

Agenda Item 3
1425 Telegraph Road
Continued Consideration of a New House on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner for the December 4th Meeting

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Renderings
Roof Plan
Cross Section
Floor Plans
Tree Removal Plan
Landscape Plan
Inspirational Photos

Materials from the September 4th Meeting

Meeting Action Summary
Site Plan
Elevations
Roof Plan

Minutes from the September 4th Meeting

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1425 Telegraph Road

Continued consideration of plans for a new two-story single-family residence and the associated hardscape and landscape on a vacant lot.

**Property Owner: Forest Lake LLC (Tereasa Rygielski 50%, Conrad Karbowski 50%)
Presented by: Ivona Karbowski**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of a new two-story single-family residence, hardscape, and landscape, on an infill vacant lot. The prior home on the property was demolished many years ago after the unoccupied small structure was routinely cited as a neighborhood nuisance. At that time, the property was under different ownership.

The Board reviewed this petition and provided preliminary input at the September meeting. The petitioner made minor modifications in response to the comments and direction offered by the Board in September. The plans are presented to the Board for further review and action.

Description of Property

This property is one of four contiguous undeveloped tax parcels owned by the petitioner and is located on the east side of Telegraph Road, north of Old Mill Road and west of the railroad tracks and Waukegan Road. The property fronts on Telegraph Road. A private lane runs along the north property line providing access to two neighboring properties to the north. The other parcels owned by the petitioner are located to the east of the subject property and form a triangle along the railroad tracks. Portions of the triangle are impacted by wetlands. There is a narrow access to the triangle area from Old Mill Road.

The property in this request totals 82,874 square feet for the properties to the north. The property was created through the Pioneer subdivision, platted in 1923.

Review of the Board Comments from the Last Meeting

A summary of the comments and direction offered at the last meeting is provided below.

1. Conduct further study of the site recognizing the configuration of the parcel. Refine the site plan, the siting and footprint of the house, the driveway, and other hardscape to better relate to the property. Give consideration to:
 - Realigning the driveway to preserve significant trees and to allow for a substantial buffer between the driveway and garage apron and the property line to allow for plantings and stormwater management.

- Removing the circular feature of the driveway or, at a minimum, re-size it to properly accommodate vehicles.
 - Softening the 90-degree turn in the driveway as it approaches the garage.
 - Reorienting the house to better relate to and utilize the shape of the lot.
2. On the site plan, show the proposed house in relation to the neighboring properties including:
 - Structures on those properties.
 - Orientation of the structures in relation to the proposed development.
 - Driveways to the neighboring properties.
 - Ingress/egress and any public utility easements.
 3. Provide inspirational images representing the desired style of architecture.
 4. Conduct further study and refinement of all elevations of the house.
 - Refine the overall architectural design of the residence with a focus on consistency with all aspects of the selected architectural style.
 - Use uniform roof pitches and review the roof forms and functionality. Consider the incorporation of gables on the side and rear elevation to break up the roof mass.
 - Present a hierarchy of massing overall balancing the central mass with the masses on either side with the goal of achieving a cohesive appearance.
 - Reconsider the symmetry and proportions overall.
 - Refine the elevations to achieve a more regular pattern and proportional arrangement of windows, doors, solid walls and design features to more closely align with the City's Residential Design Guidelines.
 - Consider the use of dormers.
 - Conduct further study of the front entrance. Consider the addition of detailing and a front porch consistent with the selected farmhouse style.
 5. Study and refine the exterior materials.
 - Soften the color palette overall for compatibility with the surrounding homes.
 - Use fiberglass or metal clad wood windows with simulated divided lites with muntins affixed to the interior and exterior with a spacer bar between the glass.
 - Use wood for trim including facias, friezes, and soffits.
 - Consider horizontal detailing, panels or siding, at the base of the house to mitigate the vertical appearance and to add interest.
 6. Submit an updated tree survey and tree removal plan that fully and accurately document the species, size, and condition of the trees on the site and clearly identifies those proposed for removal.
 7. Submit a detailed landscape plan that at a minimum:

- Satisfies the planting requirements in the Code for new construction.
 - Includes trees, beyond the minimum required by the City for new construction, to satisfy the replacement inches required to compensate for the removal of trees.
 - Provides a landscape buffer of a minimum of eight feet between any hardscape and the property lines.
8. Stake the site, the footprint of the house and alignment of the driveway a week prior to the Board meeting. Provide a site plan that correlates to the staking on site with identifying numbers.

The staff review comments below noted the revisions made to the plans by the petitioner since the last meeting.

Staff Review Comments

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City's unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is mostly met.

In response to comments of the Board, the circular feature of the driveway was removed, the 90-degree turn into the driveway as it approaches the garage was softened and a buffer was created between the garage apron and the neighboring property. Given the large expanse of the lot and the large home proposed, it will be important to assure sufficient land area along the north and south property lines to support substantial layered perimeter landscaping of varying heights to provide a year round buffer between the mass and light spillover of the new residence on to the smaller residences to the north and south.

Consideration does not appear to have been given to exploring orienting the house to the north as suggested at the last meeting.

The tree removal plan demonstrates that no significant trees will be removed due to the siting of the house.

Staff Recommendation: Widen the buffer along the south property line, at the edge of the driveway to a minimum of 10 feet to provide adequate space for substantial plantings.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 7,842 square feet is permitted on the site with an allowance of 800 square feet for a garage and 784 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and includes elements such as covered entries, dormers and screen porches.

- The proposed residence totals 6,562 square feet.
- The proposed garage totals 869 square feet. The garage overage of 69 square feet must be added to the total square footage of the residence.
- 572 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 6,631 square feet, 1,211 square feet or 15 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 37 feet as measured from the lowest point of existing grade to the tallest roof peak or ridge and is below the allowable height of 40 feet for the property.

Elevations – This standard could be more fully met with further refinement of the massing, roof forms, window placement, and detailing.

In response to comments from the Board, the hipped roof over the central mass was widened and saddles were added to address water drainage.

Type, color, and texture of materials – This standard is generally met.

In response to Board direction, the Hardie Board color will be oyster white to soften the stark nature of the color pallet as originally presented. The windows are now proposed as aluminum clad wood windows, rather than vinyl. The gutters will match the Hardie Board color of oyster white. The Hardie Board band of paneling along the foundation is lower in height than previously proposed.

The petitioners have been asked to provide samples of materials and colors at the Board meeting.

Landscaping - This standard can be met with further enhancement of the landscape plan as the project progresses.

The proposed plan satisfies the minimum criteria for new construction however, given the size and height of the home, and the expansive hardscape proposed, layered plantings of different heights along the north and south property lines and in the front yard to soften the streetscape, will allow the new residence to settle more quietly into the property and into the neighborhood.

The proposed tree removal and replacement plan demonstrates sufficient replacement of removed trees. At the time of permit, the final replacement inches will be determined.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received in response to the notice sent for this meeting. The Board heard public testimony from neighboring property owners at the last meeting.

Recommendation

Approve the plans for a new two-story single-family residence and its associated hardscape and landscape plans on a vacant lot subject to the following conditions.

1. Conduct further study and refinement of site plan, all elevations of the house, and the materials.
 - i. Widen the buffer along the south property line, at the edge of the driveway to a minimum of 10 feet to provide adequate space for substantial plantings.
 - ii. Improve the hierarchy of massing overall balancing the central mass with the masses on either side with the goal of achieving a cohesive appearance.
 - iii. Reconsider the symmetry and proportions overall.
 - iv. Refine the elevations to achieve a more regular pattern and proportional arrangement of windows, doors, solid walls and design features to more closely align with the City's Residential Design Guidelines.
 - v. Consider the use of dormers.
 - vi. Conduct further study of the front entrance. Consider the addition of detailing and a front porch consistent with the selected farmhouse style.
 - vii. Use wood for trim including facias, friezes, and soffits.
2. The revised plans will be subject to review by a subcommittee of two members of the Board. If the subcommittee is not satisfied that the revised plans address all the comments offered by the Board, the petition shall be returned to the Board for further review.
3. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to review any changes, in consultation with the Chairman

as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

4. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- i. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- ii. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- iii. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

5. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

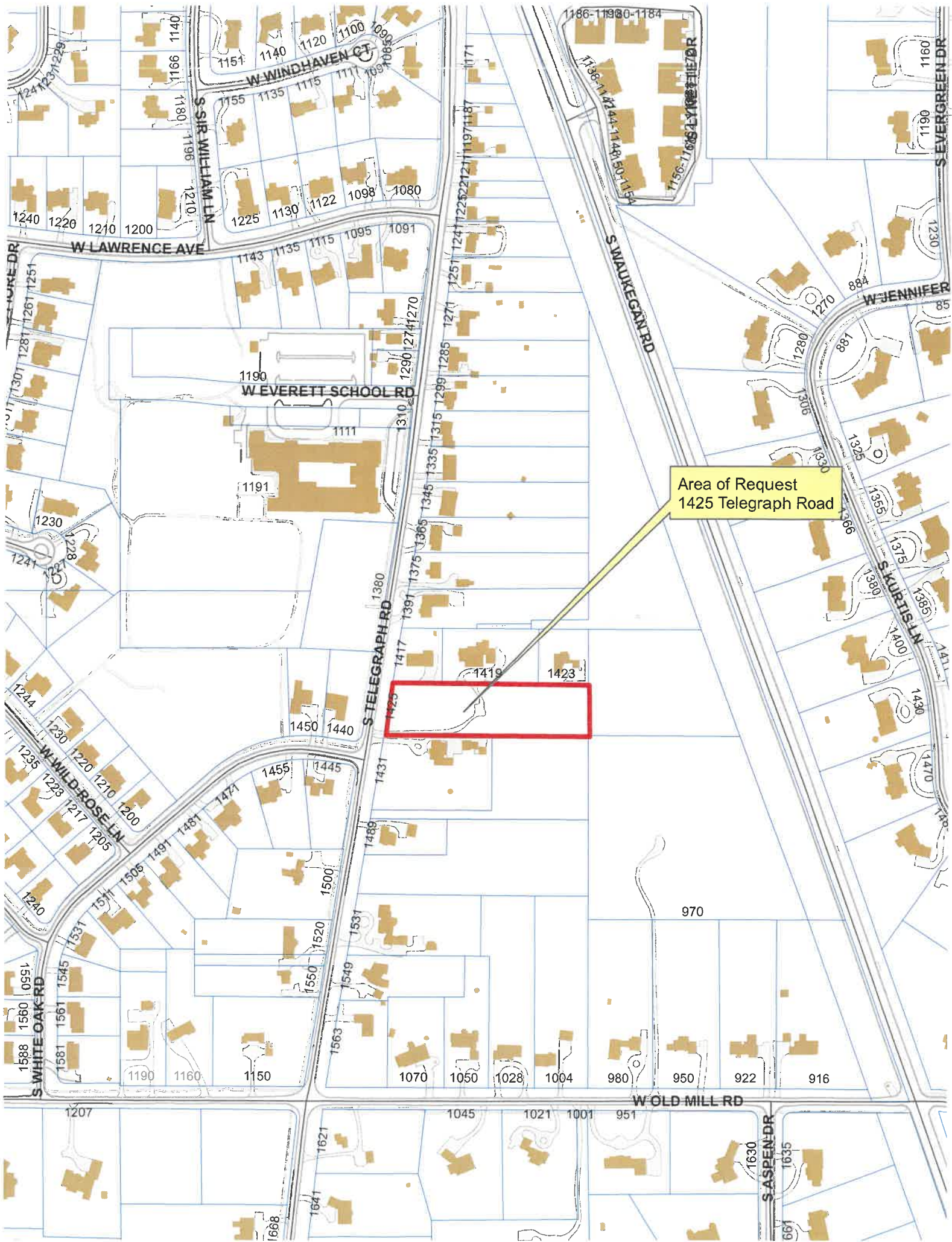
Exterior Lighting

6. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

7. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist,

City Engineer and Director of Community Development. No construction access, parking, or staging is permitted on the private lane located along the north property line. Telegraph Road must remain fully passable and unobstructed and free of dirt and debris at all times.



Area of Request
1425 Telegraph Road



Area of Request
1425 Telegraph Road



Area of Request
1425 Telegraph Road



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION

PROJECT ADDRESS 1425 TELEGRAPH RD. LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape / Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition / Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition / Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

FOREST LAKE LLC

(If not the Project)

1727 N. WESTERN AVE C1

(If not Street Address, (use if different from project address)

CHICAGO IL 60647

(City, State and Zip Code)

312-502-8800

(Phone Number)

(Fax Number)

forestlakehomes4u@gmail.com

(E-mail Address)

(Print Name)

ARCHITECT/BUILDER INFORMATION

MACIEJ BOJARSKI

Illinois License Number: 001-0226

(Name and Title of Person Preparing Plans)

(Name of Firm)

24 N KING ARTHUR CT

(Street Address)

NORTHLAKE IL 60164

(City, State and Zip Code)

312-498-8307

(Phone Number)

(Fax Number)

bojarski@comcast.net

rafalkaczkowski@gmail.com

(E-mail Address)

(Professional or Signature, Architect/Builder)

The staff report is available the Friday before the meeting, after a copy

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department.

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>James Hardie Boards</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material Oyster White.

Window Treatment

- | | |
|--------------------------------------|--|
| Primary Window Type | Finish and Color of Windows |
| <input type="checkbox"/> Double Hung | <input checked="" type="checkbox"/> Wood (recommended) |
| <input type="checkbox"/> Casement | <input checked="" type="checkbox"/> Aluminum Clad |
| <input type="checkbox"/> Sliding | <input type="checkbox"/> Vinyl Clad |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Other _____ |

Color of Finish Black

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS -- CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

December 4th, 2024

Building Review Board
City of Lake Forest
Community Development Department
800 Field Dr.
Lake Forest, IL 60045

**RE: Statement of Intent
1425 Telegraph Rd., Lake Forest**

Dear Commissioners,

We respectfully submit the attached Building Review Board application and supporting documents for the proposed project, which is the construction of a single family home at 1425 Telegraph Rd.

The design will feature a Modern Country Estate style, characterized by a hip roof on the main structure and gable roofs on the side structures, which provide a classic yet contemporary appearance. The proposed home will encompass 6,500 square feet, offering ample living space while maintaining a harmonious scale with the surrounding neighborhood.

The house will include a 5 bedroom, 4.5 bath for family and guests, with spacious 10 foot ceilings on the first and second floor. A crushed stone driveway will be installed, extending from Telegraph Road that will run past the large and historic trees in front of the property. The deep front yard setback will preserve the existing view of adjacent properties, ensuring minimal impact on the neighborhood's visual landscape.

1.

The driveway has been adjusted and the circle replaced for a rectangular one per the board's suggestion.

2.

The requested site plan showing the neighbors has been added to the presentation.

3.

Additional inspirational images have been added to the presentation.

4.

To address the elevation comments, the main roof has been adjusted to provide a consistent roof pitch. The roof saddle has been increased to provide proper roof drainage and the garage windows have been redesigned. A 3D model has been added to better show the size and depth of the front entrance, roof angles and positioning of the side structures.

5.

The exterior color has been changed to oyster white as opposed to stark white to lower the contrast between neighboring houses. Metal clad wood windows by Pella will be used to be consistent with Lake Forest standards. Hardy board details have been added to the facade to break the vertical lines per the board's suggestion. The color of the gutters has been changed to match the color of the hardy boards to make the utility details less pronounced.

6.

A completed tree survey and removal plan have been added.

7.

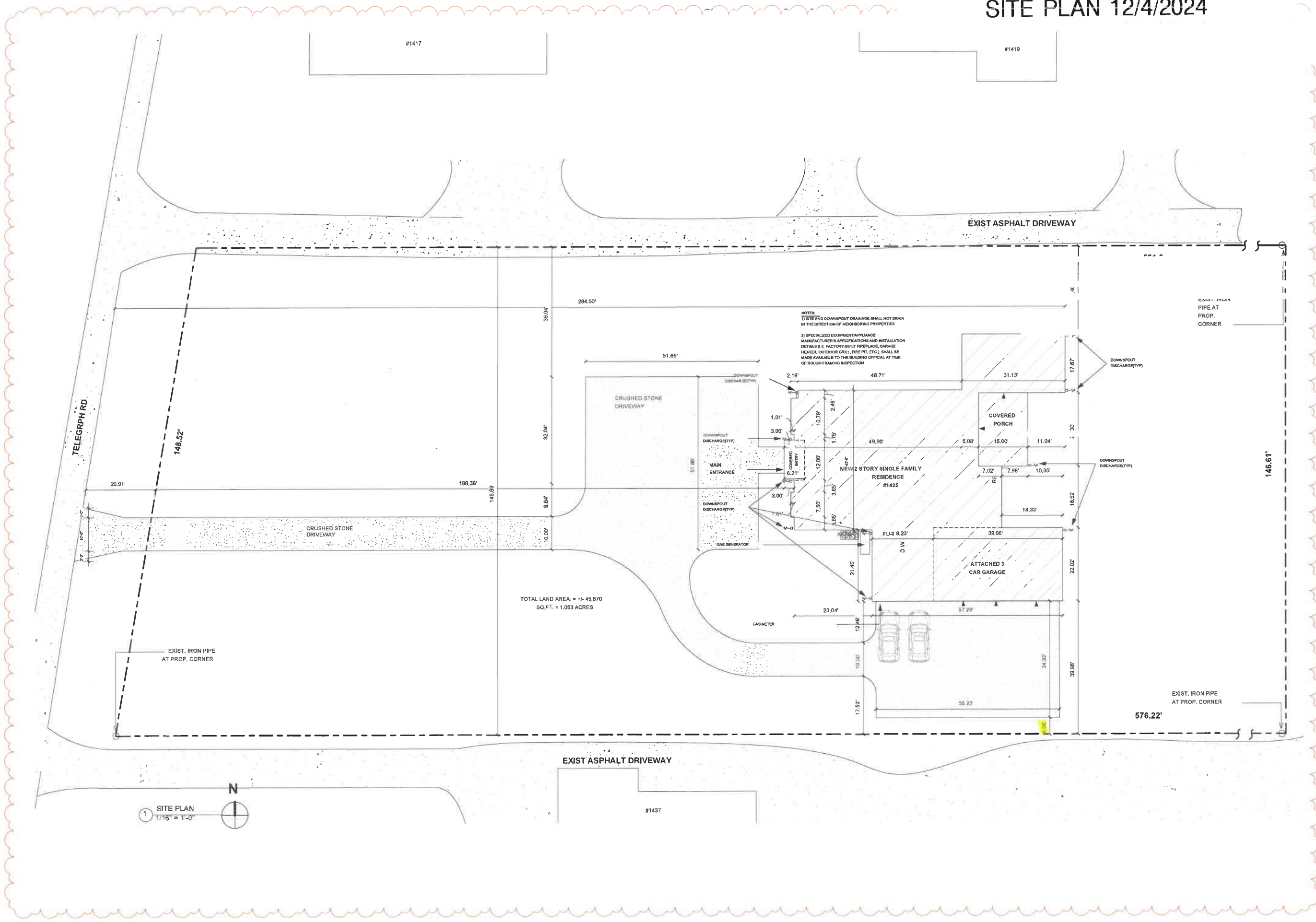
A complete landscape plan has been added.

Thank you in advance for considering our application.

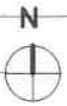
Sincerely,

Conrad Karbowski
312-502-8800
conrad77k@gmail.com

SITE PLAN 12/4/2024



1 SITE PLAN
1/16" = 1'-0"



TOTAL LAND AREA = +/- 45,870
SQ.F.T. = 1.053 ACRES

576.22'

145.61'

EXIST ASPHALT DRIVEWAY

EXIST ASPHALT DRIVEWAY

TELEGRAPH RD

148.52'

20.91'

188.38'

148.55'

39.04'

284.50'

51.66'

2.19'

48.71'

31.13'

17.67'

1.01'

3.00'

10.79'

2.46'

1.75'

49.90'

5.08'

15.00'

11.04'

7.02'

7.98'

10.35'

18.33'

18.52'

22.02'

34.82'

39.06'

57.23'

55.23'

17.52'

10.00'

12.46'

21.46'

23.04'

23.04'

23.04'

23.04'

23.04'



M A C I E J
 B O J A R S K I
 A R C H I T E C T O F
 R E C O R D
 I L L I N O I S R E G . N O .
 0 0 1 - 0 2 2 6 8 5
 E X P . N O V E M B E R 2 0 2 4
 T E L : 3 1 2 - 4 9 8 - 8 3 0 7
 b o j a r s k i @ c o m c a s t . n e t

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
 Lake Forest, IL 60045

DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT
10/26/2024	REV.1



Exp 11/30/2024

SHEET No. **A203**



M A C I E J
 B O J A R S K I
 A R C H I T E C T O F
 R E C O R D
 I L L I N O I S R E G . N O .
 0 0 1 - 0 2 2 6 8 5
 E X P . N O V E M B E R 2 0 2 4
 T E L : 3 1 2 - 4 9 8 - 8 3 0 7
 b o j a r s k i @ c o m c a s t . n e t

NEW 2 STORY SINGLE FAMILY RESIDENCE W/ ATTACHED 3 CAR GARAGE

1425 Telegraph Rd,
 Lake Forest, IL 60045

DATE	REMARKS
6/22/2024	ISSUE FOR PERMIT
10/25/2024	REV.1



Exp 11/30/2024

REV. 1
 10/25/2024

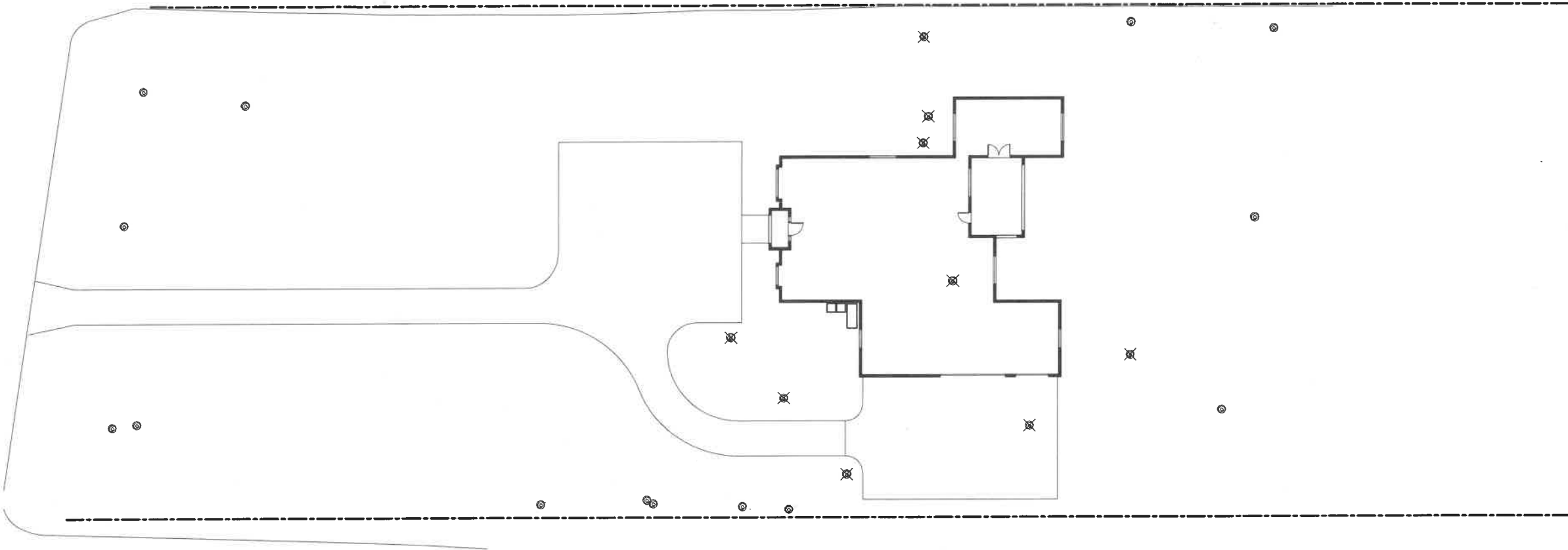
SHEET No. **A204**

TREE REMOVAL PLAN

12/4/2024

Existing
Tree Plan

LAKE FOREST RESIDENCE



1425 Telegraph Road
Lake Forest, Illinois

sheet:

date: 19 SEPTEMBER 2024

project no.:



north:

drawn: TM

checked: TM

scale: 1" = 16'-0"

revisions:

EXISTING TREE REMOVALS

NO.#	DIA. (INCHES)	SPECIES	CONDITION
052	20"	SILVER MAPLE	POOR
053	19"	SILVER MAPLE	POOR
054	11"	COLORADO SPRUCE	POOR
055	23"	COTTONWOOD	POOR
056	13"	COLORADO SPRUCE	POOR
057	9"	COLORADO SPRUCE	POOR
058	7"	COLORADO SPRUCE	POOR
059	7"	WALNUT	POOR
060	18.7"	SILVER MAPLE	POOR
061	25.7"	SILVER MAPLE	POOR

Lake Forest Landscape Requirements:

- (2) shrubs, with a minimum height of 36" must be planted for every 10 linear feet of foundation along the portion of the building facing a public or private street
 - Front foundation along public street is 80 linear feet
 - North side foundation along private street is 80 linear feet
 - 160 linear feet total = (32) shrubs minimum at 36" in height
 - (35) proposed shrubs with a minimum height of 36"
- (2) shade trees, with a minimum of 3" caliber for each 100 linear feet of foundation, or portion thereof, along the front and corner side yards
 - 160 linear feet total = (4) shade trees minimum of 3" caliber
 - (4) proposed shade trees with a minimum of 3" caliber
- (3) evergreen trees, with a minimum of 6' in height must be planted on the site for each 100 linear feet of foundation, or portion thereof along the front and side yards
 - 160 linear feet total = (6) evergreen trees minimum height of 6'
 - (6) proposed evergreen trees with a minimum height of 6'
- Planting beds around the perimeter of the building must be covered with groundcover or mulch

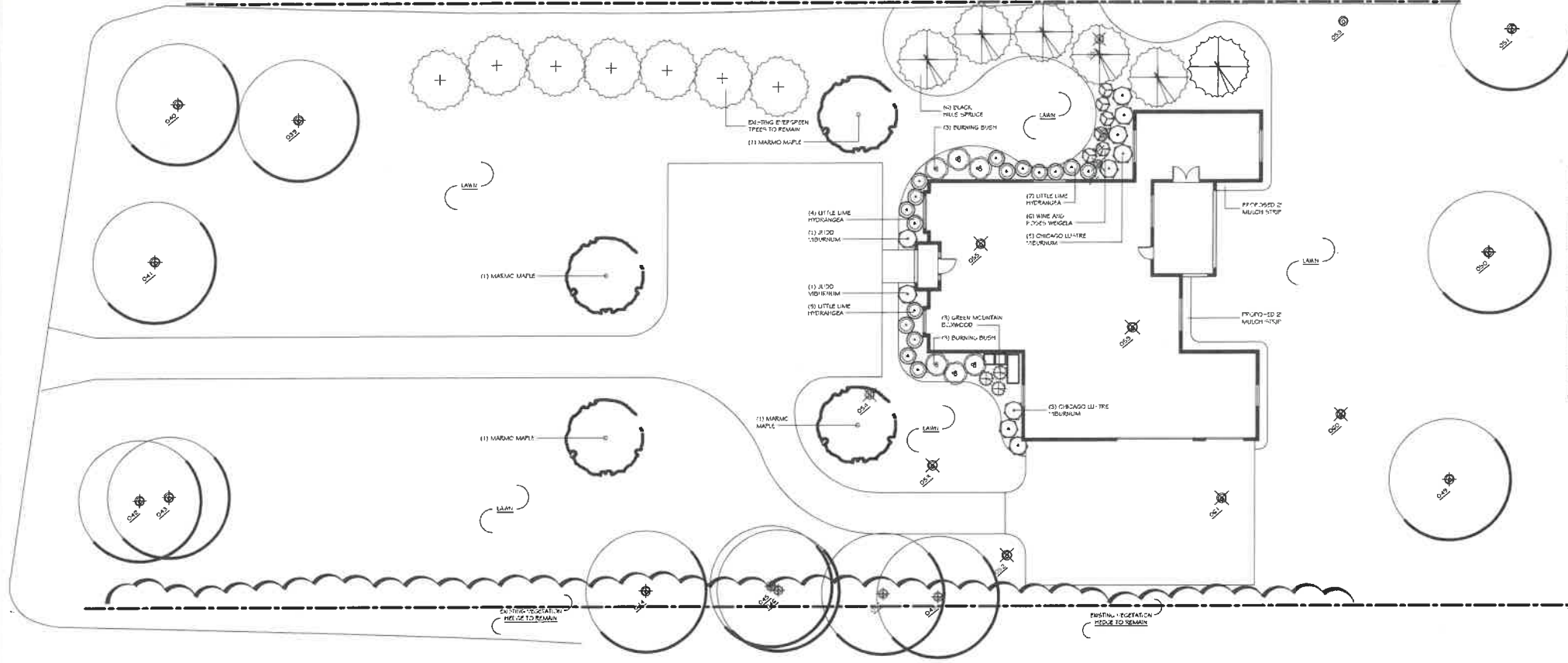
TOMEK DESIGN
landscape architectural design

LANDSCAPE PLAN

12/4/2024

Landscape Development Plan

LAKE FOREST RESIDENCE



EXISTING TREES

NO.#	DIA. (INCHES)	SPECIES	CONDITION
039	40"	COTTONWOOD	FAIR
040	32"	OAK	GOOD
041	36"	OAK	GOOD
042	21"	COTTONWOOD	FAIR
043	21"	COTTONWOOD	FAIR
044	14"	SILVER MAPLE	FAIR
045	12"	SILVER MAPLE	FAIR
046	15"	SILVER MAPLE	FAIR
047	12"	SILVER MAPLE	FAIR
048	12"	SILVER MAPLE	FAIR
049	30"	SILVER MAPLE	FAIR
050	10"	SILVER MAPLE	FAIR
051	18"	SILVER MAPLE	FAIR

EXISTING TREE REMOVALS

NO.#	DIA. (INCHES)	SPECIES	CONDITION
052	20"	SILVER MAPLE	POOR
053	19"	SILVER MAPLE	POOR
054	11"	COLORADO SPRUCE	POOR
055	23"	COTTONWOOD	POOR
056	13"	COLORADO SPRUCE	POOR
057	9"	COLORADO SPRUCE	POOR
058	7"	COLORADO SPRUCE	POOR
059	7"	WALNUT	POOR
060	18.7"	SILVER MAPLE	POOR
061	25.7"	SILVER MAPLE	POOR

PLANT SCHEDULE

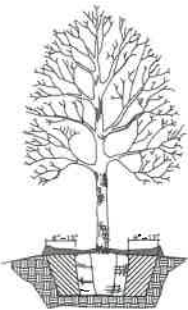
SHADE TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Mammo Maple	<i>Acer x freemanii 'Mammo'</i>	D&B	3"	4
EVERGREEN TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Black Hills Spruce	<i>Picea glauca var. densata</i>	D&B	6'	6
DECIDUOUS SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Judd Viburnum	<i>Viburnum x juddii</i>	D&B	36"	2
Chicago Lustre Viburnum	<i>Viburnum dentatum 'Synnestvedt'</i>	D&B	36"	8
Little Lime Hydrangea	<i>Hydrangea paniculata 'Jani'</i> TM	D&B	36"	16
Burning Bush	<i>Euonymus alatus</i>	D&B	36"	6
Wine and Roses Weigela	<i>Weigela florida 'Alexandra'</i>	POT	5 gal	6
EVERGREEN SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Green Mountain Dogwood	<i>Doxus x 'Green Mountain'</i>	D&B	36"	3

Lake Forest Landscape Requirements:

- (2) shrubs, with a minimum height of 36" must be planted for every 10 linear feet of foundation along the portion of the building facing a public or private street
 - Front foundation along public street is 80 linear feet
 - North side foundation along private street is 80 linear feet
 - 160 linear feet total = (32) shrubs minimum at 36" in height
 - (35) proposed shrubs with a minimum height of 36"
- (2) shade trees, with a minimum of 3" caliber for each 100 linear feet of foundation, or portion thereof, along the front and corner side yards
 - 160 linear feet total = (4) shade trees minimum of 3" caliber
 - (4) proposed shade trees with a minimum of 3" caliber
- (3) evergreen trees, with a minimum of 6' in height must be planted on the site for each 100 linear feet of foundation, or portion thereof along the front and side yards
 - 160 linear feet total = (6) evergreen trees minimum height of 6'
 - (6) proposed evergreen trees with a minimum height of 6'
- Planting beds around the perimeter of the building must be covered with groundcover or mulch

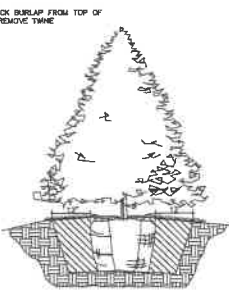
Landscape Notes:

- Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded/sodded areas.
- Tree mulch rings in turf areas are 5' diameter. Contractor shall provide a mulch ring around all existing trees within the limits of work. Remove all existing grass from area to be mulched and provide a typical spade cut edge. Landscape Fabric shall not be installed under mulch.
- Bedlines are to be spade cut to a minimum depth of 3". Curved bedlines are to be smooth and not segmented.
- All planting, beds shall receive top dressing of mulch. Landscape fabric shall not be installed under mulch.
- Do not locate plants within 10' of utility structures or within 5' horizontally of underground utility lines unless otherwise shown on plans. Consult with Landscape Architect if these conditions exist.
- For Lump Sum Contracts, plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
- It is the responsibility of the contractor to locate and provide plant material as specified on this plan. The contractor may submit a request to provide substitutions for the specified plant material under the following conditions:
 - Any substitutions proposed shall be submitted to the project owner's representative within two weeks of the award of contract. Substitutions must meet equivalent design and functional goals of the original materials as determined by the owner's representative. Any changes must have the approval of the owner's representative.
 - The request will be accompanied by at least three notices from plant material suppliers that the plant material specified is not available and will not be available prior to construction.
- Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies. Commencement of work shall constitute acceptance of conditions and responsibility for corrections
- A minimum of two working days before performing any digging, call underground service alert for information on the location of natural gas lines, electric cables, telephone cables, etc. The contractor shall be responsible for location and protection of all utilities, and repair of any damage resulting from his work at no additional cost to the owner.
- Contractor shall promptly repair all damages to existing site at no cost to owner.
- Refer to landscape specifications for additional conditions, standards, and notes.



DECIDUOUS / ORNAMENTAL TREE PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BACK BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SURROUNDING GRADE.
 - REMOVE Y-DROTCHES, STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PRUNE PLANTS AFTER PLANTING (IF NEEDED).
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.



EVERGREEN TREE PLANTING DETAIL

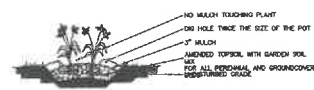
- INSTALLATION NOTES:**
- REMOVE BACK BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SURROUNDING GRADE.
 - REMOVE Y-DROTCHES, STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PRUNE PLANTS AFTER PLANTING (IF NEEDED).
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.

- INSTALLATION NOTES:**
- REMOVE BACK BURLAP FROM TOP OF BALL AND REMOVE TWINE.



DECIDUOUS / EVERGREEN SHRUB PLANTING DETAIL

- INSTALLATION NOTES:**
- REMOVE BACK BURLAP FROM THE TOP OF THE BALL AND REMOVE THE TWINE.
 - BEND TOP OF METAL BASKET DOWN.
 - EXPOSE ROOT FLARE AND MAKE SURE THE BOTTOM OF THE ROOT FLARE IS ABOVE THE SURROUNDING GRADE.
 - REMOVE Y-DROTCHES, STUBS, DOUBLE LEADERS AND OVERLAPPING / RUBBING BRANCHES.
 - PRUNE PLANTS AFTER PLANTING (IF NEEDED).
 - WATER IMMEDIATELY AFTER PLANTING UNTIL GROUND IS SATURATED.
 - AMENDED SOIL TO BE USED AS BACKFILL.
 - 3" DEEP MULCH.



PERENNIAL / GRASS / GROUNDCOVER PLANTING DETAIL

- INSTALLATION NOTES:**
- NO MULCH TOUCHING PLANT.
 - 1/2" HOLE THREE TIMES THE SIZE OF THE POT.
 - 3" MULCH.
 - AMENDED TOPSOIL WITH GARDEN SOIL FOR ALL PERENNIAL AND GROUNDCOVER PLANTING.

1425 Telegraph Road
Lake Forest, Illinois

sheet:

date: 18 SEPTEMBER 2024

project no.:



north:

drawn: TM

checked: TM

scale: 1" = 16'-0"

10/23/24

revisions:





Agenda Item 4
1138 Ridge Road
New House with an Attached Garage, Hardscape and Conceptual
Landscape Plan on a Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Description of Materials
Statement of Intent
Site Plan
Elevations
Colored Renderings
Wall Sections
Foundation Plan
First Floor Plan
Second Floor Plan/Roof Plan
Conceptual Landscape Plan
Tree Survey

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1138 Ridge Road

Consideration of a new two-story single family residence, the associated hardscape, and the conceptual landscape plan on a vacant lot comprised of two adjacent parcels.

**Property Owner: 1132 Ridge Road LLC (Art Marti 50%, Nicholas Stratigates 50%)
Presented by: Art Marti, Owner and President of Triple M Partners**

Staff Contact: Luis Prado, Assistant Planner

Summary of Request

This is a request for a recommendation in support of approval of a new house with an attached garage, hardscape and a conceptual landscape plan on a vacant lot.

Description of Property

The property is located on the west side of Ridge Road in the Lake Forest Heights subdivision, platted as two lots in 1924. The parcels, consolidated as a single zoning lot is 28,2281 square feet.

Staff Review of Standards – Evaluation, Comments, and Recommendations

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan - This standard is generally met.

The lot shape and size are unique and distinct from most of the surrounding homes. There are some lots with irregular shapes in this subdivision however, the subject property stands out due to its large size. The unique size is offset slightly by a neighboring lot of similar size at 1180 Ridge Road, two houses south of the subject property.

The house will be more prominent than the adjacent neighboring houses. The subject house is sited very close to the front yard setback, just over 40 feet from the front property line. The adjacent neighboring houses are setback between 55 feet to 63 feet from the parkway. The 16-to-23-foot difference will be noticeable when observing the rhythm of the streetscape.

Alternative options were explored by the petitioner. Shifting the house to the south/southwest was discussed. The petitioner explained that the siting is intentional.

An engineer was consulted and moving the house toward the south/southwest was ruled out due to the topography of the site. To shift the house, significant grading would be required. To avoid this, the house is positioned as depicted in the site plan.

A single curb cut is proposed near the northeast corner of the lot along Ridge Road. The driveway will lead to an attached three car garage, the garage doors face northwest. A walkway leads from the driveway to the covered entrance. A rear patio is proposed.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,424 square feet is permitted on the site with an allowance of 600 square feet for a garage and 424 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries, dormers and screen porches.

- The proposed residence totals 4,053 square feet.
- The proposed garage totals 704 square feet. With a maximum garage exemption of 600 square feet, 104 square feet must be added to the square footage of the residence.
- 113 square feet of design elements are incorporated into the design of the house.

In conclusion, the residence totals 4,157 square feet. That is 267 square feet or 6 percent below the maximum allowable square footage for this property.

The height of the proposed residence is 34.5 feet as measured from the lowest point of existing grade to the tallest peak or ridge. The allowable height for a lot of this size is 35 feet.

Staff Recommendation: Submit as-built drawings during the construction process to assure that the maximum permitted building height of 35 feet is not exceeded as measured from the lowest point of existing adjacent grade to the tallest peak of the roof.

Elevations – This standard is mostly met.

The intended style of architecture is Contemporary Craftsmen. Craftsmen architecture has several defining characteristics. Their roofs are mostly gabled, although hipped roofs do rarely appear. Most Craftsmen houses have partial or full porches. These porches typically have columns that are broken into two parts with a shorter, thinner upper column resting on a much wider, taller column. The column parts may vary in material but most often extend to the ground level. Exposed roof beams and braces are also common.

On the east (front) elevation, a front entry porch is proposed. This porch provides an opportunity to express Craftsmen elements. Exposed braces are shown, consistent with

the Craftsmen style. The columns would benefit from further study and refinement. To simplify the massing on the front elevation, consideration should be given to removing the walk-in closet above the garage.

On the south elevation, the balance of solid walls with openings could benefit from further study and refinement. The addition of windows to the first-floor study and the second-floor bedroom above the study should be considered.

On the west (rear) elevation, while the windows are placed as a reflection of the interior, slight adjustments could improve the overall organization and appearance of balance. Shifting the bedroom windows to be centered on the hipped roof, shifting the second-floor windows to be better aligned with the first-floor windows, and making the windows more regular in size would benefit the elevation.

On the north elevation, continuing the stone band along the foundation between the two-car garage door and the single-car garage door should be considered to provide continuity.

Staff Recommendation: Study and refine the columns on the front porch to better align with the Craftsmen style.

Staff Recommendation: Consider the removal of the walk-in closet above the garage to simplify the massing.

Staff Recommendation: Study and refine the size, placement and arrangement of windows on the south and west elevations.

Staff Recommendation: Consider additional windows in the study and in the bedroom above the study.

Staff Recommendation: Consider continuing the stone band along the foundation between two-car and single-car garage doors.

Type, color, and texture of materials – This standard is generally met.

The siding will be natural stone and Hardie Board. Black and white Hardie Board was originally proposed however but has indicated a willingness to consider an alternate color palette. Two rendered options are presented in the Board's packets and samples will be provided at the meeting. The windows will be black fiberglass clad with no muntins. Wood and limestone trim are proposed for the doors and windows. The roof will be asphalt shingles. The gutters will be aluminum. The submitted materials list shows the driveway material as asphalt and brick pavers however, the petitioner has confirmed the driveway will be asphalt without brick pavers. Brick pavers are proposed for the rear patio.

Staff Recommendation: Submit material samples demonstrating the minimum thickness of 4" for the veneer stone.

Landscaping – This standard can be met.

According to the tree removal plan, only one tree in good health (#643) will be removed. The plan should be amended to indicate the location of this tree. The tree will require 24 replacement inches. An updated tree survey is required showing the location of all those intended to remain and those intended for removal.

The conceptual landscape plan does not yet meet the minimum landscape criteria for new houses or demonstrate full replacement of the 24 inches. A landscape plan meeting the minimum criteria for new houses will be required along with the plans submitted for permit. The plan shall demonstrate 24 replacement inches or, if approved by the City's Certified Arborist, a fee in lieu of some of the inches will be accepted at the time the permit is issued.

Please note, the u-shaped driveway is from a previous plan. The landscape plan needs to be updated. The prior driveway did not comply with the zoning regulations.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted on the City's website and at various public locations. As of the date of this writing, no correspondence or contacts were received regarding this petition.

Recommendation

Recommend approval of a new house with an attached garage, hardscape and a conceptual landscape plan on a vacant lot subject to the following conditions.

1. Prior to the submittal of plans for permit:
 - a. Study and refine the columns of the front porch to better align with the Craftsmen style.
 - b. Consider the removal of the walk-in closet above the garage to simplify the massing.
 - c. Study and refine the size, placement and arrangement of windows on the south and west elevations.
 - d. Consider the addition of windows to the study and bedroom above the study.
 - e. Consider continuing the stone band along the foundation between two-car and single-car garage doors.
 - f. Submit material samples demonstrating the minimum thickness of 4" for the veneer stone.
2. All modifications to the plans including those detailed above and any others made in response to Board direction or as the result of final design development, shall be clearly called out on the plans submitted for permit. Staff is directed to

review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify trees proposed for removal, and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. Prior to the issuance of a building permit, a detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall, at a minimum, meet the landscaping standards for new residences detailed in the Code and all required replacement tree inches to account for trees removed to the extent possible using good forestry practices. The landscape plan must include the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling **is limited to the minimum necessary to meet accepted engineering standards and practices**. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking, Staging, and Tree Protection

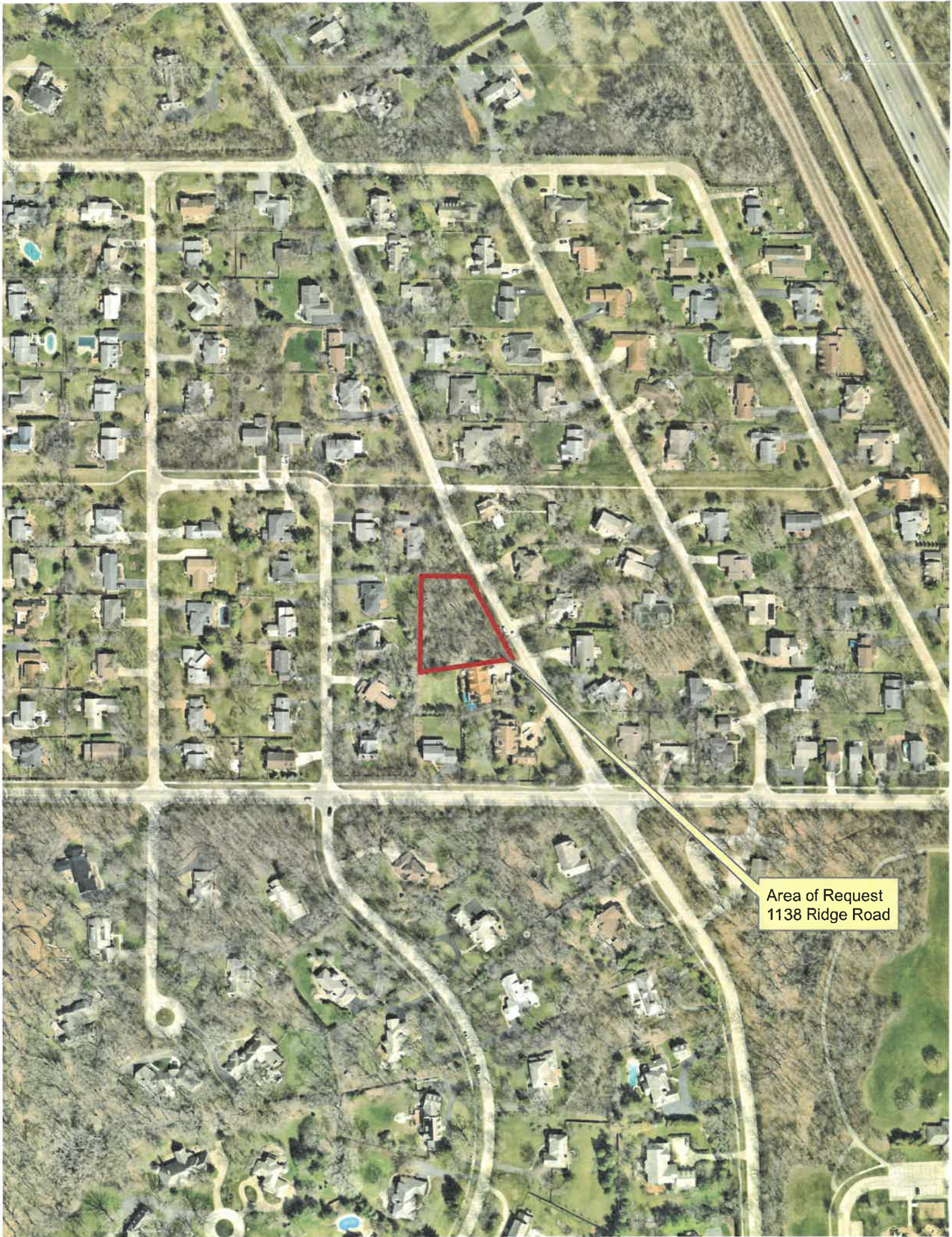
- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. The adjacent street must

remain passable at all times, unobstructed, and free of dirt and debris during construction.

4. Submit as-built drawings during the construction process to assure that the maximum permitted building height of 35 feet is not exceeded as measured from the lowest adjacent grade to the tallest peak of the roof.



Area of Request
1138 Ridge Road



Area of Request
1138 Ridge Road



Area of Request
1138 Ridge Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1138 S. RIDGE RD. LAKE FOREST (FORMERLY 1132 E1144)

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

1132 RIDGE ROAD LLC.
Owner of Property

162 W. GRAND AVE. SUITE 300
Owner's Street Address (may be different from project address)

CHICAGO IL 60654
City, State and Zip Code

(847) 814-0061
Phone Number *Fax Number*

ART@TRIPLEMPARTNERS.COM
Email Address

Owner's Signature

ARCHITECT/BUILDER INFORMATION

ART MARTI - PRESIDENT
Name and Title of Person Presenting Project

TRIPLE M PARTNERS
Name of Firm

2906 SPRUCE TERRACE
Street Address

ISLAND LAKE, IL 60042
City, State and Zip Code

847-814-0061
Phone Number *Fax Number*

ART@TRIPLEMPARTNERS.COM
Email Address

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS
(The use of natural materials is strongly encouraged)

Façade Material

- | | |
|--|--|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Synthetic Stucco |
| <input type="checkbox"/> Stucco | <input checked="" type="checkbox"/> Other <u>HARDIE BOARD SIDING</u> |
| <input type="checkbox"/> Wood Shingle | |
- Individual or Panels? _____

Color of Material STONE - NATURAL
HARDIE BOARD - WHITE + BLACK

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood (recommended)
 Aluminum Clad
 Vinyl Clad
 Other FIBERGLASS CLAD (marlin)

Color of Finish BLACK

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars (recommended)
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____

THE CITY OF LAKE FOREST
HISTORIC PRESERVATION COMMISSION APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material NIA

- Brick
- Stone
- Stucco
- Other _____

Foundation Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal
- Other ASPHALT

Flashing Material

- Copper
- Sheet Metal
- Other _____

Skylights

- Proposed
- Existing
- None

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



REDWOOD

Developers

CUSTOM LUXURY HOMES



TRIPLE M
PARTNERS

City of Lake Forest
Community Development Office

My name is Art Marti, President of Redwood Developers (custom homes) and Triple M Partners (general Contractor) – and the owner of the property on 1132 Ridge Road in Lake Forest.

My intent is to build a 2-story, finished basement, 3-car garage luxury home that is commensurate with the quality and expectations of Lake Forest and the Lake Forest residents.

The home will feature expansive windows, a circle driveway, a chef kitchen, high-end finishes like quartz and marble, custom cabinets and hardwood flooring. Additionally, the finished basement will have a wine room detail and a media room – along with a first-floor bedroom ideal for aging empty-nesters or an in-law suite or a live-in nanny suite for a young family.

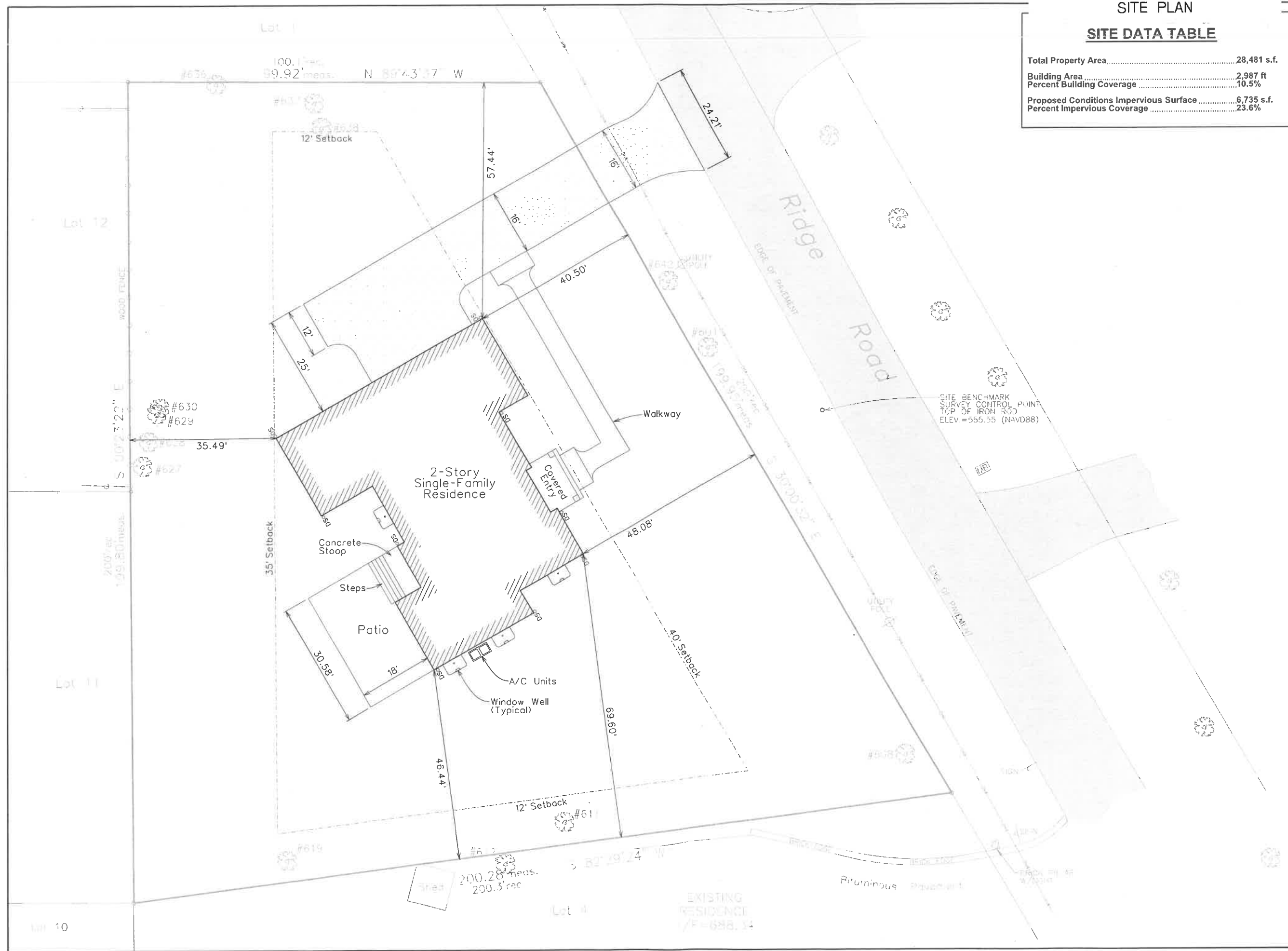
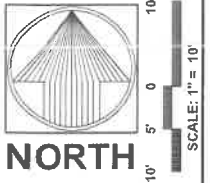
The house has 5 bedroom, 6 bathrooms, a study, dining room, butler's pantry and sunroom to name a few of the home's attributes. I have been building for decades and specialize in high-end luxury homes.

Best regards,
Art Marti

SITE PLAN

SITE DATA TABLE

Total Property Area	28,481 s.f.
Building Area	2,987 ft
Percent Building Coverage	10.5%
Proposed Conditions Impervious Surface	6,735 s.f.
Percent Impervious Coverage	23.6%



1138 S. RIDGE ROAD, LAKE FOREST

LAKE FOREST, ILLINOIS
PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1850 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL 60448
 PHONE: (847) 367-4797
 FAX: (847) 367-2567
 E-MAIL ADDRESS: pba@pearsonbrown.com
 © COPYRIGHT 2011 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED

DESIGNED BY: D.S.H.
 DRAWN BY: A.Z.
 CHECKED BY: A.K.Z.
 ORIGINAL ISSUE: 10/05/24

DATE BY	DESCRIPTION

REVISIONS

DATE BY	DESCRIPTION

SITE PLAN

SHEET NUMBER
3
 OF 5 SHEETS
 JOB No. 24150

ATTIC VENTILATION CALCULATION - MAIN ROOF

ROOF AREA AT TOP PLATE 1861 SF.
 REQUIRED VENT AREA 1261/300 = 4.20 SF.
 EXHAUST VENT REQUIRED + 3.30 SF.
 INTAKE VENT REQUIRED + 3.30 SF.
 ACTUAL EXHAUST VENT:
 GAP COBRA EXHAUST VENT (12 SQIN PER LF) 124 LF x 0.25 SQIN = 31.00 SQIN / 144 = 0.21 SF.
 1869 MASTER FLOW ROOF LOUVERS (65 SQIN) 6 x 65 SQIN = 390 SQIN / 144 = 2.71 SF.
 ACTUAL TOTAL EXHAUST VENT 0.5 SF.
 SOFFIT INTAKE VENT REQUIRED 0.5 SF.
 PERFORATED ALUMINUM SOFFIT (9 SQIN PER 1 SF) 0.5 SF x 144 = 72 SQIN / 144 = 0.50 SF.

ELEVATION GENERAL NOTES:

- PELLA PRO LINE SERIES OR EQUAL UNIT NUMBERS (NOT GLASS SIZE) SHOWN ON ELEVATIONS
 - ALL ROOF VENTS AND THROUGH ROOF MECHANICAL TO BE LOCATED • REAR OF HOME AND PAINTED TO MATCH ROOF.
 - SHEET METAL FLASHING OVER ALL WINDOWS, DOORS AND WOOD TRIM
 - SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS
- NOTE:**
 EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

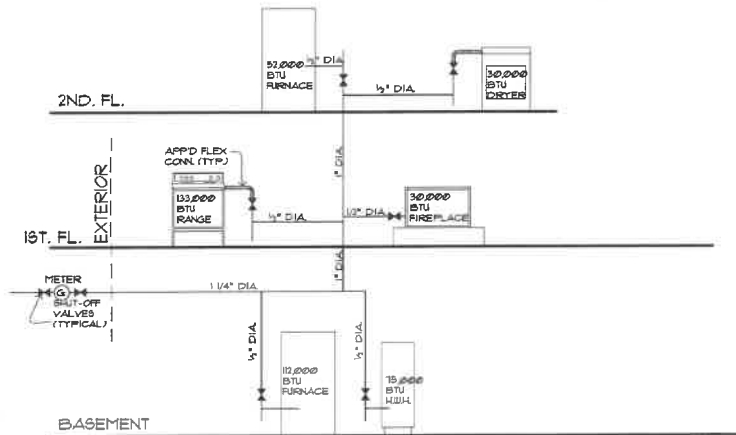
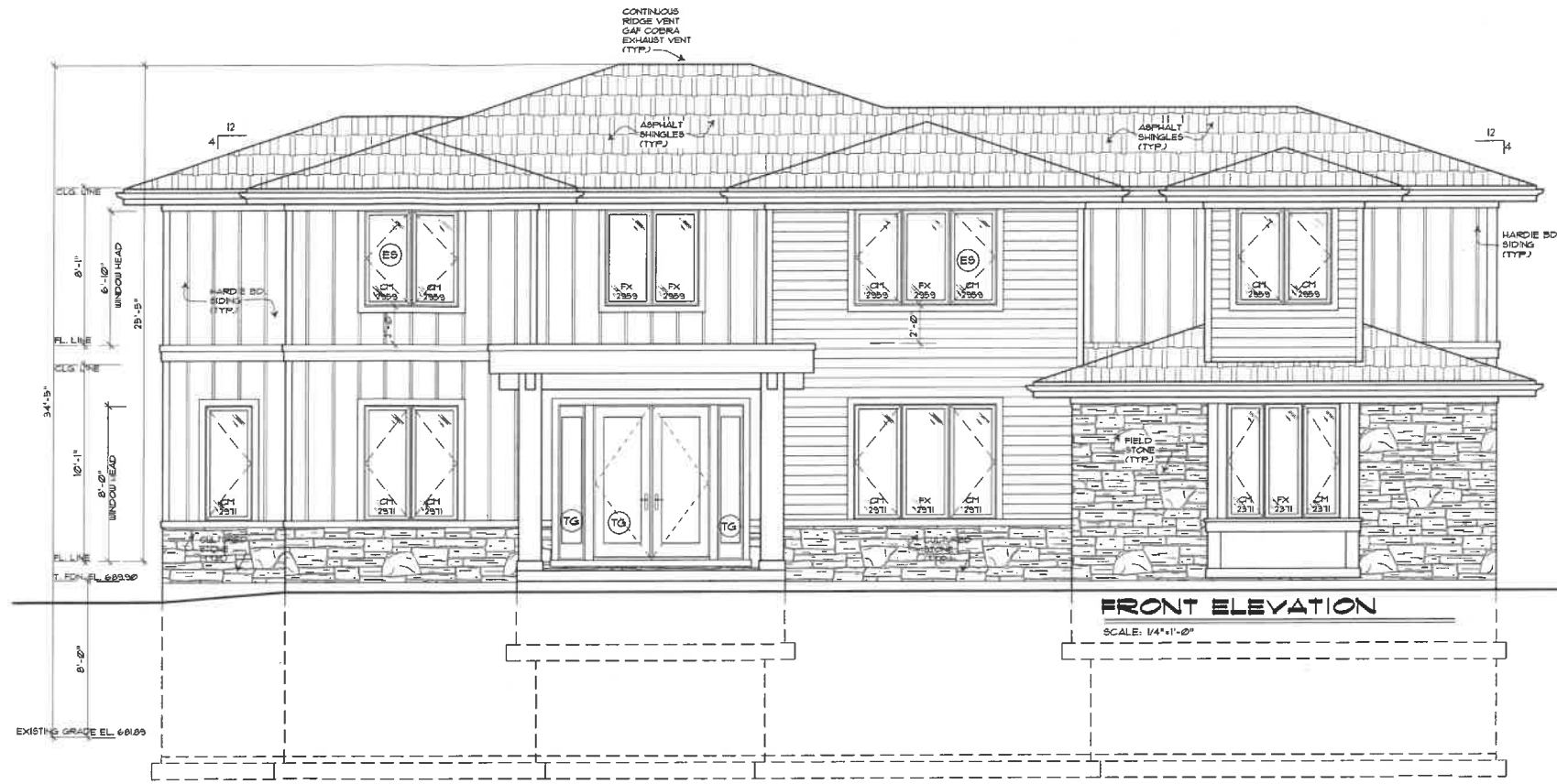
ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

- (ES) EGRESS WINDOW
- (TG) SAFETY GLAZING

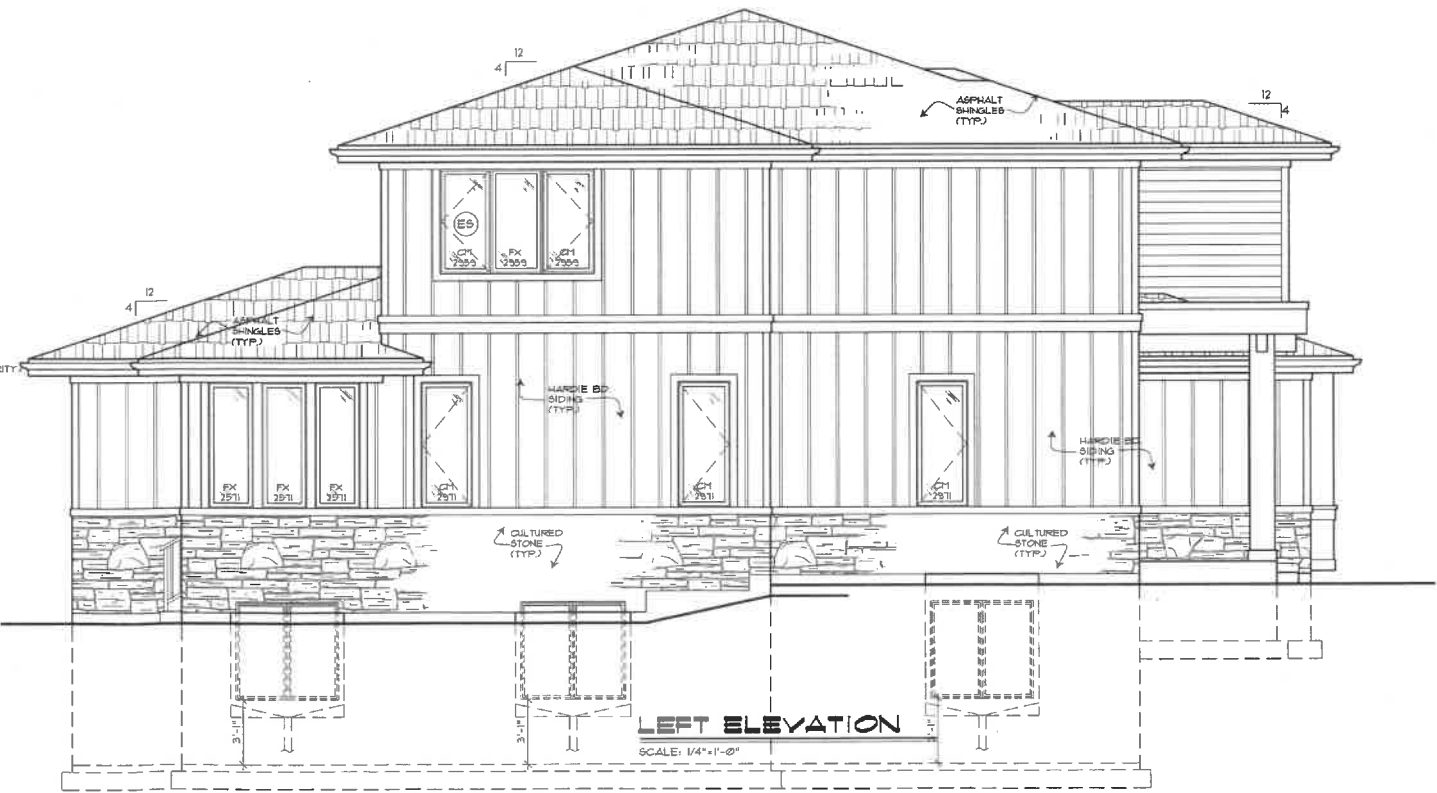
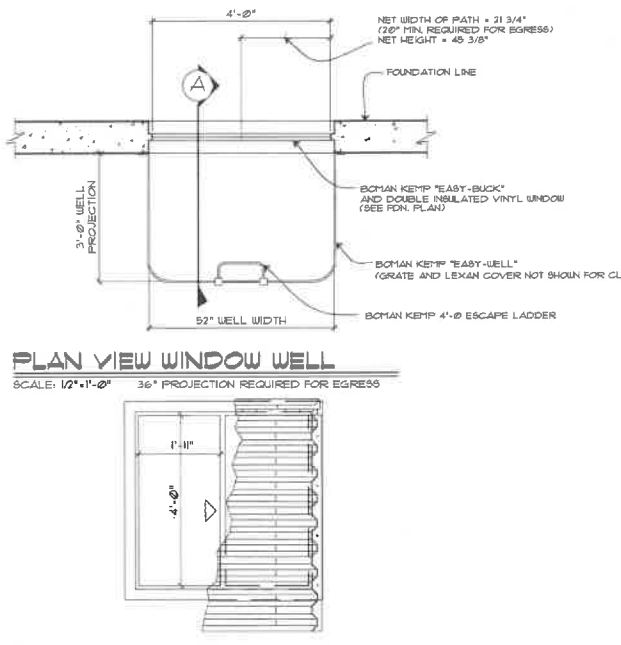
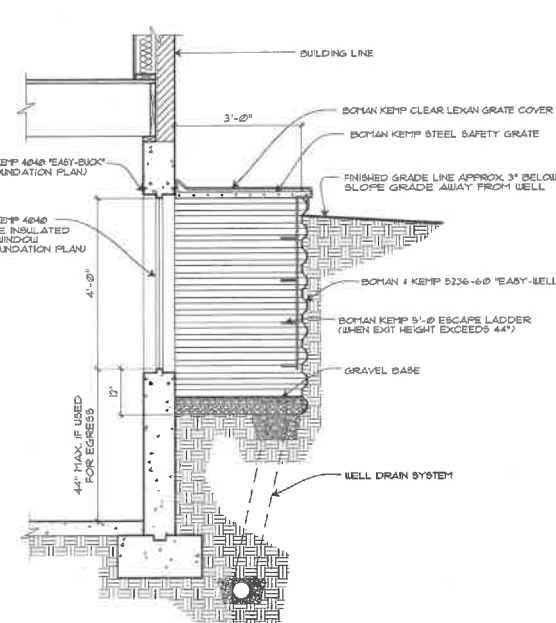
LINTEL FOR 4" BRICK WYTHE (NON-BEARING)

STEEL ANGLE SECTION	MASONRY OPENING FROM	UP TO	BEARING E.A. END	L/600
3 1/2" x 1/2" x 5/16"	0"	3'-0"	4"	30"
3 1/2" x 1/2" x 5/16"	5'-1"	7'-0"	6"	34"
3 1/2" x 1/2" x 5/16"	7'-1"	8'-0"	6"	38"
3 1/2" x 1/2" x 5/16"	8'-1"	10'-0"	6"	42"
3 1/2" x 1/2" x 5/16"	10'-1"	12'-0"	6"	46"
3 1/2" x 1/2" x 5/16"	12'-1"	14'-0"	6"	50"
3 1/2" x 1/2" x 5/16"	14'-1"	16'-0"	6"	54"

EAST AND SOUTH ELEVATION



GAS PIPING LINES
 • ALL GAS PIPING TO BE BLACK IRON
 • ALL BRASS VALVES SHUT-OFF AND HANDLES
 • CONDENSATE DRAIN PIPES AS REQD.
 • ALL GAS APPLIANCE MUST HAVE A SHUTOFF WITHIN 6 FEET OF THE APPLIANCE AND BE UPSTREAM OF THE UNION, QUICK DISCONNECT OR CONNECTOR DEVICE IT SERVES
 • A LEVEL WORKING SPACE NOT LESS THAN 36" DEEP AND 36" WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE.
 PRIOR TO ACCEPTANCE AND INITIAL OPERATION, ALL GAS PIPING INSTALLATIONS SHALL BE VISUALLY INSPECTED AND PRESSURE TESTED



ARCHIMAX, INC.
 1132 RIDGE RD. LAKE FOREST, ILLINOIS 60045
 PHONE: 847.877.4414
 ARCHIMAX@GMAIL.COM

PROPOSED NEW S.F. RESIDENCE
1132 RIDGE RD.
 LAKE FOREST, ILLINOIS

DANIEL S. DRAG
 01022257
 06/26/2024

DATE: 06/26/2024
 PROJECT:
 SHEET NO.

A-6

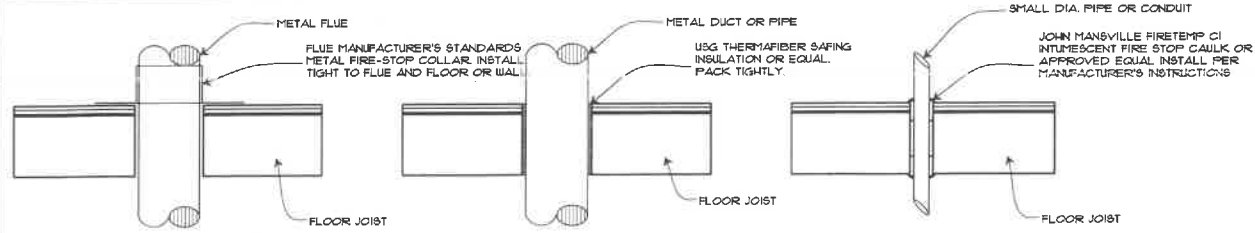


WALL SECTION THRU WINDOW WELL
 SCALE: 1/2"=1'-0"

WINDOW ELEVATION WITH WELL
 SCALE: 1/2"=1'-0"

LEFT ELEVATION
 SCALE: 1/4"=1'-0"

COPYRIGHT ARCHIMAX, INC.



FIRESTOPPING DETAILS (TYP.)

N.T.S.

NOTE:

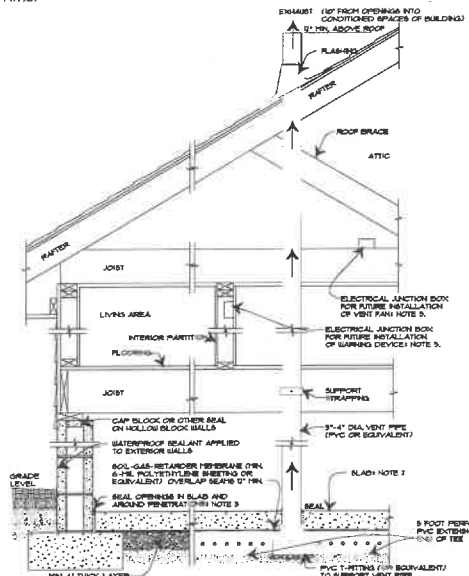
ALL FUEL BURNING EQUIPMENT SHALL HAVE A SUFFICIENT SUPPLY OF AIR FOR FUEL COMBUSTION, VENTILATION DRAFT HOOD DILUTION.

FIREBLOCKING NOTE

FIREBLOCKING PER IRC 2021 R602.2, R602.2.1 IN COMBUSTIBLE CONSTRUCTION FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FINNED SPACES AND PARALLEL ROOF OF STUDS OR STAGGERED STUDS, AS FOLLOWS: VERTICALLY AT THE CEILING AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 40 FEET (12.19 M) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS ROOMS AT SLOTTED DROP CEILING AND COVE CEILING, IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R602.1, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 814 REQUIREMENTS FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R602.3. FIREBLOCKING OF CORNICES OR A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

NOTES:

- ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A MINIMUM 1" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OF STRIPS OF MANUFACTURED MATING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
- ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REPS, AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "AC308.2R-4" AND "AC308.3R" OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS"
- ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL, OR GAPS AROUND PIPES, TOILETS, BATHUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK PORTLAND CEMENTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C520-01.
- VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-BARRIER MEMBRANE.
- CIRCUITS SHOULD BE A MINIMUM 5 AMP, 15 VOLT.



RADON RESISTANT DETAIL

WINDOW AND DOOR SCHEDULE

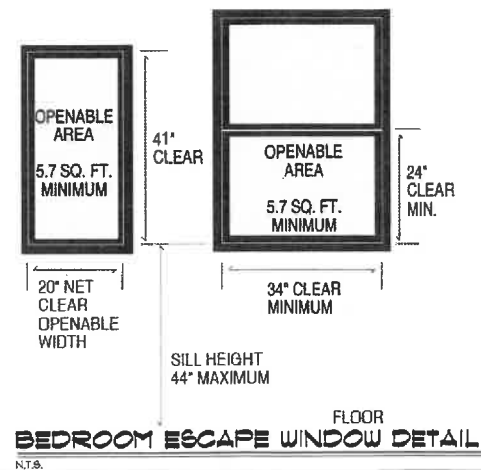
SYMBOL AND UNIT DIMENSIONS	WINDOW OR DOOR TYPE	Sq. Ft. LIGHT	Sq. Ft. VENT	EGRESS	5.7 SQ. FT. MIN. LIGHT	20" WIDTH 24" HEIGHT
CT 2353	CASEMENT	1.6	8.5	●	●	●
FX 2353	FIXED	1.6	-	-	-	-
UCF 2343	ARCH FIXED	6.5	-	-	-	-
CT 2359	CASEMENT	8.5	12.6	●	●	●
CT 2369	CASEMENT	9.5	10.6	●	●	●
CT 2347	CASEMENT	6.6	1.5	●	●	●
CT 2341	CASEMENT	5.6	6.4	●	●	●
CT 2311	CASEMENT	10.5	11.1	●	●	●
FX 2371	FIXED	10.5	-	-	-	-
CT 1741	CASEMENT	3.2	3.9	●	●	●
AU 4719	AWNING	6.6	1.5	●	●	●
CT 2344	CASEMENT	4.7	9.4	●	●	●
CT 2347	CASEMENT	4.5	9.7	●	●	●
SL 4548	SLIDER	11.8	1.4	●	●	●
SLD 10596	SLIDER	42.6	10.4	●	●	●
SLD 12156	SLIDER	28.4	10.4	●	●	●
SLD 1284	SLIDER	23.2	10.3	●	●	●

ES EGRESS WINDOW
 TG TEMPERED GLAZING
 FX FIXED UNIT

LIGHT & VENTILATION DATA SCHEDULE

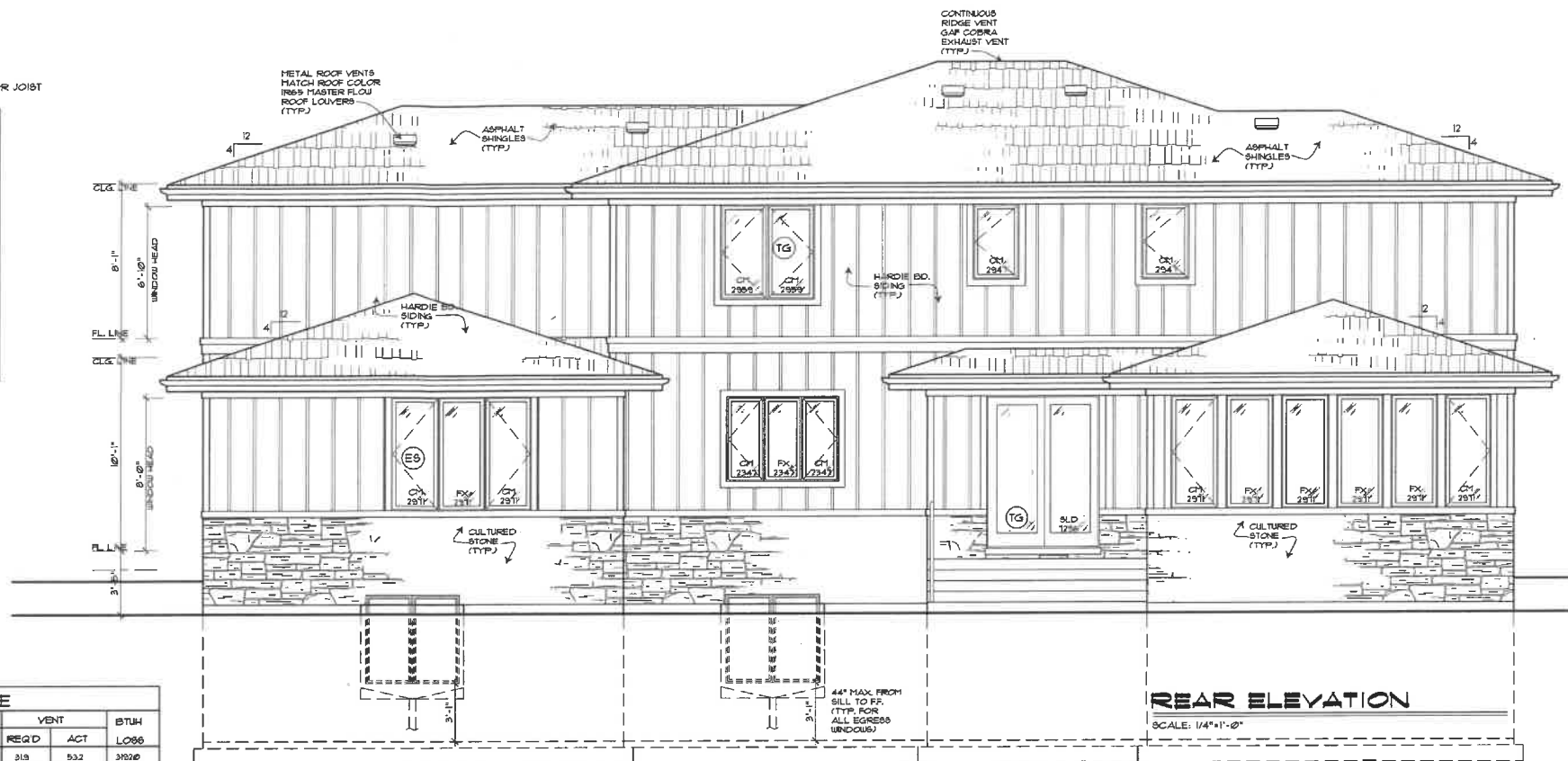
ROOM	AREA	LIGHT		VENT		BTUH LOSS
		REQ'D	ACT	REQ'D	ACT	
KITCHEN / BREAKFAST / FAMILY RM	198.0	63.8	64.1	31.8	53.2	3920
STUDY RM	128.0	10.2	31.5	5.1	35.1	970
DINING RM	172.0	13.8	31.5	6.5	23.4	8880
SUN RM	156.0	12.5	11.5	6.2	44.5	6240
BEDROOM 5	276.0	18.1	31.5	9.0	23.4	3040
HALL	37.0	N.R.	N.R.	48.0	50 CFI	1280
BATH 5	62.0	N.R.	21	105.5	50 CFI	2760
TOTAL:						63240
MASTER BEDROOM	350.0	28.0	24	14.0	38.4	14000
BEDROOM 2	190.0	19.2	29.5	1.6	19.2	1600
BEDROOM 3	156.0	12.5	11	6.2	15	6240
BEDROOM 4	203.0	16.2	25.5	8.1	19.2	800
MASTER BATH	287.0	N.R.	11	303.0	100 CFI	8000
BATH 2	48.0	N.R.	6.6	73.0	50 CFI	1920
BATH 3	48.0	N.R.	73.0	50 CFI	1920	
BATH 4	45.0	N.R.	67.5	50 CFI	1800	
TOTAL:						43600
RECREATION RM	754.0	N.R.	25.4	30.2	MECH.	30160
OFFICE	123.0	N.R.	12.1	4.5	MECH.	4800
EXERCISE RM	149.0	N.R.	12.1	6.0	MECH.	5960
THEATER	49.5	N.R.	12.1	18.4	MECH.	18360
BATH 6	55.0	N.R.	82.5	50 CFI	7200	
TOTAL:						61560

1. THE GLAZED AREAS NEED NOT BE OPERABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R602 AND A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED IN ACCORDANCE WITH SECTION R602.1.1.
 2. THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE OCCUPANCY IS LIMITED AND ARTIFICIAL LIGHT IS PROVIDED THAT IS CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 4 FOOT-CANDELES (45 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES (762 MM) ABOVE THE FLOOR LEVEL.



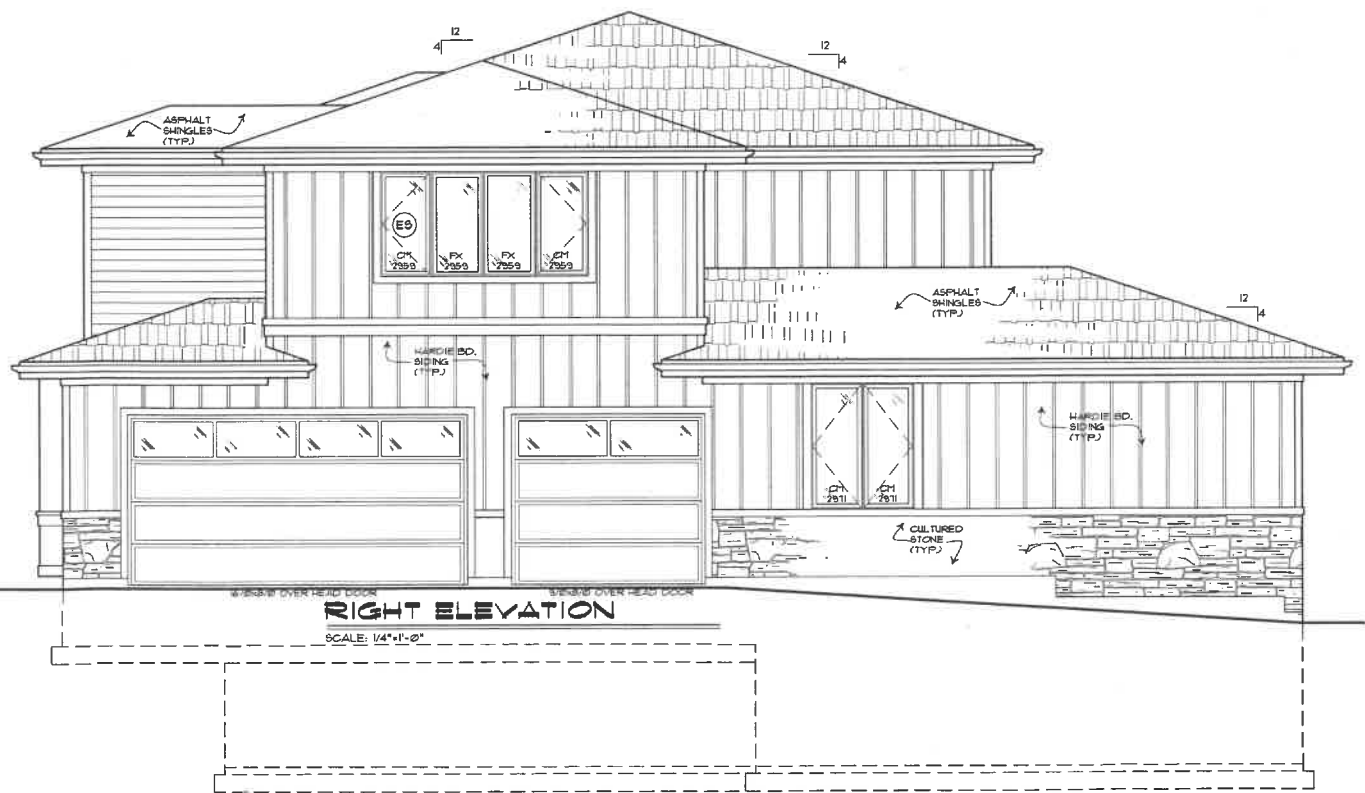
BEDROOM EGRESS WINDOW DETAIL

WEST AND NORTH ELEVATION



REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

ARCHIMAX, INC.
 PROFESSIONAL DESIGN FIRM - ILL. REG. 007063-0001
 1132 RIDGE RD., LAKE FOREST, ILL. 60045-1100
 Phone: 847/877-4414
 Archimaxinc@gmail.com

PROPOSED NEW S.F. RESIDENCE
1132 RIDGE RD.
 ILLINOIS
 LAKE FOREST

I hereby certify that I am a duly Licensed Professional Engineer in the State of Illinois and that I am the author of the design and construction documents herein.
 DANIELS, DRAGI
 0702257
 Date: 06/26/2024
 Scale: 1/4"=1'-0"

COPYRIGHT ARCHIMAX, INC.
 DATE: 06/26/2024
 PROJECT:
 SHEET NO. **A-7**

RENDERING 1



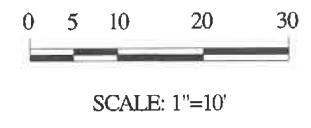
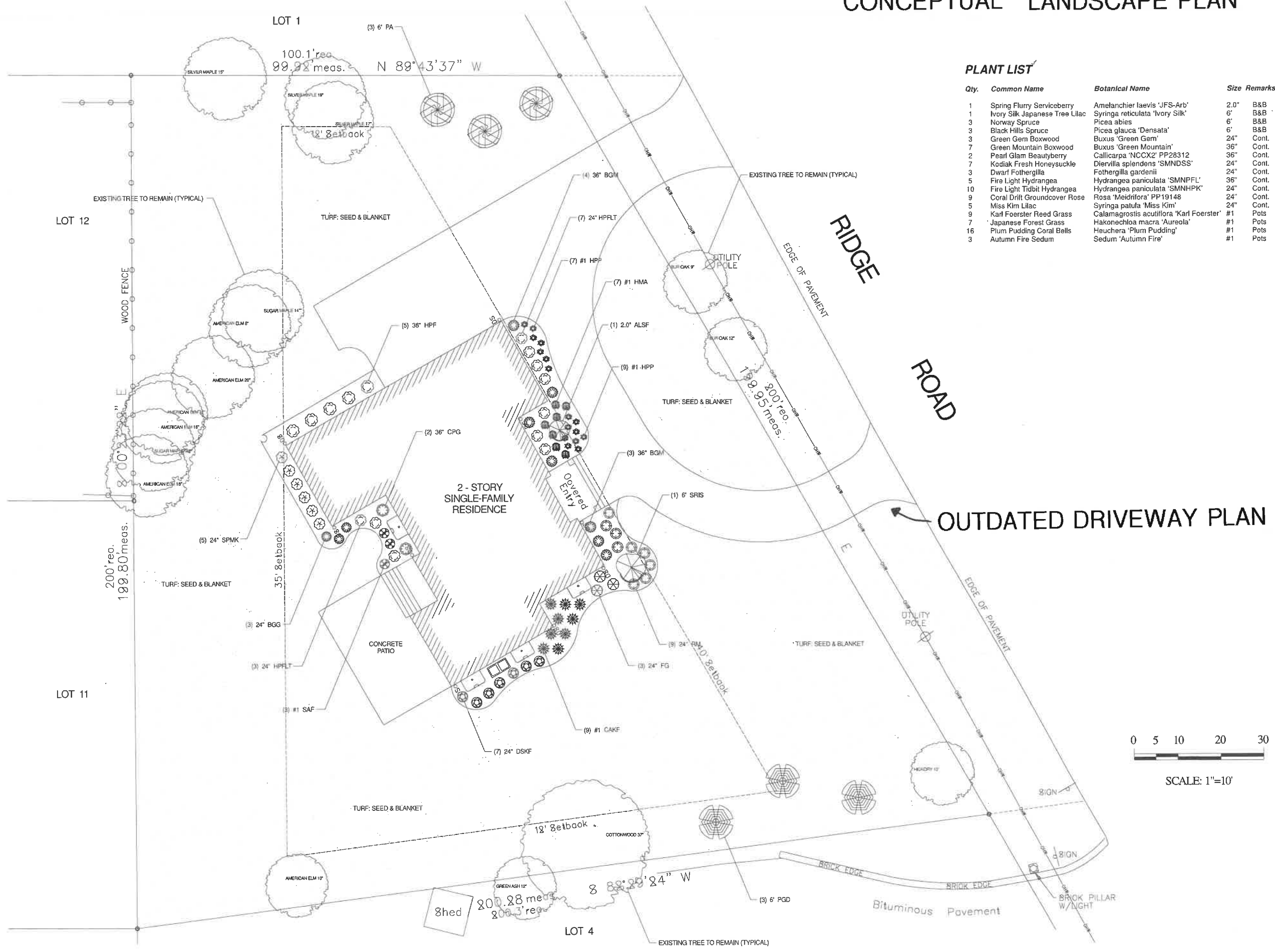
RENDERING 2



CONCEPTUAL LANDSCAPE PLAN

PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
1	Spring Flurry Serviceberry	Amelanchier laevis 'JFS-Arb'	2.0"	B&B	ALSF
1	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	6"	B&B	SRIS
3	Norway Spruce	Picea abies	6"	B&B	PA
3	Black Hills Spruce	Picea glauca 'Densata'	6"	B&B	PGD
3	Green Gem Boxwood	Buxus 'Green Gem'	24"	Cont.	BGG
7	Green Mountain Boxwood	Buxus 'Green Mountain'	36"	Cont.	BGM
2	Pearl Glam Beautyberry	Callicarpa 'NCCX2' PP28312	36"	Cont.	CPG
7	Kodiak Fresh Honeysuckle	Diervilla splendens 'SMNDSS'	24"	Cont.	DSKF
3	Dwarf Fothergilla	Fothergilla gardenii	24"	Cont.	FG
5	Fire Light Hydrangea	Hydrangea paniculata 'SMNPFL'	36"	Cont.	HPFL
10	Fire Light Tidbit Hydrangea	Hydrangea paniculata 'SMNHPK'	24"	Cont.	HPFLT
9	Coral Drift Groundcover Rose	Rosa 'Meidiflora' PP19148	24"	Cont.	RM
5	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
9	Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	Pots	CAKF
7	Japanese Forest Grass	Hakonechloa macra 'Aureola'	#1	Pots	HMA
16	Plum Pudding Coral Bells	Heuchera 'Plum Pudding'	#1	Pots	HPP
3	Autumn Fire Sedum	Sedum 'Autumn Fire'	#1	Pots	SAF



REVISIONS:

DOWDEN DESIGN GROUP
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
 P.O. BOX 415, LIBERTYVILLE, IL, 60048
 DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

PROPOSED NEW RESIDENCE
 1132 RIDGE ROAD
 LAKE FOREST, ILLINOIS

LANDSCAPE PLAN

DATE: 10.29.24
 SCALE: 1"=10'
 DRAWN: CJD

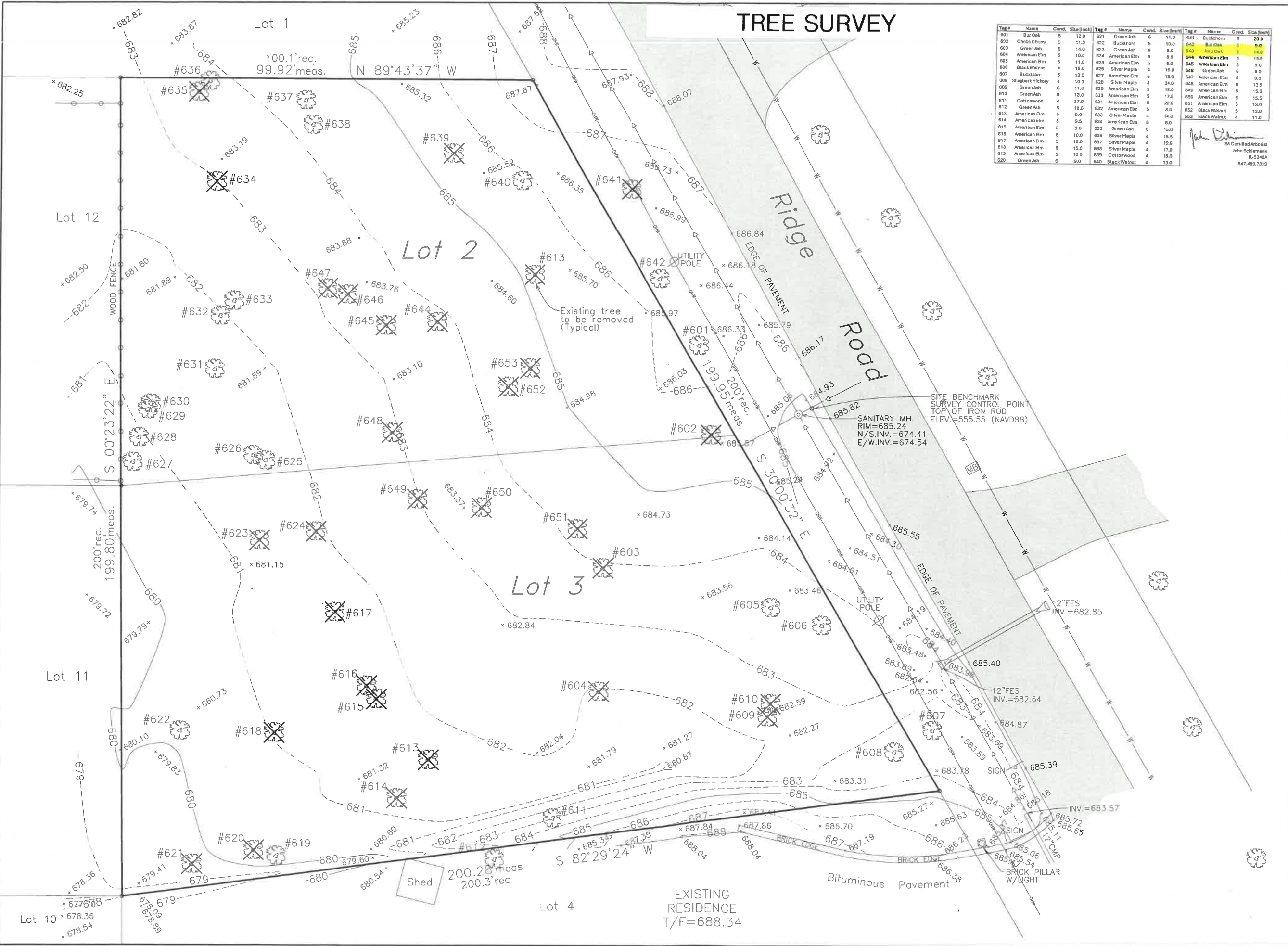
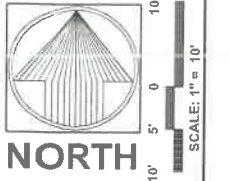


L101

TREE SURVEY

Tag #	Name	Cond.	Size (inch)	Tag #	Name	Cond.	Size (inch)	Tag #	Name	Cond.	Size (inch)
601	Bur Oak	5	12.0	621	Green Ash	6	11.0	641	Buckhorn	5	20.0
602	Choke Cherry	2	11.0	622	Buckhorn	5	10.0	642	Bur Oak	5	9.0
603	Green Ash	6	14.0	623	Green Ash	6	8.0	643	Bur Oak	7	14.0
604	American Elm	5	10.0	624	American Elm	5	8.6	644	American Elm	5	8.0
605	American Elm	5	11.0	625	American Elm	5	8.0	645	American Elm	5	8.0
606	Black Walnut	4	15.0	626	Silver Maple	4	18.0	646	Green Ash	6	8.0
607	Buckhorn	5	12.0	627	American Elm	5	18.0	647	American Elm	5	8.0
608	Shagbark Hickory	4	10.0	628	Silver Maple	4	24.0	648	American Elm	8	13.5
609	Green Ash	6	11.0	629	American Elm	5	15.0	649	American Elm	5	15.0
610	Green Ash	6	13.0	630	American Elm	5	17.5	650	American Elm	5	15.5
611	Cottonwood	4	37.0	631	American Elm	5	20.0	651	American Elm	5	13.0
612	Green Ash	6	18.0	632	American Elm	5	8.0	652	Black Walnut	4	13.0
613	American Elm	5	9.0	633	Silver Maple	4	14.0	653	Black Walnut	4	11.0
614	American Elm	5	9.5	634	American Elm	6	8.0				
615	American Elm	5	9.0	635	Green Ash	6	15.0				
616	American Elm	5	10.0	636	Silver Maple	4	15.5				
617	American Elm	5	15.0	637	Silver Maple	4	19.0				
618	American Elm	6	15.0	638	Silver Maple	4	17.0				
619	American Elm	5	10.0	639	Cottonwood	4	15.0				
620	Green Ash	6	9.0	640	Black Walnut	4	13.0				

John Schlemmer
 ISA Certified Arborist
 John Schlemmer
 10-5248A
 847.469.7319



1138 S. RIDGE ROAD, LAKE FOREST
 LAKE FOREST, ILLINOIS

PEARSON, BROWN & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 1850 W. WINCHESTER ROAD - SUITE 205
 LIBERTYVILLE, IL 60048
 PHONE: (847) 387-4707
 FAX: (847) 387-2567
 E-MAIL ADDRESS: pba@pearsonbrown.com
 © COPYRIGHT 2024 PEARSON, BROWN & ASSOCIATES, INC. ALL RIGHTS RESERVED.

DESIGNED BY: D.S.H.
 DRAWN BY: A.Z.
 CHECKED BY: A.K.Z.
 ORIGINAL ISSUE: 10/05/24

DATE	DESCRIPTION

REVISIONS

EXISTING CONDITIONS & REMOVALS

SHEET NUMBER
2
 OF 5 SHEETS
 JOB NO. 24150