

Agenda Item 4
1062 Valley Road

Staff Report
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Air Photo

Materials Submitted by Petitioner

Application

Statement of Intent - Updated

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Overview – Project Scope

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- Existing
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- Proposed 2nd Floor

Site Plan – Proposed

- Relationship to Neighboring Property

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Exterior Materials - Proposed

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- *Basement and 1st Floor*
- *2nd Floor and Roof Plan*

Sections – Proposed Residence and Garage

Garage

Floor Plan

- Footprint
- Floor Plan
- Concept Image

Site

Hardscape Plan

Tree Removal and Planting Plans

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1062 Valley Road

Continued consideration of a request for a recommendation in support of partial demolition, conversion of a garage to living space, the addition of a second story over the garage, various alterations around the residence, relocation of the driveway, and a new garage.

Property Owner and Project Representative: Oana Herghelegiu, architect

Staff Contact: Catherine Czerniak, Director of Community Development

Board Consideration of this Petition to Date

At the December 2023 meeting, this petition was introduced to the Board. The Board stated general support for the project, encouraged additional study, refinement in some areas, and further detailing of the plans. The Board continued consideration of the petition. The direction provided by the Board is detailed in the bullet points below. Staff comments are provided below each bullet point.

- Reconsider the carport.

This concern is addressed. A two car garage is now proposed in lieu of a carport. Rather than sited at the far west side of the property like the carport was in the earlier plans, with the door facing east, the now proposed garage is located closer to the house and connected to the house by a partially covered walkway. The garage doors face south addressing the concerns raised about the potential impact of headlights on private areas of neighboring properties. The garage versus the carport also addresses concerns about potential visibility of stored items in the carport.

- Study turning movements to assure the driveway is adequately sized and configured.

This concern is addressed. The new driveway provides a straight-in approach to the garage, no curve is necessary, and it is adequate in width to facilitate access into the two car garage. A back out apron is provided to the west of the garage to allow vehicles to pull out, rather than back out, on to Marion Avenue.

- Provide an exterior lighting plan including details of lighting proposed on the house, near hardscape, on the patios, and in the carport. Provide a site plan and cut sheets of proposed fixtures.

This concern is addressed by the recommended conditions of approval. There is no indication that significant outdoor lighting is proposed. Safety and security lighting at the entrances to the house and garage and along walkways is reasonable. An exterior lighting plan indicating all exterior

lighting that is proposed is required to be submitted along with the building permit application. Staff will review the exterior lighting plan to confirm that the lighting conforms to the Code requirements with respect to setbacks from all property lines, the limitation on total number of lights, direction of lights, and will assure that the proposed fixtures direct light downward fully shielding the source of the light from visibility from off of the site.

- Reflect details on the elevations including, but not limited to, the gutters, downspouts, and the railing at the roof top deck.

This concern is addressed. Both the elevations and conceptual renderings are more fully detailed than those previously presented to the Board. Details of the glass railing proposed around the edge of the roof deck to meet life safety Code requirements are attached to this staff report.

- Study the trees further to determine the realistic impacts.
This concern is addressed. Further evaluation of the trees will be conducted as work on the site takes shape. As noted in the December staff report, there are several parkway trees in this area that are dead or in decline. The City will remove those trees as part of the established street tree removal and replacement program. Any healthy trees of quality species that are impacted by construction in the opinion of the City's Certified Arborist will be evaluated and as appropriate, replacement tree inches will be required on the site.

- Consider alternatives to the round, front facing window.

This concern is addressed. The stark image of the front facing, large, round window is softened by continuing strips of the vertical siding across the window creating a subtle and interesting pattern of solids and voids. The petitioner stated that the circular window element is a signature of her designs.

- Review the front facing transom windows to avoid the appearance of a garage.

This concern is addressed. Although the transom windows remain, as a result of the changes to the circular window above, the viewer's eye is drawn up to the second floor, away from the recessed lower level. Foundation landscaping is shown on the conceptual rendering, softening the area that today is the entrance to the existing garage. Removal of the existing driveway will also help to overcome any remaining vestige of the element appearing as a garage.

- Complete the preliminary drainage plans to assure that runoff from the

structure and the proposed additional hardscape does not impact neighboring properties.

This concern is being addressed and will be fully addressed prior to the issuance of building permits. Preparation of a preliminary drainage and grading plan is underway. The plan is expected to be available at the upcoming meeting. However, since drainage is not under the purview of the Board from a technical perspective, as with all projects, drainage will be carefully considered by the City Engineer and any requirements from the Engineer will need to be fully addressed on the site.

In summary, the petitioner has done a thorough job of considering and responding to all of the comments and direction provided by the Board at the last meeting.

Portions of the following sections are repeated from previous staff reports on this petition.

Background on the Property, Residence, and Architect

This property is located on the northwest corner of Valley Road and Marion Avenue. The surrounding neighborhood was built out over several decades, the residence in this petition was one of the earliest homes constructed in this area. Activity today in this part of the community primarily involves small additions to existing homes, alterations, and interior upgrades. Most of the properties in this neighborhood are around a half acre in size and the homes are of various architectural styles including a fair number of homes designed in the contemporary style.

The modest residence that is the subject of this petition sits quietly on the site, almost invisible from the street due to the low profile and earth tones of the home and the mature trees and thick vegetation. The house as originally designed, is simple and intended to blend unobtrusively with the surrounding vegetation. No alterations of any significance have been made to the house since its original construction.

Summary of Request

Partial demolition of the residence and garage are proposed. Based on the information provided by the petitioner to date, more than 50 percent of the existing house will remain making this a partial, rather than a full demolition. Plans submitted for permit, after final design development is completed, will need to clearly detail all elements of the house proposed for demolition and document that less than 50 percent of the house overall will be demolished.

The existing garage is attached to the residence with an open roof structure, this space will be infilled to connect the main part of the residence with the planned two story living space. The two story living space will be created by converting the garage to first floor living space and adding a second story over the garage and cantilevering

it to the west for additional living space. As proposed, a roof extends into the rear yard from the second floor level to provide a covered open patio space and a covered connection to the detached garage. Because the garage is currently non-conforming, the new construction will step back from the north wall of the garage to comply with the required setback. An open patio wraps the rear of the house extending from the covered patio south.

The footprint of the residence, aside from the connection element to the new two story space, remains the same as originally constructed.

While keeping with the contemporary architecture of the original home, the petitioner proposes various exterior alterations to the fenestration, elements of the roof, and the exterior materials.

A significant change to the site plan is proposed. As proposed, the driveway will be relocated from Valley Road to Marion Avenue, near the southwest corner of the property. As noted above, a two car detached garage is proposed to the west of the house, near the north property line.

Staff Evaluation

Site Plan – This standard can be met with modifications and enhancements.

As noted above, the significant change to the site plan is the relocation of the driveway from Valley Road to Marion Avenue and construction of a detached garage. The area of the property where the driveway and garage are proposed has remained in a natural state for decades. The driveway is sited to minimize impacts on healthy trees of quality species. Realistically, construction in this area may have an impact on trees over time due to construction impacts, compaction of the soil, and changes in hydrology. The intent is that over the long term, the site will continue to have a wooded, natural character.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,003 square feet is permitted on the site with up to an additional 40 square feet in design elements and 600 square feet for a garage.

- The existing house totals 1,463 square feet.
- The proposed addition, including the garage space that will be converted to living space, totals 1304 square feet.
- The proposed carport totals 735 square feet. The square footage of the carport that exceeds the allowable 600 square feet, 135 feet, is added to the square footage of the home.
- The addition plus the excess garage square footage totals 3,114 square feet, less than the maximum allowable square footage by 889 square feet or 22 percent.

The maximum height permitted for this property is 35 feet. The existing home is 21'1" and the proposed addition is 22'-7".

Elevations – This standard is generally met.

The proposed modifications to the front entry element, fenestration and detailing on the original home are consistent with the existing character of the home, generally understood, blending in well with the surrounding environment.

The proposed addition is designed in a contemporary style generally consistent with the original home. Large round windows are proposed on the east and west facing elevations of the second floor addition. Vertical slats are proposed to add shadowing and texture to the front facing round window and minimize off site light impacts. A third round window is incorporated on the front elevation of the original residence. This window is at the first floor level and is subtle, minimizing the potential for any off site light impacts. The round window on the rear elevation is screened by vegetation and is internal to the site.

Type, color, and texture of materials – This standard is met.

The proposed exterior materials are consistent with the contemporary style of the home and compatible with the wooded character of the site. The low profile roof is a prominent feature of the home. A dark, metal, non-reflective roof material is proposed. To achieve a residential character, the metal panels should be twelve inches wide or less. Hardie Board siding is proposed with wood trim. Large, casement windows, consistent with the contemporary style, are planned. Concrete and concrete pavers are proposed for the patio, driveway and carport surface. A composite deck is proposed over the concrete patio.

Landscaping – Site Plan – This standard is met.

As noted above, there are several dead and declining trees on the City parkway along Marion Avenue. The City's Certified Arborist has confirmed that these trees are on the City's list for removal. After the City removes the trees, replacement trees will be planted consistent with the City's replanting policies and as the budget allows. No plantings are permitted in the parkway without prior City approval. The plan indicates that evergreens are proposed by the petitioner in the parkway, evergreens are not permitted in the parkway due to the potential for obstructing sightlines on or near roadways.

The petitioner's current tree removal plan indicates that four trees are proposed for removal, two Ash trees located in the southwest corner of the property and two trees that will be impacted by the driveway. As noted above, further due diligence will be done to evaluate the trees that will and may be impacted. Double inch for inch replacement is required for the trees that are in excellent condition, single inch for inch replacement is required for the trees in very good and good condition. The large lot affords the opportunity for replanting on the site.

A pre and post construction tree care plan is recommended for other trees, near the proposed construction activity areas. The key trees that may be appropriate to consider for treatment are listed below.

- Tree #193 – Swamp White Oak – good condition
- Tree #194 – Swamp White Oak – very good condition
- Tree #200 – Red Pal – very good condition
- Tree #203 – Swamp White Oak – very good condition
- Tree #205 – Swamp White Oak – very good condition
- Tree #206 – Bur Oak – good condition
- Tree #213 – Bur Oak – good condition
- Tree #215 – Red Oak – good condition
- Tree #216 – Swamp White Oak – very good
- Tree #217 – White Pine – very good condition

Public Comment

Public notice of this petition was provided in accordance with applicable requirements and standard practice. At the December public hearing, several neighbors presented testimony both in support of the petition and raising some questions about aspects of the project.

An additional public notice was mailed by the Community Development Department to the same properties that received notice prior to the December meeting. The agenda for this meeting was posted at various public locations and on the City's website. One additional piece of correspondence was received in response to the most recent public notice, and it is attached to this report. If any correspondence is received after distribution of this report to the Board, it will be distributed at the meeting.

Recommendation

Adopt the findings as detailed in this staff report and recommend approval of the petition subject to the following to the following conditions of approval.

1. All modifications to the plans including those made in response to Board further direction or discussion and as the result of final design development shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval and to determine whether further Board review is required prior to the issuance of permits.
2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A detailed tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify all trees proposed for removal and trees identified for protection and preservation including parkway trees and trees on neighboring properties if there is a potential for off site construction impacts.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees located close to construction activity.
- c. A final detailed landscape and tree replanting plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the converted garage, connecting addition, and the new garage as required by the Code and additional trees if required to satisfy the required replacement for trees removed. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. Adequate sightlines at the intersection must be maintained at all times and streets and neighboring driveways cannot be obstructed.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Valley R 1062 Valley Road Owner(s) Oana Herghelegui
 Architect Oana Herghelegui Reviewed by: C. Czerniak
 Date 1/28/2024
 Lot Area 19979 sq. ft.

Square Footage of Residence -- Existing

1st floor 1093 + 2nd floor 424 + 3rd floor 0 = 1517 sq. ft.
 Design Element Allowance = 399 sq. ft.
 Total Actual Design Elements = 175 sq. ft. Excess = 0 sq. ft.
 Garage 420 sf actual ; 600 sf allowance Excess = 0 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
Total Square Footage of Existing Residence = 1517 sq. ft.
 (minus Design Elements, plus garage overage)
DIFFERENTIAL (Existing) = Under Maximum sq. ft.

Square Footage of House and Proposed Addition:

1st floor 663 + 2nd floor 435 + 3rd floor 0 = 1098 sq. ft.
 New Garage = 660 (Existing converted to living) = 60 sq. ft.
TOTAL SQUARE FOOTAGE = 3144 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 3998 sq. ft.
DIFFERENTIAL = 854 sq. ft. **NET RESULT:**
Under Maximum

854 sq. ft. is
21% under
 Max. allowed

Allowable Height: 35 ft. Actual Height 21'11" ft.

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 399 sq. ft.
 Front & Side Porches = 303 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 390 sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.
Total Actual Design Elements = 404 sq. ft. **Excess Design Elements =** 469 sq. ft.



Area of Request
1062 Valley Road



Area of Request
1062 Valley Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1062 Valley Rd

APPLICATION TYPE

<i>RESIDENTIAL PROJECTS</i>		<i>COMMERCIAL PROJECTS</i>	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input checked="" type="checkbox"/> New Accessory Building	<input checked="" type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

Oana Herghelegiu
Owner of Property

1062 Valley Rd
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

(312)722-3852
Phone Number *Fax Number*

herghelegiuoana@gmail.com
Email Address


Owner's Signature

ARCHITECT/BUILDER INFORMATION

Oana Herghelegiu
Name and Title of Person Presenting Project

Shaped PLLC
Name of Firm

20 N Clark St, suite 3300
Street Address

Chicago, IL
City, State and Zip Code

(312)722-3852
Phone Number *Fax Number*

info@shaped.design
Email Address


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE

December 29th, 2023

Building Review Board
City of Lake Forest
Community Development Department
800 Field Dr.
Lake Forest, IL 60045

**RE: Statement of Intent
1062 Valley Rd., Lake Forest**

Dear Commissioners,

We respectfully submit the attached Building Review Board application and supporting documents for the partial demolition, interior and exterior remodeling, 1st-floor and 2nd-floor addition, and new 2 car garage for the existing single-family residence at 1062 Valley Rd.

After various design alternatives intended to meet our family's needs and with respect to the existing building and the existing site conditions, we've concluded our design intent with the interior and exterior modernization of the existing house and the extension of the existing livable area (1,517 SF, per zoning calcs), as follows:

- 1st-floor addition: convert the existing 1 car detached garage (attached for zoning purposes) into livable space and enclose the existing breezeway between the existing house and the garage (663 SF, per zoning calcs);
- 2nd floor addition over the existing garage, (435 SF, per zoning calcs);

The existing house was built in 1962 by architect Donald Scott Murray. The style of the existing house is Contemporary (commonly identified as mid-century) with simplicity of massing and detail. The existing house enhances the communication between interior and exterior spaces with large windows and offers a dynamic interior space with open cathedral ceilings.

The proposed project is centered on continuing the original design intent with an upgrade of expression that reflects current means and methods of construction. This concept is developed by working with both the interior and the exterior by: creating an open layout on 1st floor that allows unlimited views towards the exterior; visual openness between 1st-floor and 2nd-floor spaces; large windows, sliding glass doors, and skylights; covered and uncovered patios at grade level, and a 2nd-floor rooftop deck.

Well-known in the neighborhood, the previous owner cherished the existing vegetation on the site. Our family also has an extreme appreciation for the mature landscape on the lot; therefore, preserving and protecting the trees' roots is a priority for the proposed project. With this in mind, the 1st-floor new footprint follows the existing volumes' boundaries while the 2nd-floor extension is suspended on columns and isolated footings.

Since the existing 1 car garage is converted to livable space, a new vehicular accessory building is needed, therefore a 2 car garage with accessory storage at the rear of the property is proposed. The placement of the new garage and the new driveway is carefully coordinated with the existing trees location. The existing

driveway and the existing curb cut at the front of the property are proposed for removal and replacement with a paved walkway and sod area.

Being a corner lot property and creating a new curb cut from Marion Ave., change in the property address is an option. Still, with respect to the memory of the previous owner and architect, we'd like to maintain the property address as 1062 Valley Rd.

Walking down Valley Rd. or Marion Ave., it is observed that most of the houses have a principal body and side secondary volume, either composing an attached garage or a portion of the livable area.

In terms of mass hierarchy, the existing house is presented as the main body of the house through size, location of the main entrance, and front setback, while the new addition and the new garage are subordinated.

When analyzing the existing house volumes, the roof makes a powerful statement of expression with an asymmetric gabled roof with large overhangs, facing front and back, connecting to the garage through a flat roof, used by the owners as a rooftop deck. The covered front porch makes the main entrance easily identifiable, but it further extends the mass of the roof. The existing house 'body' is perceived as a rectangle, with symmetric gestures but asymmetric count and location for windows and doors. The wall/window area percentage varies, with almost complete openness towards the rear yard.

The proposed alteration of the existing building is meant to develop the original design further and address a couple of identified inconveniences.

1. Due to damaged exterior roofing material and partial damage at the interior roof boards, the existing roof assembly is proposed for replacement over the existing structure (same shape and location). A new roof assembly allows for adequate roof insulation and compliance with the current energy requirements. The large roof overhangs are reduced throughout to allow additional interior natural light and to limit the exterior façade shadow area. As part of the existing architectural style, the existing exposed roof beams are further maintained and highlighted in the building composition. The roof extension over the existing front porch is proposed for replacement with a detached flat-roofed canopy, same elevation as the existing. This change reduces the roof mass perceived from the street and provides a more rectangular roof shape.
2. The appearance of the existing house mass is reduced by enlarging the window area throughout. All the existing windows and doors are proposed for replacement with new energy-efficient, tempered, and/or laminated options. Most of the new windows and doors closely follow the shape and the location of the existing ones. In contrast, three large round windows are integrated as an unexpected element, comprising a leitmotif in our architectural work.
3. The existing finish materials (wood siding, wood boards, wood window frames and trims, asphalt shingles) are proposed for replacement with non-porous, contemporary materials like aluminum (roofing, trims, windows, doors), cement board siding and composite slat boards (exterior walls). The proposed materials combine with the house shape and design to make an up-to-date statement of a 'contemporary style'.

The proposed additions are sought to follow the existing house interior 'flow' and exterior expression. While the 1st-floor addition is almost camouflaged within the existing volumes, the 2nd-floor addition volume turns perpendicular to the existing house to align longitudinally with the side setback and face Marion Ave. The perspective towards the house is balanced to show similar massing from both streets and creates a clear definition of the interior courtyard with southern sun exposure. The new addition's roof is single-sloped

(slope pitch is 1/3 of the primary roof slope), with the smallest elevation height oriented towards the neighbor's house at North.

The new house is compatible with the adjacent buildings and surrounding area in scale and proportions.

STANDARDS FOR ARCHITECTURAL AND SITE DESIGN REVIEW

1. Site Plan:

The principal building and the 1 car garage are existing non-conforming. The existing building encroaches 19'-4" into the required 40'-0" corner lot setback, and the existing garage encroaches 1'-10" into the 12'-0" required setback. Please see the existing and proposed site plan drawings for reference.

The proposed alterations on the existing building do not further increase the extent of the non-conformity, but replacing the existing roof with a new roof assembly will require zoning relief.

The existing non-conforming garage is proposed for conversion into livable space, and a portion of the existing exterior North wall will be extended to allow 8'-0" interior ceiling height. Please see the demolition and the proposed North elevations. A zoning variance for this matter is also sought.

The proposed 1st-floor and 2nd-floor additions and the new 2 car garage are compliant with the required setbacks, except the 2nd floor & garage 1'-0" roof overhang at North which require a zoning relief.

2. Elevations:

The proposed buildings' scale and height comply with the bulk requirements.

The 2nd-floor addition roof elevation matches the existing roof elevation. The roof is sloped towards the neighbor's property to visually reduce the volume height and allow additional southern light to their building.

The proposed additions are consistent with the existing building style and massing, and integrate with the surrounding buildings in the neighborhood. The neighborhood consists of a variety of home styles. The older homes present a smaller mass, while the newer homes are larger. In the proximity, a few Contemporary Style houses were identified (photos added with the package). The volumes of these houses and the general massing are consistent to the proposed design.

3. Landscaping:

The entire project concept is based on preserving the existing landscape on the property. As previously mentioned, the new volumes are carefully located on the lot, on isolated footings, to protect the roots of the existing trees and maintain the existing vegetation. Any excavation (for continuous foundations or underground electrical service) was disregarded in the project development.

The new driveway is proposed as a pervious gravel area and the 2 car garage is integrated into the existing landscape and grading. To accommodate the new site improvements, one tree is proposed for removal and

replacement per code. The existing dead trees are proposed for removal and replacement per code. Please see the proposed site plan for details.

4. Type, Color, and Texture of Materials:

The proposed building materials are consistent with the Contemporary Style, chosen in a neutral color palette: dark gray for all aluminum applications (new roofing, flashing, gutters & downspouts, window frames), gray Hardie board siding, and white oak composite slats siding at exterior walls. All the proposed materials shall have a smooth, non-porous finish to avoid organic buildup and staining from the existing trees and be easy to clean.

5. Overall Site Layout:

Due to the lot orientation and the corner lot condition, the allowable buildable area is comprised by a 39' wide strip at the northern side of the lot.

The existing yard is planned around a landscape void in the center of the lot, where summer and winter sun creates the perfect outdoor space.


After a careful review of the site, it was clear that the re-use of the existing 1 car garage structure would be beneficial for the project. This approach maintains the proximity between the 1st floor volume and the North Neighbor building.

The proposed 2nd-floor addition and the new garage are aligned to the North side setback, to allow a defined interior courtyard area at South. The North side neighbor building is located at approx. 19' from the property line at the west corner, and approx. 33' at the east corner. The minimum distance between the neighbor's building and the proposed 2nd-floor addition is 32'-6".

The proposed addition does not impact the neighbor's natural light, ventilation, or privacy.

Thank you in advance for considering our application.
We look forward to hearing the Board's feedback.

Sincerely,



Oana Herghelegiu and Andrei Tofan



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other <u>HARDIE CEMENT SIDING; COMPOSITE SLAT BOARDS</u> |

Color of Material HARDIE: GRAY
COMPOSITE SLAT BOARDS: WHITE OAK

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other FIXED

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____
Color of Finish DARK GRAY

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____
 Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material (EXISTING)

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal ALUMINUM
- Other _____

Flashing Material

- Copper
- Sheet Metal ALUMINUM
- Other _____

Color of Material DARK GRAY

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other PERVIOUS GRAVEL

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other COMPOSITE DECKING OVER CONCRETE SLAB

PROPOSED PROJECT SCOPE:

- 2ND FLOOR FRAME ADDITION OVER EXISTING DETACHED GARAGE (ATTACHED FOR ZONING PURPOSES) FOR NEW MASTER SUITE.
- 1ST FLOOR FRAME ADDITION TO CONNECT EXISTING LIVING AREA TO EXISTING GARAGE. CONVERT EXISTING GARAGE TO HABITABLE SPACE.
- NEW 2 CAR DETACHED GARAGE WITH NEW VEHICULAR ACCESS AT SIDE STREET (REMOVE EXISTING DRIVEWAY AT FRONT).
- INTERIOR REMODELING WITH MEP AS PER PLANS.
- EXTERIOR ALTERATIONS TO INCLUDE: NEW ROOF ASSEMBLY AND OVER EXISTING HOUSE (EXISTING STRUCTURAL BEAMS TO REMAIN. REDUCE EXISTING OVERHANGS THROUGHOUT, REPLACE EXISTING ROOF ABOVE FRONT PORCH WITH NEW DETACHED CANOPY);
- REMOVE EXISTING CEDAR BOARD SIDING AND REPLACE WITH NEW HARDIE BOARD SIDING AND COMPOSITE WOOD SLATS PANELS;
- REMOVE EXISTING WINDOWS AND DOORS AND REPLACE WITH NEW;

**EXISTING FRONT VIEW**

EXISTING STYLE: CONTEMPORARY

**PROPOSED FRONT VIEW**

PROPOSED STYLE: CONTEMPORARY

1062 VALLEY RD, LAKE FOREST
ILLINOIS 60045

BUILDING REVIEW BOARD APPLICATION





PROPOSED REAR OUTDOOR SPACE



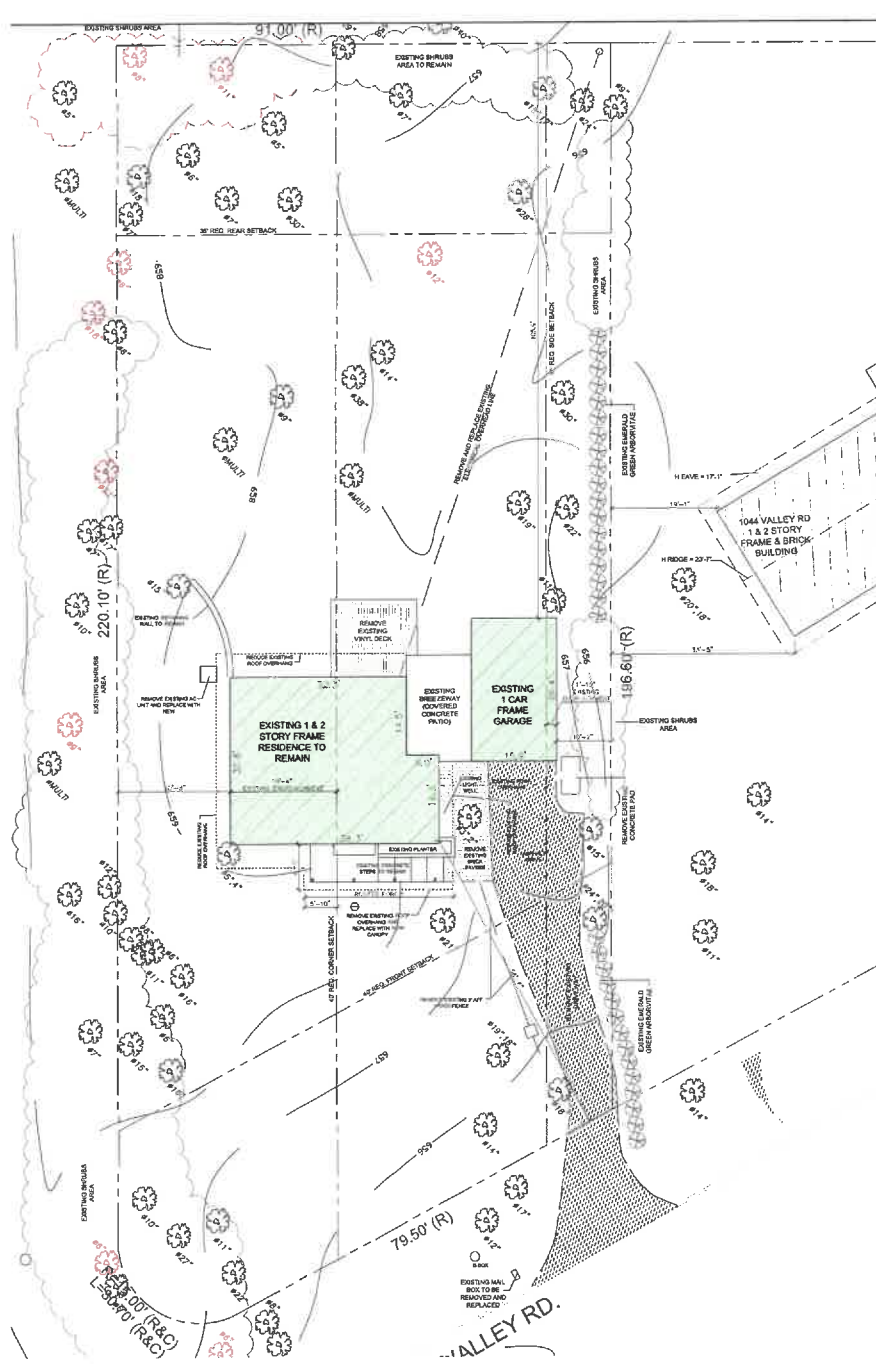
PROPOSED BREEZEWAY ENCLOSURE

PROPOSED SITE PLAN AERIAL VIEW



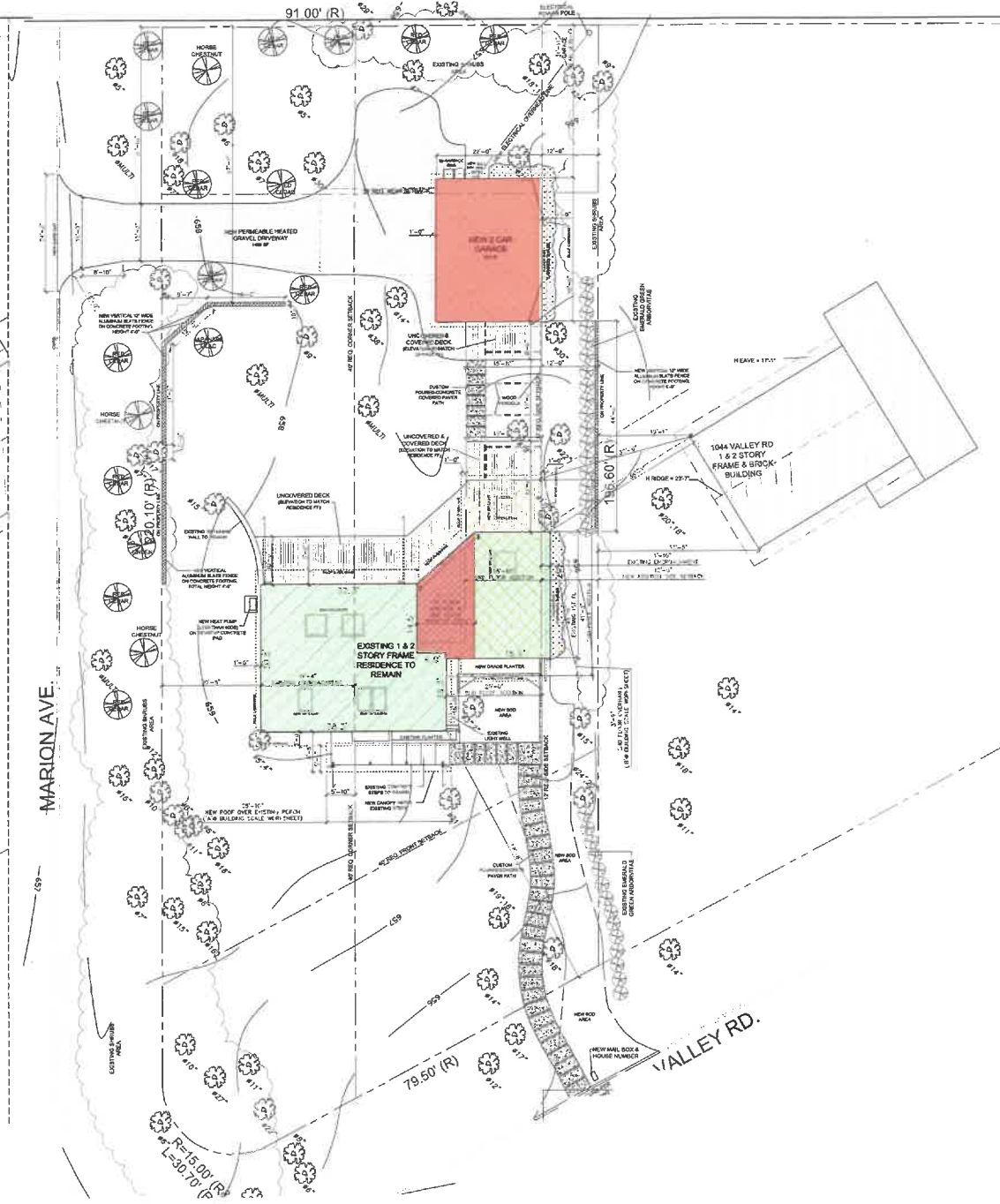
PROPOSED PROJECT SCOPE: SITE PLAN

EXISTING SITE PLAN DIAGRAM



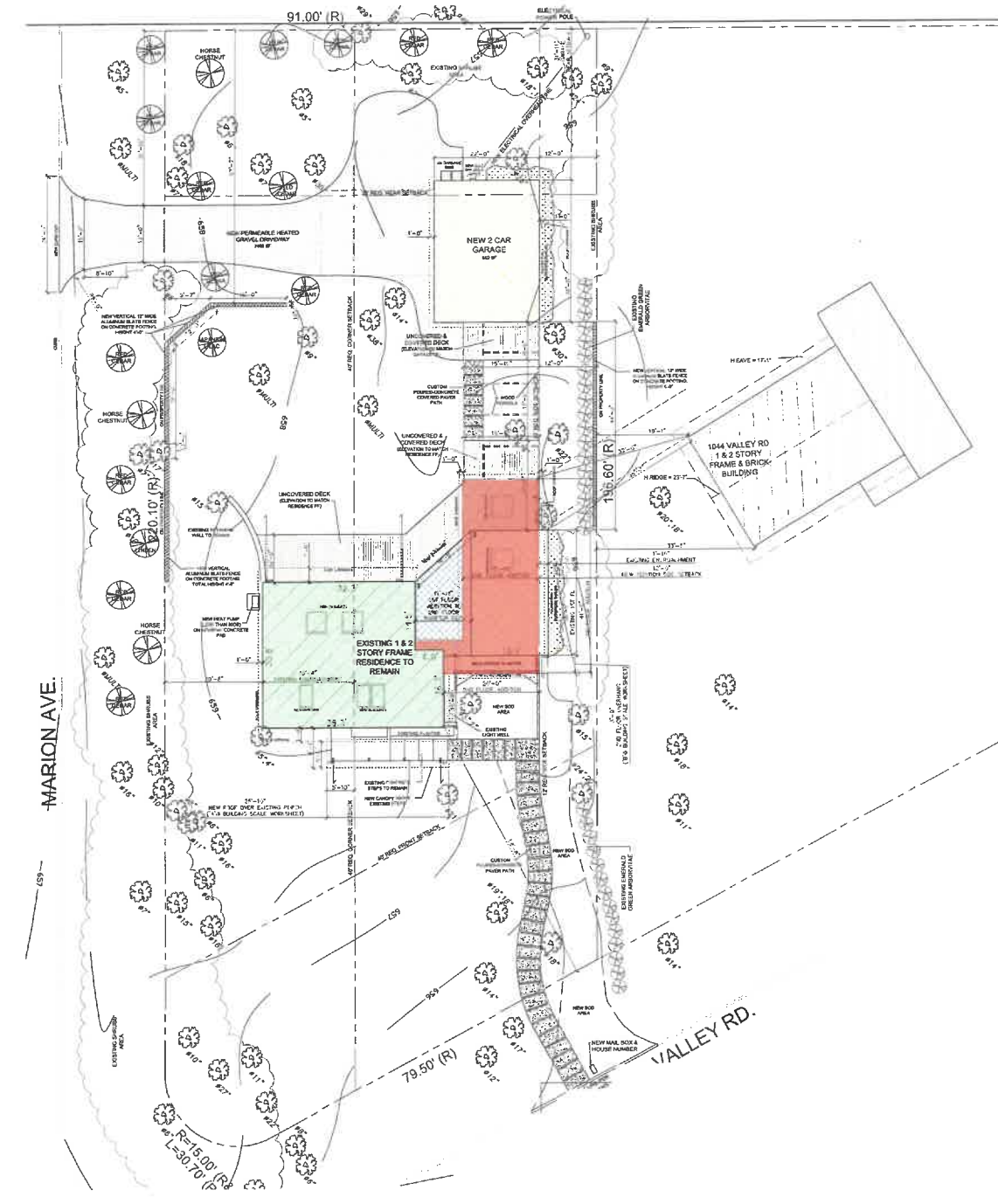
PROPOSED SITE PLAN DIAGRAM

1ST FLOOR



PROPOSED SITE PLAN DIAGRAM

2ND FLOOR



EXISTING BUILDING TO REMAIN



1ST FLOOR ADDITION/ NEW CONSTRUCTION



EXISTING 1ST FLOOR



2ND FLOOR ADDITION

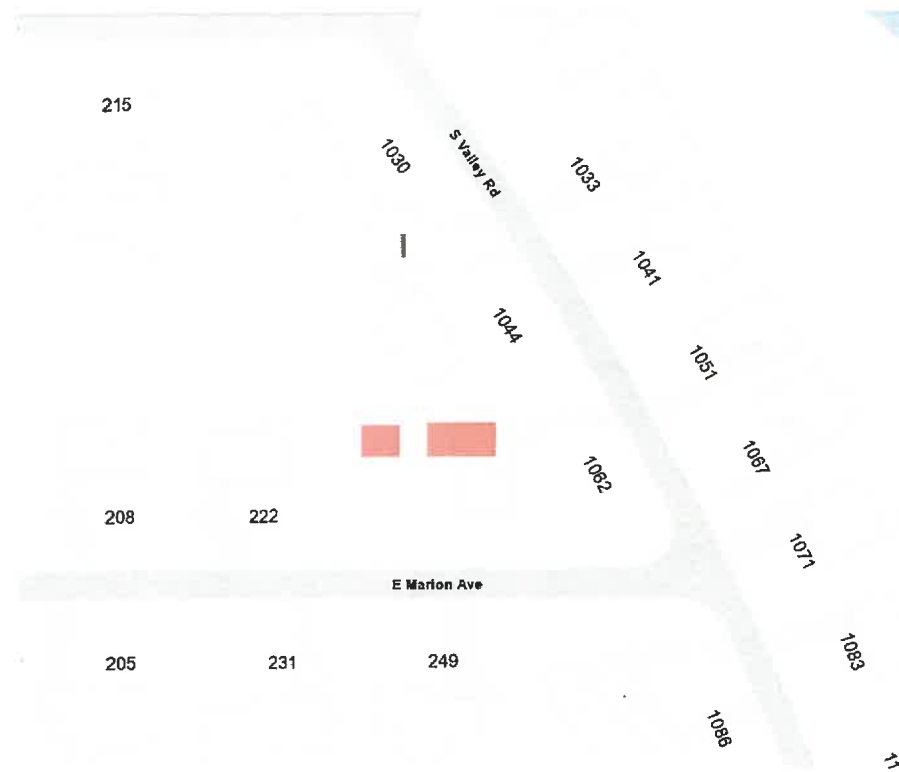


EXISTING 2ND FLOOR



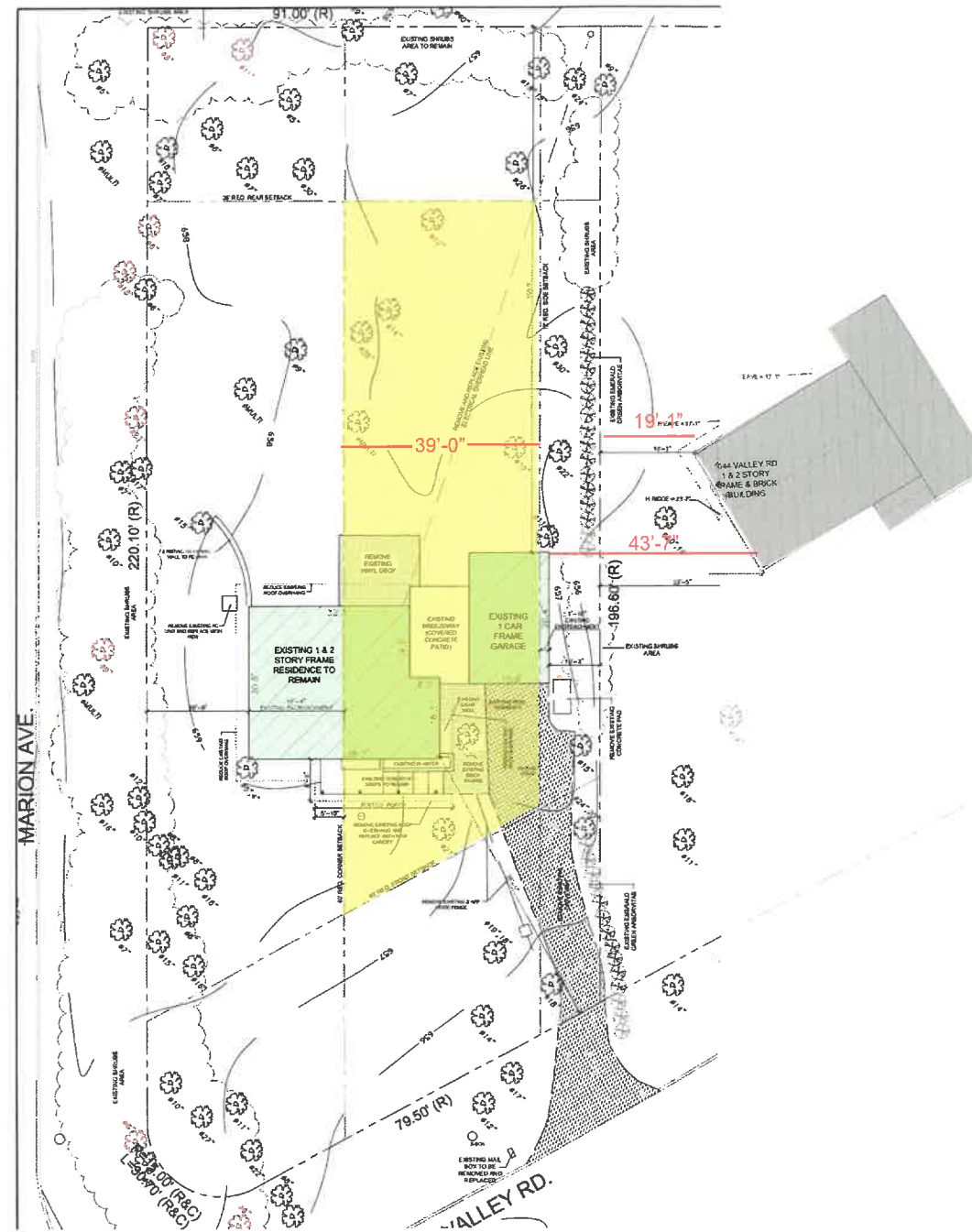
OVERALL SITE LAYOUT

PROPOSED BUILDING & NEIGHBORS' BUILDINGS RELATIONSHIP

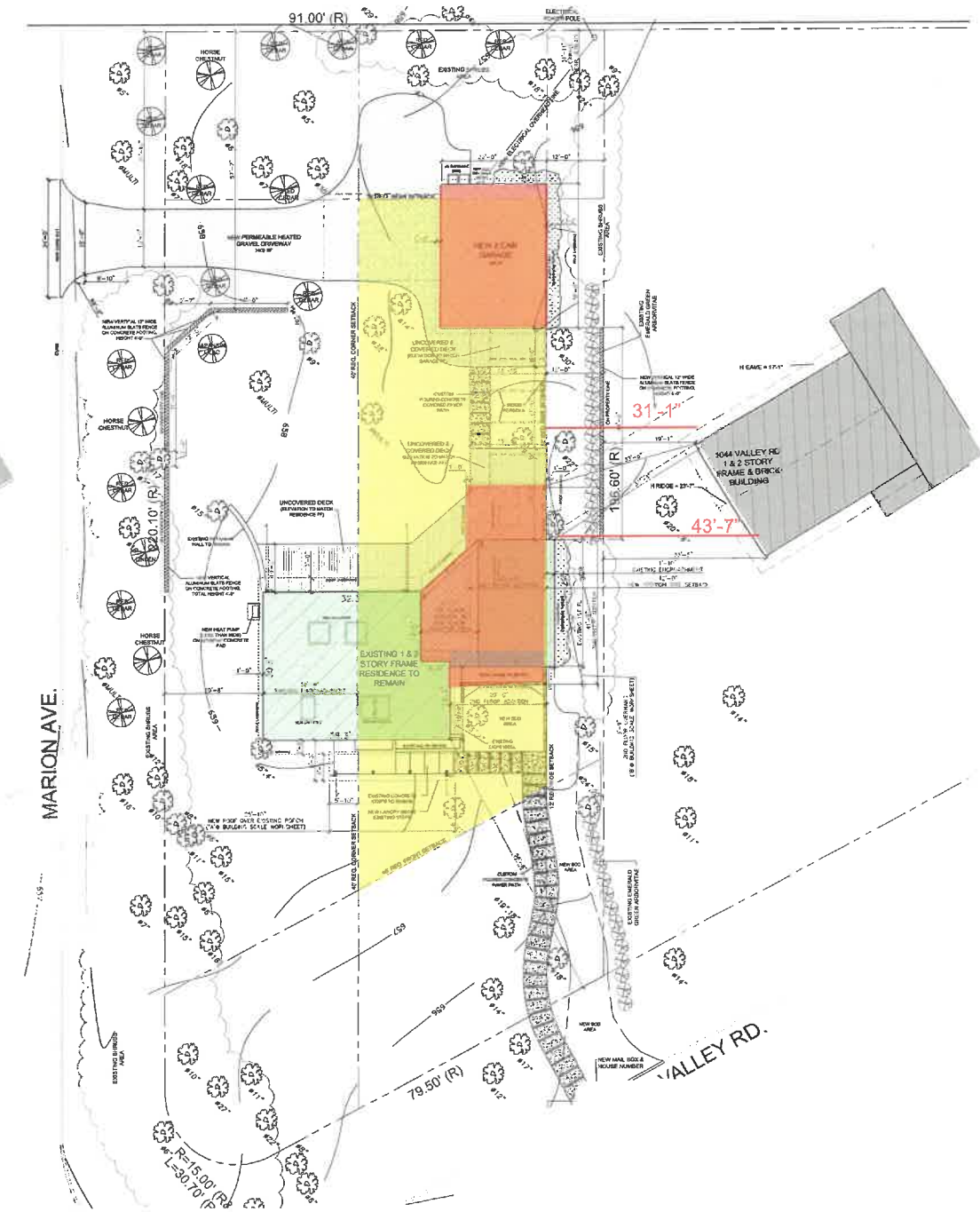


PROPOSED ADDITION & NEW GARAGE ZONING MAP

EXISTING BUILDING & NORTH NEIGHBOR BUILDING



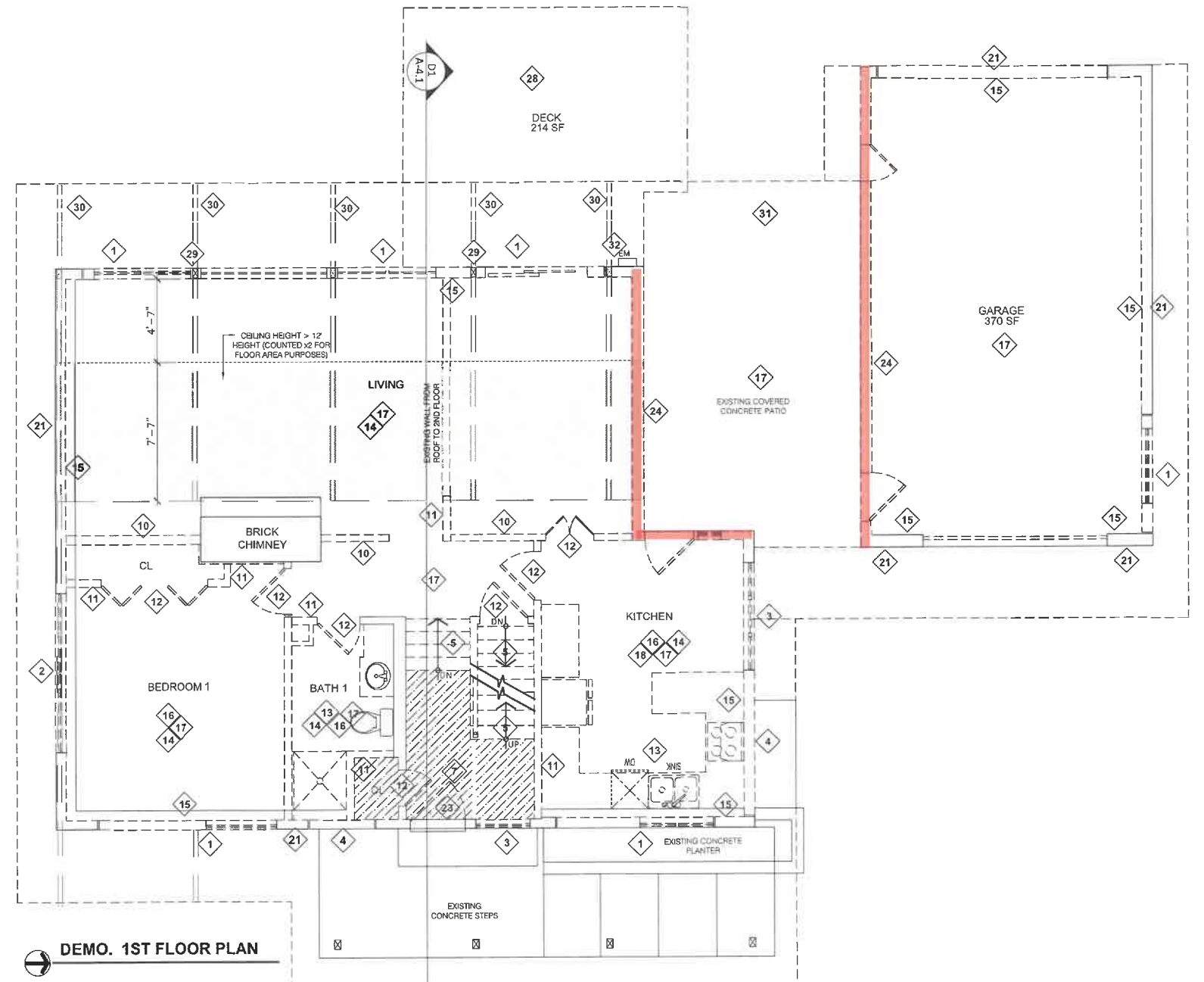
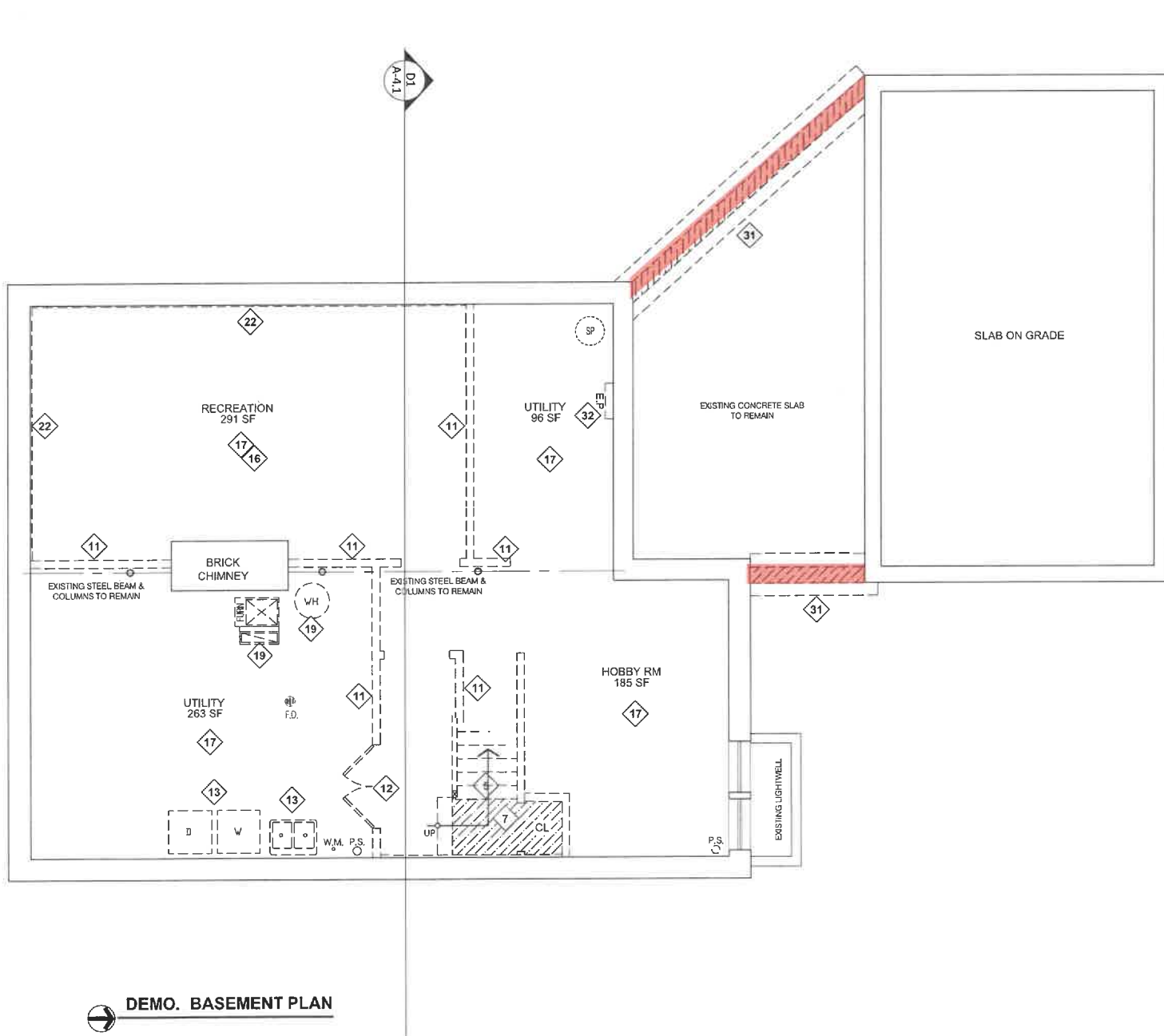
PROPOSED BUILDING & NORTH NEIGHBOR BUILDING



ALLOWABLE BUILDABLE AREA
 EXISTING BUILDING

ALLOWABLE BUILDABLE AREA
 1ST FLOOR & 2ND FLOOR ADDITION
 EXISTING BUILDING

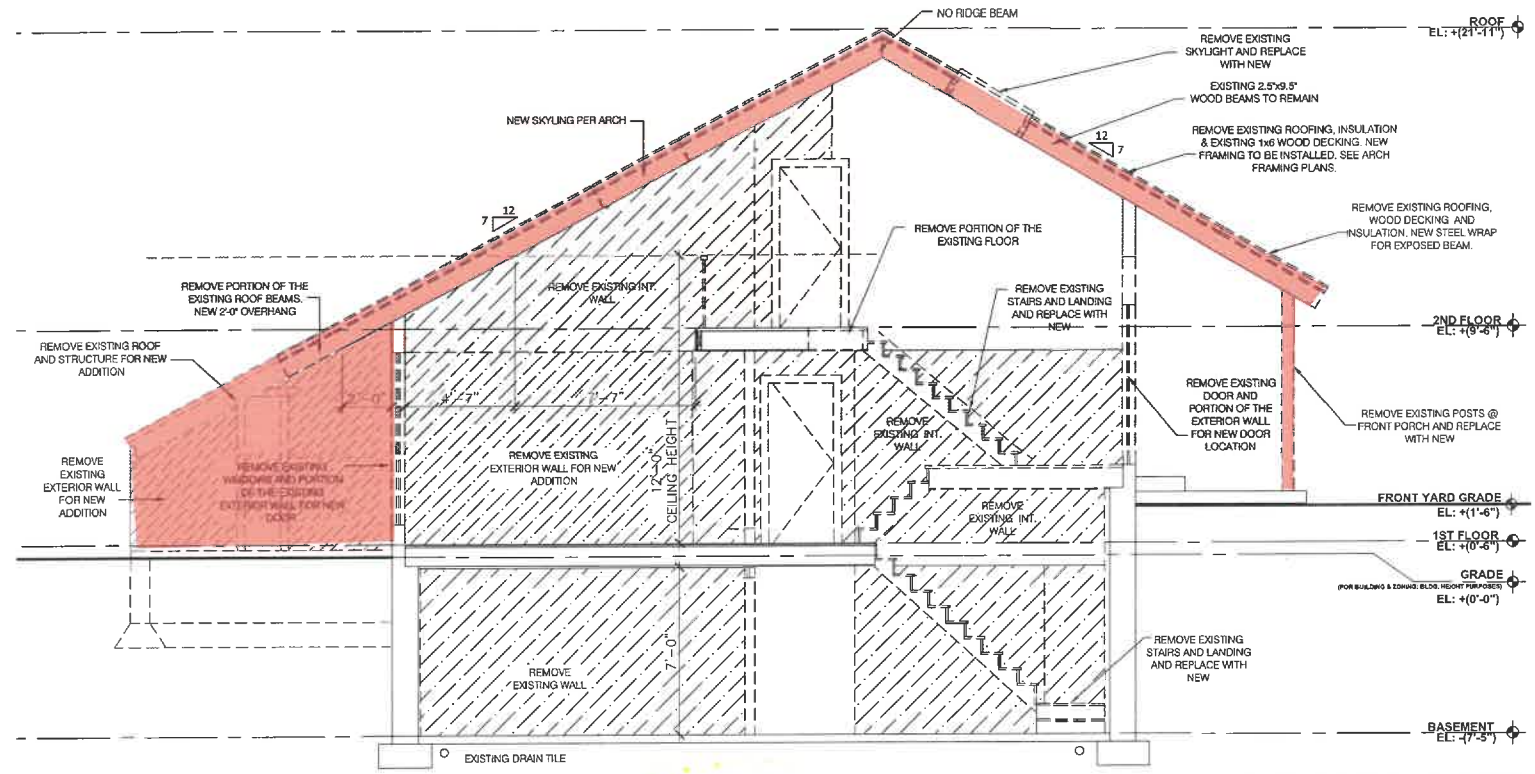
PROPOSED PROJECT SCOPE: DEMOLITION PLANS



DEMOLITION FOR
NEW ADDITION

DEMOLITION FOR
NEW ADDITION

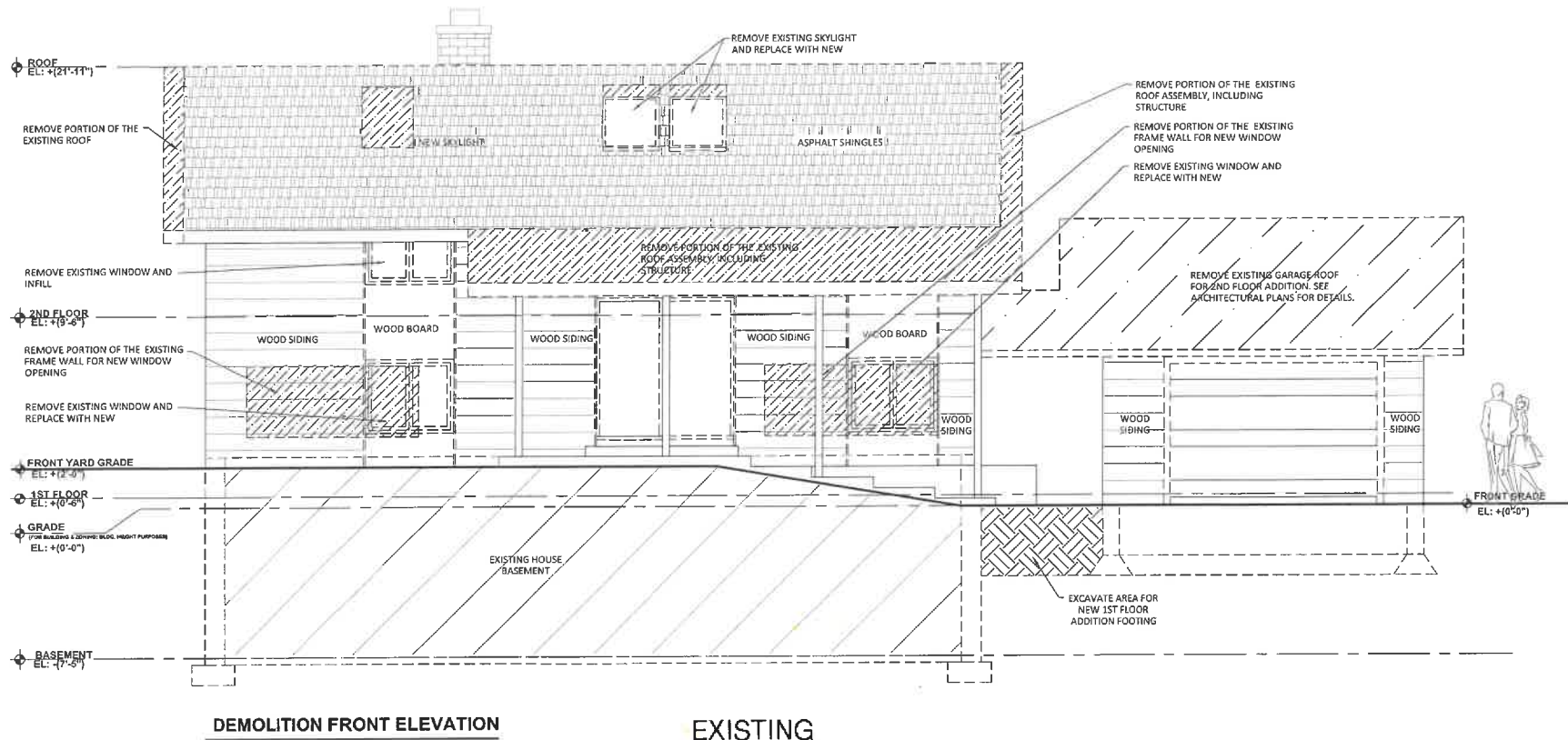
PROPOSED PROJECT SCOPE: DEMOLITION SECTION



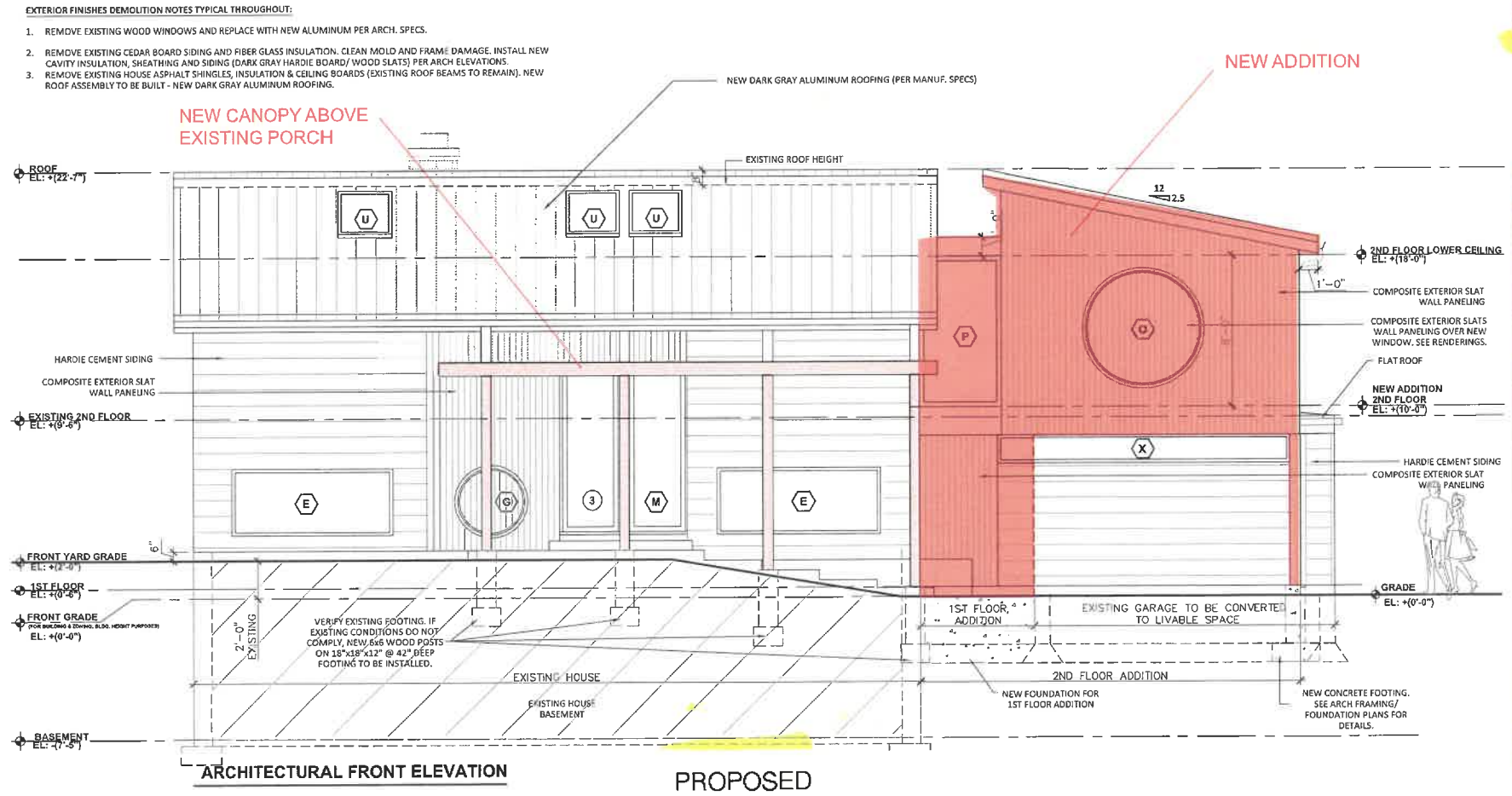
DEMOLITION BUILDING SECTION

1/4" = 1'-0"

**ELEVATIONS:
FRONT FACADE**

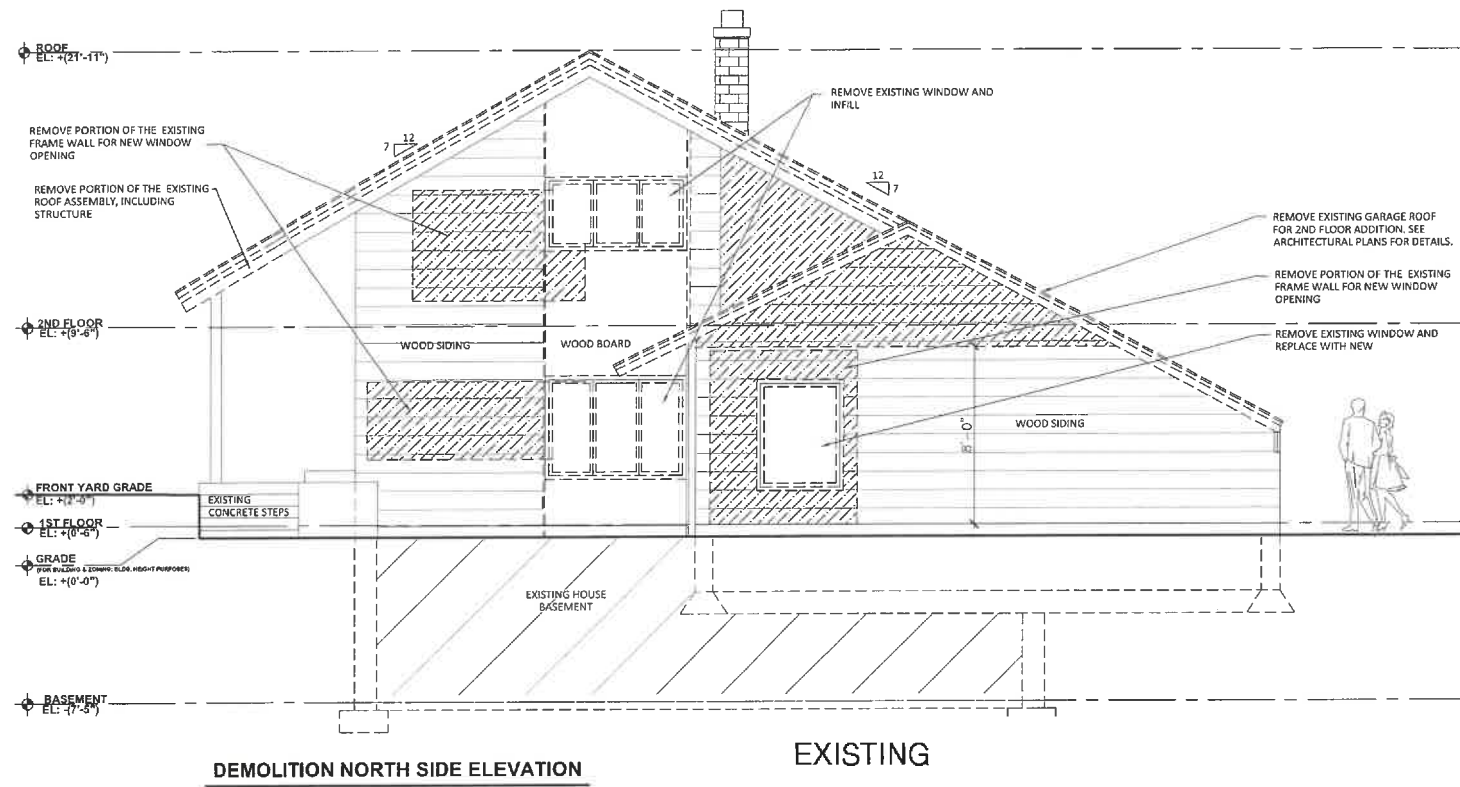


EXISTING FRONT VIEW



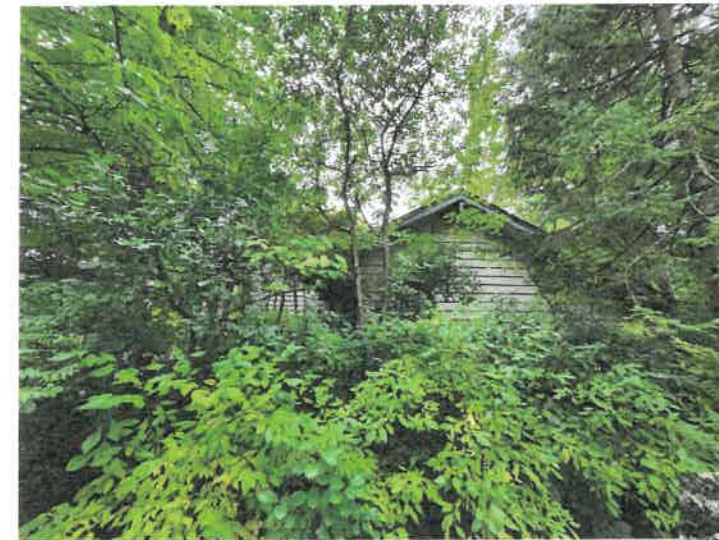
PROPOSED FRONT VIEW

ELEVATIONS:
NORTH SIDE FACADE



EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:

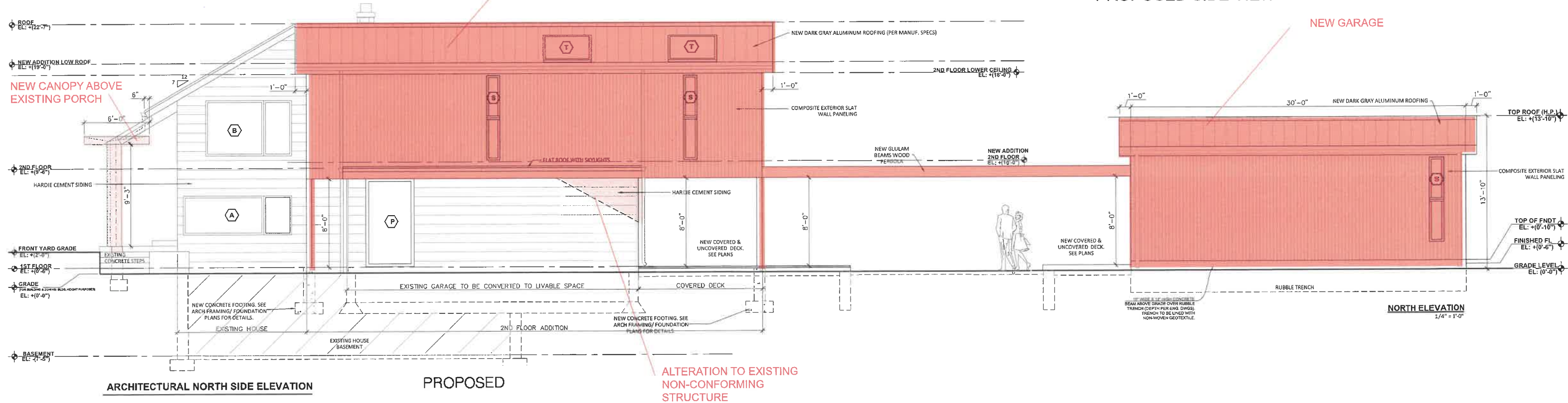
1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
3. REMOVE EXISTING HOUSE ASPHALT SHINGLES, INSULATION & CEILING BOARDS (EXISTING ROOF BEAMS TO REMAIN). NEW ROOF ASSEMBLY TO BE BUILT - NEW DARK GRAY ALUMINUM ROOFING.



EXISTING SIDE VIEW

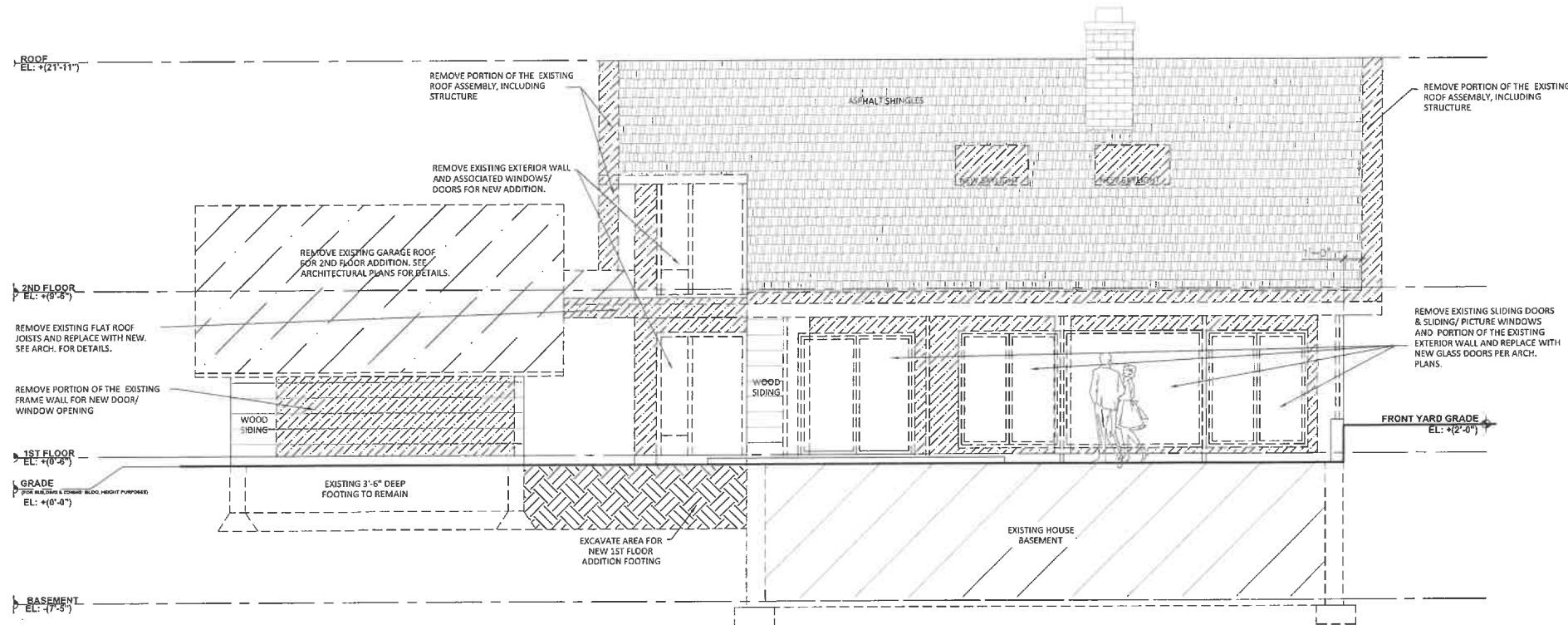


PROPOSED SIDE VIEW



ALTERATION TO EXISTING NON-CONFORMING STRUCTURE

**ELEVATIONS:
REAR FACADE**



DEMOLITION REAR ELEVATION

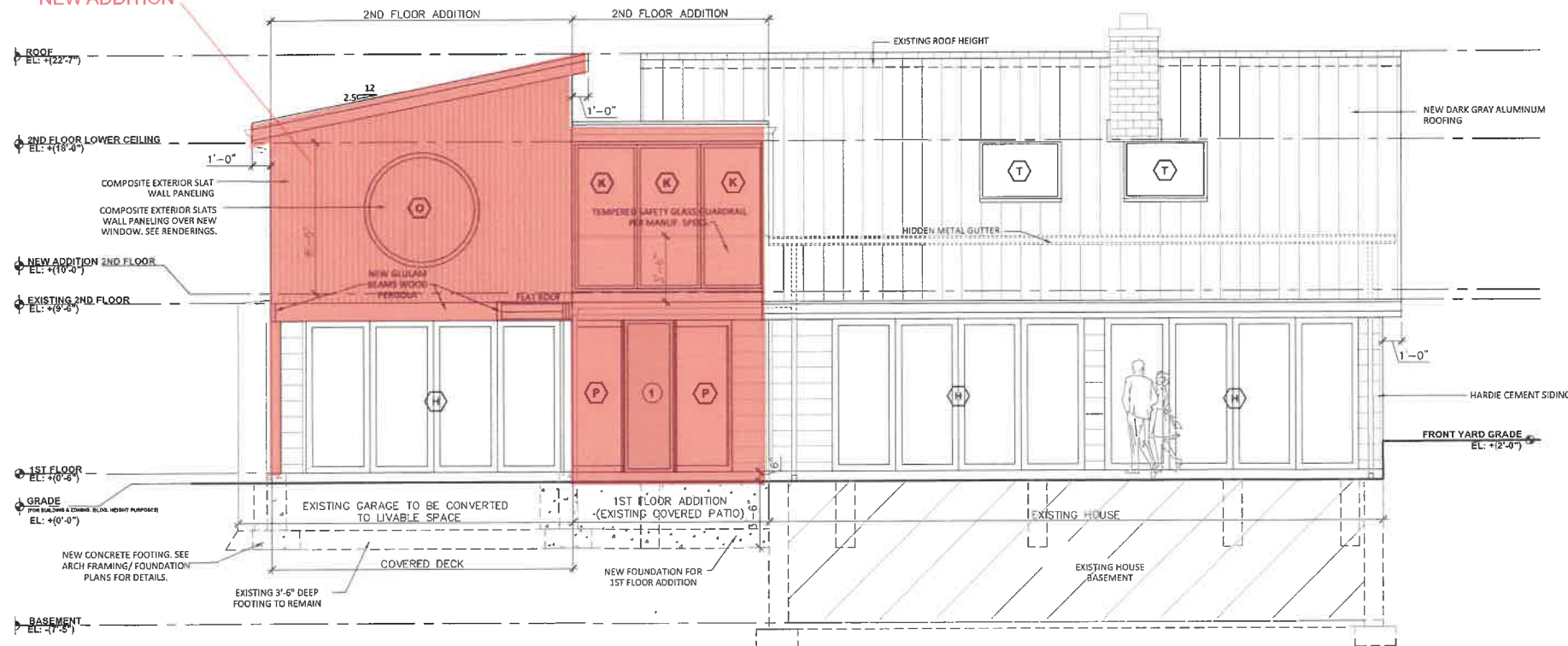
1/4" = 1'-0"

EXISTING

EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:

1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
3. REMOVE EXISTING HOUSE ASPHALT SHINGLES, INSULATION & CEILING BOARDS (EXISTING ROOF BEAMS TO REMAIN). NEW ROOF ASSEMBLY TO BE BUILT - NEW DARK GRAY ALUMINUM ROOFING.

NEW ADDITION



ARCHITECTURAL REAR ELEVATION

1/4" = 1'-0"

PROPOSED



EXISTING REAR VIEW



PROPOSED REAR VIEW

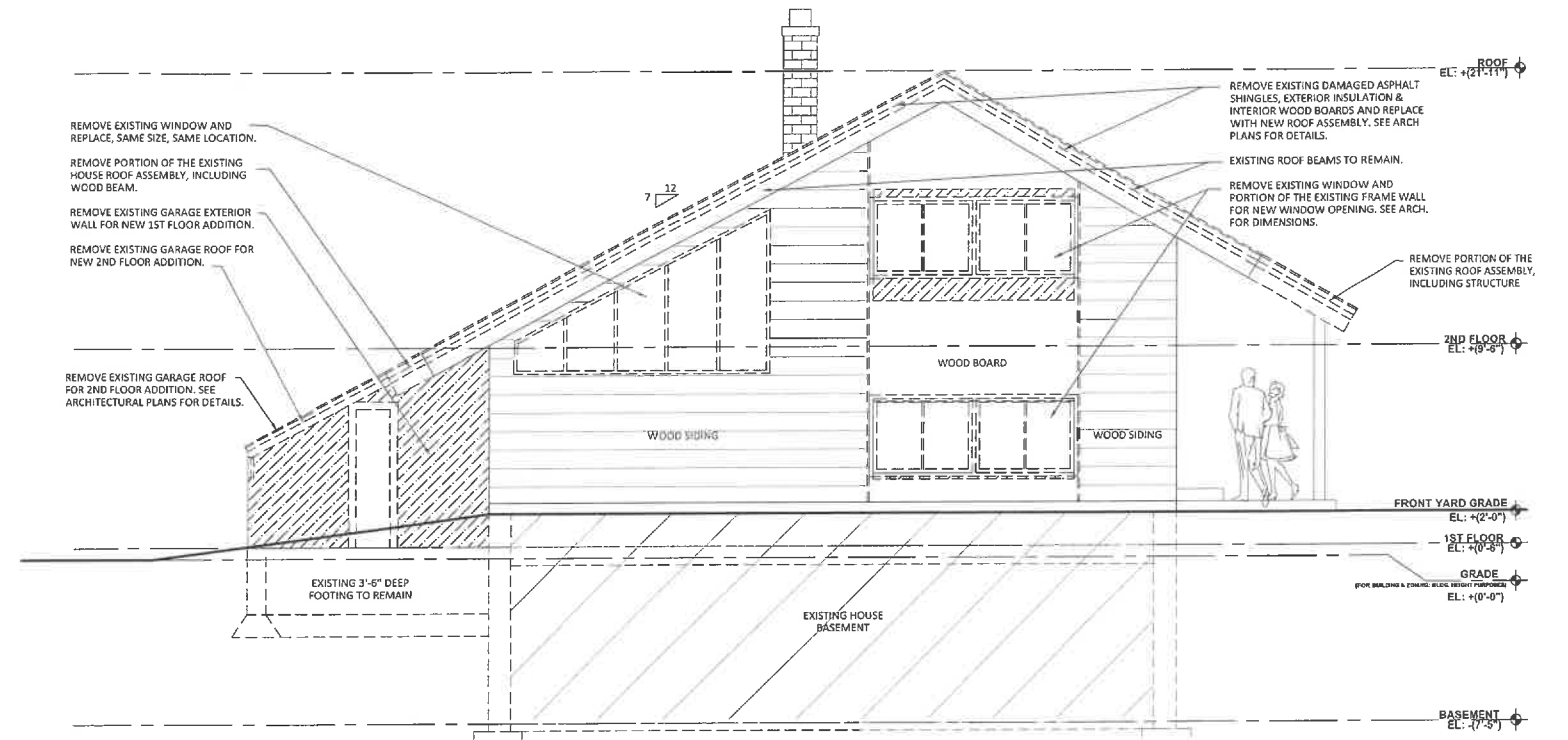
ELEVATIONS:
SOUTH SIDE FACADE



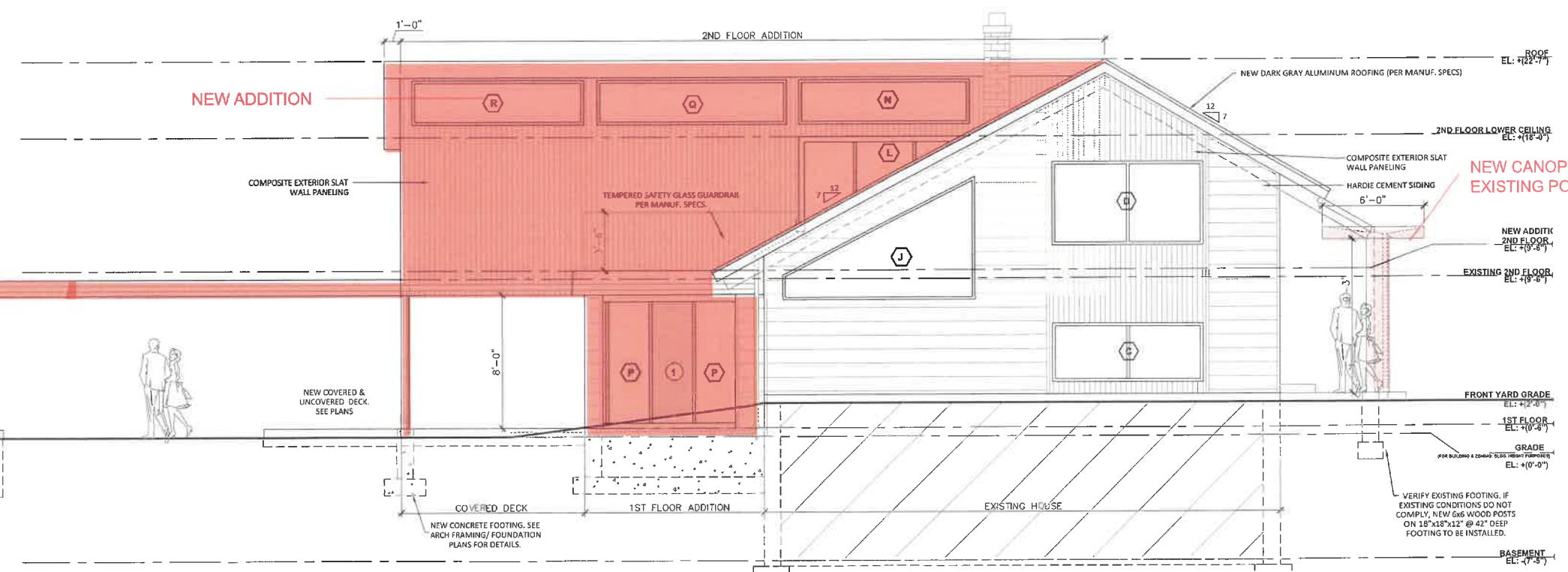
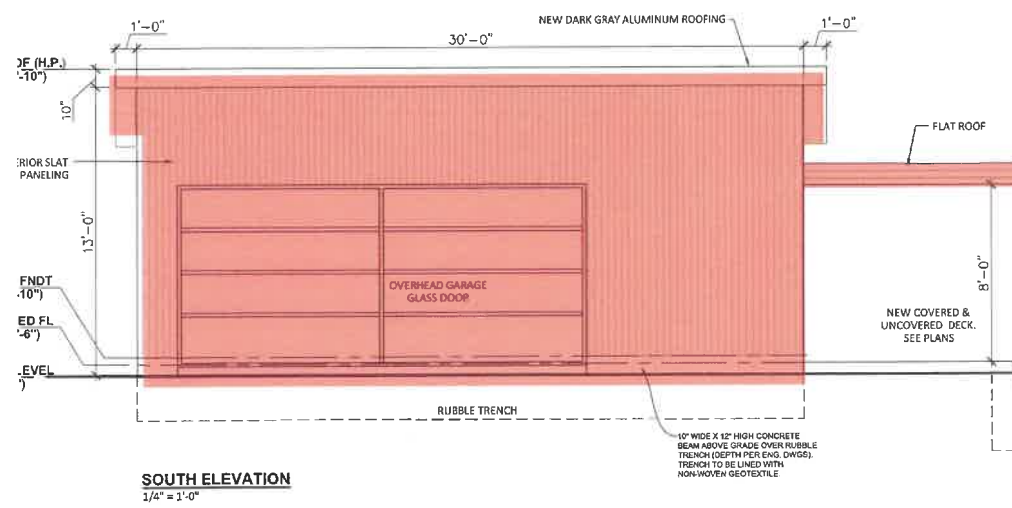
EXISTING SIDE VIEW



PROPOSED SIDE VIEW



- EXTERIOR FINISHES DEMOLITION NOTES TYPICAL THROUGHOUT:**
1. REMOVE EXISTING WOOD WINDOWS AND REPLACE WITH NEW ALUMINUM PER ARCH. SPECS.
 2. REMOVE EXISTING CEDAR BOARD SIDING AND FIBER GLASS INSULATION. CLEAN MOLD AND FRAME DAMAGE. INSTALL NEW CAVITY INSULATION, SHEATHING AND SIDING (DARK GRAY HARDIE BOARD/ WOOD SLATS) PER ARCH ELEVATIONS.
 3. REMOVE EXISTING HOUSE ASPHALT SHINGLES, INSULATION & CEILING BOARDS (EXISTING ROOF BEAMS TO REMAIN). NEW ROOF ASSEMBLY TO BE BUILT - NEW DARK GRAY ALUMINUM ROOFING.



PROPOSED MATERIALS

EXTERIOR WALLS



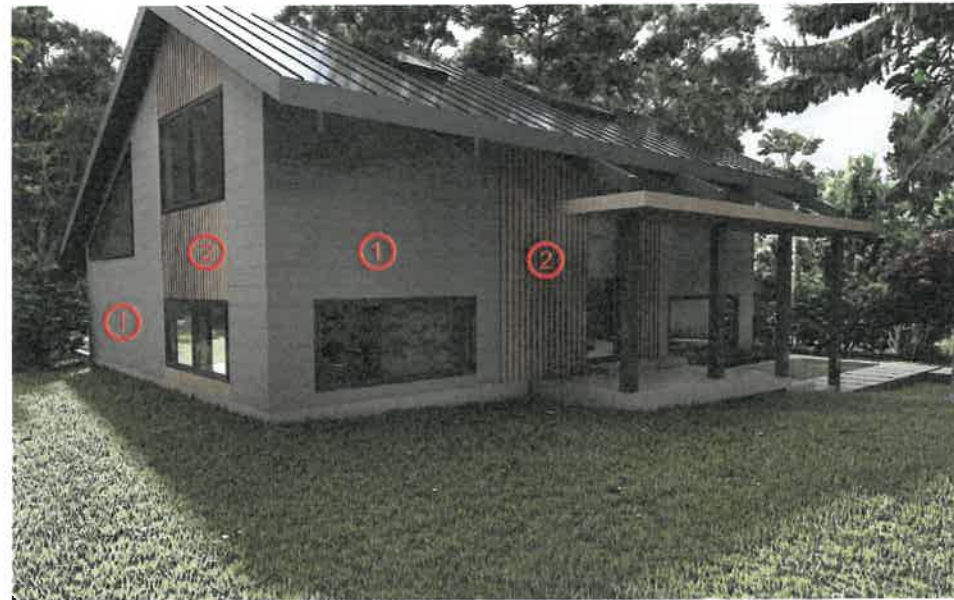
FRONT VIEW



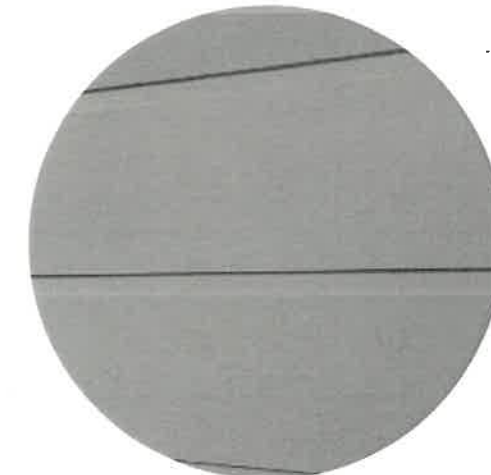
REAR VIEW



SIDE VIEW



SIDE VIEW



①
HARDIE FIBER CEMENT
ARTISAN SHIPLAP SIDING
COLOR: GRAY
BOARD WIDTH: 10.25"
EXPOSURE: 9"



②
EUROPEAN COMPOSITE
SIDING SYSTEM
COLOR: WHITE OAK
PROFILE TEXTURE: 7.7"x1.0"

PROPOSED MATERIALS

ROOFING



AERIAL SIDE VIEW



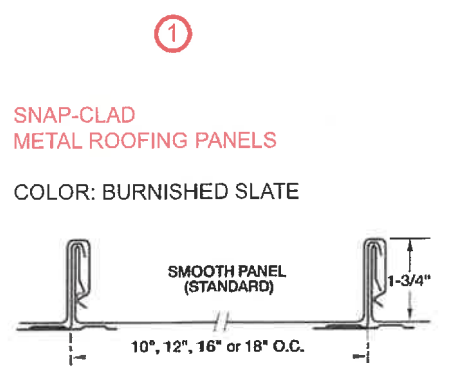
FRONT VIEW



INTERIOR YARD VIEW

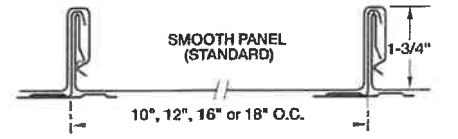


SIDE VIEW



SNAP-CLAD METAL ROOFING PANELS

COLOR: BURNISHED SLATE



PROPOSED MATERIALS

EXTERIOR SOFFITS & DECKS



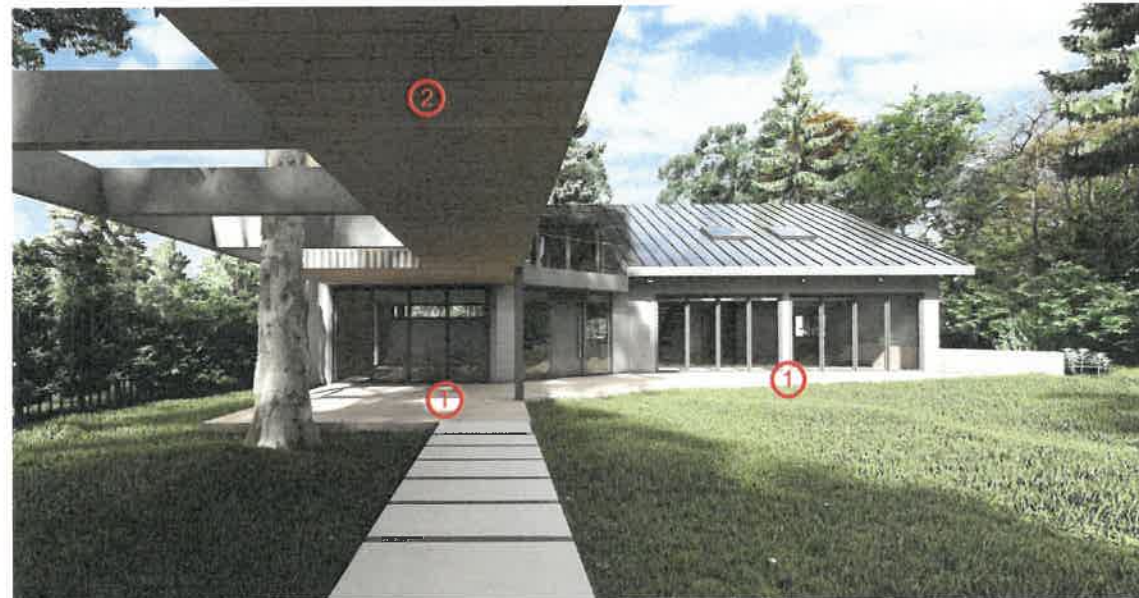
INTERIOR YARD VIEW



INTERIOR YARD VIEW



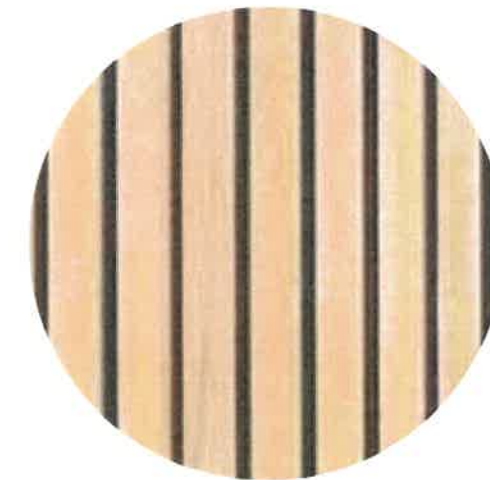
PERGOLA VIEW



COVERED WALKWAY



①
COMPOSITE DECKING
COLOR: WHITE OAK



②
SOFFIT: WOOD
COLOR: WHITE OAK

PROPOSED MATERIALS

WINDOWS & DOORS

WINDOW SCHEDULE					SYMBOL: 
MARK	WIDTH	HEIGHT	LIGHT SQ FT	VENT SQ FT	NOTE
A	9'-8"	3'-6"	29.55	7.77	84" WIDE PICTURE & 30" WIDE CASEMENT WINDOW TEMPERED SAFETY GLASS
B	7'-8"	5'-0"	34.22	11.27	60" WIDE PICTURE & 30" WIDE CASEMENT WINDOW TEMPERED SAFETY GLASS
C	8'-6"	3'-6"	25.86	12.93	SLIDING WINDOW (2 PANELS) - TEMPERED SAFETY GLASS
D	8'-6"	5'-0"	35.77	17.88	SLIDING WINDOW (2 PANELS) - TEMPERED SAFETY GLASS
E	8'-6"	3'-6"	24.27	-	PICTURE WINDOW - TEMPERED SAFETY GLASS
F	2'-8"	2'-0"	3.88	3.88	CASEMENT
G	3'-6"	3'-6"	10.02	-	CIRCULAR PICTURE WINDOW- TEMPERED SAFETY GLASS
H	13'-4"	8'-0"	93.27	93.27	(4) SWING / SLIDING PANORAMIC DOORS. 36 INCHES EACH DOOR. TEMPERED SAFETY GLASS
I	3'-4"	8'-0"	23.00	-	PICTURE WINDOW - TEMPERED SAFETY GLASS
J	11'-0"	7'-0" / 1'-3"	39.11	-	PICTURE WINDOW - TEMPERED SAFETY GLASS LAMINATED
K	3'-6"	8'-0"	24.37	-	PICTURE WINDOW TEMPERED SAFETY GLASS
L	10'-6"	8'-0"	75.38	25.12	SLIDING GLASS DOOR WITH SIDE PICTURE WINDOWS SAFETY GLASS LAMINATED
M	3'-0"	9'-0"	23.11	-	PICTURE WINDOW - SAFETY GLASS LAMINATED
N	10'-6"	2'-6"	27.11	-	TRANSOM PICTURE WINDOW - TEMPERED SAFETY GLASS
O	6'-0"	6'-0"	32.11	-	CIRCULAR PICTURE WINDOW - TEMPERED SAFETY GLASS
P	4'-0"	8'-0"	28.11	-	PICTURE WINDOW - TEMPERED SAFETY GLASS
Q	11'-0"	2'-6"	23.11	-	TRANSOM PICTURE WINDOW - TEMPERED SAFETY GLASS
R	10'-4"	2'-6"	21.66	-	TRANSOM PICTURE WINDOW - TEMPERED SAFETY GLASS
S	1'-6"	8'-0"	6.16	3.08	DOUBLE HUNG - TEMPERED SAFETY GLASS
T	4'-0"	4'-0"	13.44	-	FIXED SKYLIGHT - SAFETY GLASS LAMINATED
U	2'-6"	4'-6"	9.02	-	FIXED SKYLIGHT - SAFETY GLASS LAMINATED
V	1'-0"	12'-3"	9.02	-	FIXED SKYLIGHT - SAFETY GLASS LAMINATED
X	15'-0"	1'-6"	17.11	-	TRANSOM PICTURE WINDOW - TEMPERED SAFETY GLASS

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR	FRAME	NOTE
1	4'-0"	8'-0"	SC/M	AL	PIVOT DOOR W/ WEATHER STRIP & CLOSER, 1 3/4" SOLID CORE
2	3'-4"	8'-0"	GLASS	AL	GLASS SLIDING DOOR W/ WEATHER STRIP & CLOSER, TEMPERED SAFETY GLASS
3	3'-0"	9'-0"	GLASS	AL	FRONT ENTRANCE W/ WEATHER STRIP & CLOSER, TEMPERED SAFETY GLASS
4	4'-0"	8'-0"	GLASS	AL	M BEDROOM - PIVOT DOOR W/ PRIVACY HARDWARE, TEMPERED SAFETY GLASS
5	3'-6"	6'-8"	GLASS	AL	BEDROOM 2 - PIVOT DOOR W/ PRIVACY HARDWARE, TEMPERED SAFETY GLASS
6	5'-0"	6'-8"	GLASS	AL	M BATH - DOUBLE POCKET DOOR
7	2'-4"	6'-8"	GLASS	AL	BATH 2 - TEMPERED SAFETY GLASS SLIDING DOOR
8	9'-0"	6'-8"	HC/WD	WD	CL - TRIPLE PANEL SLIDING DOOR
9	2'-6"	8'-0"	HC/WD	WD	BATH 3 - W/ PRIVACY HARDWARE
10	4'-0"	8'-0"	HC/WD	WD	CL - BARN DOOR
11	2'-8"	6'-8"	GLASS	AL	BASEMENT ACCESS DOOR, TEMPERED SAFETY GLASS
12	2'-8"	6'-8"	SC/WD	WD	UTILITY DOOR 1 3/4" SOLID CORE, 1HR FIRE RATED, SELF CLOSING DEVICE & FIRE-RATED ADJUSTABLE Z-BLADE FUSIBLE LINK LOUVER



WINDOWS/ DOORS FRAMES:

MATERIAL: ALUMINUM

COLOR: DARK GRAY

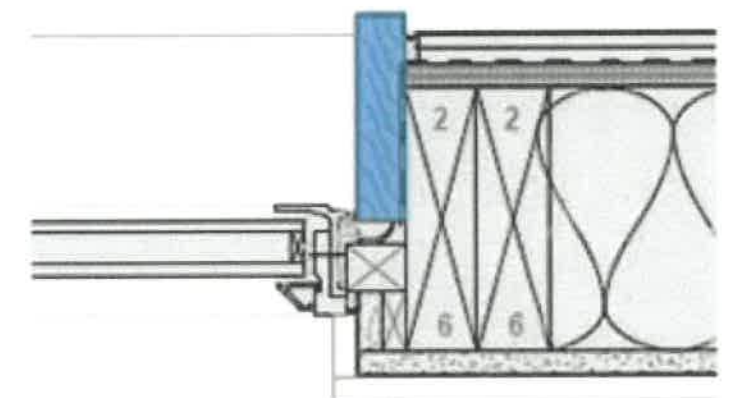
WINDOWS/ DOORS TRIMS:

MATERIAL: WOOD

COLOR: WHITE OAK

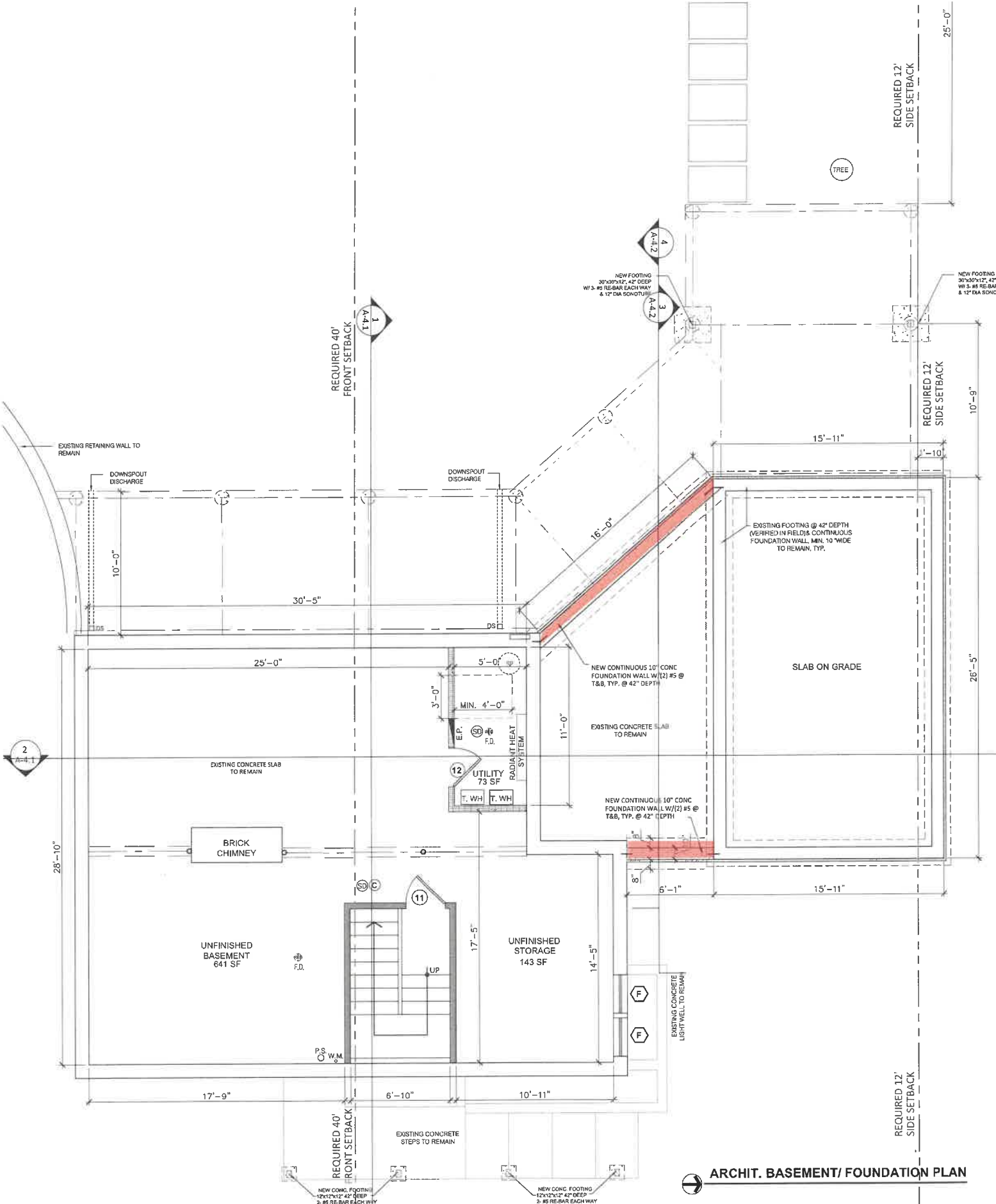


EXTERIOR

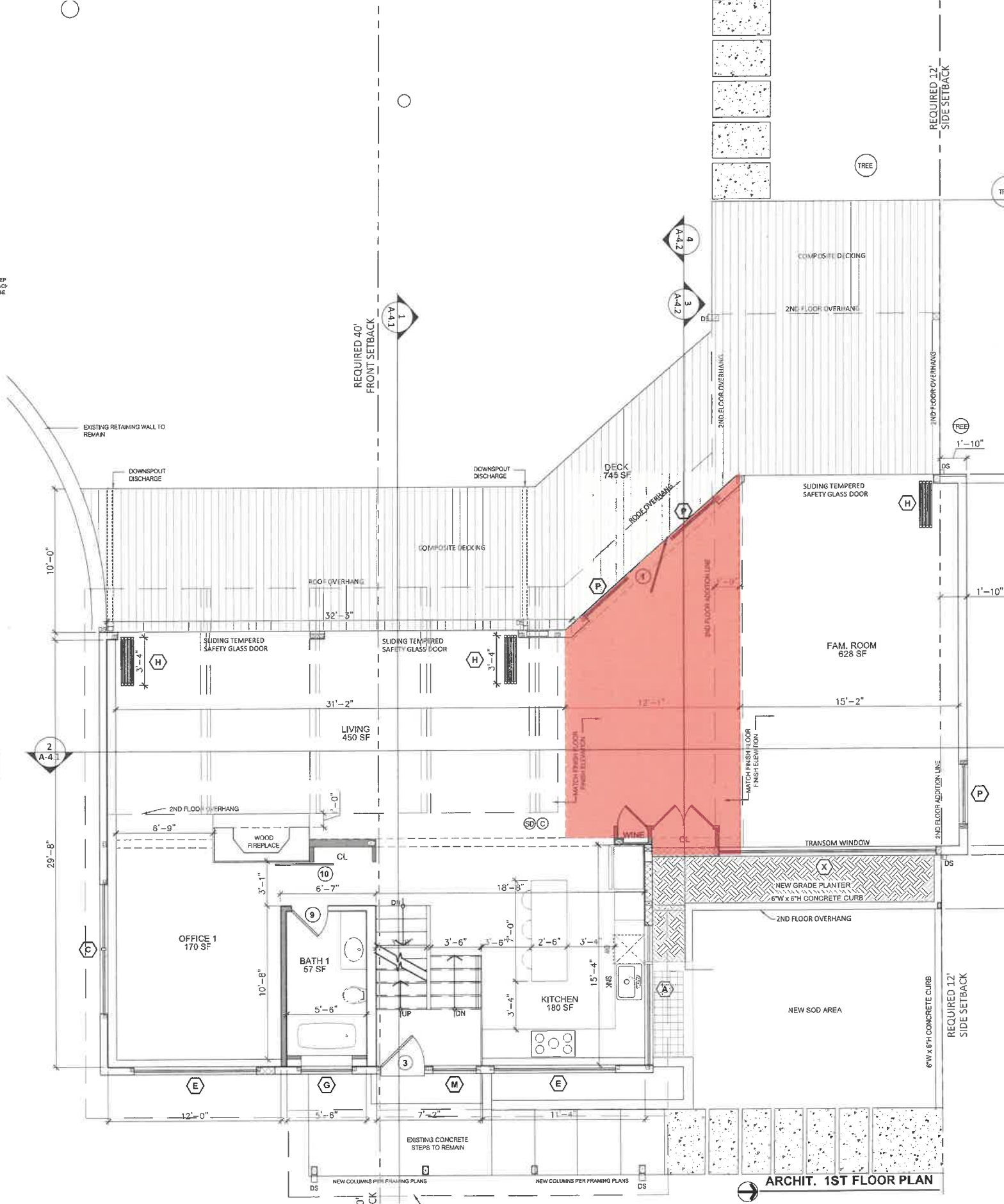


INTERIOR

PROPOSED PROJECT SCOPE: ARCHITECTURAL PLANS

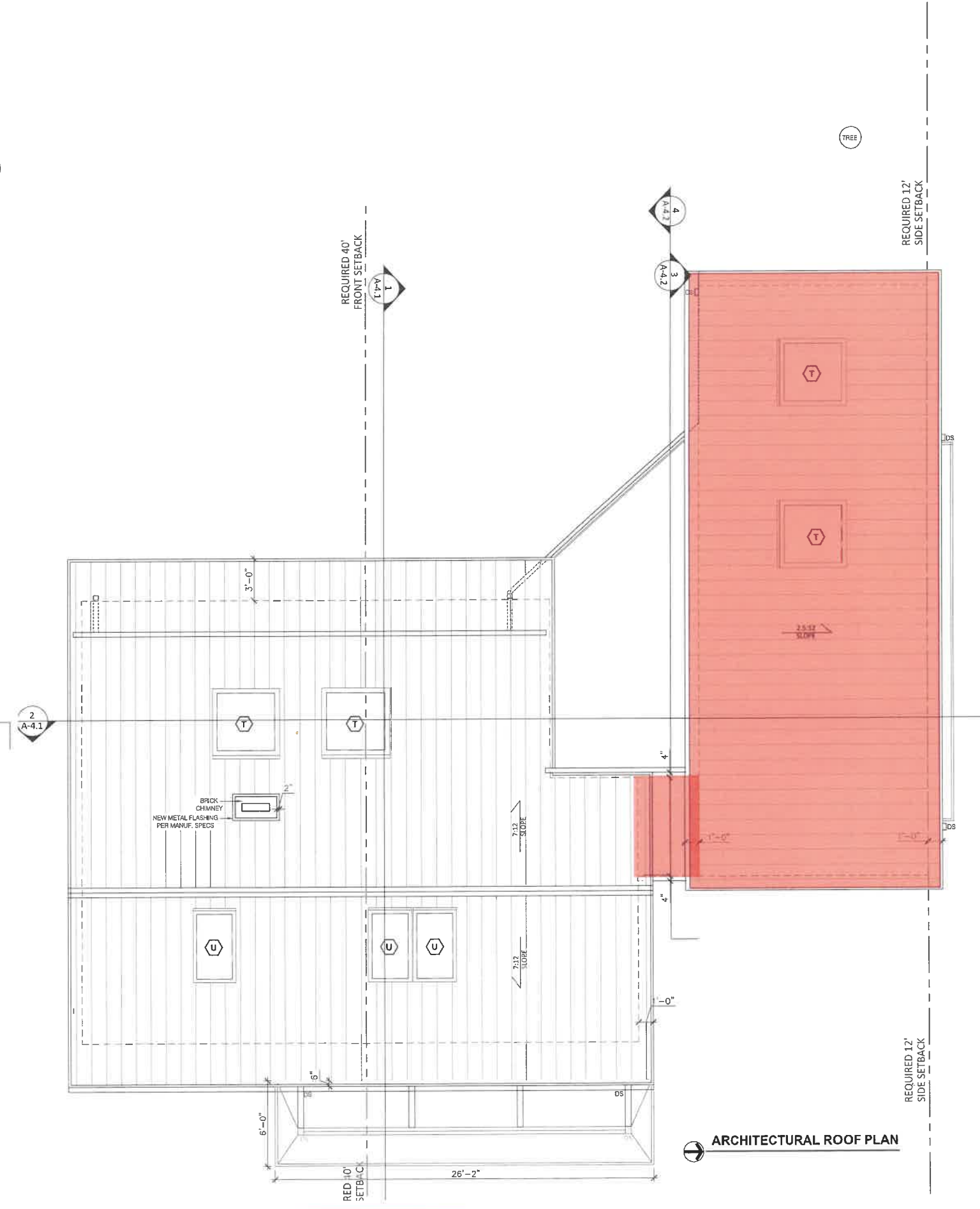
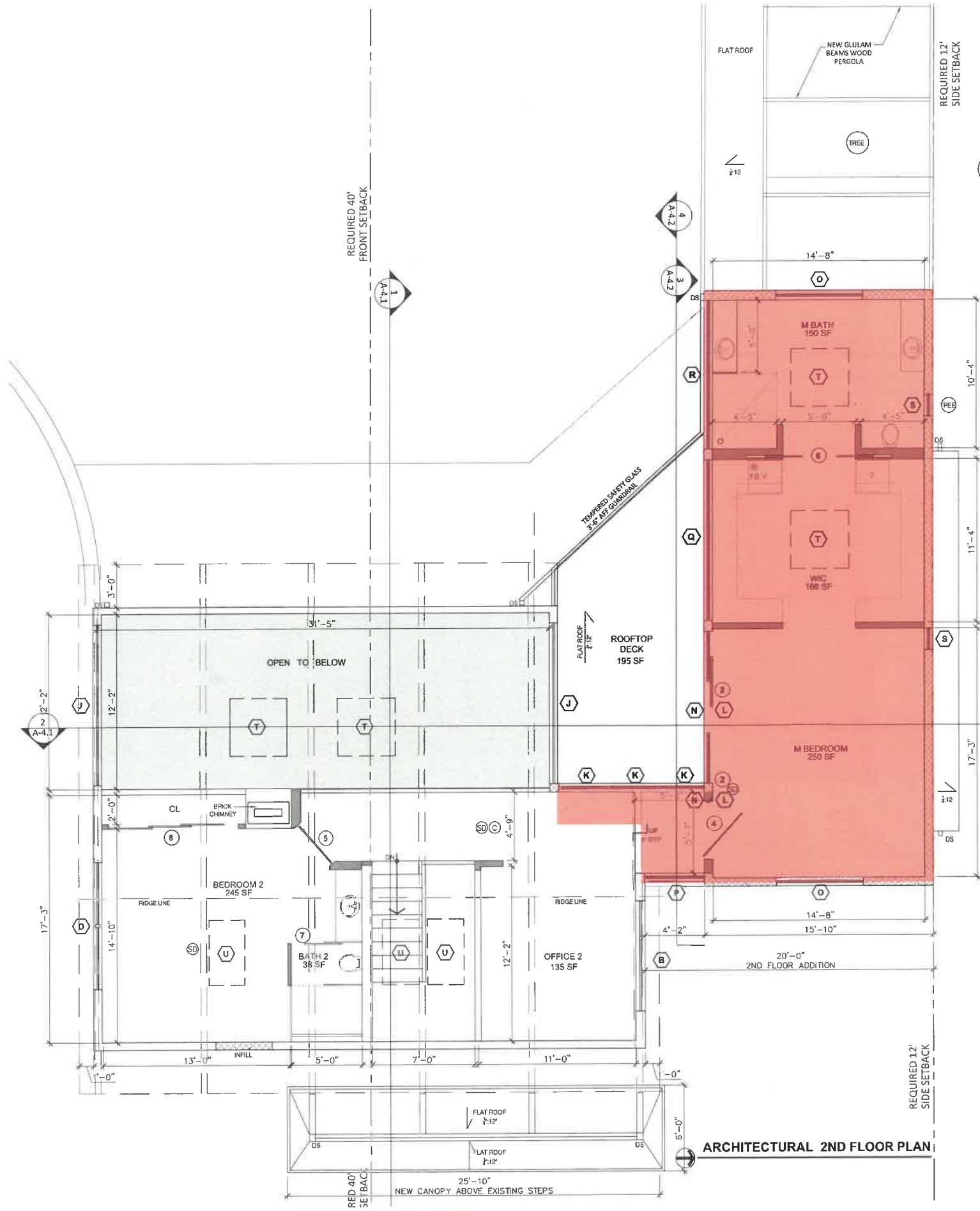


ARCHIT. BASEMENT/ FOUNDATION PLAN

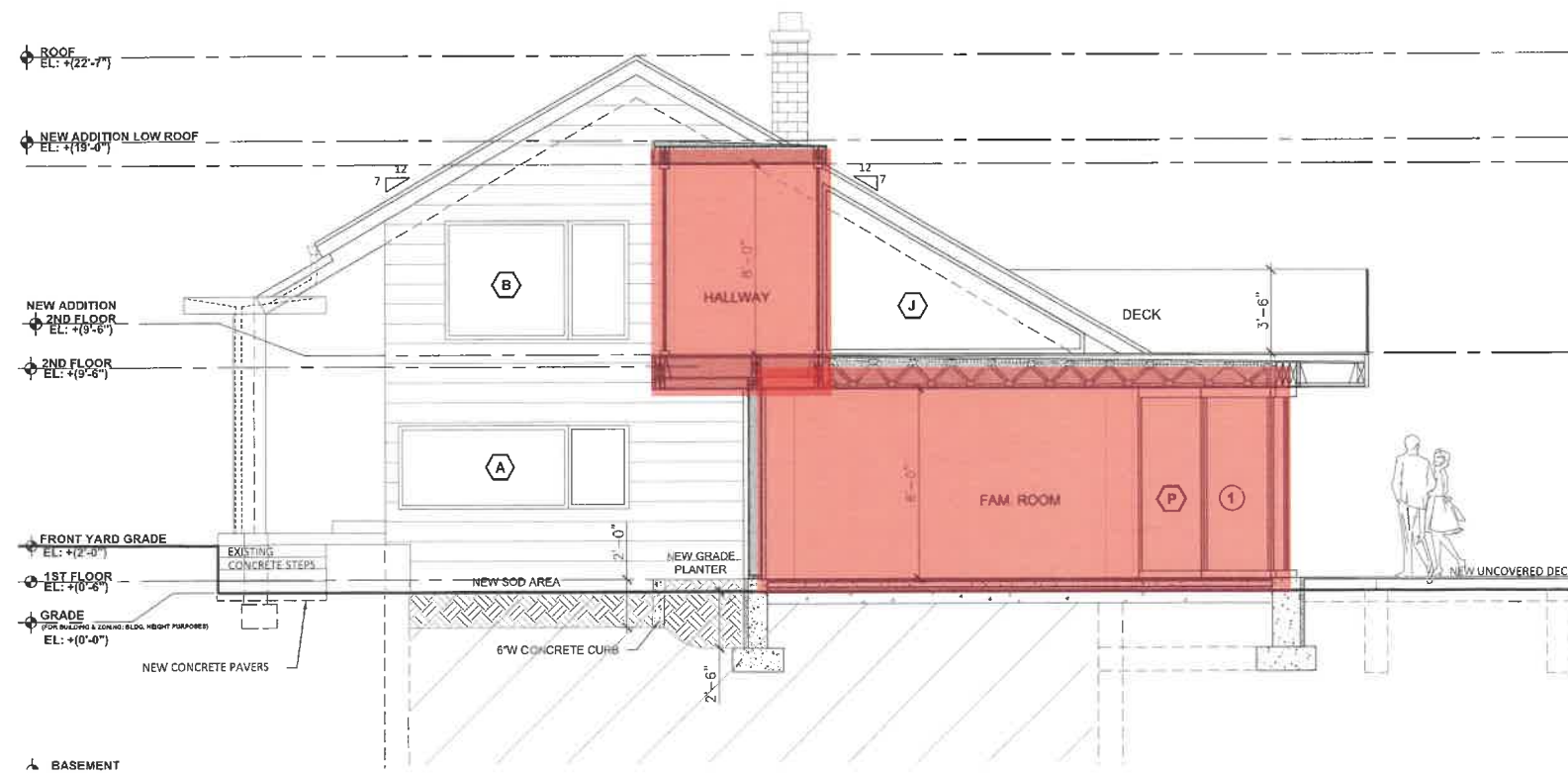
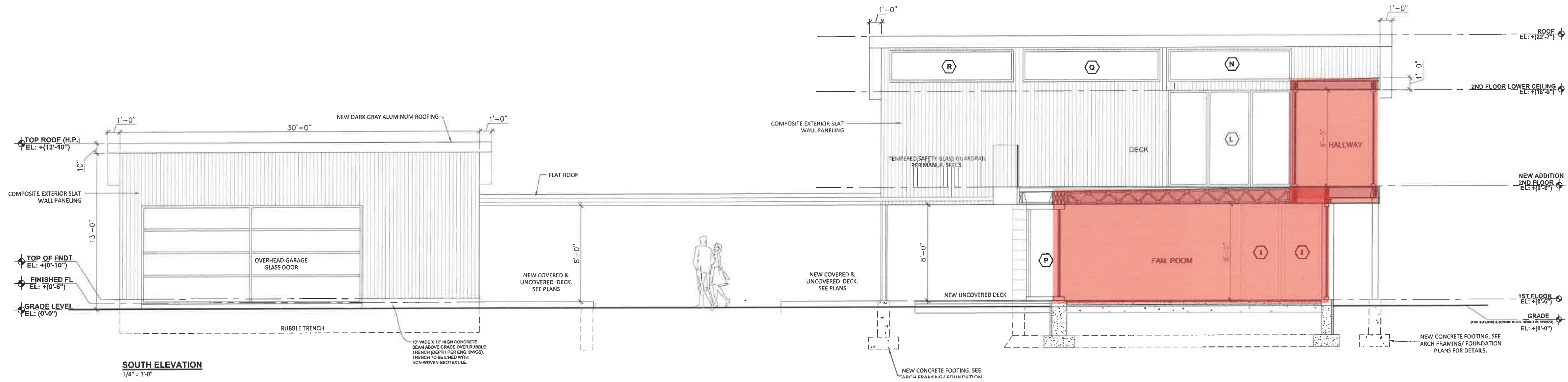


ARCHIT. 1ST FLOOR PLAN

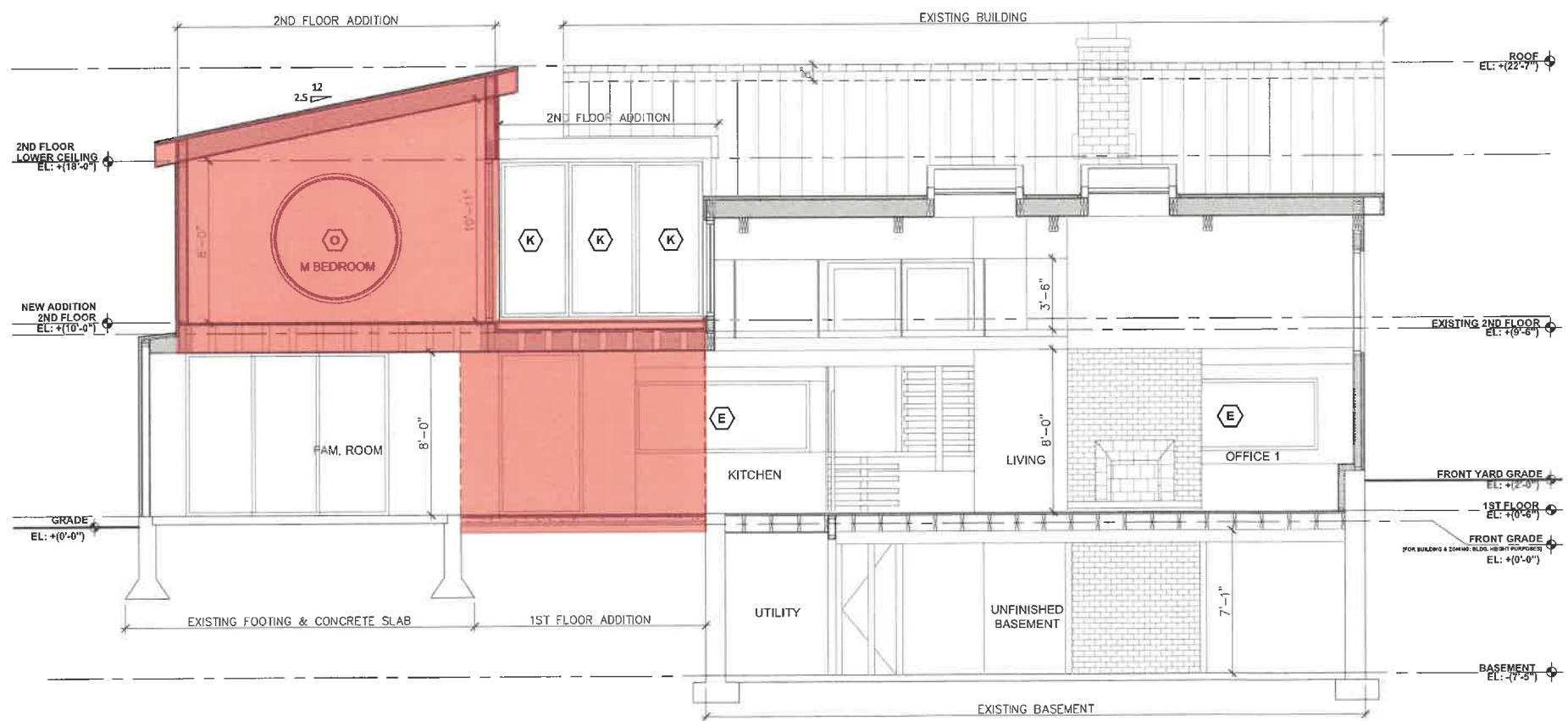
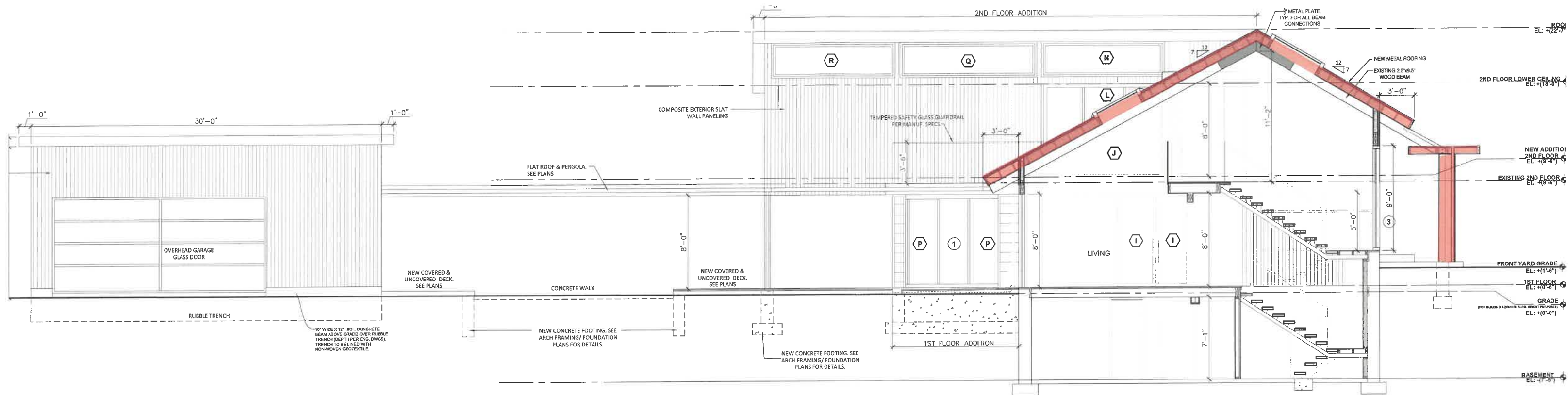
PROPOSED PROJECT SCOPE: ARCHITECTURAL PLANS



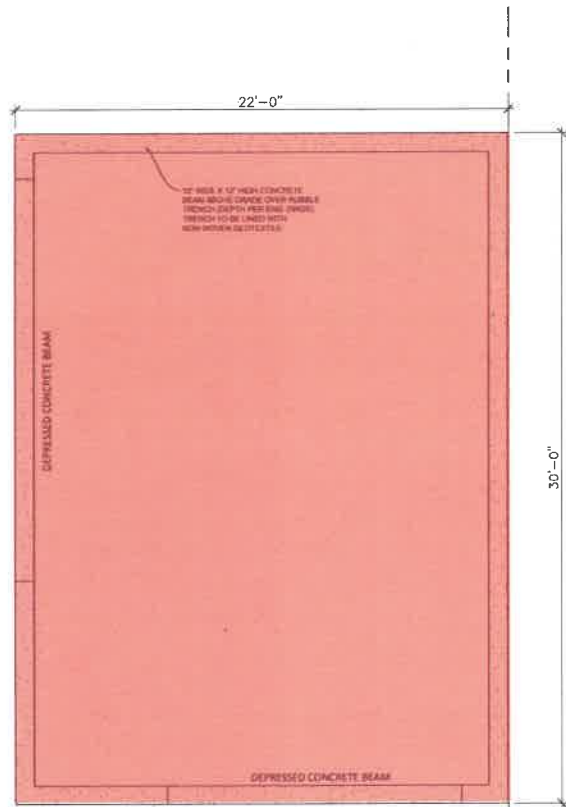
PROPOSED PROJECT SCOPE: ARCHITECTURAL SECTIONS



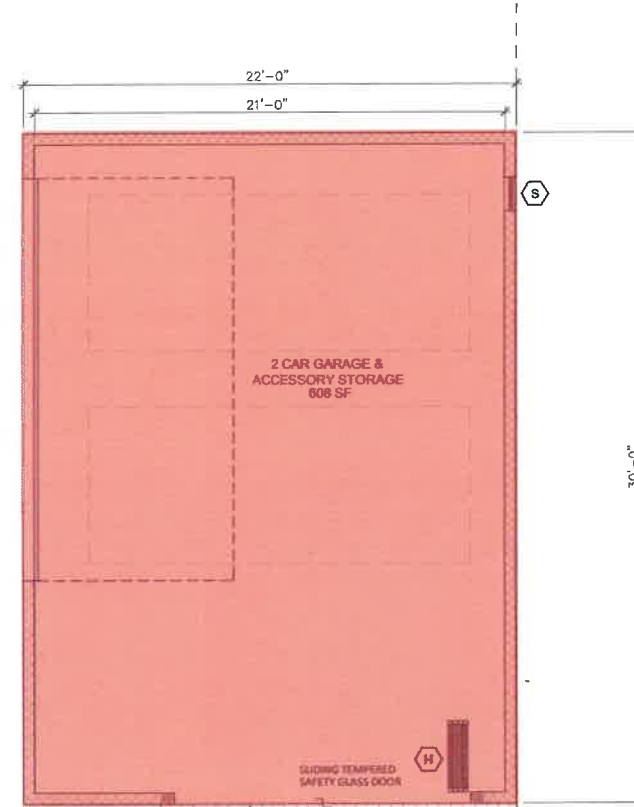
PROPOSED PROJECT SCOPE: ARCHITECTURAL SECTIONS



PROPOSED PROJECT SCOPE: ARCHITECTURAL PLANS - GARAGE



ARCHIT. GARAGE FOUNDATION PLAN
1/4" = 1'-0"



ARCHIT. GARAGE PLAN
1/4" = 1'-0"



ARCHIT. GARAGE ROOF PLAN
1/4" = 1'-0"

NEW CONSTRUCTION

REQUIRED 12' SETBACK

OVERALL SITE LAYOUT

IMPERVIOUS AREAS

EXISTING:
 BUILDING (INCLUDING BREEZEWAY): 1746 SF
 WALKWAYS & STEPS: 259 SF
 PATIOS & DECKS: 399 SF
 DRIVEWAY: 827 SF
 OTHER: 60 SF

TOTAL EXISTING IMPERVIOUS AREA = 3291 SF

EXISTING IMPERVIOUS AREA = 16.12 % OF THE LOT AREA

PROPOSED:

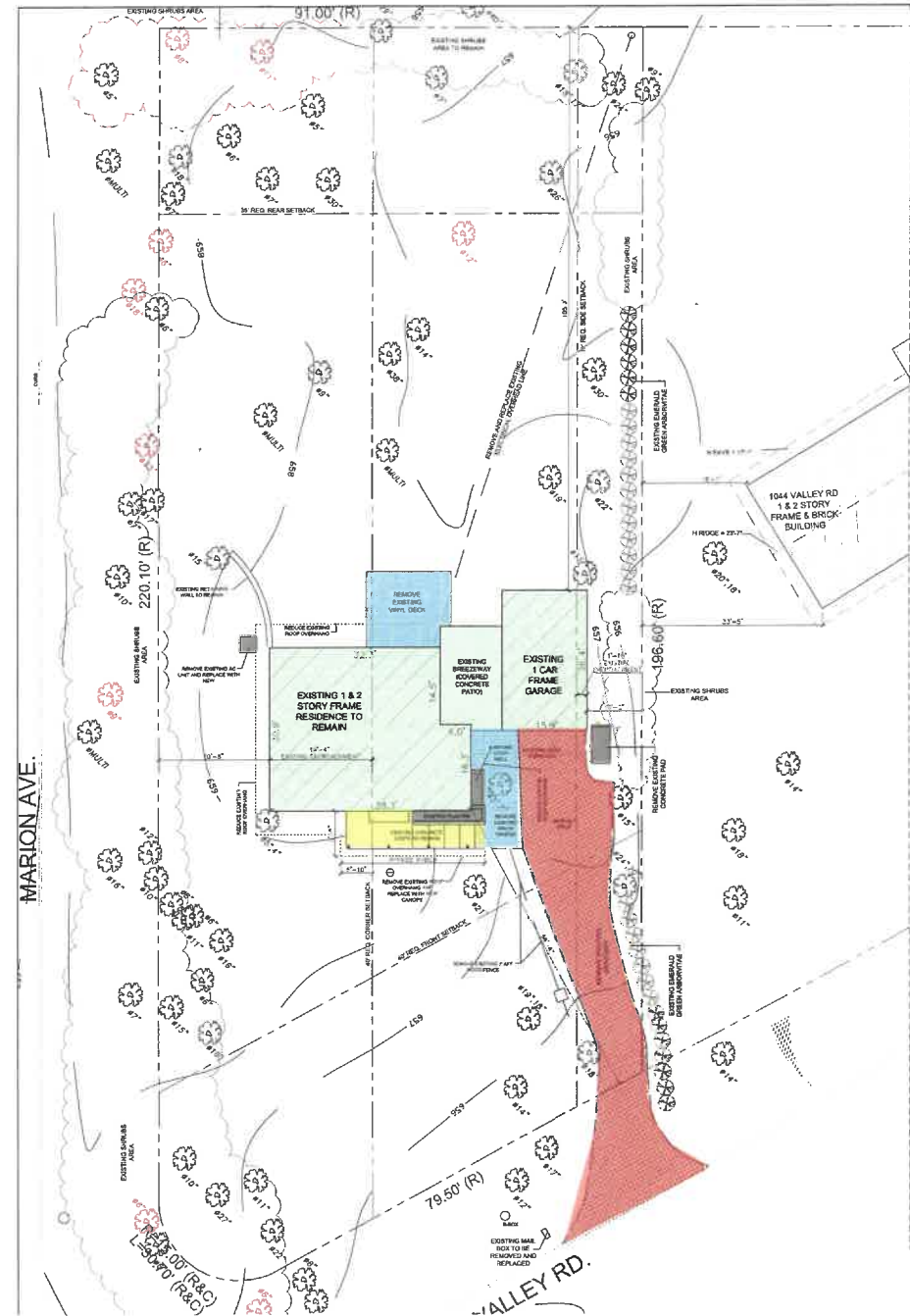
BUILDINGS (INCLUDING GARAGE): 2415 SF
 WALKWAYS & STEPS: 405 SF
 PATIOS IMPERVIOUS: 0 SF
 DECKS COVERED: 240 SF
 DECKS UNCOVERED: 635 SF (NOT INCLUDED)
 PERVIOUS DRIVEWAY AND WALKS: 1400 SF (NOT INCLUDED)
 OTHER: 34 SF

TOTAL PROPOSED IMPERVIOUS AREA = 3094 SF

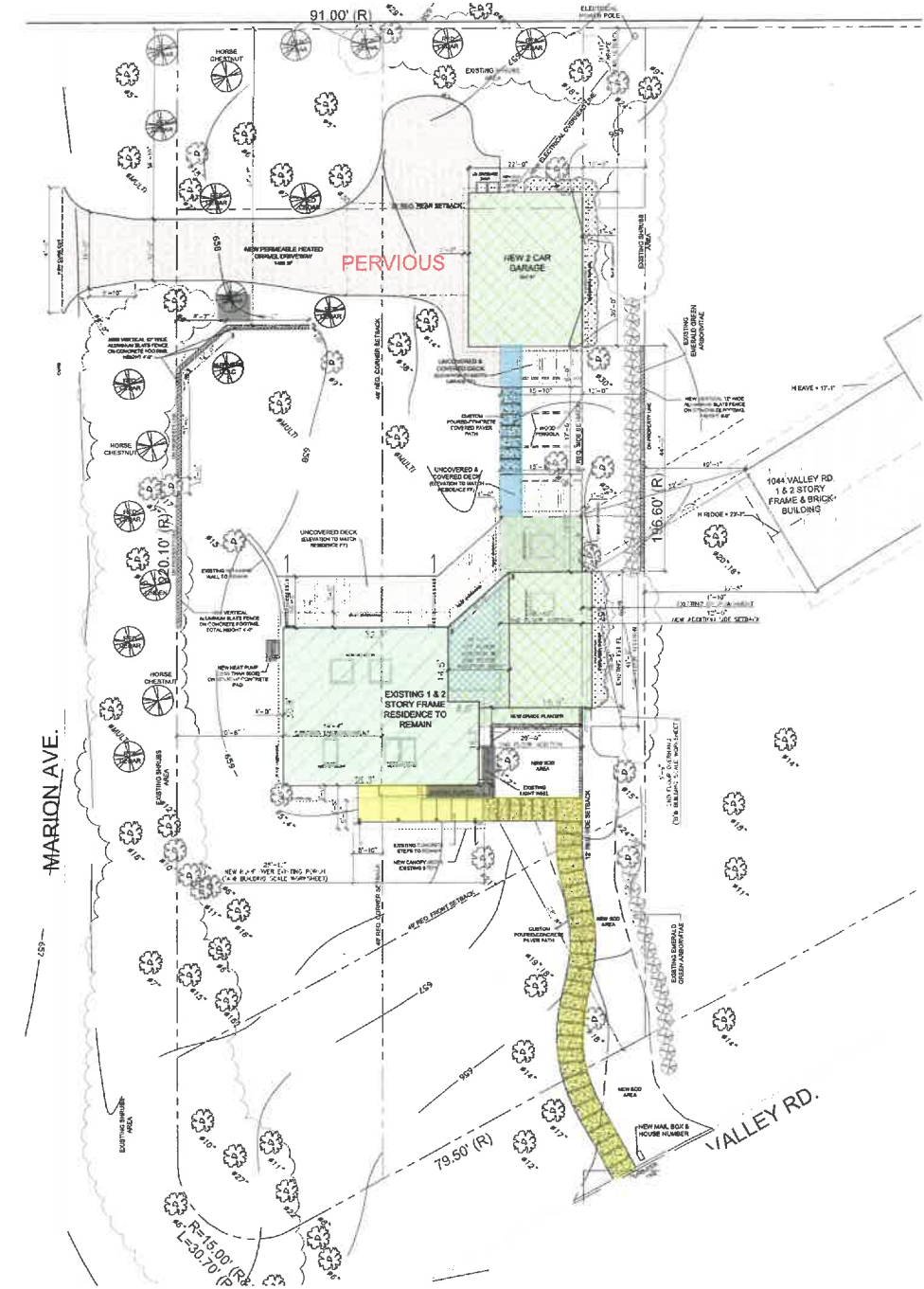
PROPOSED IMPERVIOUS AREA = 15.48 % OF THE LOT AREA

- BUILDING
- WALKWAYS & STEPS
- PATIOS AND COVERED DECKS
- DRIVEWAY & VEHICULAR PAD
- OTHER

EXISTING



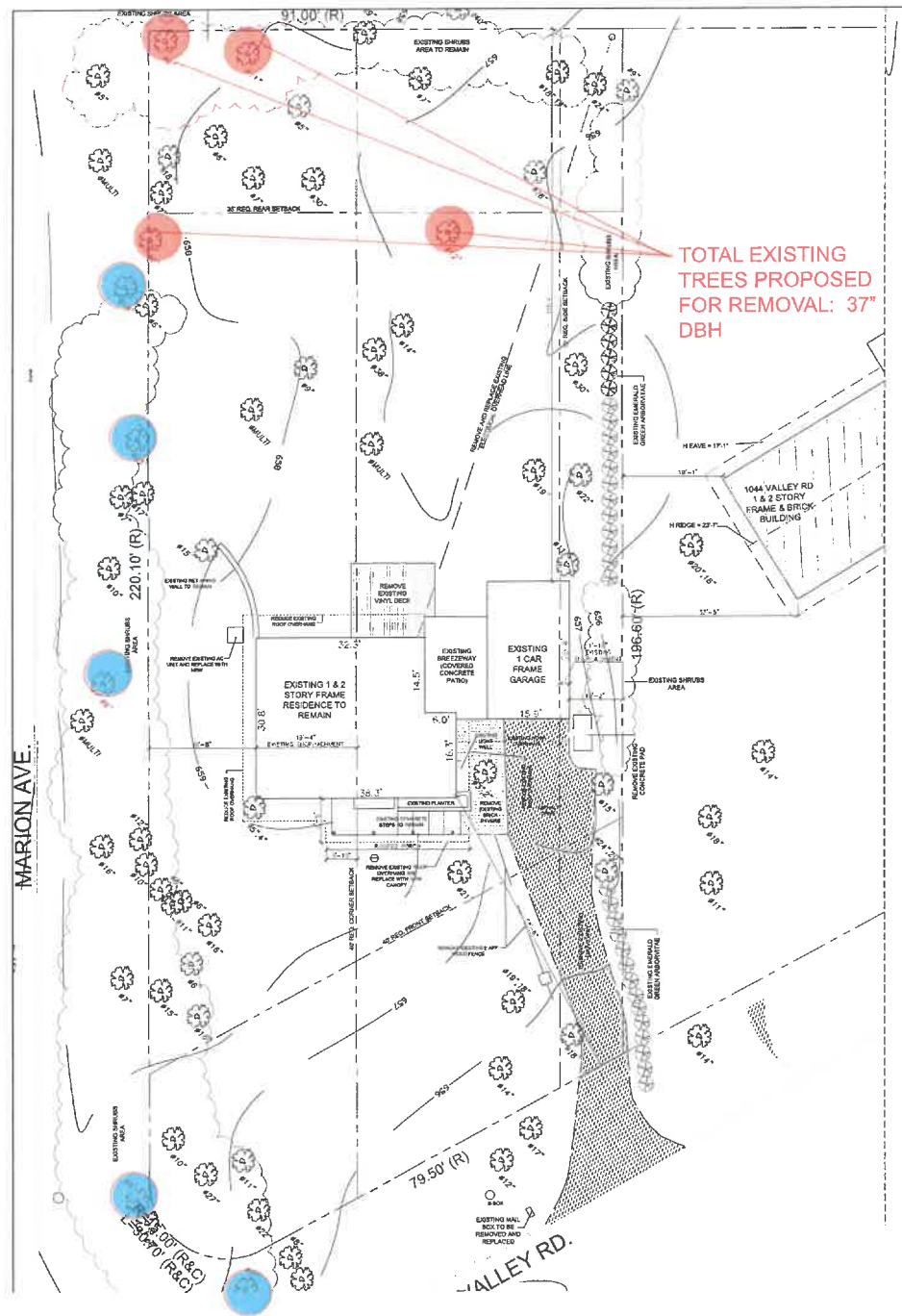
PROPOSED



OVERALL SITE LAYOUT

LANDSCAPE

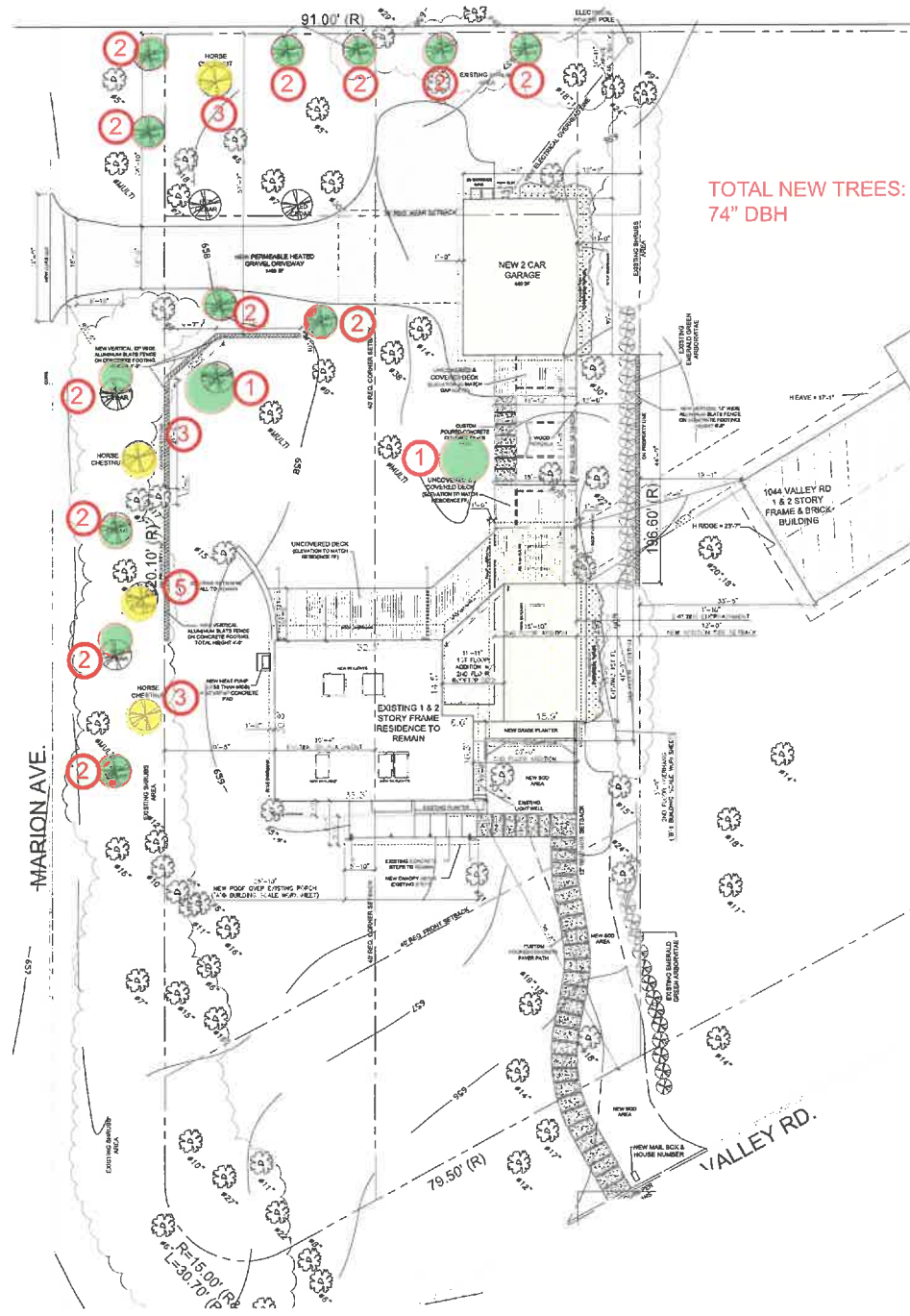
EXISTING LANDSCAPE ALTERATIONS



TOTAL EXISTING TREES PROPOSED FOR REMOVAL: 37" DBH

- DEAD TREES ON PUBLIC PARKWAY - REMOVAL
- DEAD TREES ON PROPERTY - REMOVAL

PROPOSED LANDSCAPE



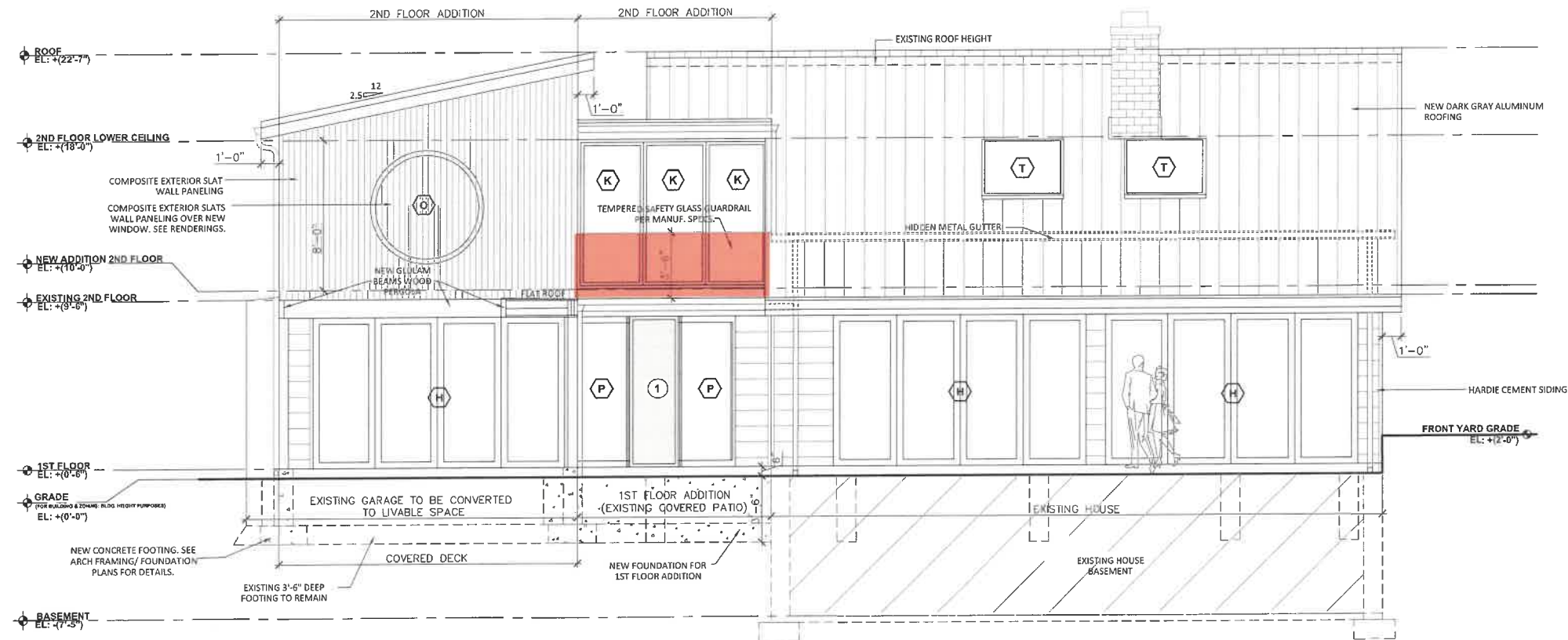
TOTAL NEW TREES: 74" DBH

- ① WHITE PINE
- ② RED CEDAR
- ③ HORSE CHESTNUT
- ④ JAPANESE LILIAC
- ⑤ LINDEN
- ⑥ JAPANESE MAPLE

- NEW EVERGREEN TREES
- NEW DECIDUOUS TREES

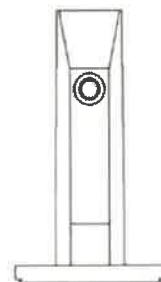
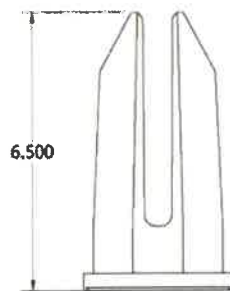
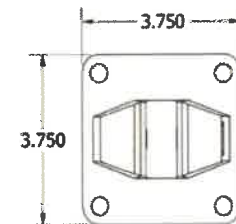
PROPOSED MATERIALS

GLASS RAILING AT ROOFTOP DECK



ARCHITECTURAL REAR ELEVATION

1/4" = 1'-0"



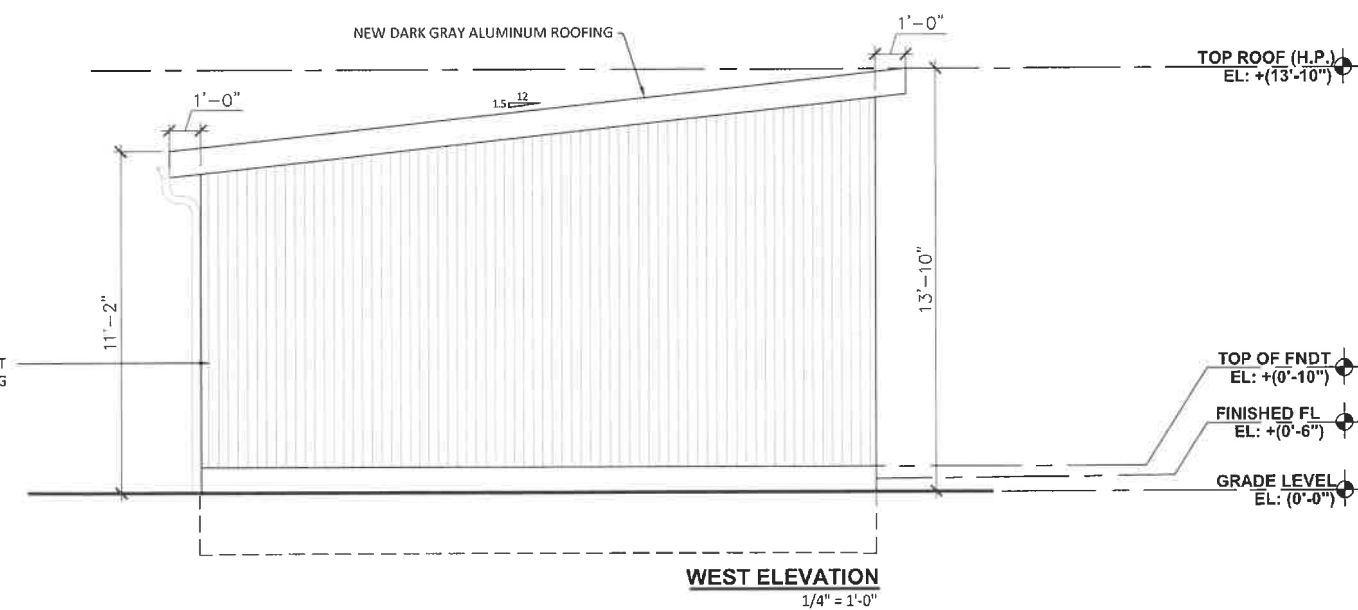
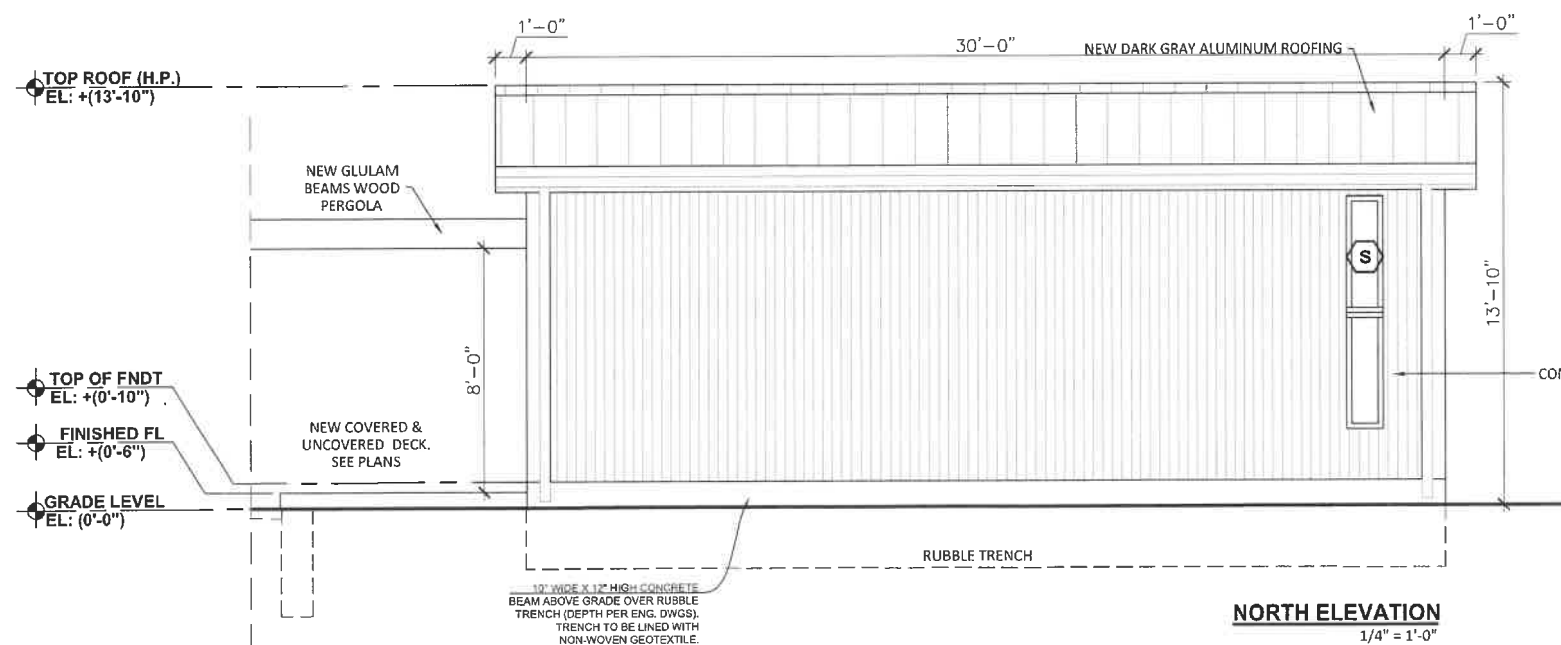
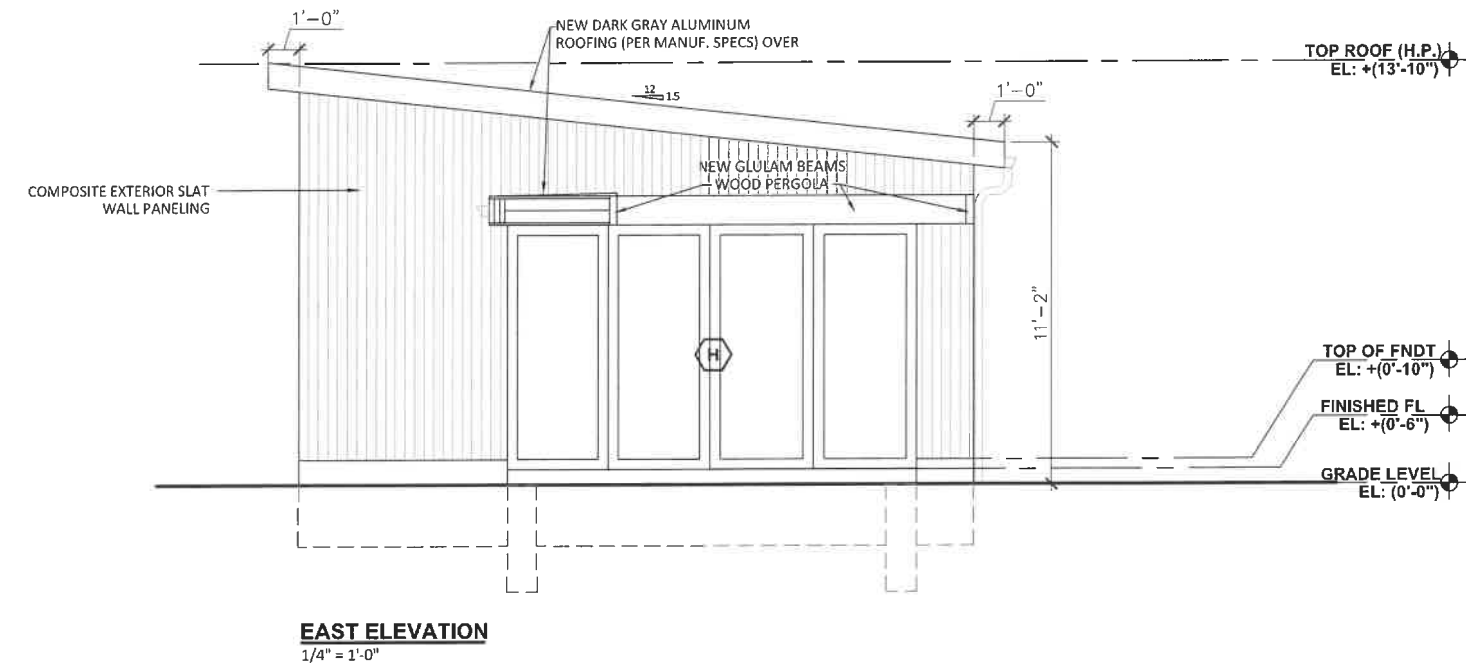
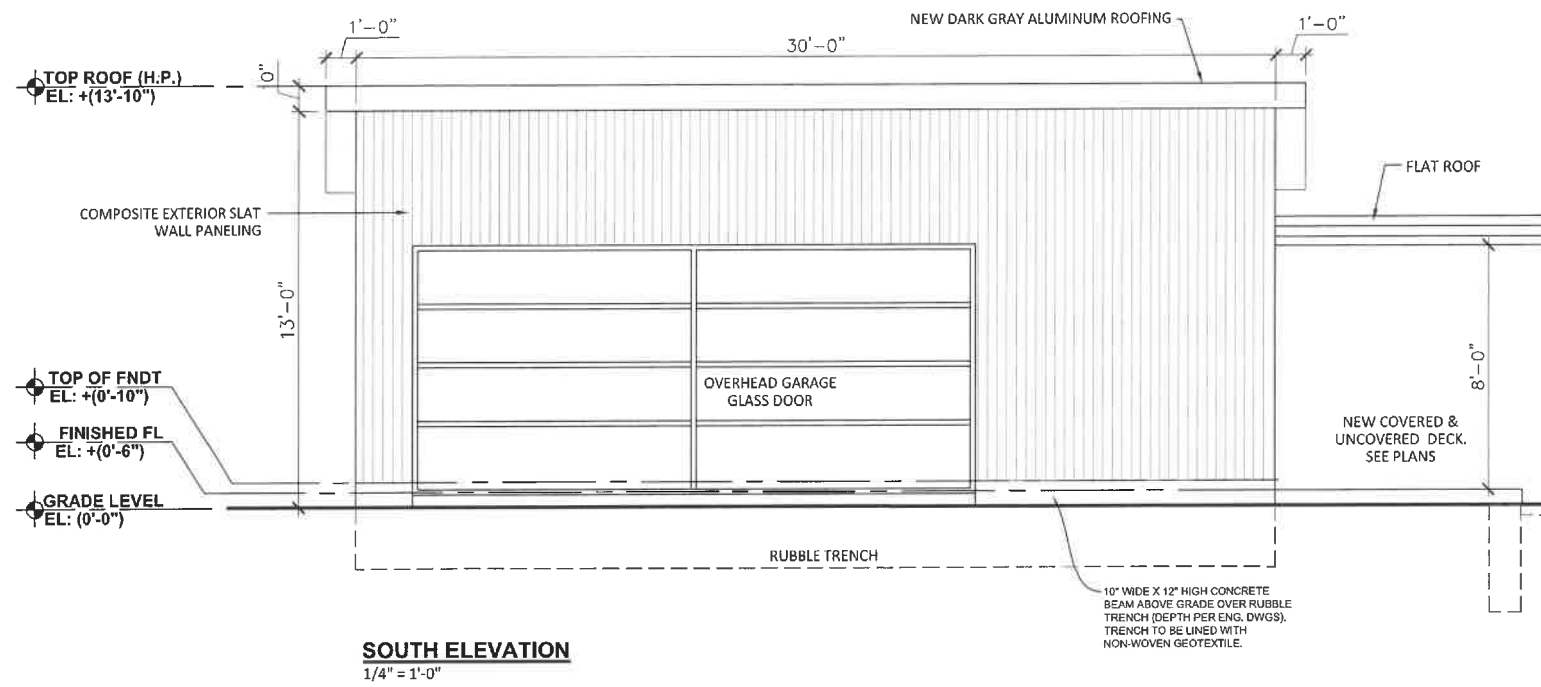
SURFACE MOUNT TALON SPIGOT

MATERIAL: ALUMINUM



GLASS GUARDRAIL

PROPOSED PROJECT SCOPE: ARCHITECTURAL ELEVATIONS - GARAGE



Agenda Item 5
1360 Everett Road
Demolition and Replacement Residence

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statements of Intent
- Demolition
- New Residence
Description of Materials
Survey – Existing Conditions
Photos – Existing Conditions
Site Plan – Overlay Existing and Proposed Footprint
Conceptual Rendering - Front
Elevations
Roof Plan – Demolition Areas Annotated
Section
Floor Plans
Garage Plans
Preliminary Landscape Plan
Proposed Planting List
Preliminary Engineering
Tree Inventory List

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1360 Everett Road

Consideration of a request for approval of the demolition of the existing residence approval of a replacement residence and the associated hardscape and landscape plans.

Property Owner: Brian and Kasia Nienhaus

Project Representative: Edward Deegan, Architect

Staff Contact: Catherine Czerniak, Director of Community Development

Summary of Request

This is a request for a recommendation in support of demolition of the existing residence at 1360 Everett Road and approval of a replacement residence. Along with the design and exterior material aspects of the proposed residence, the site, landscape, and hardscape plans are presented to the Board for review and a recommendation.

Description of Property

The subject property is located on the north side of Everett Road, east of Oak Knoll Drive. The property does not have frontage on Everett Road, it is accessed by a driveway that is shared with four other homes. The property is considered a lot in depth. The property was created by the Acorn Knoll Subdivision which was recorded in 1936 as part of a five lot subdivision. The subdivision predates the current zoning on the property.

To the east, the property is bordered by a two plus acre parcel. To the north, the subject property is bordered by lots of approximately an acre and a half in size, part of the West Lake Subdivision, a much later subdivision, recorded in 1987. To the west and south, the property is bordered by two other lots in the Acorn Knoll Subdivision, lots which share the single curb cut and driveway with the property that is the subject of this petition.

Based on City records it appears that the house proposed for demolition was constructed on the subject property shortly after the subdivision was approved in the mid-1930's. Construction of the garage and carport followed in the late 1930's. Permit records document that limited alterations were made to the house in the 1960's and in later years, the roof was replaced, and permits were issued for various repairs and connection to the public sanitary sewer system. The record for this property is limited indicating that since construction of the home in the late 1930's, no significant changes have been made.

Review of Demolition Criteria

The demolition criteria from the Code are listed below. Findings in response to each criterion are provided below based on staff review of the information submitted by the petitioner and staff research.

Criteria 1 – The existing structure itself, or in relation to its surroundings, does not have special historical, architectural, aesthetic or cultural significance to the community.

This criterion is met. The existing structure is not significant individually or to the surrounding area historically, aesthetically, or culturally.

Criteria 2 – Realistic alternatives, including adaptive reuses, do not exist because of the nature or cost of work necessary to preserve the structure or to realize any appreciable part of its value.

This criterion is met. The existing residence was constructed in the late 1930's but was not constructed of a character or quality that warrants preservation, restoration, or adaptive reuse.

Criteria 3 – The structure in its present or restored condition is unsuitable for residential, or a residentially compatible use; or fire or other casualty damage or structural deterioration has rendered the structure (and/or remains) an immediate health or safety hazard.

This criterion is met. The structure in its present condition could be occupied but would need significant investment to make it comfortably livable. The house does not meet the desires and needs of buyers today. The structure has not been impacted by a catastrophic event but is aging and was not constructed in a manner or of materials intended to last 100 years. The structure has suffered from natural deterioration and has served its useful life.

Criterion 4 – The demolition and/or the replacement structure will not adversely impact the value of property within the neighborhood.

This criterion is met. No evidence has been presented that the demolition of the home will adversely impact values of surrounding properties. Redevelopment of this property is likely to enhance values in the area.

Criterion 5 – The demolition and replacement structure will be compatible with and not adversely impact the neighborhood character.

This criterion is met. The proposed replacement residence is creatively designed to adhere to all applicable zoning setback and size limitation criteria. It is of a quality and character that will enhance the site and the surrounding area. The proposed replacement residence is subject to the Board's review and recommendation.

Staff finds that the criteria for demolition are satisfied.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s

unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

As noted above, this property is a lot in depth and based on today’s zoning regulations, the buildable area is limited by significant zoning setbacks. The new house is sited generally in the area of the existing residence and is oriented to take advantage of the long, narrow buildable area on the lot. The house is approached from the same driveway as the existing house as the driveway takes off from the main driveway shared by the five homeowners. The driveway approaches the front of the house, and the garage is sited just to the south and east of the front of the house, facing a motor court. The proposed driveway configuration limits the hardscape on the site by locating the garage up front. Because the property does not have frontage on a street, the garage doors, near the front of the house, do not impact any streetscape views.

An overlay of the existing and proposed building footprints is included in the Board's packet and is highlighted. The proposed plan reduces the amount of impervious surface on the site from approximately 16 percent to 13 percent.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 5,288 square feet is permitted on the property. In addition, a garage of up to 800 square feet is permitted along with up to 529 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence totals 3,008 square feet. The first floor is 2,100 square feet, the second floor is 908 square feet.
- The two car garage totals 564 square feet less than the permitted square footage for a garage on a property of this size.
- Design elements on the home total 517 square feet, under the permitted design element bonus. The design elements are not included in the square footage total for the house provided above. The design elements on the home include porches, a covered entry, and individual dormers.

Based on the information available, the proposed residence is 43 percent *smaller than* the maximum square footage permitted on a lot of this size.

The height of the residence at the tallest point as measured from the lowest point of existing grade is 30’11”. A maximum height of 40’ is permitted on a lot of this size.

Elevations – This standard is met.

According to the petitioner's statement of intent, the proposed residence is designed in a modern simple "cottage" vernacular. The main mass of the residence presents a two story massing with dormers just breaking the eave line. The roof above the dormers is simple. A two story stair element is located at the transition between the house and the garage with a first floor mudroom. A covered walkway connects the garage to the house. This vertical element adds interest to the front elevation but is a distinctly different, vertical element. The vertical element maintains the same roof pitch used on the main mass of the house and on the garage. And, like the house and garage is simple in form and ornamentation.

Recommendation: The architect should explain the design rationale for this element in the context of the intended cottage vernacular as part of the presentation to the Board.

Behind the main mass, the house steps down to one story and the rear of the home opens on to a covered outdoor area. The windows are generally consistent around the home with some variety in sizes, but generally consistent muntin patterns. Dormers are located on the one story mass and on the east and west elevations of the garage. The windows in these dormers, unlike the windows in the dormers on the front elevation of the main mass of the house, appear to be undersized and different in proportions that the windows found elsewhere on the house.

Recommendation: Consider some refinement to the windows in the dormers on the garage and on the single story mass at the rear of the home.

A single, low, brick chimney is located on the one story element, near the rear of the house. Although visibility of the chimney from off the site is unlikely, details of the chimney cap should be provided.

Recommendation: Provide details on the chimney cap.

The front entrance is understated and human scale in character. A metal roof covers the front porch matching the roofs on the dormers. The columns supporting the porch roof and the roof over the walkway connecting the garage and house appear that they may be undersized.

Recommendation: Study the proportions of the supporting columns further to verify that they are adequately sized to visually support the roof above.

Type, color, and texture of materials – This standard is generally met.

Materials appropriate for a modest home are proposed. Cement fiber board is proposed around the home and garage in a gray tone. The material will be configured as traditional clap board siding with a four inch exposure. Black

aluminum clad casement windows are proposed with muntins affixed to the interior and exterior. Boral, a high quality composite project which has previously been approved for use by the Building Review Board and the Historic Preservation Commission is proposed for all of the trim. This product is painted on site achieving a more custom, rather than manufactured, appearance.

Aluminum gutters, downspouts, and flashing is proposed.

Recommendation: Provide information on the garage door material and detailing.

The overall color palette is muted. The windows and garage doors are black however, the muted color of the siding and roof allow the house to settle into the landscape more quietly than a stark black and white combination.

Landscaping and Hardscape

A tree inventory is provided on the preliminary grading and drainage plan however, it is difficult to identify the specific trees proposed for removal. Since the new residence is proposed in generally the same location as the existing house, impacts on trees is limited however, a clear tree removal plan is required.

Recommendation: A clear tree removal plan must be submitted along with the application for building permit to allow a determination of whether replacement trees inches are required based on the species and condition of the trees proposed for removal and if so, the number of inches.

A preliminary landscape plan is included in the Board packet. Once a determination is made as to whether replacement tree inches are required, the plan will be reviewed to assure that any required replacement inches are fully satisfied. The City's Certified Arborist will review the plan and provide advice and direction on the species proposed to retain the natural, landscaped character of the property and overall area.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, City staff has not received any contacts about this petition.

Recommendation

Adopt the findings as detailed in this staff report and recommend approval of the petition subject to the following conditions of approval.

1. Conduct further study, refinement as may be appropriate, and provide clarification on the following aspects of the project.

- a. The vertical stair element.
 - b. The windows in the dormers on the garage and the one story, rear element.
 - c. The chimney cap.
 - d. The supporting columns for the porch and connecting walkway.
 - e. The garage door.
2. All modifications to the plans including those made in response to Board direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A clear tree removal plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify all trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Final drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. No contractor parking or staging of vehicles or materials is permitted on Everett Road. Construction activity must be coordinated closely with the neighbors who share the driveway. Agreements on regarding any repairs or reconstruction of the driveway due to construction impacts is a private matter.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1360 Everett Road Owner(s) Brian and Kasia Nienhaus
 Architect Edward Deegan Reviewed by: C. Czerniak
 Date 2/1/2024
 Lot Area 43606 sq. ft. Allowed Square Footage 5288

Square Footage of Residence -- New

1st floor 2100 + 2nd floor 908 + 3rd floor _____ = 3008 sq. ft.
 Design Element Allowance = 529 sq. ft.
 Total Actual Design Elements = 517 sq. ft. Excess = 0 sq. ft.
 Garage 564 sf actual ; 800 sf allowance Excess = 0 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
Total Square Footage of Residence = 3008 sq. ft.
 (minus Design Elements, plus garage overage)
DIFFERENTIAL (Existing) = _____ sq. ft.
Under Maximum

TOTAL SQUARE FOOTAGE = 3008 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 5288 sq. ft.
DIFFERENTIAL = 2280 sq. ft. **NET RESULT:**
Under Maximum
2280 sq. ft. is
43% under
Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 529 sq. ft.
 Front & Side Porches = 236 sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 260 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = 0 sq. ft.
 Individual Dormers = 22 sq. ft.
 Bay Windows = 0 sq. ft.
Total Actual Design Elements = 518 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
1360 Everett Road



Area of Request
1360 Everett Road



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1360 W. Everett Rd.

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION

Brian & Kasia Nienhaus
Owner of Property

1111 N. MILWAUKEE RD APT 372
Owner's Street Address (may be different from project address)

VERNON HILLS, IL 60061
City, State and Zip Code

312 371 4322
Phone Number

bnienuhaus@swm.com
Email Address

[Signature]
Owner's Signature

ARCHITECT/BUILDER INFORMATION

Edward Deegan
Name and Title of Person Presenting Project

Edward Deegan Architects
Name of Firm

560 Greenbay Rd suite 301
Street Address

Winnetka, IL. 60093
City, State and Zip Code

847 906 4110
Phone Number

ejd@edwarddeeganarchitects.com
Email Address

Edward Deegan
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE

January 8, 2024

Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL. 60045

Dear Chairman and the Members of the Building Review Board,

Statement addressing demolition requirement for 1360 W Everett Road:

The existing foundation material and condition:

- The existing foundation is a concrete slab and in very poor condition, there is no basement. The existing slab was set too close to grade and water has infiltrated under the slab over the years with freeze/ thaw and has caused heaving in several areas of the existing home. Please refer to photographs.

The existing structural members and condition:

- The existing home is a one-story ranch. The ceiling/ roof structure is made up of 4 x 6 support beams every 48" O.C. throughout the first floor. The roof framing bears on top of those beams. The existing 4 x 6 beams show a great deal of deflection, much more than code allows today. In addition, there is extensive water damage to the existing roof framing and 4 x 6 beams.

Very truly yours,



Edward J Deegan AIA NCARB



January 8, 2024

Chairman and Members of the Building Review Board
The City of Lake Forest
220 East Deerpath
Lake Forest, IL. 60045

Dear Chairman and the Members of the Building Review Board,

Statement of Intent for 1360 W Everett Road:

The goal of this project is to construct a new one-and-a-half story home that thoughtfully and graciously caters to the needs of its inhabitants.

The Established Architectural Vernacular and Character:

At the most essential level, the aspirations for this project are to emulate a modern simple "cottage" vernacular. The shed roof over the understated entry to the home sits below the second story roof that is punctuated and minimized by the addition of dormers. The vernacular is furthered with the traditional 4" exposure clap board siding, bay windows, and shed dormers on the home and above the garage.

The existing neighborhood dwellings are largely unseen from the new home. The property is challenged by the restrictive 50 foot set-backs on all sides. The existing home is in very poor condition (See the Consultant Report.) The orientation of the garage towards the front of the property allows for optimal use of the long and narrow buildable area that does not encroach on the set-backs.

Very truly yours,



Edward J Deegan AIA NCARB





THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| Color of Material <u>Coventry Gray</u> <u>BM- HC-169</u> | Other <u>Cement Bd. Siding</u> |

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other _____
- Color of Finish Black

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material Boral
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material Boral
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____
- Synthetic Material Boral

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal
- Other Asphalt shingles

Color of Material Charcoal

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

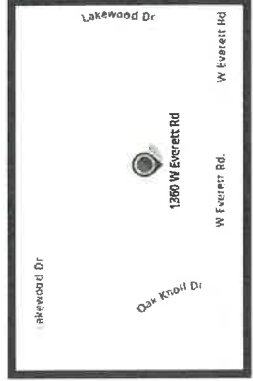
- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

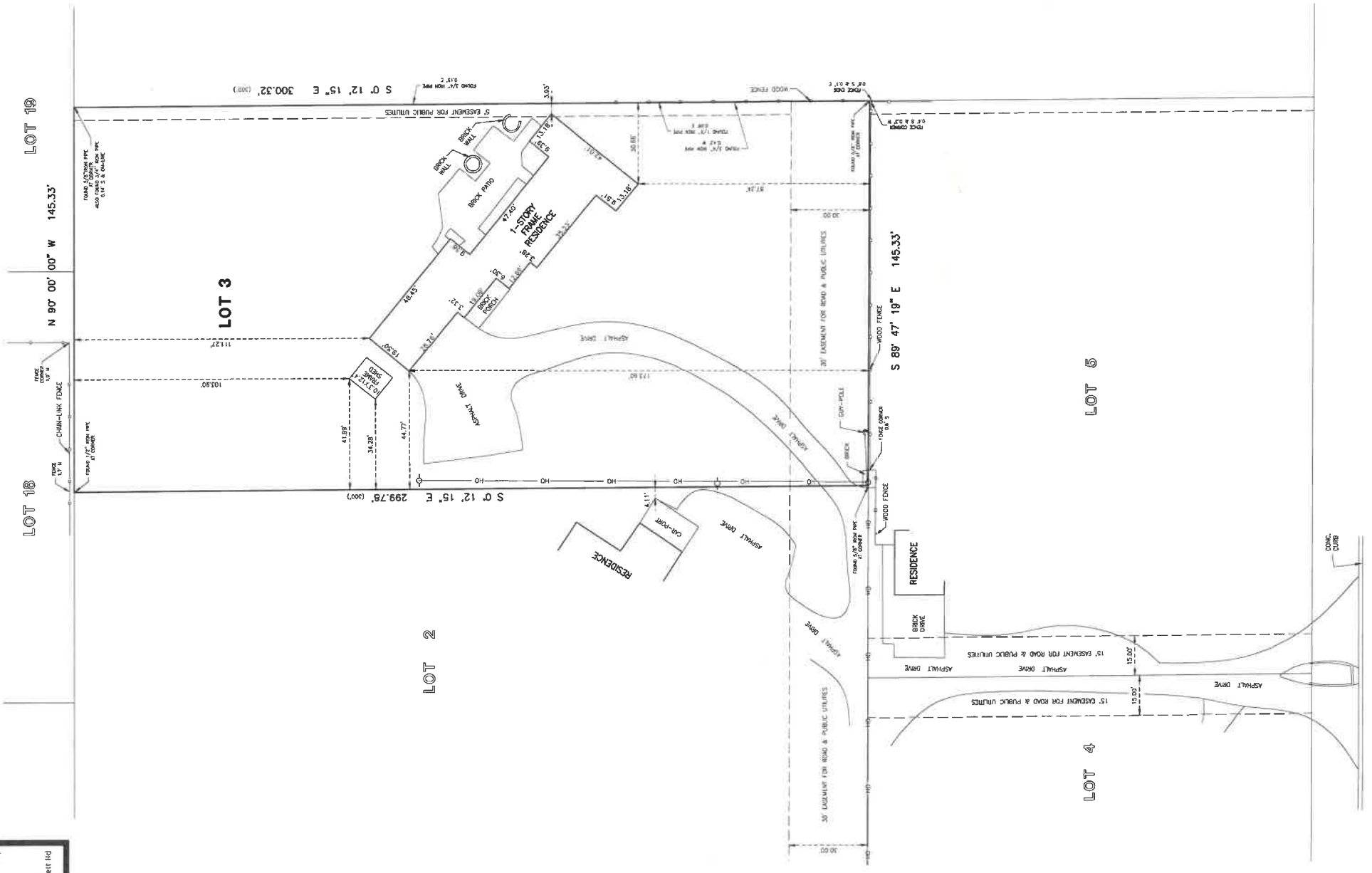
- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

PLAT OF SURVEY

LOT 3 IN ACORN KNOLL, A SUBDIVISION OF THE SOUTH 500 FEET OF THE WEST 316 FEET OF THE NORTH 1/2 OF LOT 1 AND THE SOUTH 500 FEET OF THE EAST 120 FEET OF THE NORTH 1/2 OF LOT 2, ALL IN THE NORTHWEST 1/4 OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDS OF THE COUNTY CLERK OF LAKE COUNTY, ILLINOIS, AS DOCUMENT 427010 IN BOOK "X" OF PLATS, PAGE 27, IN LAKE COUNTY, ILLINOIS.



LOCATION MAP NOT TO SCALE



EVERETT ROAD

ASPHALT PAVEMENT

LEGEND

—○— POWER POLE

— OH — OVERHEAD LINES

SURVEYORS NOTES:

1. THIS SURVEY IS BASED ON THE QUARTERS OF TITLE WHICH MAY BE REVISED BY A CURRENT TITLE REPORT.
2. () DENOTES RECORDED DIMENSION.
3. DIMENSIONS HEREON SHOWN ARE ON AN ASSUMED BASIS.
4. ORIGINAL FIELD WORK COMPLETED: 09-22-23

GENERAL NOTES:

1. DIMENSIONS ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
2. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
3. ALL DIMENSIONS ARE SHOWN ON THE ASSUMED BASIS OF THE SURVEYOR AND ARE NOT TO BE CONSIDERED AS A GUARANTEE OF ACCURACY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE ORIGINAL FIELD WORK COMPLETED.
4. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO DISCREPANCIES TO THE SURVEY.

STATE OF ILLINOIS } SS
COUNTY OF LAKE }

WE, GREENGARD, INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE PROPERTY AND THAT THE DIMENSIONS AND AREAS SHOWN ON THIS PLAT OF SURVEY COMPLY WITH THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 21ST. DAY OF SEPTEMBER, A.D., 2023

Joseph R. Sadoshki
JOSEPH R. SADOUSHKI
PROFESSIONAL LAND SURVEYOR NO. 3316
ILLINOIS
MY RENEWABLE LICENSE EXPIRES 11-30-24.



AREA
43,006 Sq. Ft. OR 1.00 ACRES (MORE OR LESS)

GREENGARD, INC.
Engineers & Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
TEL: 847-634-2887 FAX: 847-634-2887
ILL. REGISTRATION NO. 161-000066

1360 W EVERETT ROAD - LAKE FOREST, ILLINOIS
PLAT OF SURVEY

SCALE: 1"=20'
DRAWING NO: 69212
SHEET 1 OF 1

DESIGNED BY: AN DATE: 09-21-23
CHECKED BY: JRS DATE: 09-21-23
APPROVED BY: DATE:

OWNER BY: DATE: ENCLOSURES

January 8, 2024

Photos of the Existing Residence at 1360 W Everett Road:



Existing Front Elevation – Southwest Elevation





Existing Rear Elevation – Northeast Elevation



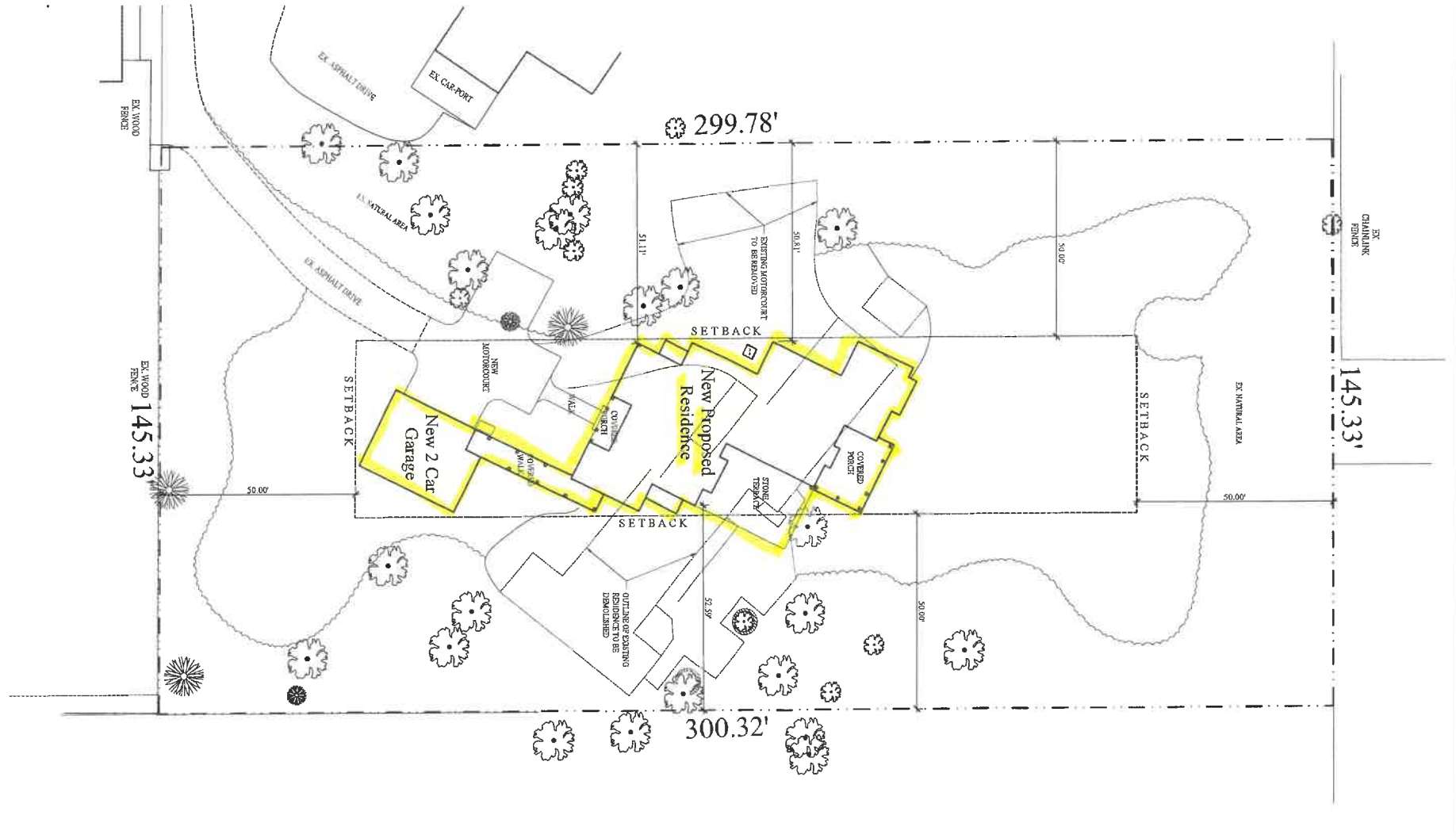


Main Living Room – Existing Beam Ceiling – Significant Deflection of the main structural Beams





Existing Utility Room – Slab Construction – Significant Water Damage



Site Plan
SCALE: 3/32"=1'-0"

BRB 12.22.23

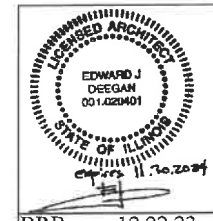
Nienhaus Residence
 11x17 BUILDING REVIEW BOARD
 1360 W Everett Rd
 Lake Forest, IL 60045

EDWARD DEEGAN
 ARCHITECTS & INTERIORS
 503 Park Drive #4
 Kenilworth, IL 60043
 (847) 906-1110

Sheet No.
BRB002
 Project No. 23.43



Perspective
NOT TO SCALE



BRB 12.22.23

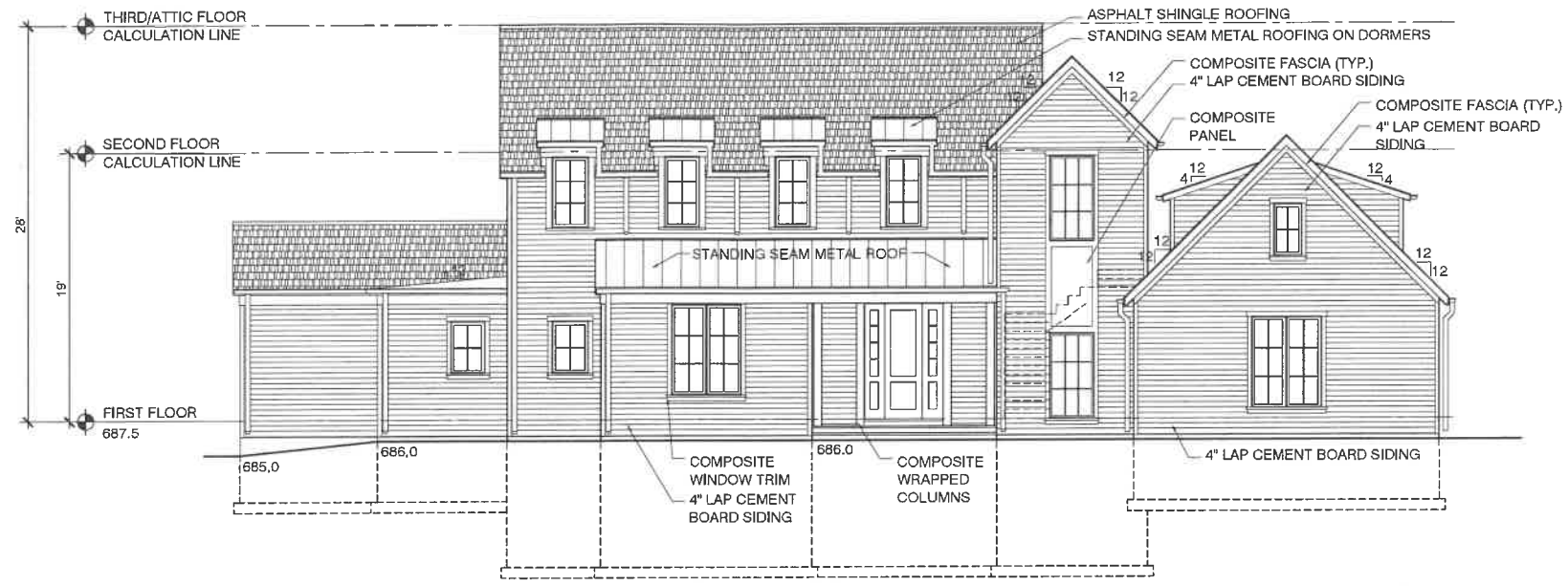
Nienhaus Residence
11x17 BUILDING REVIEW BOARD

1360 W Everett Rd
Lake Forest, IL 60045

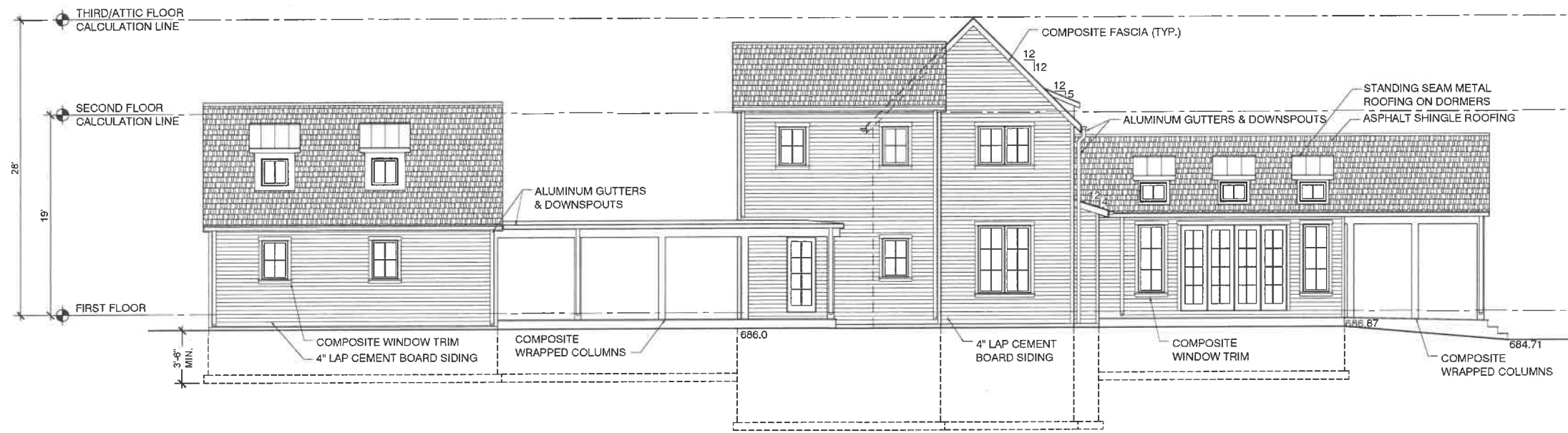
EDWARD DEEGAN
ARCHITECTS & INTERIORS

503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

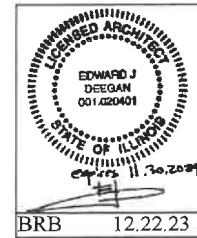
Sheet No.
BRB202
Project No. 23.43



South Elevation
SCALE: 3/32"=1'-0"



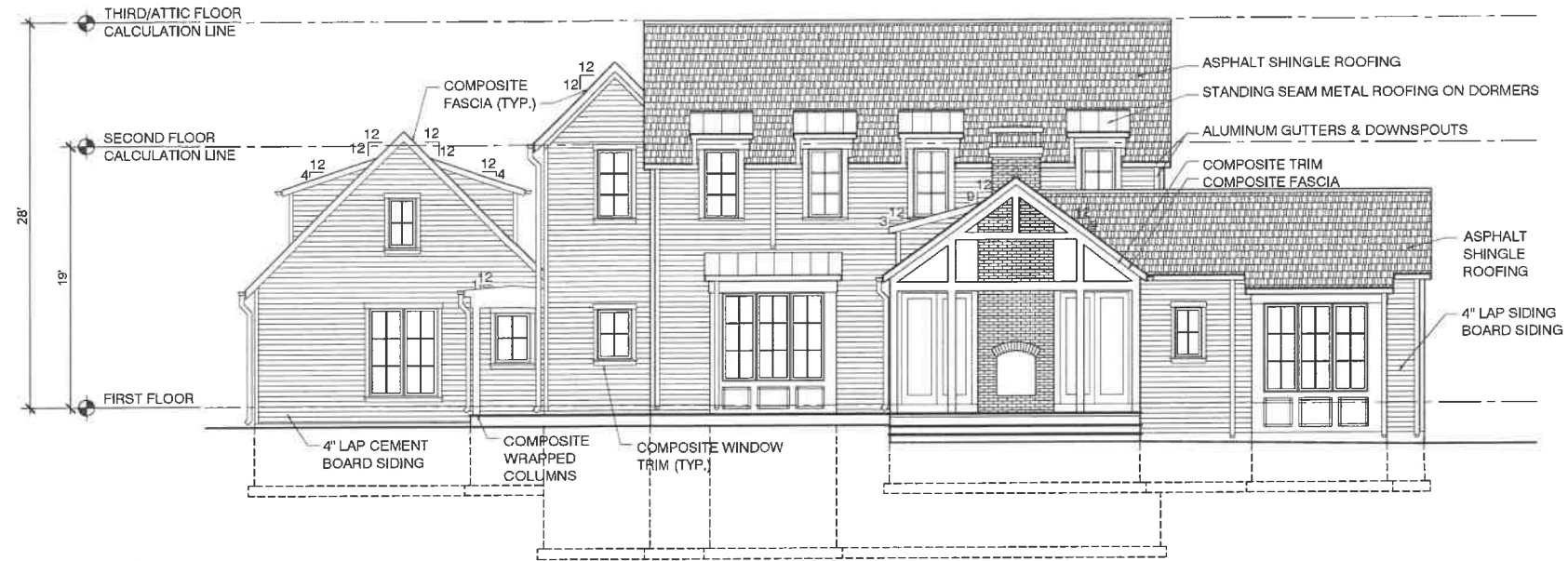
East Elevation
SCALE: 3/32"=1'-0"



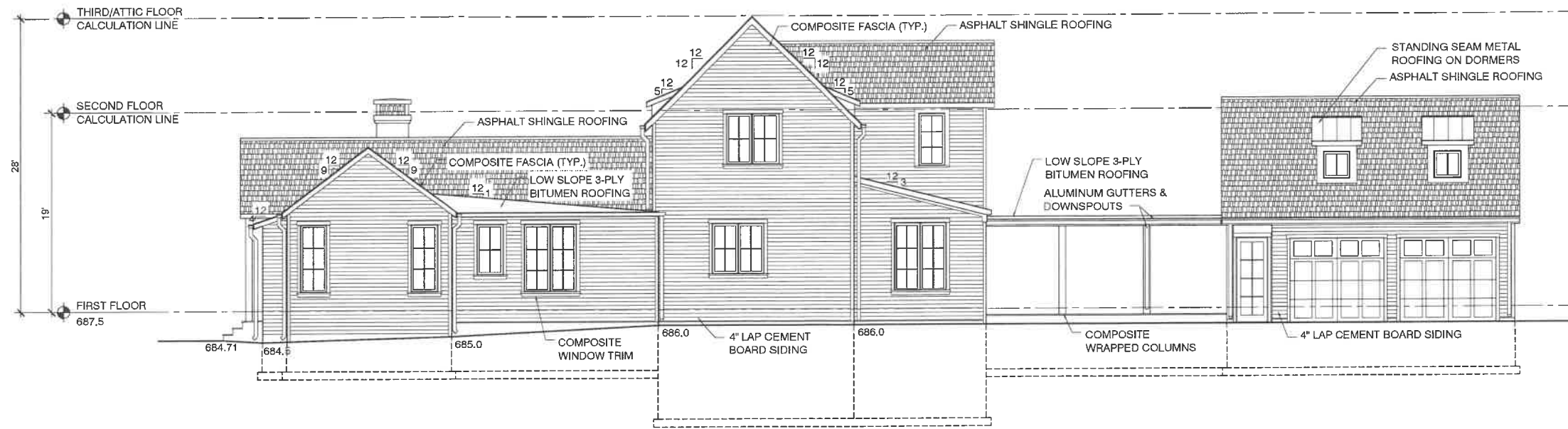
Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

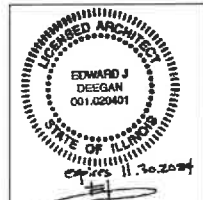
Sheet No.
BRB200
Project No. 23.43



North Elevation
SCALE: 3/32"=1'-0"



West Elevation
SCALE: 3/32"=1'-0"



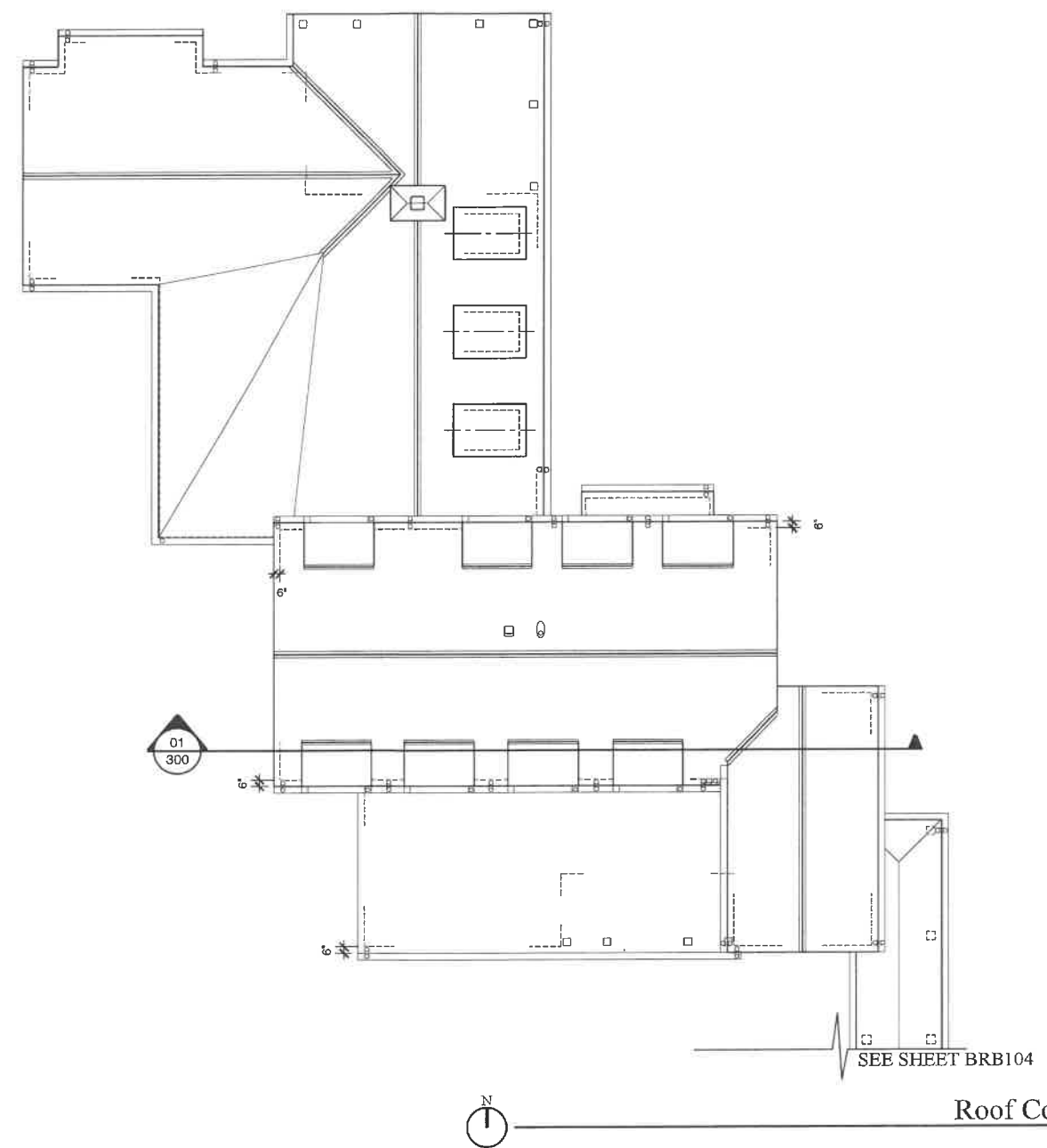
BRB 12.22.23

Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

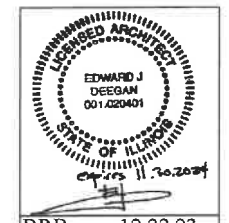
EDWARD DEEGAN
ARCHITECTS & INTERIORS

503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

Sheet No.
BRB201
Project No. 23.43



Roof Construction Plan
SCALE: 3/32"=1'-0"

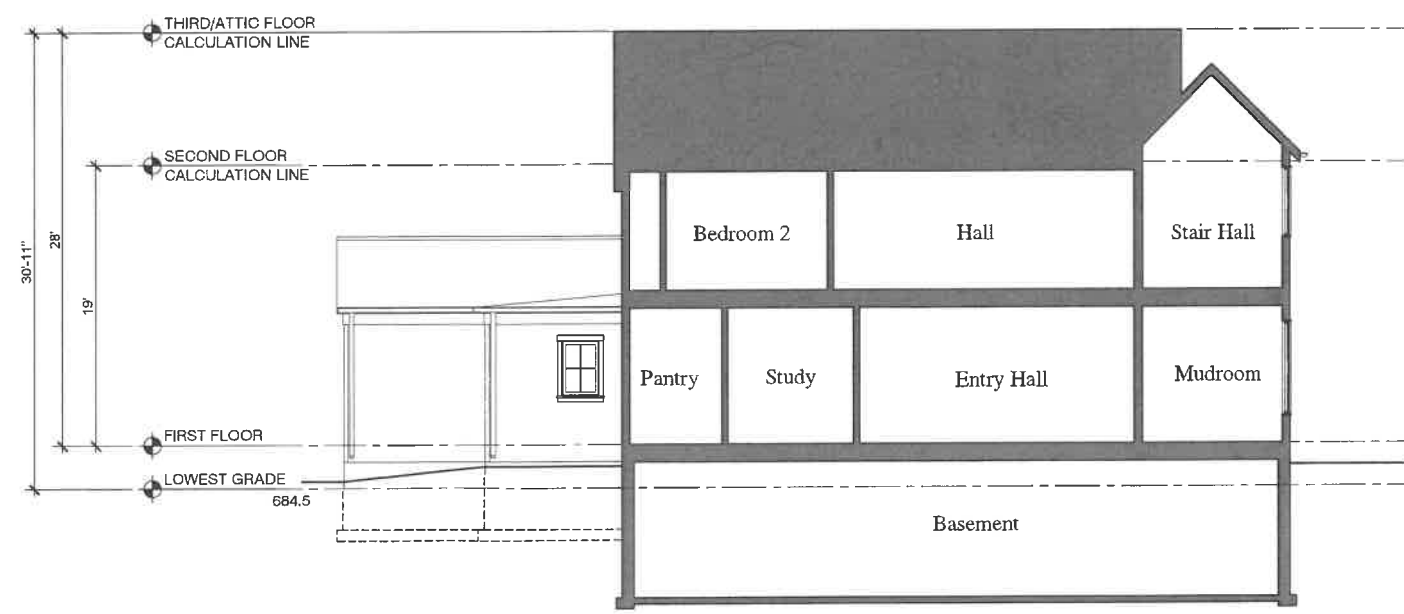


BRB 12.22.23

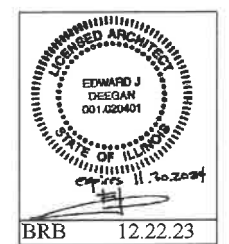
Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

Sheet No.
BRB103
Project No. 23.43



Cross Section
SCALE: 3/32"=1'-0"

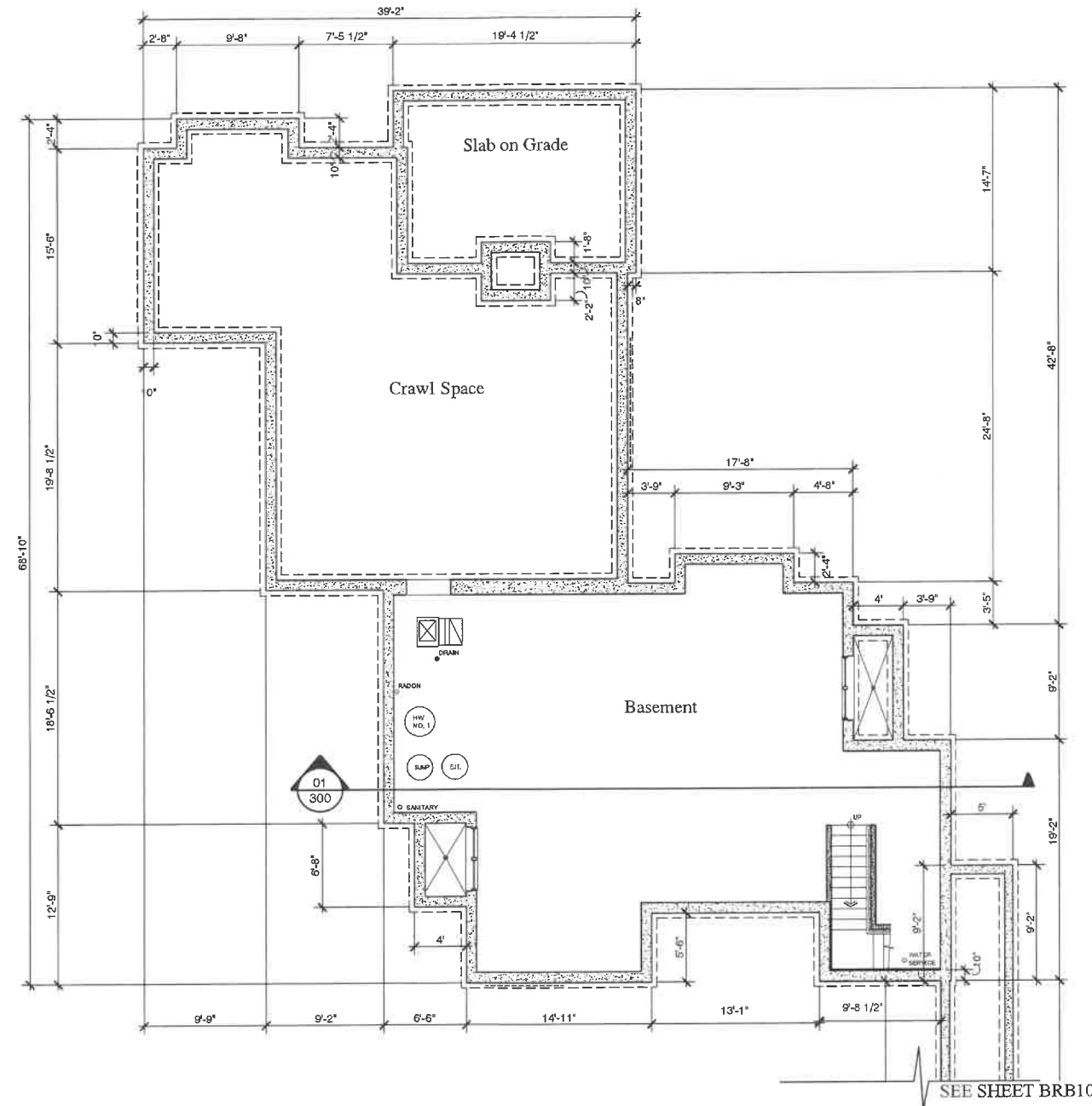


BRB 12.22.23

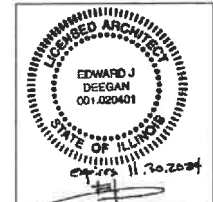
Nienhaus Residence
11x17 BUILDING REVIEW BOARD
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503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

Sheet No.
BRB300
Project No. 23.43



Basement/Foundation Construction Plan
SCALE: 3/32"=1'-0"

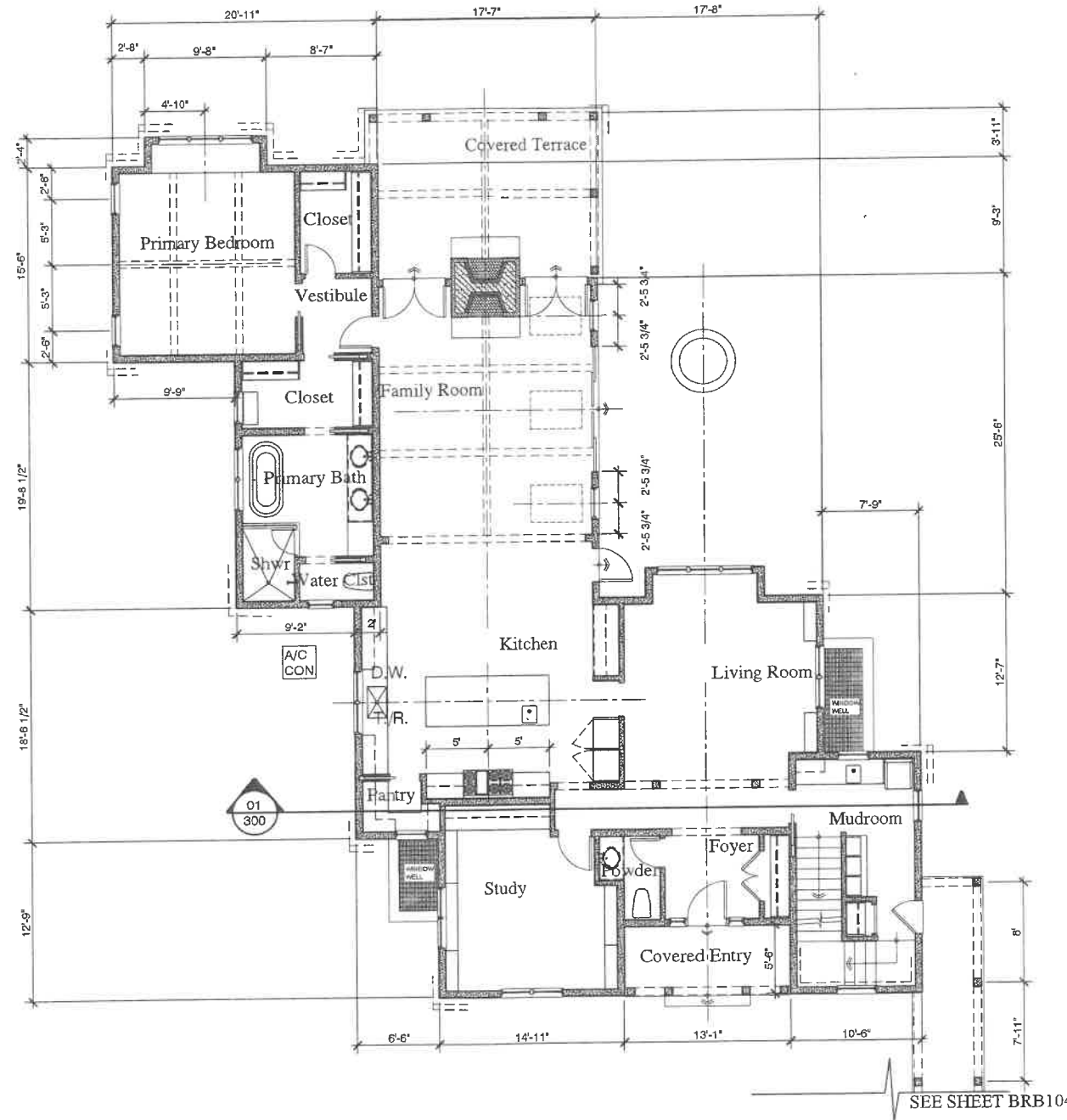


BRB 12.22.23

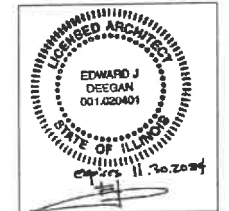
Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

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503 Park Drive #4
Kenilworth IL 60043
(847) 906-4110

Sheet No.
BRB100
Project No. 23.43



First Floor Construction Plan
SCALE: 3/32"=1'-0"

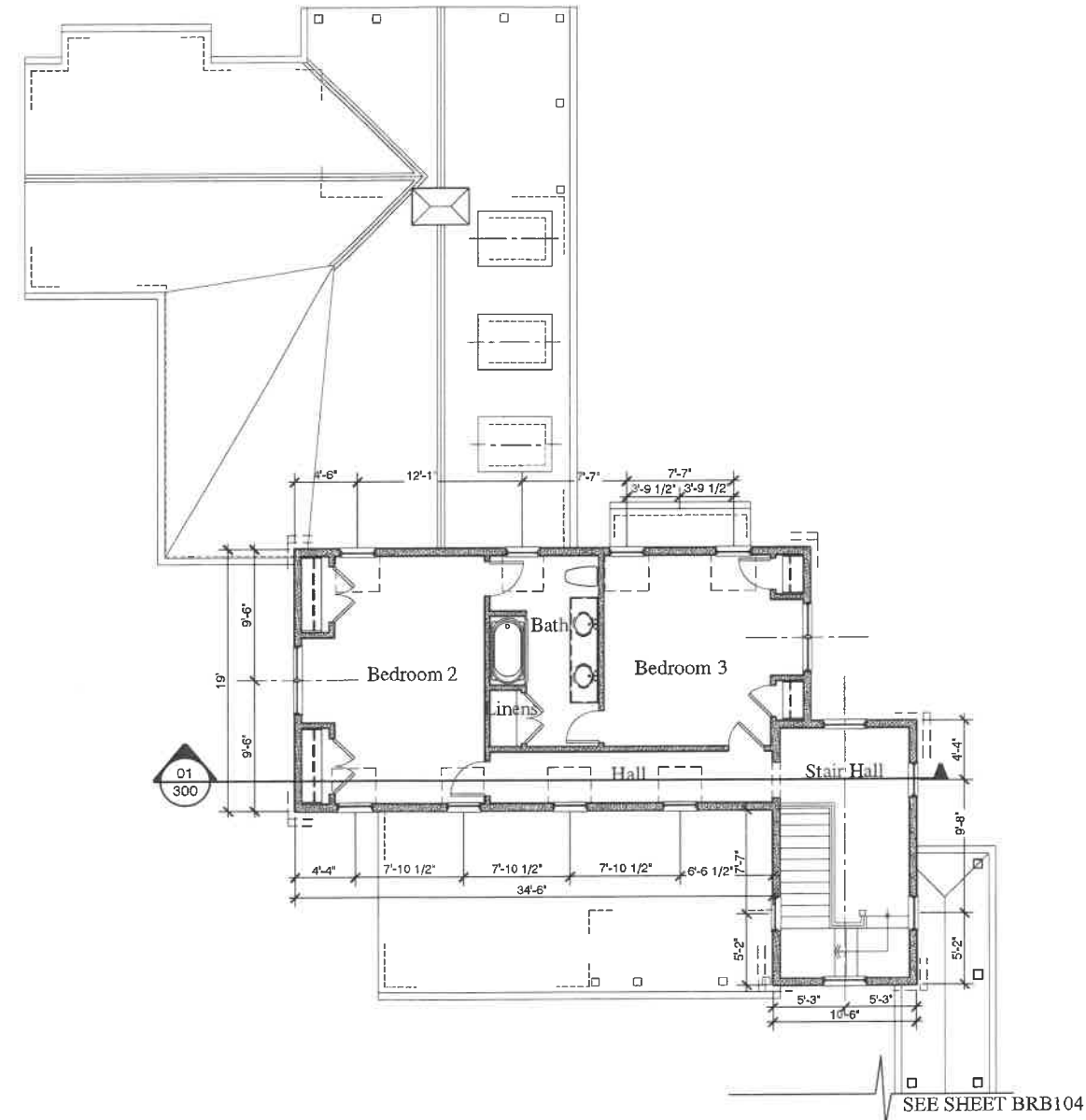


BRB 12.22.23

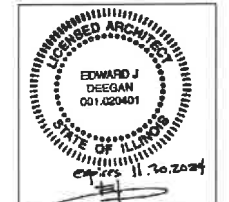
Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

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ARCHITECTS & INTERIORS
503 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

Sheet No.
BRB101
Project No. 23.43



Second Floor Construction Plan
SCALE: 3/32"=1'-0"

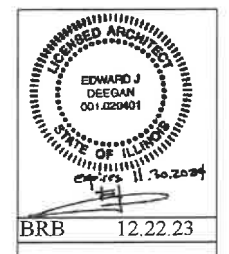


BRB 12.22.23

Nienhaus Residence
11x17 BUILDING REVIEW BOARD
1360 W Everett Rd
Lake Forest, IL 60045

EDWARD DEEGAN
ARCHITECTS & INTERIORS
501 Park Drive #4
Kenilworth, IL 60043
(847) 906-4110

Sheet No.
BRB102
Project No. 23.43

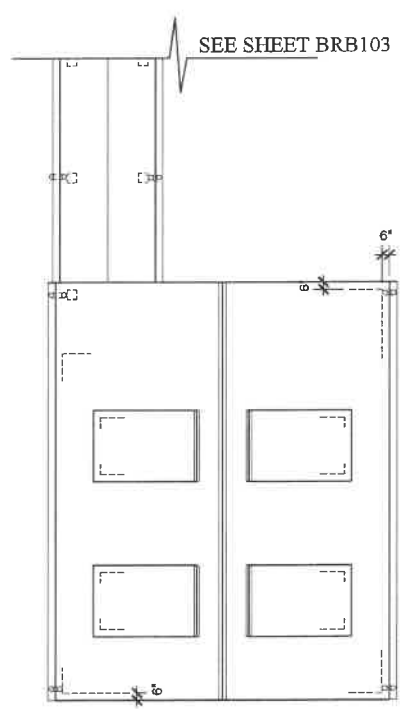


BRB 12.22.23

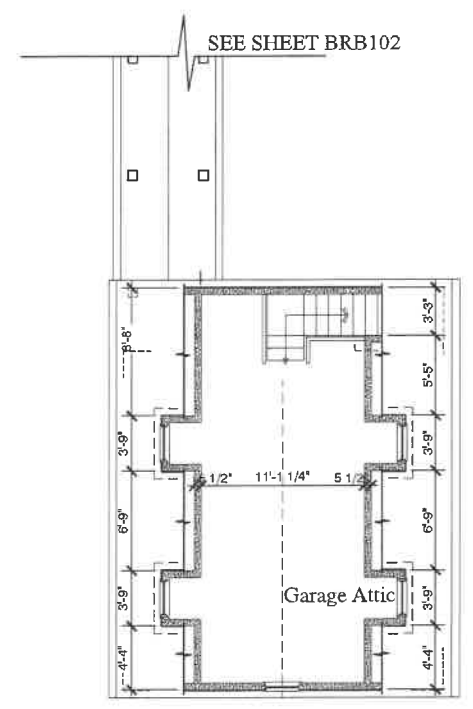
Nienhaus Residence
 11x17 BUILDING REVIEW BOARD
 1360 W Everett Rd
 Lake Forest, IL 60045

EDWARD DEEGAN
 ARCHITECTS & INTERIORS
 503 Park Drive #4
 Kenilworth IL 60043
 (847) 906-4110

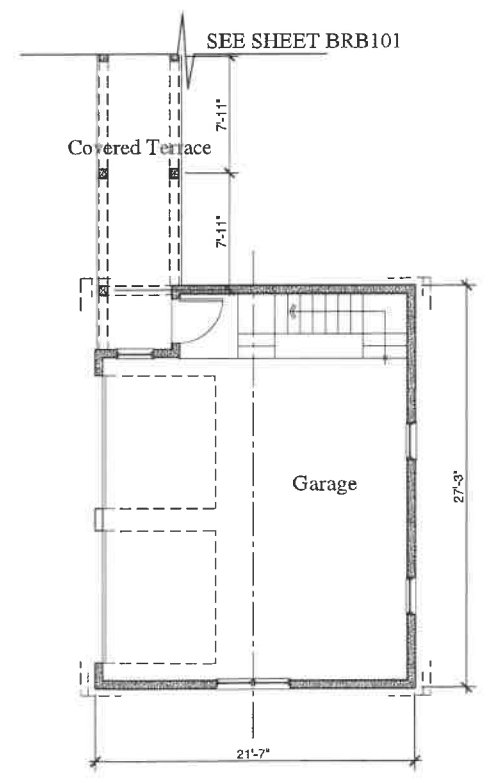
Sheet No.
BRB104
 Project No. 23.43



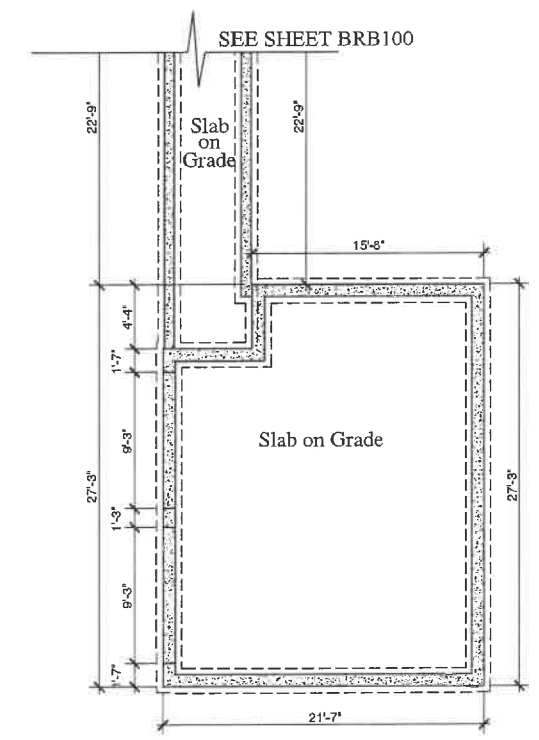
Garage Roof Construction Plan
 SCALE: 3/32"=1'-0"



Garage Attic Construction Plan
 SCALE: 3/32"=1'-0"



Garage First Floor Construction Plan
 SCALE: 3/32"=1'-0"



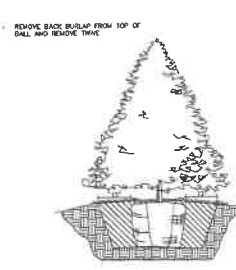
Garage Foundation Plan
 SCALE: 3/32"=1'-0"

Landscape Development Plan

NIENHAUS RESIDENCE



DECIDUOUS / ORNAMENTAL TREE PLANTING DETAIL



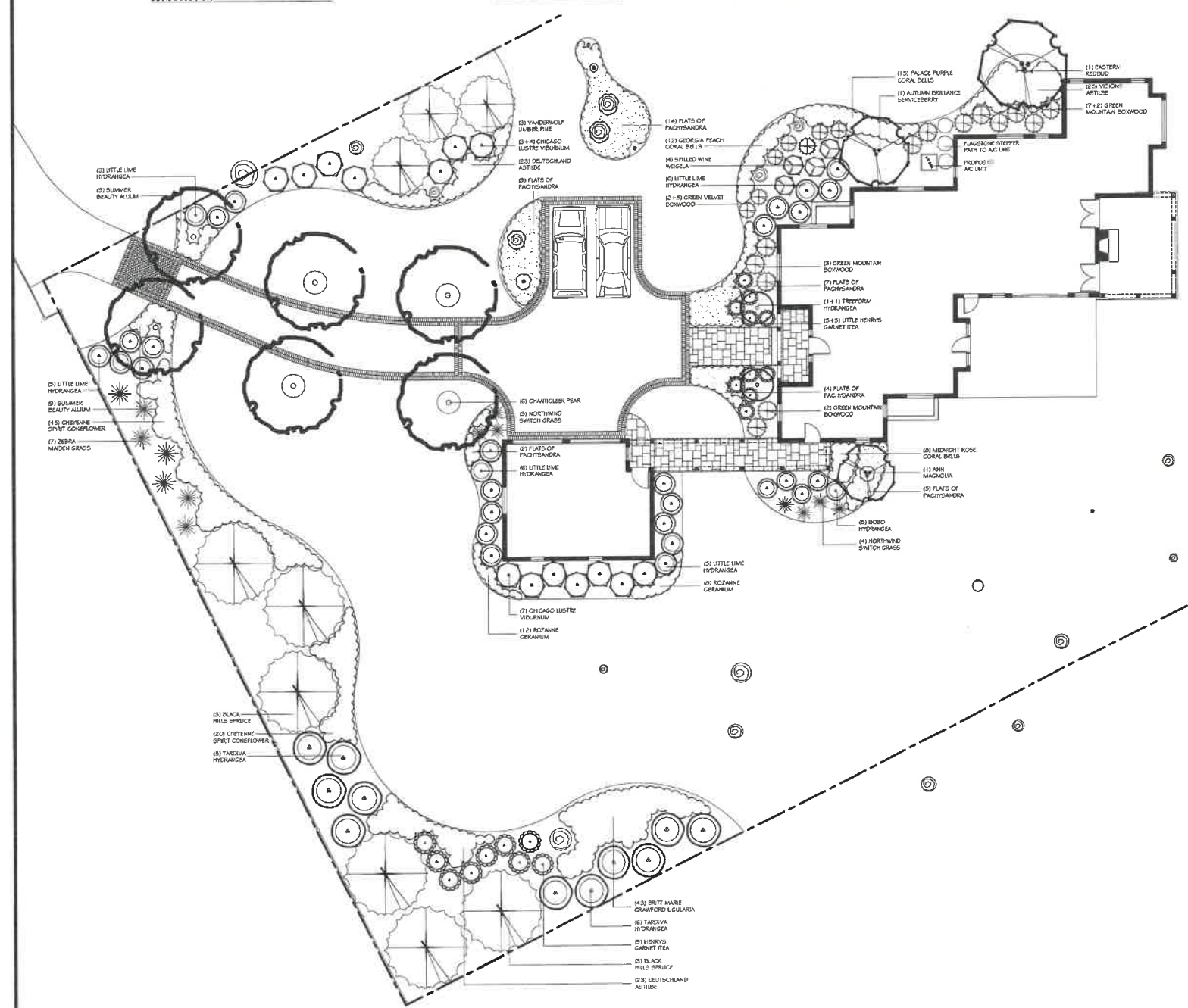
EVERGREEN TREE PLANTING DETAIL



DECIDUOUS / EVERGREEN SHRUB PLANTING DETAIL



PERENNIAL / GRASS / GROUNDCOVER PLANTING DETAIL



PLANT SCHEDULE

DECIDUOUS TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Am Magnolia	Magnolia x 'Am'	B&B	5'	1
Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	B&B	7'	1
Chanticleer Pear	Pyrus calleryana 'Chanticleer'	B&B	3" cal	6
Eastern Redbud	Cercis canadensis	B&B	7'	1
Treesform Limelight Hydrangea	Hydrangea paniculata 'Limelight'	POT	7 gal	2
EVERGREEN TREES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Black Hills Spruce	Picea glauca 'Densata'	B&B	7'	6
Vanderwolf Limber Pine	Pinus resinosa 'Vanderwolf's Pyramid'	B&B	7'	3
DECIDUOUS SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Chicago Lustre Viburnum	Viburnum dentatum 'Symestvedt'	POT	36"	14
Bobo Hydrangea	Hydrangea paniculata 'Bobo'	POT	3 gal	10
Little Lime Hydrangea	Hydrangea paniculata 'Lime' TM	POT	5 gal	25
Tardiva Hydrangea	Hydrangea paniculata 'Tardiva'	POT	36"	11
Henry's Garnet Tea	Itea virginica 'Henry's Garnet'	POT	5 gal	9
Little Henry's Garnet Tea	Itea virginica 'Little Henry's Garnet'	POT	3 gal	10
Spilled Wine Weigela	Weigela florida 'Spilled Wine'	POT	3 gal	4
EVERGREEN SHRUBS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Green Velvet Boxwood	Buxus x 'Green Velvet'	POT	24"	7
Green Mountain Boxwood	Buxus x 'Green Mountain'	POT	30"	14
ORNAMENTAL GRASSES				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Northwind Switch Grass	Panicum virgatum 'Northwind'	POT	3 GAL	7
Zebra Maiden Grass	Miscanthus sinensis 'Zebrinus'	POT	3 GAL	7
PERENNIALS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Summer Beauty Allium	Allium x 'Summer Beauty'	POT	1 GAL	18
Brit Mann Crawford Ligularia	Ligularia Brit Mann Crawford	POT	1 GAL	43
Deutschland Astilbe	Astilbe x arendsii 'Deutschland'	POT	1 GAL	46
Vision Astilbe	Astilbe chinensis 'Vision'	POT	1 GAL	25
Cheyenne Spirit Coneflower	Echinacea 'Cheyenne Spirit'	POT	1 GAL	65
Rozanne Geranium	Geranium 'Rozanne'	POT	1 GAL	20
Georgia Peach Coral Bells	Heuchera x 'Georgia Peach'	POT	1 GAL	12
Midnight Rose Coral Bells	Heuchera x 'Midnight Rose'	POT	1 GAL	6
Palace Purple Coral Bells	Heuchera x 'Palace Purple'	POT	1 GAL	15
PERENNIALS				
COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Pachysandra	Pachysandra terminalis	PLAT	3" PLUG	41

1360 W. Everett Road
Lake Forest, Illinois

sheet:

date: 12 JANUARY 2024

project no.:

drawn: TM

checked: TM

scale: 1" = 10'-0"



north:

revisions:



Tomek Design

PLANT LIST

Landscape
Development Plan

**NIENHAUS
RESIDENCE**

PLANT SCHEDULE

DECIDUOUS TREES

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Ann Magnolia	Magnolia x 'Ann'	B&B	5'	1
Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	B&B	7'	1
Chanticleer Pear	Pyrus calleryana 'Chanticleer'	B&B	3" cal	6
Eastern Redbud	Cercis canadensis	B&B	7'	1
Treeform Limelight Hydrangea	Hydrangea paniculata 'Limelight'	POT	7 gal	2

EVERGREEN TREES

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Black Hills Spruce	Picea glauca 'Densata'	B&B	7'	6
Vanderwolf Limber Pine	Pinus flexilis 'Vanderwolf's Pyramid'	B&B	7'	3

DECIDUOUS SHRUBS

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Chicago Lustre Viburnum	Viburnum dentatum 'Synnestevedt'	POT	36"	14
Bobo Hydrangea	Hydrangea paniculata 'Bobo'	POT	3 gal	10
Little Lime Hydrangea	Hydrangea paniculata 'Jani' TM	POT	5 gal	25
Tardiva Hydrangea	Hydrangea paniculata 'Tardiva'	POT	36"	11
Henry's Garnet Itea	Itea virginica 'Henry's Garnet'	POT	5 gal	9
Little Henry's Garnet Itea	Itea virginica 'Little Henry's Garnet'	POT	3 gal	10
Spilled Wine Weigela	Weigela florida 'Spilled Wine'	POT	3 gal	4

EVERGREEN SHRUBS

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Green Velvet Boxwood	Buxus x 'Green Velvet'	POT	24"	7
Green Mountain Boxwood	Buxus x 'Green Mountain'	POT	30"	14

ORNAMENTAL GRASSES

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Northwind Switch Grass	Panicum virgatum 'Northwind'	POT	3 GAL	7
Zebra Maiden Grass	Miscanthus sinensis 'Zebrinus'	POT	3 GAL	7

PERENNIALS

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Summer Beauty Allium	Allium x 'Summer Beauty'	POT	1 GAL	18
Bnt Marie Crawford Ligulana	Ligulana 'Bntt Marie Crawford'	POT	1 GAL	43
Deutschland Astilbe	Astilbe x arendsii 'Deutschland'	POT	1 GAL	46
Visions Astilbe	Astilbe chinensis 'Visions'	POT	1 GAL	25
Cheyenne Spirit Coneflower	Echinacea 'Cheyenne Spint'	POT	1 GAL	65
Rozanne Geranium	Geranium 'Rozanne'	POT	1 GAL	20
Georgia Peach Coral Bells	Heuchera x 'Georgia Peach'	POT	1 GAL	12
Midnight Rose Coral Bells	Heuchera x 'Midnight Rose'	POT	1 GAL	8
Palace Purple Coral Bells	Heuchera x 'Palace Purple'	POT	1 GAL	15

PERENNIALS

COMMON NAME	BOTANICAL NAME	CONT	SIZE	QTY
Pachysandra	Pachysandra terminalis	FLAT	3" PLUG	41

**1360 W. Everett Road
Lake Forest, Illinois**

sheet:

date: **12 JANUARY 2024**

project no.:

TREE INVENTORY

Tree Inventory			CONDITION
TAG #	SIZE	SPECIES	1-6 (1=BEST - 6= DEAD)
1	61	Bur Oak	3
2	29	Bur Oak	3
3	24	Bur Oak	3
4	26	Bur Oak	3
5	12	American Elm	6
6	12	Austrian Pine	4
7	13	White Cedar	3
8	33	Bur Oak	3
9	31	Bur Oak	3
10	11	Red Oak	6
11	13	Bur Oak	3
12	22	Bur Oak	3
13	31	Bur Oak	3
14	29	Spruce	3
15	27	Red Oak	4
16	17	Silver Maple	5
17	8	Mulberry	3
18	6	American Elm	3
19	6	Bur Oak	3
20	6	Pear	4
21	40	Bur Oak	3
22	18	White Oak	4
23	24	Bur Oak	3
24	19	White Oak	3
25	22	Bur Oak	3
26	8	Bur Oak	4
27	30	White Oak	3
28	24	White Oak	3
29	41	Swamp White Oak	3
30	29	Bur Oak	3
31	53	Bur Oak	3
32	9	White Cedar	6
33	15	Spruce	4
34	18	Hickory	3
35	27	Bur Oak	3
36	15	Spruce	3
Lou Leggett 847-561-7061			
Certified Arborist#177			

Agenda Item 6
1400 Oak Knoll Drive
New Residence on Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Site Plan
Conceptual Rendering
Elevations
Roof Plan
Section
Floor Plans
Streetscape Graphic - Partial
Tree Removal and Landscape Plan
- *Tree Inventory*
Preliminary Grading and Tree Removal Plan

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1400 Oak Knoll Drive

Consideration of a request for approval of a new residence and the associated hardscape and landscape plans.

Property Owner: Jamie and Sophia Childs

Contract Purchasers: Joseph Paul D'Cruz and Dewelyn Diana Menezes

Project Representative: Jeff Letzter, Project Manager

Staff Contact: Catherine Czerniak, Director of Community Development

Summary of Request

This is a request for a recommendation in support of a new single family residence on a vacant lot.

In 2020, the Board reviewed a petition for a new residence on this parcel that was submitted by the current owners of the property. The Board recommended approval of the plans presented in 2020. A copy of the site plan and a conceptual rendering of the front of the then proposed residence is attached to this staff report as background information. The previously approved project never moved forward. The property is now under contract to be sold and a new home design is presented based on the desires of the intended buyers.

Description of Property

The property is located on the west side of Oak Knoll Drive, between Old Mill Road and Estate Lane East. The property is one of three lots in the Estate Lane Subdivision which was approved and recorded in 2016. In 2020 and 2021, the Board, in addition to considering a new residence for the vacant parcel in this petition, considered and ultimately recommended approval of new residences for the other two lots in the Estate Lane Subdivision. Those houses were constructed and are located directly north and to the northwest of the property in that is the subject of this petition.

The property that is the subject of this request totals 25,000 square feet and is rectangular in shape.

The surrounding neighborhood contains homes of varying architectural styles built mostly during the 1980's. The construction of three new homes in the Estate Lane Subdivision is significant and the Board has considered each of the three homes carefully to ensure that the new homes fit quietly into the character of the neighborhood and generally offer the same quality of detail, construction and materials of the surrounding development. Larger homes are located to the south, on the east side of Oak Knoll Drive in the Biltmore Subdivision.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

The proposed residence faces east, toward Oak Knoll Drive, like the previously approved residence for this property. In the current proposal, the driveway is located five feet away from the north property line, an improvement over the previous plan which located the driveway very close to the north property line with little space for landscaping or pervious surface to accommodate water runoff.

The footprint of the house now proposed is narrower than the previous home providing a greater setback from the south property line than previously proposed. Like the previous plan, the garage is sited at the front setback line and the garage is side loaded with doors facing north. The curb cut from Oak Knoll Drive enters the property near the center of the streetscape frontage and curves toward the north side of the house to provide access to the garage. The driveway is proposed at 16 feet, the maximum width permitted for a driveway located in the front yard setback. In the current proposal, the main mass of the house is setback further from Oak Knoll than in the previous plan.

Neither the site plan, nor the landscape plan reflect any entrance features or landscape structures, fences or patios. Both plans indicate a small outdoor, covered kitchen at the northwest corner of the house.

The preliminary grading and drainage plan indicates that the proposed impervious surface on the site totals 6,028 square feet or 24 percent of the site, slightly less than the 26 percent coverage in the previous plan. The building footprint totals 3,347 square feet and the driveway totals 2,153. The walkways, stoops, and other minor improvements comprise the remainder of the impervious square footage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,250 square feet is permitted on the site. In addition, a garage of up to 600 square feet is permitted along with up to 425 square feet of design elements. Design elements are defined as those

elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The proposed residence totals 4,125 square feet.
- A total of 600 square feet is allowed for a garage on a property of this size. The proposed garage totals 716 square feet. The garage overage of 116 square feet must be added to the total square footage of the residence for a total of 4,241 square feet.
- In addition to the above square footage, a total of 58 square feet of design elements are incorporated into the design of the house. It is notable that in the house previously approved, there were 293 square feet of design elements which helped to visually reduce the appearance of mass of the house through the incorporation of human scale elements.
- In total, the residence is 4,241 square feet, nine square feet, and less than one percent below the allowable square feet.

Recommendation: Given that the allowable square footage on the lot is nearly maxed out, at the time plans are submitted for permit, clear dimensions should be detailed on the construction documents and an updated Building Scale Workbook shall be submitted to allow verification that the house and all improvements remain under the allowable square footage.

At the maximum height, the residence is 30 feet 2 inches tall as measured from the lowest point of existing grade to the tallest roof peak. The maximum height allowed for this lot is 35 feet.

Elevations – This standard is not yet met.

According to the petitioner's statement of intent, the proposed residence is designed in the Colonial Revival architectural style. This style is often characterized by symmetry, hipped roofs that intersect with each other, single decorative fan or Palladian windows in gable ends, and double hung windows. White clapboard and brick are common materials for this style.

The residence presents a two story massing in the main form with multiple roof forms. Several of the roof forms overlay, rather than intersect. For instance, on the front facing elevation of the single story garage element, the roof forms appear unnecessarily complicated without clear benefit to the interior space.

Recommendation: Simplify the roof forms and conduct further study of the Colonial Revival style to align more closely with the chosen style.

The front entry element deviates from the Colonial Revival style with heavy columns, thick bases, and a thick, contemporary appearing roof over the entryway. The front door itself appears understated lacking a frame or other elements to give it some prominence on the front elevation.

Casement windows are proposed around the house, without shutters. Shutters are often found on Colonial Revival homes. On the front elevation, the windows are placed symmetrically for the most part and are generally consistent in size.

Limited windows are found on the south elevation resulting in large expanses of solid walls.

On the rear elevation a series of four windows are mulled together, in four locations across the elevation. The large expanses of windows on the rear of the home are likely intended to take advantage of views into and nature light from the rear yard. The rear yard is some distance from neighboring homes and light impacts on neighboring properties are likely to be minimal if any. The north corner of the rear elevation is a solid wall which will be the location of the covered kitchen area.

The garage doors are located on the north elevation, a two car door and a single car door. Limited windows are found on this elevation. The roof of both the one story and two story masses is prominent on this elevation.

Recommendation: Conduct further study of the windows. In particular, consider how the windows do or do not align with the selected architectural style. Consider modifications to the number, placement, and size of windows on the south elevation to achieve a better balance between solids and voids.

Type, color, and texture of materials – This standard is not yet met.
Brick and clapboard are commonly found on Colonial Revival style homes. The materials proposed for the home include four inch thick stone for the façade material. From the rendering and description provided, the stone will be light gray in color. It is not clear whether natural or cast stone is proposed. Cast stone is proposed for the quoins which are described as projecting from the walls.

Limestone is proposed for window and door trim and wood is proposed for the remaining trim.

Black asphalt shingle is proposed for the roof material with aluminum flashing, gutters, and downspouts.

Casement aluminum windows are proposed with simulated divided lites, muntins affixed to the inside and outside of the windows.

Asphalt is proposed for the driveway and concrete pavers are proposed for the rear patio and walkways.

The color palette as reflected on the conceptual rendering appears stark with a black roof and lighter tones of stone and limestone. The use of cast stone and limestone presents the challenge of aligning the tones and avoiding the potential for yellowing of the cast stone over time.

Recommendation: Provide further detail of the proposed materials including samples that illustrate the color and texture.

Recommendation: Reconsider the materials to present a softer appearance, less stark, and one more in keeping with the selected Colonial Revival style.

Landscaping – This standard can be fully met during review for permit.
The tree removals as detailed in the materials submitted by the petitioner include a considerable amount of Buckthorn and a couple Ash trees. These types of removals do not require any direct inch for inch replacement. However, the Code minimums for foundation plantings and planting of shade trees will still need to be met.

The preliminary landscape plan submitted reflects trees that will be preserved and protected and identified additional trees and vegetation proposed for the site. The City's Certified Arborist is currently recommending that alternatives to Autumn Blaze Maples be used because although this species is quick growing, the trees decline fairly quickly in many cases. The City will provide the petitioner with a recommended plant/tree list for consideration as the final landscape plan is developed.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations and on the City's website. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Continue the petition for further refinement. Indicate support for the overall site plan. Provide direction to the petitioner based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

OR

If the Board determines that a recommendation in support of the petition as presented is appropriate at this time, staff recommends the following conditions of approval be incorporated into the motion.

Conditions of Approval

1. The following elements shall be studied further and refined as directed by the Board.

Note to the Board: Please detail the elements to be studied and refined, if any.

2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.
- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping. Consideration shall be given to the City's recommended planting list.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be

addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1400 Oak Knoll Drive

Owner(s) Joseph Paul D'Cruz & Dewelyn Diana Menezes

Proj. Manager Jeff Letzter

Reviewed by: C. Czerniak

Date 2/1/2024

Lot Area 25000 sq. ft. Allowed Square Footage

Square Footage of Residence -- New

1st floor 2497 + 2nd floor 1628 + 3rd floor _____ = 4125 sq. ft.

Design Element Allowance = 425 sq. ft.

Total Actual Design Elements = 58 sq. ft. Excess = 0 sq. ft.

Garage 716 sf actual ; 600 sf allowance Excess = 116 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 4241 sq. ft.

(minus Design Elements, plus garage overage)

DIFFERENTIAL (Existing) = _____ sq. ft.

Under Maximum

TOTAL SQUARE FOOTAGE = 4241 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 4250 sq. ft.

DIFFERENTIAL = 9 sq. ft.

NET RESULT:

9 sq. ft. is

Allowable Height: 35 ft. Actual Height 30'2" ft. Less : than 1% under Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 425 sq. ft.

Front & Side Porches = 58 sq. ft.

Rear & Side Screen Porches = 0 sq. ft.

Covered Entries = 0 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 58 sq. ft.

Excess Design Elements = 0 sq. ft.



Area of Request
1400 Oak Knoll Dr



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1400 OAK KNOLL DRIVE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	

PROPERTY OWNER INFORMATION
 Jamie & Sophia Childs, Owners
 Joseph Paul D'Cruz & Dewelyn Diana Menezes, Contract Purchasers

Owner of Property

222 E. Wisconsin 303A
Owner's Street Address (may be different from project address)

Lake Forest, IL 60045
City, State and Zip Code

224-436-8310
Phone Number *Fax Number*

Email Address

ARCHITECT/BUILDER INFORMATION
JEFF LETETEE / Project Manager
DEAN FOTES / ARCHITECT
Name and Title of Person Presenting Project

ASPECT DESIGN, INC.
Name of Firm

26575 Commerce Dr
Street Address

Valo, IL 60073
City, State and Zip Code

(847) 497-2500
Phone Number *Fax Number*

DocuSigned by:
Jamie Childs
 Owner's Signature

DocuSigned by:
sophia childs
 C:\0A311D98A848D

JEFF@ASPECTDESIGNINC.COM
Email Address

[Signature]
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 6:00pm.

<i>Please email a copy of the staff report</i>	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %



Statement of Intent Lot 3 Estate Lane Subdivision

1. Background—The home will be built by Childs Development in the Estate Lane Subdivision.
2. Initial Goal—The purpose of the project is to integrate a Colonial Revival style home into an existing neighborhood.
3. Design Strategy—The intent is to plan the home with garage to the North and have the front entry, front porch, and roof lines being the focal point as you view the home on the lot from Oak Knoll Drive, which works well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. Materials—Light Gray stone is to be used on the exterior of the building. The aluminum clad windows will be black. The roof will be black / charcoal architectural asphalt shingles.
5. Conclusion—The intent is to build an attractive home that quietly fits into its current site. The restrained new quality of the home will be a wonderful addition to the neighborhood.
6. Variances—None are required for the proposed home in the R-2 zoning district.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other _____ |

Color of Material LT. GREEN

Window Treatment

Primary Window Type

- Double Hung
 Casement
 Sliding
 Other _____

Finish and Color of Windows

- Wood
 Aluminum Clad
 Vinyl Clad
 Other _____

Color of Finish BLACK

Window Muntins

- Not Provided
 True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
 Interior muntin bars only
 Exterior muntin bars only
 Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Window Trim

- Limestone
 Brick
 Wood
 Synthetic Material _____
 Other _____

Fascias, Soffits, Rakeboards

- Wood
 Other _____
 Synthetic Material _____

**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED**

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ASPHALT

Flashing Material

- Copper
- Sheet Metal _____
- Other ALUMINIUM

Color of Material BLACK/CHARCOAL

Gutters and Downspouts

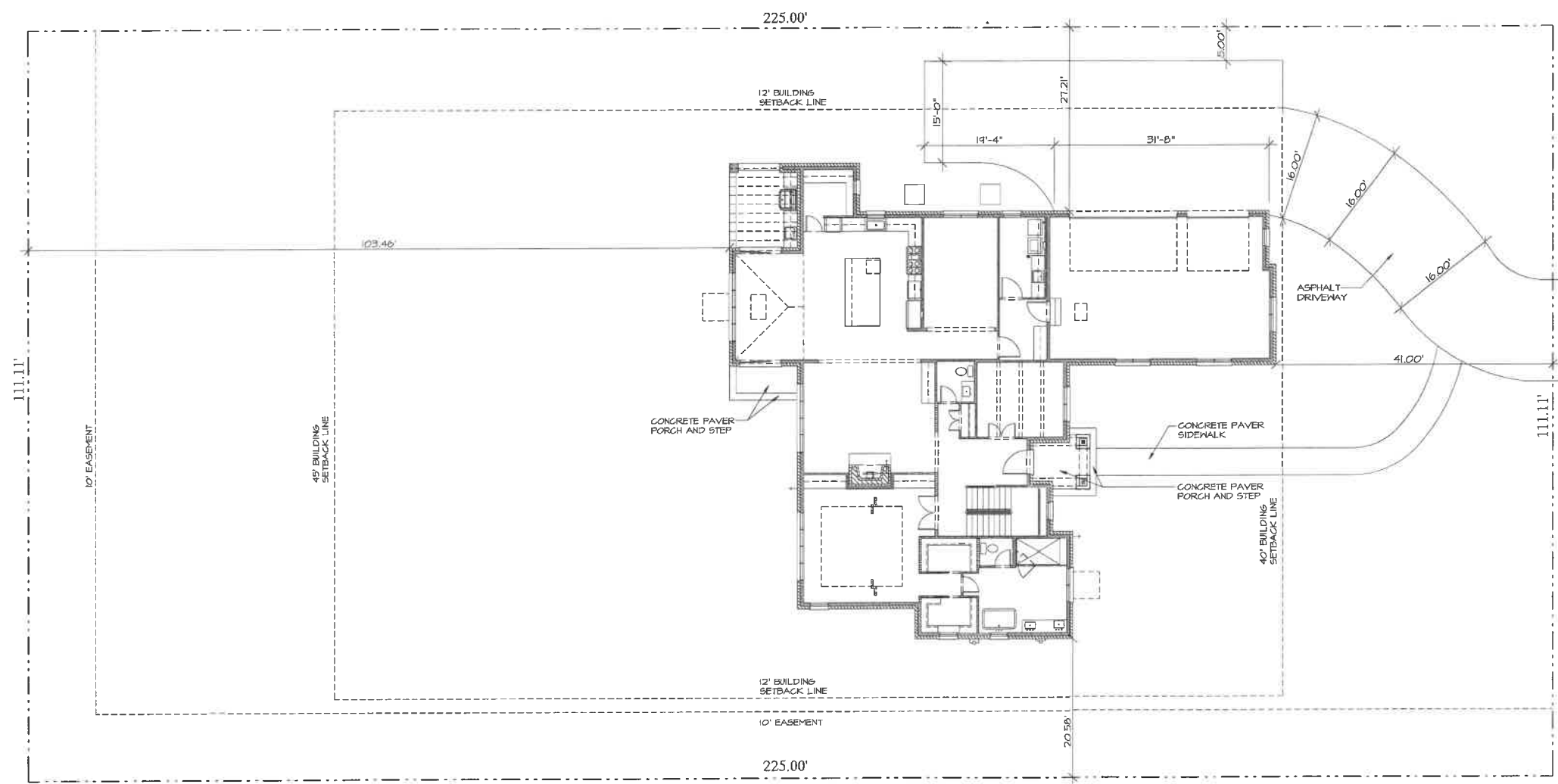
- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____



1 SITE PLAN
AR 01



SCALE: N.T.S.

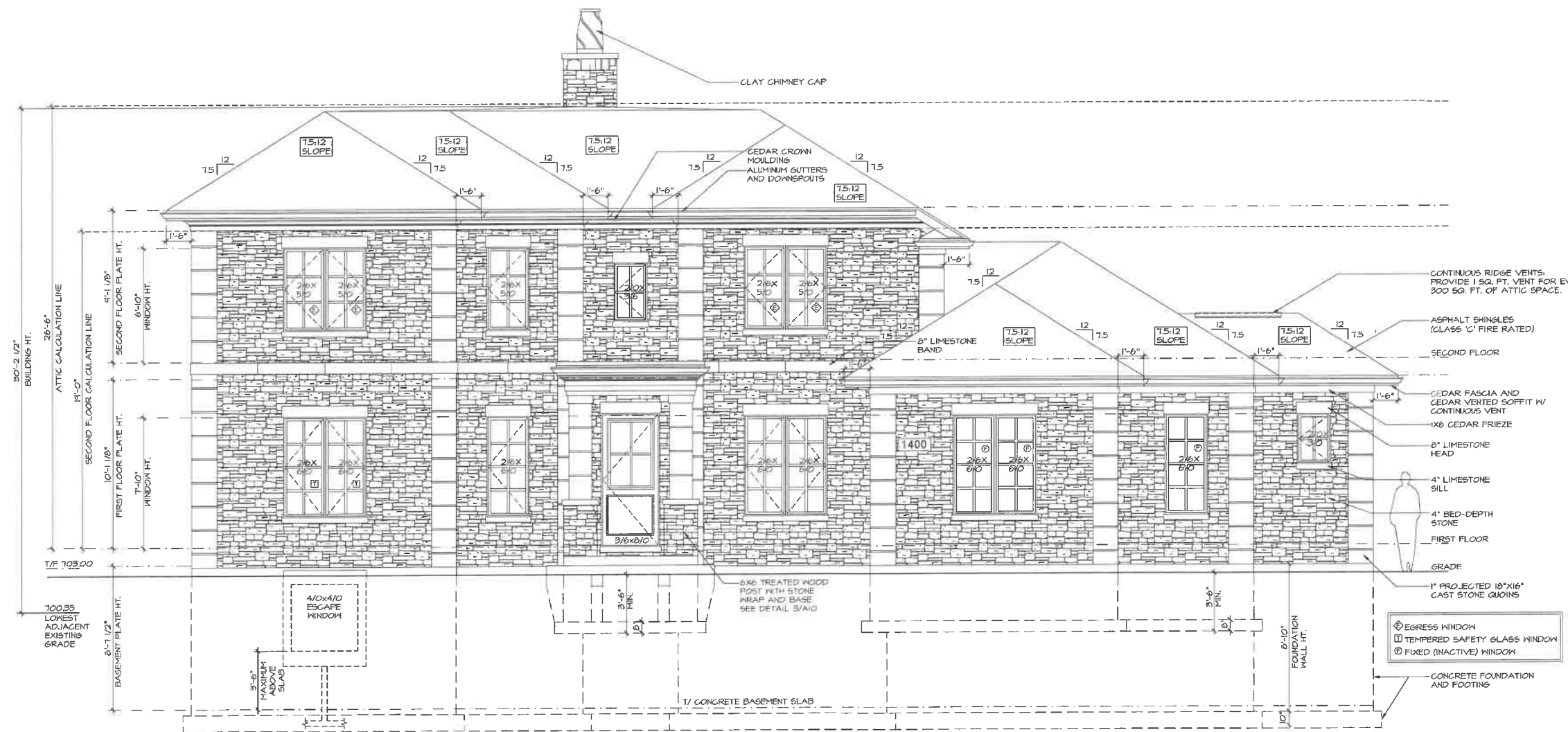
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OAK KNOLL DRIVE
REVIEW ONLY-NOT FOR CONSTRUCTION

		26575 COMMERCE DR. SUITE 607 VOLLA, IL 60074 MAIN: 847-677-2500 IL PERM: 11460316	
PROJECT #	AD23159	LOT 3	
DRAWN BY:	DR/MR	D'CRUZ RESIDENCE	
D'CRUZ RESIDENCE SITE PLAN		1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
AR 01			
# 1 OF 14 TOTAL SHEETS			
REVIEW	04/14/2023	REVIEW	09/14/2023
REVIEW	04/15/2023	REVIEW	09/21/2023
REVIEW	04/22/2023	REVIEW	09/27/2023
REVIEW	04/27/2023	REVIEW	10/05/2023
REVIEW	04/28/2023	REVIEW	10/11/2023
REVIEW	04/28/2023	REVIEW	10/24/2023
REVIEW	09/04/2023	REVIEW	10/24/2023
REVIEW	09/04/2023	REVIEW	01/17/2024



Two Off Road



1 FRONT ELEVATION (EAST)
AR 02

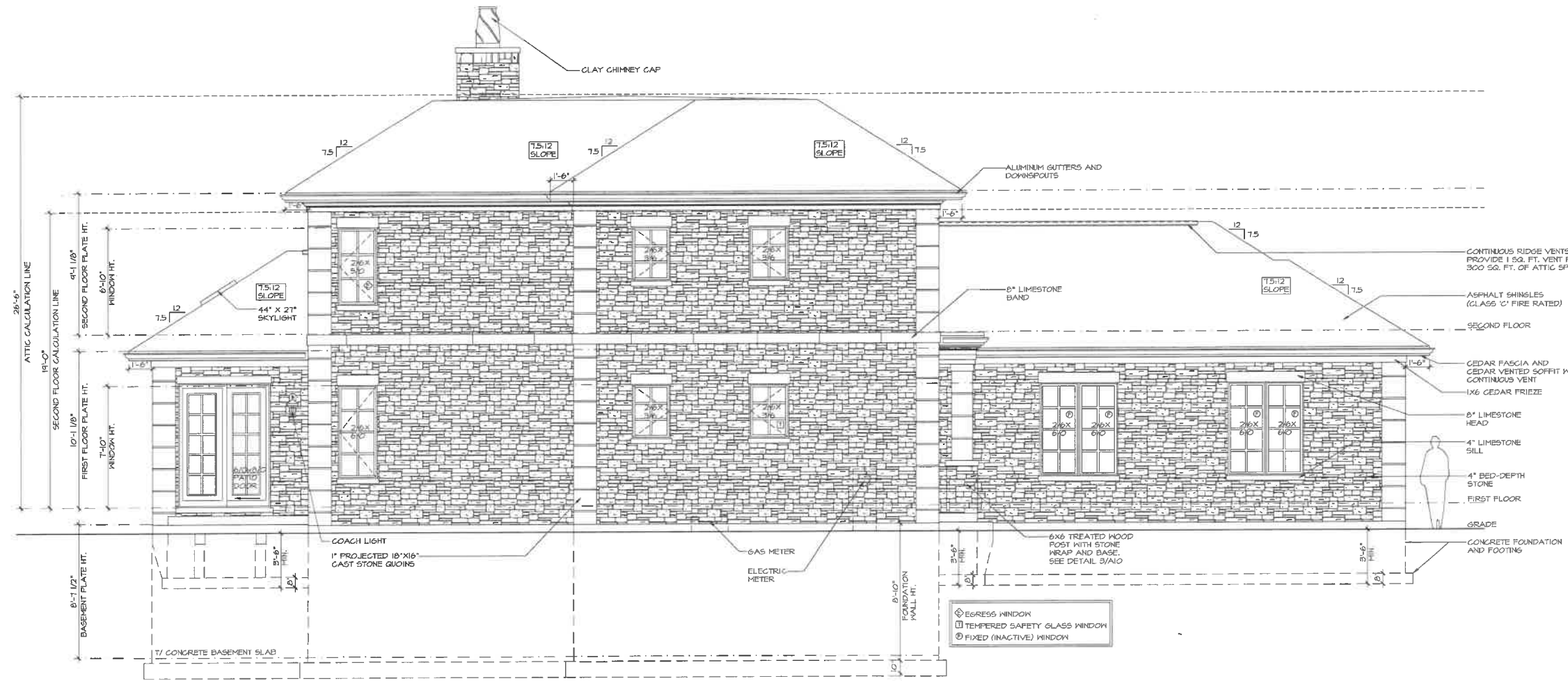
SCALE: N.T.S.

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LOT 3 D'CRUZ RESIDENCE 1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
REVIEW	09/14/2023
REVIEW	09/11/2023
REVIEW	09/07/2023
REVIEW	08/22/2023
REVIEW	08/16/2023
REVIEW	08/10/2023
REVIEW	08/04/2023
REVIEW	07/24/2023
REVIEW	07/17/2024
1625 COSMOPOLITAN DR. SUITE 607 Volo, IL 60073 MAIL: 847-457-2500 INFO: 847-457-2500 WWW.ASPECTDESIGN.COM	
PROJECT # AD23159 DRAWN BY: DB / MB D'CRUZ RESIDENCE EXTERIOR ELEVATIONS AR 02 # 2 OF 14 TOTAL SHEETS	

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1 LEFT ELEVATION (SOUTH)
AR 03

SCALE: N.T.S.

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LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	09/14/2023
REVIEW	09/01/2023
REVIEW	08/27/2023
REVIEW	10/06/2023
REVIEW	10/01/2023
REVIEW	10/02/2023
REVIEW	10/04/2023
REVIEW	01/17/2024

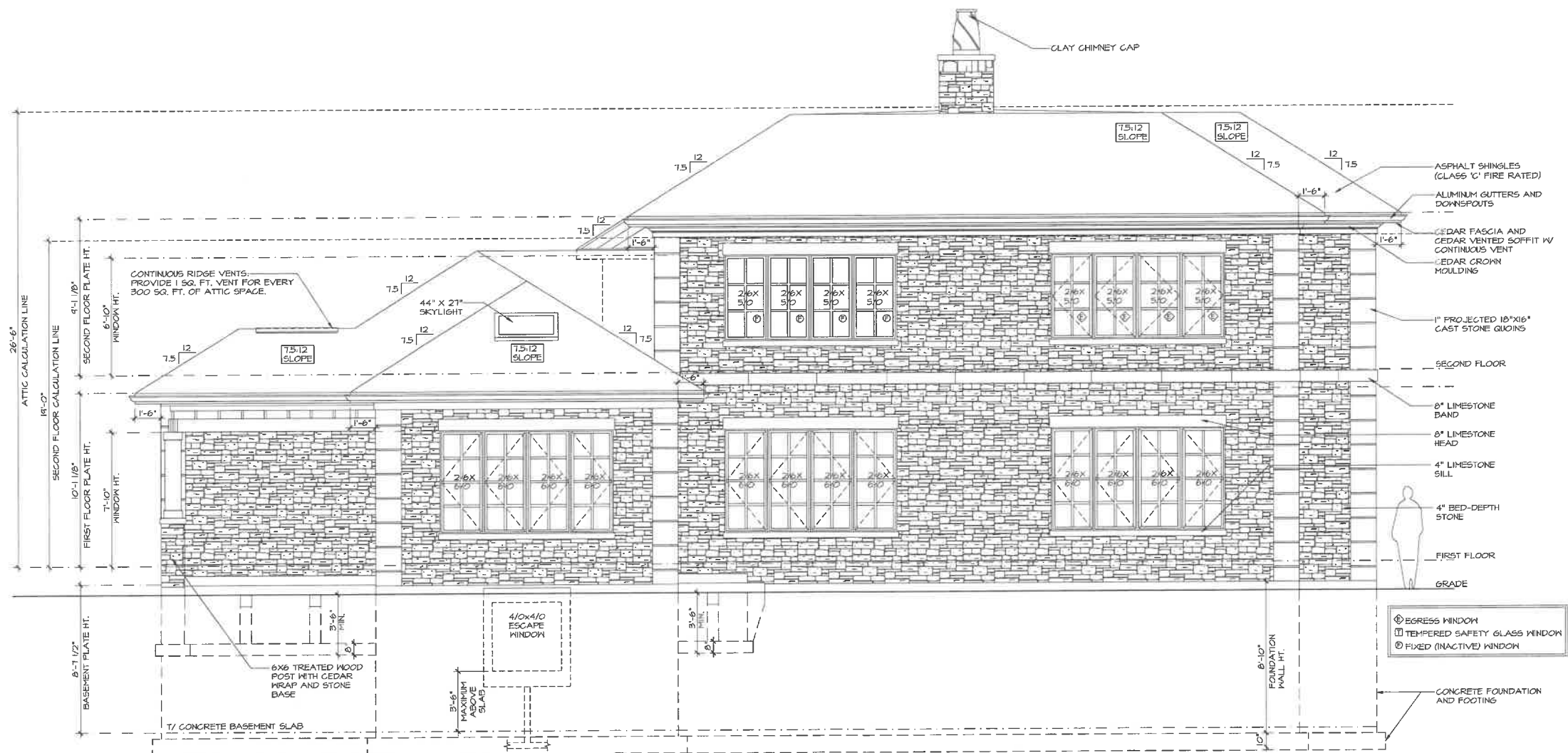
26525 COMMERCIAL DR.
SUITE 607
VOLA, IL 60073
MARK: 847-457-2500
IL ARCHITECT # 140082874

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # ADJ3159
DRAWN BY: DR/MB
D'CRUZ RESIDENCE
EXTERIOR ELEVATIONS

AR 03

3 OF 14 TOTAL SHEETS



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LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	001/02/23
REVIEW	05/1/23
REVIEW	09/2/23
REVIEW	10/5/23
REVIEW	10/1/23
REVIEW	10/2/23
REVIEW	10/4/23
REVIEW	01/17/24

2675 COMMERCIAL DR.
YOLA, IL 60073
MAIN: 847.457.2500
WWW.ASPECTDESIGNINC.COM
IL ARCHITECT # 149044

ASPECT DESIGN INC.
ARCHITECTS

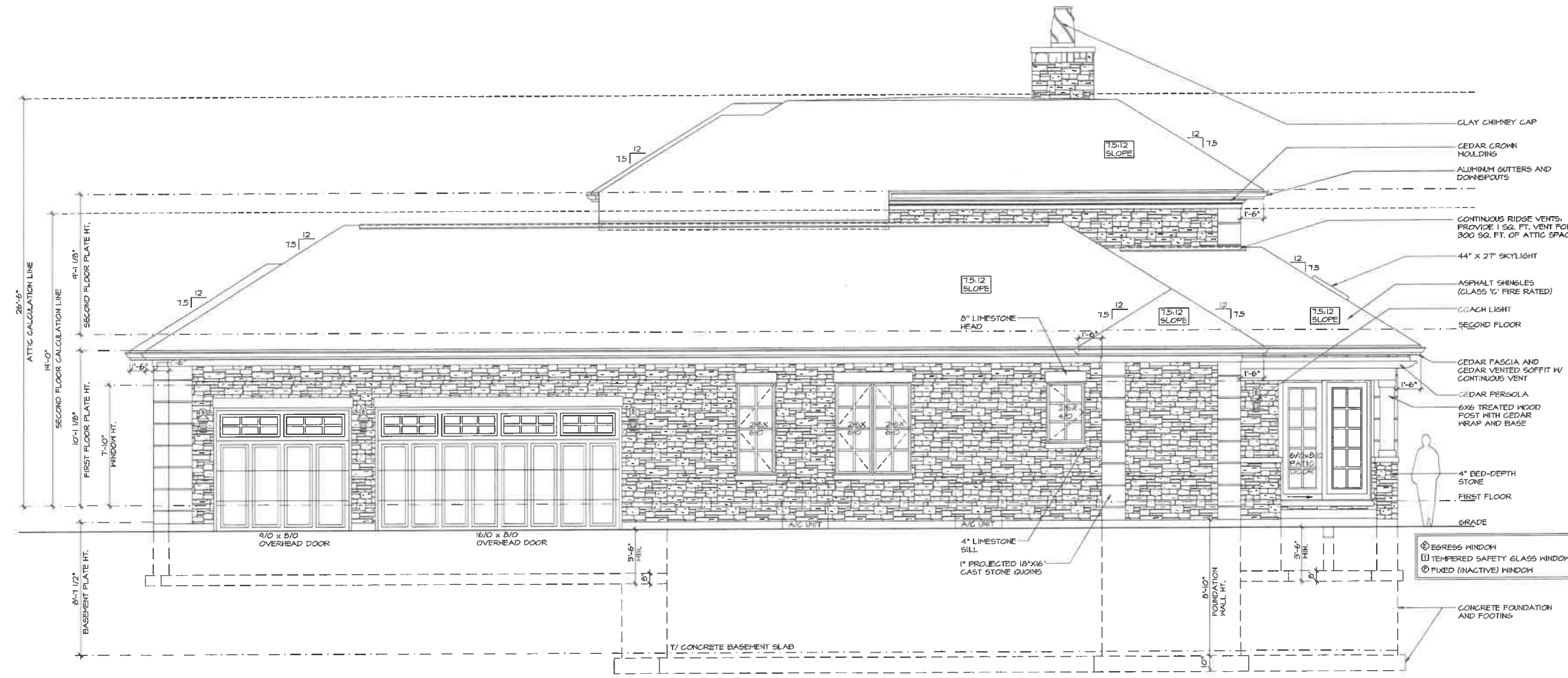
PROJECT # AD23159
DRAWN BY: DB / MR
D'CRUZ RESIDENCE
EXTERIOR ELEVATIONS
AR 04
4 OF 14 TOTAL SHEETS

1 REAR ELEVATION (WEST)
AR 04

SCALE: N.T.S.

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LOT 3
 D'CRUZ RESIDENCE
 1400 OAK KNOLL DRIVE
 LAKE FOREST, IL 60045

REVIEW	09/14/2023
REVIEW	09/21/2023
REVIEW	09/27/2023
REVIEW	10/05/2023
REVIEW	10/11/2023
REVIEW	10/23/2023
REVIEW	10/24/2023
REVIEW	01/17/2024

16675 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 MAIN: 847-457-2500
 INFO: 847-457-2501
 WWW.ASPECTDESIGNINC.COM

ASPECT DESIGN INC.
 ARCHITECTS

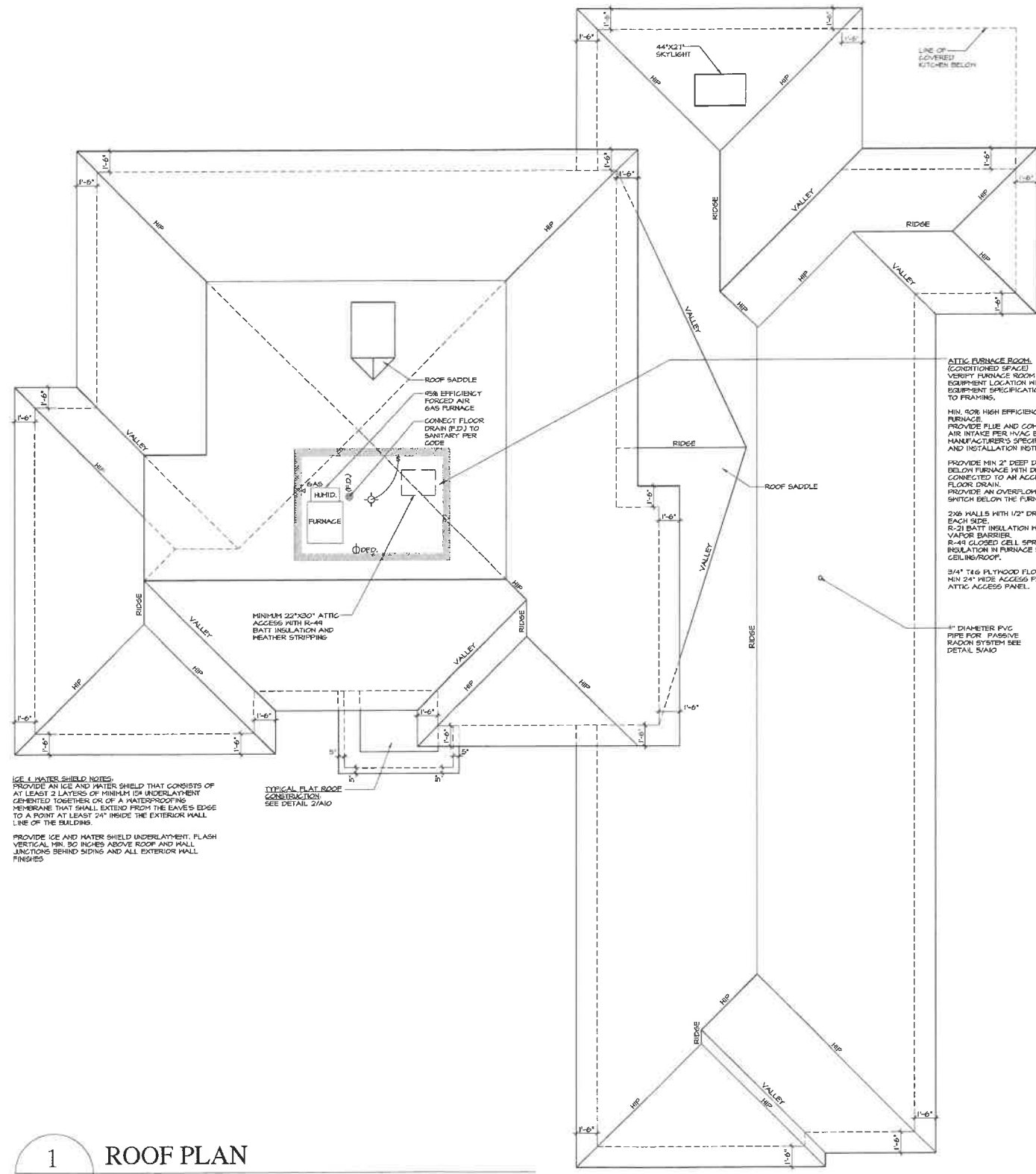
PROJECT #	AD23159
DRAWN BY:	DR/MB
D'CRUZ RESIDENCE EXTERIOR ELEVATIONS	
AR 05	
# 5 OF 14 TOTAL SHEETS	

1 RIGHT ELEVATION (NORTH)
 AR 05

SCALE: N.T.S.

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ICE & WATER SHIELD NOTES:
 PROVIDE AN ICE AND WATER SHIELD THAT CONSISTS OF AT LEAST 2 LAYERS OF MINIMUM 50 MIL INSULATION CEMENTED TOGETHER OR OF A WATERPROOFING MEMBRANE THAT SHALL EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
 PROVIDE ICE AND WATER SHIELD UNDERLAMENT, FLASH VERTICAL MIN. 30 INCHES ABOVE ROOF AND WALL JUNCTIONS SEND SIGNS AND ALL EXTERIOR WALL FINISHES

TYPICAL FLAT ROOF CONNECTION:
 SEE DETAIL 21A10

ATTIC FURNACE ROOM (CONDITIONED SPACE):
 VERIFY FURNACE ROOM SIZE AND EQUIPMENT LOCATION WITH HVAC EQUIPMENT SPECIFICATIONS PRIOR TO FRAMING.
 MIN. 40% HIGH EFFICIENCY FURNACE
 PROVIDE FLUE AND COMBUSTION AIR INTAKE PER HVAC EQUIPMENT MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
 PROVIDE MIN 2" DEEP DRIP TRAY BELOW FURNACE WITH DRAIN CONNECTED TO AN ACCESSIBLE FLOOR DRAIN.
 PROVIDE AN OVERFLOW CUT OFF SWITCH BELOW THE FURNACE.
 2X6 WALLS WITH 1/2" DRYHALL EACH SIDE
 R-21 BATT INSULATION WITH VAPOR BARRIER
 R-48 CLOSED CELL SPRAY FOAM INSULATION IN FURNACE ROOM CEILING/ROOF.
 3/4" T&G PLYWOOD FLOOR AND MIN 24" WIDE ACCESS PATH TO ATTIC ACCESS PANEL.

1 ROOF PLAN
 AR 10

SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

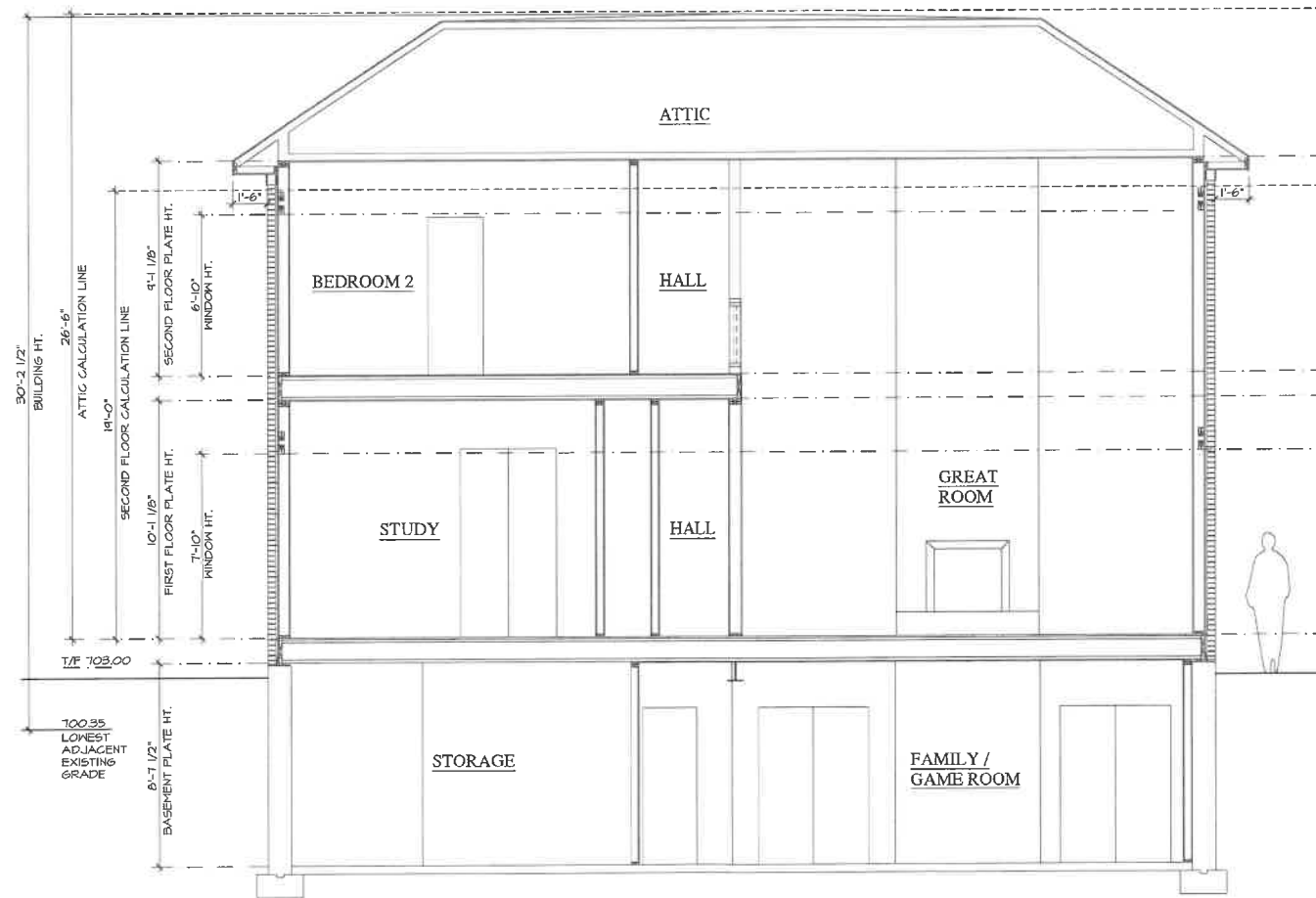
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

LOT 3 D'CRUZ RESIDENCE 1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
REVIEW	09/14/2023
REVIEW	09/21/2023
REVIEW	09/27/2023
REVIEW	10/05/2023
REVIEW	10/11/2023
REVIEW	10/24/2023
REVIEW	01/17/2024
REVIEW	08/18/2023
REVIEW	09/18/2023
REVIEW	08/22/2023
REVIEW	08/03/2023
REVIEW	08/07/2023
REVIEW	08/09/2023
REVIEW	08/09/2023
REVIEW	08/09/2023
REVIEW	08/09/2023

26725 COMMERCE DR.
 SUITE 607
 Volo, IL 60073
 PHONE: 847-457-2500
 WWW.ASPECTDESIGN.COM

ASPECT DESIGN INC.
 ARCHITECTS

PROJECT # AD23199
 DRAWN BY: DB/MB
 D'CRUZ RESIDENCE
 ROOF PLAN
AR 10
 8 OF 14 TOTAL SHEETS



1 BUILDING SECTION
AR 11

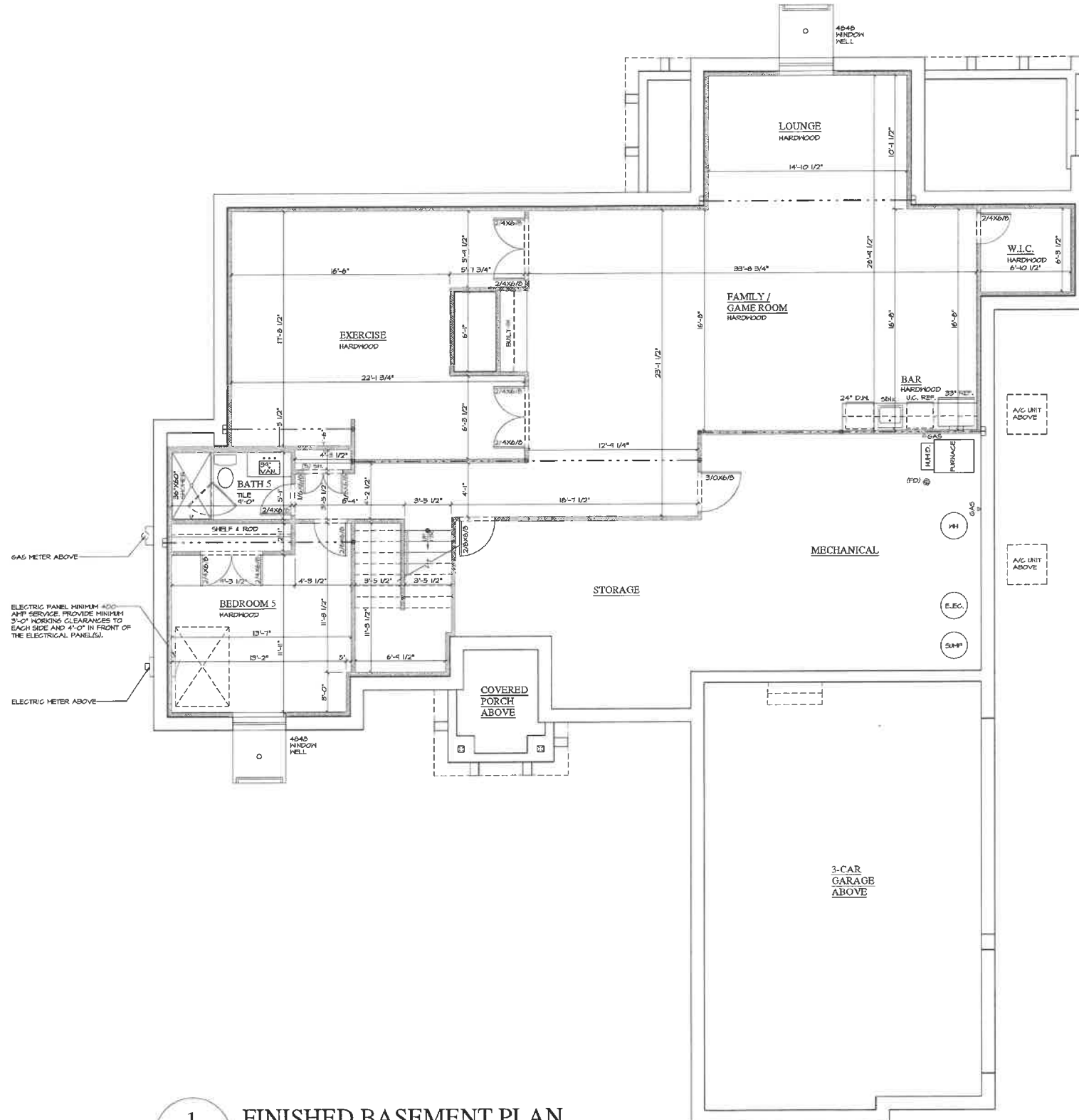
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PROJECT #	AD23199	REVIEW	09/14/2023
DRAWN BY:	DB / MR	REVIEW	09/21/2023
D'CRUZ RESIDENCE BUILDING SECTION		REVIEW	09/27/2023
AR 11		REVIEW	10/05/2023
# 11 OF 14 TOTAL SHEETS		REVIEW	10/11/2023
		REVIEW	10/24/2023
		REVIEW	01/17/2024

LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045



6AS METER ABOVE

ELECTRIC PANEL MINIMUM 400 AMP SERVICE PROVIDE MINIMUM 3'-0\"/>

ELECTRIC METER ABOVE

1 FINISHED BASEMENT PLAN
AR 07

SCALE: N.T.S.

REVIEW ONLY-NOT FOR CONSTRUCTION

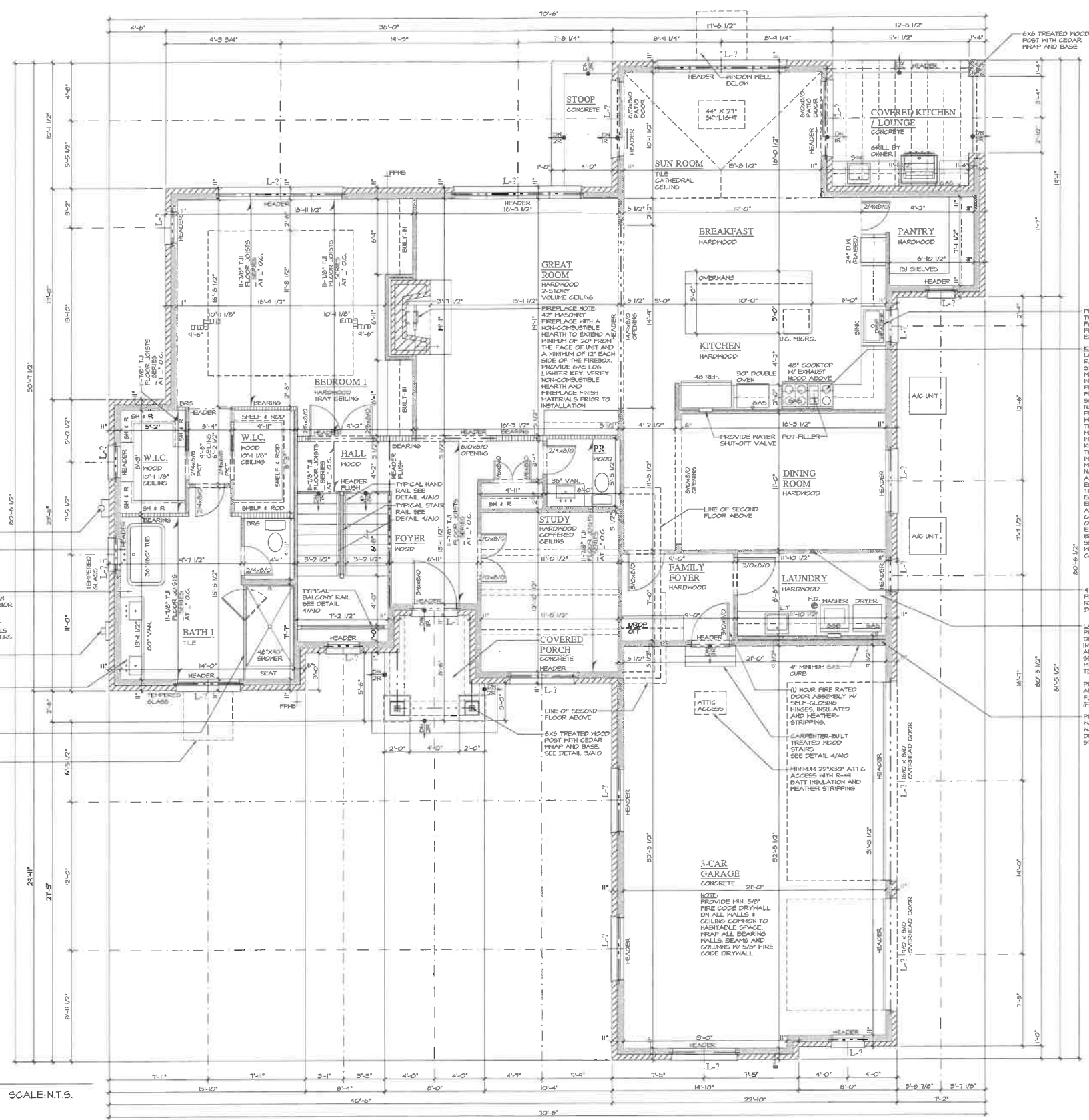
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24\"/>

LOT 3 D'CRUZ RESIDENCE 1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045	
REVIEW	09/14/2023
REVIEW	09/10/2023
REVIEW	08/27/2023
REVIEW	10/05/2023
REVIEW	10/11/2023
REVIEW	10/27/2023
REVIEW	10/24/2023
REVIEW	01/17/2024
REVIEW	09/14/2023
REVIEW	09/10/2023
REVIEW	08/27/2023
REVIEW	10/05/2023
REVIEW	10/11/2023
REVIEW	10/27/2023
REVIEW	10/24/2023
REVIEW	09/14/2023

ASPECT DESIGN INC. ARCHITECTS
1645 S. COMMERCE DR.
SUITE 607
Volo, IL 60073
PHONE: 847-457-2500
WWW.ASPECTDESIGN.COM

PROJECT # AD23159
DRAWN BY: DB/MB
D'CRUZ RESIDENCE
FINISHED BASEMENT PLAN
AR 07
7 OF 14 TOTAL SHEETS

REVIEW ONLY - NOT FOR CONSTRUCTION



NOTE:
VERIFY EXACT METER LOCATIONS WITH UTILITY COMPANIES PRIOR TO START OF CONSTRUCTION.

GAS:
METER
PROVIDE SUPPLIES THROUGH FLOOR FOR PLUMBING FIXTURES ON EXTERIOR HALL.

ELECTRIC:
METER
PROVIDE SUPPLIES THROUGH FLOOR FOR PLUMBING FIXTURES ON EXTERIOR HALL.

TYPICAL BATHROOM NOTES:
ALL BATH ROOM EXHAUST FAN DUCTS SHALL VENT TO EXTERIOR. DUCT TERMINATION IS NOT PERMITTED IN ATTIC.
INSTALL MOISTURE RESISTANT GYPSUM BOARD ON ALL WALLS AT ALL BATHROOMS AND SHOWERS.

COVERED PORCH:
CONCRETE
HEADER

COVERED KITCHEN / LOUNGE:
CONCRETE
HEADER

STOOP:
CONCRETE
HEADER

3-CAR GARAGE:
CONCRETE
NOTE: PROVIDE MIN. 5/8" FIRE CODE DRYHALL ON ALL WALLS & CEILINGS COMMON TO HABITABLE SPACE. WRAP ALL BEARING WALLS, BEAMS AND COLUMNS W/ 5/8" FIRE CODE DRYHALL.

LAUNDRY ROOM NOTES:
PROVIDE DRYER VENT PER DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PER CODE. PROVIDE SELF-CLOSING DAMPER AT MINIMUM 125 SQ. IN. TERMINATION GAP.
PROVIDE PAN BELOW WASHER APPLIANCE AND CONNECT TO FLOOR DRAIN (FD). CONNECT (FD) TO SANITARY PER CODE.

KITCHEN EXHAUST HOOD NOTE:
LOCATION OF SHEET METAL EXHAUST RANGE HOOD EXHAUST DUCT SIZE BASED ON EXHAUST FAN MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. PROVIDE FRAMED SCOFFIT WITH 5/8" FIRE CODE DRYHALL WRAP AND SOLID HOOD FIRE BLOCKING AS REQUIRED.
PROVIDE A KITCHEN RANGE HOOD WITH EXHAUST FAN AS SPECIFIED BY THE COOKING APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS. KITCHEN EXHAUST HOOD SYSTEM THAT ARE CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE MECHANICALLY NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. THE MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A GRAVITY OR ELECTRICALLY OPERATED DAMPER AND SHALL BE AUTOMATICALLY OPERATE SIMULTANEOUSLY WITH EXHAUST SYSTEM DAMPERS. SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITH OUT REMOVING ANY PERMANENT CONSTRUCTION.

4" DIAMETER PVC PIPE FOR PASSIVE RADON SYSTEM SEE DETAIL 5/A10

PROVIDE SUPPLIES THROUGH FLOOR FOR PLUMBING FIXTURES ON EXTERIOR HALL.

PROVIDE DOUBLE HALL BEHIND WASHER W/ 1/2" DRYHALL BETWEEN STUDS.

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

SCALE: N.T.S.

1 FIRST FLOOR PLAN
AR 08

LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

09/14/2023	REVIEW
09/21/2023	REVIEW
09/27/2023	REVIEW
10/25/2023	REVIEW
10/31/2023	REVIEW
10/31/2023	REVIEW
01/17/2024	REVIEW
01/17/2024	REVIEW
09/14/2023	REVIEW
09/21/2023	REVIEW
09/27/2023	REVIEW
10/25/2023	REVIEW
10/31/2023	REVIEW
10/31/2023	REVIEW
01/17/2024	REVIEW
01/17/2024	REVIEW

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD23159
DRAWN BY: DR / MR
D'CRUZ RESIDENCE
FIRST FLOOR PLAN

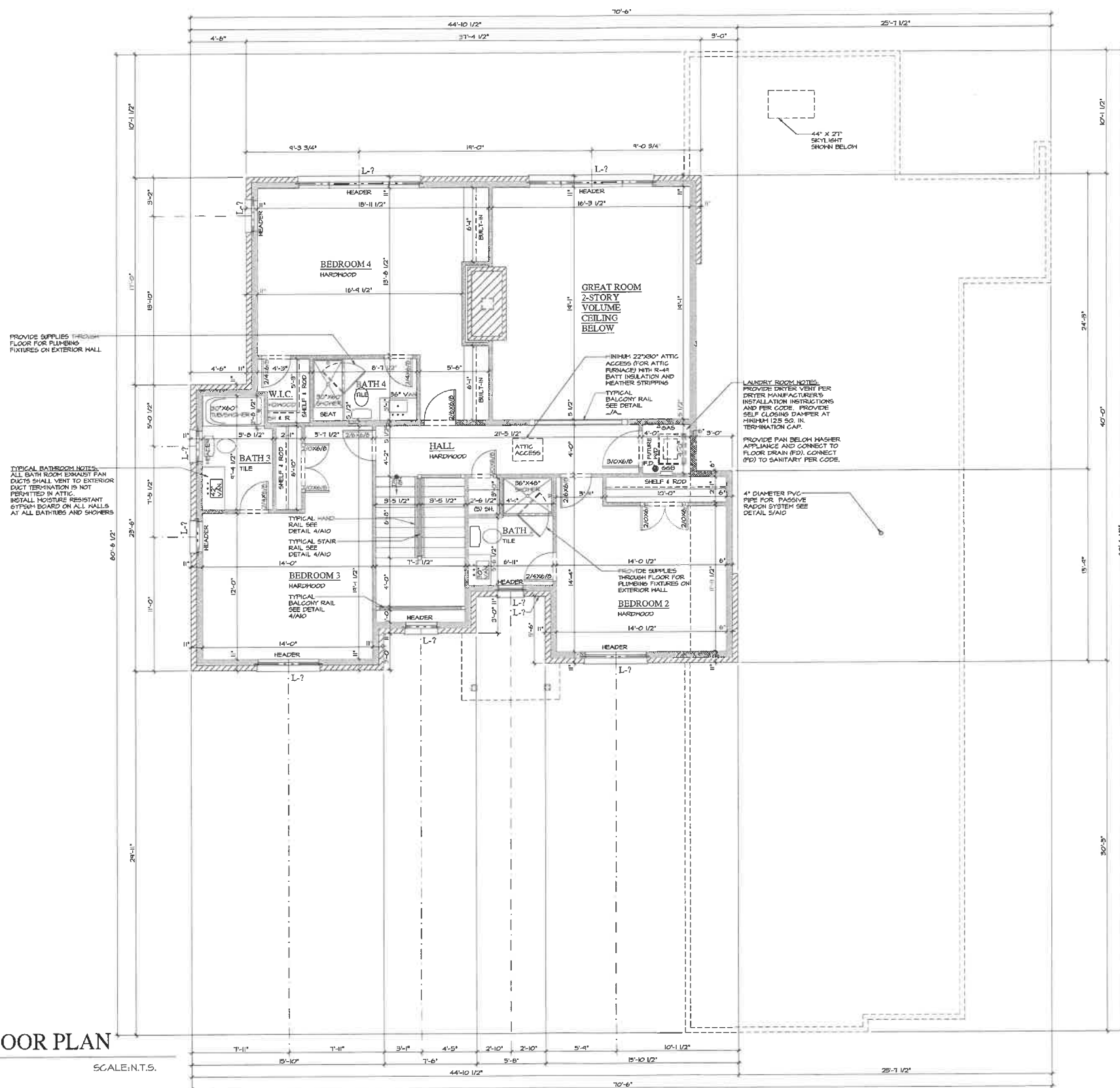
AR 08
8 OF 14 TOTAL SHEETS

REVIEW ONLY - NOT FOR CONSTRUCTION

1
AR 09

SECOND FLOOR PLAN

SCALE: N.T.S.



LOT 3
D'CRUZ RESIDENCE
1400 OAK KNOLL DRIVE
LAKE FOREST, IL 60045

REVIEW	09/14/2023	REVIEW	09/14/2023
REVIEW	08/18/2023	REVIEW	08/17/2023
REVIEW	08/22/2023	REVIEW	08/15/2023
REVIEW	08/27/2023	REVIEW	08/11/2023
REVIEW	08/29/2023	REVIEW	08/09/2023
REVIEW	09/06/2023	REVIEW	08/04/2023
REVIEW	09/06/2023	REVIEW	07/27/2024

2625 COMMERCIAL DR.
SUITE 607
Volo, IL 60073
PHONE: 847-437-2000
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ARCHITECTS

PROJECT # AD23159
DRAWN BY: DS/MB
D'CRUZ RESIDENCE
SECOND FLOOR PLAN

AR 09

9 OF 14 TOTAL SHEETS

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1400 OAK KNOLL DRIVE



1380 OAK KNOLL DRIVE

1 STREETScape ELEVATION
AR 00

SCALE: N.T.S.

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REVIEW ONLY - NOT FOR CONSTRUCTION

REVIEW		06/14/2023	
REVIEW		08/21/2023	
REVIEW		09/27/2023	
REVIEW		10/05/2023	
REVIEW		10/11/2023	
REVIEW		10/25/2023	
REVIEW		10/24/2023	
REVIEW		01/17/2024	
LOT 3			
D'CRUZ RESIDENCE			
1400 OAK KNOLL DRIVE LAKE FOREST, IL 60045			
REVIEW		04/10/2023	
REVIEW		04/18/2023	
REVIEW		04/22/2023	
REVIEW		04/27/2023	
REVIEW		04/28/2023	
REVIEW		04/30/2023	
REVIEW		05/04/2023	
REVIEW		05/04/2023	
1825 COMMERCE DR. SUITE 607 Volo, IL 60073 PHONE: 847-457-2500 WWW.ASPECTDESIGNINC.COM			
ASPECT DESIGN INC. ARCHITECTS			
PROJECT #	AD23159		
DRAWN BY:	DB / MR		
D'CRUZ RESIDENCE STREETScape ELEVATIONS			
AR 00			
# 0 OF 14 TOTAL SHEETS			

© COPYRIGHT 1980/2023



EXISTING TREE HEALTH

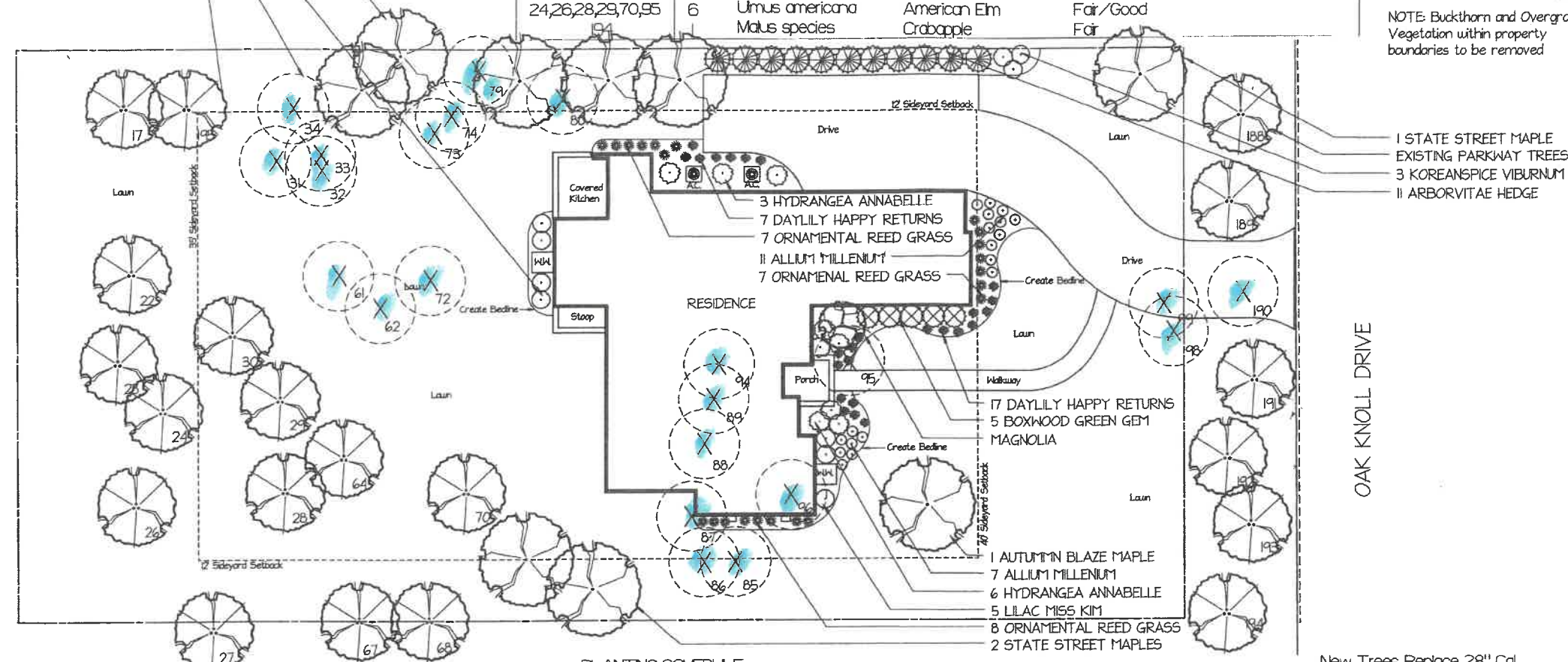
Tag(s)	Qty	Botanical Name	Common Name	Size/Condition	Action
23	1	Acer saccharinum	Silver Maple	Fair	
188-193	6	Acer freemanii	Red Maple	Fair	Remove 10' cal
98,99	2	Fraxinus species	Ash	Fair	Remove 18' cal
27,31-68,72-94,96	23	Rhamnus cathartica	Buckthorn	Poor/Dead	
22	1	Acer negundo	Boxelder	Poor	
24,26,28,29,70,95	6	Ulmus americana	American Elm	Fair/Good	
		Malus species	Crabapple	Fair	

NOTE: Buckthorn and Overgrown Vegetation within property boundaries to be removed

ATTENTION

ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DESIGN IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION OF APEX LANDSCAPING, INC. WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

5 AUTUMN BLAZE MAPLES
4 KOREANSPICE VIBURNUM
TREES to remove (typ.)
EXISTING TREES to remain



1 STATE STREET MAPLE
EXISTING PARKWAY TREES
3 KOREANSPICE VIBURNUM
11 ARBORVITAE HEDGE

OAK KNOLL DRIVE

LOT 3
1400 Oak Knoll Drive
Lake Forest, IL 60045

PLANTING SCHEDULE

Qty	Botanical Name	Common Name	Size/Condition
Trees			
6	Acer freemanii 'Autumn Blaze'	AUTUMN BLAZE MAPLE	3.5" cal.
3	Acer 'State Street'	STATE STREET MAPLE	3" cal.
Shrubs			
9	Hydrangea arborescens 'Annabelle'	ANNABELLE SMOOTH HYDRANGEA	5 Gallon
7	Viburnum carlesii 'Compactum'	COMPACTUM KOREANSPICE VIBURNUM	5 Gallon
3	Syringa patula 'Miss Kim'	MISS KIM LILAC	5 Gallon
5	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	18"
Perennials			
24	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
18	Allium 'Millennium'	MILLENNIUM ALLIUM	1 Gallon
22	Calamagrostis acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	1 Gallon
Evergreens			
11	Thuja occidentalis	EMERALD GREEN ARBORVITAE	6'
Ornamental			
1	Magnolia	MAGNOLIA	6'

New Trees Replace 28" Cal.

LOT 3
1400 Oak Knoll Drive
Lake Forest, IL 60045

LANDSCAPE ENHANCEMENT PLAN
SCALE 1" = 10'-0"

REVISIONS

1
2
3
4
5
6
7
8
9
10

Drawn By: B Phillips

Approved By:

Date: December 19, 2023

Project No: 23-190

Scale: 1" = 10'-0"



X TREES PROPOSED FOR REMOVAL



BARTLETT TREE EXPERTS

1960 OLD WILLOW ROAD NORTHBROOK IL • (847) 559-9424 • FAX (847) 559-9423

TREE INVENTORY

Client: Marlin Ventures
Location: 1363 W Estate Lane East, Lake Forest, IL
Date: 5/1/2015 - Updated 3/04/2016



TREES PROPOSED FOR REMOVAL

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
1	23"	Mulberry	2	NW Corner
2	10"	Buckthorn	2	NW Corner
3	4", 5", 5", 6", 4"	Buckthorn	2	NW Corner
4	8"	Buckthorn	2	NW Corner
5	10"	Buckthorn	2	NW Corner
6	38"	Silver Maple	4	NW Corner
7	16.0	American Elm	3	NW Corner
8	11"	American Elm	3	NW Corner
9	6.5"	Siberian Elm	3	NW Corner
10	19"	Ash	1	NW Corner
11	9"	Buckthorn	2	West
12	17"	Ash	2	West
13	9"	Buckthorn	2	West
14	17"	American Elm	3	West
15	10", 6", 4"	Buckthorn	2	West
16	9"	Buckthorn	2	West
17	9"	Buckthorn	2	Southwest Corner
18	8"	Buckthorn	2	Southwest Corner
19	9", 8"	Buckthorn	2	Southwest Corner
20	10"	Buckthorn	2	Southwest Corner
21	11"	Boxelder	2	Southwest Corner
22	10.5"	Boxelder	2	Southwest Corner
23	33.5"	Silver Maple	3	Southwest Corner
24	17.5"	American Elm	3	Southwest Corner
25	15", 4", 3"	Buckthorn	2	Southwest Corner
26	12"	American Elm	2	Southwest Corner
27	10"	Buckthorn	2	Southwest Corner
28	9"	American Elm	3	Southwest Corner

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
29	12"	American Elm	3	Southwest Corner
30	8", 9"	Buckthorn	2	Southwest Corner
31	8", 6", 3"	Buckthorn	1	Southwest Corner
32	9"	Buckthorn	2	Southwest Corner
33	9"	Buckthorn	2	Southwest
34	7", 7"	Buckthorn	2	Southwest
35	14", 10", 8"	Buckthorn	2	Southwest
36	7", 5", 3"	Buckthorn	1	Southwest
37	22"	Silver Maple	3	West
38	28"	American Elm	3	West
39	14"	Ash	1	West
40	21"	Ash	1	West
41	6.5"	Ash	1	West
42	10", 7"	Buckthorn	2	West
43	14"	American Elm	3	Northwest
44	8"	Buckthorn	2	Northwest
45	9", 7", 7"	Buckthorn	2	Northwest
46	11"	Buckthorn	2	Northwest
47	7", 6", 5"	Buckthorn	2	Northwest
48	13"	Buckthorn	2	Northwest
49	15"	Norway Maple	4	Northwest
50	10"	Buckthorn	2	Northwest
51	13.5"	Black Cherry	2	Northwest
52	34.5"	White Oak	3	Front Yard
53	27"	American Elm	3	Front Yard
54	26.5"	Burr Oak	4	Front Yard
55	21"	American Elm	3	Front Yard
56	19.5"	Red Oak	4	Front Yard
57	28"	American Elm	4	Front Yard
58	33"	American Elm	4	Backyard
59	8", 11", 15"	Austrian Pine	4	Backyard
60	7", 6", 5", 3"	Buckthorn	1	Southwest
61	11"	Buckthorn	2	Southwest
62	7", 8"	Buckthorn	1	Southwest
63	8", 7"	Buckthorn	2	Southwest
64	13", 6"	Buckthorn	2	Southwest
65	8", 5"	Buckthorn	2	Southwest
66	10", 5", 3"	Buckthorn	2	Southwest
67	8", 6"	Buckthorn	2	Southwest
68	8.5"	Buckthorn	2	Southwest
69	6", 5"	Buckthorn	2	Southwest
70	16"	American Elm	3	Southwest
71	9"	Buckthorn	2	Southwest
72	9", 8"	Buckthorn	2	Southwest

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

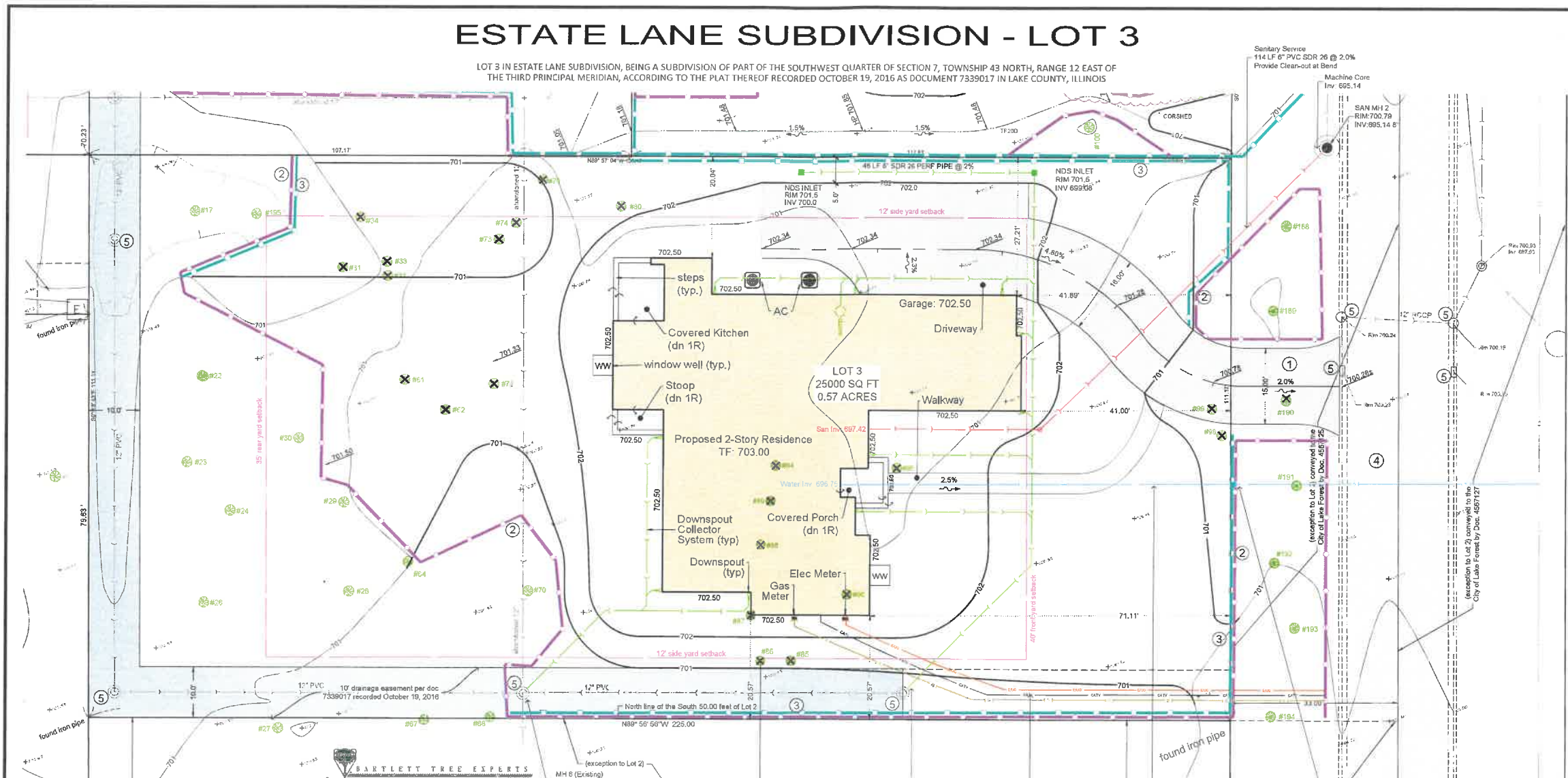
Tag No.	Size (dbh)	Species	Condition	Location
73	8", 6"	Buckthorn	2	Southwest
74	9"	Buckthorn	2	Southwest
75	9"	Buckthorn	2	Southwest
76	10"	Buckthorn	2	Southwest
77	6", 6", 5", 4"	Buckthorn	2	Southwest
78	6", 6", 4", 8"	Buckthorn	2	Southwest
79	8"	Buckthorn	2	Mid South
80	10"	Buckthorn	2	Mid South
81	9"	Buckthorn	1	Mid South
82	7", 9", 7", 4"	Buckthorn	2	Mid South
83	11"	Buckthorn	2	Mid South
84	8"	Buckthorn	1	Mid South
85	7", 3", 4"	Buckthorn	2	Mid South
86	8.5"	Buckthorn	2	Mid South
87	8", 8", 4", 5"	Buckthorn	2	Mid South
88	7", 6", 5"	Buckthorn	2	Mid South
89	7", 6", 3"	Buckthorn	2	Mid South
90	12"	Buckthorn	2	Mid South
91	8", 6", 3", 6"	Buckthorn	2	Mid South
92	5", 5", 6", 6"	Buckthorn	2	South East Corner
93	6", 7", 4", 5"	Buckthorn	2	South East Corner
94	6", 7", 5"	Buckthorn	2	South East Corner
95	23"	American Elm	3	South East Corner
96	4", 5", 5", 6"	Buckthorn	2	South East Corner
97	8", 7", 6", 4", 9"	Buckthorn	2	South East Corner
98	8.5"	Ash	3	South East Corner
99	9"	Ash	3	South East Corner
100	28"	American Elm	4	Southeast Border
101	12.5"	Colorado Spruce	3	Southeast Border
102	14"	Colorado Spruce	3	Southeast Border
103	10.5"	Colorado Spruce	3	Southeast Border
104	8.5"	Norway Maple	5	Southeast Border
105	21.5"	American Elm	4	East Border
106	15"	Austrian Pine	3	East Border
107	8", 7", 7", 6", 5"	Buckthorn	2	East Border
108	13"	Austrian Pine	3	East Border
109	17"	Austrian Pine	1	East Border
110	2", 6", 7", 2", 3"	Buckthorn	2	East Border
111	10"	Austrian Pine	2	North East Border
112	12"	Austrian Pine	3	North East Border
113	14"	Austrian Pine	3	North East Border
114	18"	White Oak	5	North East Border
115	15"	Red Oak	4	North East Border
116	9"	Buckthorn	2	North East Border

Condition: 5 = Excellent 4 = Good 3 = Fair 2 = Poor 1 = Dead

Tag No.	Size (dbh)	Species	Condition	Location
177	7"	Buckthorn	2	Northwest Corner
178	5"	Ash	4	North Parkway
179	MS	Crabapple	3	East Parkway
180	MS	Crabapple	3	East Parkway
181	MS	Crabapple	3	East Parkway
182	10"	Freeman Maple	4	East Parkway
183	10"	Freeman Maple	4	East Parkway
184	12"	Freeman Maple	4	East Parkway
185	MS	Crabapple	3	East Parkway
186	MS	Crabapple	3	East Parkway
187	MS	Crabapple	3	East Parkway
188	10"	Freeman Maple	4	East Parkway
189	12"	Freeman Maple	4	East Parkway
190	10"	Freeman Maple	4	East Parkway
191	12"	Freeman Maple	4	East Parkway
192	10"	Freeman Maple	4	East Parkway
193	10"	Freeman Maple	4	East Parkway
194	MS	Crabapple	3	East Parkway
195	32"	Silver Maple	3	Southwest Corner
196	9"	Arborvitae	3	East of House

ESTATE LANE SUBDIVISION - LOT 3

LOT 3 IN ESTATE LANE SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 43 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 2016 AS DOCUMENT 7339017 IN LAKE COUNTY, ILLINOIS



UNDERGROUND UTILITIES AND ASSOCIATED FACILITIES SHOWN ON THESE DRAWINGS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, FIELD OBSERVATIONS, AND CITY RECORDS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER FACILITIES, THE EXISTENCE OF WHICH ARE NOT PRESENTLY KNOWN.

LEGEND

	Easing Property Line		Easing Curbs
	Found Iron Pipe		Easing Holes
	Found Iron Pipe		Easing Traffic Light
	Found Iron Pipe		Easing Traffic Light
	Found Iron Pipe		Easing Traffic Light

NOTE: FOR FOOTNOTED SYMBOLS, DIMENSIONS AND MATERIALS UTILIZED THROUGHOUT THESE PLANS, SEE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD D001013

TREE INVENTORY

Tag	Size (DBH)	Species	Condition	Location
22	22.5"	Shed-Leaf	3	North Corner
23	23.5"	Shed-Leaf	3	North Corner
24	23.5"	American Elm	3	North Corner
25	24"	American Elm	2	West Corner
26	24"	American Elm	2	West Corner
27	25"	Redbud	2	West Corner
28	25"	American Elm	2	Southwest Corner
29	25"	American Elm	2	Southwest Corner
30	25"	Redbud	2	Southwest Corner
31	25"	Redbud	2	Southwest Corner
32	25"	Redbud	2	Southwest Corner
33	25"	Redbud	2	Southwest Corner
34	25"	Redbud	2	Southwest Corner
35	25"	Redbud	2	Southwest Corner
36	25"	Redbud	2	Southwest Corner
37	25"	Redbud	2	Southwest Corner
38	25"	Redbud	2	Southwest Corner
39	25"	Redbud	2	Southwest Corner
40	25"	Redbud	2	Southwest Corner
41	25"	Redbud	2	Southwest Corner
42	25"	Redbud	2	Southwest Corner
43	25"	Redbud	2	Southwest Corner
44	25"	Redbud	2	Southwest Corner
45	25"	Redbud	2	Southwest Corner
46	25"	Redbud	2	Southwest Corner
47	25"	Redbud	2	Southwest Corner
48	25"	Redbud	2	Southwest Corner
49	25"	Redbud	2	Southwest Corner
50	25"	Redbud	2	Southwest Corner
51	25"	Redbud	2	Southwest Corner
52	25"	Redbud	2	Southwest Corner
53	25"	Redbud	2	Southwest Corner
54	25"	Redbud	2	Southwest Corner
55	25"	Redbud	2	Southwest Corner
56	25"	Redbud	2	Southwest Corner
57	25"	Redbud	2	Southwest Corner
58	25"	Redbud	2	Southwest Corner
59	25"	Redbud	2	Southwest Corner
60	25"	Redbud	2	Southwest Corner
61	25"	Redbud	2	Southwest Corner
62	25"	Redbud	2	Southwest Corner
63	25"	Redbud	2	Southwest Corner
64	25"	Redbud	2	Southwest Corner
65	25"	Redbud	2	Southwest Corner
66	25"	Redbud	2	Southwest Corner
67	25"	Redbud	2	Southwest Corner
68	25"	Redbud	2	Southwest Corner
69	25"	Redbud	2	Southwest Corner
70	25"	Redbud	2	Southwest Corner

SEE ENLARGED TREE INVENTORY

MH 6 (Existing)
48" RD MH Ty A w/ R-4343
Rim: 700.002
Inv: 694.432 (Machine Core new connection)

Tree To Be Removed (Typ.)

MH 7 (Existing)
24" Inlet Ty A w/ R-4342
Rim: 700.362
Inv: 694.602 (Machine Core new connection)

Impervious Area Calculations

Lot 3 of Estate Lane Subdivision, Lake Forest, Illinois

Lot Area: 25,000 sf

Category	Area (sf)
Existing - Vacant	70,904.3
Proposed House	3,347
Stoops	250
Driveway	2,153
Well	32
Walkway	246
Total	6,028
Coverage	0.14 ac
	24%

- Notes:
- Downspouts to go below grade into stormwater collection system.
 - For downspouts tying into sewer system, provide 2" air gap.
 - All proposed storm sewer shall be 6" PVC SDR 25 @ 2.0% unless otherwise noted.
- 1 STABILIZED CONSTRUCTION ENTRANCE
Use proposed driveway footprint
 - 2 TREE PRESERVATION & CONSTRUCTION LIMITS FENCE
Temporary 4' Tall Green Snow Fence w/ Steel Posts
 - 3 SILT FILTER FENCE
Shall comply with ASHTO Standard M 285-00
 - 4 MUD AND DUST CONTROL
 - 5 TEMPORARY INLET PROTECTION
All open lot structures to have Catch All Basins or approved equal.
 - 6 EROSION CONTROL BLANKET
North American Green 575

BLECK
engineers | surveyors

Bleck Engineering Company, Inc.
1375 North Western Avenue
Lake Forest, Illinois 60045
7847.225.5200 | bleckeng.com

Single Family Residence
Lake Forest, IL

ISSUED DATE: 12.15.2023
ISSUED FOR: BRB

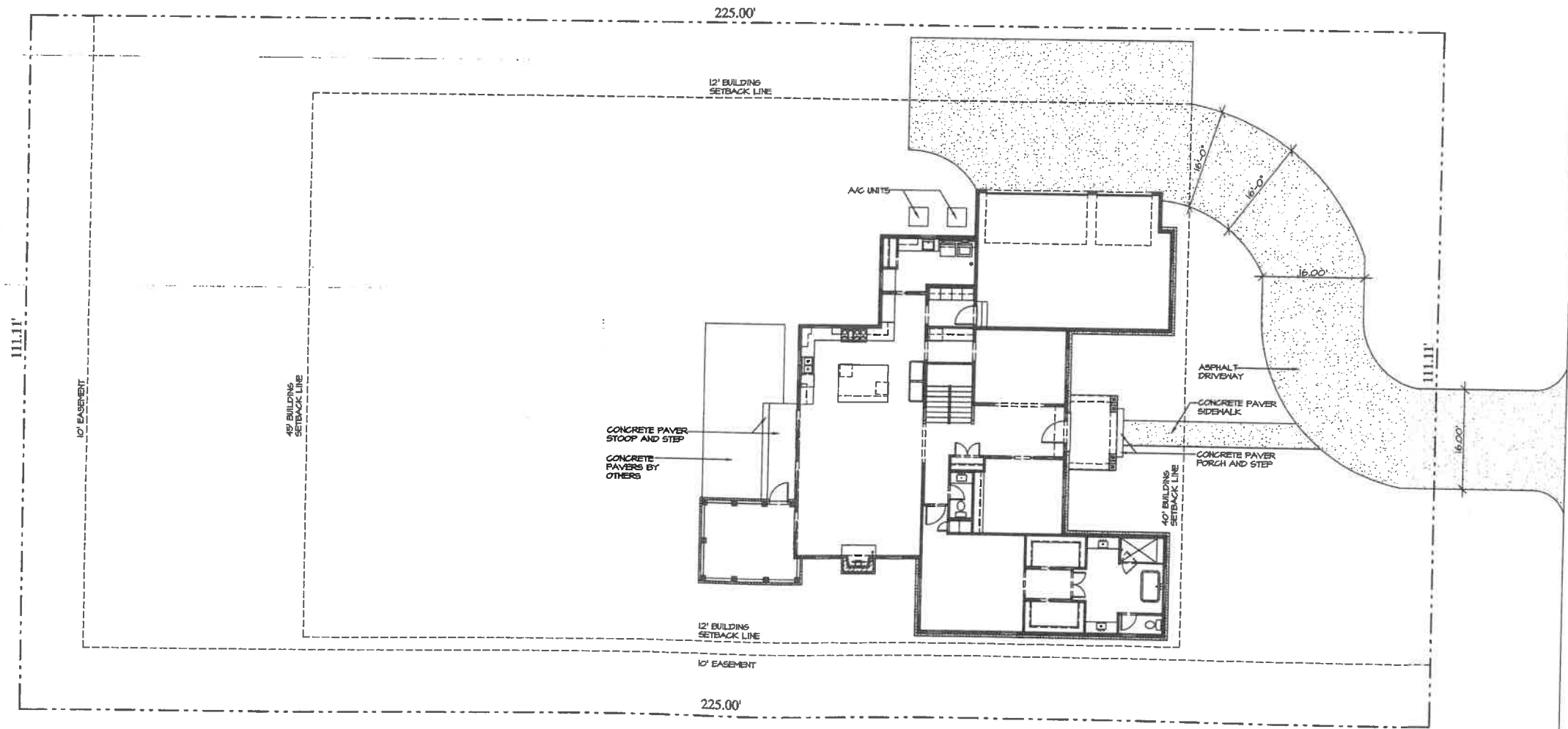
Michael G. Bleck, PE 12.15.2023
License No. 0024880 Expires 11/05/25

CHILDS DEVELOPMENT
222 E. Wisconsin Ave, Suite 303A
Lake Forest, Illinois 60045

70-904-3 Project No.
MB Drawn By
MEB Checked By

Drawing No. **3**

Drawing Name: Site Grading Plan



PROPOSED BULK	
FIRST FLOOR:	2,385.50 S.F.
SECOND FLOOR:	1,653.37 S.F.
ATTIC:	0.00 S.F.
GARAGE:	687.50 S.F.
SUBTOTAL:	4,726.37 S.F.
GARAGE ALLOWANCE:	-600.00 S.F.
TOTAL:	4,126.37 S.F.
MAX. BULK ALLOWED:	4,250.00 S.F.

SQUARE FOOTAGE	
FIRST FLOOR:	2,385.50 S.F.
SECOND FLOOR:	1,507.50 S.F.
TOTAL:	3,893.00 S.F.
GARAGE:	687.50 S.F.

OAK KNOLL DRIVE

REVIEW ONLY - NOT FOR CONSTRUCTION

LOT 3
CUSTOM RESIDENCE
 1400 OAK KNOLL DRIVE
 LAKE FOREST, IL 60045

JAMIE AND SOPHIA
CHILDS RESIDENCE

REVIEW	DATE
REVIEW	09/14/2020
REVIEW	09/16/2020
REVIEW	09/17/2020
REVIEW	09/28/2020
REVIEW	10/09/2020
REVIEW	10/15/2020
REVIEW	10/19/2020
REVIEW	11/18/2020

26515 COMMERCE DR.
 SUITE 607
 FOLLO, IL 60075
 TEL: 847-457-2500
 WWW.ASPECTDESIGN.COM
 IL LICENSE #18-042614

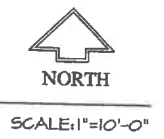


PROJECT # AD20176
 DRAWN BY: CGM / MB

LOT 3
 SITE PLAN

AR 01

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)



1 SITE PLAN
AR 01



Agenda Item 7
715 Forest Hill Road
Partial Demolition and Replacement Addition

Staff Report
Building Scale Summary
Vicinity Map
Air Photos

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Site Plan – Proposed
Elevations
- *Existing*
- *Demolition - Proposed*
- Elevations - Proposed
Conceptual Rendering
Roof Plan – Demolition Areas Annotated
Floor Plans
- *Existing*
- *Proposed*
Section – Addition
Photos – Existing House
Streetscape Graphic
Streetscape Comparison – Relationships House to Street

Alternate Window Configuration Studied
– North and East Elevations

Landscape Concept Plan

Correspondence

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

715 Forest Hill Road

Consideration of a request for approval of an addition including projecting the garage forward on the site and expansion of second floor space.

Property Owner: Mike and Jen Fiocco

Project Representative: Michael Breseman, Architect

Staff Contact: Catherine Czerniak, Director of Community Development

Summary of Request

This is a request for a recommendation in support of an addition to accommodate expanded living space on the first and second floors. A slightly larger garage is also proposed with the garage pulled forward on the site.

Description of Property

The subject property is located on the east side of Forest Hill Road, three lots north of Cherokee Road. The property totals 29,840 square feet, slightly larger than a half acre, and was created through the Whispering Oaks, Unit 6 Subdivision which was approved and recorded in 1960. Lots throughout this neighborhood are generally similar in size. Homes are modest, of varying styles, with garages, both front facing and side loaded, prominent along the streetscapes. Many of the homes are setback from the street a significant distance creating deep front yards.

The house was constructed in 1963 and in 1989, the kitchen and family room were expanded with a small rear addition. In 2000, two bathrooms in the home were remodeled. Permit records reflect that various other minor upgrades have occurred through the years.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of “the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood.” And further directs that, “a project should harmonize with and support the City’s unique character, with special consideration accorded to the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community.”

Site Plan – This standard is met.

The only changes proposed to the site plan include projecting the garage forward a distance 11’9” and widening the driveway to align with the projected garage. The driveway cannot exceed 16 feet in width in the front yard setback unless a zoning variance is granted by the City Council. The existing garage is

recessed about three feet back from the front plane of the house. As proposed, the garage will project 8'8" in front of the house. This condition is not unprecedented in this neighborhood.

It is important to note that the house, even with the proposed projection of the garage, will still be a significant distance from the street, more than 20 feet further back on the site than required by the zoning setback. The proposed second story addition is proposed to be constructed over the *existing* garage, not over the projected (new) portion of the garage.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 4,042 square feet is permitted on the property. In addition, a garage of up to 600 square feet is permitted along with up to 404 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence totals 2,592 square feet. The proposed addition totals 659 square feet. The house, with the proposed addition, totals 4,042 square feet, about 19 percent less than the total permitted square footage.
- The existing two car garage totals 380 square feet.
- The proposed two car garage, at 20' by 25', is 500 square feet, smaller than permitted by the Code.
- There are no existing or proposed design elements.

The height of the addition is just over 24 feet and remains slightly below the height of the main mass of the house. The projecting element for the garage at the ridge of the front facing gable, matches the height of the existing garage.

Elevations – This standard is met.

The proposed addition is consistent with the character, style, detailing and materials of the existing residence.

The garage projection has a front facing gable, keeping the overall massing down and providing the opportunity for front facing windows on the second story addition. The second story addition, as noted above, is located above the *existing* garage footprint and steps back 11'9" from the front of the projected garage. The second story addition is also recessed slightly from the front plane of the house. The windows on the addition are consistent in style and placement with those on the existing house. The roof pitch on the second story addition is consistent with the roof pitch on the main mass of the house.

A neighboring property owner has raised concern about the increased height, massing, and forward projection of the proposed addition. These concerns are legitimate and understood. Any time expansion occurs on a neighboring lot, there is an impact, a change. In this case, no variances are requested. The

second floor massing is minimized, the second floor as proposed does not extend over the projected garage. Although not common along the streetscape, there are a few other instances of garages projecting in front of the homes. The front facing gable of the garage projection helps to minimize the mass of the projection.

The petitioner submitted two alternate window configurations for the north elevation of the proposed addition. The alternatives minimize the size of the second floor windows in an effort to respect the privacy of the neighboring home. However, the alternatives presented are inconsistent with the window size and placement around the rest of the home and result in larger expanses of a solid wall which could appear more imposing than a wall with appropriate fenestration. The mass of the addition remains consistent with the alternate window configurations and the options offered do not appear to benefit either the design of the house or the neighbor.

Recommendation: Accept the window configuration on the north elevation as shown on the plan presented for Board approval.

Type, color, and texture of materials – This standard is met.

The materials on the addition are consistent with those on the residence. The brick walls of the existing garage will remain, and the projected garage will be sided in brick selected to match the existing. The roof on the addition will be asphalt shingles to match those on the house. Wood clapboard siding is proposed to match the siding and the exposure on the existing gable ends of the home. Wood trim is proposed with aluminum gutters and downspouts. Aluminum clad double hung windows are proposed with muntins between the glass. It is not specified whether the existing windows have muntins between the glass or affixed to the interior and exterior. Simulated divided lites, with muntins affixed to the inside and outside of the glass, are preferred and elevate the appearance of a residence by providing shadowing and dimension.

Recommendation: The windows on the addition should match those on the house with respect to the placement of muntins.

Landscaping and Hardscape

A conceptual landscape plan, with limited detail, is included in the Board's packet. The plan goes beyond the scope of this petition with respect to the impacted area.

Preserving and protecting existing landscaping on the north side of the house and planning for some enhancement to the landscaping in this area should be incorporated into this project. The north wall of the garage remains in its current location and is setback a distance slightly greater than the required 12 foot setback providing sufficient space to add some limited plantings.

Recommendation: A detailed landscape plan for the north side of the house, in the area adjacent to the structure, should be submitted with the building permit application and plans and will be subject to review and approval by City staff.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations.

Correspondence was received from neighbors both raising concerns and offering support for the project. All correspondence received is included in the Board's packet.

Recommendation

Forward a recommendation in support of the petition to the City Council based on the findings detailed in this staff report as adopted by the Board and subject to the following conditions.

1. All modifications to the plans including those made in response to Board direction or discussion and those made as the result of final design development shall be clearly called out on the plans submitted for permit and a copy of the plans originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate to verify that the plans as presented are consistent with the Board's approval or if further Board review is required prior to the issuance of any permits.

2. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction to protect vegetation intended to remain on the subject property, on the parkway, and on the adjacent property.
- b. A detailed landscape plan for the area on the north side of the house, in the area of the structure shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the addition and to the extent feasible, additional plantings along the north property line. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Exterior Lighting

- c. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- d. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development. On street parking of contractor vehicles shall be limited to two vehicles parked on the street, in front of the petitioners' house, during school pick up and drop off hours due to congestion in the area.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Valley R 715 Forest Hill Road Owner(s) Michael and Jen Fiocco
 Architect Michael Breseman Reviewed by: C. Czerniak
 Date 1/29/2024
 Lot Area 29840 sq. ft.

Square Footage of Residence -- Existing

1st floor 1711 + 2nd floor 881 + 3rd floor 0 = 2592 sq. ft.
 Design Element Allowance = 404 sq. ft.
 Total Actual Design Elements = 0 sq. ft. Excess = 0 sq. ft.
 Garage 561 sf actual ; 600 sf allowance Excess = 0 sq. ft.
 Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 0 sq. ft.
 Accessory buildings = 0 sq. ft.
Total Square Footage of Existing Residence = 2593 sq. ft.
 (minus Design Elements, plus garage overage)
DIFFERENTIAL (Existing) = 1405 sq. ft.
Over Maximum

Square Footage of Proposed Addition:

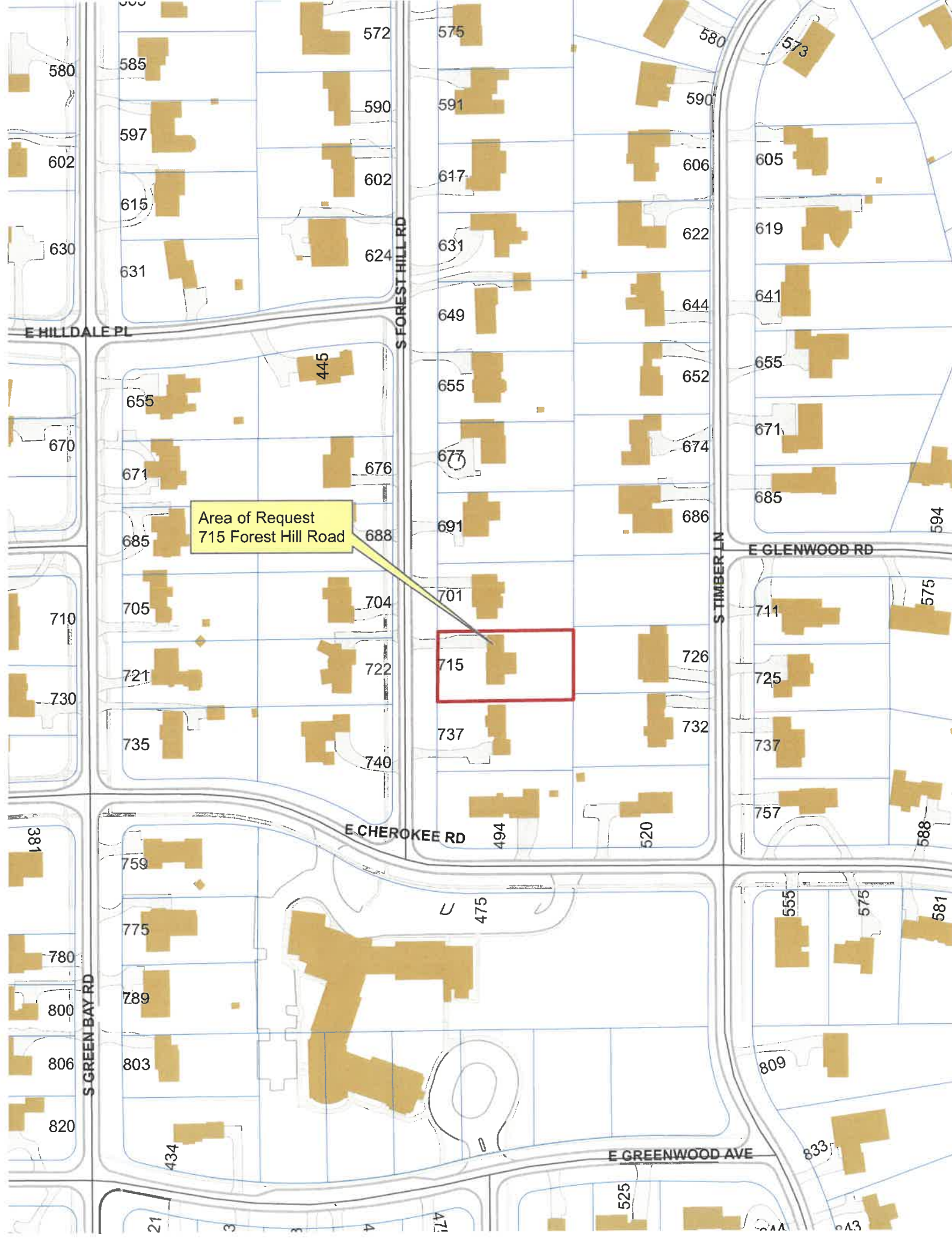
1st floor 240 + 2nd floor 419 + 3rd floor 0 = 659 sq. ft.
 New Garage = 660 (Existing converted to living) = 0 sq. ft.
TOTAL SQUARE FOOTAGE = 3252 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 4042 sq. ft.
DIFFERENTIAL = 773 sq. ft. **NET RESULT:**
Under Maximum 773 sq. ft. is

Allowable Height: 35 ft. Actual Height 21'11" ft. 19% under Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 404 sq. ft.
 Front & Side Porches = _____ sq. ft.
 Rear & Side Screen Porches = 0 sq. ft.
 Covered Entries = 0 sq. ft.
 Portico = 0 sq. ft.
 Porte-Cochere = 0 sq. ft.
 Breezeway = 0 sq. ft.
 Pergolas = _____ sq. ft.
 Individual Dormers = 0 sq. ft.
 Bay Windows = 0 sq. ft.

Total Actual Design Elements = 0 sq. ft. **Excess Design Elements =** 0 sq. ft.



Area of Request
715 Forest Hill Road

715

E HILLDALE PL

S FOREST HILL RD

STAMBER LN

E GLENWOOD RD

E CHEROKEE RD

E GREENWOOD AVE

S GREEN BAY RD

580

585

597

602

615

630

631

572

575

590

591

602

617

624

631

649

649

655

655

670

671

676

677

685

688

691

710

705

704

701

730

721

722

715

735

740

737

780

759

494

520

800

775

475

806

789

711

575

820

803

725

737

434

757

588

21

3

3

4

471

525

844

843

555

575

581

809

833

Area of Request
715 Forest Hill Road



Area of Request
715 Forest Hill Road





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 715 FOREST HILL ROAD

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

MICHAEL & JEN FIOCCO
Owner of Property

715 FOREST HILL ROAD
Owner's Street Address (may be different from project address)

LAKE FOREST IL 60045
City, State and Zip Code

312 401-2831 NA
Phone Number Fax Number

JENCLAIRE@GMAIL.COM
Email Address

Jen Fiocco
Owner's Signature

ARCHITECT/BUILDER INFORMATION

MICHAEL BRZESEMAN
Name and Title of Person Presenting Project

MICHAEL E. BRZESEMAN ARCHITECTS LTD.
Name of Firm

2911 FAUNT TROIL COURT
Street Address

FRANKIE GROVE IL 60012
City, State and Zip Code

647 845-4000 N/A
Phone Number Fax Number

MIKE@MEBRZESEMAN.COM
Email Address

Mike Brzeseman
Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER REPRESENTATIVE

Please fax a copy of the staff report

OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER REPRESENTATIVE



STATEMENT OF INTENT

Michael E. Breseman Architects, Ltd., are requesting approval of a certificate of appropriateness for a garage extension and second-floor addition to the front of the home at 715 Forest Hill Road Lake Forest, Illinois. Michael and Jen Fiocco have lived in the house for the past six years and have been a part of the Lake Forest community for the last eight.

A summary of the property:

The property was platted in 1960 and is a part of the Whispering Oaks subdivision. The home is a 60s interpretation of a Colonial with an attached front facing two-car garage.

The immediate housing stock on Forest Hill Road are variations of the colonial vernacular, distinguished from each other by orientation, front entry detailing, porch/roof/garage configurations and use of materials.

Project needs:

- Solving the lack of a proper garage width (only 19'-9" wide) by removing existing mudroom and expanding the garage to the west to widen the new garage to 25'-6".
- Add a master suite over the existing garage. The space is to include a new master bedroom, closet, and bathroom. An existing bedroom will be removed to have space for master bath and hallway access to new master suite.

Proposed massing:

The second-floor addition is just a logical vertical extension of the current footprint of the existing garage. This existing 3'-0" setback from the main façade of the house allows for the addition to be subservient in its massing with a lower roof ridge line.

The proposed garage is being extended 8'-8" in front of the main façade of the home. The garage addition is one story with a gable facing the street. This form is consistent with the white colonial home across the street. ((F) - see garage analysis sheet & neighborhood photos)



Proposed massing (cont.):

Finally, the extension of the garage addition is consistent with the garage locations of the various homes on the block. The average projection of garages in the immediate vicinity is over 13'. This number is somewhat skewed by the three homes (B,H,I – garage location analysis) which have side loaded garages with projections ranging from 24'-44'. The majority of the garages' projections range from 6'-8'.

With consultation with City staff, we did look to reduce the projection of our proposed garage. The existing entryway into the kitchen sets the proposed rear wall of the garage. Moving the circulation point into the kitchen would require extensive modifications to the existing kitchen cabinets and countertops and even a less efficient kitchen from a workspace perspective.

However, we were able to remove 8" from the original conceptual sketches by reducing the circulation space to a minimum of 2'-4" from the front bumper of their cars to the rear wall. Our proposal balances the functional needs of the Fioccos and the sensitivities of their neighbors. In the context of the existing homes and their garages, our proposal we feel is reasonable.

Materials & details:

The second-floor addition and the front facing garage gable will be faced in horizontal wood siding with an exposure to match the existing siding on the home.

Windows will be aluminum clad double-hung windows with simulated divided lites to match existing windows in size and proportion. We are proposing two overhead individual metal clad doors with glass lites to add detail and soften the front garage elevation.

The wood shutters are added to give some additional color and contrast to the brick and to coordinate with the existing shutters on the home.

All the wood fascia and soffits will match the existing detail.

Addendum :

Since the submittal of the original statement of intent and the drawing packet, Jen Fiocco reached out to a number of neighbors. She shared with them the drawings and had conversations to inform them of their intention on their project. In response, she has received seven letters of support which are included in the packet for your review. During these visits Jim and Linda Cast, neighbors directly to the north of their property expressed concerns about the project and conveyed those to the Fioccos in a phone conversation.



Their concerns were as follows:

- Size & proximity
- Privacy
- Solar
- Property value

Size & proximity

I will reiterate the second-floor addition is only over the existing footprint of the current garage. This is setback from the main block of the home by 3'. The garage addition is only one story to minimize the massing of the structure. The current garage is roughly 15' off the property line with 12' being the setback requirement of Lake Forest. We are not asking for a zoning variation and the proximity to the neighbor is not "unprecedented".

Privacy

The home to the north has a full second floor which mirrors our proposed addition and is approximately the same distance from the property line. The neighbor previously planted a series of arborvitaes which are approximately as tall as the second-floor eave line providing privacy and screening.

In the spirit of being neighborly and listening to their concerns, the Fioccos have included two additional alternatives for the board's discussion for the north elevation.

Alternative A would have just one higher window which is above interior sight lines. The window shape is influenced by the window on the Collin's house just directly south. A number of these homes were built at the same time and are variations of each other. This solution would require us to vault the ceiling in the master bedroom and add skylights to the east. This would increase costs by thousands of dollars.

Alternate B would just have the upper sash of the proposed double hung windows. It cuts down on the amount of glass but does not break any sight lines.

Alternate C has no windows and is not shown since it is not a good solution. Without any windows the second-floor addition, being a different material than the brick base, is top heavy and not proportional.



In my professional opinion, we are trying to solve a non-issue and in doing so are creating additional aesthetical issues. The original is the preferred option. The use of the double hung windows with the shutters creates rhythm between the fenestration all on three elevations working in tandem with each other. The other options are opaquer but lack rhythm and cohesion leading one to view it incomplete. The addition then calls attention to itself in a negative manner instead of blending in with the main home.

Solar

Again, we are not asking for a variation which one of the zoning board's requirements would be the impact on light and air. The planting of arborvitae on the property line for screening currently has a larger impact on their sunlight than our proposed addition which is 15' farther away.

Property values

The inclusion of the seven letters of support reveals the neighbors believe the addition is not only good for the Fioccos but will enhance their values as well. As for the Cast's property values, any future buyer will be only concerned with their property and not the home to the south because of the sensitivity of the Fiocco's addition will be timeless and as if it was always there.

* * * * *

We hope the building review board sees this petition as a reasonable solution in updating the functionality of the current home to better serve the Fioccos and the era that we live in. Thank you for allowing us to present our petition.

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- N/A*
- Brick
 - Stone
 - Stucco
 - Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles *MATCH EXIST.*
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- N/A*
- Bluestone
 - Brick Pavers
 - Concrete Pavers
 - Poured Concrete
 - Other _____



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material MATCH EXISTING

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish WHITE (MATCH EXIST.)

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____
- Synthetic Material _____

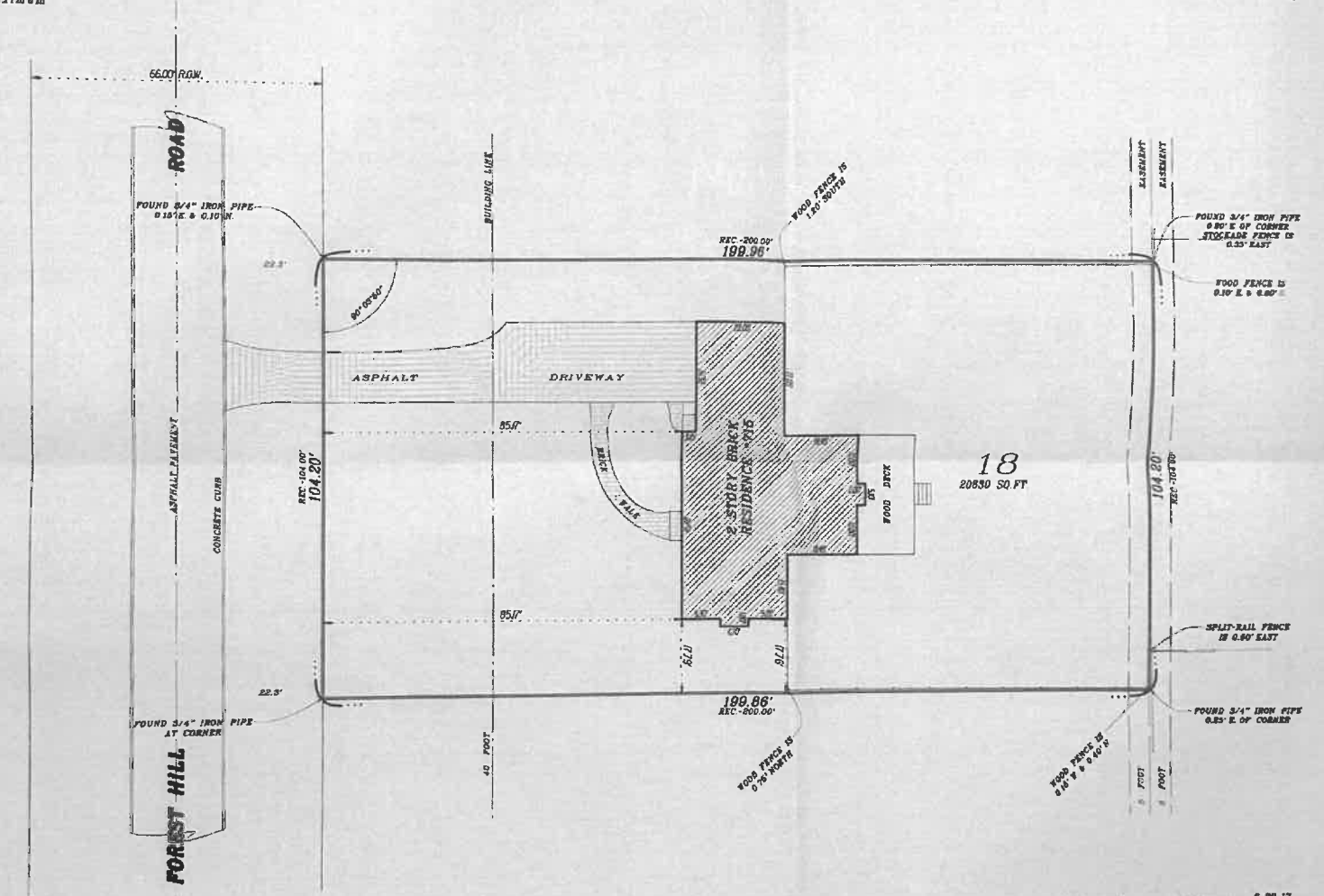
- LEGEND**
- N. - North
 - S. - South
 - E. - East
 - W. - West
 - N.W. - Northwest
 - N.E. - Northeast
 - S.E. - Southeast
 - S.W. - Southwest
 - P.O.B. - Point of Beginning
 - SQ.FT. - Square Feet
 - R.O.W. - Right of Way
 - Doc. - Document
 - Rec. - Recorded as
 - Meas. - Measured
 - T.F. - Top of Foundation
 - MIN. - Minimum
 - MAX. - Maximum

R. E. DECKER
1933-1991

R. G. PAVLETIC
P.L.S. 036-3281

Plat of Survey

OF
Lot 18 in Whispering Oaks, Unit No. 8, being a Subdivision of part of Sections 4 and 9, Township 43 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof, recorded June 13, 1980, as Document 1071961, in Book 33 of Plats, Page 34, in Lake County, Illinois
Commonly known as: 715 FOREST HILL ROAD, LAKE FOREST, ILLINOIS.



ORDER # 17-528
ORDERED BY LAW OFFICE OF THOMAS MEYER
FOR GRIFFIN TO FIOCCO

WITHOUT A BASED PLAT
PLAT IS NOT VALID

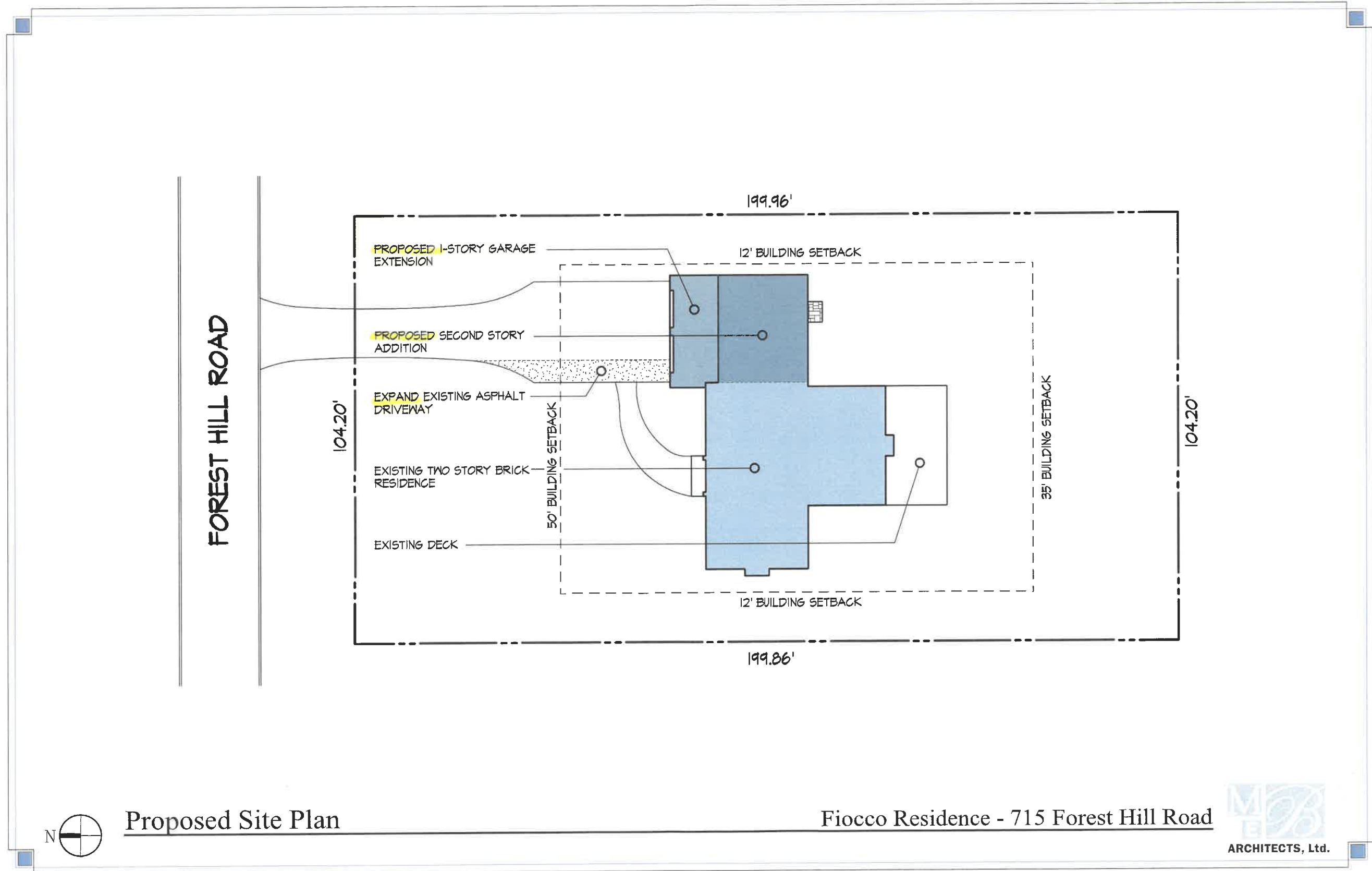


R. E. DECKER
PROFESSIONAL LAND SURVEYORS P.C.
114 E. COOK AVENUE
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DECKERSURVEY@GMAIL.COM



Field Work Completed on 6-28-17
STATE OF ILLINOIS }
COUNTY OF LAKE }
This Professional service conforms to the current Illinois minimum standards for a "Boundary Survey."
R. E. DECKER, P.C.
By [Signature] 7-05-17
Illinois Land Surveyor

Compare the Description on this Plat with your Deed and Title; also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.





Existing West Elevation

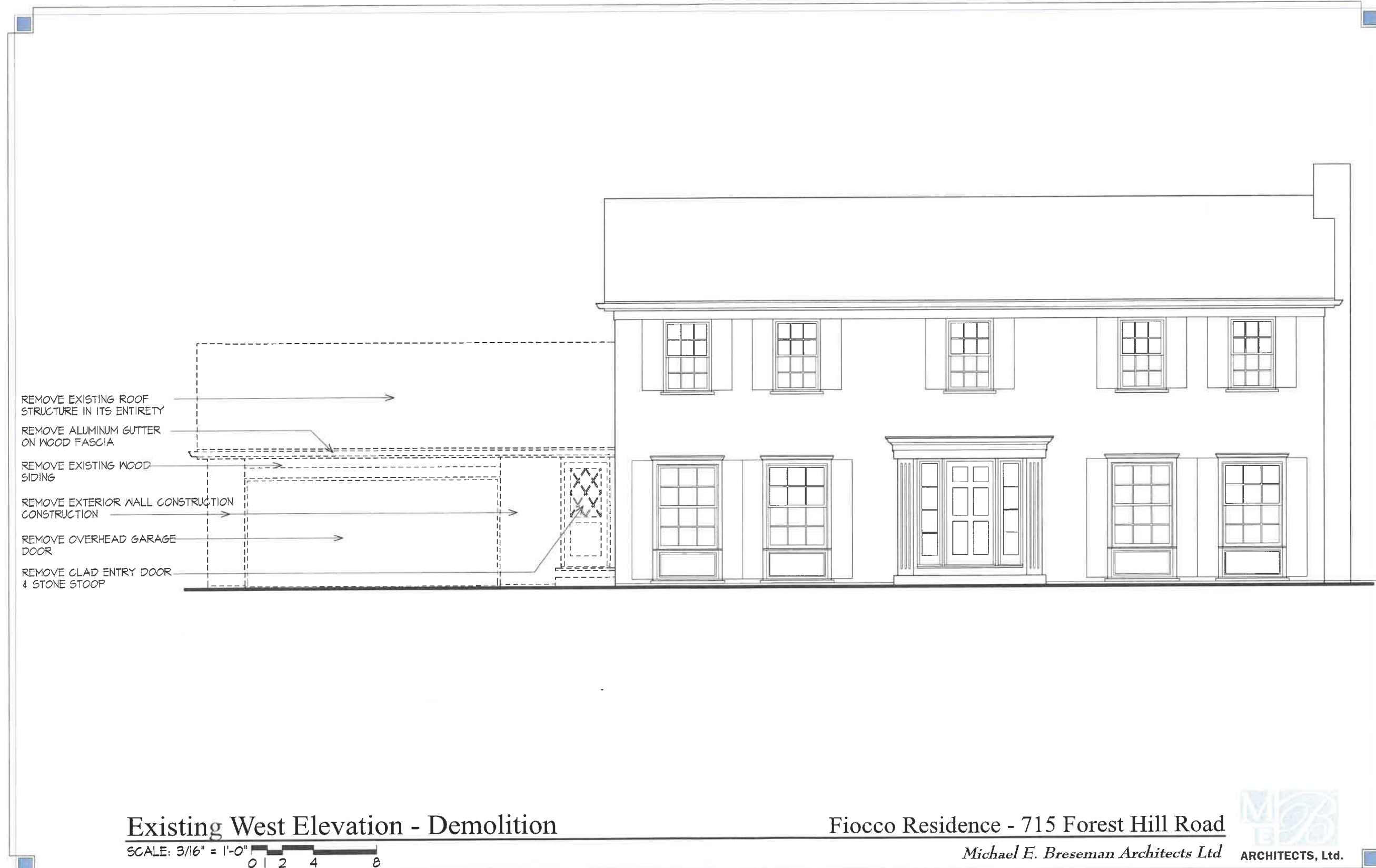
SCALE: 3/16" = 1'-0"

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.



Existing West Elevation - Demolition

SCALE: 3/16" = 1'-0" 0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road


Michael E. Breseman Architects Ltd



ADDITION IS SHADED 



Proposed West Elevation

SCALE: 3/16" = 1'-0" 

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.



Existing North Elevation

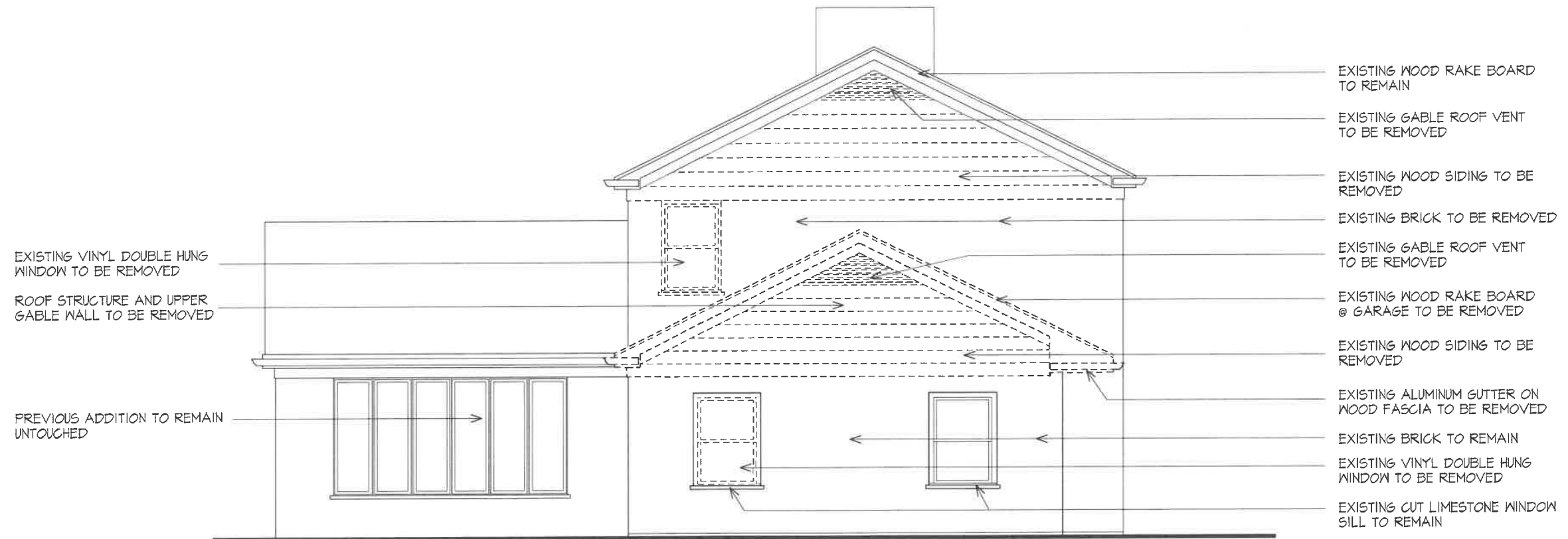
SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.



Existing North Elevation - Demolition

SCALE: 3/16" = 1'-0"

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ADDITION IS SHADED 



Proposed North Elevation

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd





Existing East Elevation

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd





Existing East Elevation - Demolition

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.





Existing South Elevation

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.

ADDITION IS SHADED 



Proposed South Elevation

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



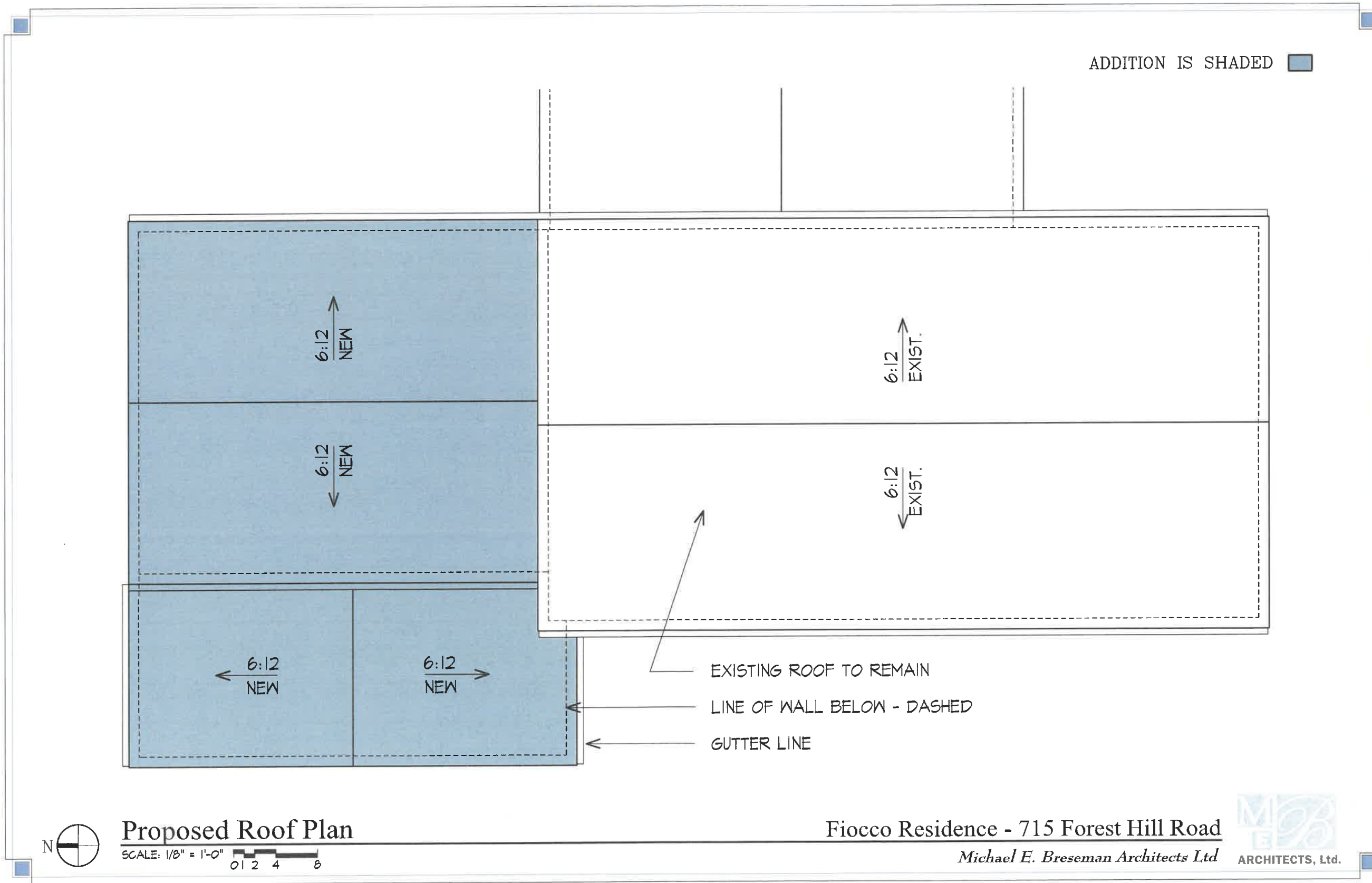
ARCHITECTS, Ltd.

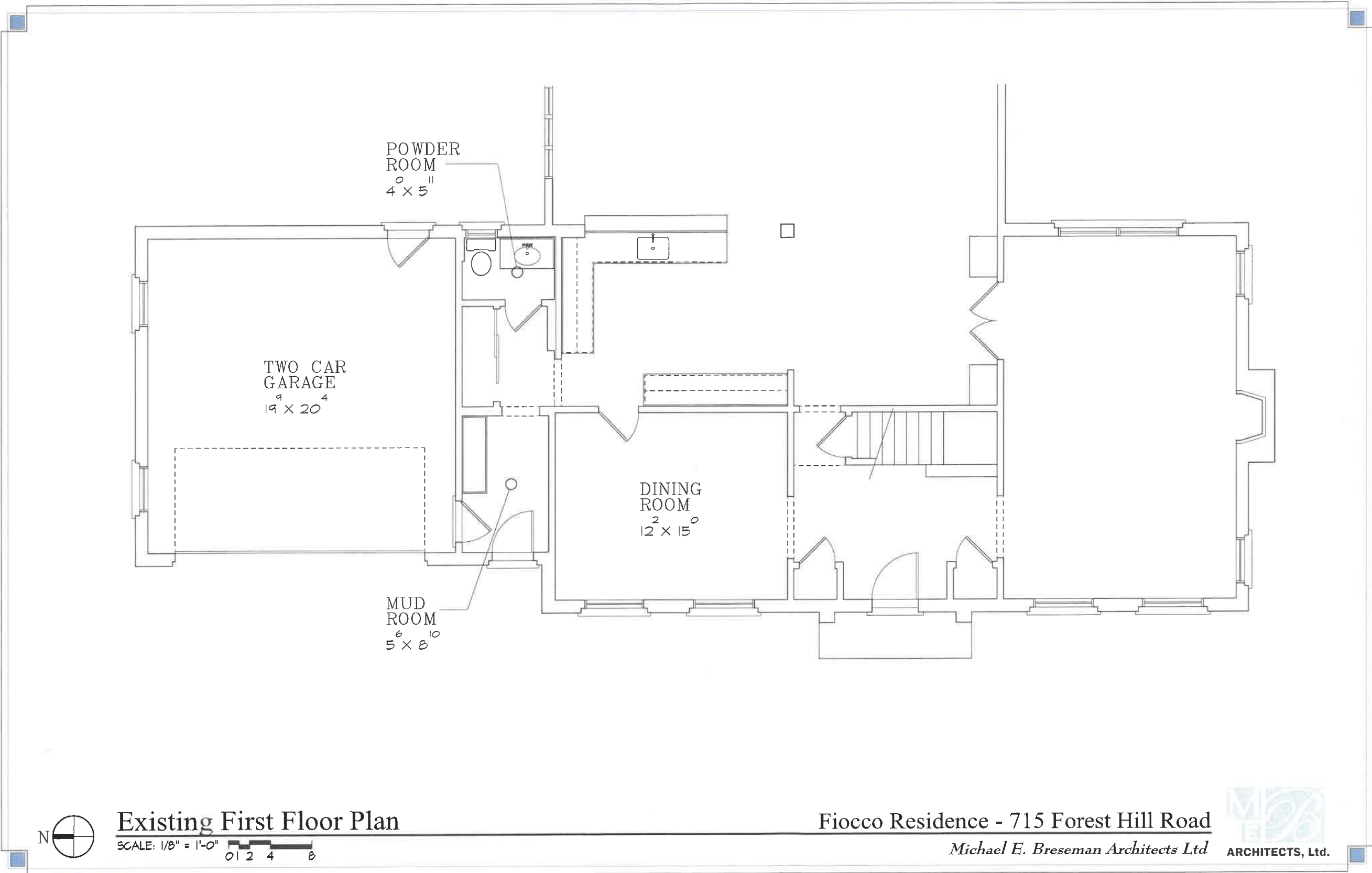


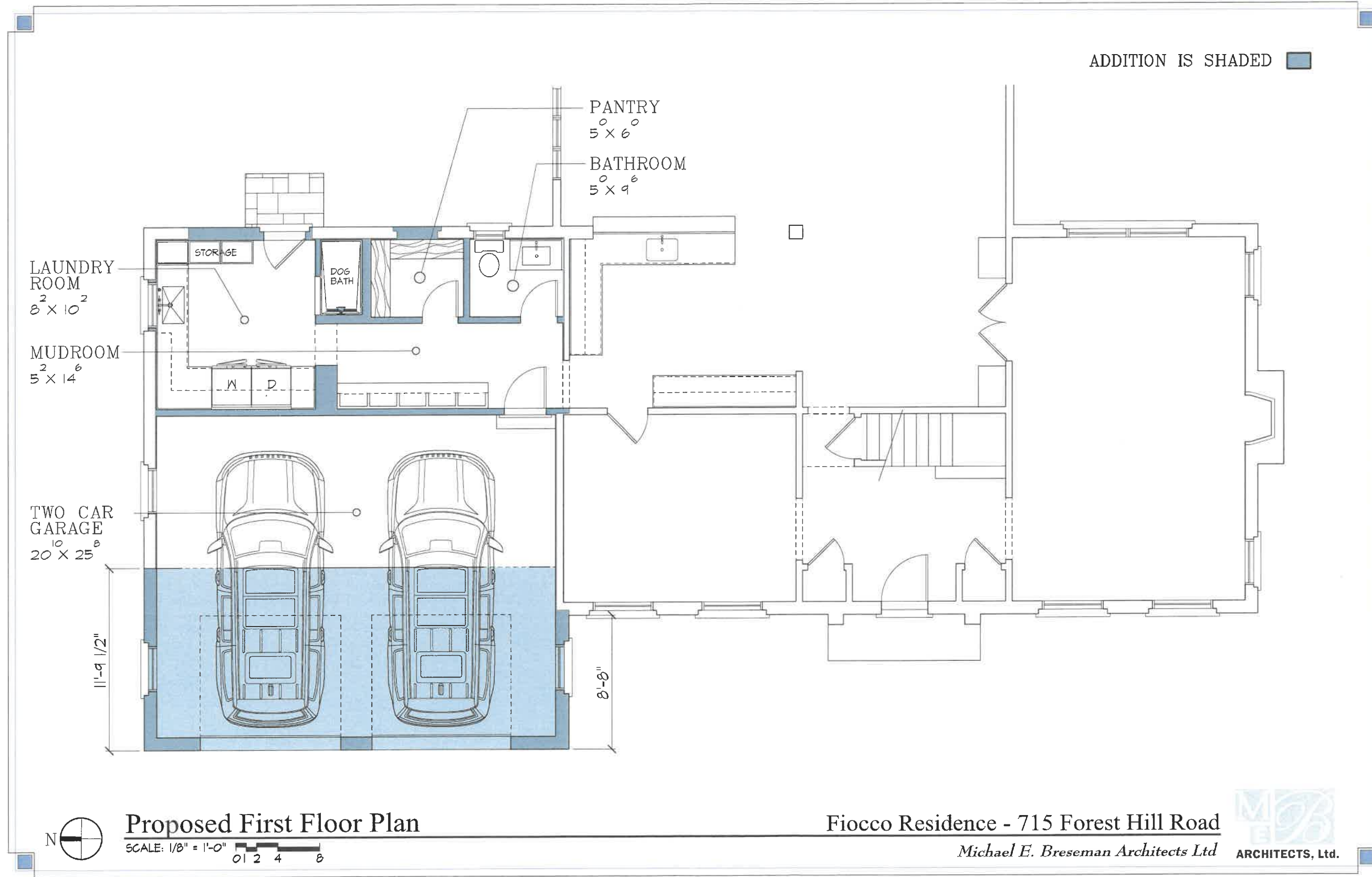
Preliminary Rendering from NW

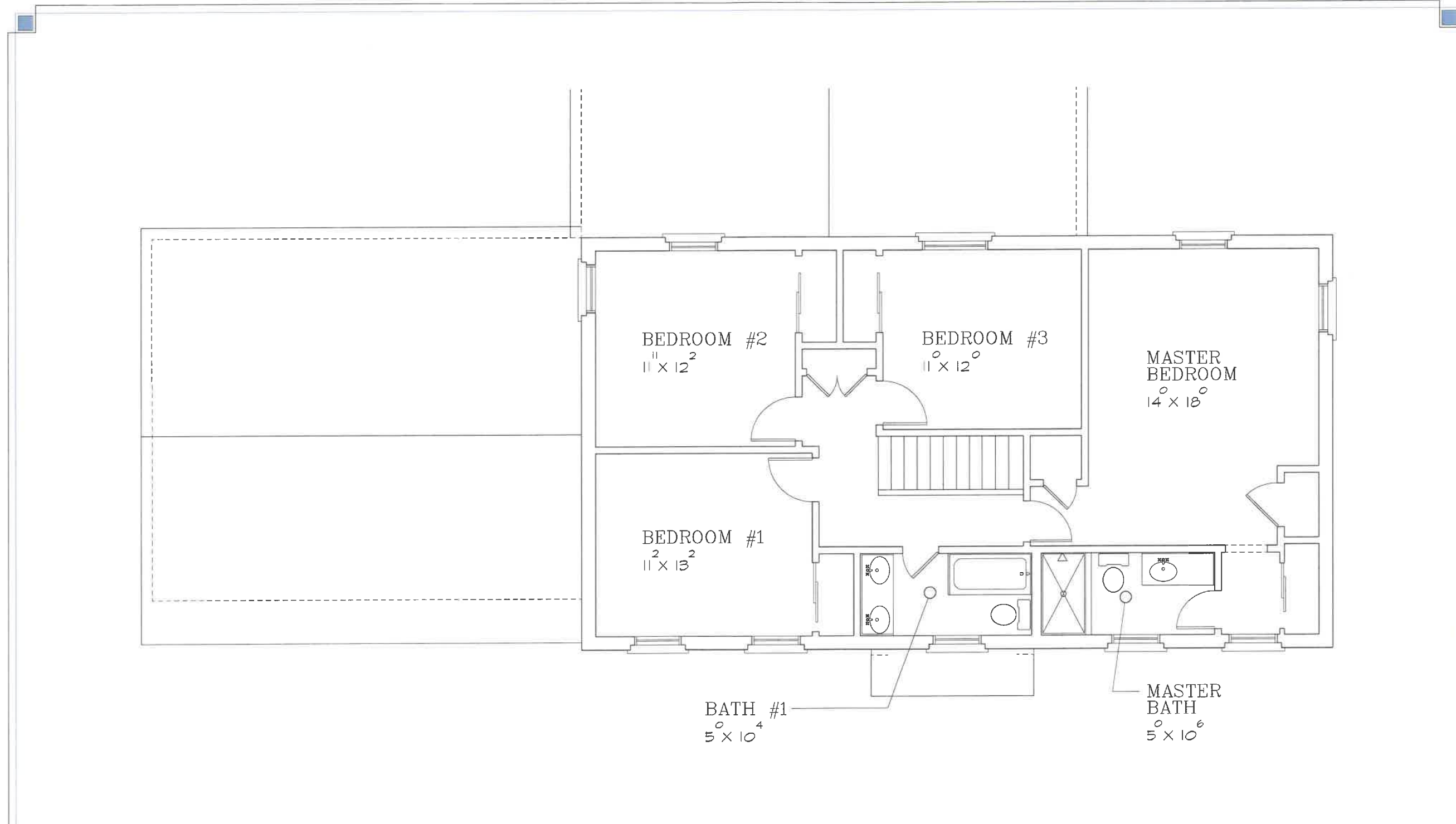
Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd









Existing Second Floor Plan

SCALE: 1/8" = 1'-0"

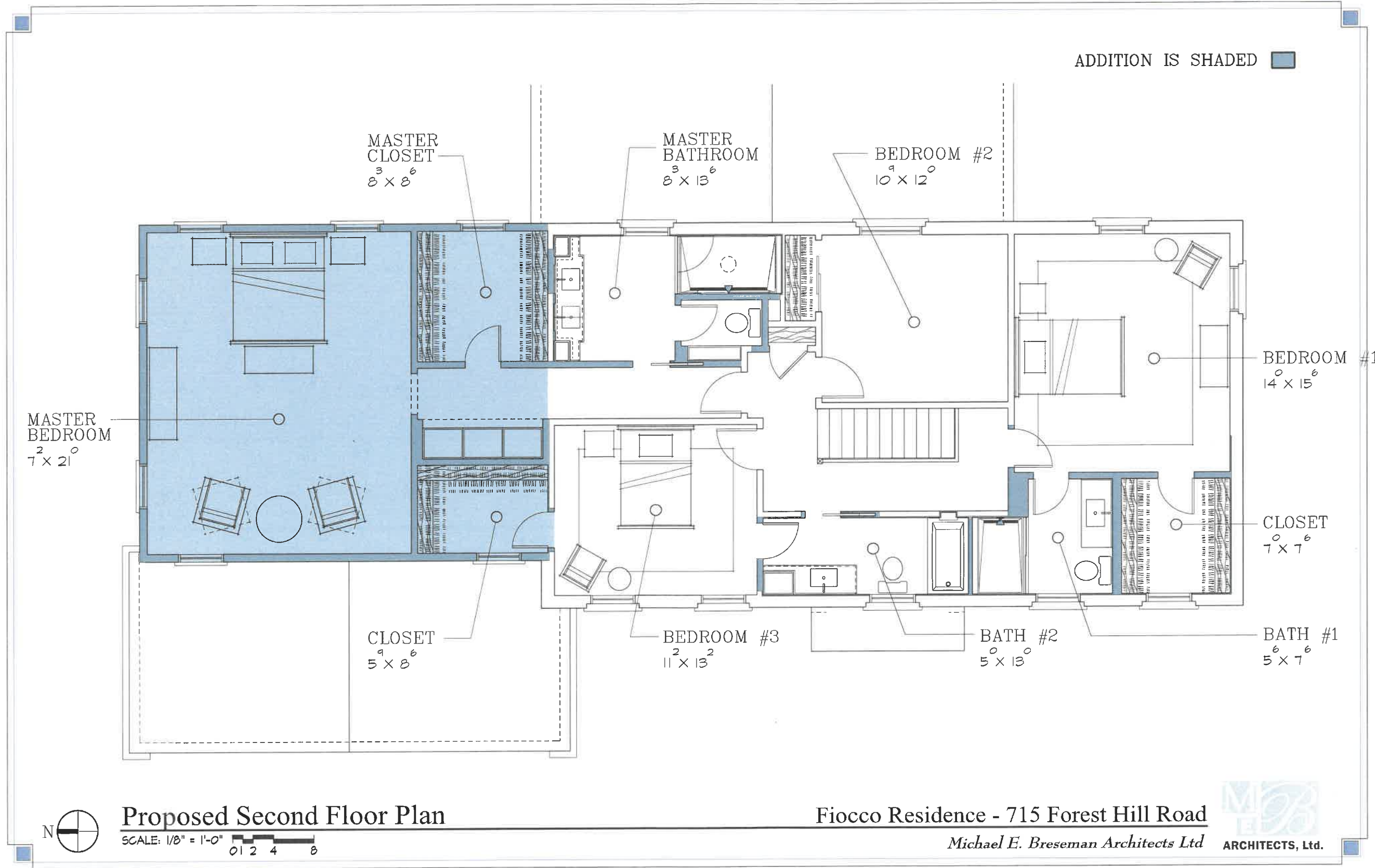


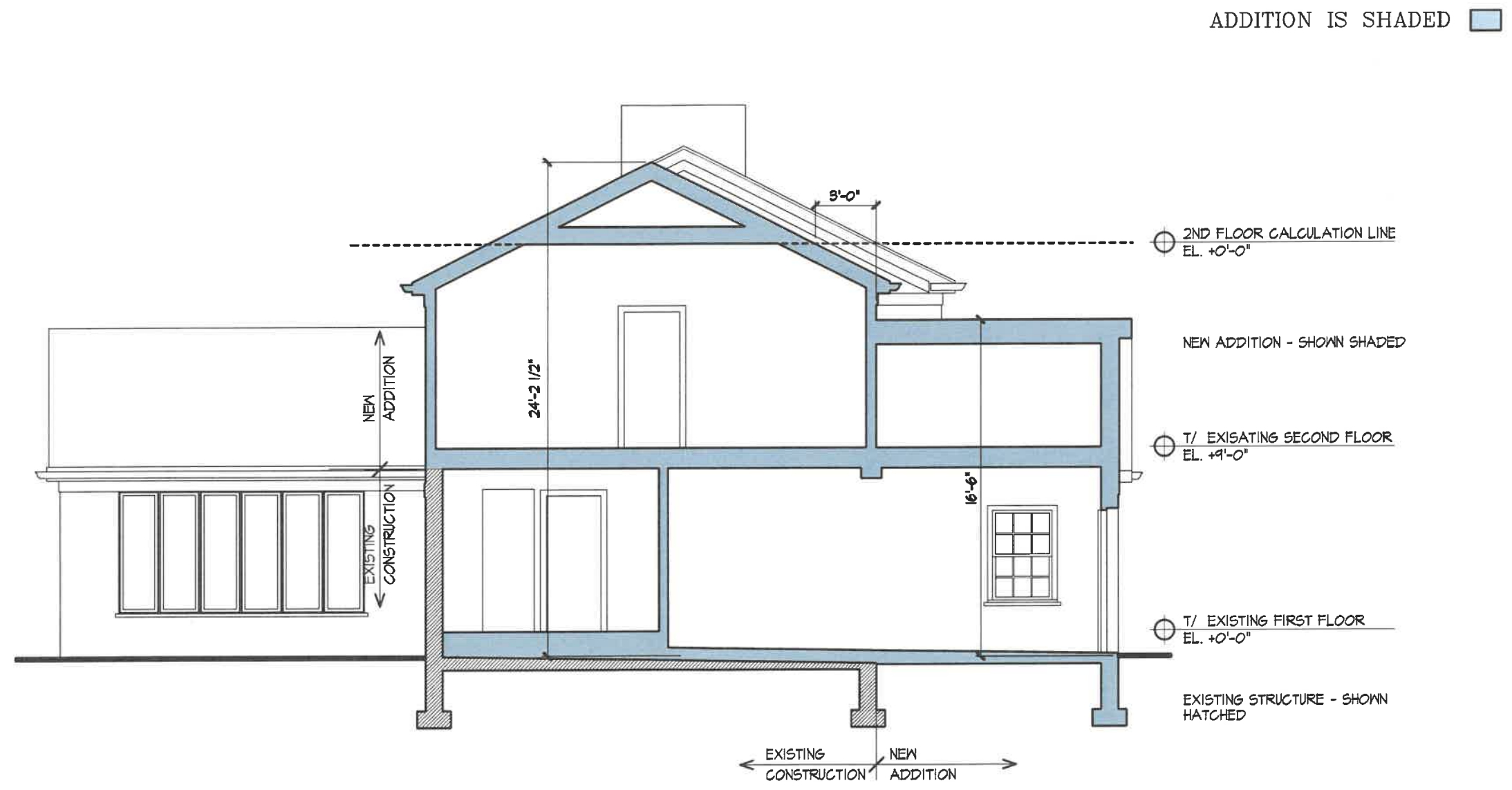
Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.





Proposed Building Section

SCALE: 3/16" = 1'-0"
0 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



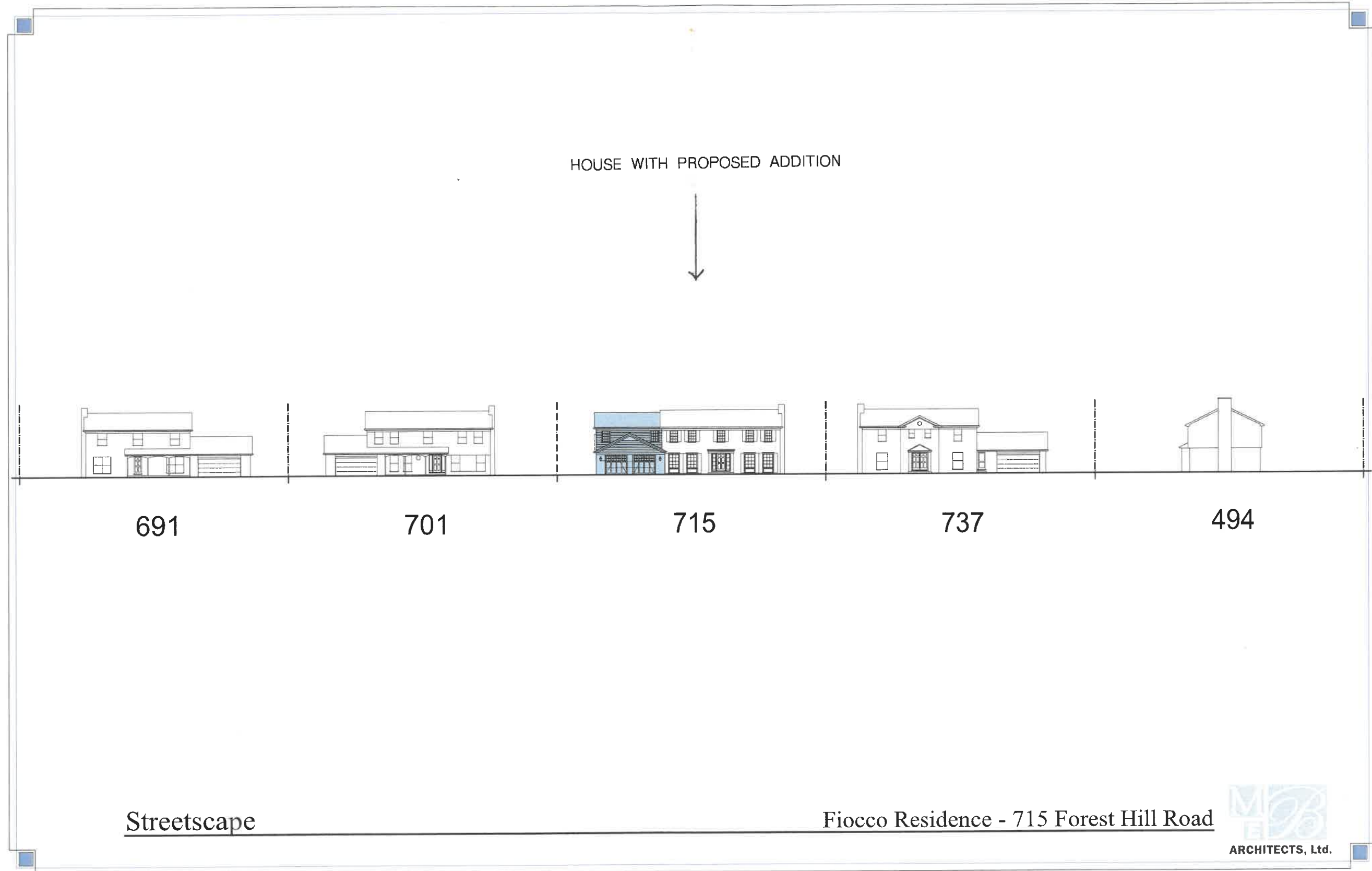
ARCHITECTS, Ltd.



House Photos

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



Streetscape

Fiocco Residence - 715 Forest Hill Road





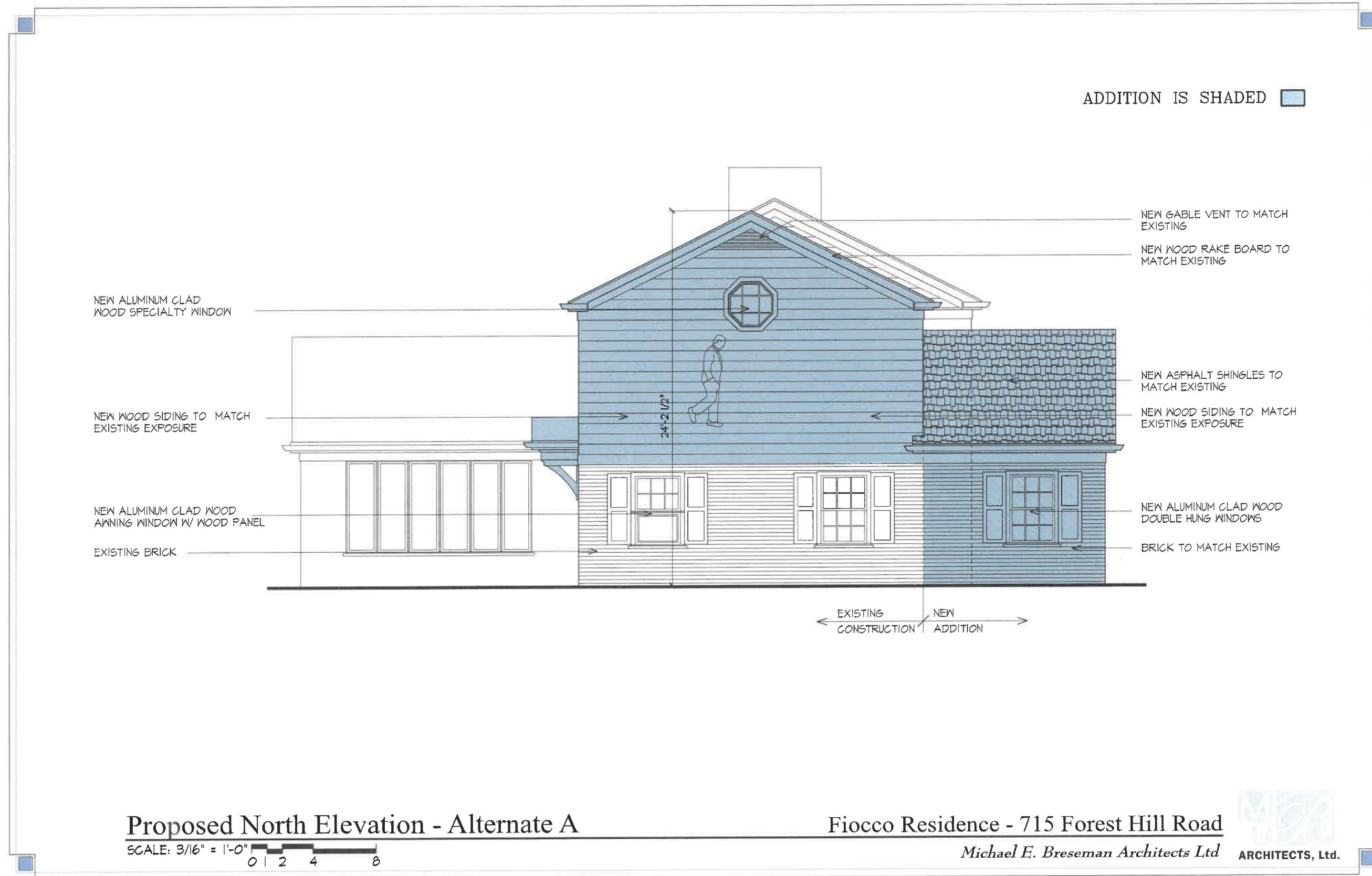
Neighboring House	Garage Projection from Main House	Garage Orientation
A	3'-0"	Front
B	24'-0"	Side
C	8'-8"	Front
D	6'-0"	Front
E	7'-0"	Front
F	7'-0"	Front
G	8'-0"	Front
H	44'-0"	Side
I	31'-0"	Side
J	0'-0"	Front
Average	13'-10"	



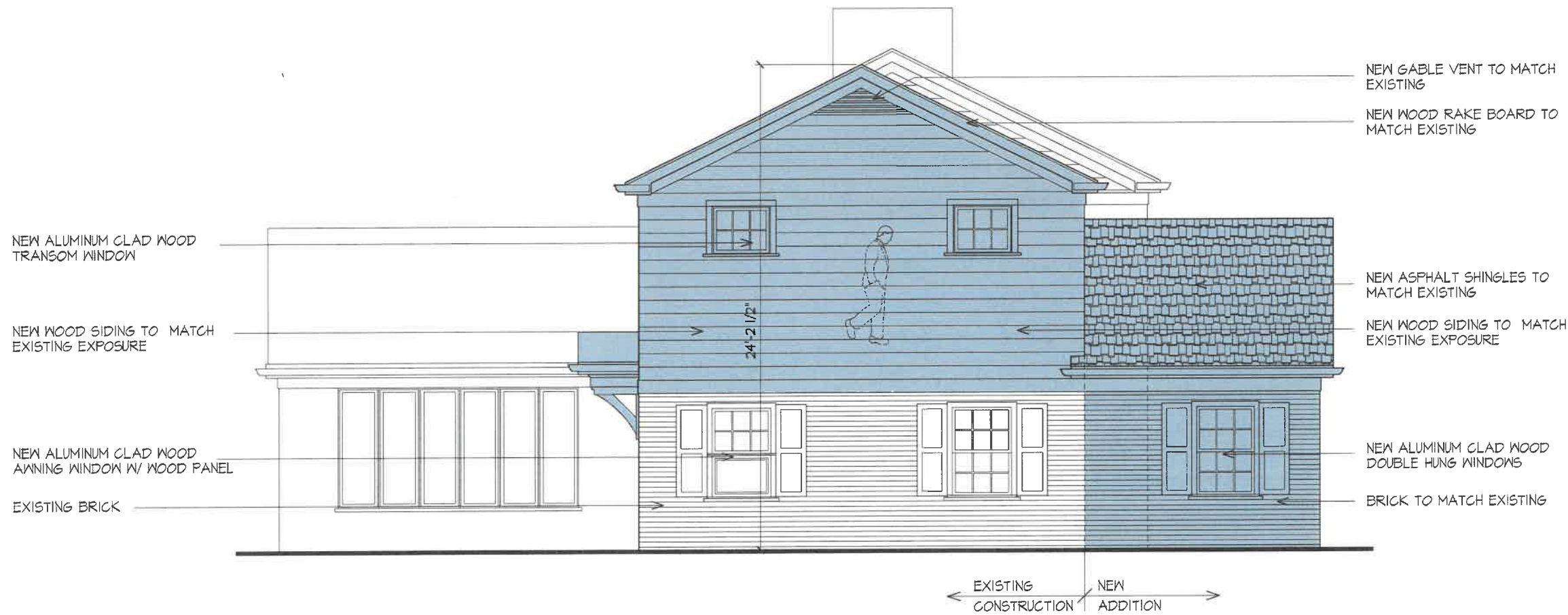
Neighborhood Garage Location Analysis

Fiocco Residence - 715 Forest Hill Road





ADDITION IS SHADED 



Proposed North Elevation - Alternate B

SCALE: 3/16" = 1'-0"
0 1 2 4 8

Fiocco Residence - 715 Forest Hill Road

Michael E. Breseman Architects Ltd



ARCHITECTS, Ltd.



Agenda Item
545 Whitehall Lane
New Residence on Vacant Lot

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Materials
Survey – Existing Conditions
Site Plan – New Residence
Conceptual Rendering – Front
Elevations
Conceptual Renderings – Side and Rear
Roof Plan
Section
Floor Plans
Preliminary Landscape Plan
Driveway Entrance Pier Detail
Tree Inventory List (waiting for tree removal plan)
Preliminary Engineering

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

545 Whitehall Lane

Consideration of a request for approval of a new residence on a vacant lot and the associated hardscape and landscape plans.

Property Owner: E. Jason and Sarah Burke
Project Representative: Jeff Letzter, Project Manager
Dean Botes, architect

Staff Contact: Catherine Czerniak, Director of Community Development

Summary of Request

This is a request for approval of a new single family residence on a vacant lot in the Whitehall Meadows Subdivision which was platted in 2004. The Whitehall Meadows Subdivision created 10 lots from the original Whitehall Manor Estate and is only recently beginning to see some development activity. Along with the design and exterior material aspects of the proposed residence, the site, landscape, and hardscape plans are presented to the Board for review and a recommendation.

Description of Property

The subject property is generally located west of Ridge Road and south of Broadsmoore Drive. As noted above, the property is accessed from a private road, Whitehall Lane, which extends east from the south end of Broadsmoore Drive.

The subject property is located at the end of Whitehall Lane and is not accessible from Ridge Road. The property in this petition is adjacent to the property on which the original Whitehall Manor residence remains today. The historic residence was constructed in 1929. The original estate house is located on the largest lot in the subdivision and takes access from Ridge Road to the east. The estate house is located at least 250 feet from the property line shared with the property in this request. There is a significant vegetative buffer along the west edge of the property on which the Manor house sits today. The proposed new residence and the original historic residence will not be visible in the context of each other from any public streetscape. There may be some visibility of the two residences from a limited number of neighboring properties to the north and south.

The coach house to the Manor house remains on a separate lot created through the subdivision. The coach house fronts on and takes access from Ridge Road. The historic coach house will not be visible in the context of the proposed residence.

The property in this request is the second in the subdivision to be proposed for development. In 2022, the Board reviewed and after some refinement,

recommended approval of a new residence at 745 Broadsmoore Drive, five lots west of the property in the present petition. That project is now underway.

The property now before the Board totals just under two acres and is rectangular in shape, approximately 200 feet wide and averaging about 427 feet in length. The south 150 feet of the property is outside of the buildable area and designated as a protected Tree Preservation Area. This area is clearly delineated on the plat of survey included in the Board's packet.

Staff Review of Standards – Evaluation, Comments, and Recommendations

Standards in General

The Code directs consideration of "the appearance of a project in terms of the quality of its design and the relationship to its surrounding neighborhood." And further directs that, "a project should harmonize with and support the City's unique character, with special consideration accorded the preservation of and enhancement of landmarks, the preservation and enhancement of natural features, and fostering architectural quality that complements the architectural and historic heritage of the City and the property values within the community."

Site Plan – This standard is met.

The proposed residence faces north, the private road terminates at the northwest corner of the lot. The property does not have street frontage on either a public or private road. To the north, the property is adjacent to the rear yards of developed properties.

A motor court is proposed at the front entrance to the home, connecting the driveway, which enters from the east end of Whitehall Lane, to the attached four car garage on the east side of the residence. Six and a half foot tall driveway entrance piers are proposed announcing the entrance to the property. The garage doors face east. A retaining wall is reflected on the site plan along the east edge of the driveway apron, in the 20 foot building setback. Although details on the retaining wall are referenced on the site plan, staff was not able to locate that information. Based on the plans, the wall is sited away from the property line which will allow for plantings on the outside of the wall as reflected on the landscape plan. The preliminary engineering plans state that the existing grades at the property lines are to be maintained.

Recommendation: Provide details of the retaining wall reflected on the plan east of the driveway apron including the proposed height and material of the wall.

The footprint of the house and the mechanical units for the house and the pool are in conformance with the required setbacks based on the plans presented. In the rear yard, the terrace, pool, hot tub and associated decks are also in

conformance with the required setbacks and do not encroach into the Tree Preservation Area established on the plat of subdivision.

The overall site plan is generally consistent with the anticipated layout for future new homes in the Whitehall Meadows Subdivision and consistent with the intent of the limits on the plat of subdivision.

Documents illustrating the breakdown of the impervious surface proposed on the site are pending however, in total, including the footprint of the house, driveway surfaces, walkways, terraces, pool and pool deck, the impervious coverage of the site appears to be approximately 22 percent. The protected Tree Preservation Area alone is a contiguous area of open, pervious area totaling 30 percent of the site.

Recommendation: Provide an illustration of impervious versus pervious surface including, but not limited to the footprint of the house and garage, driveway, walkways, terraces, outdoor stairways, pool, and pool deck.

Building Massing and Height – This standard is met.

Based on the lot size, a residence of up to 8,632 square feet is permitted on the property. In addition, a garage of up to 800 square feet is permitted along with up to 1,038 square feet of design elements. Design elements are defined as elements that provide human scale to a residence and help to mitigate the appearance of mass and height.

- The residence totals 8,380 square feet. The first and second floor are similar in size, the first floor totals 3,838 square feet, the second floor totals 3,524, and the third floor totals 1,018 square feet.
- The four car garage totals 1,039 square feet, 239 square feet over the allowable square footage for a garage on a property of this size. As required by the Code, the overage is added to the square footage of the house for a total of 8,619 square feet.
- Design elements on the home total 590 square feet, under the permitted design element bonus. The design elements are not included in the square footage total for the house provided above.
- Overall, based on the current information available, the proposed development is about two percent below the total allowable square footage for the property.

Recommendation: Given that the allowable square footage on the lot is nearly maxed out, at the time plans are submitted for permit, clear dimensions should be detailed on the construction documents and an updated Building Scale Workbook shall be submitted to allow verification that the house and all improvements remain under the allowable square footage.

Based on the plans presented, the main mass of the house rises just over 36 feet as measured from the point of the lowest existing grade. The secondary masses to the east and west of the main mass are 28 feet in height. The single story garage element is about 18 feet tall. The maximum height allowed for this lot is 40 feet.

Elevations – This standard can be more fully met with some further study, clarification, and refinement.

According to the petitioner's statement of intent, the proposed residence is designed in the French Manor architectural style. The residence is comprised of a large main mass with overlapping roof forms and slightly smaller elements on either side of the main mass. To the front, both the main mass and the secondary masses present as full two story elements with a third floor incorporated into the roof and articulated with single dormers across the elevation. Although not at the maximum height allowed on the property, the home has a strong vertical orientation and will have a strong presence on the site. The tall first floor windows, the heavy front entry element, and the narrow vertical dormers all contribute to the vertical impression.

Consistent roof pitches are used throughout. The roof overall is complicated with overlapping roof elements. Simplification of the roof should be considered. Mushroom roof vents are shown on the plans. This type of vent is not normally found on high quality homes.

Recommendation: Consider opportunities to simplify the roof forms, minimizing the overlapping roof forms to the extent possible.

Recommendation: Use an alternative to the proposed mushroom roof vents currently shown on the side and rear elevations.

Casement windows are shown consistently around the house, generally the windows are aligned above and below, and across each elevation.

A large expanse of windows is proposed on the rear elevation to take advantage of the large rear yard. Given the limited, if any visibility of the rear of the home from off of the site, the expanse of windows as proposed is reasonable particularly given the 150 foot deep Tree Preservation Area on the south portion of the yard. A ribbon of four transom type windows is reflected on the rear elevation, at the garage, where a small bay steps out. Although the bay appears to add an unnecessary complication to the roof, the rear facing transom windows can be integrated with the rest of the home through some taller foundation plantings along the wall below the windows.

Single vertical windows, all of the same size, are shown in the front facing dormers located on all of the front facing masses of the home. The dormers and associated windows appear crowded on the secondary masses in comparison

to their appearance on the main mass. Studying the dormers further could be worthwhile to determine whether refinements could improve upon the overall design aesthetic.

Recommendation: Study the single dormers. Should the size or placement of the dormers be adjusted relative to the size of the secondary masses? Would an alternate window form in the dormers better reflect the desired French style, a small circular or oval window for example.

No chimneys are visible on the front elevation. Chimneys are often considered a dominant and defining architectural element. Two low chimneys are reflected on the rear elevation. Consideration should be given to whether incorporating a chimney or two that are visible on the front elevation will elevate the overall French Manor style desired by the homeowners.

Recommendation: Consider incorporating a chimney or two that will be visible on the front elevation for greater consistency with the selected French style.

The front entrance appears heavy. The large stone pieces, the heft of the top element, the multi-layer cornice capping the entrance, and the recessed door may all contribute to the initial reaction to the element.

Recommendation: Explore refinements to the front entrance to minimize the appearance of heaviness particularly the mass directly above the door. The deep covered porch, which appears to extend slightly more than ten feet from the approaching steps to the recessed front door, may be dark and less inviting than an alternate solution.

Type, color, and texture of materials – This standard is generally met.

High quality materials are proposed throughout. Limestone veneer in various forms is proposed for the siding and window surrounds, natural slate for the roof, wood for the front door and the garage doors, copper gutters and downspouts, aluminum clad casement windows are proposed with simulated divided lites, and wood trim is proposed.

Some clarification is expected at the meeting to provide some understanding of the intended sizes, textures, and color of the various limestone veneers proposed for the various elements of the home. Selecting limestone that leans away from the more yellow tones is recommended. Information on the intended mortar will also be helpful. The roof slate is called out as gray/charcoal colored on the materials submitted by the petitioners. It will be helpful to understand whether variations in color are proposed for the slate tiles. Some variation could help to soften the visual dominance of the large roof form.

Recommendation: Provide samples of all proposed exterior materials in particular to show the various sizes, colors and textures of limestone veneer proposed for the house and the proposed slate for the roof.

Limestone veneer, limestone trim, a concrete cap, and a decorative clay chimney pot are proposed for the two chimneys at the rear of the home.

The landscape plan notes that a chip and seal material is proposed for the driveway. Chip and seal is a lower cost alternative to a traditional asphalt or concrete driveway and uses the tar binder from asphalt to hold different types of stone and gravel in place. This treatment adds texture and can present a softer, more interesting appearance than traditional asphalt. Chip and seal is an impervious surface. The landscape plan also notes that limestone pavers, curbing and steps are planned for the outdoor area in the rear of the home.

From the conceptual renderings, the intended color palette appears to be muted grayish tones for the limestone. The roof and windows appear to be dark gray and black. Subtle tones will allow the large home to sit more quietly on the site than starker, stronger tones.

Landscaping and Hardscape

A preliminary, high level landscape plan was provided and is included in the Board's packet. The plan details proposed hardscape around the home including the configuration of the driveway, motor court, walkways, a terrace, pool and pool deck. As this project moves forward, a more detailed landscape plan including detail of foundation plantings planned around the entire house and species and size at time of planting for all plant material, will be required. It will be important to incorporate some native tree species into the landscape that will over time help to soften the appearance of the large home. The current plan reflects some of these types of plantings.

Recommendation: Continue to develop the landscape plan with detailed information on the proposed plantings.

A detailed tree inventory was submitted and is included in the Board's packet however, on the plans submitted to date, it is difficult to read the tree numbers and align the survey with the trees planned for removal. Work continues on this item. Once clear plans are provided, a determination will be made on the required replacement inches, if any, depending on the quality, location, and species of the trees that will be removed.

Recommendation: Provide a plan with readable tree numbers and trees to be removed clearly identified to allow a determination on the required replacement inches, if any.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations.

An email stating support for the petition was submitted by the President of the Whitehall Homeowners' Association, the seller of the lots, in support of the petition. The email is attached to this report. To date, no other correspondence has been received.

Recommendation

Continue the petition for further refinement. Indicate general support for the overall site plan. Provide direction to the petitioner based on the recommendations detailed above in this report as they may be modified, eliminated, or added to by the Board.

OR

If the Board determines that a recommendation in support of the petition as presented is appropriate at this time, staff recommends the following conditions of approval be incorporated into the motion.

Conditions of Approval

1. The following elements shall be studied further and refined as directed by the Board.

Note to the Board: Please detail the elements to be studied and refined, if any.

2. All modifications to the plans including those made in response to Board further direction or discussion, or as the result of final design development, shall be clearly called out on the plans submitted for permit and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to verify that the plans as presented are consistent with the Board's approval prior to the issuance of any permits or if further Board review is required.
3. Prior to the issuance of a building permit:

Tree Removal and Landscaping

- a. A tree plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. The plan shall identify any trees proposed for removal and trees identified for protection and preservation.

- b. A plan shall be submitted identifying the location of tree protection fencing to be installed prior to the start of construction and describing pre and post construction treatments proposed to increase the chances of long term survival of the trees intended for preservation which are located close to construction activity.
- c. A detailed landscape plan shall be submitted and will be subject to review and approval by the City's Certified Arborist. At a minimum, the plan must reflect foundation plantings around the entire structure and the number of trees required by the Code for new construction. converted garage, connecting addition, and the new garage as required by the Code and additional trees if required to satisfy the required replacement for trees removed. The landscape plan shall specify the quantity, species, and size at the time of planting for all new landscaping.

Drainage and Grading

- d. Detailed drainage and grading plans must be submitted. Grading or filling is limited to the minimum necessary to meet accepted engineering standards and practices. The property must continue to accept water that is tributary to the site and runoff from new construction must be addressed to avoid increasing stormwater runoff on to neighboring properties.

Exterior Lighting

- e. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, except those illuminated by natural gas at low light levels, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.

Construction Parking and Staging

- f. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 545 Whitehall Lane Owner(s) E. Jason and Sarah Burke
 Proj. Manager Jeff Letzter Reviewed by: C. Czerniak
 Date 2/1/2024
 Lot Area 85410 sq. ft. Allowed Square Footage 8632

Square Footage of Residence -- New

1st floor 3838 + 2nd floor 3524 + 3rd floor 1018 = 8380 sq. ft.

Design Element Allowance = 1038 sq. ft.

Total Actual Design Elements = 590 sq. ft. Excess = 0 sq. ft.

Garage 1039 sf actual ; 800 sf allowance Excess = 239 sq. ft.

Garage Width NA ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*

Basement Area = 0 sq. ft.

Accessory buildings = 0 sq. ft.

Total Square Footage of Residence = 8619 sq. ft.
 (minus Design Elements, plus garage overage)

TOTAL SQUARE FOOTAGE = 8619 sq. ft.

TOTAL SQUARE FOOTAGE ALLOWED = 8632 sq. ft.

DIFFERENTIAL = 13 sq. ft. **NET RESULT:**
Under Maximum 13 sq. ft. is

Allowable Height: 40 ft. Actual Height 36'2" ft. 2% under Max. allowed

DESIGN ELEMENT EXEMPTIONS

Design Element Allowance: 1038 sq. ft.

Front & Side Porches = _____ sq. ft.

Rear & Side Screen Porches = 446 sq. ft.

Covered Entries = 144 sq. ft.

Portico = 0 sq. ft.

Porte-Cochere = 0 sq. ft.

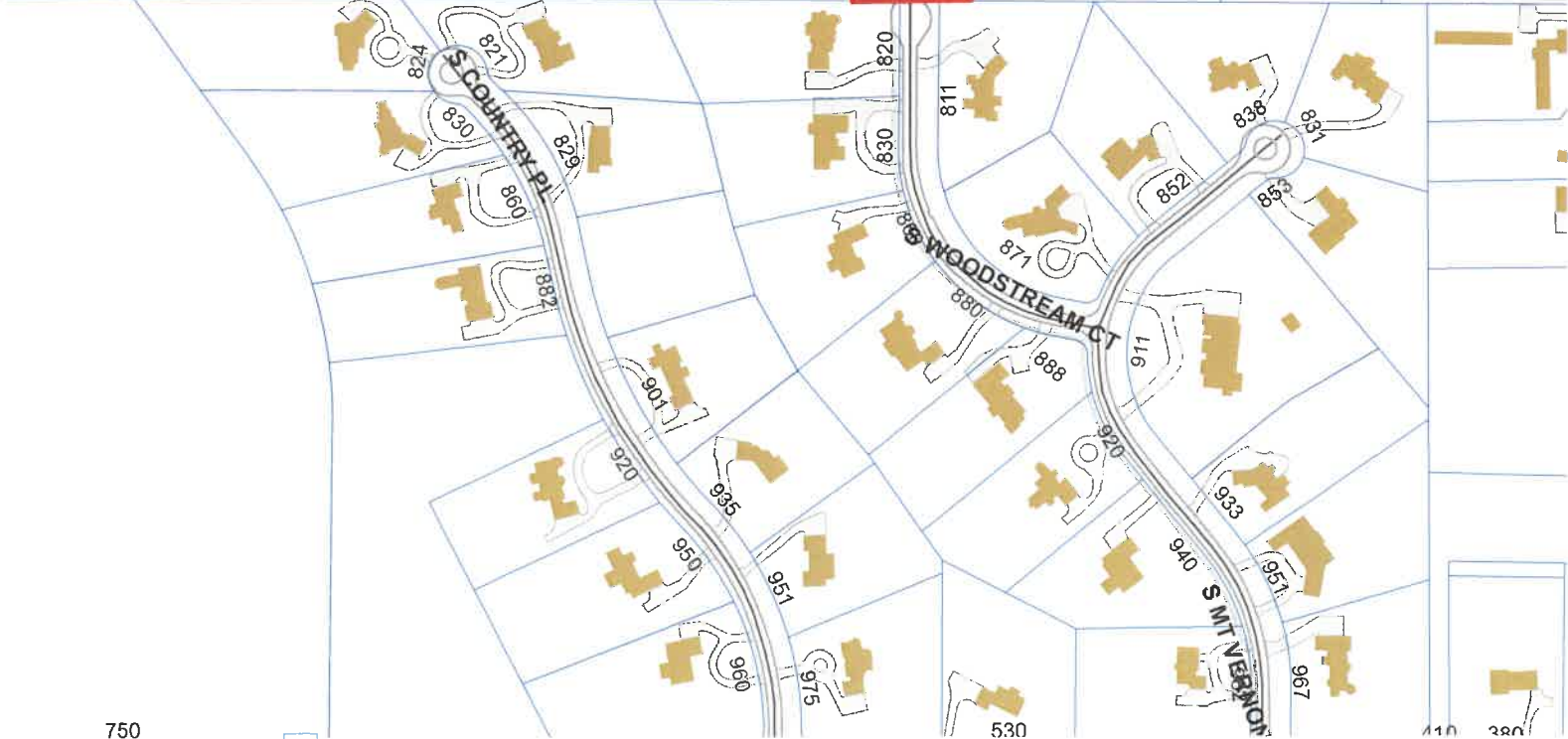
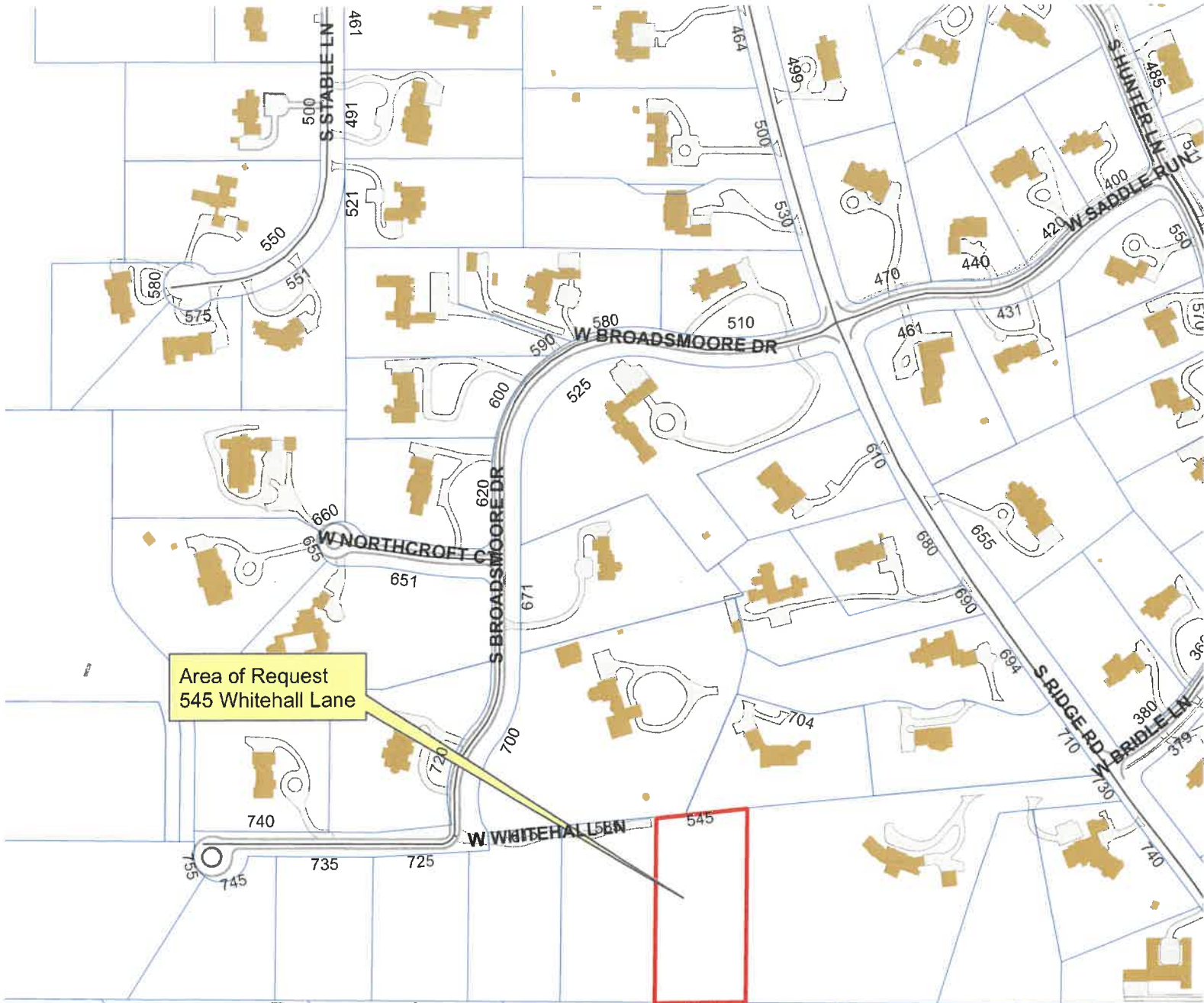
Breezeway = 0 sq. ft.

Pergolas = 0 sq. ft.

Individual Dormers = 0 sq. ft.

Bay Windows = 0 sq. ft.

Total Actual Design Elements = 590 sq. ft. **Excess Design Elements** = 0 sq. ft.



Area of Request
545 Whitehall Lane





Area of Request
545 Whitehall Lane



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 345 WHITE HALL LANE

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

E. Jason Burke
Sarah E. Burke
Owner of Property

3155 Floral Drive
Owner's Street Address (may be different from project address)

Northbrook, IL 60062
City, State and Zip Code

(847) 975-5237
Phone Number *Fax Number*

e.jason.burke@gmail.com
Email Address

[Signature]
Sarah E. Burke
Owner's Signature

ARCHITECT/BUILDER INFORMATION

JEFF LETZEL, PROJECT MANAGER
DEAN FOTOS, ARCHITECT
Name and Title of Person Presenting Project

ADAPT DESIGN, INC
Name of Firm

74575 COMMERCE DR
Street Address

WILD, IL 60075
City, State and Zip Code

(847) 957-2600
Phone Number *Fax Number*

SCOTT@L.A.SPELL.COM
Email Address

[Signature]
PROJECT MANAGER
Representative's Signature (Architect/Builder)

The staff report is available the Friday before the meeting, after 3:00pm.	
Please email a copy of the staff report	<input checked="" type="checkbox"/> OWNER <input checked="" type="checkbox"/> REPRESENTATIVE
Please fax a copy of the staff report	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE
I will pick up a copy of the staff report at the Community Development Department	<input type="checkbox"/> OWNER <input type="checkbox"/> REPRESENTATIVE



Statement of Intent 545 Whitehall Lane

1. Background—The newly constructed home will be built by Landmark Luxury Group for the Jason and Sarah Burke family.
2. Initial Goal—The purpose of the project is to build a new French Manor style home.
3. Design Strategy—The intent is to plan the home with garage to the East and have the front entry, and roof lines being the focal point as you view the home, which works well as a reduction to the scale and proportions and appearance of mass which carries through on all the elevations of the home.
4. Materials – Light Gray stone and limestone are to be used on the exterior of the building. The aluminum clad windows will be black. The roof will be gray / charcoal colored slate. The front door and garage doors will be stained English Walnut. The gutters, downspouts and rain collectors will be copper.
5. Conclusion—Are intent is to build an attractive home that quietly fits into its current site. The restrained new quality of the home will be a wonderful addition to the neighborhood.
6. Variances— No variances are required.

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
PHONE: 847.457.2500
WWW.ASPECTDESIGNINC.COM



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material LIMESTONE/GRAY

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish BLACK

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____
- Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other LIMESTONE PAVERS

GREMLEY & BIEDERMANN

A Division of
PLCS Corporation

PROFESSIONAL LAND SURVEYORS
License No. 04-005332
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM

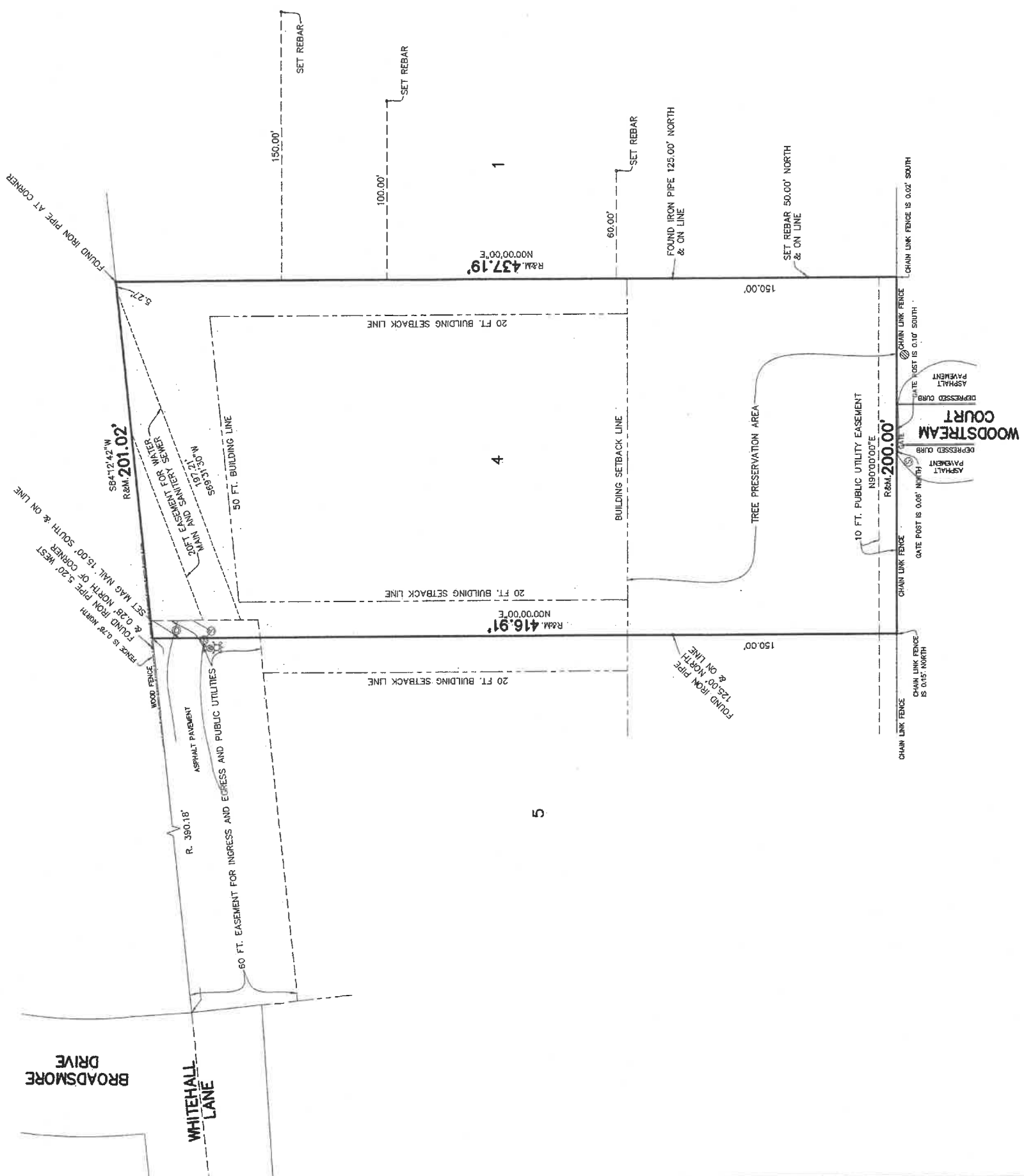
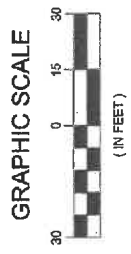
Plat of Survey

LOT 4 IN WHITEHALL MEADOWS, BEING A RESUBDIVISION IN THE
SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 43 NORTH, RANGE 12
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

CONTAINING 85,410 SQUARE FEET OR 1.960 ACRES MORE OR LESS.

LEGEND

- ⊙ Storm MH
- ⊙ Storm CB
- ⊙ Storm Inlet
- ⊙ San MH
- ⊙ Water Buffalo Box
- ⊙ Water Fire Hydrant
- ⊙ Electric Light Pole
- ⊙ Unclassified Manhole
- ⊙ Iron Pipe



ORDERED BY: WHITEHALL LLC	CHECKED: RL	DRAWN: RL
GREMLEY & BIEDERMANN A Division of PLCS CORPORATION License No. 04-005332 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM		
ORDER NO. 2020-28069-001	DATE: JULY 22, 2020	PAGE NO. 1 OF 1
SCALE: 1 INCH = 40 FEET	© VCAD/2020/2020-28069/2020-28069-001.dwg	

SURVEY NOTES:
 SURVEYOR'S LICENSE EXPIRES November 30, 2020
 Note R. & M. denotes Record and Measured distances respectively.
 Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences DETORC damage is done.
 For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.
 NO dimensions shall be assumed by scale measurement upon this plat.
 Unless otherwise noted herein the Bearing, Sidel, Elevation Datum and Coordinate Datum if used is ASSUMED.
 COPYRIGHT GREMLEY & BIEDERMANN, INC. 2020 "All Rights Reserved"

State of Illinois)
County of Cook

We, GREMLEY & BIEDERMANN, INC. hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey corrected to a temperature of 62° Fahrenheit.
Field measurements completed on July 22, 2020.



Signed on July 31, 2020.
By: *Robert G. Biedermann*
Professional Illinois Land Surveyor No. 2802
This professional service conforms to the current Illinois minimum standards for a boundary survey.

CONCEPTUAL RENDERING – NORTH (FRONT) ELEVATION



**BURKE
RESIDENCE**
NEW CONSTRUCTION
545 WHITEHALL LANE
LAKE FOREST, IL 60045

**LANDMARK LUXURY
GROUP**

REVIEW	05/04/2023
REVIEW	07/07/2023
REVIEW	07/07/2023
REVIEW	07/11/2023
REVIEW	06/22/2023
REVIEW	10/06/2023
REVIEW	10/24/2023
REVIEW	12/15/2023

REVIEW	08/28/2022
REVIEW	09/04/2022
REVIEW	09/12/2022
REVIEW	09/19/2022
BID SET	09/21/2022
REVIEW	03/09/2023
REVIEW	04/17/2023
REVIEW	04/24/2023

REVIEW	05/09/2022
REVIEW	06/06/2022
REVIEW	07/06/2022
REVIEW	07/18/2022
REVIEW	07/20/2022
REVIEW	08/10/2022
REVIEW	08/17/2022
REVIEW	08/16/2022

26574 COMMERCE DR.
SUITE 607
Volo, IL 60073
www.aspectdesigninc.com
IL PROFESSIONAL ARCHITECT

ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD2129
DRAWN BY: COM/DBMS
BURKE RESIDENCE
EXTERIOR ELEVATIONS

AQ 02
2 OF 15 TOTAL SHEETS

1 FRONT ELEVATION
AQ 02

SCALE: 1/4"=1'-0"
NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

BURKE RESIDENCE
 NEW CONSTRUCTION
 545 WHITEHALL LANE
 LAKE FOREST, IL 60045

LANDMARK LUXURY GROUP

05/04/2023	REVIEW
07/05/2023	REVIEW
07/06/2023	REVIEW
07/11/2023	REVIEW
08/11/2023	REVIEW
10/02/2023	REVIEW
10/24/2023	REVIEW
11/07/2023	REVIEW

08/26/2021	REVIEW
08/16/2021	REVIEW
07/20/2021	REVIEW
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03/19/2021	REVIEW
04/11/2021	REVIEW
04/04/2021	REVIEW

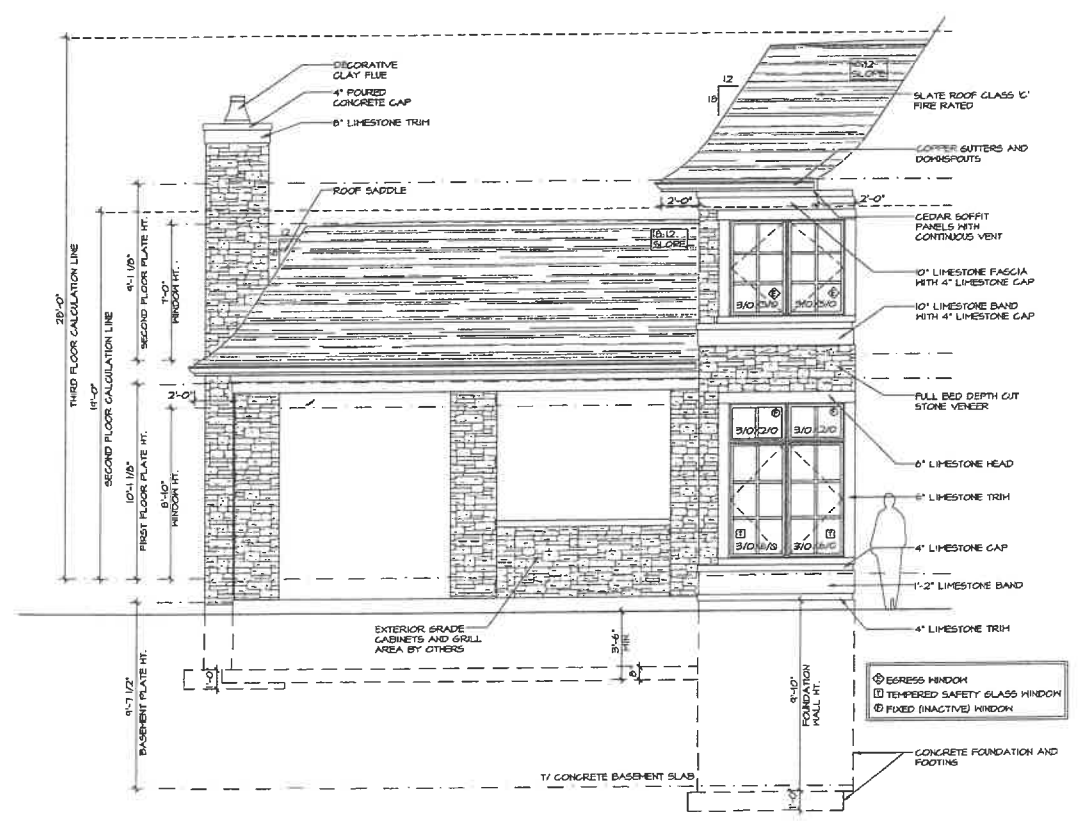
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07/11/2022	REVIEW
07/12/2022	REVIEW
08/02/2022	REVIEW
08/11/2022	REVIEW
08/16/2022	REVIEW

BASEK COMMERCIAL DR.
 VOLVO, IL 60073
 MAIN: 847-457-2300
 WWW.ASPECTDESIGNINC.COM

ASPECT DESIGN INC.
 ARCHITECTS

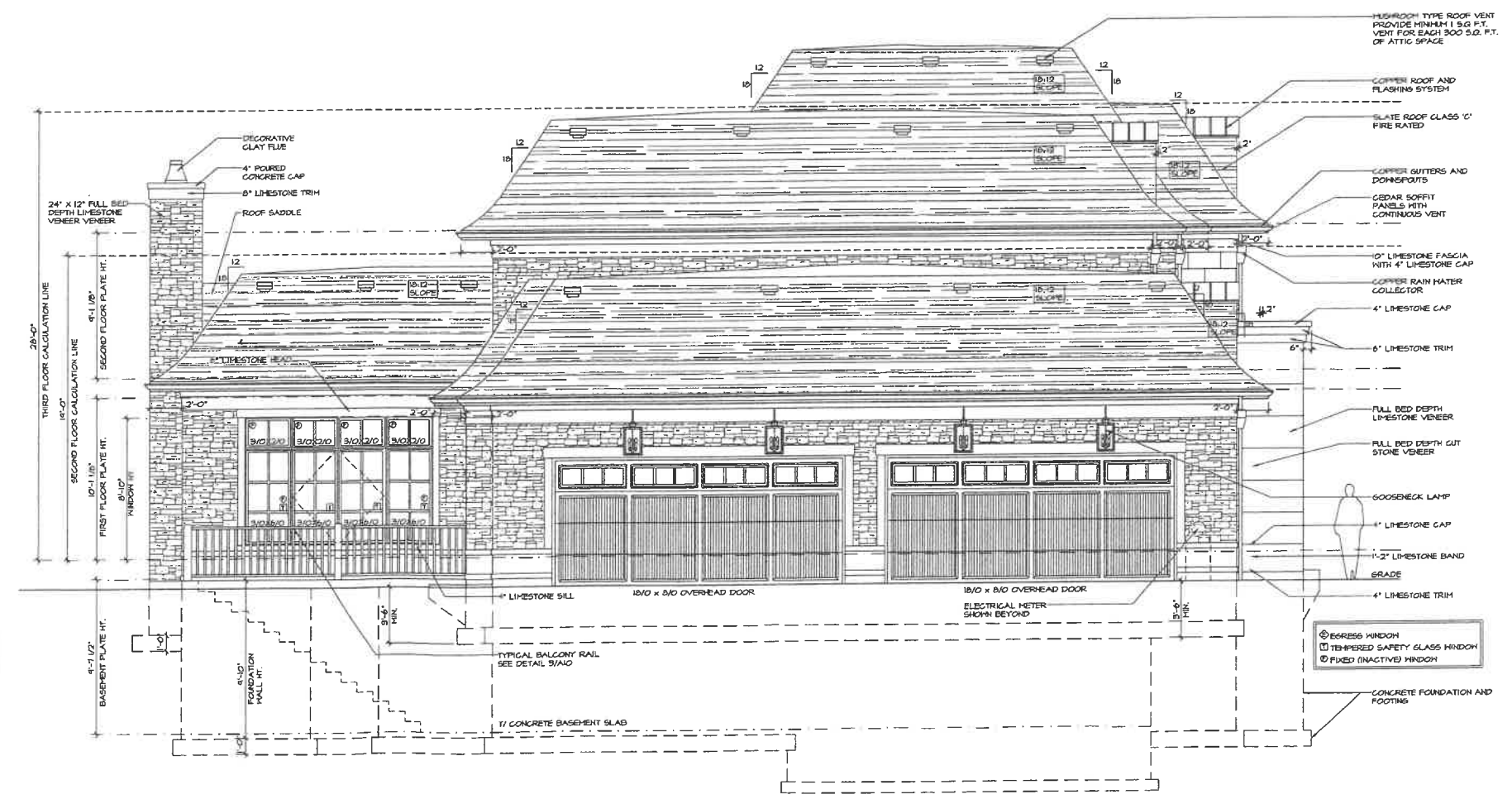
PROJECT # AD21129
 DRAWN BY: COM/DBM
 BURKE RESIDENCE
 EXTERIOR ELEVATIONS

AQ 03
 # 3 OF 15 TOTAL SHEETS



2 PARTIAL LEFT ELEVATION
 AQ 03

SCALE: 1/4"=1'-0"



1 LEFT ELEVATION
 AQ 03

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER, (ARCH-E)

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SOUTH (REAR) ELEVATION

BURKE RESIDENCE
NEW CONSTRUCTION
545 WHITEHALL LANE
LAKE FOREST, IL 60045

LANDMARK LUXURY GROUP

REVIEW	05/04/2023
REVIEW	06/06/2023
REVIEW	07/06/2023
REVIEW	07/11/2023
REVIEW	08/17/2023
REVIEW	10/07/2023
REVIEW	10/24/2023
REVIEW	12/15/2023

REVIEW	06/26/2022
REVIEW	09/06/2022
REVIEW	09/12/2022
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REVIEW	10/17/2022
REVIEW	04/24/2023

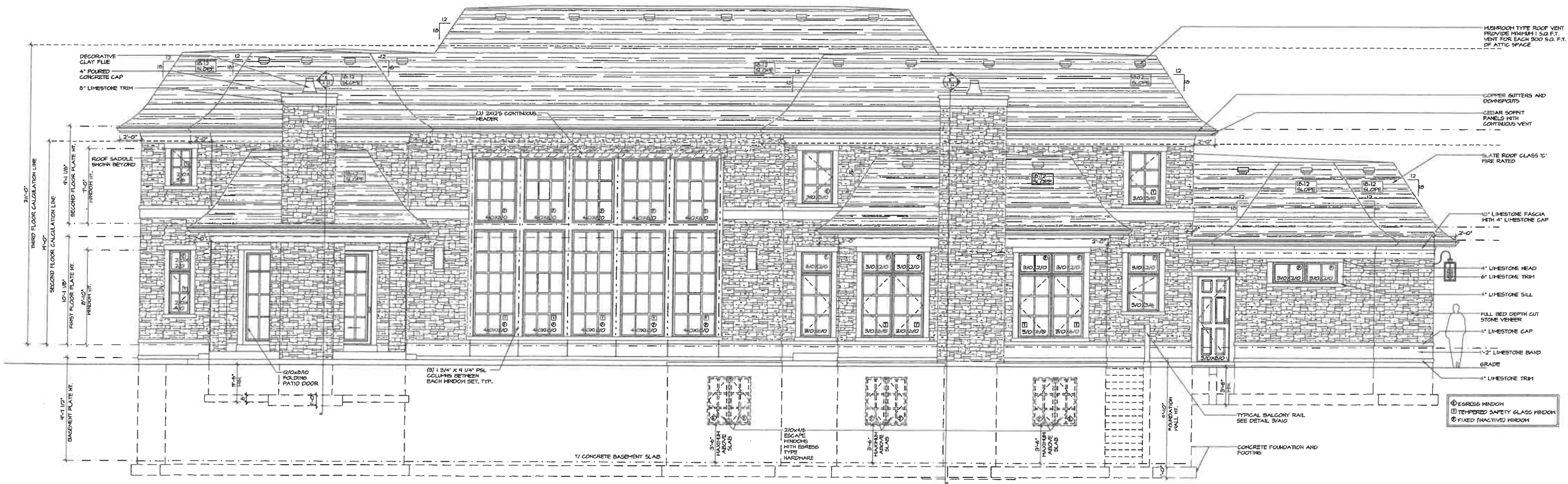
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REVIEW	06/20/2022
REVIEW	07/04/2022
REVIEW	07/14/2022
REVIEW	07/25/2022
REVIEW	08/02/2022
REVIEW	08/11/2022
REVIEW	08/16/2022

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ASPECT DESIGN INC.
ARCHITECTS

PROJECT # AD71126
DRAWN BY: COMDIRMB
BURKE RESIDENCE
EXTERIOR ELEVATIONS

AQ 04
4 OF 15 TOTAL SHEETS



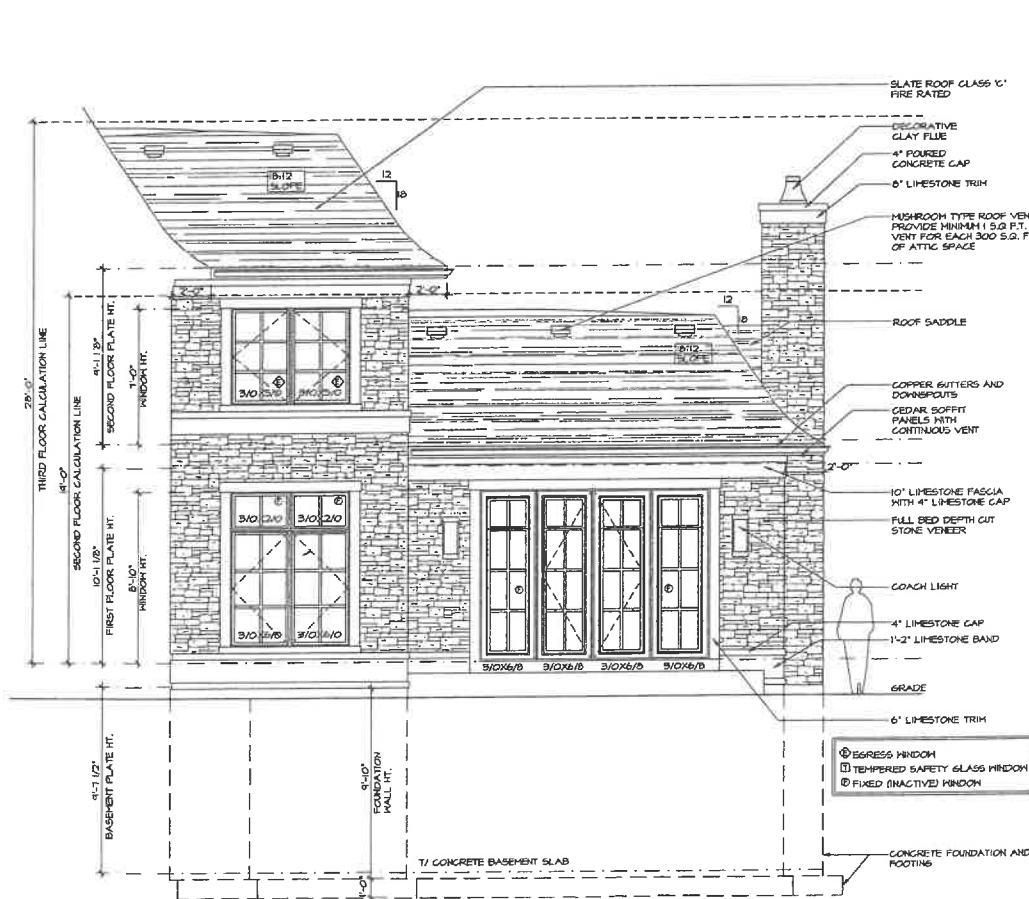
1 REAR ELEVATION
AQ 04

SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER (ARCH-E)

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WEST (SIDE) ELEVATION



2 PARTIAL RIGHT ELEVATION
AQ 05
SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
AQ 05
SCALE: 1/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER. (ARCH-E)

BURKE RESIDENCE
NEW CONSTRUCTION
545 WHITEHALL LANE
LAKE FOREST, IL 60045

LANDMARK LUXURY GROUP

REVIEW	05/04/2023
REVIEW	07/05/2023
REVIEW	07/06/2023
REVIEW	07/10/2023
REVIEW	07/12/2023
REVIEW	07/14/2023
REVIEW	07/15/2023

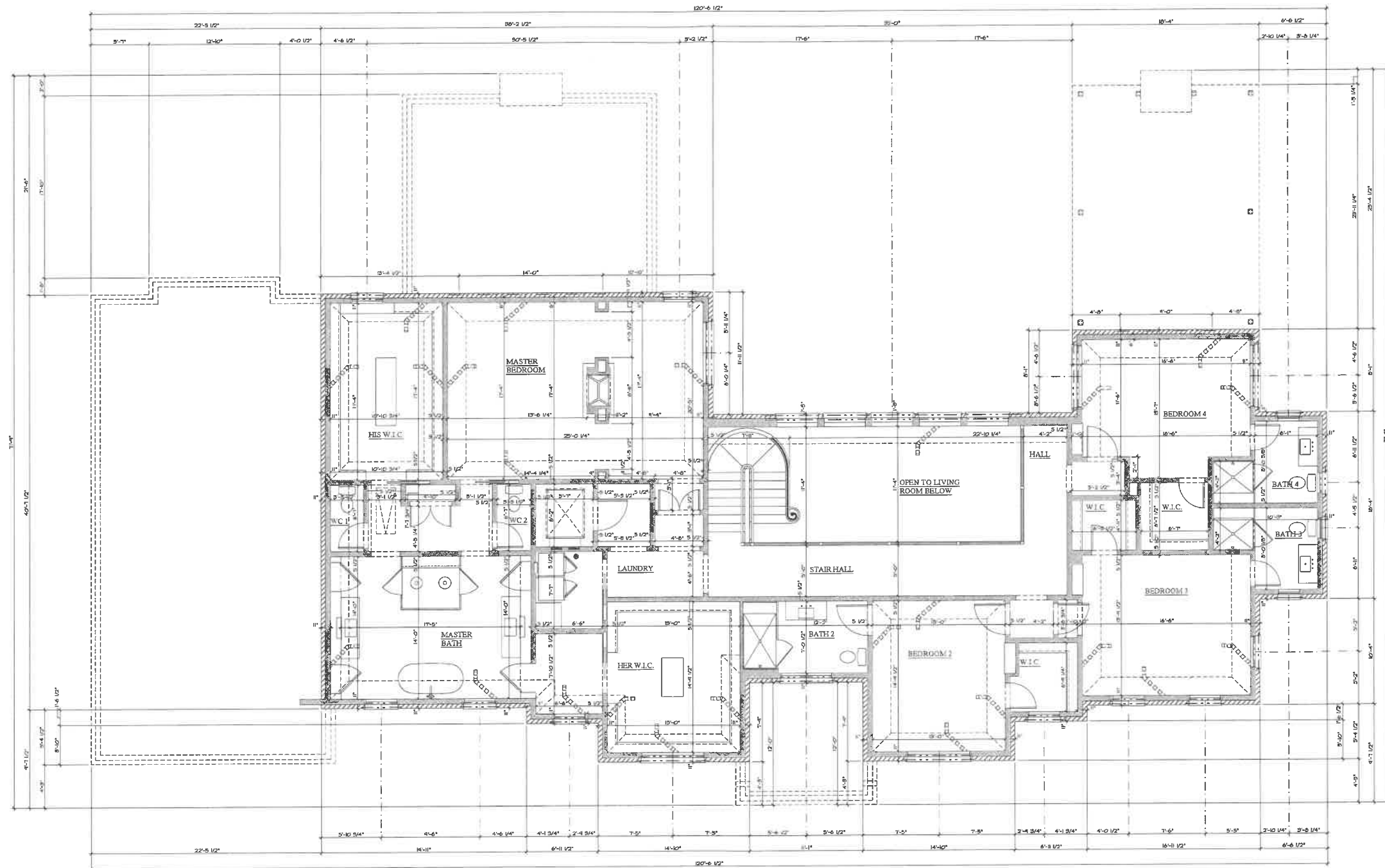
REVIEW	08/16/2022
REVIEW	09/06/2022
REVIEW	09/12/2022
REVIEW	09/19/2022
REVIEW	09/21/2022
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REVIEW	09/25/2022
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REVIEW	09/27/2022
REVIEW	09/28/2022
REVIEW	09/29/2022
REVIEW	09/30/2022
REVIEW	10/01/2022
REVIEW	10/02/2022
REVIEW	10/03/2022
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REVIEW	12/29/2022
REVIEW	12/30/2022
REVIEW	12/31/2022

26575 COMMERCE DR.
SUITE 607
Volo, IL 60073
MAIN: 847-457-2500
FAX: 847-457-2504
E: LORRAINE@ASPECT-ARCH.COM



PROJECT # AD21129
DRAWN BY: COM/DRMB
BURKE RESIDENCE
EXTERIOR ELEVATIONS

AQ 05
5 OF 15 TOTAL SHEETS



1 SECOND FLOOR PLAN
AQ 09

SCALE: 1/4"=1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 30" x 42" SIZE PAPER (ARCH-E)

BURKE RESIDENCE
NEW CONSTRUCTION
545 WHITEHALL LANE
LAKE FOREST, IL 60045

LANDMARK LUXURY GROUP

05/08/23	05/08/23	05/08/23	05/08/23
REVIEW	REVIEW	REVIEW	REVIEW

07/06/23	07/06/23	07/06/23	07/06/23
REVIEW	REVIEW	REVIEW	REVIEW

06/29/23	06/29/23	06/29/23	06/29/23
REVIEW	REVIEW	REVIEW	REVIEW

2657 COMMERCIAL DR.
VOLA, IL 60073
PHONE: 847-477-2000
WWW.ASPECTDESIGN.COM

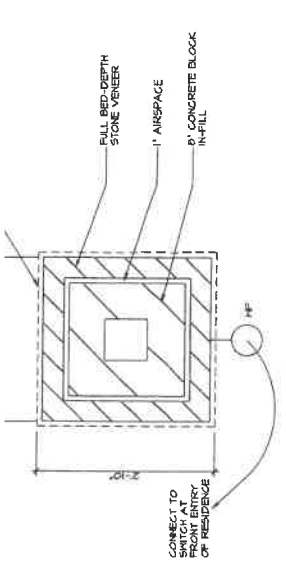
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ARCHITECTS

PROJECT # AD21121
DRAWN BY: COMD/BMB
BURKE RESIDENCE
SECOND FLOOR PLAN
AQ 09

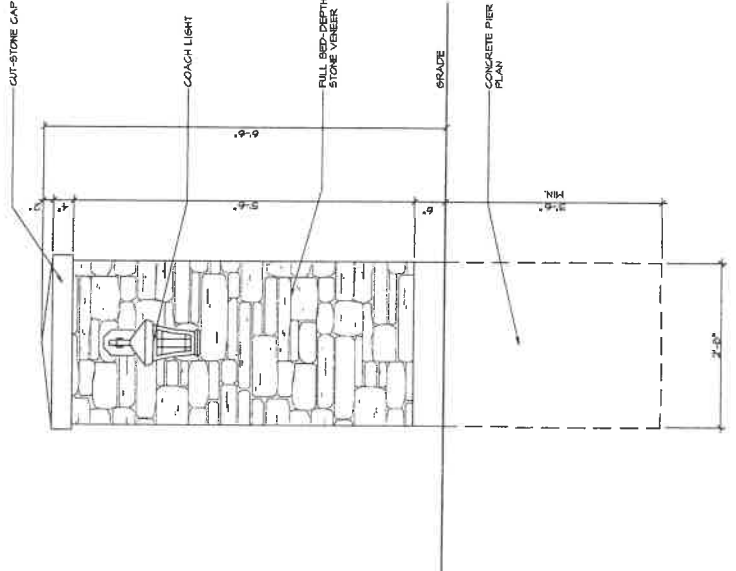
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 ARCHITECTS
 26575 COMMERCE DR.
 SUITE 607
 VOLU, IL 60073
 MAIN: 847-457-2500
 WWW.ASPECTDESIGN.COM
 IL LICENSE # 1846038

PROJECT # AD211R
 DRAWN BY: CONADRAMB
 BURKE RESIDENCE
 SITE PLAN
AQ 02
 # 2 OF 15 TOTAL SHEETS

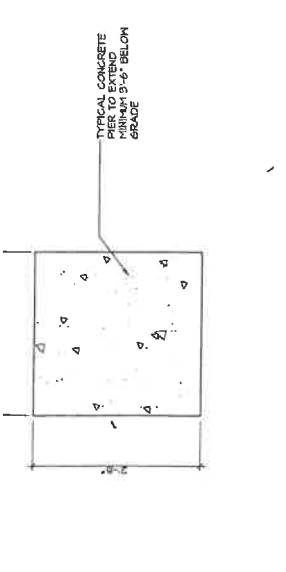
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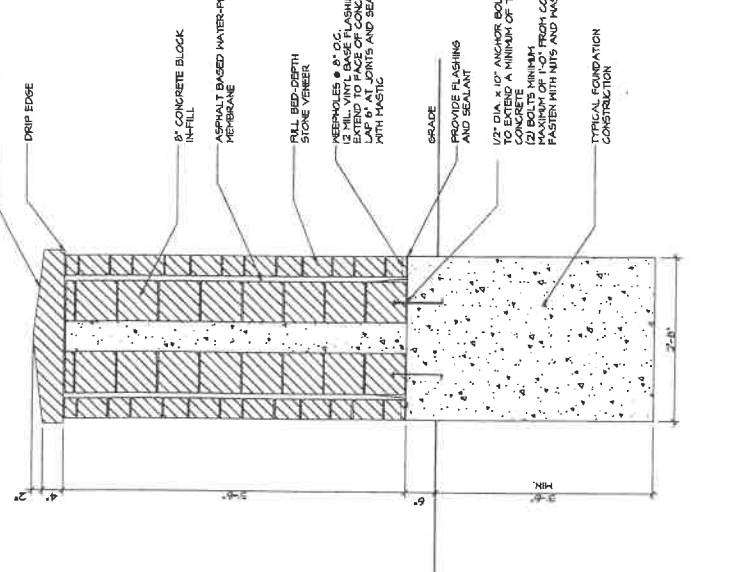
3 ENTRY COLUMN PLAN
 SCALE: 3/4" = 1'-0"



2 ENTRY COLUMN DETAIL
 SCALE: 3/4" = 1'-0"



5 ENTRY COLUMN PLAN
 SCALE: 3/4" = 1'-0"



4 ENTRY COLUMN SECTION
 SCALE: 3/4" = 1'-0"

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 90" x 42" SIZE PAPER (ARCH-E)
 © CITYSMART DESIGN

TREE INVENTORY (WAITING FOR TREE REMOVAL INFORMATION)



Client: JMR Landscaping
 Worksite: Burke Residence - Lot 4 Whitehall Ln, Lake Forest, IL
 Date: 10/18/2022
 Surveyor: Sam Conrad
 Cert. Arborist IL-9678A

Tree Survey and Inventory

ID #	Common Name	Species	DBH	Condition	Comments
301	American basswood	Tilia americana	12, 4, 4	Good	Multiple Stems
302	Bur Oak	Quercus macrocarpa	38	Fair	Deadwood, Leaning trunk
303	American basswood	Tilia americana	10	Fair	Leaning trunk
304	American basswood	Tilia americana	10	Fair	Leaning trunk
305	Northern Red Oak	Quercus rubra	10	Good	
306	American basswood	Tilia americana	11	Good	
307	American basswood	Tilia americana	10	Fair	Deadwood, Leaning trunk
308	American basswood	Tilia americana	9	Fair	Cavity
309	American basswood	Tilia americana	9	Good	
310	American basswood	Tilia americana	10	Good	
311	Shagbark Hickory	Carya ovata	14	Good	
312	American basswood	Tilia americana	11	Fair	Leaning trunk
313	Bur Oak	Quercus macrocarpa	32	Good	Deadwood
314	American basswood	Tilia americana	18	Fair	Co-dominant tree, Crack, Included Bark
315	American basswood	Tilia americana	11	Good	
316	American basswood	Tilia americana	9	Good	
317	American basswood	Tilia americana	8	Good	
318	American basswood	Tilia americana	15	Good	
319	American basswood	Tilia americana	15	Fair	Co-dominant Limbs, Crack, Included Bark
320	Northern Red Oak	Quercus rubra	28	Fair	Deadwood
321	White Oak	Quercus alba	20	Poor	Deadwood, Leaning trunk
322	Northern Red Oak	Quercus rubra	8	Good	Leaning trunk
323	Northern Red Oak	Quercus rubra	11	Good	
324	Northern Red Oak	Quercus rubra	13	Good	
325	Northern Red Oak	Quercus rubra	11	Fair	Leaning trunk
326	Northern Red Oak	Quercus rubra	12	Fair	Deadwood, Leaning trunk
327	Northern Red Oak	Quercus rubra	10	Dead	
328	Northern Red Oak	Quercus rubra	8	Good	Leaning trunk
329	Shagbark Hickory	Carya ovata	15	Good	
330	Swamp White Oak	Quercus bicolor	13	Good	
331	Black Walnut	Juglans nigra	12, 5	Dead	Multiple Stems

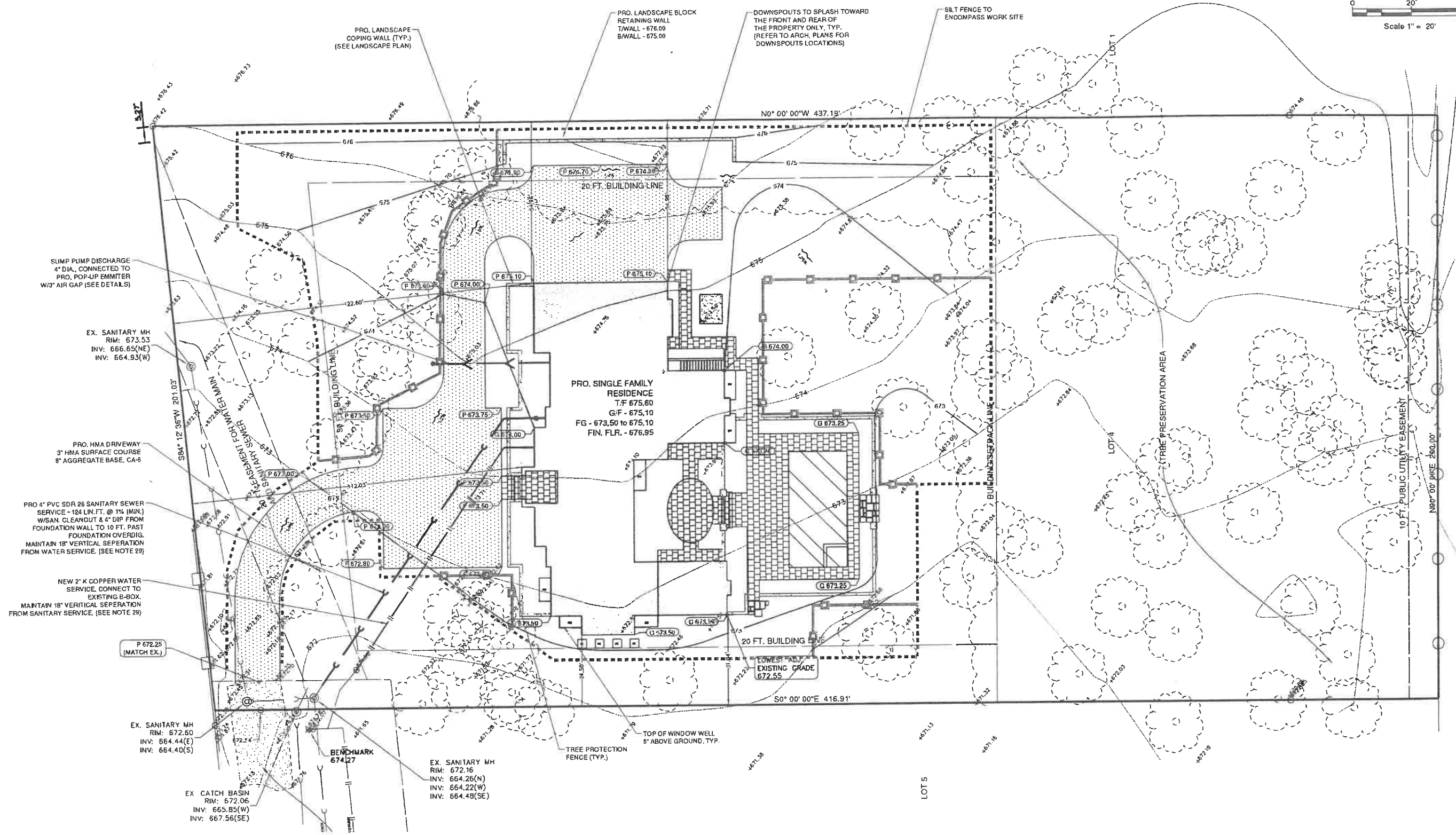
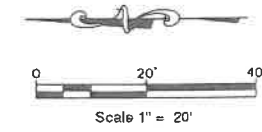
TREE INVENTORY (WAITING FOR TREE REMOVAL INFORMATION)



Client: JMR Landscaping
 Worksite: Burke Residence - Lot 4 Whitehall Ln, Lake Forest, IL
 Date: 10/18/2022
 Surveyor: Sam Conrad
 Cert. Arborist IL-9678A

Tree Survey and Inventory

ID #	Common Name	Species	DBH	Condition	Comments
332	American Elm	Ulmus americana	8	Good	Leaning trunk
333	Northern Red Oak	Quercus rubra	8	Good	
334	Northern Red Oak	Quercus rubra	10	Good	Leaning trunk
335	Northern Red Oak	Quercus rubra	11	Fair	Deadwood
336	Northern Red Oak	Quercus rubra	12	Good	Leaning trunk
337	American basswood	Tilia americana	8	Good	Leaning trunk
338	Northern Red Oak	Quercus rubra	25	Fair	Co-dominant Limbs, Deadwood, Included Bark
339	Northern Red Oak	Quercus rubra	26	Fair	
340	Northern Red Oak	Quercus rubra	21	Poor	Deadwood, Leaning trunk
341	Northern Red Oak	Quercus rubra	30	Dead	
342	Northern Red Oak	Quercus rubra	28	Dead	
343	American basswood	Tilia americana	8	Poor	Deadwood
344	Northern Red Oak	Quercus rubra	10	Fair	Deadwood, Leaning trunk
345	Northern Red Oak	Quercus rubra	8	Good	Leaning trunk
346	Northern Red Oak	Quercus rubra	8	Good	
347	Northern Red Oak	Quercus rubra	11	Good	
348	Northern Red Oak	Quercus rubra	10	Good	Leaning trunk
349	Northern Red Oak	Quercus rubra	12	Good	Co-dominant Limbs, Included Bark
350	Northern Red Oak	Quercus rubra	9	Good	
351	Northern Red Oak	Quercus rubra	9	Good	
352	Northern Red Oak	Quercus rubra	13	Good	Leaning trunk
353	Northern Red Oak	Quercus rubra	11	Good	Leaning trunk
354	Black Walnut	Juglans nigra	17	Dead	
355	Northern Red Oak	Quercus rubra	15	Dead	
356	Black Walnut	Juglans nigra	16	Dead	
357	American basswood	Tilia americana	11, 11	Poor	Deadwood, Leaning trunk, Multiple Stems
358	Northern Red Oak	Quercus rubra	9	Good	Leaning trunk
359	Northern Red Oak	Quercus rubra	12	Fair	
360	Bur Oak	Quercus macrocarpa	36	Poor	Cavity, Deadwood
361	Buckthorn	Rhamnus species	6, 5, 4, 4, 4	Fair	Multiple Stems
362	Bur Oak	Quercus macrocarpa	30	Good	Deadwood
363	White Oak	Quercus alba	26	Fair	Deadwood, Leaning trunk, Neighboring lot



PRO. LANDSCAPE COPING WALL (TYP.) (SEE LANDSCAPE PLAN)

PRO. LANDSCAPE BLOCK RETAINING WALL T/WALL - 676.00 B/WALL - 675.00

DOWNSPOUTS TO SPLASH TOWARD THE FRONT AND REAR OF THE PROPERTY ONLY, TYP. (REFER TO ARCH. PLANS FOR DOWNSPOUTS LOCATIONS)

SILT FENCE TO ENCOMPASS WORK SITE

SLUMP PUMP DISCHARGE 4" DIA. CONNECTED TO PRO. POP-UP EMITTER W/3" AIR GAP (SEE DETAILS)

EX. SANITARY MH RIM: 673.53 INV: 666.65(N) INV: 664.93(W)

PRO. HMA DRIVEWAY 3" HMA SURFACE COURSE 8" AGGREGATE BASE, CA-6

PRO 4" PVC SDR 26 SANITARY SEWER SERVICE - 124 LIN. FT. @ 1% (MIN.) W/SAN. CLEANOUT & 4" DIP FROM FOUNDATION WALL TO 10 FT. PAST FOUNDATION OVERDIG. MAINTAIN 18" VERTICAL SEPERATION FROM WATER SERVICE. (SEE NOTE 29)

NEW 2" K COPPER WATER SERVICE, CONNECT TO EXISTING B-BOX. MAINTAIN 18" VERTICAL SEPERATION FROM SANITARY SERVICE. (SEE NOTE 29)

P 672.25 (MATCH EX)

EX. SANITARY MH RIM: 672.60 INV: 664.44(E) INV: 664.40(S)

EX. CATCH BASIN RIM: 672.06 INV: 665.85(W) INV: 667.56(SE)

BENCHMARK 674.27

EX. SANITARY MH RIM: 672.16 INV: 664.26(N) INV: 664.22(W) INV: 664.48(SE)

PRO. SINGLE FAMILY RESIDENCE T/F - 675.60 G/F - 675.10 FG - 673.50 to 675.10 FIN. FLR. - 676.95

TREE PROTECTION FENCE (TYP.)

TOP OF WINDOW WELL 8" ABOVE GROUND, TYP.

LOWEST POINT EXISTING GRADE 672.55

10 FT. PUBLIC UTILITY EASEMENT

TREE PRESERVATION AREA

LOT 4

LOT 5

LOT 1

N0° 00' 00"W 437.19'

S0° 00' 00"E 416.91'

N80° 00' 00"E 280.00'