

Agenda Item 4
1124 Fairview Avenue
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Roof Plan
Building Section
Floor Plans
Landscape Plan
Landscape Plan - Enlarged
Tree Removal and Construction Staging Plan

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1124 Fairview Avenue

Consideration of a new house with an attached garage and the associated hardscape and landscape proposed on vacant property.

Property Owners: Lee and Sarah Bagan
Contract Purchasers: Dylan Wu and Margaret Burke
Presented by: Jeff Letzter, Project Manager

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

This property is located on the west side of Fairview Avenue between Everett Road and Old Elm Road. The property is Lot 2 of Lake Forest Heights Subdivision, approved in 1924. The neighborhood consists mostly of one to two story homes built after 1980. The lot is 14,958 square feet.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is met.

The residence is sited toward the southeast portion of the lot, near both the front yard setback along the east and the side yard setback along the south. The driveway is setback from the north property line five feet and accesses a side-load garage. This placement is consistent with the pattern of other homes along the Fairview Avenue streetscape. The lot is trapezoidal in shape and the house, as proposed, meets all applicable zoning requirements.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 3,394 square feet is permitted on the site with an allowance of 576 square feet for a garage and 339 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 3,259 square feet.
- The proposed garage totals 587 square feet. With a maximum garage exemption of 576 square feet, 11 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 366 square feet of design elements are incorporated into the design of the house. With a maximum design element exemption of 339 square feet, 27 square feet must be added to the square footage of the residence.

In conclusion, the proposed residence totals 3,259 square feet, 135 square feet or 4 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 29 feet. The maximum height allowed for a residence on this size lot is 30 feet.

Staff Recommendation: Submit as-built drawings during the construction process to assure that the maximum permitted building height of 30 feet is not exceeded as measured from the lowest point of existing adjacent grade to the tallest peak of the roof and that the construction is in conformance with the approved plans.

Elevations – This standard is met.

The petitioner identifies the proposed home as Cottage Style. Cottage style homes are recognized by their steep gable roofs, prominent chimneys, multi-paned windows, natural materials such as stone and wood, and charming details such as arched doors or small porches.

The east (front) elevation demonstrates the Cottage Style characteristics, including steep gables, an arched door, a small, covered entrance, and a prominent chimney. The characteristic gable roof is carried onto the north, west, and south elevations. Throughout the elevations, the relationship and organization of windows to solid walls is well balanced.

On the west elevation, the combination of a gable roof with large shed and gable dormers, designed to expand interior second story space, could benefit from some simplification. In addition, a window may be considered on the shed dormer to break up the massing.

Staff Recommendation: Refine the west elevation to simplify the roof forms.

Staff Recommendation: Consider the addition of a window on the shed dormer.

Type, color, and texture of materials – This standard is met.

The petitioner proposes off-white brick veneer for the façade material of the home and horizontal lap siding on the garage and rear shed and gable dormers. Asphalt shingles, white

aluminum-clad windows with simulated divided lites, aluminum gutters and downspouts, and wood trim are proposed throughout. The shed dormers will have standing seam metal roofs. The driveway will be asphalt. The sidewalk from the driveway to the front entrance and the rear patio will be concrete.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches and the brick veneer shall be at least four inches thick.

Landscaping - This standard can be met.

The tree removal plan identifies 20 trees of varying species, size, and condition for removal. While the proposed landscape plan meets the minimum criteria for new construction, it does not yet fully demonstrate compliance with the inch-for-inch replacement requirement. In addition, there are discrepancies between the trees identified for removal on the landscape plan and those shown on the tree removal plan. These inconsistencies must be resolved prior to the issuance of a permit to allow replacement inches to be properly calculated. A revised plan should clearly show how the replacement inches will be replanted, or, if approved by the City's Certified Arborist, a fee in lieu of full on-site replacement may be collected at the time of permit issuance. If a fee in lieu of on site planting is accepted by the City, the funds will be used to enhance parkway plantings in the overall neighborhood.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Revise the landscape plan to address discrepancies with the tree removal plan.

Staff Recommendation: Provide a revised landscape plan once a final determination is made on the required replacement inches. The plan shall demonstrate inch-for-inch replacement of trees proposed for removal on site unless a fee lieu of on site planting is approved by the City.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, one letter of correspondence has been submitted and is included in the Board's packet.

Recommendation

Recommend approval of a new house with an attached garage, hardscape and a conceptual landscape plan proposed on vacant property subject to the following conditions.

1. Prior to the submittal of plans for permit:

- a. Refine the west elevation to simplify the roof forms.
 - b. Consider the addition of a window on the shed dormer.
 - c. Specify that the standing seam roof panels are no wider than 12 inches.
 - d. Specify the brick veneer as at least four inches thick.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the property and on neighboring properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and, in addition, provide all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. A revised landscape plan should address discrepancies with the tree removal plan. The plan shall demonstrate inch-for-inch replacement of trees proposed for removal unless payment of a fee in lieu of planting is approved by the City.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

f. A plan for contractor parking and equipment and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

4. Submit as-built drawings during the construction process to assure that the maximum permitted building height of 30 feet is not exceeded as measured from the lowest adjacent grade to the tallest peak of the roof.



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1124 S. FAIRVIEW AVE.

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Lee & Sarah Bagan
Owner of Property

1221 Loch Lane
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

203-247-3504
Phone Number *Fax Number*

sarah.leonard13@gmail.com; lee.bagan@gmail.com
Email Address

ARCHITECT/BUILDER INFORMATION

JEFFLETZER, PROJECT MGR
DEAN BOTTS-ARCHITECT
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26575 COMMERCIAL DR
Street Address

VOLO, IL 60073
City, State and Zip Code

(847) 457-2500
Phone Number *Fax Number*

Signed by:

BOE1327B6572948B
Owner's Signature

Signed by:
Sarah Bagan
BB406C3F823244C
Owner's Signature

JEFFLETZER@ASPECTDESIGN.COM
Email Address

Representative's Signature (Architect/ Builder)
FIRM

The staff report is available the Friday before the meeting, after 3:00pm.		
Please email a copy of the staff report	<input type="checkbox"/> OWNER	<input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

DocuSigned by:
Dylan Wu
6961E46CD1804F8...
Contract Purchaser

Signed by:
Margaret Burke
92D3EA8F3E0D42C...
Contract Purchaser



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input checked="" type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material OFF-WHITE

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish WHITE

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other POURED CONCRETE

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles ASPHALT
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other ALUMINUM

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



Statement of Intent – 1124 S. Fairview Avenue

1. Project Objective

The goal of this project is to seamlessly integrate a Cottage Style home into the existing neighborhood, maintaining harmony with the surrounding architectural character.

2. Design Approach

The home is designed with the garage facing the North side of the property. The primary visual focus will be on the front entry, porch, and rooflines as viewed from Fairview Avenue. These elements are carefully planned to reduce the overall scale, proportions, and perceived mass of the home, ensuring a balanced and cohesive aesthetic across all elevations.

3. Material Selection

The exterior of the home will feature full bed depth brick, painted an off-white color. The windows will be aluminum-clad with a white finish, while the roof will be covered with light brown architectural asphalt shingles.

4. Conclusion

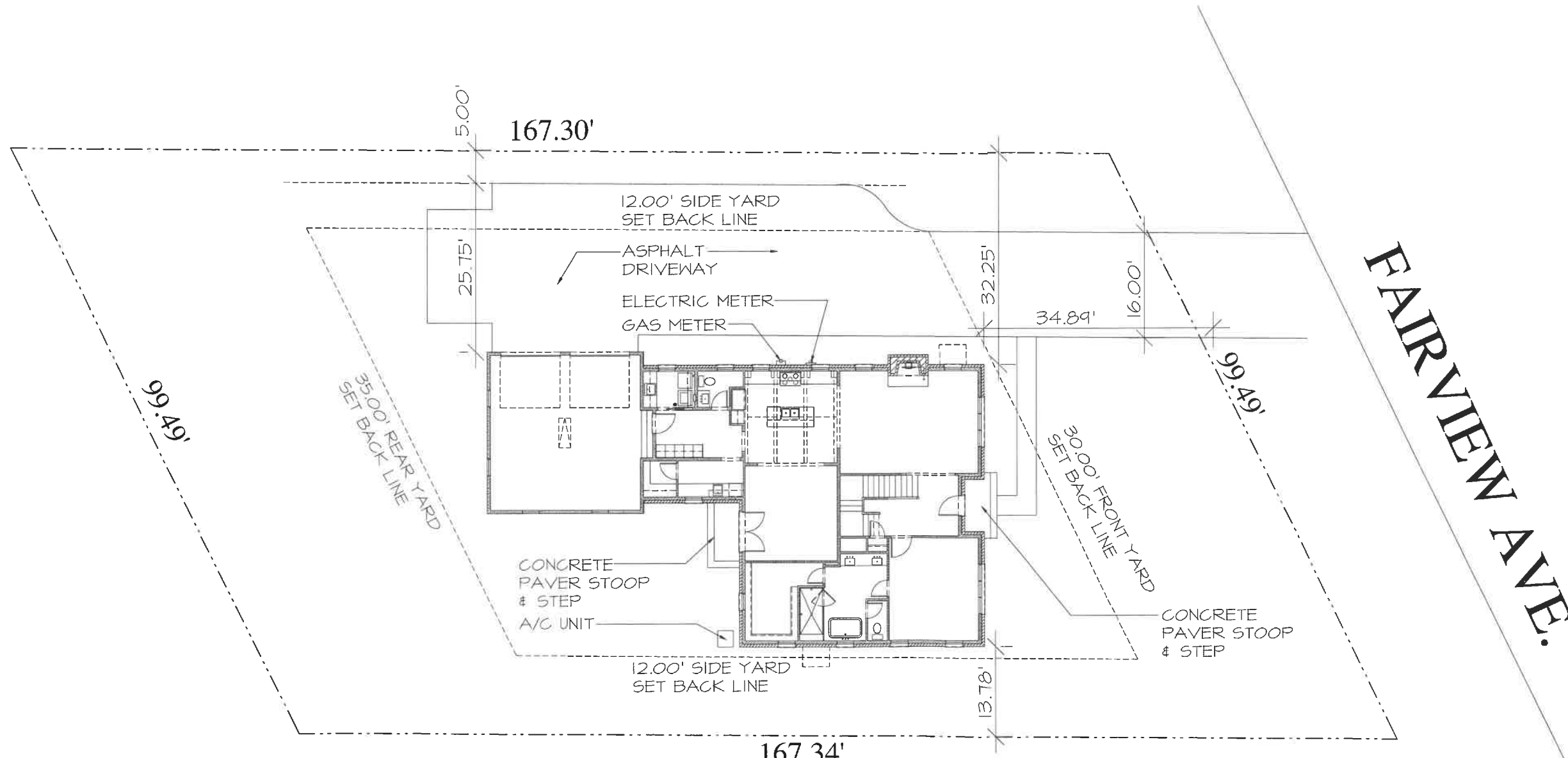
Our objective is to construct an elegant and understated home that blends harmoniously into its surroundings. The refined quality of the design will enhance the neighborhood, providing an attractive yet subtle addition to the existing landscape.

5. Variances

No variances are required for the proposed design.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM

SITE PLAN



1 SITE PLAN
AR 01



SCALE: N.T.S.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

REVIEW ONLY-NOT FOR CONSTRUCTION

RESIDENCE

CUSTOM RESIDENCE
1124 S. FAIRVIEW AVE.
LAKE FOREST, IL 60045

CHILDS DEVELOPMENT

REVIEW	06/10/2025
REVIEW	06/12/2025
REVIEW	08/12/2025
REVIEW	08/13/2025
REVIEW	08/15/2025
REVIEW	08/18/2025
REVIEW	08/20/2025
REVIEW	09/12/2025

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL: LTR058 / 14-00014

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD25182
DRAWN BY: DB/MB
1124 S. FAIRVIEW AVE.
SITE PLAN
AR 01
1 OF 1 TOTAL SHEETS

EAST ELEVATION



REVIEW ONLY - NOT FOR CONSTRUCTION

RESIDENCE
CUSTOM RESIDENCE
1124 S. FAIRVIEW AVE.
LAKE FOREST, IL 60045

CHILDS
DEVELOPMENT

REVIEW	06/10/2025
REVIEW	06/12/2025
REVIEW	08/12/2025
REVIEW	08/13/2025
REVIEW	08/15/2025
REVIEW	08/18/2025
REVIEW	09/20/2025
REVIEW	09/12/2025

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TEL: 847-506-1464



PROJECT # AD25182
DRAWN BY: DB/MB

1124 S. FAIRVIEW AVE
EXTERIOR ELEVATIONS

AR 03

3 OF 3 TOTAL SHEETS

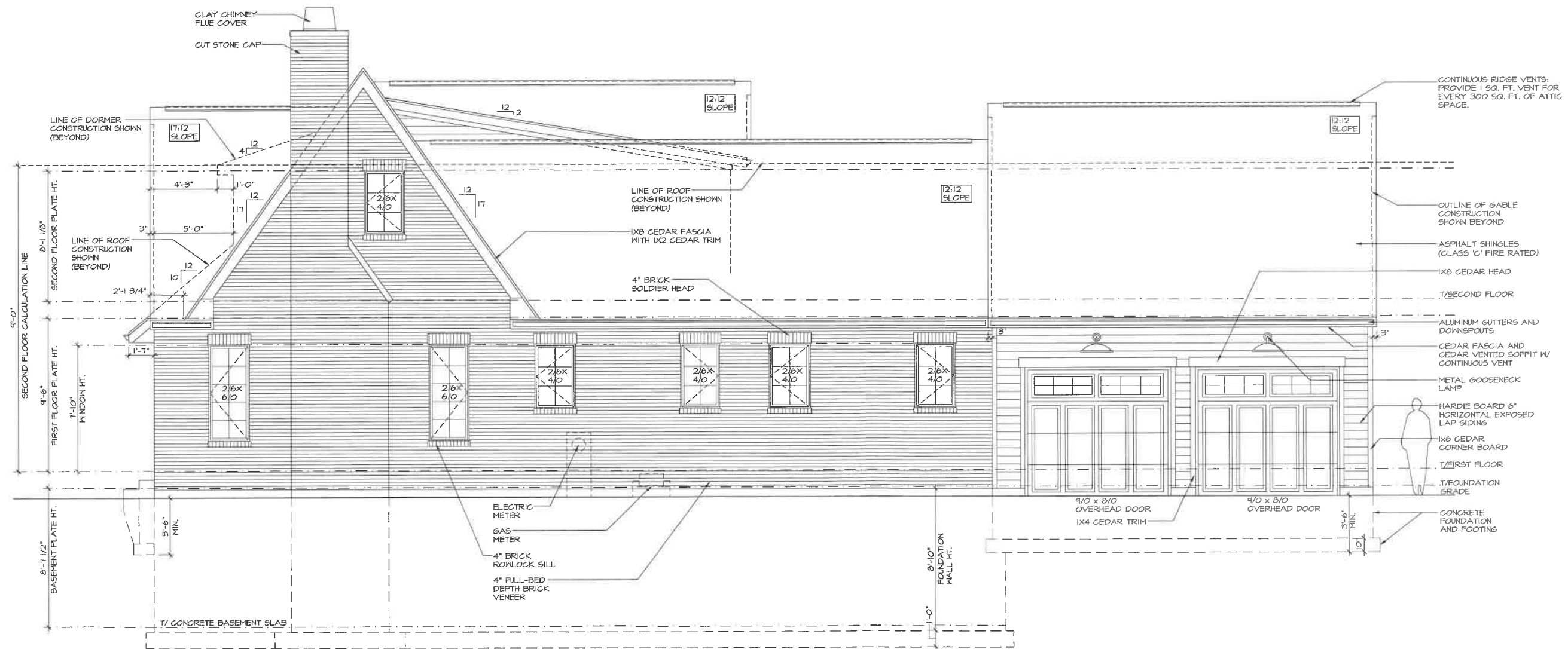
1 FRONT ELEVATION
AR 03

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

SCALE: N.T.S.

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NORTH ELEVATION



1 RIGHT ELEVATION
AR 04

REVIEW ONLY-NOT FOR CONSTRUCTION

RESIDENCE
CUSTOM RESIDENCE
1124 S. FAIRVIEW AVE
LAKE FOREST, IL 60045

CHILDS DEVELOPMENT

REVIEW	06/10/2025
REVIEW	06/12/2025
REVIEW	08/12/2025
REVIEW	08/13/2025
REVIEW	08/15/2025
REVIEW	08/18/2025
REVIEW	08/20/2025
REVIEW	09/12/2025

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
| TEL: 847-457-2500

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD25182
DRAWN BY: DB/MB
1124 S. FAIRVIEW AVE.
EXTERIOR ELEVATIONS
AR 04
4 OF 4 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

SCALE: N.T.S.

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Agenda Item 5
1206 Estate Lane
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Plat of Survey
Site Plan
Exterior Materials
Exterior Materials – Garage Door
Elevations
Roof Plan
Cross Section
Floor Plans
Landscape Plan
Tree Survey
Tree Survey/Tree Removal Chart - Enlarged

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1206 Estate Lane

Consideration of a new house with an attached garage and the associated hardscape and landscape proposed on vacant property.

Property Owner and Representative: Matan Aharoni

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with an attached garage and the associated hardscape and landscape on a vacant lot.

Description of Property

This property is located on the west side of Estate Lane, near the intersection of Estate and Kennett Lanes. The lot is 65,675 square feet and includes a 75-foot deep Conservation Easement along the east property line, the Estate Lane street frontage. The plat provides a 20-foot-wide driveway and utility easement through the Conservation Easement, an area that may be cleared of trees and vegetation, extending perpendicular to Estate Lane. The Conservation Easement was established at the time of subdivision to preserve the natural, dense, wooded character of the streetscape. No removals of trees or vegetation within the Conservation Easement is permitted without prior City approval and only if an acceptable replanting plan is provided to restore the density of the Conservation Easement

In 2024, a prior owner of the property cleared the Conservation Easement without prior approval or an approved replanting plan. A Notice of Violation was issued to that property owner. As part of the development of this property, the Conservation Easement must be replanted with ground, mid-level, and trees that will eventually provide canopy to re-establish a dense wooded streetscape. The existing plantings in the Conservation Easement do not sufficiently restore the Conservation Easement.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is met.

The house is generally centered north-to-south on the lot but positioned closer to the east property line, resulting in a large rear yard. The house faces east toward Estate

Lane. An asphalt driveway is proposed in the driveway easement leading to an apron and turn around area for a four-car garage. The edge of the apron appears close to the north property line. The siting of the home and driveway should be adjusted to provide proper space for drainage and the planting of vegetative screening between the driveway apron and the property line. The Lake County maps indicate the potential presence of wetlands on the property. Verification will be needed at the time of permit.

According to the landscape plan, a brick paver walkway from the driveway to the front entrances is proposed however, it does not appear on the site plan. The final site plan should show all proposed hardscaping.

A brick patio is proposed in the rear.

Staff Recommendation: Adjust the siting of the home to create space between the garage apron and the property line to the north for drainage and vegetative screening.

Staff Recommendation: Show all proposed hardscaping on the site plan.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,056 square feet is permitted on the site with an allowance of 800 square feet for a garage and 706 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 6,864 square feet.
- The proposed garage totals 876 square feet. With a maximum garage exemption of 800 square feet, 76 square feet must be added to the square footage of the residence.
- In addition to the above square footage, a total of 405 square feet of design elements are incorporated into the design of the house

In conclusion, the proposed residence totals 6,940 square feet, 116 square feet or 2 percent below the maximum allowable square footage for this property.

At its tallest peak, the residence as measured from the lowest point of existing grade is 32 feet. The maximum height allowed for a residence on this size lot is 40 feet.

Elevations – This standard is not yet fully met.

The petitioner identifies the proposed home as “New American.” Generally, New American homes refer to large, suburban houses built from the 1980’s onward that combine traditional architectural elements with modern preferences for scale and convenience. They are often characterized by complex rooflines with multiple gables

or dormers, prominent front entries, a mix of exterior materials, and attached multi-car garages. Such characteristics can be found throughout the elevations.

Although the New American style is often associated with complex roof forms, Lake Forest's Residential Design Guidelines emphasize the value of simplicity in both roof shape and massing. Complex massing and rooflines appear on both the east and north elevations, and simplification should be considered. On the east elevation, refining the hierarchy of massing to better align with the Guidelines should also be considered.

The Design Guidelines also emphasize the regular arrangement of openings and the balance of windows to solid walls. Across the elevations, there are numerous window shapes and sizes, including a mixed implementation of headers and sills. Studying and refining the elevations for consistency could better align the residence with the Guidelines. In particular, balancing the relationship of windows to solid wall massing on the south elevation should be considered.

Staff Recommendation: Simplify the massing and roof forms on the east and north elevations.

Staff Recommendation: Refine the hierarchy of massing on the east elevation.

Staff Recommendation: Study and refine the arrangement of openings across the elevations.

Staff Recommendation: Refine the balance of windows to solid wall massing on the south elevation.

Type, color, and texture of materials – This standard is mostly met.

The petitioner proposes tumbled flagstone and beige, true cement stucco as the primary façade materials. A third material, wood paneling is proposed the secondary elements. The Design Guidelines encourage limiting siding materials to two different materials. In this case, the use of wood paneling appears limited, with limited visibility from the front elevation.

Brava synthetic shingles, aluminum-clad wood windows with simulated divided lites, dark bronze aluminum gutters and downspouts, and a combination of wood, stucco, and LP trim are proposed throughout. The shed dormers are designed with 12-inch dark bronze standing seam metal roofs. The driveway will be asphalt. Brick pavers are proposed for the sidewalk to the front entrances and the rear patio.

Although the primary façade materials are limited to stone and stucco, the additional use of trim, roofing, metal elements, and wood paneling as noted above, brings the total to eight different exterior materials. Consideration could be given to reducing the number of exterior materials.

Staff Recommendation: Standing seam roof panels shall be no wider than 12 inches and the stone shall be at least four inches thick.

Staff Recommendation: Consider reducing the number of different exterior materials.

Landscaping - This standard can be met.

According to the landscape plan, one additional shade tree with a diameter of at least 3 inches is required to meet the minimum criteria for new construction. The plan identifies the removal of one tree, a 22-inch maple in fair health however, the tree survey suggests additional trees may be impacted. If trees are intended for preservation, a pre and post treatment plan will be required and replacement may be required if the trees are determined to be in decline due to construction activity. The proposed plan does not yet fully demonstrate compliance with the inch-for-inch replacement requirement. To mitigate the prior clearing of the Conservation Easement, the landscape plan will need to provide for extensive plantings in the Easement including ground cover, mid-level shrubs, and canopy trees sufficient to achieve a wooded streetscape appearance over time.

To screen the private areas of the neighboring property to the north from headlights, vegetative screening should be considered along the north property line, across from the four-car garage.

The final landscape plan will be subject to staff review and approval at the time of permit.

Staff Recommendation: Provide an accurate tree removal plan clearly identifying trees proposed for removal.

Staff Recommendation: Submit a revised plan drawn on the grading and drainage plan, demonstrating inch-for-inch replacement of trees proposed for removal with replantings on the property.

Staff Recommendation: The landscape plan shall reflect plantings within the Conservation Easement including ground cover, mid-level plantings, and canopy trees to restore the wooded streetscape intended at the time of subdivision.

Staff Recommendation: Revise the landscape plan to include vegetative screening across from the garage to mitigate views of and impacts from the garage and driveway on the neighboring home.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence has been submitted.

Recommendation

Recommend approval of a new house with an attached garage and the associated hardscape and landscape on a vacant lot subject to review and final approval by a subcommittee of the Board. The Board is authorized to grant final approval if refinements are determined to address concerns and respond to the direction of the Board.

1. Prior to submitting plans for permit refine the plans as follows and provide the additional information requested. The refinements shall be subject to review and approval by a subcommittee of the Board appointed by the Chairman.
 - a. Site Plan
 - i. Adjust the siting of the home to create space between the garage apron and the property line to the north for drainage and vegetative screening.
 - ii. Show all proposed hardscaping on the site plan.
 - b. Elevations
 - i. Simplify the massing and roof forms on the east and north elevations.
 - ii. Refine the hierarchy of massing on the east elevation.
 - iii. Study and refine the arrangement of openings across the elevations.
 - iv. Refine the balance of windows to solid wall massing on the south elevation.
 - c. Exterior Materials
 - i. Specify that the standing seam roof panels are no wider than 12 inches.
 - ii. Specify that the stone is at least 4 inches thick.
 - iii. Consider reducing the number of different exterior materials.
 - d. Landscaping
 - i. Provide an accurate tree removal plan clearly identifying trees proposed for removal.
 - ii. Submit a revised plan drawn on the grading and drainage plan, demonstrating inch-for-inch replacement of trees proposed for removal with replantings on the property.
 - iii. The landscape plan shall reflect plantings within the Conservation Easement including ground cover, mid-level plantings, and canopy trees to restore the wooded streetscape intended at the time of subdivision.
 - iv. Revise the landscape plan to include vegetative screening across from the garage to mitigate views of and impacts from the garage and driveway on the neighboring home.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to

review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity both on the subject property and on adjacent properties.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping. A revised landscape plan should address discrepancies with the tree removal plan. The plan shall demonstrate inch-for-inch replacement of trees proposed for removal.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

f. A plan for contractor parking and materials' and equipment staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material Tumbled Flagstone with limestone cap, accessible beige stucco

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood (recommended)
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish pebble gray

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Other stucco

Fascias, Soffits, Rakeboards

- Wood
- Other LP

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles brava composite cedar shake
- Sheet Metal 12" dark bronze
- Other _____

Flashing Material

- Copper
 - Sheet Metal
 - Other _____
- Skylights**
- Proposed
 - Existing
 - None

Gutters and Downspouts

- Copper
- Aluminum dark bronze
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

Statement of intent

Property address: 1206 Estate Lane

Property Owner: 1206 Estate Lane, LLC

Dear Commissioners,

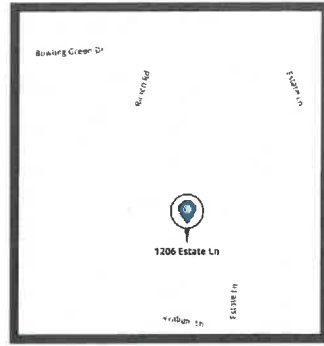
We respectfully submit the attached building review board application and supporting documents for a new single family home located at 1206 estate lane. The lot is currently unimproved and is approximately 1.5 acres in size. The home will be approximately 5,221sf of livable floor area consisting of 5 bedrooms and 6.5 bathrooms, the home will have an 4 car side load garage. The home will be constructed in a "New American" manner, blending traditional architectural elements with contemporary design principles. The façade will be an elegant mix of light gray tumbled flag stone & beige stucco with Benjamin Moore Montpelier painted accents and paneling. Pebble gray aluminum clad windows and dark bronze gutters/metal roofing will compliment the main entry, garage and family entrance which will be wood stained; Brava New Cedar composite roofing with minimal 12" dark bronze metal roofing to complete the home.

No Variance is required.

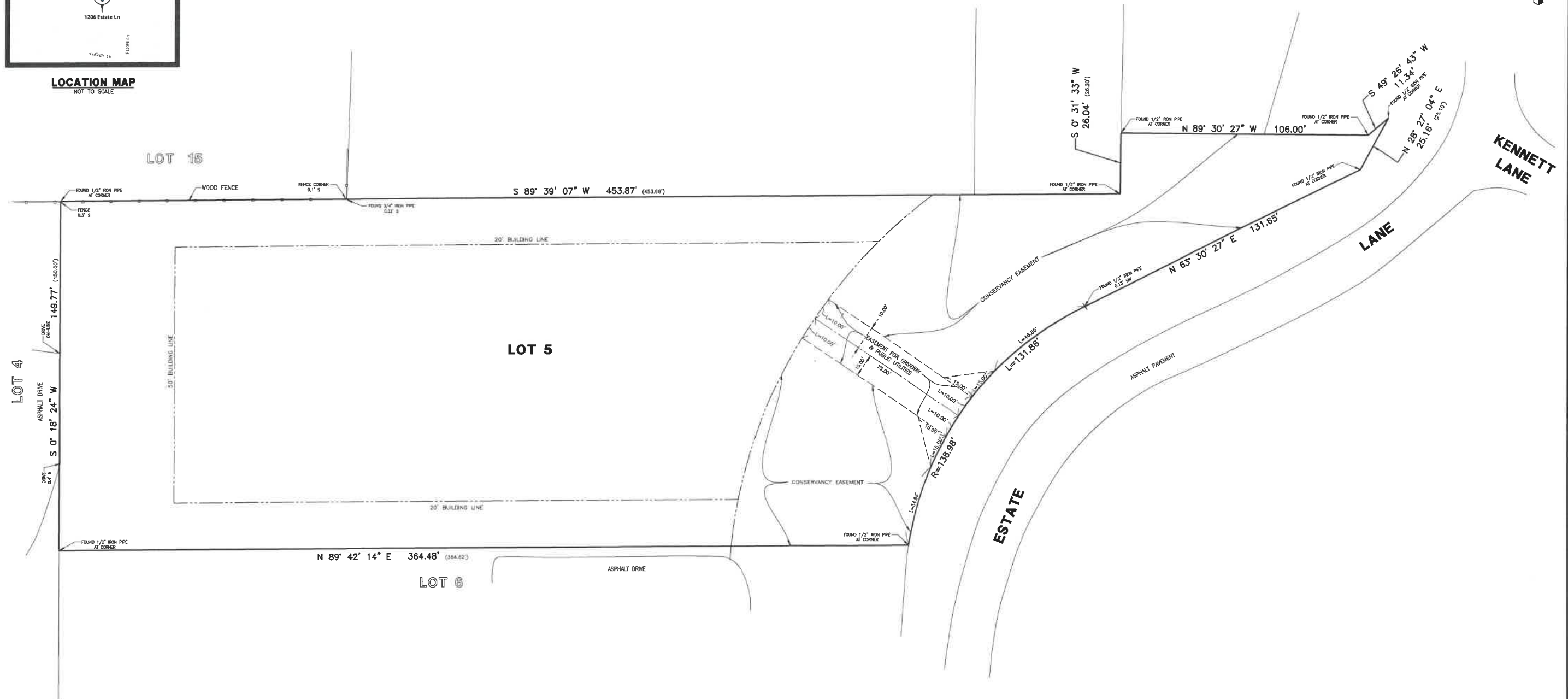
PLAT OF SURVEY

LOT 5 IN THE VILLAS OF THE TRILLIUM; BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF THE WEST HALF OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 3, 1988 AS DOCUMENT 2737419 AND AMENDED BY LETTER OF AMENDMENT RECORDED JANUARY 20, 1989 AS DOCUMENT 2759223, SAID LETTER RE-RECORDED FEBRUARY 8, 1989 AS DOCUMENT 2764466, IN LAKE COUNTY, ILLINOIS.

PLAT OF SURVEY



LOCATION MAP
NOT TO SCALE



AREA
65,675 Sq. Ft. OR 1.51 ACRES (MORE OR LESS)

SURVEYORS NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORD DIMENSION.
3. BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL CLIENT-AHARANI GROUP
5. ORIGINAL FIELD WORK COMPLETED-05-24-25

GENERAL NOTES:

1. DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAN OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT, DEED, LOCAL ORDINANCES, ETC., TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
4. COMPARE USED DESCRIPTION AND SITE CONDITIONS WITH THE DATA SHOWN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

STATE OF ILLINOIS } SS
COUNTY OF LAKE }

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 10TH DAY OF JULY, A.D., 2025

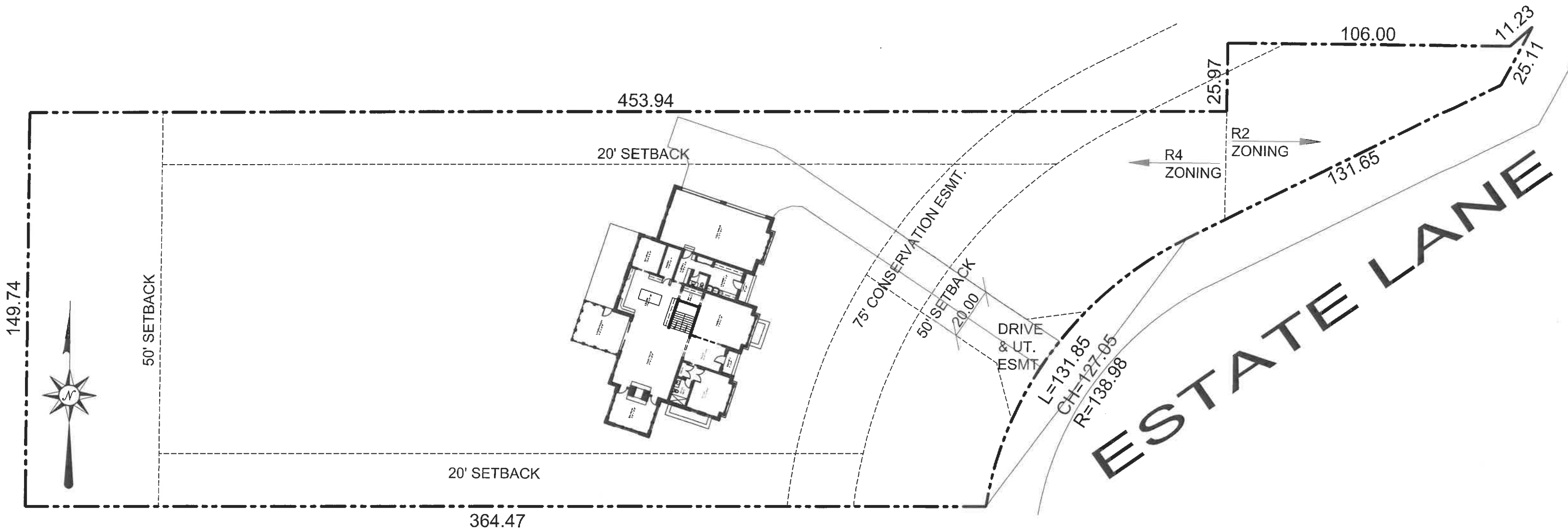


JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-26.

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

1206 ESTATE LANE - LAKE FOREST, IL
PLAT OF SURVEY

DESIGNED BY: SLM	DATE: 07-10-25	<p>GREENGARD, INC. Engineers • Surveyors • Planners 111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615 PHONE: 847-634-3883 FAX: 847-634-0687 E-MAIL: 231@GREENGARDING.COM ILL. REGISTRATION NO. 184-000995</p>	SCALE: 1"=20'
CHECKED BY: JRS	DATE: 07-10-25		DRAWING NO: 71130
APPROVED BY:	DATE:		SHEET 1 OF 1



SITE PLAN

9.24.25

1206 ESTATE LANE, LAKE FOREST

ESTATE LANE | EXTERIOR

EXTERIOR MATERIALS



STAINED
HEADERS

BRAVA
ROOFING

BLACK
LIGHTING

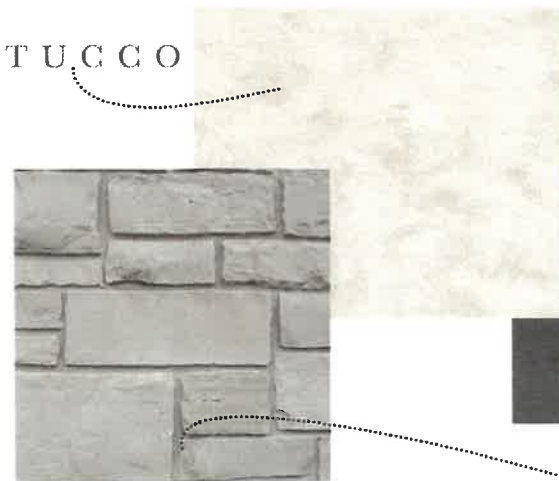
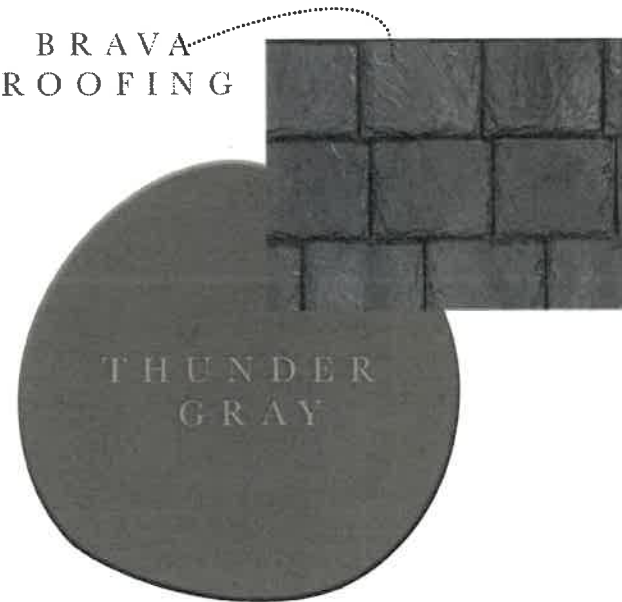
STUCCO

DARK BRONZE
METAL
ACCENTS

DOOR
REFERNECE

THUNDER
GRAY

STONE
INSPIRATION



EXTERIOR MATERIALS – GARAGE DOORS



EAST ELEVATION



FRONT ELEVATION OPTION B

STAINED GARAGE DOORS
BRONZE/COPPER GUTTERS
WINDOW COLOR TBD

9.24.25

1206 ESTATE LANE, LAKE FOREST



LEFT SIDE ELEVATION

9.24.25



REAR ELEVATION

1206 ESTATE LANE, LAKE FOREST

9.24.25

NORTH ELEVATION



RIGHT SIDE ELEVATION

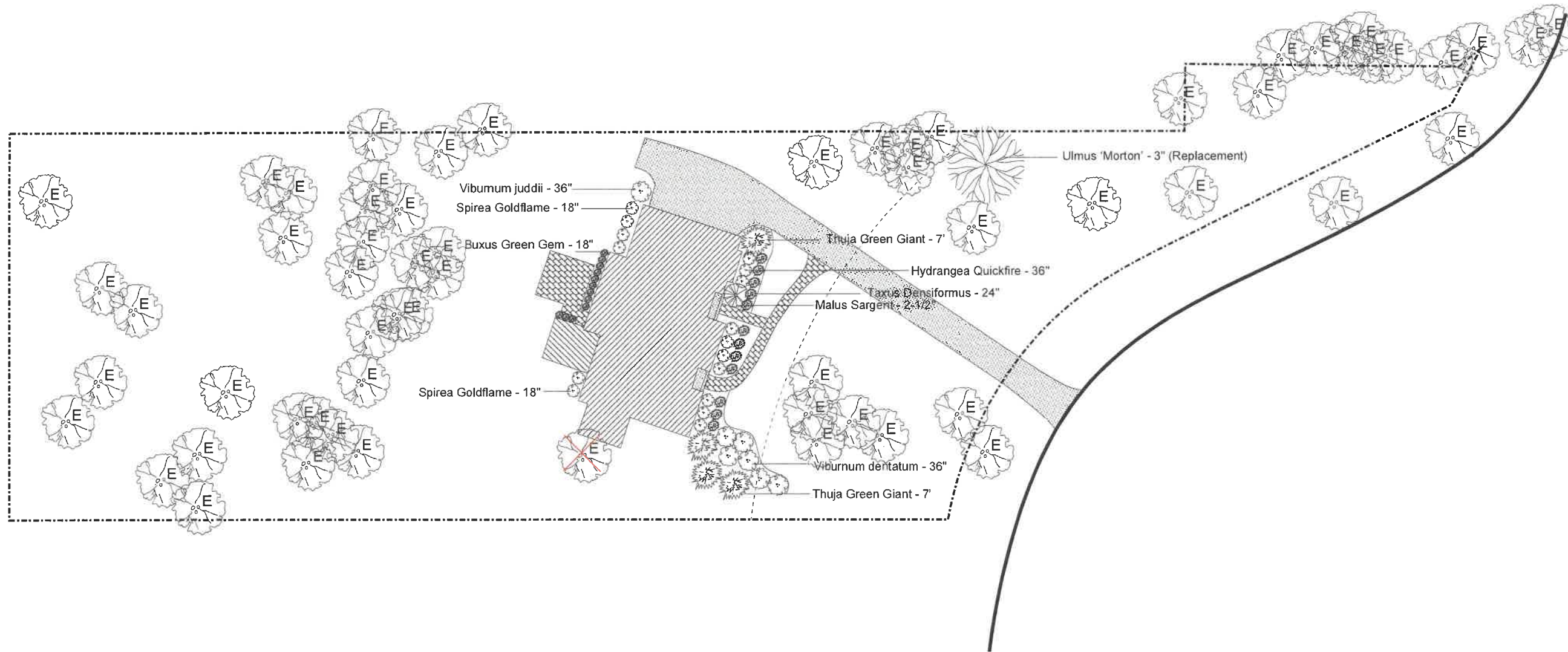
9.24.25

1206 ESTATE LANE, LAKE FOREST

LANDSCAPE PLAN

80 lf foundation facing street
 16 - 36" shrubs required
 2 - 3" Shade Trees required
 or 3 - 3" ornamentals required
 or 3 - 7' Evergreen Trees Required

Planters to be mulched



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WWW.ELANLANDSCAPES.COM

DRAWN FOR:

PROPERTY ADDRESS:
 1206 ESTATE LN
 LAKE FOREST

DRAWN FOR:

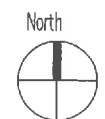
AHARONI GROUP

ELAN
 LANDSCAPING DESIGN CO.
 1068 E. Park Ave.
 Libertyville, IL 60048
 847-362-1483

LANDSCAPE DESIGN BY:
DAN WELLS

LANDSCAPE PLAN

SEPT 24, 2025



1 INCH = 20 FEET