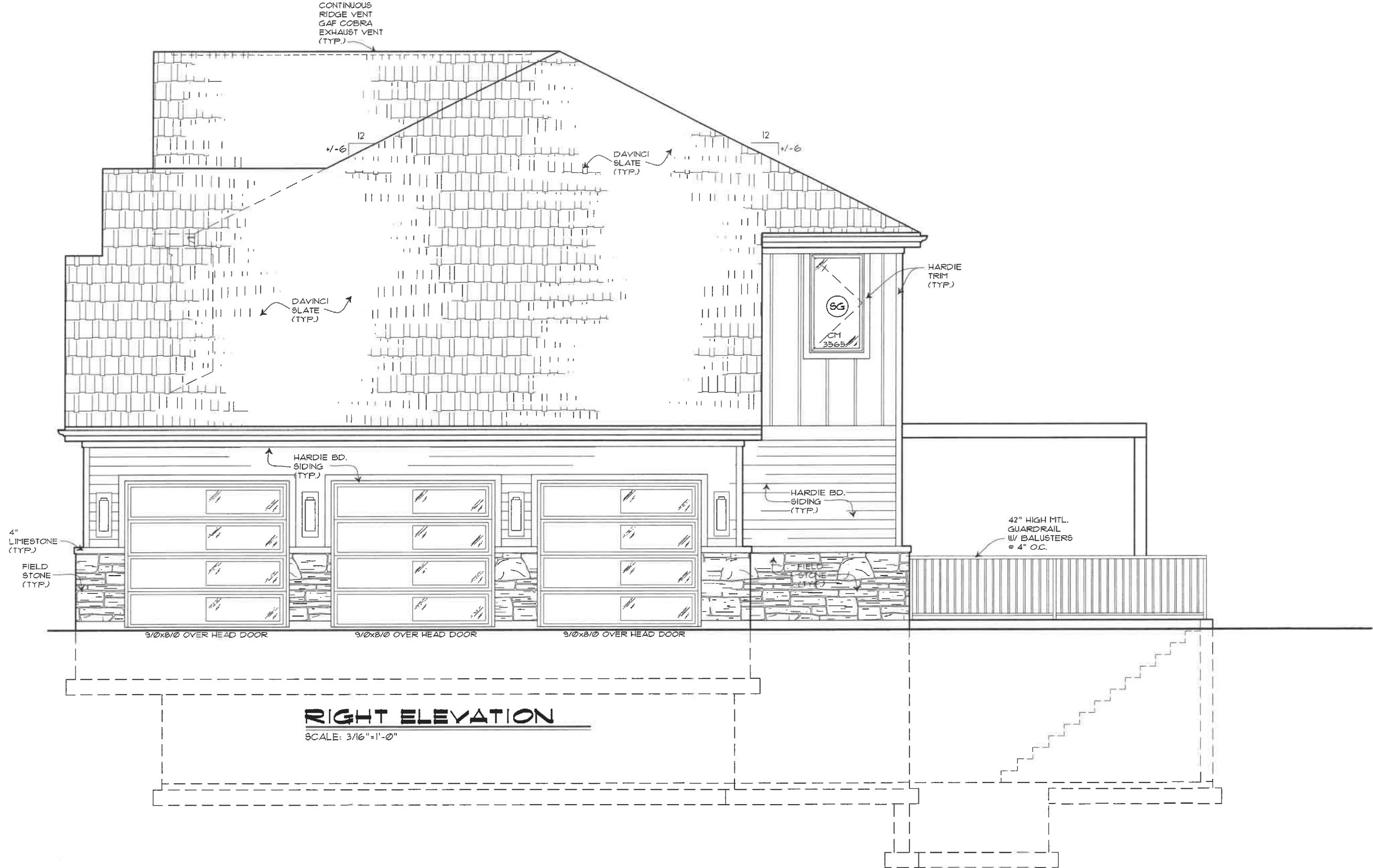
**PROPOSED NEW S.F. RESIDENCE**  
**300 MAJESTIC OAK CT.**  
LAKE FOREST  
ILLINOIS

DATE: 16 SEPT. 25

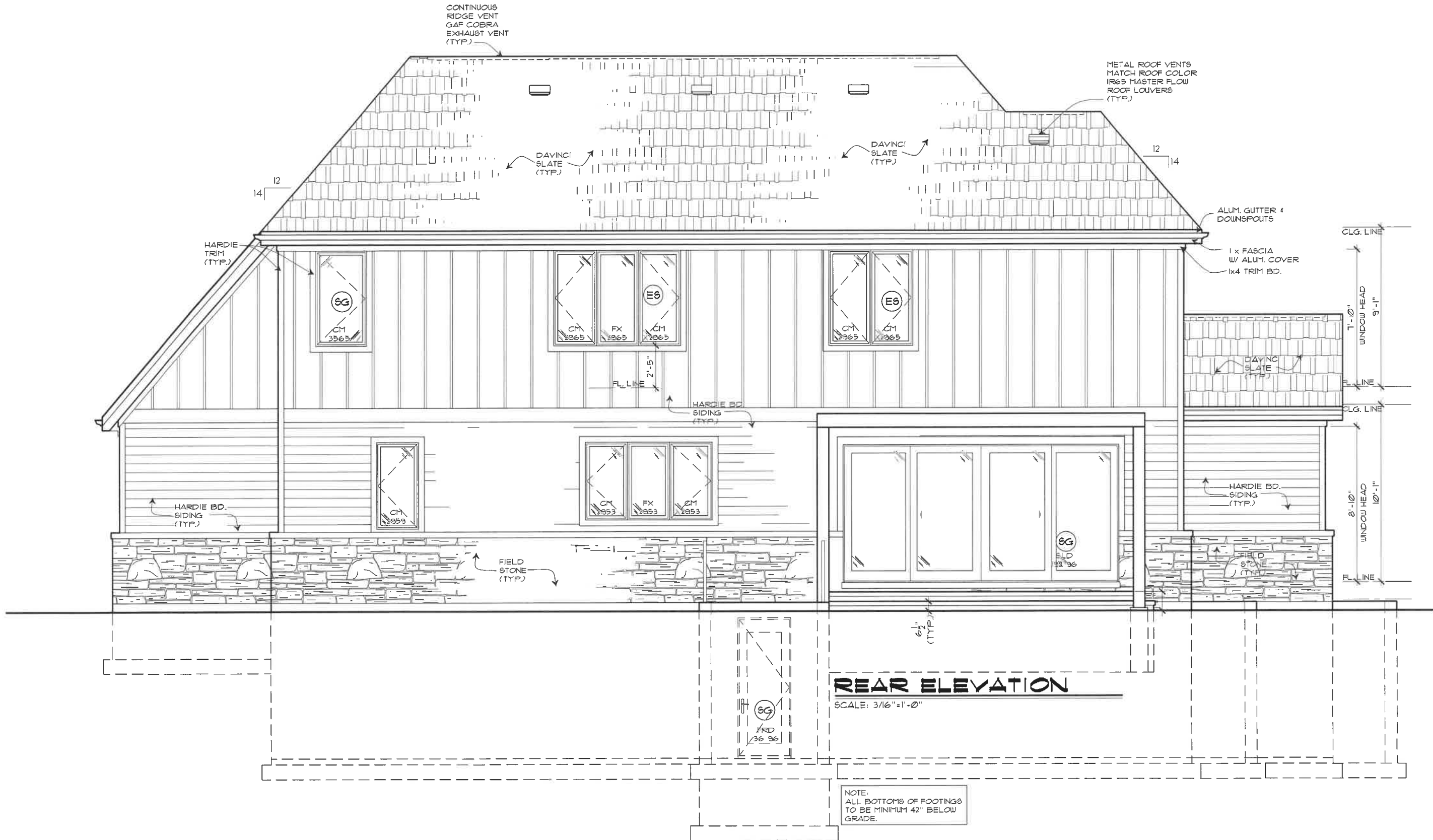
**ARCHIMAX, INC.**  
PROFESSIONAL DESIGN FIRM - NO. 184,007,363-0001  
3315 W. ALGONQUIN RD., STE. 440, FORT LINDEN MEADOWS, IL 60038  
Phone: 847/877/4414  
Archimaxinc@gmail.com



NORTH ELEVATION



WEST ELEVATION





SAMPLES OF MATERIALS

300 MAJESTIC OAK CT.



DAVINCI  
ROOFSCAPES  
SLATE-BLACK



GUTTER SUPPLY - BLACK



ALUMINUM SOFFIT -  
BLACK MATTE



JAMES HARDIE SIDING -  
MONTEREY TAUPE



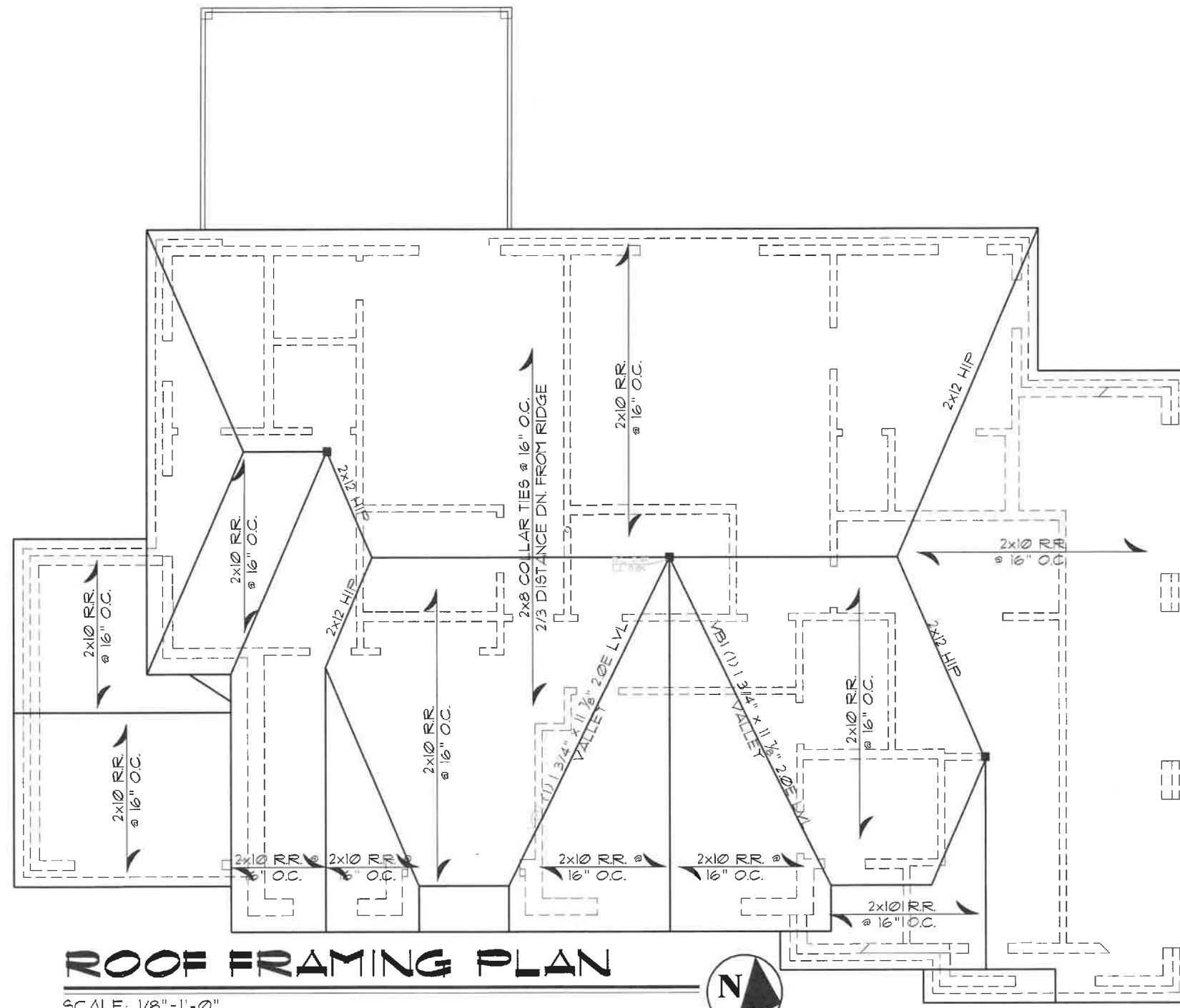
HALQUIST STONE-  
HAMILTON BUFF

300 MAJESTIC OAK

EAST ELEVATION

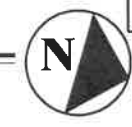
RENDERING

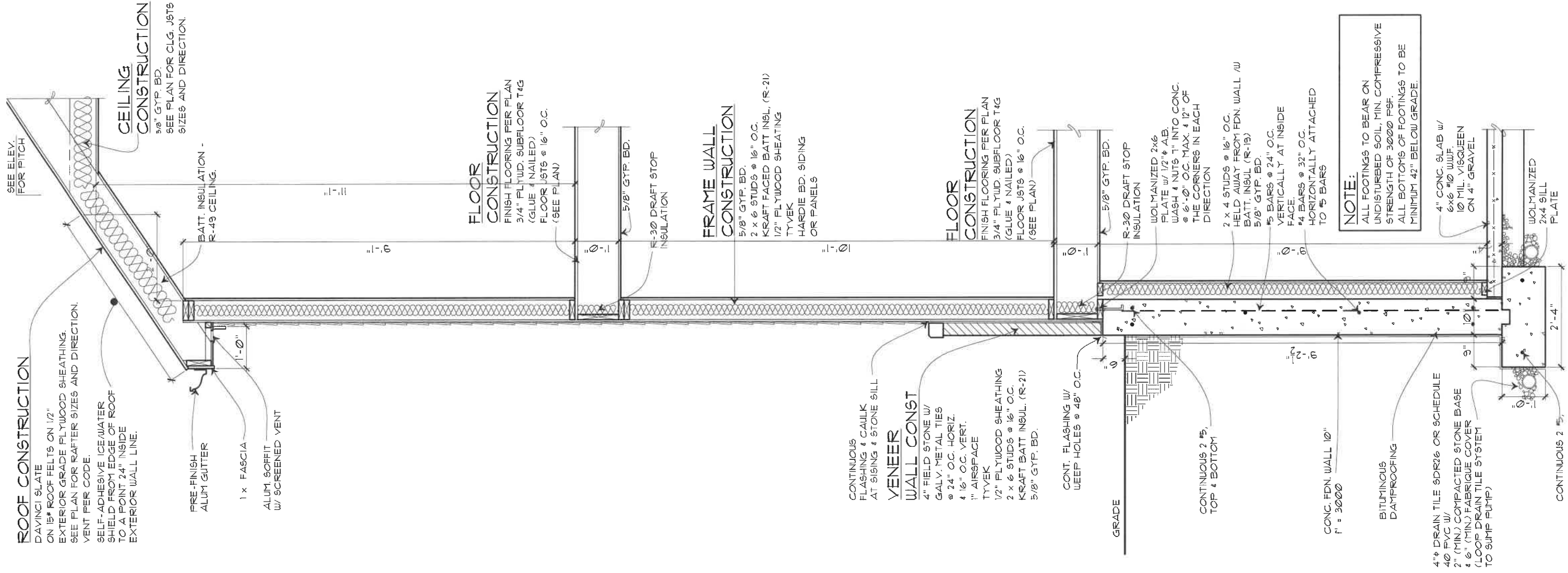




# ROOF FRAMING PLAN

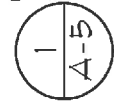
SCALE: 1/8" = 1'-0"



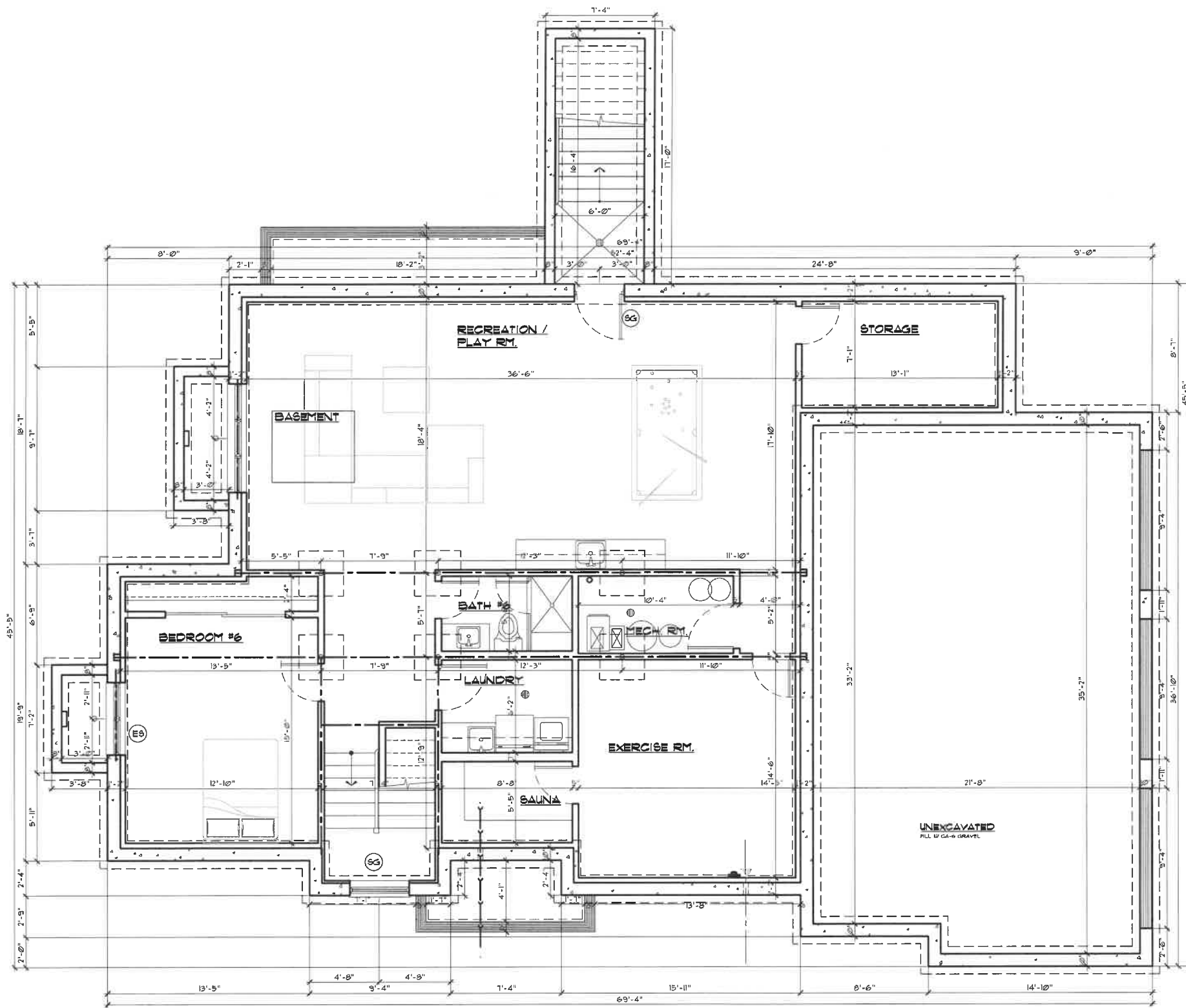


**TYP. WALL SECTION**

SCALE: 1/2" = 1'-0"

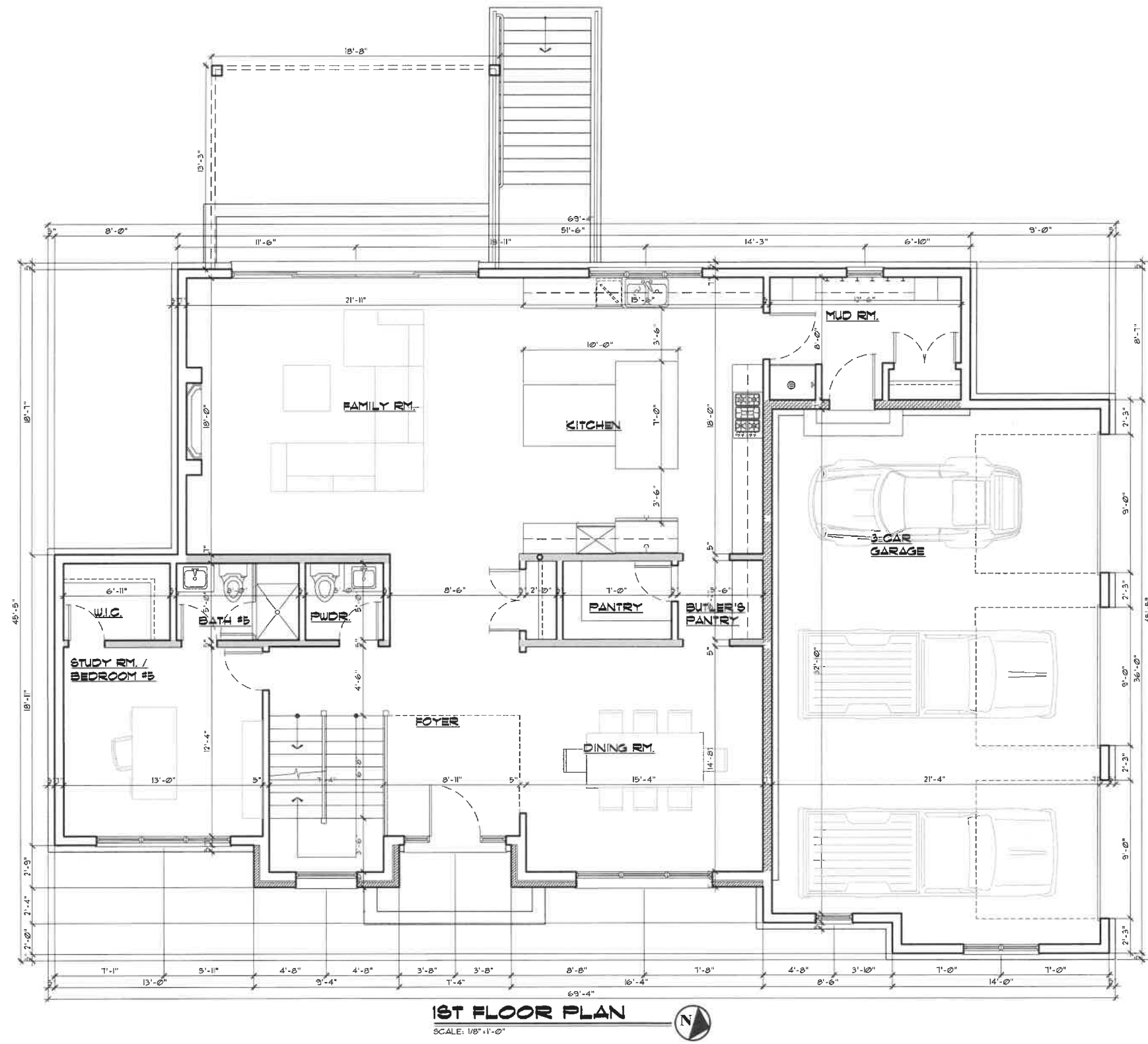


FOUNDATION PLAN



**BSMT. / FDN. PLAN**  
SCALE: 1/4"=1'-0"

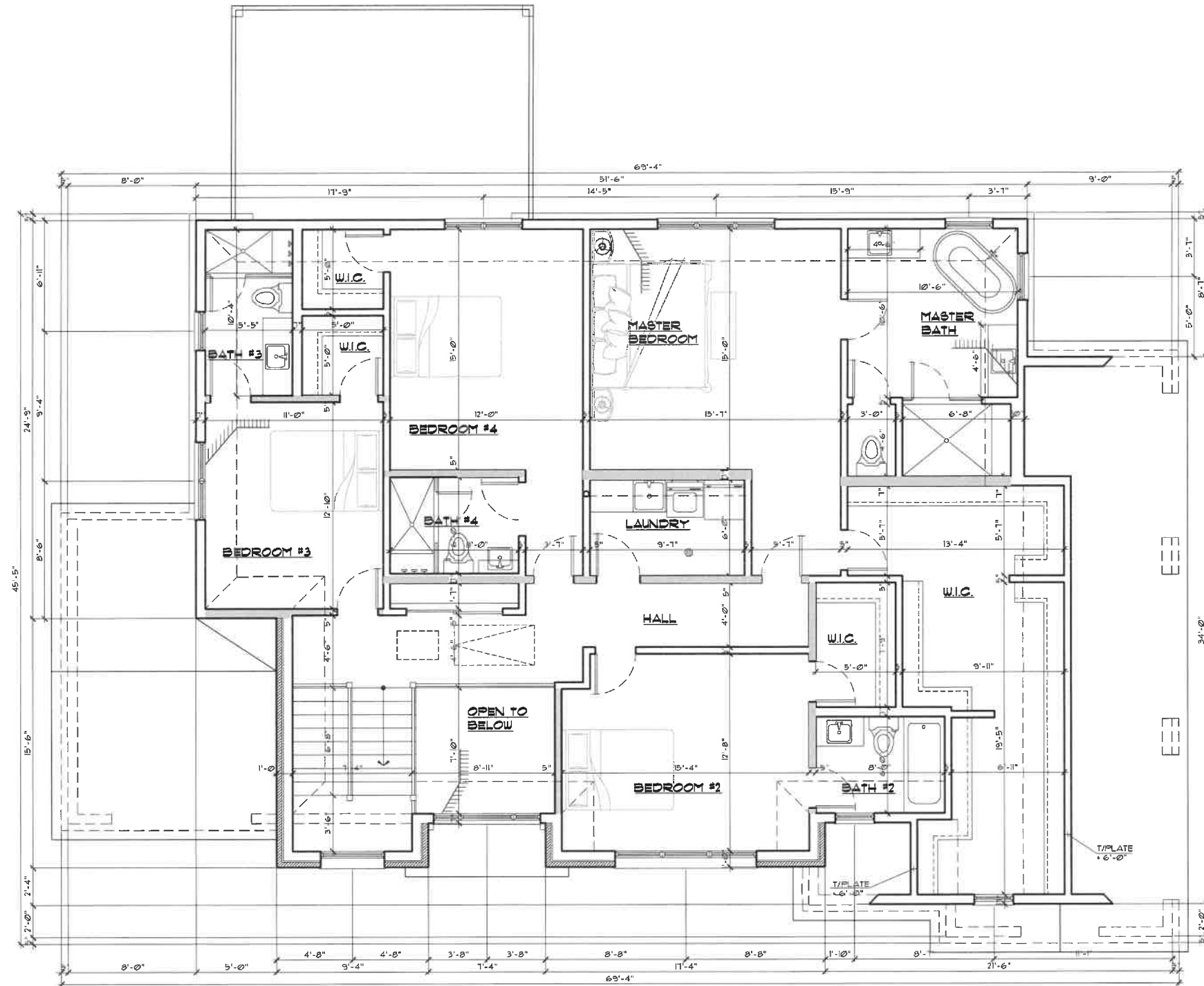
FIRST FLOOR PLAN



1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"





**2ND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



No.	1	2	3	4
Date				
Revision Number				

**LANDSCAPE PLAN**

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-93-28	RENDARS PREMIUM 60 TURF-SEED AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES USE ONLY 4-6" BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	11974 sq ft
	32-94-119	SHREPPED DARK MULCH, 3-4" DEPTH	572 sq ft
	32-94-136	3" DIAMETER MULCH TREE RING	4
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	183 lf

LANDSCAPE ORDINANCE

STREET FOUNDATION LINEAL FOOTAGE - 80' 2 X 3' SHRUBS PER 10 LF - 16 SHRUBS

REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF - 68' = 2 TREES. PLAN HAS 2 TREES

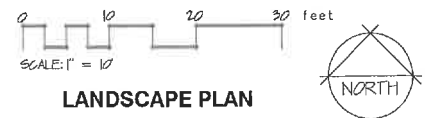
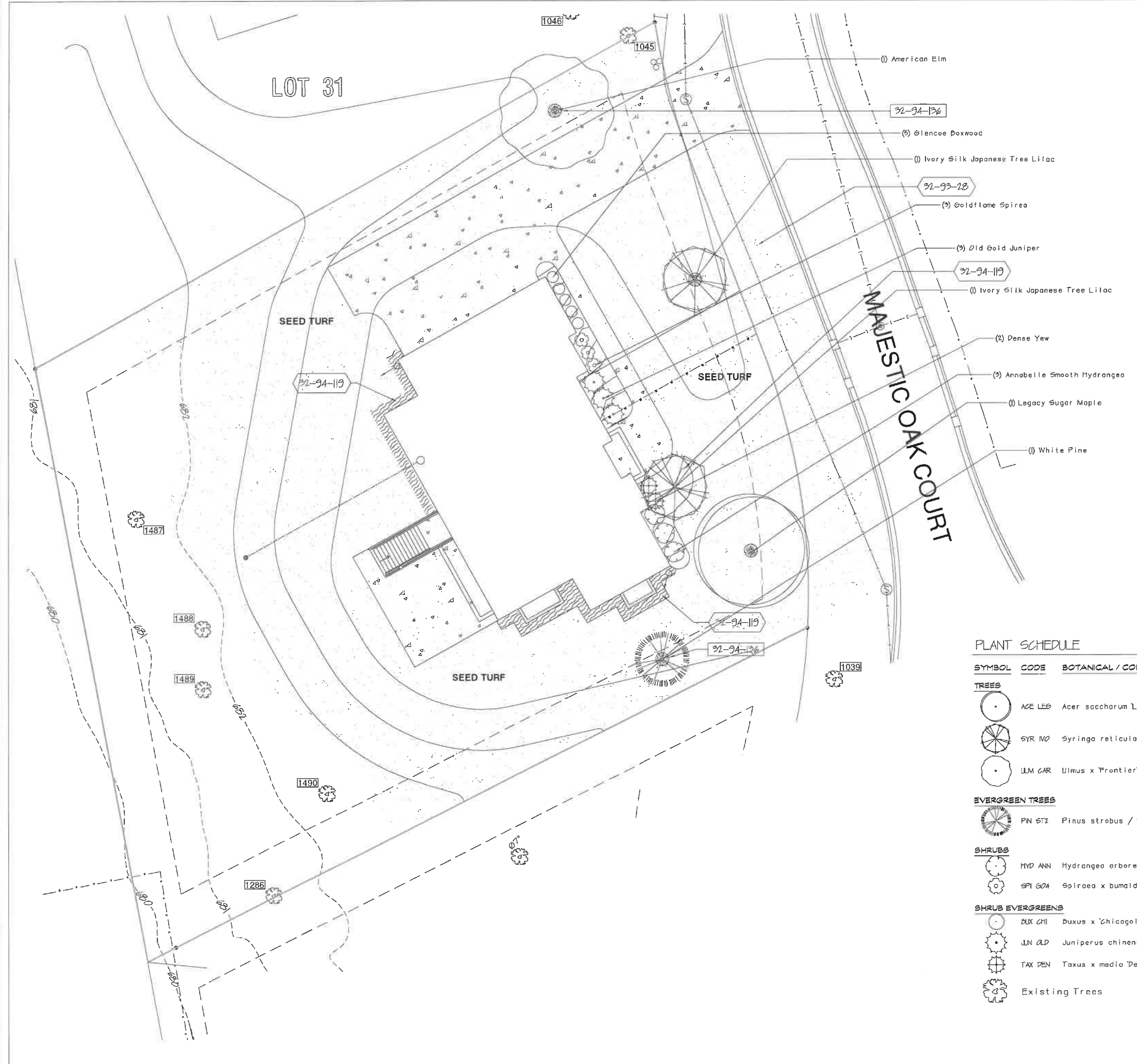
REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES

OR

REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	ACE LEO	Acer saccharum 'Legacy' / Legacy Sugar Maple	3" Cal.	B&B	1
	SYR IV	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6 Ht.	B&B	2
	ULM GAR	Ulmus x 'Frontier' / American Elm	3" Cal.	B&B	1
<b>EVERGREEN TREES</b>					
	PN ST2	Pinus strobus / White Pine	6 Ht.	B&B	1
<b>SHRUBS</b>					
	HYD ANN	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3" Ht.		3
	SPI GOA	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal		3
<b>SHRUB EVERGREENS</b>					
	BOX CHI	Bux x 'Chicagoland Green' TM / Glencoe Boxwood	24"		5
	JUN OLD	Juniperus chinensis 'Old Gold' / Old Gold Juniper	5 gal.		3
	TAX DEN	Taxus x media 'Densiformis' / Dense Yew	24"		2
		Existing Trees			



# SURVEY - EXISTING CONDITIONS AND TREE REMOVAL PLAN

## EXISTING CONDITIONS & REMOVAL PLAN

**LEGAL DESCRIPTION**

LOT 32 IN WESTLEIGHT FARM, BEING A SUBDIVISION IN PART OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 20, 2017 AS DOCUMENT 7423355, IN LAKE COUNTY, ILLINOIS.

**ADDRESS**

300 MAJESTIC OAK COURT  
LAKE FOREST, IL

**PARCEL IDENTIFICATION NUMBER**

16-05-103-653

**AREA**

20,650 SQ. FT. = 0.473 ACRE

**SURVEYOR**

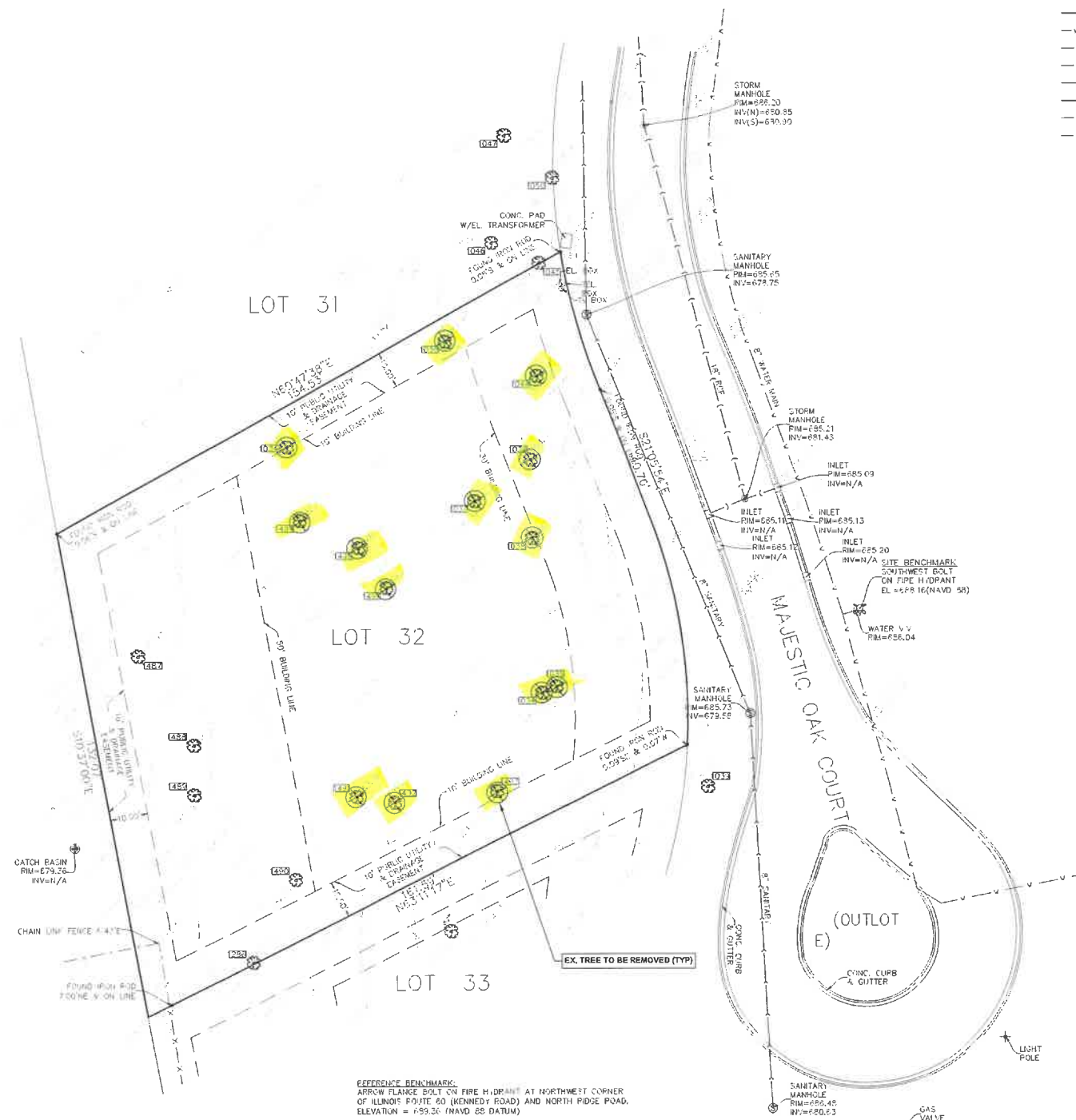
ACORN CONSULTANTS LTD.  
1346 GIESE ROAD  
BATAVIA, IL 60810

**CIVIL ENGINEER**

KRUENG DESIGN PLLC  
13389 MCCARTHY ROAD  
LEMONT, ILLINOIS  
KRYSTIAN@KRUENGDESIGN.COM

**GENERAL NOTES**

1. CALL JULIE 1-800-882-6123 BEFORE EXCAVATING.
2. GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
4. ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, & ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
5. NO CONCENTRATED DISCHARGE OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
6. PROPER TRAFFIC CONTROL (DOT STANDARDS) SHALL BE USED FOR ALL OBSTRUCTIVE STREET WORK.
7. GENERAL CONTRACTOR SHALL NOTIFY CITY / VILLAGE PRIOR TO THE START OF CONSTRUCTION.
8. ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGE'S OR CITY'S ENGINEERING STANDARDS AND SPECIFICATIONS.
9. REFER TO THE APPROVED ZONING APPLICATION FOR ALL SETBACK DIMENSIONS.
10. ANY EXISTING BROKEN OR CRACKED SIDEWALK SQUARES AND/OR DAMAGED SIDEWALK RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGE PUBLIC IMPROVEMENT INSPECTOR. THE SIDEWALK SHALL BE COMPOSED OF FIVE-INCHES OF GLASS SI CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED CA-6 STONE BASE. THE SIDEWALK SHOULD DRAIN AT 1/4" PER FOOT TOWARD THE ROADWAY.
11. AGGREGATE BASE COURSE FOR DRIVEWAY & SIDEWALKS SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 85% STANDARD PROCTOR DENSITY.
12. THE CONTRACTOR MUST CONTACT THE PERMIT COORDINATORS AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL PROPOSED SANITARY SEWER, WATER SERVICE, STORM SEWER AND RELATED DRAINAGE STRUCTURES, FINAL GRADING AND DRIVEWAY/PATIOS/WALKS INSTALLATION.
13. ALL VEHICLES ASSOCIATED WITH ANY CONSTRUCTION PROJECT IN RESIDENTIAL AREAS SHALL BE REQUIRED TO PARK ON THE SITE UNLESS OTHERWISE ALLOWED BY CITY / VILLAGE.
14. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN.
15. AN APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
16. STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
17. ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
18. ALL WORK SHALL BE COMPLETED SAFELY AND IN COMPLIANCE WITH OSHA, IDOT, ADA, AND LOCAL GOVERNING VILLAGE/TOWNSHIP/CITY STANDARDS.
19. RECORD DRAWINGS SHALL BE PROVIDED FOLLOWING CONSTRUCTION.
20. ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.



EXISTING	PROPOSED

**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS  
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 22ND DAY OF JULY, 2025

*K. Valpey*

ORIGINAL ISSUE DATE: 07-22-2025  
NO. DATE DESCRIPTION



LICENSE NO: 184-00251-0022



**EXISTING CONDITIONS**  
**300 MAJESTIC OAK COURT, LAKE FOREST, IL**

**INDEX OF SHEETS**

1. EXISTING CONDITIONS & REMOVAL PLAN
2. PROPOSED GRADING & UTILITY PLAN
3. SOIL EROSION & SEDIMENT CONTROL PLAN
4. CONSTRUCTION DETAILS

JOB NO:	25-37C
DESIGN BY:	KU
DRAWN BY:	KU
SCALE:	1" = 20'

**1 OF 4**

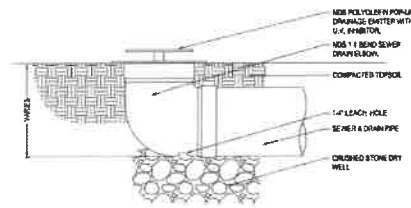
# PROPOSED GRADING & UTILITY PLAN

## GRADING PLAN

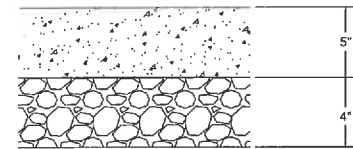
CONTRACTOR SHALL FIELD-VENIFY THE LOCATION OF EXISTING STUB AND WATER SERVICE PRIOR TO CONNECTION. THE LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. CONTRACTOR MUST COORDINATE WITH THE ENGINEER FOR ANY NECESSARY ADJUSTMENTS.

REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED FOUNDATION DIMENSIONS

### POP-UP EMITTER DETAIL



### DRIVEWAY DETAIL



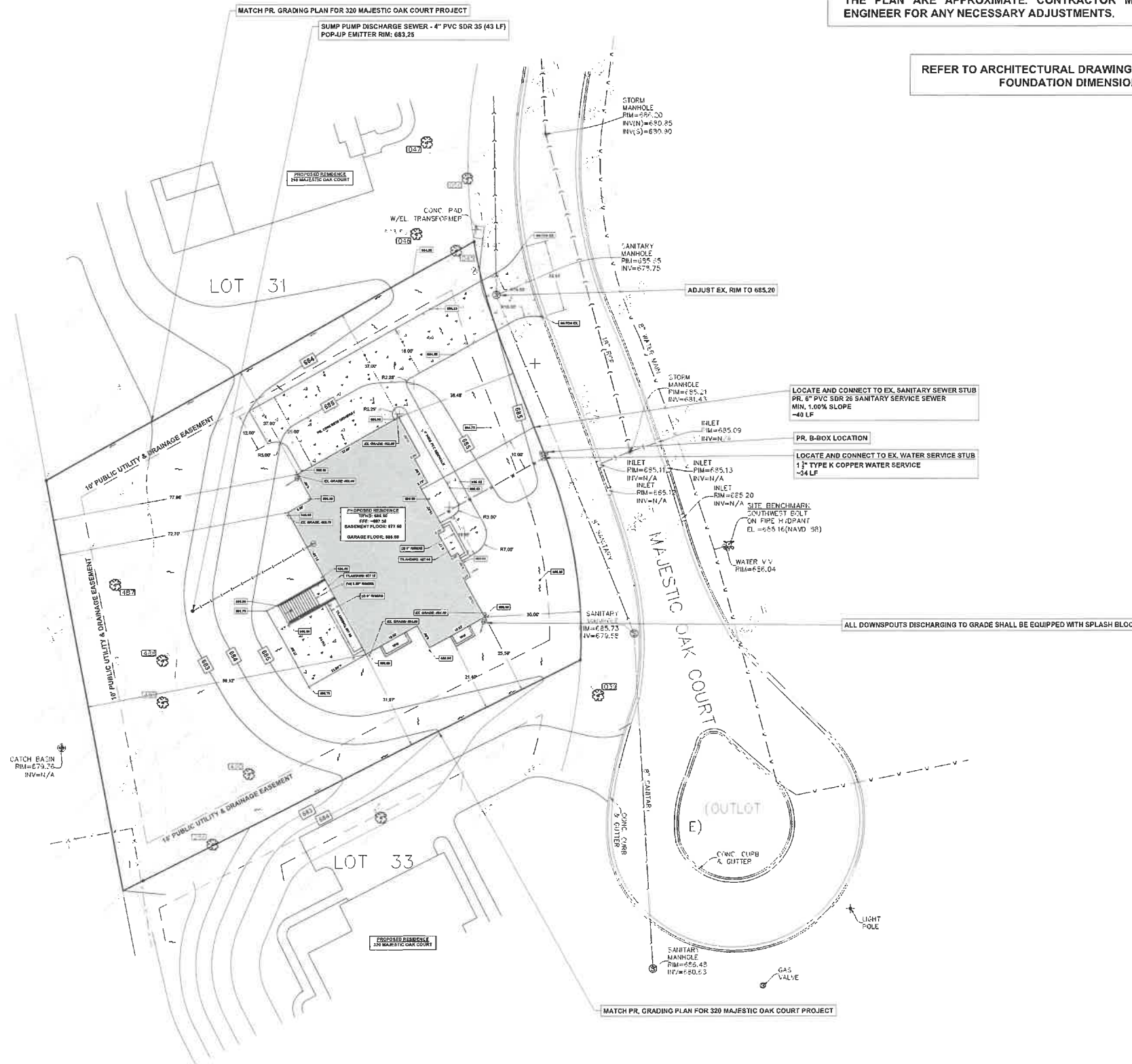
1. 5" PCC CONCRETE PAVEMENT (MIN)
2. 4" AGG. BASE COURSE, TYPE B, CA-6 (MIN)
3. 6 X 6 X 10 WIRE MESH

### UTILITY NOTES

1. ALL BASEMENTS MUST HAVE A SEWER EJECTOR AND OVERHEAD SEWER SYSTEM.
2. FOOTING DRAINS CONNECT TO SUMP THAT DISCHARGES TO STORM SEWER.
3. DOWNSPOUTS TO SPLASH TO GRADE, BE DIRECTED TOWARD THE FRONT OR REAR OF THE HOME, NOT DISCHARGE WITHIN 10' OF THE PROPERTY LINES AND NOT CONNECT TO THE STORM SEWER.
4. INSTALL TIEN-TINS TO SATISFACTION OF VILLAGE. ALL PROPOSED CONNECTIONS TO HAVE A SECTION OF THE MAIN REPLACED WITH A WYE SECTION.
5. ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES, UTILITIES CLOSER THAN THESE LIMITS MUST BE AUGURED.
6. WATER SERVICE, SANITARY SERVICE, AND STORM SEWER SHALL BE AUGURED UNDER THE STREET.
7. MINIMUM 10' DISTANCE BETWEEN NEW SANITARY AND WATER SERVICES.
8. INSTALL FIRST SANITARY CLEANOUT WITHIN 10 FEET OF HOUSE.
9. PLUMBER TO VERIFY TIEN INVERTS FOR STORM AND SANITARY BEFORE PLACING SEWER PIPE.
10. ALL SEWER LINES SHALL UTILIZE 22-DEGREE, 45-DEGREE, OR LONG-SWEEP 90-DEGREE FITTINGS TO ACCOMMODATE CHANGES IN DIRECTION.
11. ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE.
12. NEW WATER SERVICE SHALL BE INSTALLED WITH MIN 5'-6" SERVICE DEPTH.
13. CONTACT PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO REQUEST A MAIN TAP.
14. WATER & SANITARY SERVICES MUST BE INSTALLED BY A LICENSED PLUMBER.
15. THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY, IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
17. UTILITY SERVICES SHALL BE AS FOLLOWS:
  - 17.1. WATER - TYPE "K" COPPER
  - 17.2. SANITARY - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212, DUCTILE IRON PIPE PAST FOUNDATION OVERDID.
  - 17.3. STORM - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
18. THE PROPOSED STORM/SANITARY SERVICE CONNECTION TO THE EXISTING SEWER LINE SHALL BE MADE WITH A SEWER TAP MACHINE WITH HUB AND STAINLESS STEEL SADDLE.
19. SUMP PUMP IS TO BE CONNECTED TO THE PROPOSED STORM SEWER SERVICE UTILIZING 4-INCH PVC SDR 26 PIPE.
20. THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE.
21. TO PREVENT "FLOATING" OF PVC PIPING, ONLY USE SELECT EARTH BACKFILL AND BEDDING WITH THE EXCEPTION OF ALL DRIVEWAY LOCATIONS WHERE FULL DEPTH CA-6 IS REQUIRED.
22. PROTECT ALL EXISTING AND NEW DRAINS USING ABOVE-GRADE INLET FILTERS (SEE DETAIL ER-5)
23. THE EXISTING WATER SERVICE DISCONNECTION AND THE PROPOSED WATER SERVICE CONNECTION SHALL BOTH BE MADE AT THE MAIN.
24. THE PROPOSED SERVICE CONNECTION MUST BE AT LEAST 18" FROM THE EX. SERVICE DISCONNECTION
25. THE EXISTING B-BOX SHALL BE COMPLETELY REMOVED AND A NEW B-BOX SHALL BE PROVIDED IN A NON-PAVED AREA OF THE RIGHT OF WAY
26. NEW WATER SERVICE CONNECTION MUST BE A MINIMUM OF 4-FEET FROM A FIRE HYDRANT

### GRADING NOTES

1. CALL JULIE FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
2. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE NOTED ON THE PLOT PLAN OR ON THE CONSTRUCTION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
3. PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.
4. RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE.
5. NO WOOD CHIPS OR MULCH IN SIDEYARD DRAINAGE SWALE AREAS.
6. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
7. RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE IN THE EXCEPT AS NOTED ON THE PLAN, THERE IS TO BE NO ALTERATION OF EXISTING GROUND ELEVATION ANYWHERE ON THE SUBJECT PROPERTY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
8. ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
9. INSTALL SILT CONTROL FENCING AROUND ALL AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK. REFER TO THE DETAIL SHEET FOR SILT CONTROL FENCING INSTALLATION. VILLAGE INSPECTION OF INSTALLED SILT CONTROL FENCING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
10. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH SIX-INCHES OF TOPSOIL & SOD WITHIN FIVE DAYS OF COMPLETION OF PERTINENT WORK, WEATHER PERMITTING. ALL SOD MUST BE WATERED TO SUSTAIN GROWTH.
11. GRADE SHALL BE MATCHED AT ALL NEIGHBORING PROPERTY LINES.
12. AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOP SOIL.
13. DRAINAGE SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION)



NO.	DATE	DESCRIPTION



**PROPOSED GRADING & UTILITY PLAN**  
**300 MAJESTIC OAK COURT, LAKE FOREST, IL**  
 JOB NO: 25-37C  
 DESIGN BY: KU  
 DRAWN BY: KU  
 SCALE: 1" = 20'  
**2 OF 4**



## **320 Majestic Oak**

### Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Elevations

Samples of Materials

Rendering

*Roof Plan*

*Building Section*

*Floor Plans*

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Grading Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET**

Address 320 Majestic Oak Owner Bartek Skrzynecki and Grzegorz Malicki  
 Representative Paul Szurley Reviewed by: L. Prado  
 Date 11.5.2025  
 Lot Area 25614 sq. ft. Allowed Square Footage 4280

**Square Footage of Residence**

1st floor 2232 + 2nd floor 1783 + 3rd floor 0 = 4015 sq. ft.

Design Element Allowance = 428 sq. ft.

Total Actual Design Elements = 389 sq. ft. Excess = 0 sq. ft.

Garage 600 sf actual ; 842 sf allowance Excess = 242 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Residence** = 4257 sq. ft.

**TOTAL SQUARE FOOTAGE** = 4257 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4280 sq. ft.

**DIFFERENTIAL** = 23 sq. ft. **NET RESULT:**  
Under Maximum 23 sq. ft. is  
 less than 1% under **Max. allowed**

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 428 sq. ft.

- Open Porches = 0 sq. ft.
- Screen Porches = 336 sq. ft.
- Covered Entries = 53 sq. ft.
- Portico = 0 sq. ft.
- Porte-Cochere = 0 sq. ft.
- Breezeway = 0 sq. ft.
- Pergolas = 0 sq. ft.
- Dormers = 0 sq. ft.
- Bay Windows = 0 sq. ft.

**Total Actual Design Elements** = 389 sq. ft.

**Excess Design Elements** = 0 sq. ft.



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 320 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

**PROPERTY OWNER INFORMATION**

ELITE DEVELOPMENT GROUP  
*Owner of Property*

5939 W MONTROSE AVE  
*Owner's Street Address (may be different from project address)*

CHICAGO 60634  
*City, State and Zip Code*

773-727-8546  
*Phone Number* *Fax Number*

MARCIN.DYNAMICGROUP@gmail.com  
*Email Address*

B. Skrymecki  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

PAUL - PRESIDENT  
*Name and Title of Person Presenting Project*

SP GROUP PRO INC  
*Name of Firm*

1970 S. GOEBBERT RD  
*Street Address*

ARLINGTON HTS IL 60005  
*City, State and Zip Code*

847-323-9948  
*Phone Number* *Fax Number*

SPGROUPPRO@gmail.com  
*Email Address*

P. G...  
*Representative's Signature (Architect/Builder)*

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Date: 10/21/2025

## Statement of Intent for Proposed Residential Design

Project Address: **320 MAJESTIC OAK CT.**

Prepared by: **SP Group Pro.**

This Statement of Intent is submitted in support of the proposed residential design at 320 MAJESTIC OAK CT. The project reflects a thoughtful integration of contemporary architectural principles within the established character of the surrounding neighborhood. The design prioritizes aesthetic cohesion, material durability, and functional livability, in alignment with the goals of the Design Review Committee and applicable zoning guidelines.

### Architectural Style and Builder-Informed Design Characteristics

The proposed residence is designed in a Transitional Contemporary style, blending traditional massing with modern detailing to achieve timeless curb appeal and functional elegance. This architectural language is widely adopted by leading builders for its versatility, marketability, and enduring aesthetics.

Key builder-driven features include:

- **Symmetrical Multi-Gabled Rooflines:** A central gable flanked by balanced rooflines creates a strong architectural focal point while maintaining efficient framing and drainage—hallmarks of modern builder design.
- **Mixed-Material Facade:** The combination of gray horizontal siding and stone veneer reflects current builder preferences for texture, contrast, and low-maintenance durability. These materials are selected for their long-term performance and broad buyer appeal.
- **Oversized Black-Framed Windows:** Large vertical windows with dark trim are now standard in premium builds, offering enhanced daylighting, energy efficiency, and a sleek contemporary aesthetic.
- **Defined Entryway with Column Support:** The prominent front entrance, framed by clean-lined columns and a gabled overhang, provides architectural hierarchy and a welcoming transition—consistent with builder trends that emphasize entryway prominence.
- **Structured Landscaping:** The front yard features manicured grass, ornamental shrubs, and seasonal flowering plants, reinforcing curb appeal and site integration. These elements mirror the landscaping strategies used in new construction developments.

## **Design Objectives and Compliance**

The primary objective of this design is to deliver a residence that is architecturally respectful, functionally efficient, and aesthetically enduring. The project adheres to all applicable zoning regulations, including height restrictions, setback requirements, and lot coverage limitations. All materials proposed are consistent with neighborhood standards and selected for long-term performance and minimal environmental impact.

## **Market Comparables and Buyer Expectations**

Homes with this design profile are consistently featured in new construction developments and custom home offerings throughout Lake County and the North Shore. Recent listings in Lake Forest, Libertyville, and Highland Park show strong buyer preference for:

- Transitional contemporary exteriors
- Open-concept interiors with natural light
- Durable, low-maintenance materials
- Neutral palettes with modern accents
- Energy-efficient systems and smart home readiness

This residence is designed to meet those expectations while respecting the architectural character of the Forest Edge neighborhood. It is not speculative, it is representative of what is being built and sold today, ensuring both community compatibility and long-term value.

This submission is made with full consideration of the Design Review Committee's role in preserving neighborhood character and promoting high-quality architectural outcomes. We welcome any feedback and remain committed to collaborative refinement as needed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
*(The use of natural materials is strongly encouraged)*

**Facade Material**

- |  |   |
|--|---|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding                |
| <input checked="" type="checkbox"/> Brick      | <input type="checkbox"/> Vinyl Siding                   |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco               |
| <input type="checkbox"/> Stucco                | <input checked="" type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle          |   |
- Individual or Panels? \_\_\_\_\_
- Color of Material \_\_\_\_\_

**Window Treatment**

- |                                      |   |
|--------------------------------------|---|
| <b>Primary Window Type</b>           | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended)       |
| <input type="checkbox"/> Casement    | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding     | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____              |
- Color of Finish \_\_\_\_\_
- Window Muntins**
- Not Provided
- True Divided Lites
- Simulated Divided Lites*
- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

**Trim Material**

- |                                      |   |
|--------------------------------------|---|
| <b>Door Trim</b>                     | <b>Window Trim</b>                                      |
| <input type="checkbox"/> Limestone   | <input type="checkbox"/> Limestone                      |
| <input type="checkbox"/> Brick       | <input type="checkbox"/> Brick                          |
| <input type="checkbox"/> Wood        | <input type="checkbox"/> Wood                           |
| <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> Other <u>HARDIE</u> |
- Fascias, Soffits, Rakeboards**
- Wood
- Other ALUMINUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS -- CONTINUED**

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other DA VINCI SLATE

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

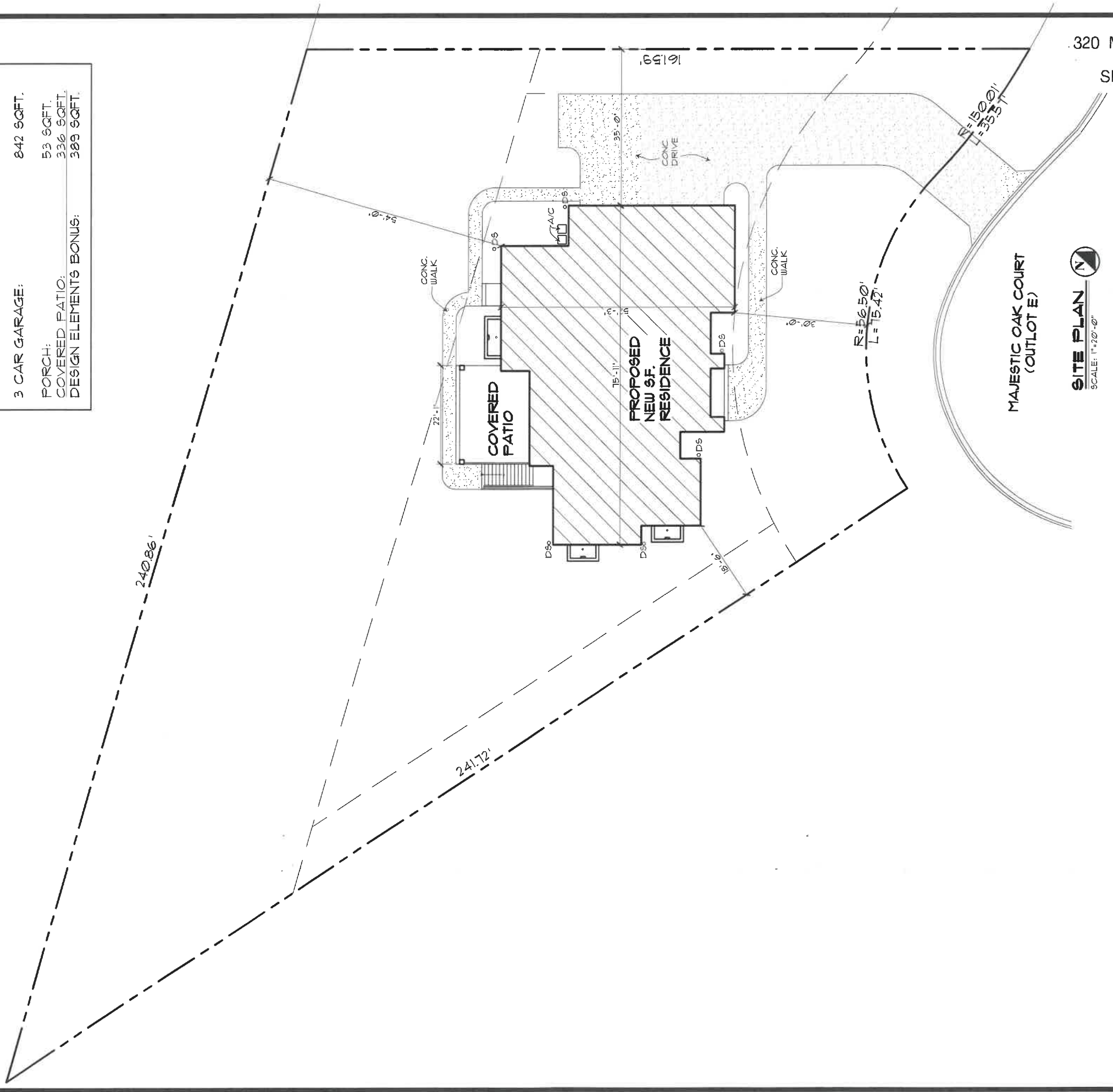
**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

LOT AREA:	25,614 SQFT.
ALLOWABLE BULK BY CODE:	4,280 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	428 SQFT.
NET AREA:	2,076 SQFT.
1ST FLOOR:	1,120 SQFT.
2ND FLOOR:	3,196 SQFT.
TOTAL NET LIVING AREA:	
GROSS AREA:	2,232 SQFT.
1ST FLOOR:	1,183 SQFT.
2ND FLOOR:	4,015 SQFT.
TOTAL GROSS BUILDING AREA:	
3 CAR GARAGE:	842 SQFT.
PORCH:	53 SQFT.
COVERED PATIO:	336 SQFT.
DESIGN ELEMENTS BONUS:	389 SQFT.



**SITE PLAN**  
SCALE: 1"=20'-0"

320 MAJESTIC OAK  
SITE PLAN

**PROPOSED NEW S.F. RESIDENCE**  
**320 MAJESTIC OAK CT.**  
LAKE FOREST  
ILLINOIS

DATE: 16 SEPT. 25

**ARCHIMAX, INC.**  
PROFESSIONAL DESIGN FIRM - NO: 184.007363-0001  
3315 W. ALGONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60038  
Phone: 847/877/4414  
Archimaxinc@gmail.com

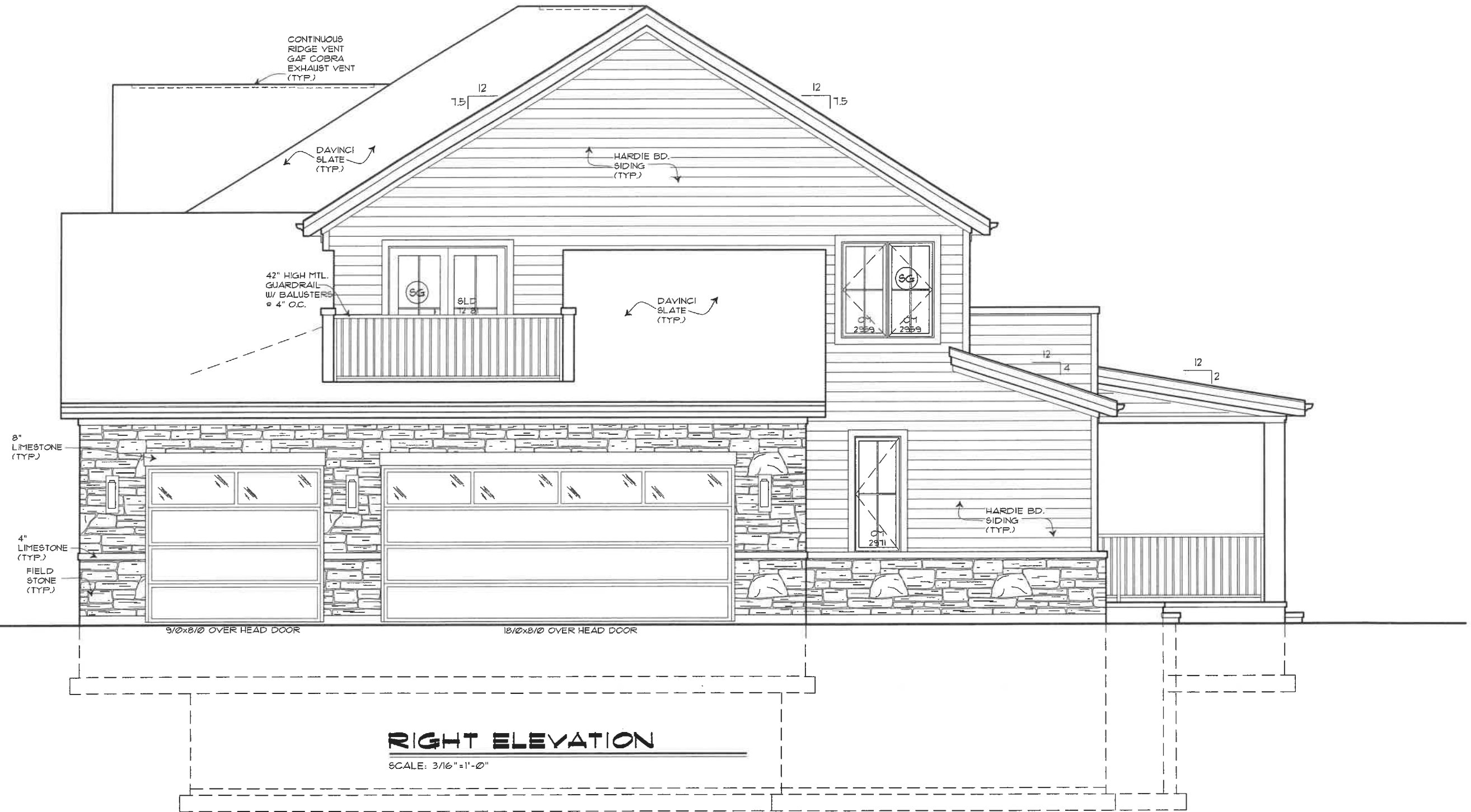
NORTHEAST ELEVATION



FRONT ELEVATION

SCALE: 3/16"=1'-0"

NORTHWEST ELEVATION



SOUTHWEST ELEVATION

METAL ROOF VENTS  
MATCH ROOF COLOR  
IR65 MASTER FLOW  
ROOF LOUVERS  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

HARDIE  
TRIM  
(TYP.)

42" HIGH MTL.  
GUARDRAIL  
W/ BALUSTERS  
# 4" Ø

HARDIE BD.  
SIDING  
(TYP.)

METAL  
(TYP.)

CONTINUOUS  
RIDGE VENT  
GAF COBRA  
EXHAUST VENT  
(TYP.)

DAVINCI  
SLATE  
(TYP.)

FIELD  
STONE  
(TYP.)

4" LIMESTONE  
(TYP.)

FIELD  
STONE  
(TYP.)

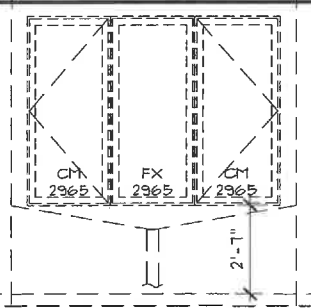
FIELD  
STONE  
(TYP.)

6x6 TRTD WD.  
POST W/  
WOOD TRIM

CL.G. LINE  
6'-10"  
WINDOW HEAD  
8'-1"  
F.F. LINE  
CL.G. LINE  
8'-0"  
WINDOW HEAD  
10'-1"  
F.F. LINE

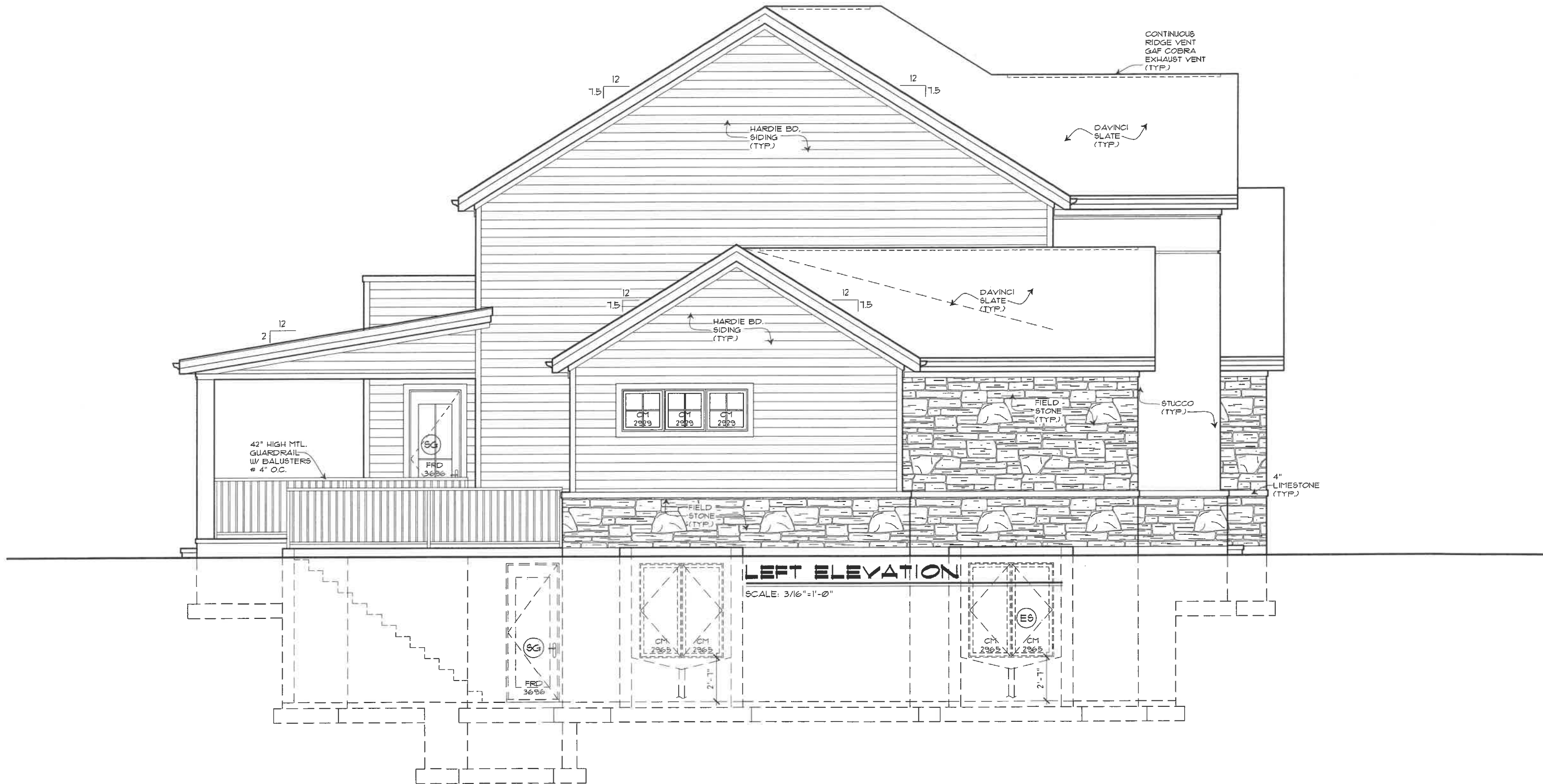
**REAR ELEVATION**

SCALE: 3/16"=1'-0"



NOTE:  
ALL BOTTOMS OF FOOTINGS  
TO BE MINIMUM 42" BELOW  
GRADE.

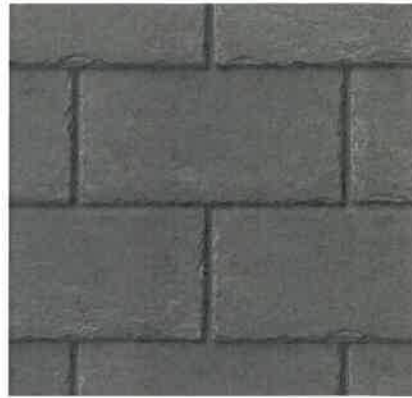
SOUTHEAST ELEVATION



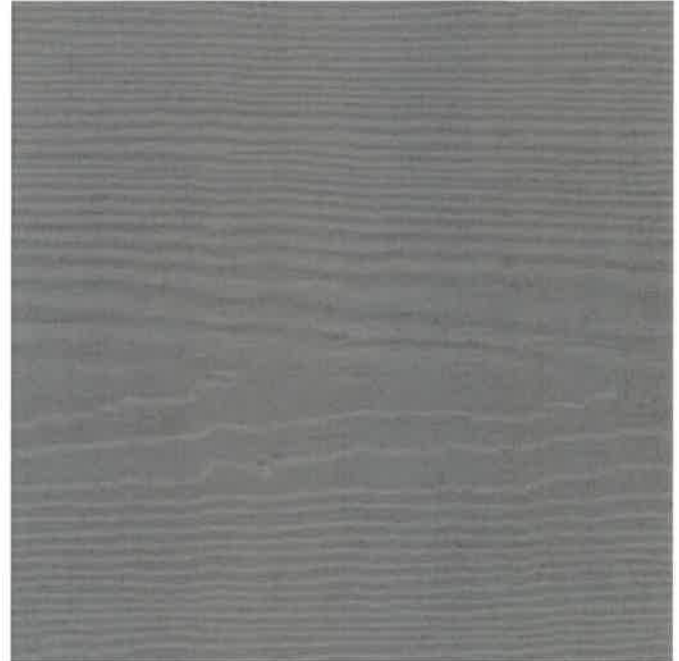
# 320 MAJESTIC OAK CT.



HALIQUIST STONE - STERLING GREY



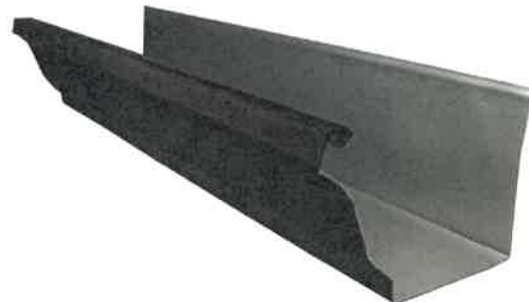
SLATE FIELD TILES - STEEL GRAY



JAMES HARDIE SIDING - ARCTIC WHITE & NIGHT GRAY



ALUMINUM SOFFIT - MATTE BLACK



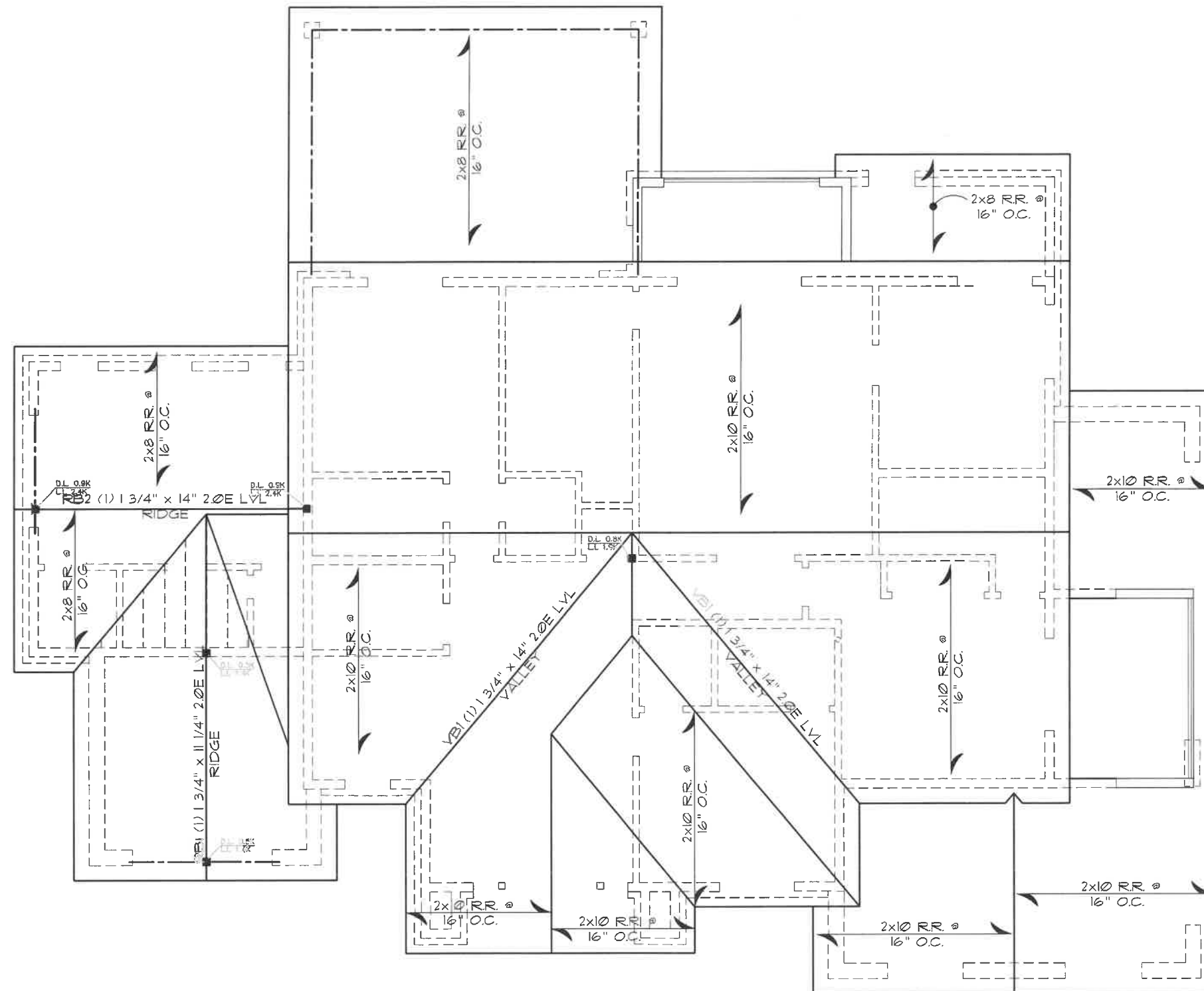
GUTTER SUPPLY - BLACK

320 MAJESTIC OAK

NORTHEAST ELEVATION

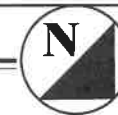
RENDERING

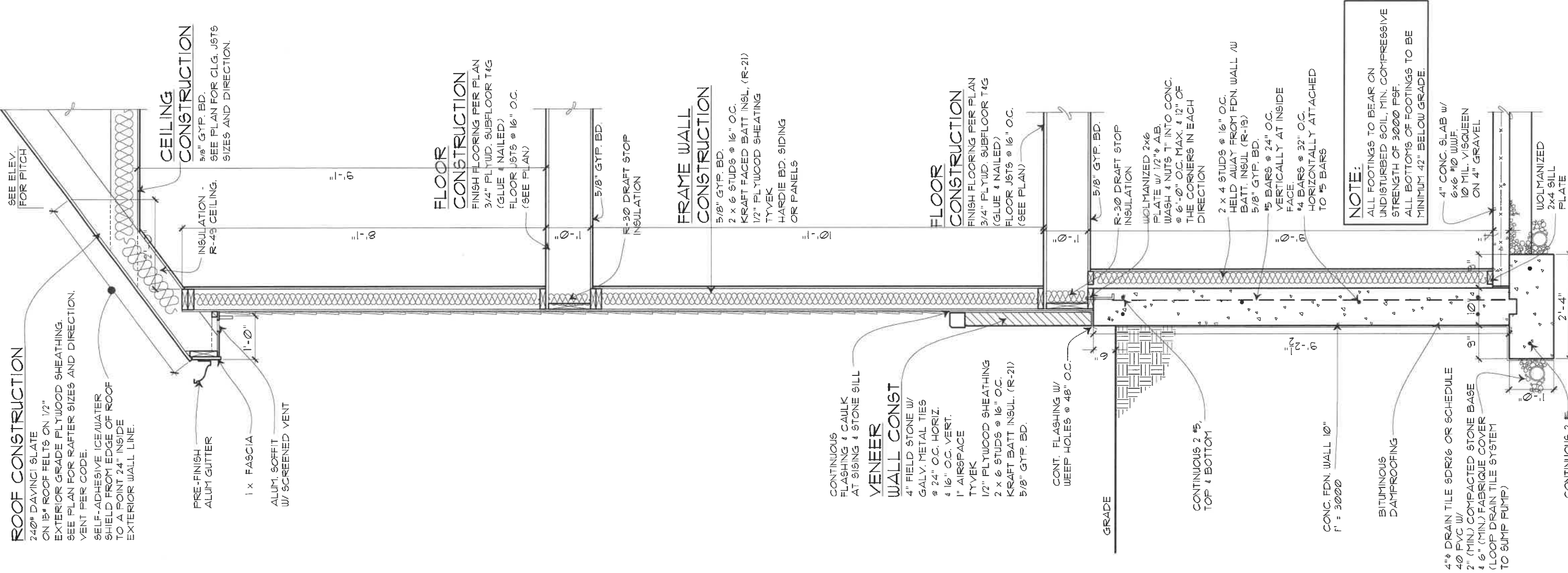




# ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"





**ROOF CONSTRUCTION**

24" DAVINCI SLATE  
ON 15" ROOF FELTS ON 1/2"  
EXTERIOR GRADE PLYWOOD SHEATHING.  
SEE PLAN FOR RAFTER SIZES AND DIRECTION.  
VENT PER CODE.  
SELF-ADHESIVE ICE/WATER  
SHIELD FROM EDGE OF ROOF  
TO A POINT 24" INSIDE  
EXTERIOR WALL LINE.

**CEILING CONSTRUCTION**

5/8" GYP. BD.  
SEE PLAN FOR CLG. JST'S  
SIZES AND DIRECTION.

**FLOOR CONSTRUCTION**

FINISH FLOORING PER PLAN  
3/4" PLYWD. SUBFLOOR T&G  
(GLUE & NAILED)  
FLOOR JST'S @ 16" O.C.  
(SEE PLAN)

**FRAME WALL CONSTRUCTION**

5/8" GYP. BD.  
2 x 6 STUDS @ 16" O.C.  
KRAFT FACED BATT INSL. (R-21)  
1/2" PLYWOOD SHEATHING  
TYVEK  
HARDIE BD. SIDING  
OR PANELS

**FLOOR CONSTRUCTION**

FINISH FLOORING PER PLAN  
3/4" PLYWD. SUBFLOOR T&G  
(GLUE & NAILED)  
FLOOR JST'S @ 16" O.C.  
(SEE PLAN)

**WALL CONST**

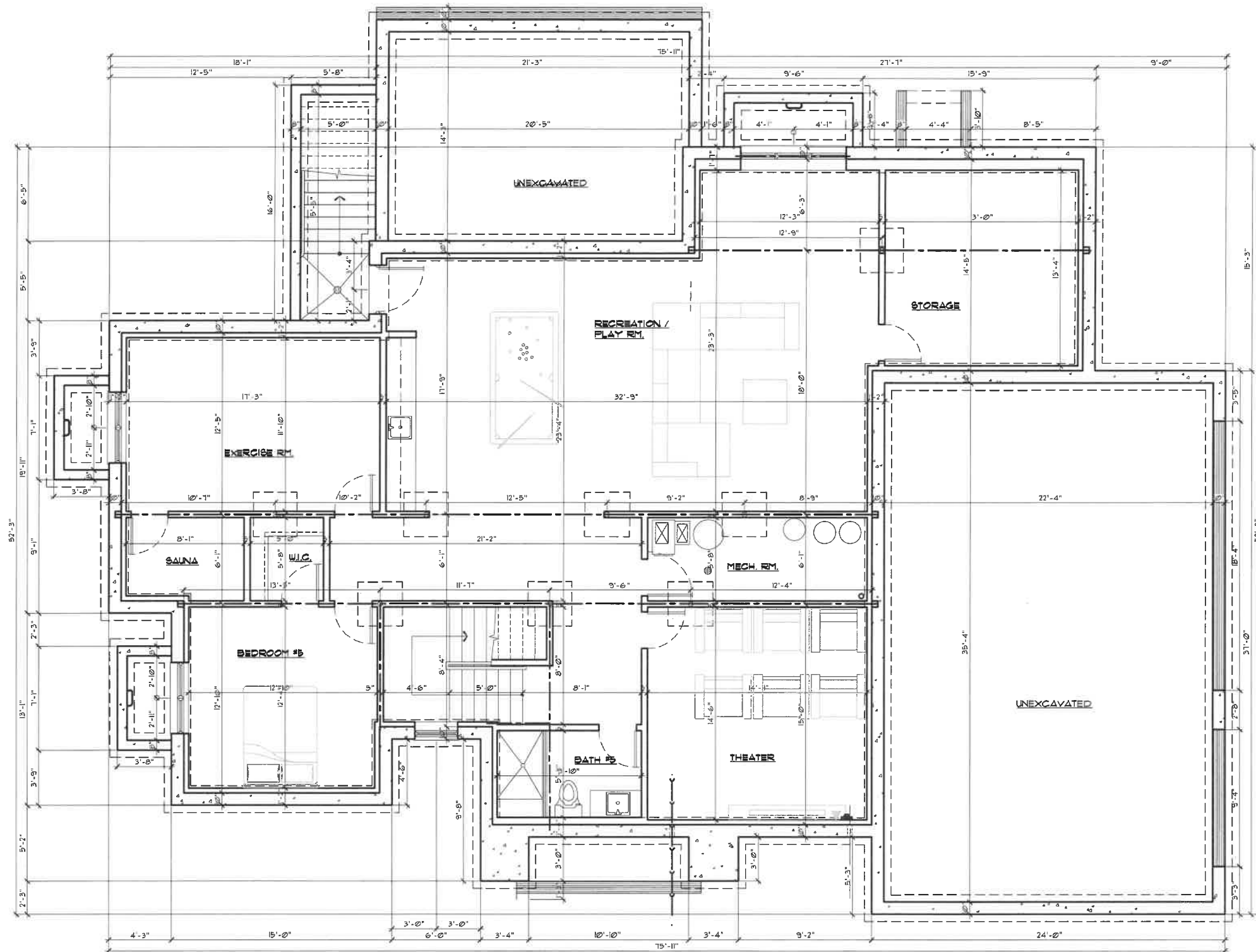
4" FIELD STONE W/  
GALV. METAL TIES  
@ 24" O.C. HORIZ.  
& 16" O.C. VERT.  
1" AIRSPACE  
TYVEK  
1/2" PLYWOOD SHEATHING  
2 x 6 STUDS @ 16" O.C.  
KRAFT BATT INSL. (R-21)  
5/8" GYP. BD.

**NOTE:**  
ALL FOOTINGS TO BEAR ON  
UNDISTURBED SOIL, MIN. COMPRESSIVE  
STRENGTH OF 3000 PSF  
ALL BOTTOMS OF FOOTINGS TO BE  
MINIMUM 42" BELOW GRADE.

**TYP. WALL SECTION**

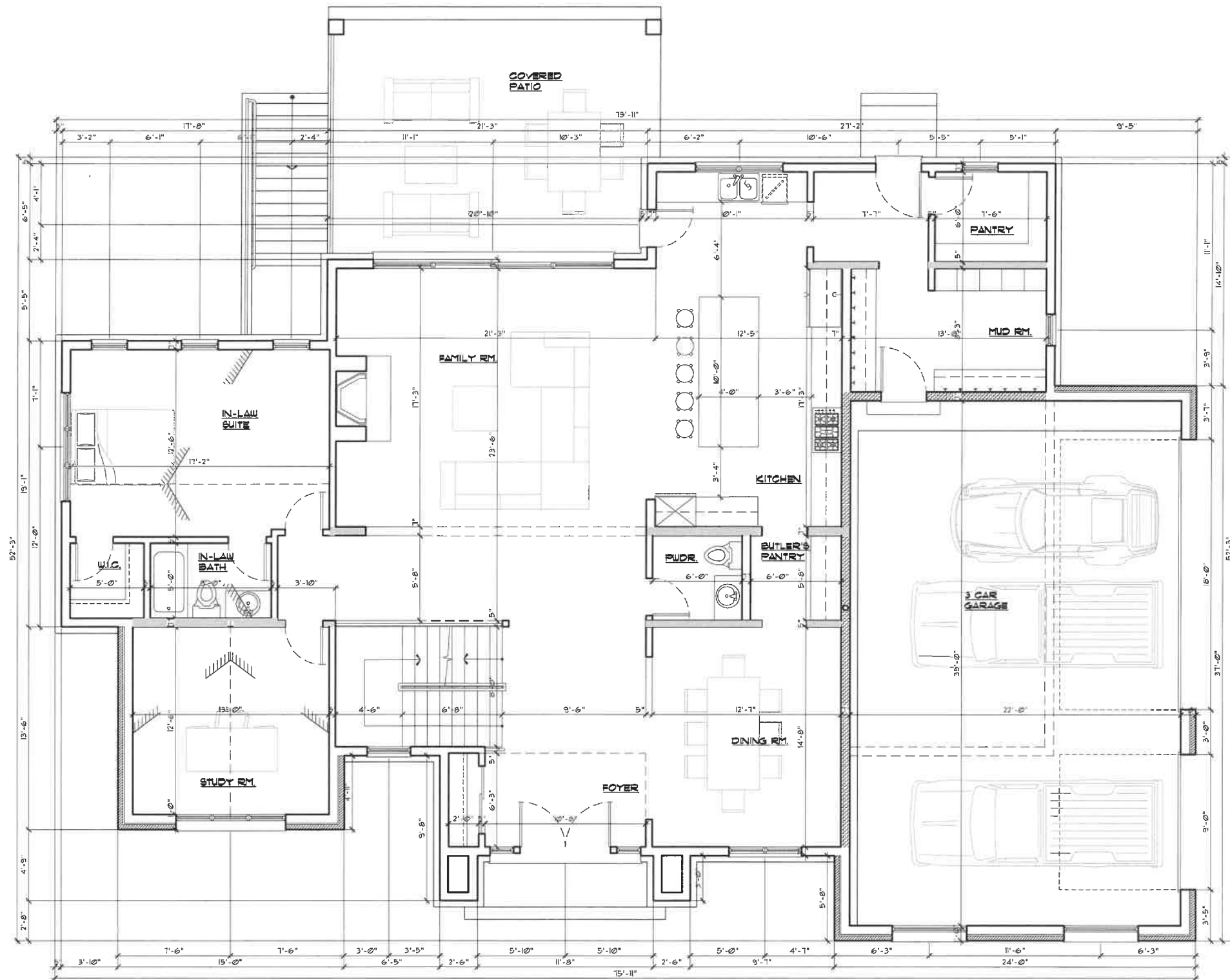
1  
A-5 SCALE: 1/2"=1'-0"

FOUNDATION PLAN



**FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"

FIRST FLOOR PLAN

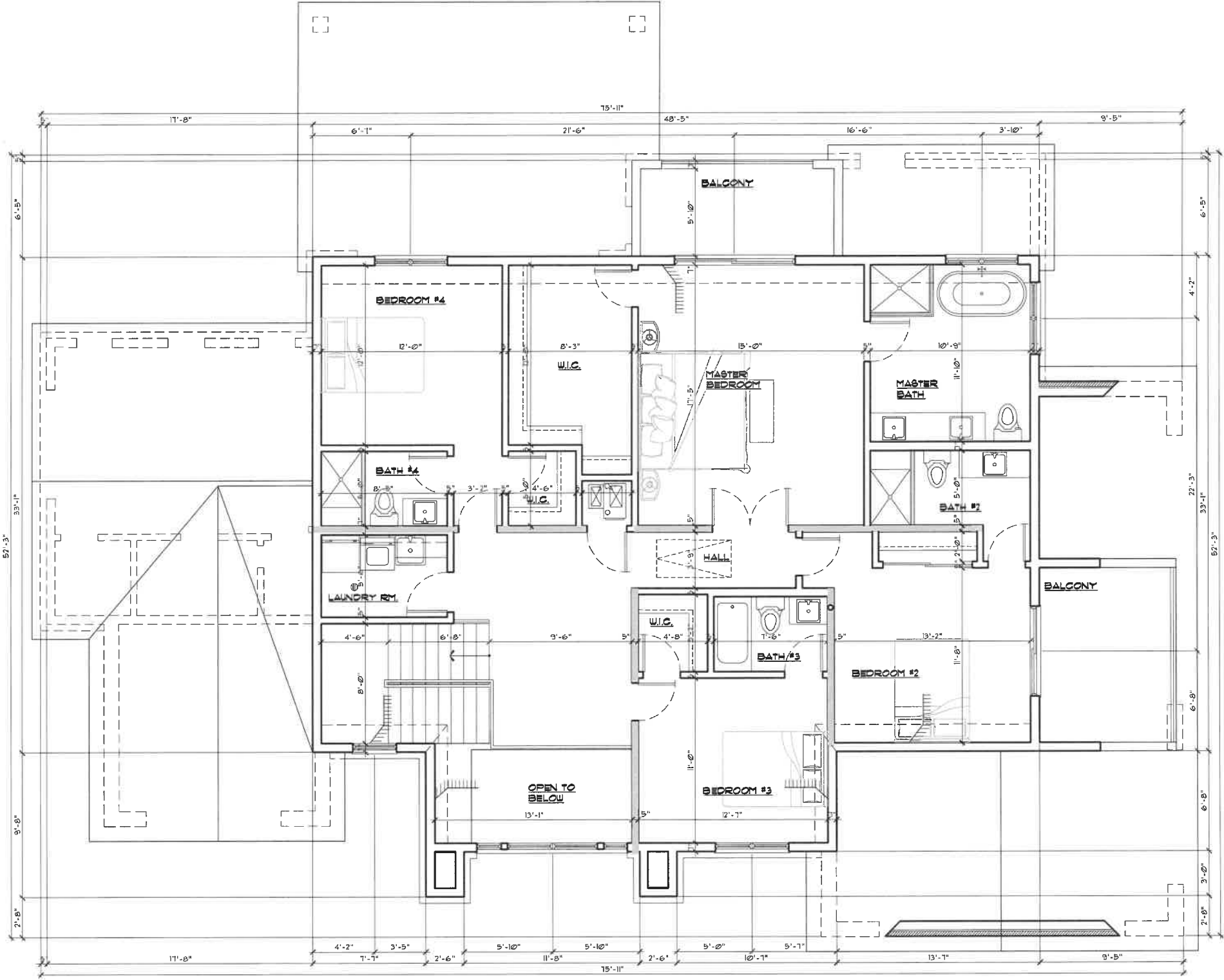


1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



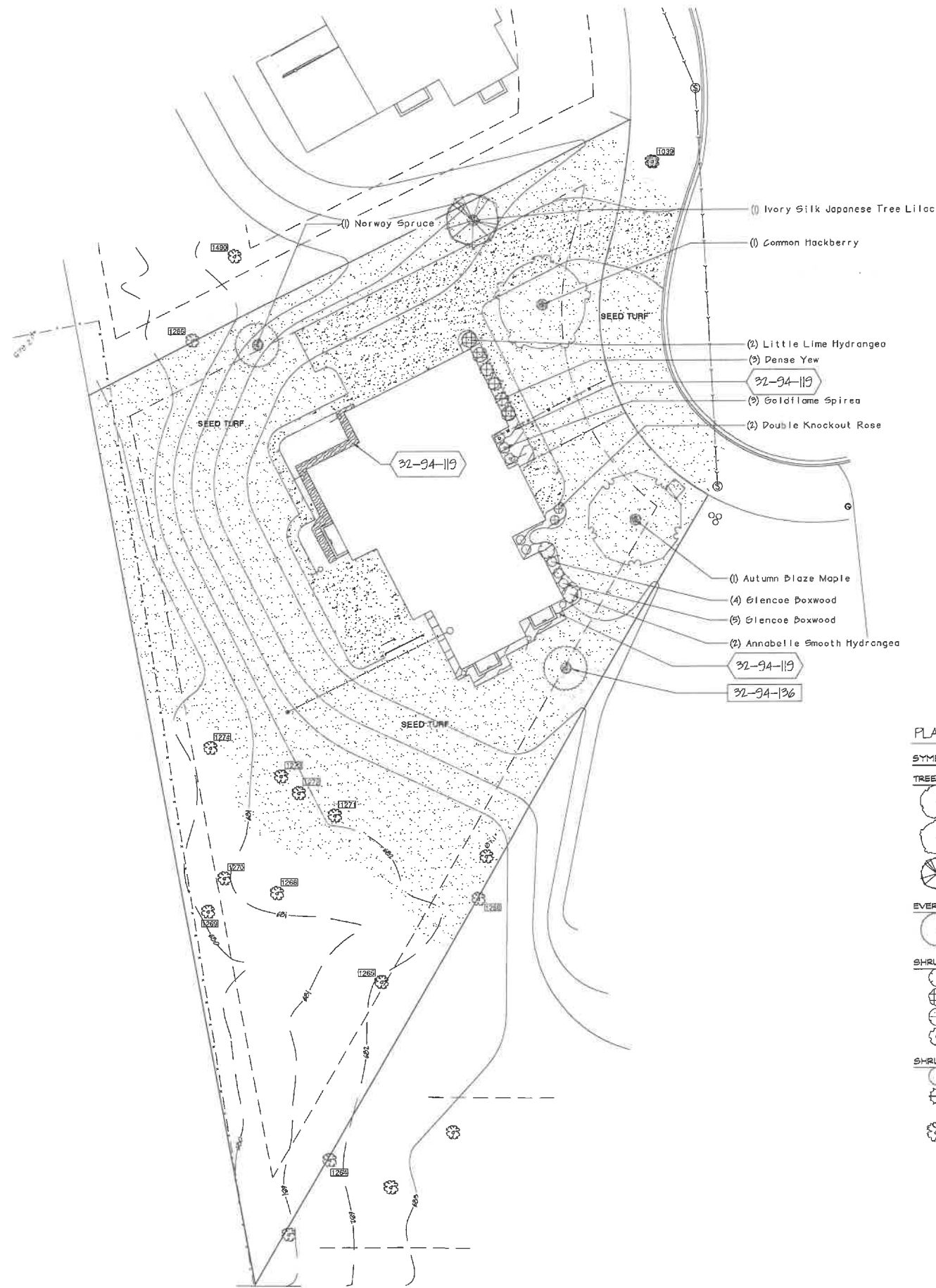
SECOND FLOOR PLAN



2ND FLOOR PLAN  
SCALE: 1/8"=1'-0"



# LANDSCAPE PLAN



### REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-93-28	REINARS PREMIUM 60 TURF-SEED AND ON SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6" BIODEGRADABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	14,867 sq ft
	32-94-119	SHREPPED DARK MULCH, 3-4" DEPTH	564 sq ft
	32-94-136	3" DIAMETER MULCH TREE RING	6
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	166 lf

**LANDSCAPE ORDINANCE**  
 STREET FOUNDATION LINEAL FOOTAGE - 50' 2 X 3' SHRUBS PER 10 LF - 18 SHRUBS  
 REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF - 80' = 2 TREES. PLAN HAS 2 TREES  
 REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 ORNAMENTAL TREES  
 OR  
 REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 EVERGREEN TREE

### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
<b>TREES</b>						
	ACE A12	Acer freemonii 'Autumn Blaze' / Autumn Blaze Maple	3" Cal.	D&D	1	50' x 35' Mature Size
	CEL 002	Celtis occidentalis / Common Hackberry	3" Cal.	D&D	1	50' x 35' Mature Size
	SYR 100	Syringa reticulata Ivory Silk / Ivory Silk Japanese Tree Lilac	6" Ht.	D&D	1	15' x 15' Mature Size
<b>EVERGREEN TREES</b>						
	PIE A01	Picea abies / Norway Spruce	6" Ht.	D&D	2	10' x 25' Mature Size
<b>SHRUBS</b>						
	HYD ANN	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3" Ht.		2	Mature Size 5' x 5'
	HYD L64	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	3" Ht.		3	5' x 5' Mature Size
	ROS D09	Rosa x 'Double Knockout Radtko' / Double Knockout Rose	5 gal		2	5' x 5' Mature Size
	SPI 004	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal		3	4' x 4' Mature Size
<b>SHRUB EVERGREENS</b>						
	TAX 013	Taxus x 'Chicago Land Green' TM / Silenae Boxwood	14"		5	36" x 30" Mature Size
	TAX DEN	Taxus x media 'Densiflora' / Dense Yew	14"		3	3' x 5' Mature Size
		Existing Trees				

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No.	Revision/Issue	Date
1		
2		
3		
4		

## 320 MAJESTIC OAK LAKE FOREST, ILLINOIS

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000629

Project: 20250822.1  
 Date: 8-22-25\_1

Sheet  
**L-1.0**



LANDSCAPE PLAN



# PROPOSED GRADING & UTILITY PLAN

## GRADING PLAN

CONTRACTOR SHALL FIELD-VERIFY THE LOCATIONS OF THE SANITARY SEWER STUB AND WATER SERVICE PRIOR TO CONNECTION. THE LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. CONTRACTOR MUST COORDINATE WITH THE ENGINEER FOR ANY NECESSARY ADJUSTMENTS.

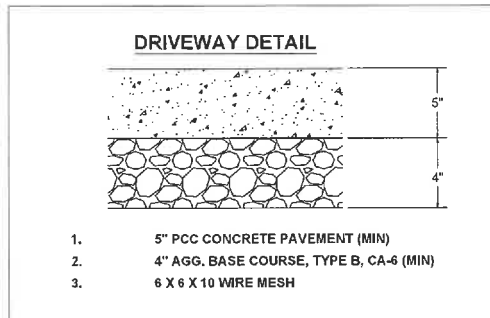
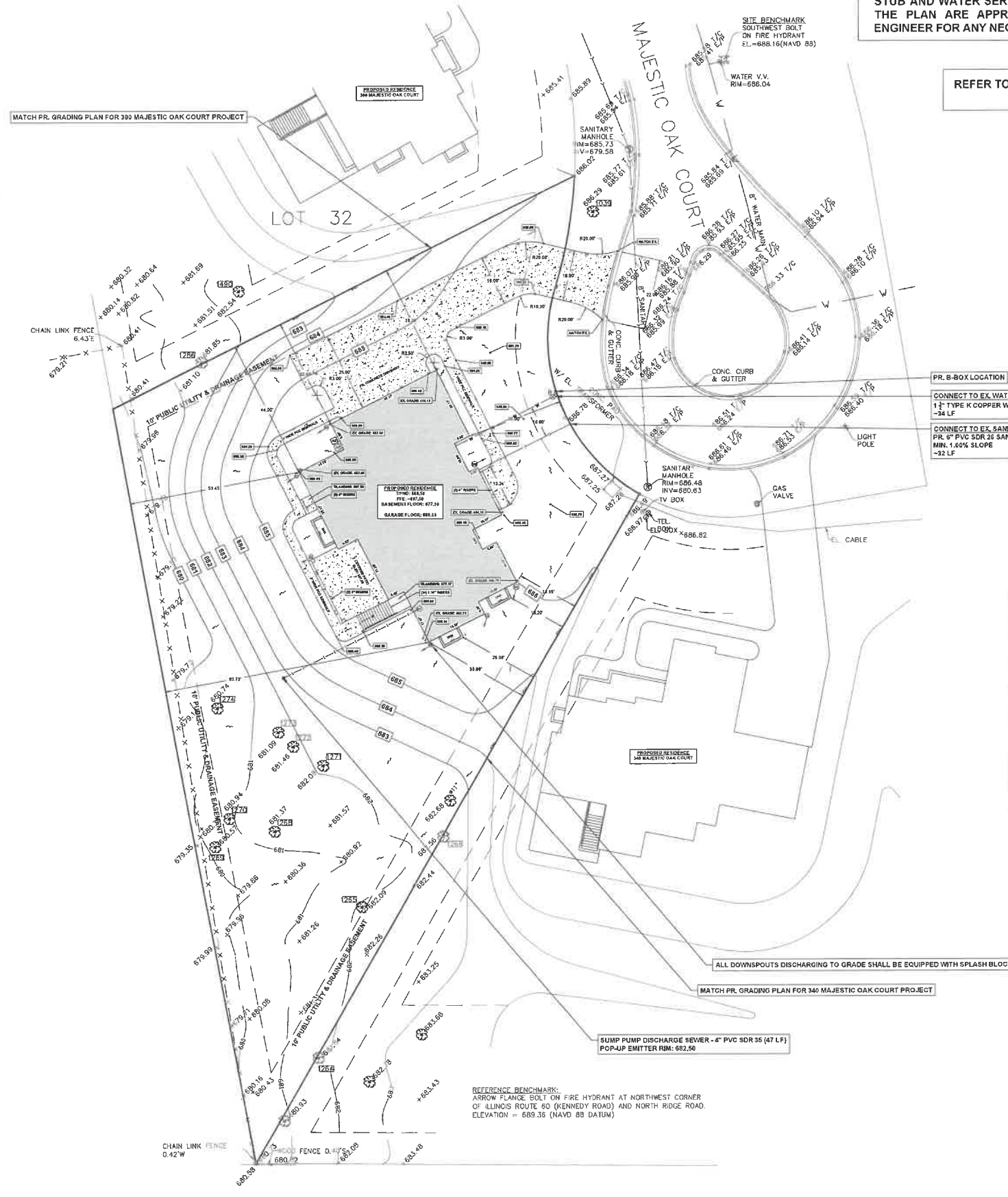
REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED FOUNDATION DIMENSIONS

### UTILITY NOTES

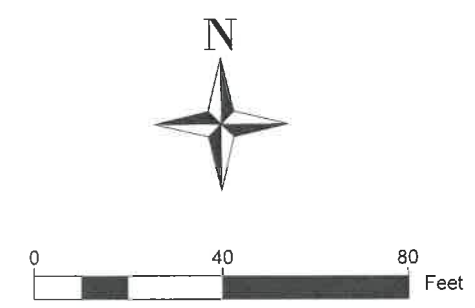
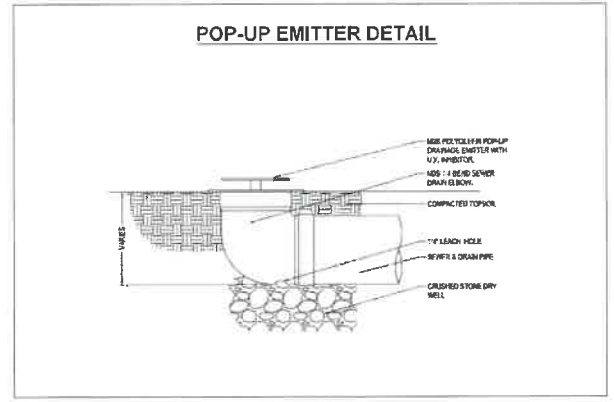
- ALL BASEMENTS MUST HAVE A SEWER EJECTOR AND OVERHEAD SEWER SYSTEM.
- FOOTING DRAINS CONNECT TO SUMP THAT DISCHARGES TO STORM SEWER.
- DOWNSPOUTS TO SPLASH TO GRADE, BE DIRECTED TOWARD THE FRONT OR REAR OF THE HOME, NOT DISCHARGE WITHIN 10' OF THE PROPERTY LINES AND NOT CONNECT TO THE STORM SEWER.
- INSTALL TIENS TO SATISFACTION OF VILLAGE. ALL PROPOSED CONNECTIONS TO HAVE A SECTION OF THE MAIN REPLACED WITH A WYE SECTION.
- ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES. UTILITIES CLOSER THAN THESE LIMITS MUST BE AUGURED.
- WATER SERVICE, SANITARY SERVICE, AND STORM SEWER SHALL BE AUGURED UNDER THE STREET.
- MINIMUM 1' DISTANCE BETWEEN NEW SANITARY AND WATER SERVICES.
- INSTALL FIRST SANITARY CLEANOUT WITHIN 10 FEET OF HOUSE.
- PLUMBER TO VERIFY TIE-IN INVERTS FOR STORM AND SANITARY BEFORE PLACING SEWER PIPE.
- ALL SEWER LINES SHALL UTILIZE 22-DEGREE, 45-DEGREE, OR LONG-SWEEP 90-DEGREE FITTINGS TO ACCOMMODATE CHANGES IN DIRECTION.
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE.
- NEW WATER SERVICE SHALL BE INSTALLED WITH MIN 6'-4" SERVICE DEPTH.
- CONTACT PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO REQUEST A MAIN TAP.
- WATER & SANITARY SERVICES MUST BE INSTALLED BY A LICENSED PLUMBER.
- THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY, IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
- UTILITY SERVICES SHALL BE AS FOLLOWS:
  - WATER - TYPE "K" COPPER
  - SANITARY - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212. DUCTILE IRON PIPE PAST FOUNDATION OVERDIG.
  - STORM - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
- THE PROPOSED STORM/SANITARY SERVICE CONNECTION TO THE EXISTING SEWER LINE SHALL BE MADE WITH A SEWER TAP MACHINE WITH HUB AND STAINLESS STEEL SADDLE.
- SUMP PUMP IS TO BE CONNECTED TO THE PROPOSED STORM SEWER SERVICE UTILIZING 4-INCH PVC SDR 26 PIPE.
- THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE.
- TO PREVENT "FLAKING" OF PVC PIPING, ONLY USE SELECT EARTH BACKFILL AND BEDDING WITH THE EXCEPTION OF ALL DRIVEWAY LOCATIONS WHERE FULL DEPTH CA-6 IS REQUIRED.
- PROTECT ALL EXISTING AND NEW DRAINS USING ABOVE-GRADE INLET FILTERS (SEE DETAIL ER-4)
- THE EXISTING WATER SERVICE DISCONNECTION AND THE PROPOSED WATER SERVICE CONNECTION SHALL BOTH BE MADE AT THE MAIN.
- THE PROPOSED SERVICE CONNECTION MUST BE AT LEAST 18" FROM THE EX. SERVICE DISCONNECTION
- THE EXISTING B-BOX SHALL BE COMPLETELY REMOVED AND A NEW B-BOX SHALL BE PROVIDED IN A NON-PAVED AREA OF THE FRONT OF WAY.
- NEW WATER SERVICE CONNECTION MUST BE A MINIMUM OF 4- FEET FROM A FIRE HYDRANT

### GRADING NOTES

- CALL 311/J.U.E. FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE NOTED ON THE PLOT PLAN OR ON THE CONSTRUCTION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE.
- NO WOOD CHIPS OR MULCH IN SIDEYARD DRAINAGE SWALE AREAS.
- ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE IN THE EXCEPT AS NOTED ON THE PLAN, THERE IS TO BE NO ALTERATION OF EXISTING GROUND ELEVATION ANYWHERE ON THE SUBJECT PROPERTY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
- ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
- INSTALL SILT CONTROL FENCING AROUND ALL AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK. REFER TO THE DETAIL SHEET FOR SILT CONTROL FENCING INSTALLATION. VILLAGE INSPECTION OF INSTALLED SILT CONTROL FENCING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH SIX-INCHES OF TOPSOIL & SOD WITHIN FIVE DAYS OF COMPLETION OF PERTINENT WORK, WEATHER PERMITTING. ALL SOD MUST BE WATERED TO SUSTAIN GROWTH.
- GRADE SHALL BE MATCHED AT ALL NEIGHBORING PROPERTY LINES.
- AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOP SOIL.
- DRAINAGE SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION)



- 5" PCC CONCRETE PAVEMENT (MIN)
- 4" AGG. BASE COURSE, TYPE B, CA-6 (MIN)
- 6 X 6 X 10 WIRE MESH



ORIGINAL ISSUE DATE: 07-22-2025	DESCRIPTION
NO. DATE	
<b>KRUJENG</b>	
LICENSE NO: 184-009237-0302	
EXPIRES: 11/30/2025	

**PROPOSED GRADING & UTILITY PLAN**  
**320 MAJESTIC OAK COURT, LAKE FOREST, IL**  
 JOB NO: 25-378  
 DESIGN BY: KU  
 DRAWN BY: KU  
 SCALE: 1" = 20'  
**2 OF 4**

## **340 Majestic Oak**

Materials Submitted by Petitioner

Building Scale Summary

Application

Statement of Intent

Description of Materials

Site Plan

Elevations

Samples of Materials

Rendering

*Roof Plan*

*Building Section*

*Floor Plans*

Landscape Plan

Survey – Existing Conditions and Tree Removal Plan

Grading Plan

*Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.*

**THE CITY OF LAKE FOREST HISTORIC PRESERVATION COMMISSION -- BUILDING SCALE INFORMATION SHEET**

Address 340 Majestic Oak Owner Bartek Skrzynecki and Grzegorz Malicki  
 Representative Paul Szurley Reviewed by: L. Prado  
 Date 11.5.2025  
 Lot Area 35243 sq. ft. Allowed Square Footage 4762

**Square Footage of Residence**

1st floor 2044 + 2nd floor 2135 + 3rd floor 0 = 4179 sq. ft.

Design Element Allowance = 476 sq. ft.

Total Actual Design Elements = 321 sq. ft. Excess = 0 sq. ft.

Garage 600 sf actual ; 1159 sf allowance Excess = 559 sq. ft.

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

**Total Square Footage of Residence** = 4738 sq. ft.

**TOTAL SQUARE FOOTAGE** = 4738 sq. ft.

**TOTAL SQUARE FOOTAGE ALLOWED** = 4762 sq. ft.

**DIFFERENTIAL** = 24 sq. ft. **NET RESULT:**  
Under Maximum 24 sq. ft. is

Allowable Height: 35 ft. Actual Height 35.0 ft. less than 1% under Max. allowed

**DESIGN ELEMENT EXEMPTIONS**

**Design Element Allowance:** 476 sq. ft.

Open Porches = 110 sq. ft.

Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 211 sq. ft.

Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

**Total Actual Design Elements** = 321 sq. ft.

**Excess Design Elements** = 0 sq. ft.



**THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 340 MAJESTIC OAK

**APPLICATION TYPE**

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

**PROPERTY OWNER INFORMATION**

ELITE DEVELOPMENT GROUP  
*Owner of Property*

5939 W MONTROSE AVE  
*Owner's Street Address (may be different from project address)*

CHICAGO 60634  
*City, State and Zip Code*

773-727-8546  
*Phone Number*                      *Fax Number*

MARCIN.DYNAMICGROUP@GMAIL.COM  
*Email Address*

B. Skrymecki  
*Owner's Signature*

**ARCHITECT/BUILDER INFORMATION**

PAUL - PRESIDENT  
*Name and Title of Person Presenting Project*

SP GROUP PRO INC  
*Name of Firm*

1970 S. GOEBBERT RD  
*Street Address*

ARLINGTON HTS IL 60005  
*City, State and Zip Code*

847-323-9948  
*Phone Number*                      *Fax Number*

SPGROUPPRO@GMAIL.COM  
*Email Address*

P. Skrymecki  
*Representative's Signature (Architect/ Builder)*

<b>The staff report is available the Friday before the meeting, after 3:00pm.</b>		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

Date: 10/21/2025

## Statement of Intent for Proposed Residential Design

Project Address: **300 MAJESTIC OAK CT.**

Prepared by: **SP Group Pro.**

This Statement of Intent is submitted in support of the proposed residential design at 300 Forest Edge, Lake Forest, Illinois. The project reflects a deliberate integration of Transitional Contemporary architecture with builder-informed design standards that define today's most desirable and market-responsive homes. The residence is designed to harmonize with the Forest Edge neighborhood while embracing the materials, forms, and spatial efficiencies actively seen in new construction across Lake Forest and surrounding communities.

### **Architectural Style and Builder-Informed Design Characteristics**

The proposed residence is a Transitional Contemporary home, blending classic suburban massing with modern detailing to achieve timeless curb appeal and functional elegance. This architectural language is widely adopted by builders for its versatility, marketability, and enduring aesthetic.

Key builder-driven features include:

- **Symmetrical Gabled Rooflines:** Multiple gables with dark asphalt shingles create architectural rhythm and visual interest while supporting efficient roof framing and drainage—hallmarks of modern builder design.
- **Mixed-Material Facade:** The combination of stone veneer and horizontal siding reflects current builder preferences for texture, contrast, and low-maintenance durability. These materials are selected for their long-term performance and broad buyer appeal.
- **Oversized Black-Framed Windows:** Vertically proportioned windows provide generous natural light and a sleek contemporary look. These are now standard in premium builds for both aesthetic and energy efficiency.
- **Defined Entryway with Central Placement:** The recessed front door is framed by clean lines and a symmetrical facade, offering architectural hierarchy and a welcoming transition—consistent with builder trends that emphasize entryway prominence.
- **Structured Landscaping:** The front yard features manicured lawns, ornamental shrubs, flowering plants, and decorative rockwork. These elements mirror landscaping strategies used in new construction developments to enhance curb appeal and site integration.

The house number “300” is prominently displayed on the right side of the facade, contributing to clarity and visual balance.

### **Market Alignment and Design Objectives**

This residence reflects what is actively being built, marketed, and sold in today’s residential landscape particularly in high-demand suburban communities like Lake Forest. The design aligns with buyer expectations for:

- Open, light-filled interiors
- Low-maintenance exterior materials
- Energy-efficient fenestration
- Harmonious blend of traditional and modern elements
- Thoughtful site integration and curb appeal

This residence is designed to meet those expectations while respecting the architectural character of the Forest Edge neighborhood. It is not speculative, it is representative of what is being built and sold today, ensuring both community compatibility and long-term value.

This submission is made with full consideration of the Design Review Committee’s role in preserving neighborhood character and promoting high-quality architectural outcomes. We welcome any feedback and remain committed to collaborative refinement as needed.



THE CITY OF LAKE FOREST  
BUILDING REVIEW BOARD APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS**  
(The use of natural materials is strongly encouraged)

**Facade Material**

- |  |  |
|--|--|
| <input type="checkbox"/> Stone                 | <input type="checkbox"/> Aluminum Siding     |
| <input type="checkbox"/> Brick                 | <input type="checkbox"/> Vinyl Siding        |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco    |
| <input type="checkbox"/> Stucco                | <input type="checkbox"/> Other <u>HARDIE</u> |
| <input type="checkbox"/> Wood Shingle          |  |
- Individual or Panels? \_\_\_\_\_
- Color of Material \_\_\_\_\_

**Window Treatment**

- |                                      |   |
|--------------------------------------|---|
| <b>Primary Window Type</b>           | <b>Finish and Color of Windows</b>                |
| <input type="checkbox"/> Double Hung | <input type="checkbox"/> Wood (recommended)       |
| <input type="checkbox"/> Casement    | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Siding      | <input type="checkbox"/> Vinyl Clad               |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____              |

Color of Finish \_\_\_\_\_

**Window Muntins**

- Not Provided  
 True Divided Lites

*Simulated Divided Lites*

- Interior and Exterior muntin bars (recommended)  
 Interior muntin bars only  
 Exterior muntin bars only  
 Muntin bars contained between the glass

**Trim Material**

- |                                      |  |
|--------------------------------------|--|
| <b>Door Trim</b>                     | <b>Window Trim</b>                           |
| <input type="checkbox"/> Limestone   | <input type="checkbox"/> Limestone           |
| <input type="checkbox"/> Brick       | <input type="checkbox"/> Brick               |
| <input type="checkbox"/> Wood        | <input type="checkbox"/> Wood                |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other <u>HARDIE</u> |

**Fascias, Soffits, Rakeboards**

- Wood  
 Other ALUMINIUM

THE CITY OF LAKE FOREST  
HISTORIC PRESERVATION COMMISSION APPLICATION  
**DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED**

**Chimney Material**

- Brick
- Stone
- Stucco
- Other \_\_\_\_\_

**Foundation Material**

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

**Roofing**

**Primary Roof Material**

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles \_\_\_\_\_
- Sheet Metal \_\_\_\_\_
- Other \_\_\_\_\_

**Flashing Material**

- Copper
- Sheet Metal
- Other DA VINCI SLATE

**Skylights**

- Proposed
- Existing
- None

**Gutters and Downspouts**

- Copper
- Aluminum
- Other \_\_\_\_\_

**Driveway Material**

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other \_\_\_\_\_

**Terraces and Patios**

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other \_\_\_\_\_

340 MAJESTIC OAK

SITE PLAN

DATE: 16 SEPT. 25

**ARCHIMAX, INC.**  
PROFESSIONAL DESIGN FIRM - NO: 184.007369-0001  
3315 W. ALCONQUIN RD., STE. 440, ROLLING MEADOWS, IL 60008  
Phone: 847/877/4414  
Archimaxinc@gmail.com

246.99'

241.72'

217.03'

RIDGE RD.

50'-0"

53'-0"

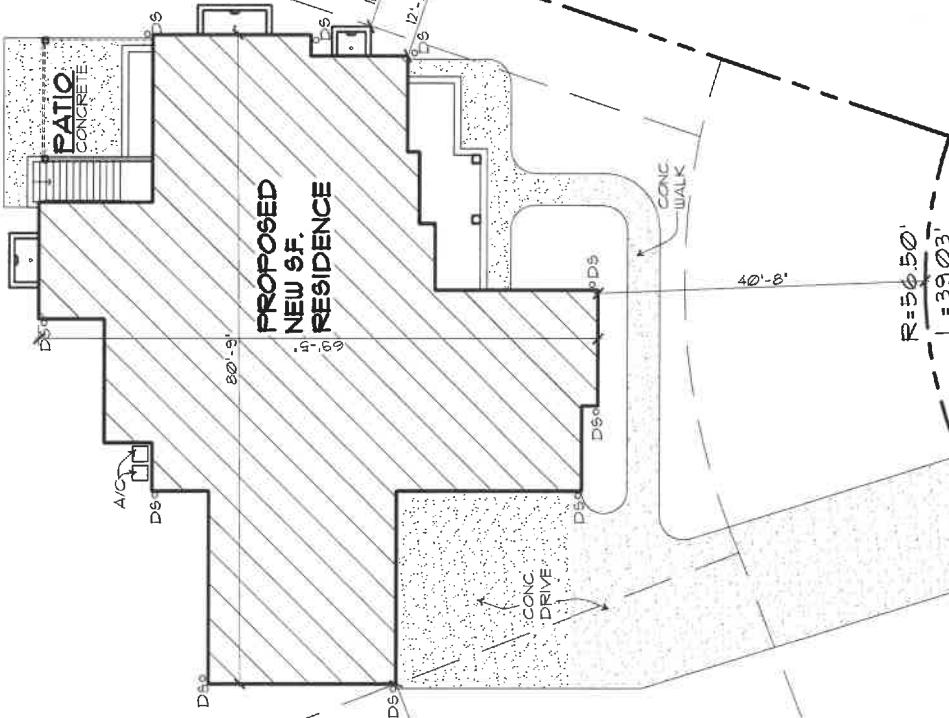
R=56.50'  
L=39.03'

40'-8"

MAJESTIC OAK COURT  
(OUTLOT E)



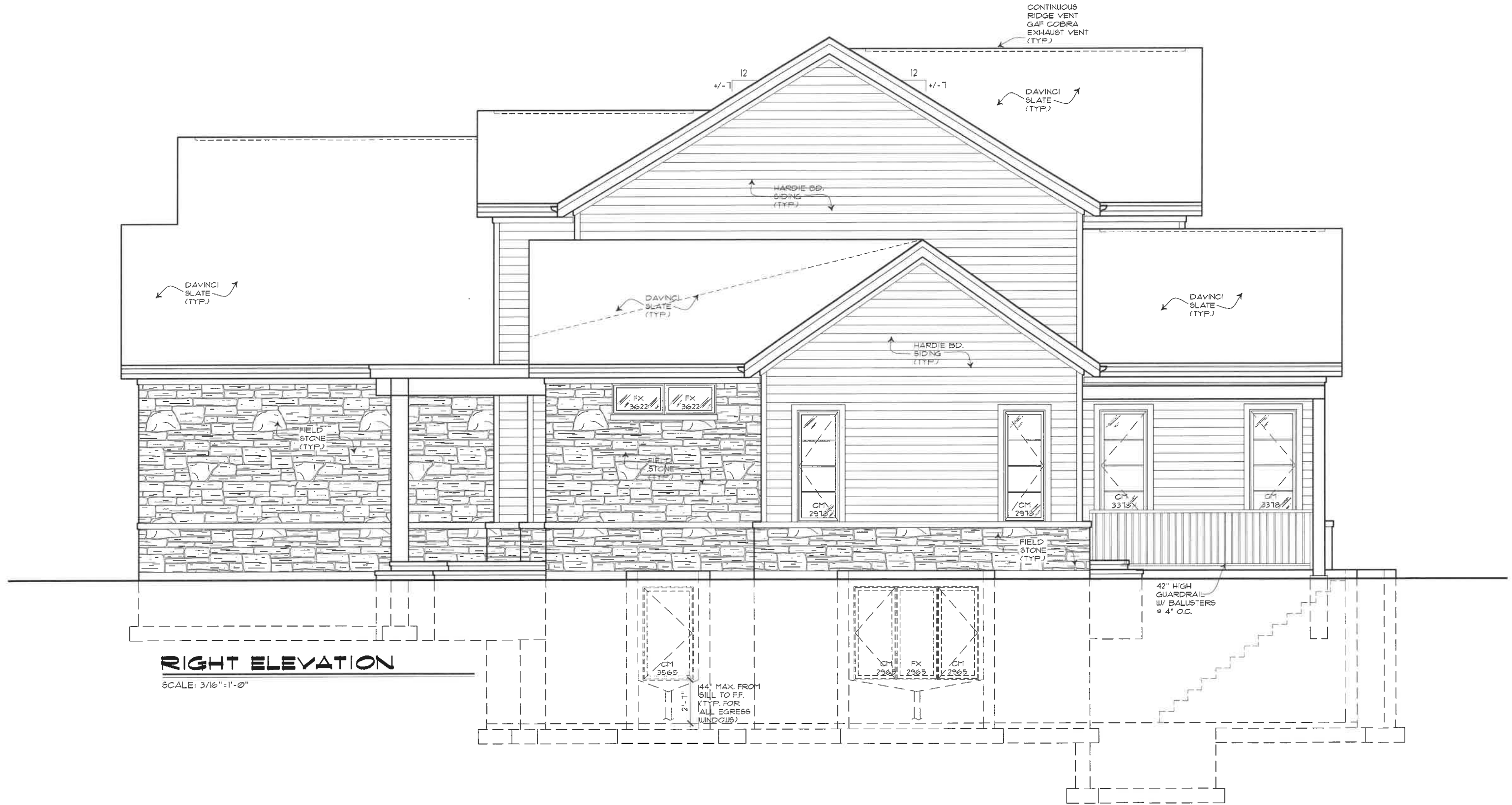
**SITE PLAN**  
SCALE: 1"=20'-0"



LOT AREA:	35,243 SQFT.
ALLOWABLE BULK BY CODE:	4,762 SQFT.
GARAGE BONUS:	600 SQFT.
DESIGN ELEMENTS BONUS 10%:	952 SQFT.
NET AREA:	1902 SQFT.
1ST FLOOR:	1359 SQFT.
2ND FLOOR:	3861 SQFT.
TOTAL NET LIVING AREA:	2,044 SQFT.
GROSS AREA:	2,135 SQFT.
1ST FLOOR:	4,179 SQFT.
2ND FLOOR:	1,159 SQFT.
TOTAL GROSS BUILDING AREA:	110 SQFT.
4 CAR GARAGE:	211 SQFT.
PORCH:	321 SQFT.
PERGOLA:	
DESIGN ELEMENTS BONUS:	

**PROPOSED NEW S.F. RESIDENCE**  
**340 MAJESTIC OAK CT.**  
LAKE FOREST  
ILLINOIS



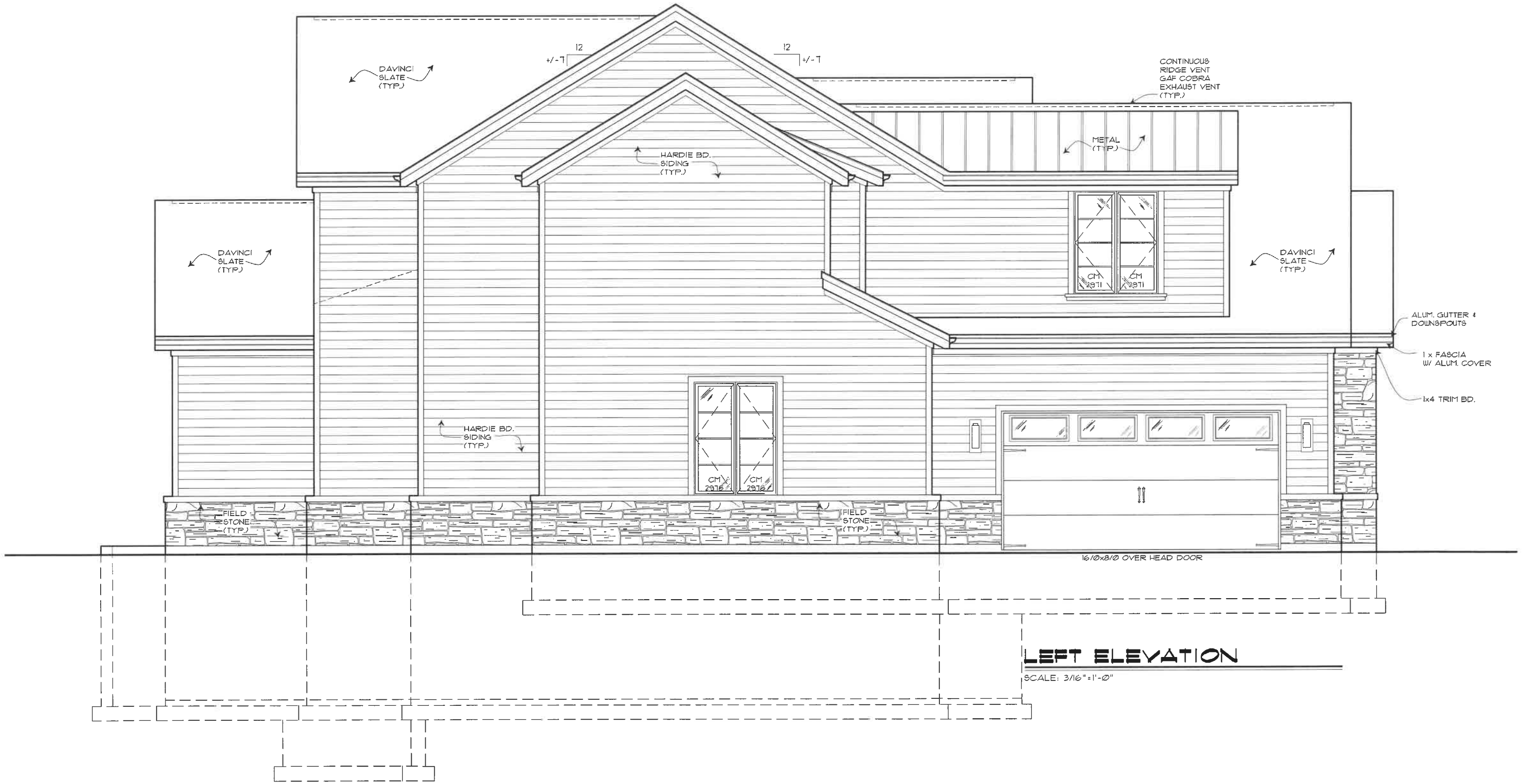


**RIGHT ELEVATION**

SCALE: 3/16"=1'-0"



EAST ELEVATION



DAVINCI SLATE (TYP.)

12 +/-1 12 +/-1

CONTINUOUS RIDGE VENT GAF COBRA EXHAUST VENT (TYP.)

METAL (TYP.)

HARDIE BD. SIDING (TYP.)

DAVINCI SLATE (TYP.)

DAVINCI SLATE (TYP.)

ALUM. GUTTER & DOWNSPOUTS

1 x FASCIA W/ ALUM. COVER

1x4 TRIM BD.

HARDIE BD. SIDING (TYP.)

FIELD STONE (TYP.)

FIELD STONE (TYP.)

16/0x8/0 OVER HEAD DOOR

LEFT ELEVATION

SCALE: 3/16" = 1'-0"

340 MAJESTIC OAK CT.



DAVINCI ROOFFSCAPES  
SLATE - GRAY COOL



GUTTER SUPPLY -  
GRAY



ALUMINUM  
SOFFIT - GRAY



JAMES HARDIE  
SIDING - SIERRA 8



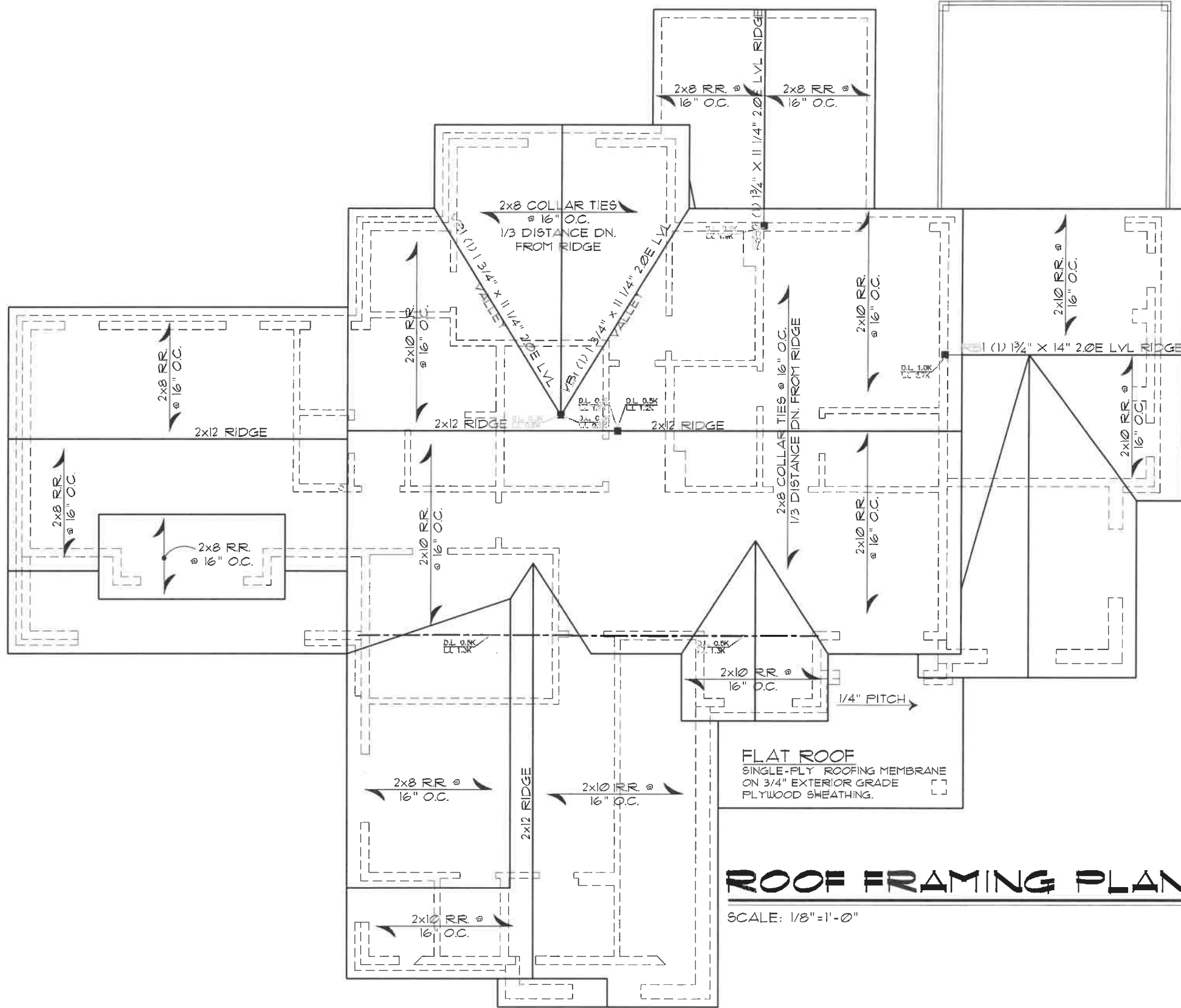
HALIQUIST SONE -  
GREY/BUFF CHATEAU

340 MAJESTIC OAK

NORTH ELEVATION

RENDERING

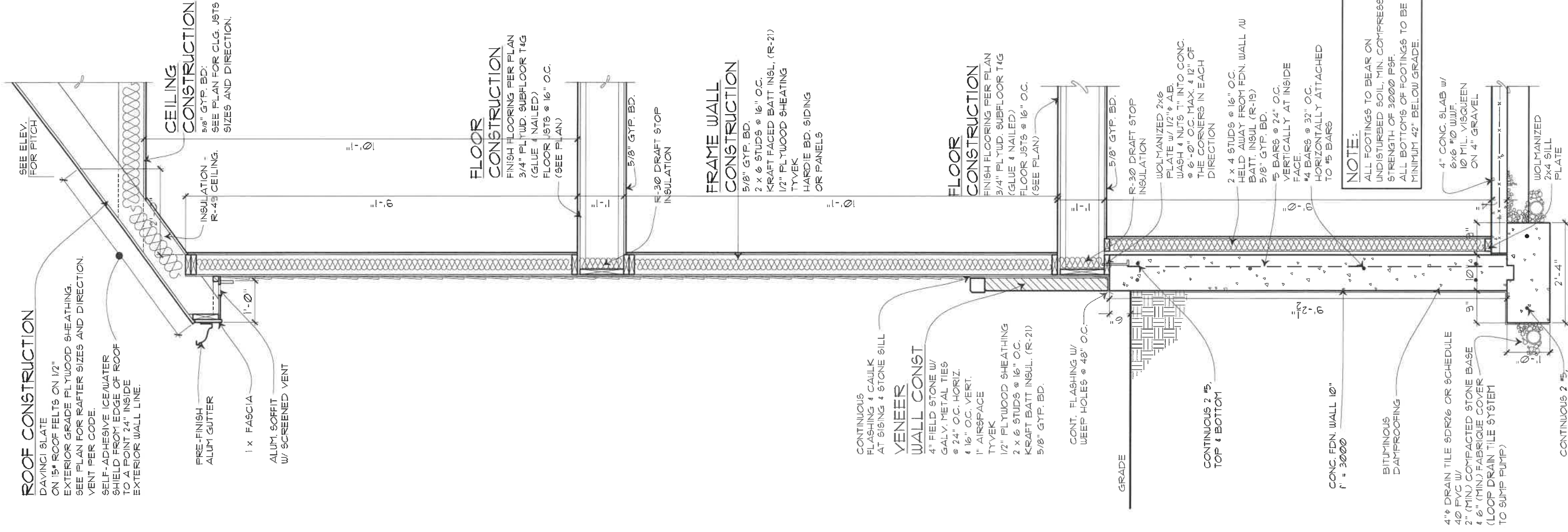




# ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"





**ROOF CONSTRUCTION**

DAVINGI SLATE  
ON 15" ROOF FELTS ON 1/2"  
EXTERIOR GRADE PLYWOOD SHEATHING.  
SEE PLAN FOR RAFTER SIZES AND DIRECTION.  
VENT PER CODE.  
SELF-ADHESIVE ICE/WATER  
SHIELD FROM EDGE OF ROOF  
TO A POINT 24" INSIDE  
EXTERIOR WALL LINE.

**CEILING CONSTRUCTION**

5/8" GYP. BD.  
SEE PLAN FOR CLG. JOISTS  
SIZES AND DIRECTION.

INSULATION -  
R-49 CEILING.

PRE-FINISH  
ALUM. GUTTER

1 x FASCIA

ALUM. SOFFIT  
W/ SCREENED VENT

**FLOOR CONSTRUCTION**

FINISH FLOORING PER PLAN  
3/4" PLYWD. SUBFLOOR T&G  
(GLUE & NAILED)  
FLOOR JOISTS @ 16" O.C.  
(SEE PLAN)

5/8" GYP. BD.  
R-30 DRAFT STOP  
INSULATION

**FRAME WALL CONSTRUCTION**

5/8" GYP. BD.  
2 x 6 STUDS @ 16" O.C.  
KRAFT FACED BATT INSL. (R-21)  
1/2" PLYWOOD SHEATHING  
TYVEK  
HARDIE BD. SIDING  
OR PANELS

**FLOOR CONSTRUCTION**

FINISH FLOORING PER PLAN  
3/4" PLYWD. SUBFLOOR T&G  
(GLUE & NAILED)  
FLOOR JOISTS @ 16" O.C.  
(SEE PLAN)

CONT. FLASHING W/  
WEEP HOLES @ 48" O.C.

GRADE

CONTINUOUS 2 #5,  
TOP & BOTTOM

CONC. FDN. WALL 10"  
f' = 3000

BITUMINOUS  
DAMP-PROOFING

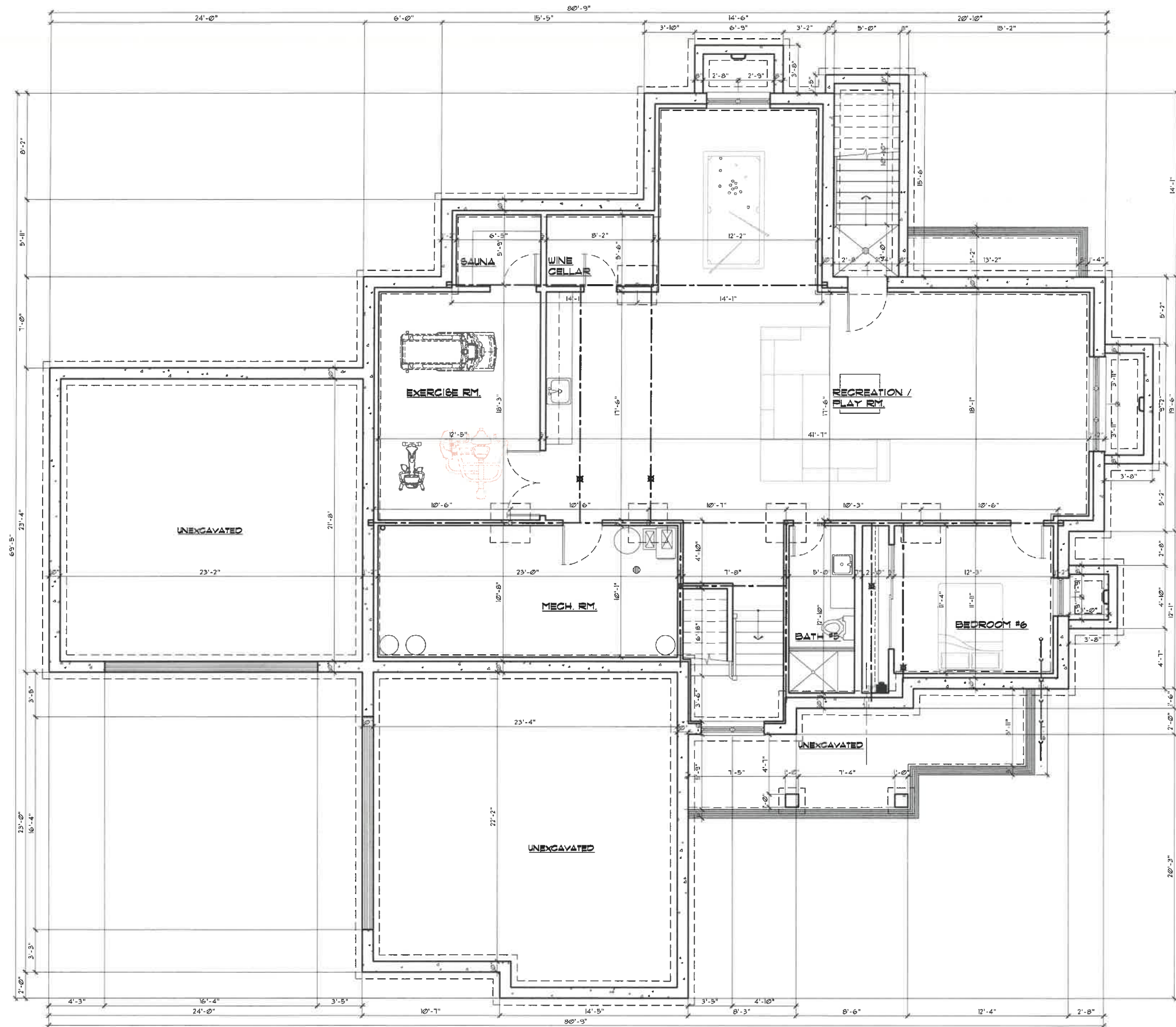
4" x DRAIN TILE SDR26 OR SCHEDULE  
40 PVC W/  
2" (MIN.) COMPACTED STONE BASE  
& 6" (MIN.) FABRIQUE COVER  
(LOOP DRAIN TILE SYSTEM  
TO SUMP PUMP)

4" CONC. SLAB W/  
6x6 #10 W.W.F.  
10 MIL. VISQUEEN  
ON 4" GRAVEL

WOLMANIZED  
2x4 SILL  
PLATE

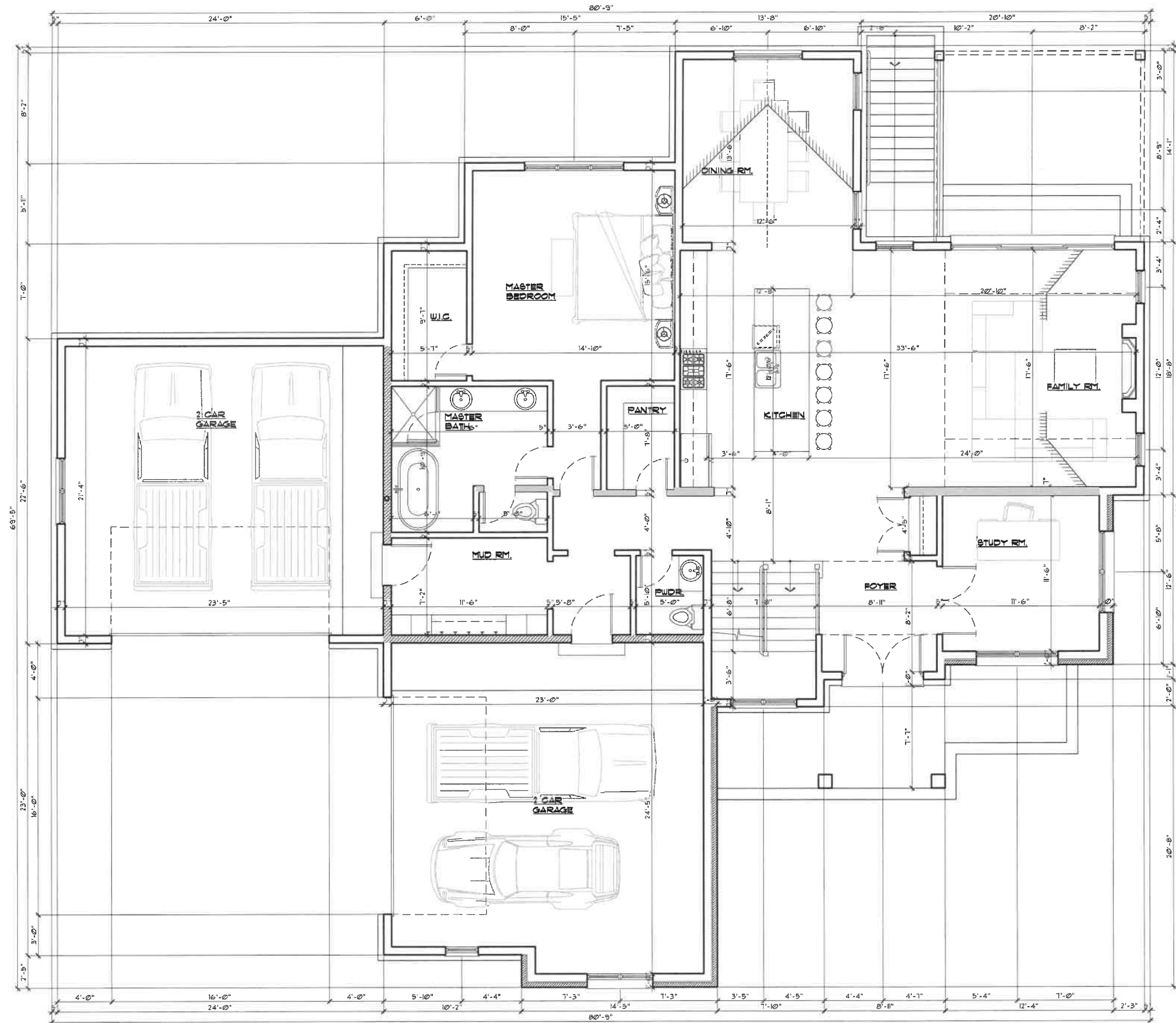
CONTINUOUS 2 #5,

**NOTE:**  
ALL FOOTINGS TO BEAR ON  
UNDISTURBED SOIL, MIN. COMPRESSIVE  
STRENGTH OF 3000 PSF.  
ALL BOTTOMS OF FOOTINGS TO BE  
MINIMUM 42" BELOW GRADE.



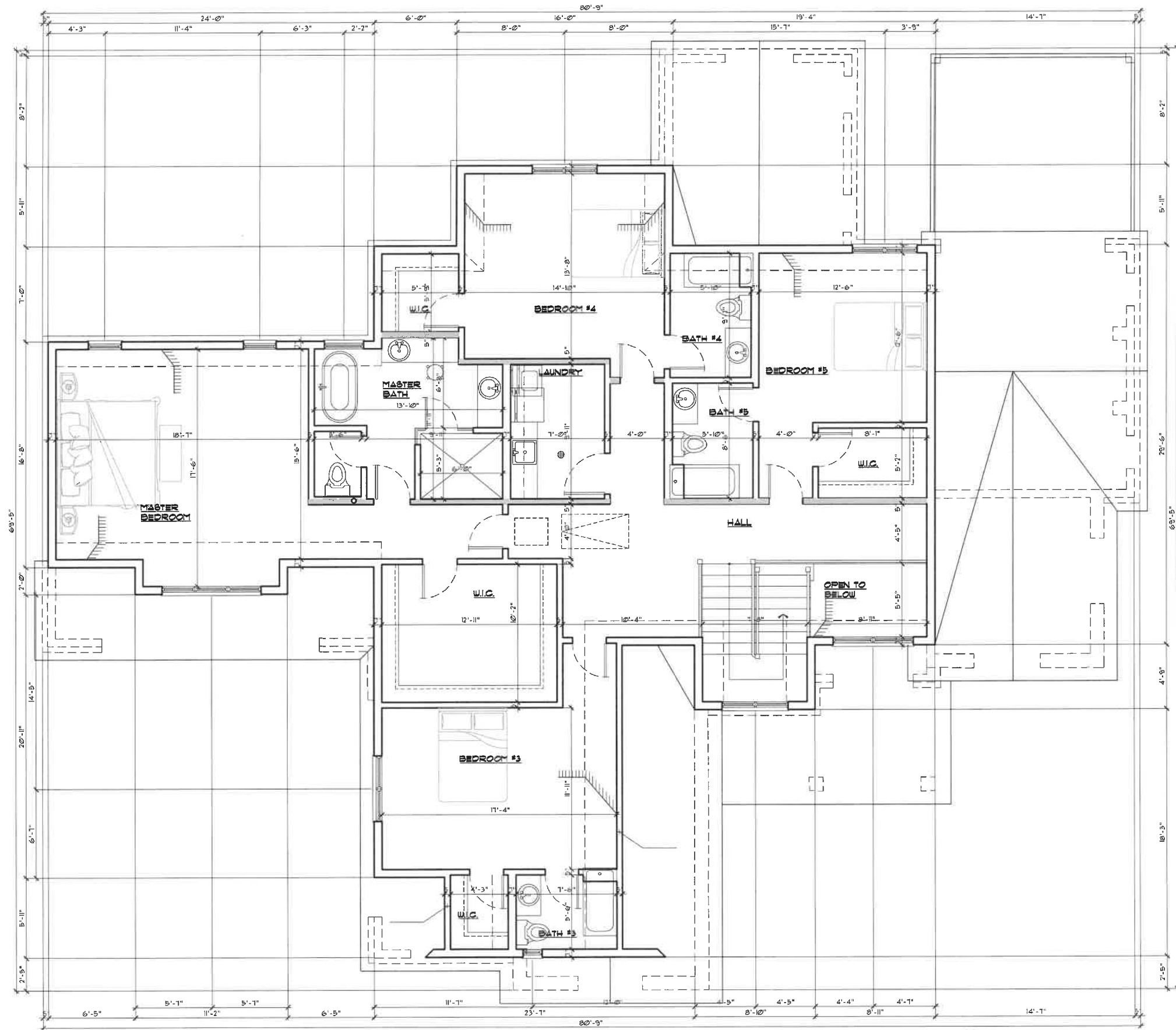
FDN. / BSMT. PLAN  
SCALE: 1/8" = 1'-0"





**1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"





**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



# LANDSCAPE PLAN

**DIGGERS HOTLINE**  
 Call or (800) 242-8511  
 www.DiggersHotline.com

THOMAS NORDLOH ASSOCIATES  
 Landscape Architecture  
 Project Management  
 4111 Taft Rd, Kenosha WI 53142

CONTRACTOR'S NOTE: THE LANDSCAPE PLAN AND ALL DETAILS ARE THE PROPERTY OF THOMAS NORDLOH ASSOCIATES. ANY REPRODUCTION OR USE OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF THOMAS NORDLOH ASSOCIATES IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



No.	1	2	3	4
Date				
Revision/Issue				

## 340 MAJESTIC OAK LAKE FOREST, ILLINOIS

Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 057-000829

Project: **20250822.2**  
 Date: **8-22-25**

Scale:  
 Sheet: **L-1.0**

### REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	32-93-28	REINFORC PREMIUM 60 TURF-SEED AND ON SHORT TERM 10,779 sq ft EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. USE ONLY 4-6" DIAMETER/AVAILABLE STAPLES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. PNEUMATICALLY INSTALLED METAL STAPLES ARE ACCEPTABLE.	
	32-94-119	SHREDDED DARK MULCH, 3-4" DEPTH	730 sf
	32-94-126	3" DIAMETER MULCH TREE RING	4
	32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	215 lf

### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	ACE LEB	Acer saccharum 'Legacy' / Legacy Sugar Maple	5" Gal.	260	1
	AME ALA	Ametanohier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	6" Ht.	260	1
	GN DL	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Ginkgo Tree	5" Gal.	260	1
	SYR IWJ	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6" Ht.	260	1
<b>EVERGREEN TREES</b>					
	PIG ABS	Picea abies / Norway Spruce	6" Ht.	260	1
<b>SHRUBS</b>					
	GOR ISA	Cornus sericea 'Isanti' / Isanti Redosier Dogwood	5"		5
	HYD ANN	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	5" Ht.		4
	SPI GDA	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5 gal		4
	SYR MS	Syringa patula 'Miss Kim' / Miss Kim Lilac	5" Ht.		1
<b>SHRUB EVERGREENS</b>					
	DLX GHI	Duxus x 'Chicago Land Green' TM / Glencoe Dogwood	12"		4
	TAX DEN	Taxus x media 'Densiformis' / Dense Yew	12"		3
		Existing Trees			

**LANDSCAPE ORDINANCE**

**STREET FOUNDATION LINEAL FOOTAGE - 80' 2 X 3" SHRUBS PER 10 LF - 16 SHRUBS**

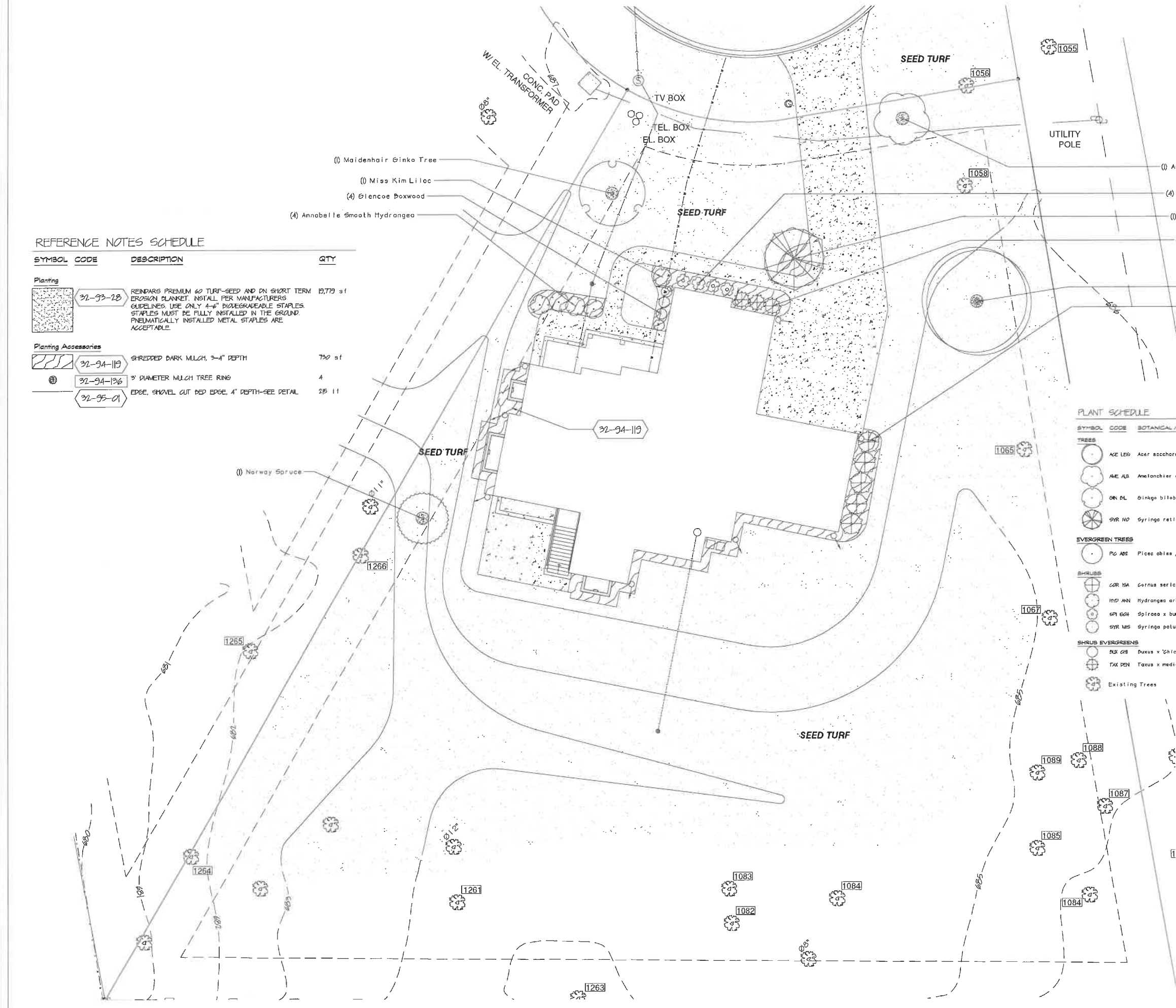
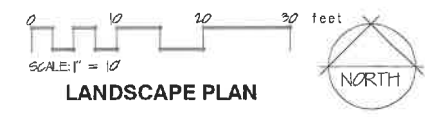
**SIDE STREET FOUNDATION LINEAL FOOTAGE - 25' 2 X 3" SHRUBS PER 10 LF - 5 SHRUBS**

**REQUIRED 3" CALIPER TREES PER 100 LINEAL FEET OR PORTION THEREOF: 80' = 2 TREES. PLAN HAS 2 TREES**

**REQUIRED ORNAMENTAL TREES - 3 ORNAMENTAL TREE PER 100 LINEAL FEET = 3 TREES. PLAN HAS 2 ORNAMENTAL TREES**

**OR**

**REQUIRED EVERGREEN TREES - 3 EVERGREEN PER 100 LINEAL FEET = 3 TREES. PLAN HAS 1 EVERGREEN TREE**



# SURVEY - EXISTING CONDITIONS AND TREE REMOVAL PLAN

## EXISTING CONDITIONS & REMOVAL PLAN

**LEGAL DESCRIPTION**

LOT 34 IN WESTLEIGH FARM, BEING A SUBDIVISION IN PART OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 20, 2017 AS DOCUMENT 7423655, IN LAKE COUNTY, ILLINOIS.

**ADDRESS**

340 MAJESTIC OAK COURT  
LAKE FOREST, IL

**PARCEL IDENTIFICATION NUMBER**

16-06-103-55

**AREA**

35,242.91 SQ. FT. = 0.809 ACRE

**SURVEYOR**

ACORN CONSULTANTS LTD.  
1340 DIESE ROAD  
BATAVA, IL 60910

**CIVIL ENGINEER**

KRUENG DESIGN PLLC  
13389 MCCARTHY ROAD  
LEMONT, ILLINOIS  
KRYSTIAN@KRUENGDESIGN.COM

**GENERAL NOTES**

1. CALL JULIE 1-800-892-6123 BEFORE EXCAVATING.
2. GENERAL CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADWAY FREE OF EXCESSIVE DEBRIS AT ALL TIMES. STREET SHOULD BE OPEN TO TRAFFIC AT ALL TIMES.
4. ALL UTILITY STRUCTURES, POWER POLE, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPERS OR HOMEOWNER'S EXPENSE.
5. NO CONCENTRATED DISCHARGE OF STORM WATER TO ADJACENT PROPERTIES SHALL BE ALLOWED. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
6. PROPER TRAFFIC CONTROL (IDOT STANDARDS) SHALL BE USED FOR ALL OBSTRUCTIVE STREET WORK.
7. GENERAL CONTRACTOR SHALL NOTIFY CITY / VILLAGE PRIOR TO THE START OF CONSTRUCTION.
8. ALL SITE IMPROVEMENTS MUST CONFORM TO THE GOVERNING VILLAGES OR CITY'S ENGINEERING STANDARDS AND SPECIFICATIONS.
9. REFER TO THE APPROVED ZONING APPLICATION FOR ALL SETBACK DIMENSIONS.
10. ANY EXISTING BROKEN OR CRACKED SIDEWALK SQUARES AND/OR DAMAGED SIDEWALK RESULTING FROM THE PROPOSED IMPROVEMENTS MUST BE REMOVED AND REPLACED TO THE SATISFACTION OF THE VILLAGE PUBLIC IMPROVEMENT INSPECTOR. THE SIDEWALK SHALL BE COMPOSED OF FIVE-INCHES OF CLASS SI CONCRETE, SIX-INCHES THROUGH DRIVEWAYS, OVER A THREE-INCH COMPACTED CA-6 STONE BASE. THE SIDEWALK SHOULD DRAIN AT 1/4" PER FOOT TOWARD THE ROADWAY.
11. ADEQUATE BASE COURSE FOR DRIVEWAY & SIDEWALKS SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 95% STANDARD PROCTOR DENSITY.
12. THE CONTRACTOR MUST CONTACT THE PERMIT COORDINATORS AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL PROPOSED SANITARY SEWER, WATER SERVICE, STORM SEWER AND RELATED DRAINAGE STRUCTURES, FINAL GRADING AND DRIVEWAY/SIDEWALKS INSTALLATION.
13. ALL VEHICLES ASSOCIATED WITH ANY CONSTRUCTION PROJECT IN RESIDENTIAL AREAS SHALL BE REQUIRED TO PARK ON THE SITE UNLESS OTHERWISE ALLOWED BY CITY / VILLAGE.
14. ALL WORK MUST BE PERFORMED ACCORDING TO THE APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN.
15. AN APPROVED DEMOLITION / DEVELOPMENT / TREE PRESERVATION PLAN MUST BE AVAILABLE ON THE BUILDING SITE.
16. STAY WITHIN DESIGNATED WORK ACCESS AREAS SHOWN ON THE PLAN.
17. ALL UTILITY STRUCTURES, POWER POLES, FIRE HYDRANTS, TREES, ETC. AFFECTED BY THE IMPROVEMENT ARE TO BE RELOCATED AT DEVELOPER'S OR HOMEOWNER'S EXPENSE.
18. ALL WORK SHALL BE COMPLETED SAFELY AND IN COMPLIANCE WITH OSHA, IDOT, ADA, AND LOCAL GOVERNING VILLAGETOWNSHIP/CITY STANDARDS.
19. RECORD DRAWINGS SHALL BE PROVIDED FOLLOWING CONSTRUCTION.
20. ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.

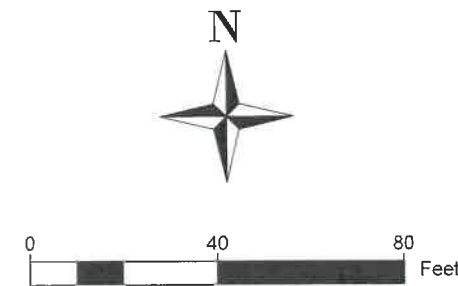
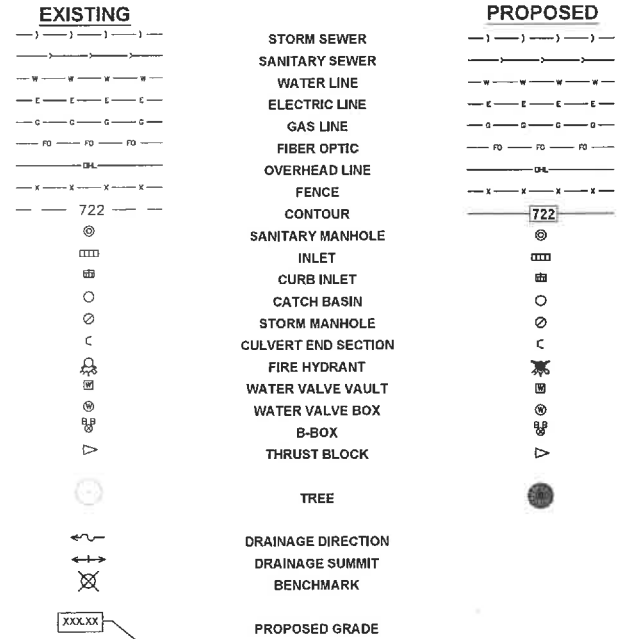
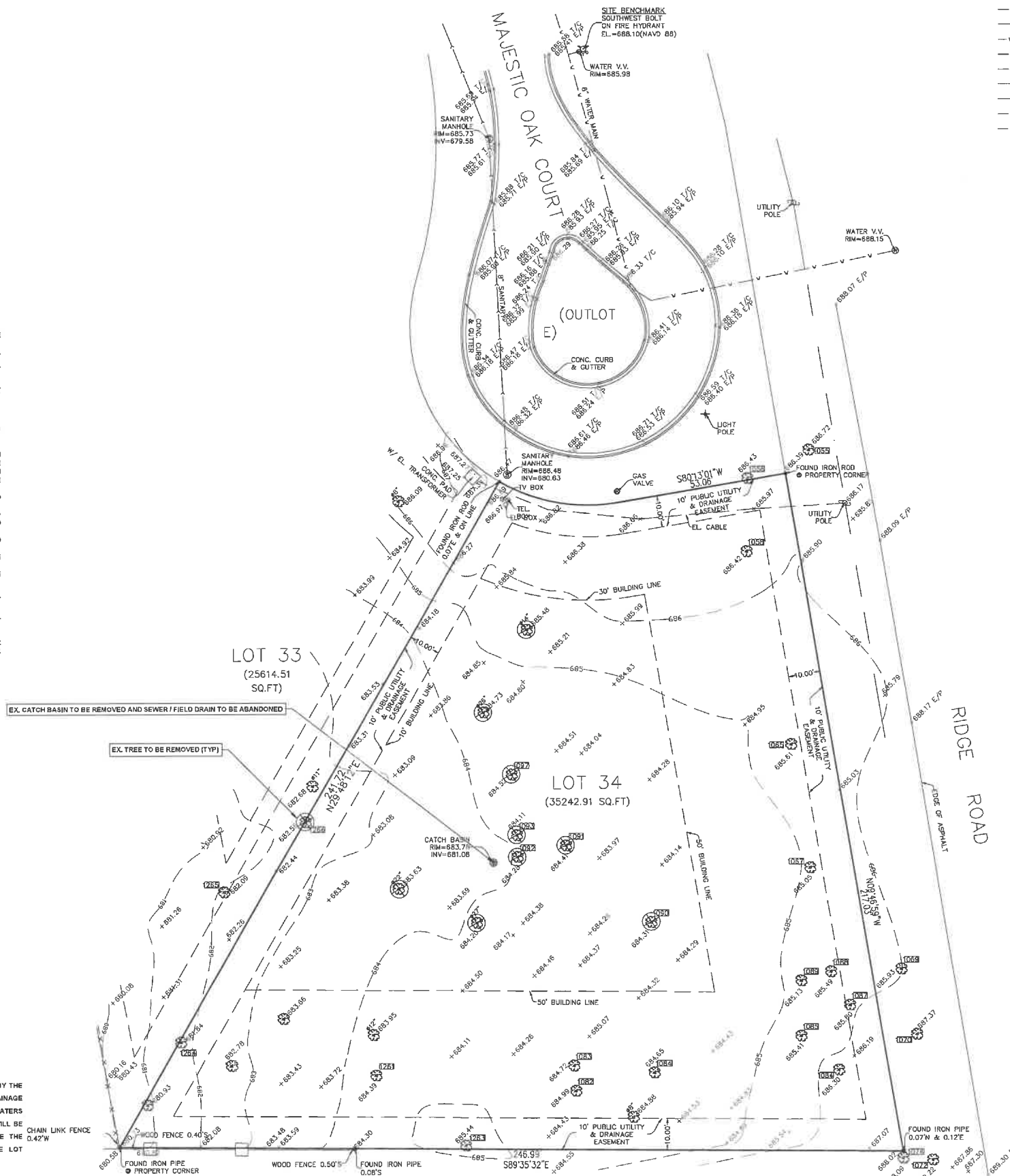
**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS  
COUNTY OF COOK

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

DATED 22ND DAY OF JULY, 2025

*K. Valyon*



**INDEX OF SHEETS**

1.	EXISTING CONDITIONS & REMOVAL PLAN
2.	PROPOSED GRADING & UTILITY PLAN
3.	SOIL EROSION & SEDIMENT CONTROL PLAN
4.	CONSTRUCTION DETAILS

ORIGINAL ISSUE DATE: 07-22-2025									
NO. DATE									
DESCRIPTION									
<b>KRUENG</b>									
LICENSE NO: 184-099397-0002									
EXPIRES: 11/30/2025									
<b>EXISTING CONDITIONS</b>									
<b>340 MAJESTIC OAK COURT, LAKE FOREST, IL</b>									
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">JOB NO:</td> <td>25-37A</td> </tr> <tr> <td>DESIGN BY:</td> <td>KU</td> </tr> <tr> <td>DRAWN BY:</td> <td>KU</td> </tr> <tr> <td>SCALE:</td> <td>1" = 40'</td> </tr> </table>	JOB NO:	25-37A	DESIGN BY:	KU	DRAWN BY:	KU	SCALE:	1" = 40'
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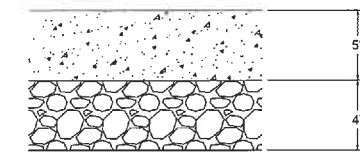
# PROPOSED GRADING & UTILITY PLAN

## GRADING PLAN

CONTRACTOR SHALL FIELD-VERIFY THE LOCATIONS OF THE SANITARY SEWER STUB AND WATER SERVICE PRIOR TO CONNECTION. THE LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. CONTRACTOR MUST COORDINATE WITH THE ENGINEER FOR ANY NECESSARY ADJUSTMENTS.

REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED FOUNDATION DIMENSIONS

### DRIVEWAY DETAIL



1. 5" PCC CONCRETE PAVEMENT (MIN)
2. 4" AGG. BASE COURSE, TYPE B, CA-6 (MIN)
3. 6 X 6 X 10 WIRE MESH

### UTILITY NOTES

1. ALL BASEMENTS MUST HAVE A SEWER EJECTOR AND OVERHEAD SEWER SYSTEM.
2. FOOTING DRAINS CONNECT TO SUMP THAT DISCHARGES TO STORM SEWER.
3. DOWNSPOUTS TO SPLASH TO GRADE, BE DIRECTED TOWARD THE FRONT OR REAR OF THE HOME, NOT DISCHARGE WITHIN 10' OF THE PROPERTY LINES AND NOT CONNECT TO THE STORM SEWER.
4. INSTALL TIE-INS TO SATISFACTION OF VILLAGE. ALL PROPOSED CONNECTIONS TO HAVE A SECTION OF THE MAIN REPLACED WITH A WYE SECTION.
5. ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES. UTILITIES CLOSER THAN THESE LIMITS MUST BE AUGURED.
6. WATER SERVICE, SANITARY SERVICE, AND STORM SEWER SHALL BE AUGURED UNDER THE STREET.
7. MINIMUM 10' DISTANCE BETWEEN NEW SANITARY AND WATER SERVICES.
8. INSTALL FIRST SANITARY CLEANOUT WITHIN 10 FEET OF HOUSE.
9. PLUMBERS TO VERIFY TIE-IN INVERTS FOR STORM AND SANITARY BEFORE PLACING SEWER PIPE.
10. ALL SEWER LINES SHALL UTILIZE 22-DEGREE, 45-DEGREE, OR LONG-SWEEP 90-DEGREE FITTINGS TO ACCOMMODATE CHANGES IN DIRECTION.
11. ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE.
12. NEW WATER SERVICE SHALL BE INSTALLED W/ MIN 6"-4" SERVICE DEPTH.
13. CONTACT PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO REQUEST A MAIN TAP.
14. WATER & SANITARY SERVICES MUST BE INSTALLED BY A LICENSED PLUMBER.
15. THE OWNER MUST PROVIDE WRITTEN NOTICE (WITH CONTACT PERSON'S NAME, ADDRESS & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGE WILL BE DISTURBED TO PERFORM ANY REQUIRED OFF-SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY. SITE UTILITY SERVICE CONNECTION WORK ASSOCIATED WITH THE SUBJECT PROPERTY, IN ADDITION, THE NOTIFICATION MUST STATE THE STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN: PUBLIC IMPROVEMENTS INSPECTOR, ONE WEEK BEFORE THE WORK IS TO BE PERFORMED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED AT THE CONTRACTOR'S OWN EXPENSE.
17. UTILITY SERVICES SHALL BE AS FOLLOWS:
  - 17.1. WATER - TYPE "K" COPPER
  - 17.2. SANITARY - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212. DUCTILE IRON PIPE PAST FOUNDATION OVERLIDG.
  - 17.3. STORM - PVC SDR 26 PIPE CONFORMING TO ASTM D-3034 WITH GASKET JOINTS CONFORMING TO ASTM D-3212.
18. THE PROPOSED STORM/SANITARY SERVICE CONNECTION TO THE EXISTING SEWER LINE SHALL BE MADE WITH A SEWER TAP MACHINE WITH HUB AND 6" INCHES STEEL SADDLE.
19. SUMP PUMP IS TO BE CONNECTED TO THE PROPOSED STORM SEWER SERVICE UTILIZING 4-INCH PVC SDR 26 PIPE.
20. THE CONTRACTOR SHALL COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE.
21. TO PREVENT "FLOATING" OF PVC PIPING, ONLY USE SELECT EARTH BACKFILL AND BEDDING WITH THE EXCEPTION OF ALL DRIVEWAY LOCATIONS WHERE FULL DEPTH CA-6 IS REQUIRED.
22. PROTECT ALL EXISTING AND NEW DRAINS USING ABOVE-GRADE INLET FILTERS (SEE DETAIL ER-4)
23. THE EXISTING WATER SERVICE DISCONNECTION AND THE PROPOSED WATER SERVICE CONNECTION SHALL BOTH BE MADE AT THE MAIN.
24. THE PROPOSED SERVICE CONNECTION MUST BE AT LEAST 18" FROM THE EX. SERVICE DISCONNECTION
25. THE EXISTING B-BOX SHALL BE COMPLETELY REMOVED AND A NEW B-BOX SHALL BE PROVIDED IN A NON-PAVED AREA OF THE RIGHT OF WAY
26. NEW WATER SERVICE CONNECTION MUST BE A MINIMUM OF 4- FEET FROM A FIRE HYDRANT

### GRADING NOTES

1. CALL JULIE FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
2. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. IF ANY DISCREPANCIES ARE NOTED ON THE PLOT PLAN OR ON THE CONSTRUCTION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
3. PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOD OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.
4. RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE A MINIMUM OF 10 FEET FROM ANY PROPERTY LINE.
5. NO WOOD CHIPS OR MULCH IN SIDEYARD DRAINAGE SWALE AREAS.
6. ALL STORM DRAINAGE SHALL BE CONVEYED TOWARD FRONT OR REAR OF PROPERTY SO IT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
7. RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DOWNSPOUTS ARE TO DISCHARGE IN THE EXCEPT AS NOTED ON THE PLAN, THERE IS TO BE NO ALTERATION OF EXISTING GROUND ELEVATION ANYWHERE ON THE SUBJECT PROPERTY IN ORDER TO MAINTAIN THE EXISTING DRAINAGE PATTERN AND NOT OBSTRUCT ANY TRIBUTARY DRAINAGE FROM THE SURROUNDING PROPERTIES.
8. ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
9. INSTALL SILT CONTROL FENCING AROUND ALL AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK. REFER TO THE DETAIL SHEET FOR SILT CONTROL FENCING INSTALLATION. VILLAGE INSPECTION OF INSTALLED SILT CONTROL FENCING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
10. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH SIX-INCHES OF TOPSOIL & SOD WITHIN FIVE DAYS OF COMPLETION OF PERTINENT WORK, WEATHER PERMITTING. ALL SOD MUST BE WATERED TO SUSTAIN GROWTH.
11. GRADE SHALL BE MATCHED AT ALL NEIGHBORING PROPERTY LINES.
12. AREAS TO BE GRADED AND PREPARED FOR SEEDING OR SOD SHALL INDICATE A MINIMUM OF FOUR (4) INCHES OF TOP SOIL.
13. DRAINAGE SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION (SOD OR NATIVE VEGETATION)

PR. B-BOX LOCATION  
LOCATE AND CONNECT TO EX. WATER SERVICE STUB  
1" TYPE K COPPER WATER SERVICE  
-619 LF

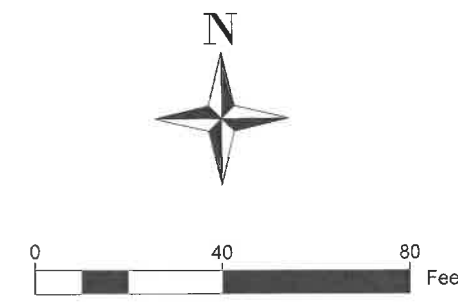
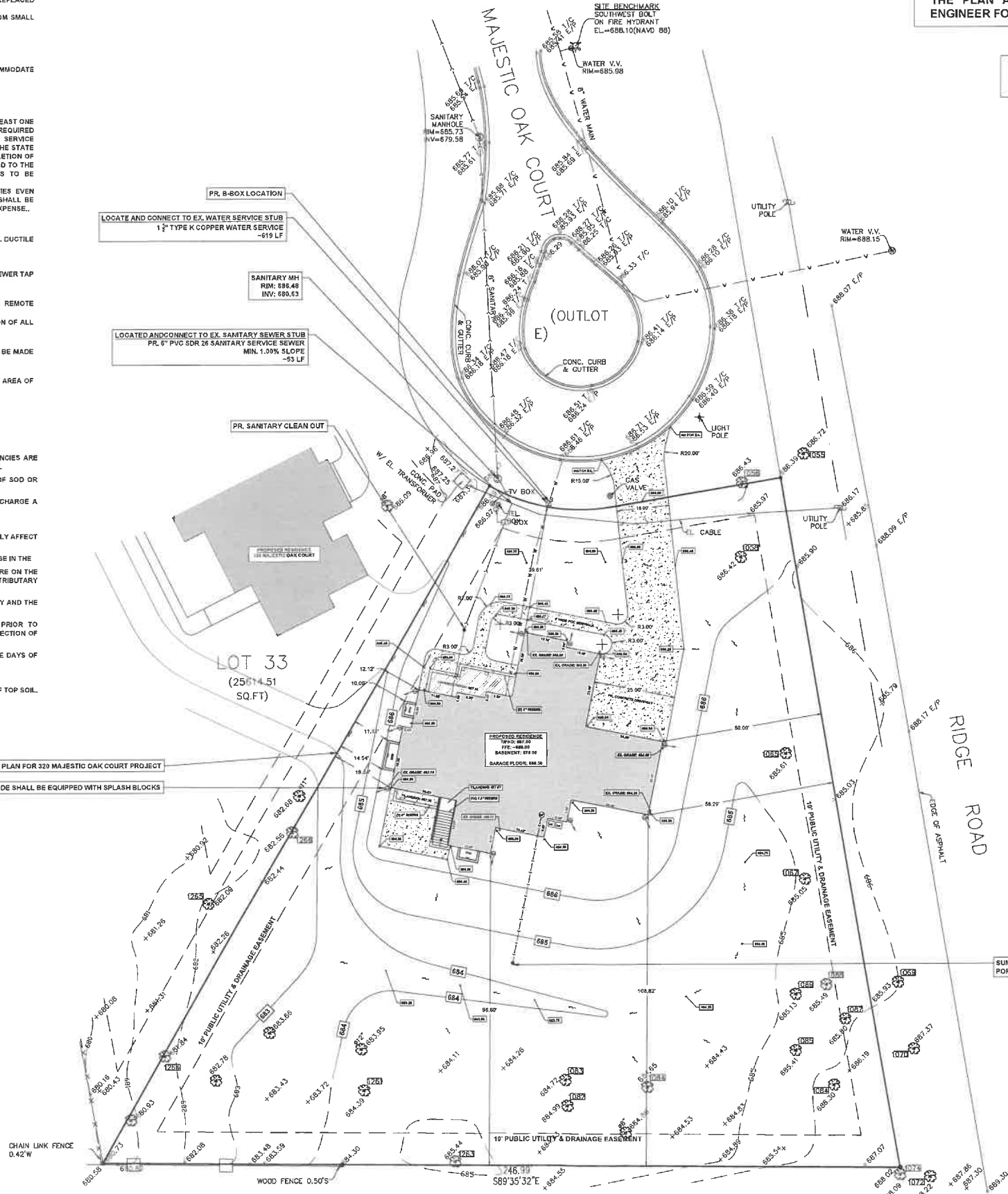
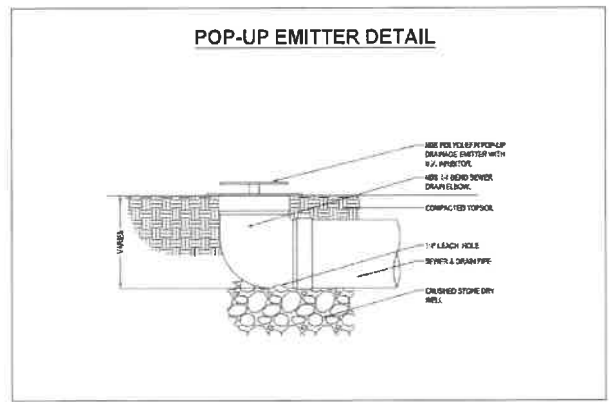
SANITARY MH  
RIM: 686.48  
INV: 686.53

LOCATED AND CONNECT TO EX. SANITARY SEWER STUB  
PR. 6" PVC SDR 26 SANITARY SERVICE SEWER  
MIN. 1.00% SLOPE  
-93 LF

PR. SANITARY CLEAN OUT

MATCH PR. GRADING PLAN FOR 320 MAJESTIC OAK COURT PROJECT

ALL DOWNSPOUTS DISCHARGING TO GRADE SHALL BE EQUIPPED WITH SPLASH BLOCKS



REFERENCE BENCHMARK:  
ARROW FLANGE BOLT ON FIRE HYDRANT AT NORTHWEST CORNER  
OF ILLINOIS ROUTE 50 (KENNEDY ROAD) AND NORTH RIDGE ROAD.  
ELEVATION = 689.35 (NAVD 88 DATUM)

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 07-22-2025

**KRUJENG**  
LICENSE NO: 104-00287-0002

**PROPOSED GRADING & UTILITY PLAN**  
**340 MAJESTIC OAK COURT, LAKE FOREST, IL**

JOB NO: 25-37A  
DESIGN BY: KU  
DRAWN BY: KU  
SCALE: 1" = 40'

**2 OF 4**