

Agenda Item 3
1425 Telegraph Road
New Single-Family Residence on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Survey – Existing
Site Plan
Elevations
Colored Elevations
Roof Plan
Building Section
Floor Plans
Tree Survey
Tree Inventory

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1425 Telegraph Road

Preliminary consideration of plans for a new two-story single-family residence on a vacant lot.

Property Owner: Forest Lake LLC (Conrad Karbowski)
Presented by: Conrad Karbowski, Owner

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for preliminary review and input on plans for a new two-story single-family residence on an infill vacant lot. The prior home on the property was demolished many years ago after the unoccupied small structure was routinely cited as a neighborhood nuisance. At that time, the property was under different ownership.

The focus of this review is to provide an opportunity for the Board and interested parties to comment, raise questions, and request clarification or additional information on the site plan, architectural design, and exterior materials. A landscape plan has not yet been submitted.

Description of Property

This property is one of four contiguous undeveloped tax parcels owned by the petitioner and is located on the east side of Telegraph Road, north of Old Mill Road and west of Waukegan Road. The property that is the subject of this petition on which the new residence is proposed fronts on Telegraph Road. A private land runs along the north property line providing access to neighboring properties to the north. The other parcels owned by the petitioner are located to the east of the subject property and form a triangle along the railroad tracks. Portions of the triangle are impacted by wetlands. There is a narrow access to the triangle area from Old Mill Road.

The property in this request totals 82,874 square feet including the access easement for the properties to the north. The property was created through the Pioneer subdivision, platted in 1923.

Preliminary Staff Review Comments

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan - This standard is mostly met.

The proposed house faces west toward Telegraph Road. The house is sited toward the middle of the lot. A crushed stone driveway and main entrance round about lead to an asphalt parking area and south facing side-loading three car garage. The current site plan does not accurately depict the materials and should be updated.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,842 square feet is permitted on the site with an allowance of 800 square feet for a garage and 784 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 6,562 square feet.
- The proposed garage totals 869 square feet. The garage overage of 69 square feet must be added to the total square footage of the residence.
- 572 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 6,631 square feet, 1,211 square feet or 15 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 37 feet and is below the allowable height of 40 feet for the property.

Elevations – This standard is not yet met. Board input and direction is requested.

The statement of intent describes the selected style of architecture as “modern country estate”, a trending architectural style also recognized as modern farmhouse. On the west elevation, a steeply pitched central gable indicates the main entrance. Adjacent to the entrance are two asymmetrical two-story square bay windows with shed roofs. The central massing has a prominent hipped roof and the adjacent asymmetrical wings of the house are defined by gables. On the left wing, a set of short clerestory windows are separated from three first floor windows by an eyebrow roof. On the right wing, a single clerestory window is separated from two first floor windows by a black panel.

The prominent hipped roof on the central mass and asymmetrical gabled wings are mirrored on the east elevation. A metal standing seam roof divides the first and second floor and covers the rear porch. A thick column supports the porch to the left of the rear door. Two windows are placed on the larger, left gabled wing of the home while three are placed on the smaller, right gabled wing of the home.

Staff Recommendation: Study and refine the hierarchy of massing to better balance the central mass with the wings on the east and west elevations. Consider a more symmetrical, proportional design.

Staff Recommendation: Study and refine the roof forms to differentiate the primary and secondary masses.

Staff Recommendation: Study and refine the east and west elevations to develop a design with a more regular and proportional arrangement of openings and design features to better adhere to the City's Residential Design Guidelines.

There is only one window on the south elevation and only a limited number of windows on the north elevation. Solid walls and roof massing dominate the elevations.

Staff Recommendation: Study and refine the north and south elevations to achieve a balance between window and door openings and expanses of solid wall. Consider the use of design elements like dormers to break up the roof massing.

Type, color, and texture of materials – This standard is not yet met. Board input and direction is requested.

White fiber cement Hardie board vertical panels are shown for siding throughout. Black Hardie trim is proposed around vinyl clad casement windows with only interior muntins are proposed. The roof material is proposed as asphalt and in some places metal standing seam. Black aluminum gutters and downspouts are proposed.

The driveway is proposed as a combination of crushed stone and asphalt.

Consideration should be given to less stark, softer colors for the siding and windows to allow the new residence to fit more quietly into the neighborhood. The petitioner is expected to provide samples of materials and colors at the Board meeting.

Staff Recommendation: Soften the color palette. Use of less stark colors for siding and windows.

Staff Recommendation: Simulated divided lites must have muntins affixed to both the interior and exterior and ideally have a spacer bar between the glass.

Staff Recommendation: Include natural materials in combination with synthetic products to enrich the appearance of the house. The Board has required the use of natural wood for trim or boral on previous petitions in which the siding is entirely a synthetic product.

Staff Recommendation: Use metal clad wood windows or fiberglass windows rather than vinyl windows.

Landscaping - This standard is not yet met.

A landscape plan was not yet submitted. At a minimum, the plan must reflect foundation plantings around the entire residence, the number of trees and shrubs required by the Code as a minimum for new construction, and any required

replacement inches to compensate for the trees proposed for removal. The landscape plan will need to specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

The tree survey and tree removal plan submitted do not align.

Staff Recommendation: Submit a detailed landscape plan that satisfies the minimum planting requirements for new construction and provides for all replacement inches required to compensate for the removal of trees.

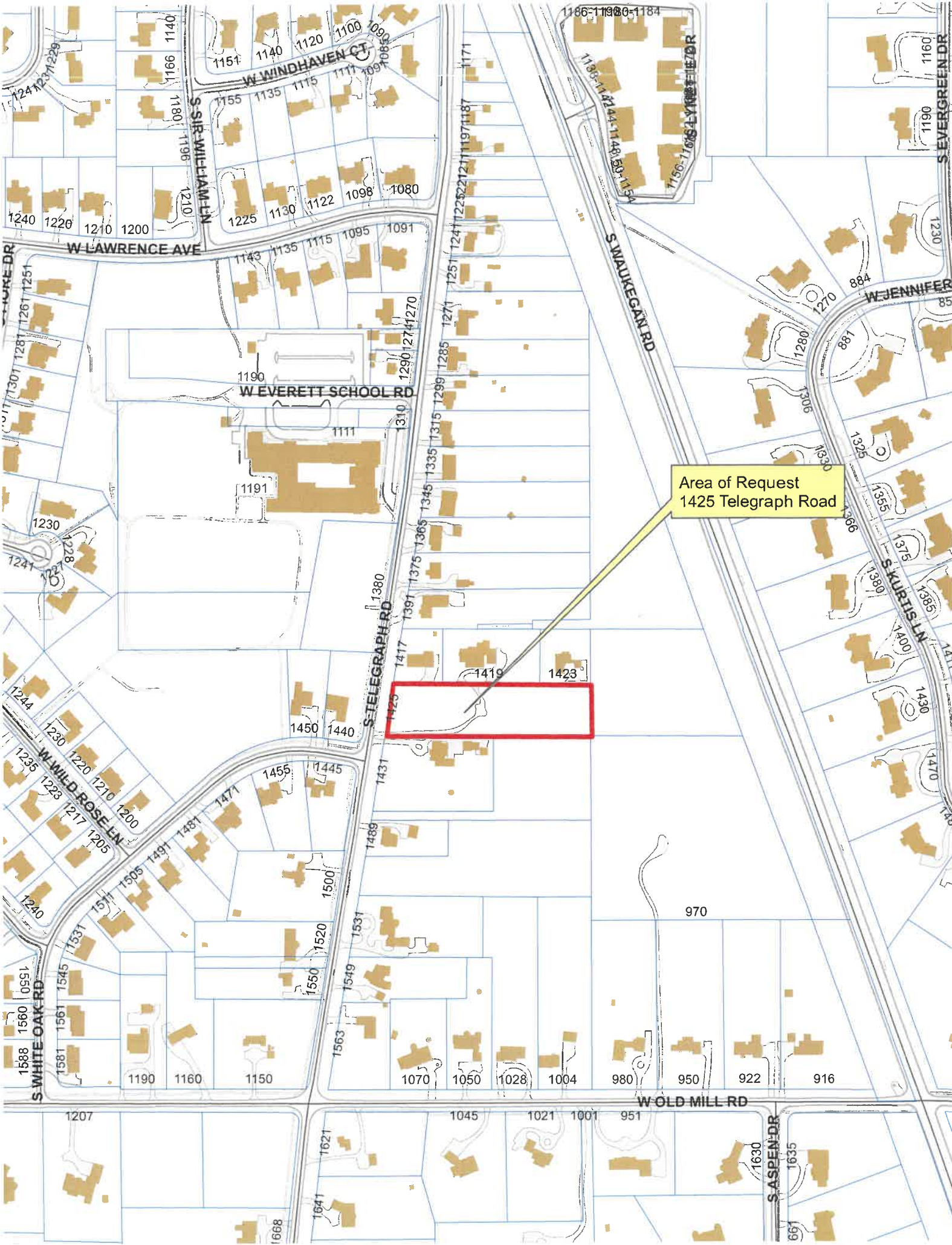
Staff Recommendation: Submit an updated tree survey and tree removal plan that fully and accurately document the species, size, and condition of the trees on the site and clearly identifies those proposed for removal.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

1. Continue the petition with direction to the petitioner for further refinement based on the recommendations detailed above if determined to be appropriate by the Board and incorporating additional Board comments.



Area of Request
1425 Telegraph Road





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1425 TELEGRAPH RD. LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

FOREST LAKE LLC

Owner of Property

1727 N. WESTERN AVE C1

Owner's Street Address (may be different from project address)

CHICAGO IL 60647

City, State and Zip Code

312-502-8800

Phone Number

Fax Number

forestlakehomes4u@gmail.com

Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

MACIEJ BOJARSKI

Illinois License Number: 001-022685

Name and Title of Person Presenting Project

Name of Firm

24 N KING ARTHUR CT

Street Address

NORTHLAKE IL. 60164

City, State and Zip Code

312-498-8307

Phone Number

Fax Number

bojarski@comcast.net

rafalkaczkowski@gmail.com

Email Address

Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Facade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>James Hardie Boards</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material white

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish _____

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

August 27th, 2024

Building Review Board
City of Lake Forest
Community Development Department
800 Field Dr.
Lake Forest, IL 60045

**RE: Statement of Intent
1425 Telegraph Rd., Lake Forest**

Dear Commissioners,

We respectfully submit the attached Building Review Board application and supporting documents for the proposed project, which is the construction of a single family home at 1425 Telegraph Rd.

The design will feature a Modern Country Estate style, characterized by a hip roof on the main structure and gable roofs on the side structures, which provide a classic yet contemporary appearance. The proposed home will encompass 6,500 square feet, offering ample living space while maintaining a harmonious scale with the surrounding neighborhood.

The house will include a 5 bedroom, 4.5 bath for family and guests, with spacious 10 foot ceilings on the first and second floor. A crushed stone driveway will be installed, extending from Telegraph Road that will run past the large and historic trees in front of the property. The deep front yard setback will preserve the existing view of adjacent properties, ensuring minimal impact on the neighborhood's visual landscape.

1. Site Plan:

The property is located in the R-3 district with the following minimum required setback: 60' building setback, 40' front yard, 15' side yard and 40' rear yard. The proposed new construction is conforming with the required zoning setbacks. The property size is 1.8 acres with a front yard of 188', north side yard of 26', south side yard 40', rear yard 292'.

2. Elevations:

Please refer to the provided rendering.

3. Landscaping:

Trees and shrubs within the construction area will be removed, while the existing side yard landscaping will remain to maintain privacy with neighboring properties. In the backyard, only buckthorn will be removed, preserving existing trees. We are finalizing the landscaping plan and will provide further details as they become available.

4. Type, Color, and Texture of Materials:

The proposed building will be black and white Hardie board panels and black vinyl windows. We will provide samples at the meeting.

5. Overall Site Layout:

Located per site plan.

Thank you in advance for considering our application.

Sincerely,

Conrad Karbowski
312-502-8800
conrad77k@gmail.com

PROFESSIONALS ASSOCIATED
 PHONE: (847) 675-3000
 FAX: (847) 675-3167
 E-MAIL: pa@professionalsassociated.com
 www.professionalsassociated.com

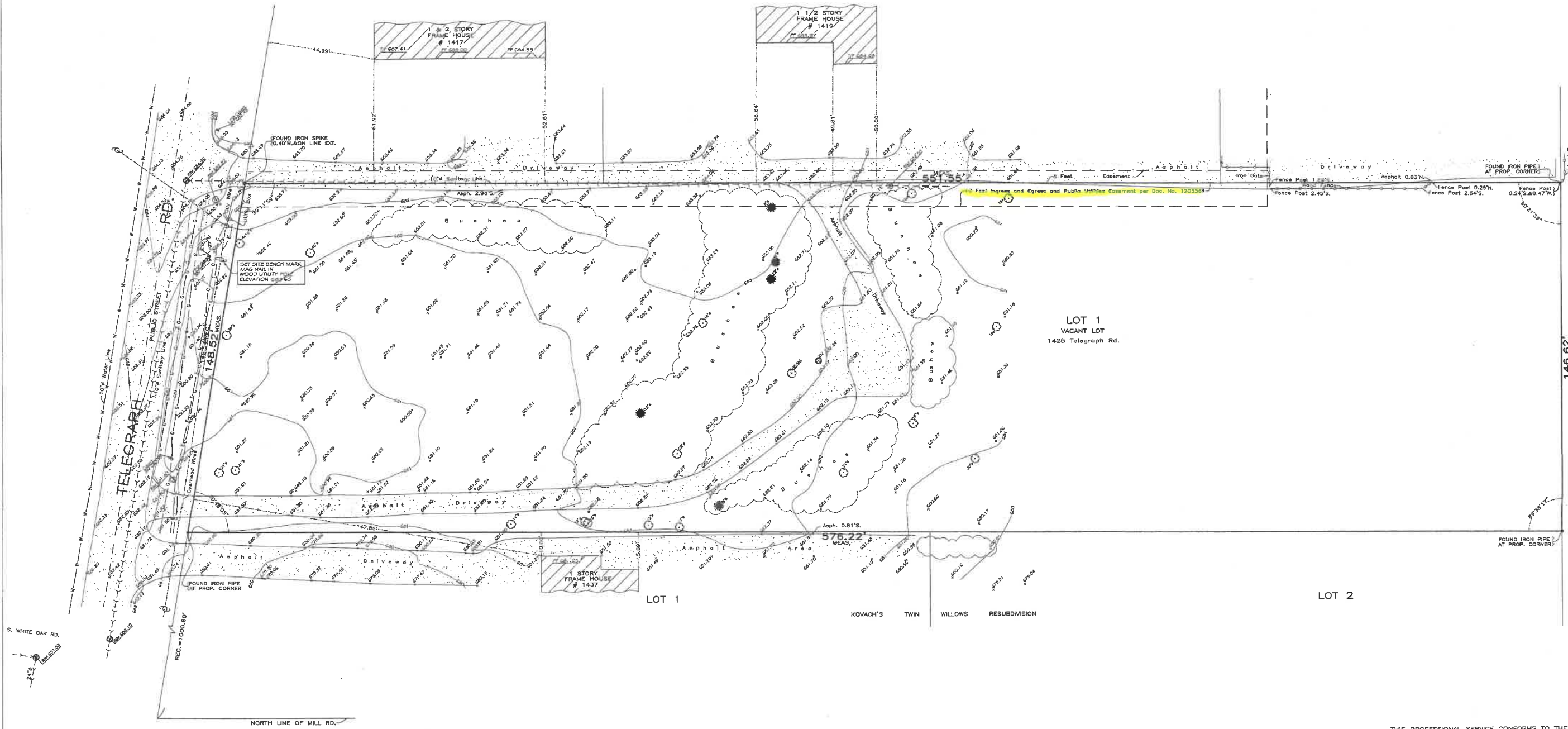
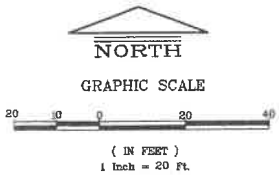
PROFESSIONALS ASSOCIATED - MM SURVEY CO.
 BOUNDARY * ALTA * TOPOGRAPHIC * CONDOMINIUM SURVEYS
 7100 NORTH TRIPP AVENUE, LINCOLNWOOD, ILLINOIS
 PROFESSIONAL DESIGN FIRM NO. 184-903023

MM SURVEY
 PHONE: (773) 282-1900
 FAX: (773) 282-3424
 E-MAIL: info@MMSurveyingChicago.com
 www.mmsurveyingchicago.com

BOUNDARY & TOPOGRAPHIC SURVEY

SURVEY - EXISTING

LOT 1 IN PIONEER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 27, 1923 AS DOCUMENT NUMBER 228740 IN BOOK "M" OF PLATS PAGE 4, IN LAKE COUNTY, ILLINOIS.
 LAND TOTAL AREA: 82,674 SQ. FT. = 1.90 ACRE.
 COMMONLY KNOWN AS: 1425 TELEGRAPH ROAD, LAKE FOREST, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.
 BUILDING LINES AND CASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.
 ORDER NO. 108562
 SCALE: 1 INCH = 20 FEET.
 DATE OF FIELD WORK: April 23, 2024.
 ORDERED BY: PUBLIC 2 LLC

- LEGEND:
- ⊙ = SANITARY MANHOLE
 - ⊕ = CATCH BASIN
 - = MANHOLE
 - ⊗ = WATER METER MANHOLE
 - ⊙ = WOOD UTILITY POLE
 - = DECIDUOUS TREE
 - ⊙ = EVERGREEN TREE
 - ⊙ = SPOT ELEVATION
 - = CONTOUR LINE
 - — — — — = SANITARY LINE
 - — — — — = STORM LINE
 - — — — — = WATER LINE
 - — — — — = ELECTRIC LINE
 - — — — — = GAS LINE LINE
 - — — — — = TELECOMMUNICATIONS LINE
 - T/F = TOP OF FOUNDATION ELEVATION
 - FF = FINISH FLOOR ELEVATION

BENCHMARK REFERENCE:
 GPS DEVICE: LEICA VNA G514/LEICA VNA CONTROLLER
 REFERENCE STATION NETWORK: KARA COMPANY (MEMBER OF THE NATIONAL GEODETIC SURVEY'S COOPERATIVE CORS (CONTINUOUSLY OPERATING REFERENCE STATION)
 DATUM: NAVD 83 (NORTH AMERICAN VERTICAL DATUM 1983)

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY. THIS IS NOT AN ALTA SURVEY.
 COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.
 State of Illinois
 County of Cook
 We, PROFESSIONALS ASSOCIATED-MM SURVEY CO., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

EAST AND WEST ELEVATIONS

MAX ROOF HEIGHT
40' - 0"

BUILDING HEIGHT
36' - 6"

ELEVATION GENERAL NOTES:

TEMPERED GLAZING SHALL BE PROVIDED IN WINDOWS THAT MEET BOTH:
A. GLASS GREATER THAN 9 S.F. IN AREA.
B. BOTTOM OF GLASS WITHIN 18" OF THE FLOOR.

ALL SAFETY GLASS FOR GLAZING IN HAZARDOUS LOCATION (INCLUDING WET LOCATIONS) INDICATED IN THE PROJECT SHOULD BE TEMPERED GLASS

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED @ REAR OF HOME AND PAINTED TO MATCH ROOF.

ALL D.S. LOCATIONS TO BE FILED VERIFIED WITH OWNER PRIOR TO INSTALLATION

PROVIDE COUNTER FLASHING, WHERE REQUIRED, INCLUDING ROOF TO WALL INTERSECTIONS, CHIMNEYS AND SADDLES 20 G.A. (MIN.)

PROVIDE 26 G.A. (MIN.) GALV. W-VALLEYS UNDERLAD WITH NO. 15 MIN. ROOFING FELT

PROVIDE COUNTER FLASHING DIAGONALLY ACROSS MASONRY, STEP AND REGGLED INTO THE MORTAR

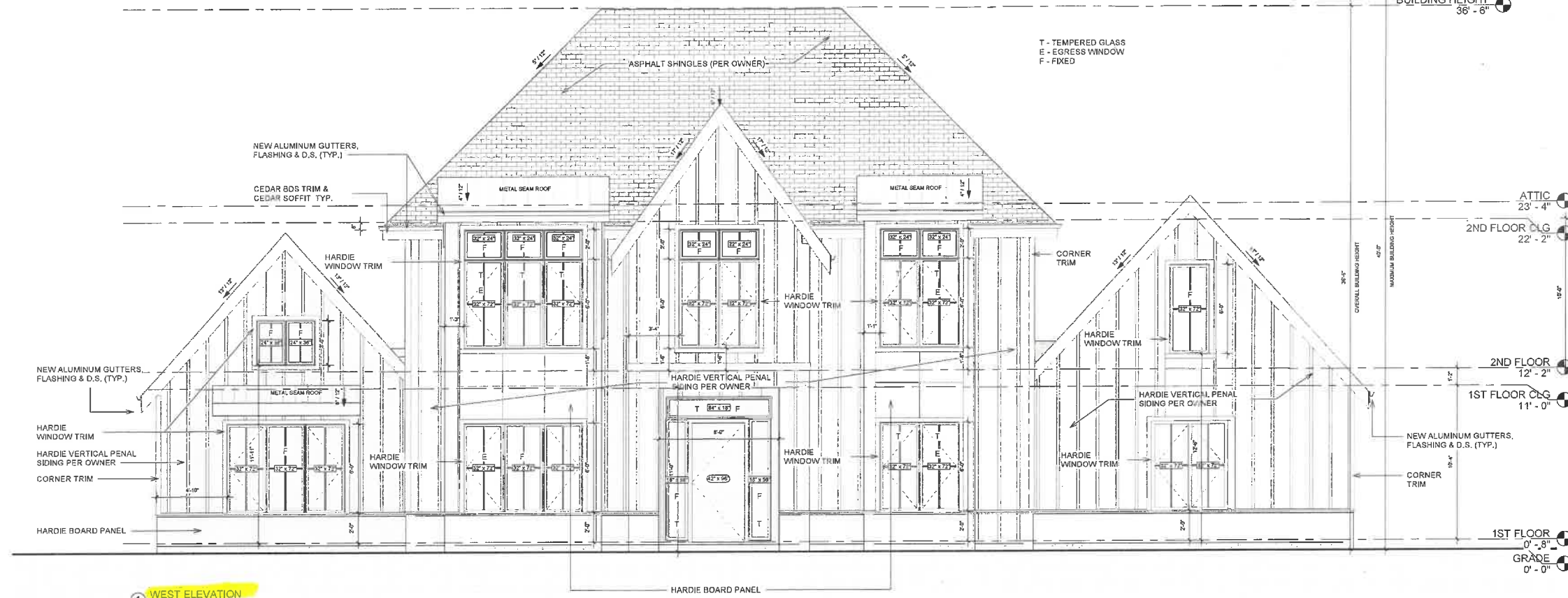
PROVIDE FLASHING, COUNTER FLASHING AND CAULK AT ALL SKYLIGHTS, AS PER MANUFACTURER'S SPECIFICATIONS *EGRESS-EGRESS WINDOW *TEMP-SAFETY GLASS WINDOW

ROOF VENTS TO BE LOCATED ON BACK SLOPE OF THE ROOF. NUMBER AND LOCATION SHALL BE BASED ON TOTAL AREA OF VENTS REQUIRED EQUAL TO 1/300th OF ROOF AREA.

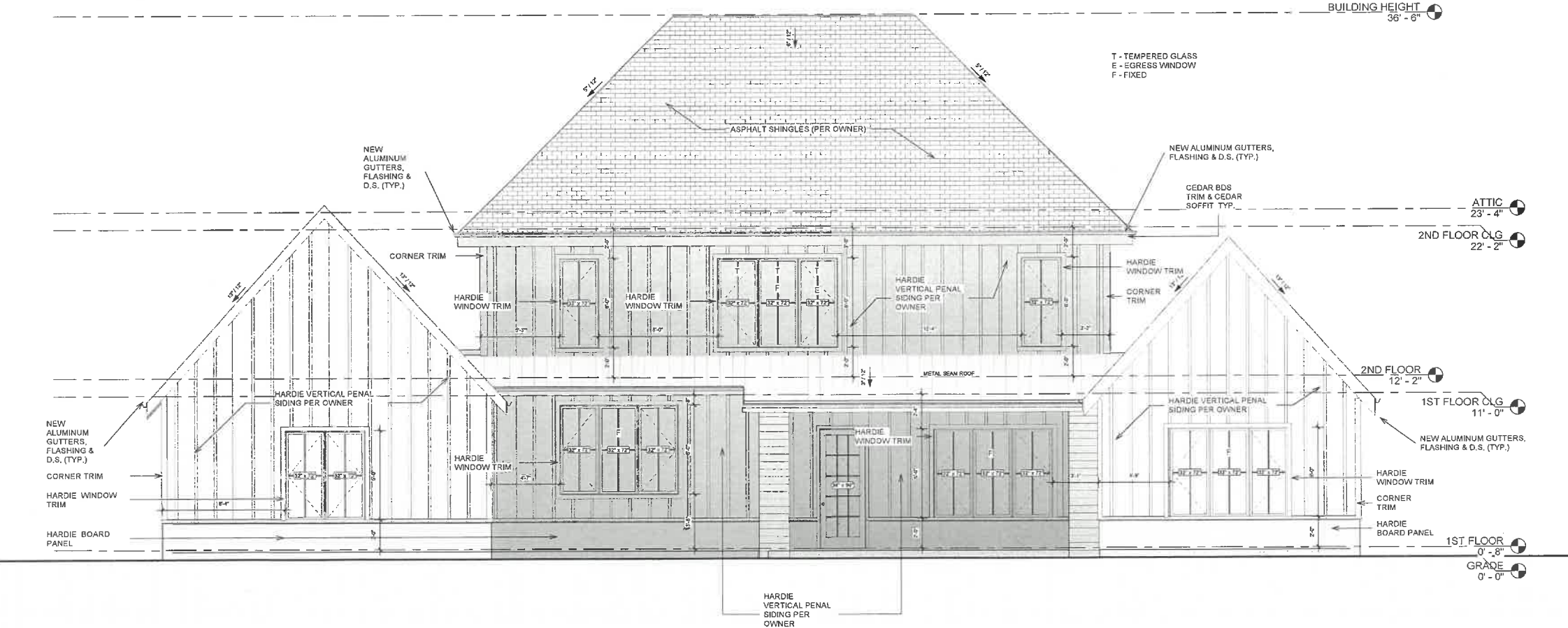
ALL WINDOWS BEING INSTALLED MUST HAVE A U-FACTOR VALUE OF 0.30 OR LESS.

ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SHALL BE WEATHER-STRIPPED AND INSULATED TO THE LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

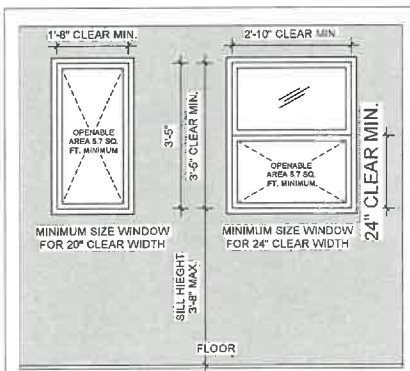
BUILDING THERMAL ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING FOUR AIR CHANGES PER HOUR (ACH) BY A BLOWER DOOR TEST. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY WITH A SIGNED-RESULTS TEST REPORT SUBMITTED DURING FINAL INSPECTIONS.



1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



EGRESS WINDOW SIZE & LOCATION REQUIREMENTS

EGRESS WINDOW MUST HAVE:

- A MINIMUM CLEAR OPENABLE WIDTH OF 20 INCHES
- A MINIMUM CLEAR OPENABLE HEIGHT OF 24 INCHES
- A MINIMUM CLEAR OPENABLE AREA OF 5.7 SQUARE FEET (TO OBTAIN THE 5.7 SQUARE FOOT OPENABLE AREA, ONE OR BOTH DIMENSIONS MUST BE INCREASED).
- A FINISHED SILL HEIGHT THAT IS NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR

WINDOW WELLS

IF THE EMERGENCY ESCAPE WINDOW OPENING IS BELOW GRADE, A WINDOW WELL MUST BE INSTALLED ON THE OUTSIDE OF THE BUILDING. THE WINDOW MUST:

- BE A MINIMUM OF 36 INCHES WIDE AND GIVE ACCESS TO AN AREA THAT IS A MINIMUM OF 9 SQUARE FEET WITH WINDOW FULLY OPEN
- HAVE A MINIMUM OF 6 INCH DROP FROM THE WINDOW SILL TO THE GROUND INCLUDE LATTER IF THE WELL IS MORE THAN 44 INCHES DEEP

M A C I E J
B O J A R S K I
A R C H I T E C T
R E C O R D
ILLINOIS REG. NO.
0 0 1 - 0 2 2 6 8 5
EXP. NOVEMBER 2024
TEL: 3 1 2 4 9 8 - 8 3 0 7
bojarski@comcast.net

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
Lake Forest, IL 60045

DATE	REMARKS
6/27/2024	ISSUE FOR PERMIT



Exp 11/30/2024

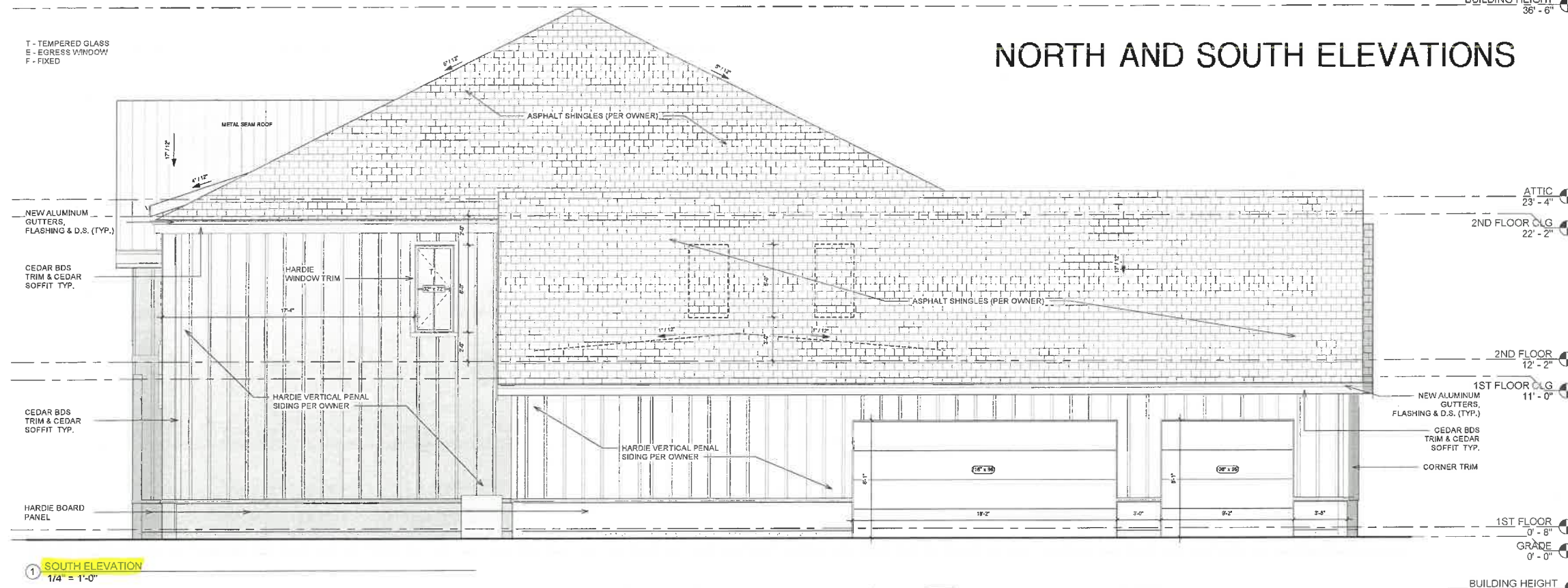
SHEET No.

A201

SCALE AS INDICATED

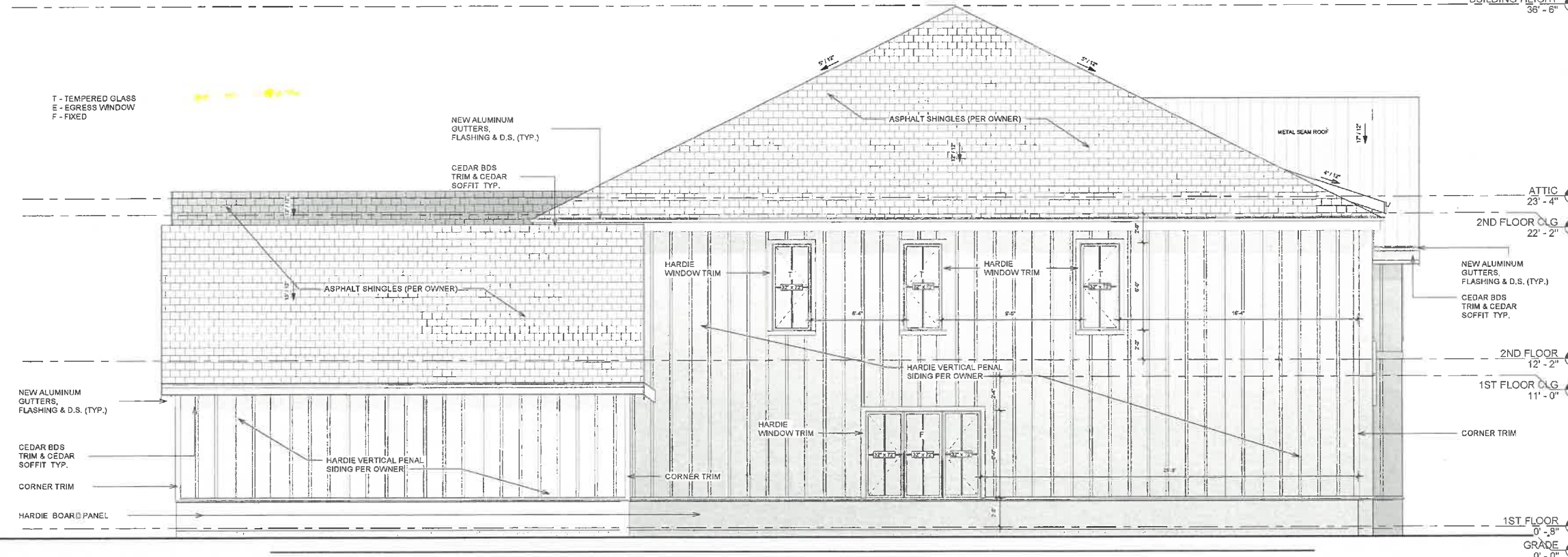
NORTH AND SOUTH ELEVATIONS

T - TEMPERED GLASS
E - EGRESS WINDOW
F - FIXED



1 SOUTH ELEVATION
1/4" = 1'-0"

T - TEMPERED GLASS
E - EGRESS WINDOW
F - FIXED



2 NORTH ELEVATION
1/4" = 1'-0"

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT* CLIMATE ZONE 5

ROOF R-VALUE	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	WOOD FRAME WALL R-VALUE	SLAB R-VALUE	SLAB EDGE R-VALUE	CRAWL SPACE WALL R-VALUE	DUCTS R-VALUE	OPaque DOOR U-FACTOR	GLAZED FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	SKYLIGHT U-FACTOR
R-30	R-49	R-20	-	R-30	R-13 + R-5	R-20	R-5	R-10	R-13 + R-5	R-3	U-0.30	U-0.30	NR	-

*R-values are minimums. U-factors and SHGC are maximums.

NOTE: ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT Baffle OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED. THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.

EXCEPTION: VERTICAL DOORS THAT PROVIDE ACCESS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS OF TABLE R402.1.2 BASED ON THE APPLICABLE CLIMATE ZONE SPECIFIED IN CHAPTER 3.

NOTE: PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN OR ON CEILINGS, ROOFS, WALLS, FOUNDATION (SLAB, BASEMENT WALLS, CRAWL SPACE WALLS AND FLOORS), DUCTS OUTSIDE CONDITIONED SPACES, U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION. RESULTS OF AIR LEAKAGE TEST DONE FOR DUCT SYSTEMS AND BUILDING ENVELOPE. THE CERTIFICATE SHALL ALSO INDICATE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

EQUIPMENT PERFORMANCE	TYPE	EFFICIENCY	AIR LEAKAGE TEST RESULTS*
HEATING SYSTEM	GAS FURNACE (MECHANICAL)	90% AFUE	BLOWER DOOR _____ ACH50 PA DUCT TESTING _____ CFM100 SOFT
COOLING SYSTEM	AIR CONDITIONER W/ CONDENSER UNITS (MECHANICAL)	14 SEER	
WATER HEATER	GAS TANK WATER HEATER	HIGH EF	

*NOTE: AIR LEAKAGE TEST SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
Lake Forest, IL 60045

M A C I E J
B O J A R S K I
A R C H I T E C T
R E C O R D
ILLINOIS REG. NO.
0 0 1 - 0 2 2 6 8 5
EXP. NOVEMBER 2024
TEL: 3 1 2 - 4 9 8 - 8 3 0 7
bojarski@comcast.net

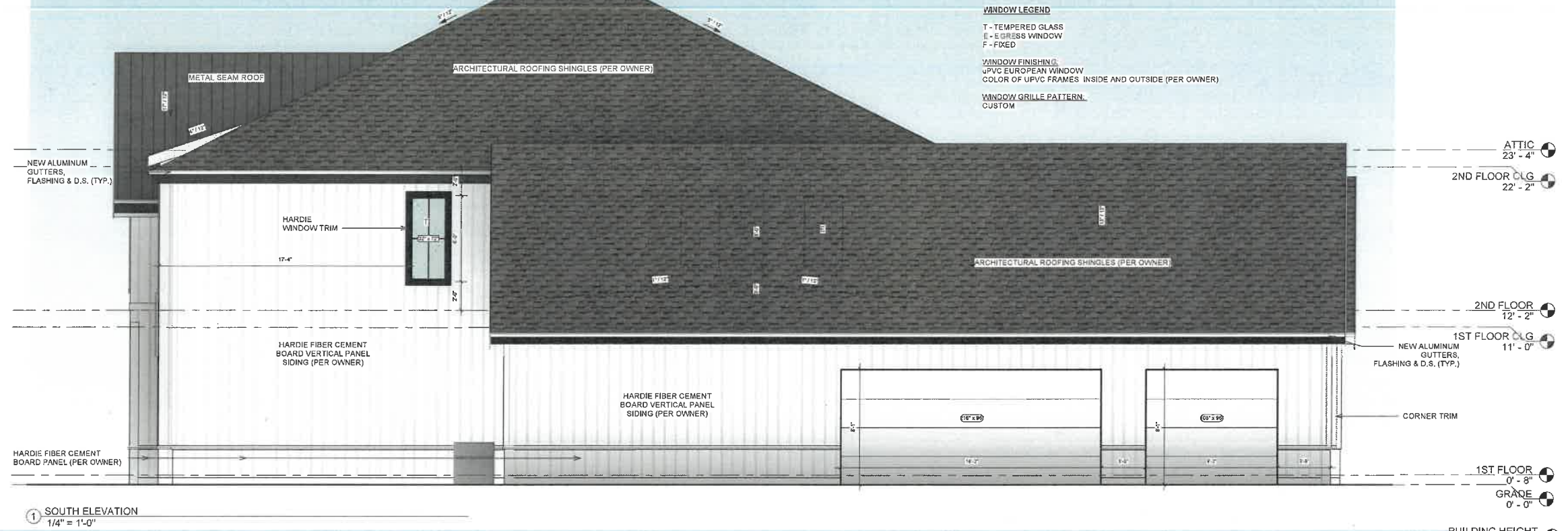
DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT



Exp: 11/30/2024

COLORED ELEVATIONS

BUILDING HEIGHT
36' - 6"



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

WINDOW LEGEND

- T - TEMPERED GLASS
- E - EGRESS WINDOW
- F - FIXED

WINDOW FINISHING

- UPVC EUROPEAN WINDOW
- COLOR OF UPVC FRAMES INSIDE AND OUTSIDE (PER OWNER)
- WINDOW GRILLE PATTERN, CUSTOM

WINDOW LEGEND

- T - TEMPERED GLASS
- E - EGRESS WINDOW
- F - FIXED

- WINDOW FINISHING**
UPVC EUROPEAN WINDOW
COLOR OF UPVC FRAMES INSIDE AND OUTSIDE (PER OWNER)

- WINDOW GRILLE PATTERN:**
CUSTOM

- NEW ALUMINUM
GUTTERS,
FLASHING & D.S. (TYP.)
- CEDAR BDS
TRIM & CEDAR
SOFFIT TYP.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT* CLIMATE ZONE S														
ROOF R-VALUE	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	WOOD FRAME WALL R-VALUE	SLAB R-VALUE	SLAB EDGE R-VALUE	CRAWL SPACE WALL R-VALUE	DUCTS R-VALUE	OPaque DOOR U-FACTOR	GLAZED FENESTRATION U-FACTOR	GLAZED FENESTRATION SHGC	SKYLIGHT U-FACTOR
R-30	R-49	R-20	-	R-30	R-13 + R-5	R-20	R-5	R-10	R-13 + R-5	R-3	U-0.30	U-0.30	NR	-

*R-values are minimums. U-factors and SHGC are maximums.

NOTE: ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD-FRAMED OR EQUIVALENT Baffle OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED, THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.

EXCEPTION: VERTICAL DOORS THAT PROVIDE ACCESS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS OF TABLE R402.1.2 BASED ON THE APPLICABLE CLIMATE ZONE SPECIFIED IN CHAPTER 3.

NOTE: PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN OR ON CEILINGS, ROOFS, WALLS, FOUNDATION (SLAB, BASEMENT WALLS, CRAWL SPACE WALLS AND FLOORS), DUCTS OUTSIDE CONDITIONED SPACES, U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION. RESULTS OF AIR LEAKAGE TEST DONE FOR DUCT SYSTEMS AND BUILDING ENVELOPE. THE CERTIFICATE SHALL ALSO INDICATE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.

EQUIPMENT PERFORMANCE	TYPE	EFFICIENCY	AIR LEAKAGE TEST RESULTS*
HEATING SYSTEM	GAS FURNACE (MECHANICAL)	90% AFUE	BLOWER DOOR AC-450 PA DUCT TESTING CFM/100 SOFT
COOLING SYSTEM	AIR CONDITIONER W/ CONDENSER UNITS (MECHANICAL)	14 SEER	
WATER HEATER	GAS TANK WATER HEATER	HIGH EF	

*NOTE: AIR LEAKAGE TEST SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
Lake Forest, IL 60045

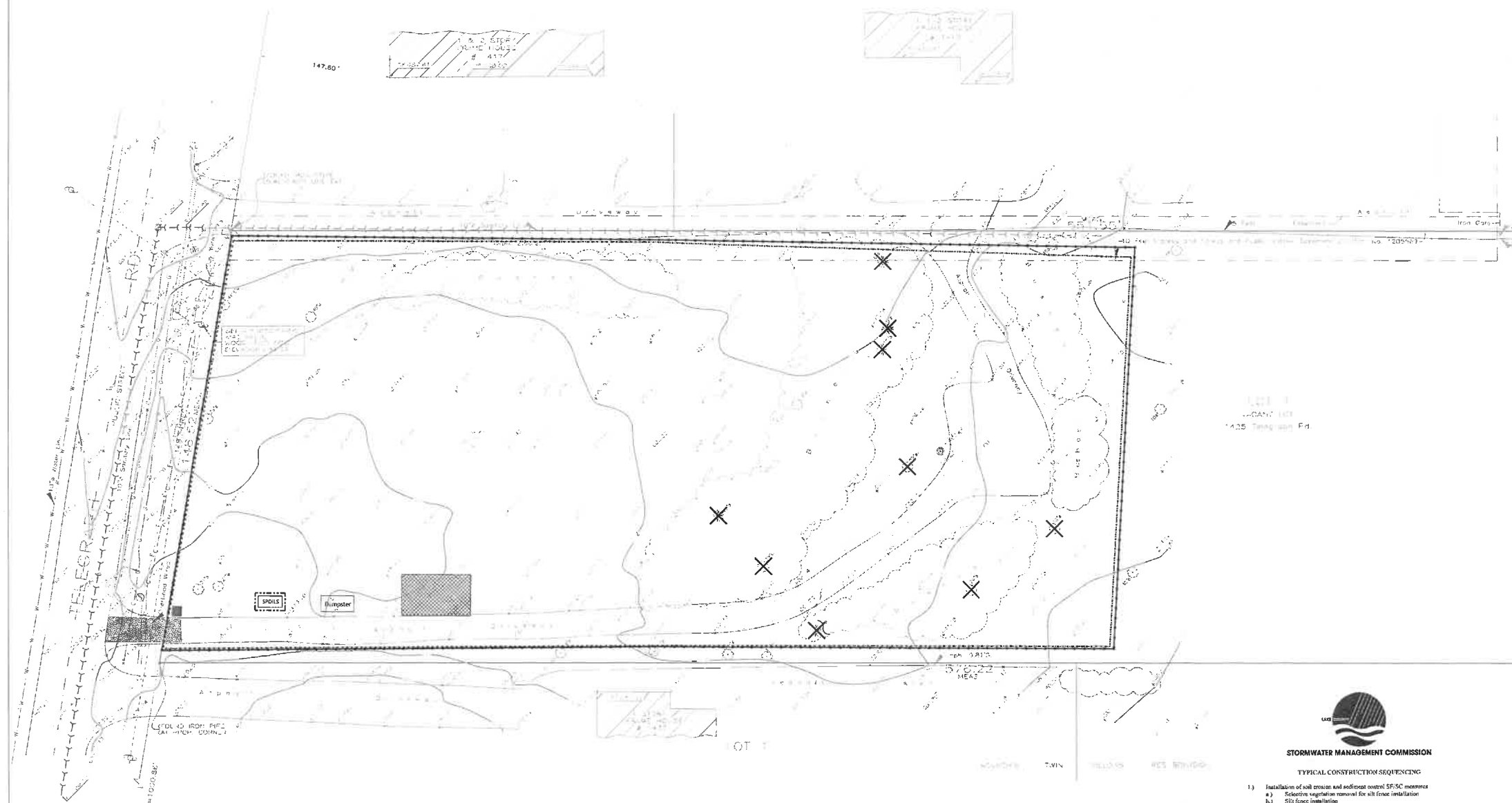
DATE	REMARKS
	ISSUE FOR PERMIT

Development Plan TREE SURVEY - PROPOSED FOR REMOVAL



LEGEND

- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- POWER POLE
- TREE
- AIR CONDITION
- BUSH
- EXISTING DRAINAGE PIPE
- FIRE HYDRANT
- DRAIN INLET
- STORMWATER INLET
- WATER MANHOLE
- E-BOX
- ELECTRIC METER
- GAS METER
- SUMP PUMP
- CLEANOUT
- WINDROW WELL
- GAS METER
- DOWNSPOUT
- B/S BOTTOM OF STEPS
- B/P BOTTOM OF PIPE
- T/P TOP OF PIPE
- A/C AIR CONDITION
- DRAINAGE FLOW
- ASPHALT DRIVEWAY
- PAVER PATIO
- TREE FENCE
- PATCHING



STORMWATER MANAGEMENT COMMISSION

TYPICAL CONSTRUCTION SEQUENCING

- 1) Installation of soil erosion and sediment control (SES) measures
 - a) Selective vegetation removal for air fence installation
 - b) Site fence installation
 - c) Construction fencing around areas not to be disturbed
 - d) Stabilized construction entrance
- 2) Tree removal where necessary (stump & grub)
- 3) Construct sediment trapping device (sediment traps, basins...)
- 4) Construct detention facilities and outlet control structure with retrofits & temporary perforated river
- 5) Strip topsoil, stockpile topsoil and grade site
- 6) Temporarily stabilize topsoil stockpiles (seed and soil fence around toe of slope)
- 7) Install storm sewer, sanitary sewer, water and associated inlet & outlet protection
- 8) Permanently stabilize detention basins with seed and erosion control blanket
- 9) Temporarily stabilize all areas including lots that have received temporary grade
- 10) Install roadways
- 11) Permanently stabilize all outlet areas
- 12) Install structure and grade individual lots
- 13) Permanently stabilize lots
- 14) Remove all temporary SES measures after the site is stabilized with vegetation
 - * Soil erosion and sediment control maintenance must occur every two weeks and after every 1/2 inch of rain or equivalent event

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR, FIELD INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND EROSION CONTROL MEASURES INCLUDING PERMETER CONTROLS AND DIVERSIONS, PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.2 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STOPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OR CRUSHED STONE MATTING FOOT GRADATION CAN UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICE, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WHEELS ARE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REMAINING AN UNPAVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCOPING OR STREET CLEANING AS ACCUMULATION WARRANT AND TRANSPORTED TO A CONTROLLED STORMWATER AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL FLOW FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR RESTORATION.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR VULNERABLE AND SENSITIVE AREAS.
- H. SLOPES GREATER THAN 3:1 BY VOLUME SHALL BE STABILIZED WITH APPROPRIATE MEASURES APPROVED BY THE ENFORCEMENT OFFICE.
- I. APPROPRIATE EROSION CONTROL MEASURES SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES EXCEPT THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJACENT PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED THROUGH AN APPROVED AUTOMATIC PORTABLE DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICE. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICE OR APPROVED REPRESENTATIVE MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS FENCING, POLYMER OR LITERATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICE.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE INSTANTLY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY CONTROL MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENFORCEMENT OFFICE, OR CIVIL ENGINEERING AGENCY.

No.	1
Revision/Issue	
Date	



Firm Name and Address:
Fluenta Consulting
 201 E. Lakeside Dr.,
 Vernon Hills, IL 60061
 Tel: 773-349-5881

Client Name and Address:
Nenad Zecevic
 1150 Highland Avenue
 Lake Forest, IL 60045
 Tel: (312) 375-4075

Project	
Date	
Scale	1" = 20'
Sheet	C3

TREE INVENTORY

TREE INVENTORY COMPLETED BY URBAN FOREST MANAGEMENT

Tag #	To Be Removed	Common Name	Size	Condition	Form	Tag #	To Be Removed	Common Name	Size	Condition	Form	Tag #	To Be Removed	Common Name	Size	Condition	Form	Tag #	To Be Removed	Common Name	Size	Condition	Form
1		Cottonwood	17	2	3	76	X	Boxelder Maple	18	5	5	281		Green Ash	10	3	3	357	X	Colorado Blue Spruce	9	3	3
2		Cottonwood	20	3	3	80		Green Ash	15	3	3	282		Green Ash	11	3	3	358	X	White Spruce	8	3	3
3		Bur Oak	25	3	3	81		Green Ash	14	3	4	283		Green Ash	8	2	3	359	X	White Spruce	10	3	3
4	X	Bur Oak	12	3	3	82	X	American Elm	19	3	3	286		American Elm	8	3	3	400	X	White Spruce	8	3	3
5	X	Cottonwood	18	2	3	83	X	Weeping Willow	22	4	4	287		Green Ash	8	4	3	524	X	American Elm	14	3	3
6	X	Silver Maple	12	2	3	84		Green Ash	12	3	3	288		Green Ash	9	3	4	525	X	Boxelder Maple	13	2	3
7	X	Linden	17	3	3	85	X	Boxelder Maple	29	3	3	289		Green Ash	10	3	3	526	X	Silver Maple	16	2	3
8	X	Silver Maple	19	3	3	86		American Elm	12	3	3	291		Green Ash	11	3	3	527	X	Boxelder Maple	14	3	3
9	X	Silver Maple	13	2	3	87		Weeping Willow	35	3	3	292		American Elm	9	4	4	528	X	Bur Oak	46	4	4
10	X	Norway Maple	21	4	3	88		Weeping Willow	34	3	3	293		Green Ash	8	4	3	530		Weeping Willow	32	3	3
11	X	Silver Maple	23	2	3	89		Cottonwood	22	3	3	294		Green Ash	8	2	3	532		Cottonwood	22	3	3
12	X	Schwedleri Norway Maple	14	4	4	91		Weeping Willow	33	4	3	303		Green Ash	8	3	3	535		Green Ash	14	3	3
13		Siberian Elm	15	3	3	92		Cottonwood	17	2	3	307		Green Ash	11	2	3	536		Green Ash	13	3	3
14		Siberian Elm	11	3	3	94		Cottonwood	15	2	4	309		Green Ash	5	3	3	537		Green Ash	14	4	3
15	X	Hill's Oak	12	4	3	95		Cottonwood	13	3	4	310		Green Ash	9	3	4	538		Green Ash	12	3	3
16		Bur Oak	20	3	4	96		Cottonwood	16	3	4	312		American Elm	12	3	3	544		Cottonwood	23	3	3
17	X	Hill's Oak	13	3	4	98	X	Honeylocust	17	3	2	314		American Elm	8	3	3	545		American Elm	13	3	3
18		Hill's Oak	14	3	4	100		Boxelder Maple	36	5	4	315		Green Ash	11	2	3	546		American Elm	13	3	3
19		Hill's Oak	20	3	4	211	X	Silver Maple	11	3	3	316		Silver Maple	10	2	3	547		Bur Oak	12	2	2
20		Hill's Oak	14	2	4	212	X	Colorado Blue Spruce	9	3	3	320		Boxelder Maple	10	3	4	548		Boxelder Maple	13	3	4
21	X	Bur Oak	33	2	3	213		Norway Maple	8	3	3	321	X	Green Ash	8	3	3	548		Boxelder Maple	18	3	4
22	X	Bur Oak	16	3	3	214	X	Norway Maple	11	3	4	322	X	Green Ash	10	3	3	701	X	Siberian Elm	8	5	3
23		Bur Oak	13	3	3	215		Siberian Elm	9	3	3	323	X	Green Ash	10	3	4	702	X	Boxelder Maple	8	3	3
24		Bur Oak	13	2	3	216		Siberian Elm	13	3	3	324	X	Green Ash	10	3	4	703		Boxelder Maple	11	2	3
25		Cottonwood	17	3	3	217	X	Paper Birch	8	4	3	325		American Elm	9	3	4	704		American Elm	11	2	3
26	X	Cottonwood	29	2	3	218	X	Paper Birch	9	3	3	327		Green Ash	9	3	3	705		American Elm	11	3	3
27		Cottonwood	20	3	3	219	X	Paper Birch	10	3	3	328		Green Ash	9	3	3	706	X	Black Cherry	11	3	3
28		Cottonwood	12	3	3	220		Hill's Oak	10	3	4	330		Boxelder Maple	13	3	4	707	X	Austrian Pine	11	3	3
29		Cottonwood	12	3	4	221		Hill's Oak	11	3	4	331		Boxelder Maple	11	4	3	708	X	Austrian Pine	6	3	3
31	X	Austrian Pine	16	3	3	222		Bur Oak	10	2	3	332		American Elm	9	3	3	709		Cherry	9	2	3
32	X	Colorado Spruce	15	2	2	223	X	Hill's Oak	11	3	4	333		Boxelder Maple	9	4	4	710	X	Colorado Blue Spruce	9	3	3
33	X	Norway Spruce	15	2	3	224	X	Douglas Fir	9	2	3	334		Green Ash	11	2	3	711	X	Norway Spruce	10	3	3
34	X	Norway Spruce	14	3	3	225	X	Hill's Oak	10	2	4	335		Green Ash	8	2	3	712	X	Austrian Pine	8	3	4
35	X	Colorado Spruce	15	3	3	226	X	Bur Oak	8	2	3	336		American Elm	8	5	3	713	X	Austrian Pine	8	3	4
36	X	Colorado Spruce	12	2	3	227	X	Bur Oak	8	2	3	337		American Elm	8	3	3	714	X	American Elm	9	3	2
37	X	Siberian Elm	13	3	3	228	X	American Elm	9	5	3	345		Green Ash	10	3	2	715	X	American Elm	9	3	4
38	X	White Spruce	16	3	3	229	X	American Elm	12	4	3	346		Hill's Oak	8	2	4	716	X	American Elm	8	3	4
39	X	White Spruce	13	3	3	230	X	American Elm	8	3	4	348		Cottonwood	12	3	3	717	X	American Elm	9	2	2
40	X	White Spruce	14	2	3	233	X	Green Ash	9	3	3	349		Silver Maple	8	3	3	718	X	American Elm	8	3	4
41	X	Black Cherry	12	2	3	234	X	Green Ash	8	3	3	350		Black Cherry	9	3	3	719	X	Hill's Oak	9	2	2
42	X	American Elm	14	3	3	235	X	Green Ash	10	3	4	351	X	Green Ash	9	2	3	720	X	Bur Oak	11	2	3
43	X	Hill's Oak	15	3	2	236	X	Green Ash	9	3	3	353	X	Green Ash	11	3	2	721	X	American Elm	8	3	4
44	X	Hill's Oak	29	3	4	237		Green Ash	11	3	3	354	X	Green Ash	10	3	3	722	X	Bur Oak	10	2	3
45	X	Hill's Oak	12	3	4	238		American Elm	9	3	3	355	X	Green Ash	8	2	3	723	X	Hill's Oak	9	2	3
46	X	Hill's Oak	14	3	4	239		Swamp White Oak	6	2	3	356	X	Boxelder Maple	8	3	4	724	X	Green Ash	9	3	4
47	X	Austrian Pine	13	3	3	240		Swamp White Oak	12	2	3	357	X	Boxelder Maple	10	3	4	725	X	American Elm	8	3	3
48	X	Norway Spruce	12	3	2	242		Green Ash	10	3	3	358		American Elm	11	3	3	726	X	American Elm	10	5	3
49	X	Austrian Pine	14	4	3	243		Bur Oak	10	3	3	359		Boxelder Maple	10	3	5	727	X	American Elm	9	3	3
50	X	Austrian Pine	14	2	3	244	X	Green Ash	6	3	3	360	X	Juniper	9	3	3	728	X	American Elm	8	3	2
51		Colorado Spruce	13	3	3	245		Hill's Oak	9	3	3	361	X	Juniper	8	3	3	729	X	American Elm	11	3	2
52		Bur Oak	26	3	3	246	X	Hill's Oak	9	3	3	362	X	Juniper	10	2	2	730	X	American Elm	8	3	3
53		Bur Oak	26	3	3	247	X	Green Ash	10	3	3	363	X	Juniper	11	2	3	731	X	American Elm	10	3	3
54		Bur Oak	15	3	4	248	X	Green Ash	8	3	3	364	X	Boxelder Maple	9	3	3	732	X	American Elm	8	3	3
55		Bur Oak	24	2	3	250	X	Green Ash	12	2	3	365	X	Green Ash	8	3	3	733	X	American Elm	11	4	3
56	X	Bur Oak	24	2	3	251	X	Bur Oak	43	3	3	366	X	Silver Maple	8	2	3	734	X	Boxelder Maple	10	5	4
57	X	Boxelder Maple	13	4	4	252		Bur Oak	31	3	3	367	X	Green Ash	11	3	3	735	X	American Elm	10	3	3
58		Green Ash	14	3	4	253		Boxelder Maple	9	5	4	368	X	Green Ash	13	3	3	736	X	American Elm	10	3	4
59	X	Hill's Oak	17	3	3	254		Boxelder Maple	12	4	4	369	X	Green Ash	10	3	3	737	X	American Elm	10	3	3
60	X	Bur Oak	28	3	4	257		White Oak	23	3	3	370		Boxelder Maple	8	4	4	738	X	American Elm	9	5	3
61	X	Bur Oak	34	2	3	260		Bur Oak	29	2	3	371		Boxelder Maple	5	4	4	739	X	American Elm	9	3	3
62	X	Bur Oak	23	3	3	261		Green Ash	8	3	4	372	X	Boxelder Maple	9	3	3	740	X	American Elm	8	4	4
63	X	Cottonwood	26	2	3	262		Cottonwood	9	4	4	373	X	American Elm	11	3	4	741	X	American Elm	9	3	3
64	X	American Elm	12	3	4	263		Green Ash	9	3	4	374	X	Boxelder Maple	8	4	4	742	X	Green Ash	11	3	3
65	X	American Elm	12	3	3	266		Green Ash	9	3	3	375	X	Boxelder Maple	6	4	3	743	X	American Elm	9	2	3
66	X	Cottonwood	24	3	3	267		Cottonwood	9	3	4	376	X	Boxelder Maple	6	4	4	744	X	Green Ash	11	3	2
67	X	Cottonwood	13	3	4	268		Green Ash	10	3	3	377	X	Green Ash	6	3	3	745		Green Ash	8	3	3
68		American Elm	14	5	3	269		American Elm	6	3	4	378		Cottonwood	8	3	3	746	X	American Elm	9	3	3
69		Hill's Oak	14	3	3	271		Green Ash	11	3	3	379		Green Ash	8	3	3	747	X	Green Ash	10	3	3
70		Hill's Oak	17	3	3	272		Green Ash	11	2	3	380		Green Ash	8	3	3	748	X	Silver Maple	9	3	4
71	X	American Elm	12	3	3	273		Bur Oak	12	2	3	381		Green Ash	10	3	3	749	X	American Elm	11	3	3
72		American Elm	14	3	3	274		American Elm	8	3	4	386	X	Green Ash	8	2	3	750		American Elm	12	3	4
73	X	American Elm	12	3	3	275		American Elm	13	2	3	391	X	White Spruce	8	3	3	751		Green Ash	10	3	3
74	X	American Elm	34	3	3	276		American Elm	12	3	3	392	X	Colorado Blue Spruce	11	3	3	752		Green Ash	11	3	4
75		American Elm	13	3	4	277		American Elm	12	3	4	393	X	White Spruce	8	4	3	753		Black Cherry	8	4	4
76		Weeping Willow	37	5	5	278</																	