

Agenda Item 3
1021 Prairie Avenue
Sunroom Addition and Building Scale Variance

Staff Report
Building Scale Summary
Vicinity Map
Air Photo

Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Proposed Site Plan
Proposed West and East Elevations
Proposed South and North Elevations
Proposed Sunroom Building Section
Proposed First Floor Plan
Photographs

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

1021 Prairie Avenue

Consideration of a request for approval of a sunroom addition on the rear of the residence. A building scale variance is also requested.

Property Owners: Jill and Fred Bartuch
Project Representative: Frank Klepitsch, architect

Staff Contact: Jen Baehr, Planner

Description of Property and Existing Residence

This property is located on the east side of Prairie Avenue, south of Everett Road. The surrounding neighborhood contains modest size homes of varying architectural styles mostly built in the 1980's and 1990's. The property that is the subject of this request is 13,300 square feet, with 100 feet of street frontage along Prairie Avenue and is 133 feet in depth. The residence on the property was constructed in 1992 and is a two-story home with an attached front facing two car garage.

Summary of Request

This is a request for approval of a sunroom addition on the southeast corner of the home. A building scale variance is required to expand the home as proposed and as a result, this petition is presented to the Board for consideration. Modifications to the rear deck and hardscape associated with the sunroom addition are also proposed.

Staff Evaluation

An evaluation of the project based on the applicable standards and staff recommendations are offered below for the Board's considerations.

Site Plan – This standard is met.

The proposed sunroom addition is located on the east side (rear) of the home, fully behind the residence, and is not visible from the street. The sunroom addition is proposed to take the place of the south half of the existing deck on the rear of the home.

The north half of the deck will remain with some modifications. The existing stairs on the east side of the deck will be removed. The deck will be expanded approximately 1 foot and 2 inches to the east to align with the east wall of the proposed sunroom addition. A new railing will be installed along the entire length of the east side of the deck. A small stair is proposed on the north side of the deck. A hot tub is proposed on the north side of the deck and an 18 inch wide wood seat is proposed around the perimeter of the hot tub.

Building Massing and Height – A building scale variance is requested.

Based on the lot size, a residence of up to 3,162 square feet is permitted on the site with an allowance of 576 square feet for a garage and 316 square feet for design elements. Design elements are defined as those elements that provide human scale to a residence and help to mitigate the appearance of mass and include elements such as covered entries and screen porches.

As noted above, the existing house was constructed in 1992, and since that time, the building scale Code provisions were amended and as calculated based on today's Code, the house, in its current condition, exceeds the maximum allowable square footage by 348 square feet, equal to 11% percent of the allowable square footage.

On the south side of the home there is a grade change that exposes a portion of the basement walls. The exposed basement contributes 515 square feet to the overall square footage of the house. Exposed basement is included in the building scale calculation because the exposed walls add to the appearance of mass of a structure. Below is a summary of the existing and proposed building scale calculations.

- The residence totals 3,510 square feet and exceeds the allowable square footage by 348 square feet.
- The existing house has a total of 45 square feet of design elements.
- The garage totals 594 square feet. The garage overage of 18 square feet is included in the total square footage of the residence.
- The proposed sunroom adds 357 square feet to the first floor area of the home.
- In conclusion, the square footage of the residence, with the proposed sunroom addition, totals 3,867 square feet. The total square footage exceeds the allowable by 705 square feet, equal to 22% percent of the allowable square footage.

Review of Building Scale Variance Standards and Staff Recommendation

The City Code establishes standards that must be used in evaluating requests for a variance from the building scale provisions in the City Code. The Code requires that in order to grant a variance, *Standard 1 and at least one additional standard be met. The Code does not require that all five standards be met.* These standards recognize that each project is different as is the context of each site. A staff review of the standards is provided below.

Standard 1 – The project is consistent with the design standards of the City Code.

This standard is met. The design of the proposed sunroom is a simple single-story element that is subordinate to the existing home. The majority of the sunroom presents a light and open appearance that is not perceived as adding to the visual mass of the home.

Standard 2 – Mature trees and other vegetation on the property effectively mitigate the appearance of excessive height and mass of the structure and as a result, the proposed development is in keeping with the streetscape and overall neighborhood.

This standard is met. The height and mass of the sunroom addition is minimal in relation to the home. There is existing vegetation on the south side of the site and new plantings are proposed along the east property line to mitigate views of the sunroom from adjacent properties.

Standard 3 – New structures or additions are sited in a manner that minimizes the appearance of mass from the streetscape. In addition, the proposed structures or additions will not have a significant negative impact on the light to and views from neighboring homes.

This standard is met. The sunroom addition is located behind the residence and is not visible from the streetscape. Given its small size and the amount of open space between the addition and adjacent homes, it is not anticipated that the addition will have a negative impact on neighboring homes or properties.

Standard 4 – The height and mass of the residence, garage, and accessory structures will generally be compatible with the height and mass of structures on adjacent lots, buildings on the street and on adjacent streets, and other residences and garages in the same subdivision.

This standard is met. Structures on surrounding properties consist of single-story and multi-story homes. The sunroom addition is 20 feet wide and 17 feet and 6 inches long. The height of the sunroom is 16 feet and 6 inches. The footprint of the addition is smaller than surrounding structures and the height of the addition is lower than the height of surrounding homes.

Standard 5 – The property is located in a local historic district or is designated as a Local Landmark and the approval of a variance would further the purpose of the ordinance.

This standard is not met. The property is not located in a local historic district or designated as a Local Landmark.

Standard 6 – The property is adjacent to land used and zoned as permanent open space, a Conservation Easement, or a detention pond and the structures are sited in a manner that allows the open area to mitigate the appearance of mass of the buildings from the streetscape and from neighboring properties.

This standard is not met. The property is not located adjacent to land used as permanent open space.

In summary, the criteria for a building scale variance are satisfied as detailed in the findings presented above. The first standard and three additional standards are satisfied.

The maximum building height for this property is 30 feet. The highest point of the house, as measured from the lowest point of the existing grade, is approximately 30 feet. As noted above, the height of the proposed sunroom addition is 16 feet and 6 inches and is significantly lower than the maximum height allowed.

Elevations – This standard is met.

The sunroom addition is a simple rectangular mass with a shallow gable roof form. The north elevation of the sunroom has sliding doors to access the deck. The east (rear) elevation of the sunroom presents groupings of tall, vertically oriented windows and irregularly shaped windows at the top of the gable end. The south elevation of the addition presents groupings of windows at the center and east end of the wall. There is an area of solid wall on the south elevation that does appear to stand out given that the rest of the sunroom presents more balance and symmetry. Based on the proposed floorplan, it appears that this solid portion of the south elevation is in the area of a sauna. Consideration should be given to adding an opening on the west end of the south elevation to provide a consistent placement of openings around the exterior of the addition.

Type, color, and texture of materials – This standard is met.

The sunroom will have wood clapboard siding, aluminum clad wood windows openings and an asphalt shingle roof to match the existing home. Natural wood is proposed for the trim, soffits and fascia. Aluminum gutters and downspouts are proposed.

Landscaping – This standard is met.

Because the sunroom addition is proposed to take the place of a portion of the existing deck, no trees or vegetation will be impacted. The site plan shows the existing hedge of arborvitae along the south property line which is proposed to remain. A new hedge of arborvitae is proposed along the east property line to provide screening.

Public Comment

Public notice of this petition was provided in accordance with the City requirements and practices. Notice was mailed by the Community Development Department to surrounding property owners and the agenda for this meeting was posted at various public locations. As of the date of this writing, no correspondence was received regarding this request.

Recommendation

Recommend approval of the sunroom addition and a building scale variance based on the findings detailed in this report. Approval is recommended subject to the following conditions:

1. If any modifications are made to the plans that were presented to the Board, either in response to Board direction, or as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes. Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.
2. Prior to the issuance of a building permit, a plan to protect trees and vegetation identified for preservation during construction must be submitted and will be subject to review and approval by the City's Certified Arborist.
3. Details of exterior lighting shall be submitted with the plans submitted for permit. Cut sheets for all light fixtures shall be provided and all fixtures, *except those illuminated by natural gas at low light levels*, shall direct light down and the source of the light shall be fully shielded from view. All exterior lights shall be set on automatic timers to go off no later than 11 p.m. except for security motion detector lights.
4. A plan for construction parking and materials' staging shall be submitted for review and will be subject to approval by the City's Certified Arborist, City Engineer and Director of Community Development.

THE CITY OF LAKE FOREST BUILDING REVIEW BOARD -- BUILDING SCALE INFORMATION SHEET

Address 1021 Prairie Avenue Owner(s) Jill and Fred Bartuch
 Architect Frank Klepitsch Reviewed by: Jen Baehr
 Date 7/5/2023
 Lot Area 13300 sq. ft.

Square Footage of Existing Residence:

1st floor 1667 + 2nd floor 1310 + 3rd floor 0 = 2977 sq. ft.
 Design Element Allowance = 316 sq. ft.
 Total Existing Design Elements = 45 sq. ft. Excess = 0 sq. ft.
 Existing Garage 594 sf actual ; 576 sf allowance = 18 sq. ft.
 Garage Width 22 ft. *may not exceed 24' in width on lots 18,900 sf or less in size.*
 Basement Area = 515 sq. ft.
 Accessory buildings = 0 sq. ft.
Total Square Footage of Existing Residence: = 3510 sq. ft.

Square Footage of Proposed Additions:

1st floor 357 + 2nd floor 0 + 3rd floor 0 = 357 sq. ft.
 New Garage Area 0 sq. ft. Excess = 0 sq. ft.
 New Design Elements 0 sq. ft. Excess = 0 sq. ft.
TOTAL SQUARE FOOTAGE = 3867 sq. ft.
TOTAL SQUARE FOOTAGE ALLOWED = 3162 sq. ft.

DIFFERENTIAL = 705 sq. ft. **NET RESULT:**
Over Maximum

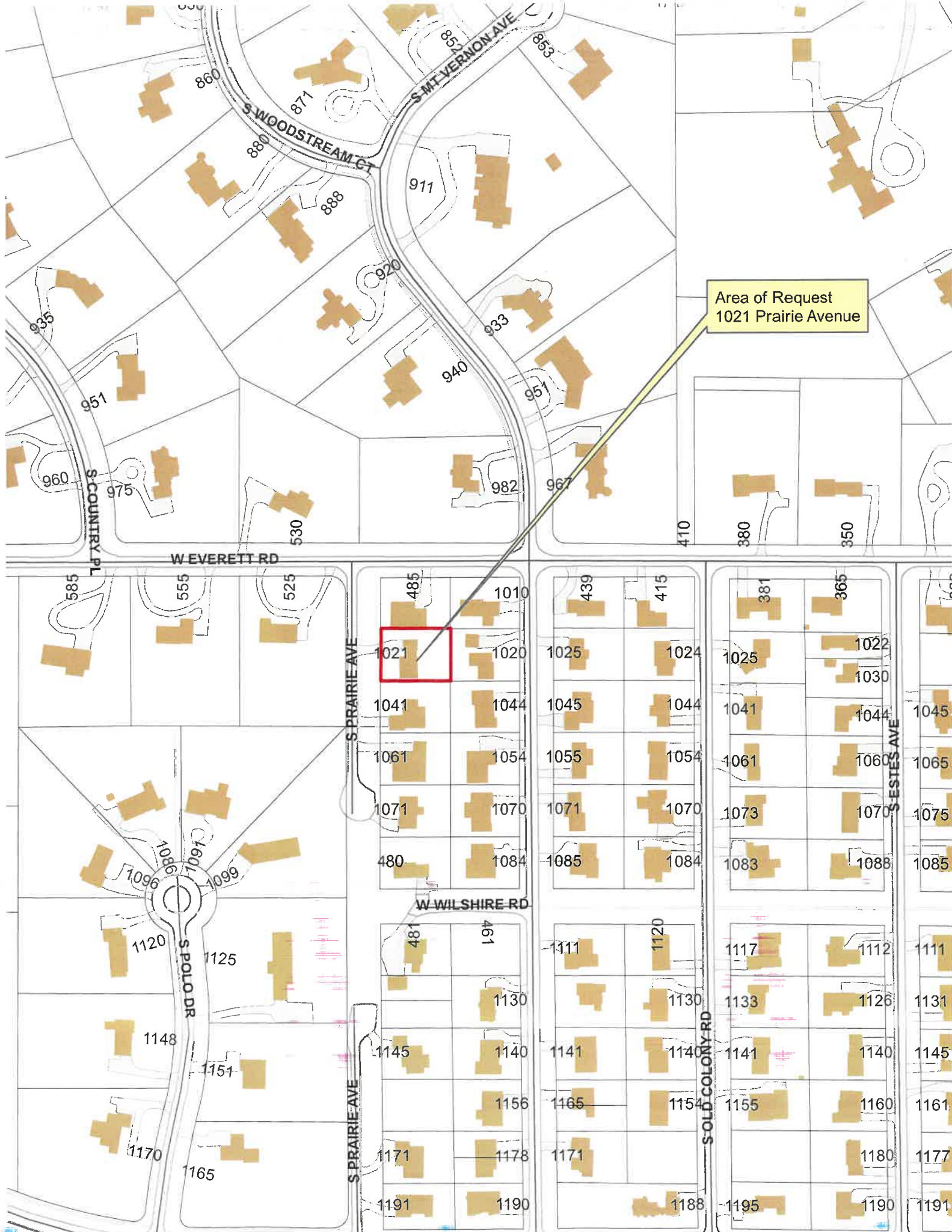
705 sq. ft. is

22% over the Max. allowed

Allowable Height: 30 ft. Actual Height 30 ft (existing house) 16' - 6" (proposed addition)

DESIGN ELEMENT EXEMPTIONS (Existing & Proposed)

Design Element Allowance:	<u>316</u>	sq. ft.	
Front & Side Porches =	<u>0</u>	sq. ft.	
Rear & Side Screen Porches =	<u>0</u>	sq. ft.	
Covered Entries =	<u>0</u>	sq. ft.	
Portico =	<u>45</u>	sq. ft.	
Porte-Cochere =	<u>0</u>	sq. ft.	
Breezeway =	<u>0</u>	sq. ft.	
Pergolas =	<u>0</u>	sq. ft.	
Individual Dormers =	<u>0</u>	sq. ft.	
Bay Windows =	<u>0</u>	sq. ft.	
Total Actual Design Elements =	<u>45</u>	sq. ft.	Excess Design Elements = <u>0</u> sq. ft.



Area of Request
1021 Prairie Avenue



485	1010	439	415	381	365	
1021	1020	1025	1024	1025	1022	
1041	1044	1045	1044	1041	1044	1045
1061	1054	1055	1054	1061	1060	1065
1071	1070	1071	1070	1073	1070	1075
480	1084	1085	1084	1083	1088	1085
481	491	1111	1120	1117	1112	1111
	1130		1130	1133	1126	1131
1145	1140	1141	1140	1141	1140	1145
	1156	1165	1154	1155	1160	1161
1171	1178	1171			1180	1177
1191	1190		1188	1195	1190	1191

Area of Request
1021 Prairie Avenue





**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

1020 PRAIRIE, LAKE FOREST, ILLINOIS

PROJECT ADDRESS _____

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

SUNRISE

PROPERTY OWNER INFORMATION

JILL AND FRED BARTUCH

Owner of Property

1020 PRAIRIE

Owner's Street Address (may be different from project address)

LAKE FOREST, ILLINOIS 60045

City, State and Zip Code

847.774.7439 (JILL) 630.417.5482 (FRED)

Phone Number

Fax Number

BARTUCHS@AOL.COM

Email Address

Jill Bartuch
Jill Bartuch

Owner's Signature

ARCHITECT/BUILDER INFORMATION

FRANK KLEPITSCH (ARCHITECT/BUILDER)

Name and Title of Person Presenting Project

GRACELINE ARCHITECTURE SC

Name of Firm

420 SUNRISE AVE

Street Address

LAKE BLUFF, ILLINOIS 60045

City, State and Zip Code

847.668.8802

Phone Number

Fax Number

FKLEPITSCH@SECGLOBAL.NET

Email Address

Frank Klepitsch
Frank Klepitsch

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report

OWNER

REPRESENTATIVE

Please fax a copy of the staff report

OWNER

REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department

OWNER

REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>Jill A. Bartuch Revocable Trust</u>	Name <u>Jill A. Bartuch and Fred J. Bartuch, Jr.</u>
Address _____	Address <u>1021 Prairie Ave, Lake Forest, Illinois</u>
Ownership Percentage _____ %	Ownership Percentage _____ %

Name <u>Jill A. Bartuch</u>	Name _____
Address <u>1021 Prairie Ave, Lake Forest, Ill</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

STATEMENT OF INTENT

NEW SUNROOM ADDITION

1021 PRARIE, LAKE FOREST ILLINOIS

This project is a proposed addition to the south east corner in the rear yard of the home at 1021 Prairie, Lake Forest Illinois. The addition is one story sunroom with a gable roof. The exterior finish is proposed as siding and trim (painted) to match the existing house.

The dimensions of the addition are as follows:

Plan -17'-6" (east -west) x 20'-0" (north-south)

Height 13'-0" from the first floor

The room is to primarily be used as a sun room. As such, the exterior walls are designed primarily as glass and windows. It is designed to meet the needs of a multi-generational family. As with many families during covid the adult sons returned home. They continue to work from home and have taken over the family room and basement for work and watching sports on television. The proposed sunroom will be a place for peace and quiet for the parents.

As shown in the plans the foot print of the sunroom is to take the place of approximately half the south area of the existing deck located in the rear of the property. Although enclosed, the mass of the addition will read as an open porch as the new walls are designed primarily with glass. The proposed architecture is similar to the addition Graceline Architecture completed for the neighbor to the north in 2018 (See Photo 1).

The north half of the deck will remain with several alterations. A hot tub is proposed to be built on the north side of the deck with an 18" wide wood seat surrounding the tub. The existing steps to the yard will be removed and a new railing installed (Photo 9) on the east side of the deck. The east side of the deck will be built out approximately 1'-2" of the addition accommodate the width of a much smaller stair leading to the north. The east side of the deck will line up with the east wall of the proposed new addition

STANDARD OF APPROVAL OF BUILDING SCALE VARIANCE

NEW SUNROOM ADDITION

1021 PRARIE, LAKE FOREST ILLINOIS

Bulk Summary

This project is a proposed addition on the south east corner (rear yard) of the existing home at 1021 Prairie, Lake Forest Illinois. The addition is one story sunroom with a gable roof. The square footage of the proposed addition is 357 square feet.

The dimensions of the addition are as follows:

Plan -17'-6" (east -west) x 20'-0" (north-south)

Height 13'-0" from the first floor

The allowable area for this home is 3176 square feet. The area of the above grade square footage of the existing home is 3125 square feet (includes excess garage exemption (29 sq. ft) and attic area over garage and mudroom (28 sq. ft.)). The existing house was built in 1991 (See Elevation Photos #5-#8), before the existing building scale code. It was built with a small portion of the basement on the south elevation of the house with a first-floor line that extends 4"-0" above the adjacent ground area (6" over the allowable 3'-6" in the existing bulk ordinance). The existing bulk ordinance therefore requires that 515 square feet of the basement space be calculated into the overall area of the house. Thus, the total square footage of the house is calculated at 3640 square feet or 464 square feet over the existing code.

The exposed basement area is not noticeable from the street and is extensively screened with landscape shrubs and bushes (See Photo 6, South Elevation). The front of the existing house reads as a 2-story house with the first floor approximately 1'-8" above grade. The basement square footage was built before the existing bulk ordinance. Due to the overall design of the house, the small portion of exposed basement has very little impact on the front elevation of the house. In fact, the front mass of the house is in keeping with the streetscape and overall neighborhood (See Photo 5, West Elevation).

Design Standard 1- Consistent with Standards

The proposed new room is to primarily be used as a sun room and quite space. As such, the exterior walls are designed primarily as glass and windows. Because the proposed addition is located in the rear yard, it's mass will have virtually no impact on the street scape.

Although enclosed, the mass of the glass addition will read as an open porch to make a minimum impact on the neighbors. The design will read more like a design element than an enclosed addition. The proposed architecture and scale are similar the screen porch addition Graceline Architecture completed for the neighbor to the north in 2018 (See Photo 1).

The exterior finish is proposed as painted siding and trim to match the existing house.

As shown in the plans the foot print of the sunroom is to take the place of an already existing deck structure located in the rear of the property (See Photo 7, East Elevation). The scale of the new sunroom is designed to fit the architecture and scale of the existing house and neighborhood homes. It is designed as a one-story structure with gable roof to match the existing 2 story home. It is not designed to make a statement but to blend in with the surrounding neighborhood and site.

The north half of the deck will remain with several alterations. The bulk of the deck will be reduced from the east view by the removal of the existing steps. The east side of the deck will be built out approximately 1'-2" to accommodate the width of a much smaller stair leading to the north. The east side of the deck will line up with the east wall of the proposed new addition with a new railing that has a more open appearance (Photo 9, Railing). A hot tub is proposed to be built on the north side of the deck with an 18" wide wood seat surrounding the tub. The elevation at the north side of the deck is only 21" above grade which will minimize the appearance of the hot tub and new stairs

Design Standard 2 Mature Trees and Other Vegetation

The new addition will be screened by existing mature arborvitae approximately 20' tall on the south property line (See Photo 2, South Property Line) and a 10' tall hedge on the north property line (See Photo 3, North property Line). The proposed landscape on the east property line will be enhanced with a hedge of new arborvitae (See Photo 4, East Property Line). They will be planted initially 8' tall. It is anticipated that they will grow between 1' to 2' each year resulting in a landscape screen that will prevent view of the addition by the east neighbor.

Design Standard 3 – Siting of the New Sun Room

As stated above, because the proposed addition is located in the rear yard, it's mass will have virtually no impact from the street scape. The proposed addition will not have a significant impact to the neighbors to views due to the existing and proposed landscape enhancement on the property lines. The distance of the proposed new sunroom is also far enough away from the surrounding homes to make any impact on light.

Design Standard 4 – Height and Mass of the Sun Room

As mentioned in Design Standard 1 above, the scale of the new sunroom is designed to fit the architecture and scale of the existing house and neighborhood homes. It is designed as a one-story structure with gable roof to match the existing 2 story home. The width of the new room on the gable end is much smaller than the house and surrounding homes. Thus, making it a small-scale mass fitting into the surrounding neighborhood of homes. It is not designed to make a statement but to blend in with the surrounding neighborhood and site.

In addition, the mass of the glass addition will read as an open porch to make a minimum impact on the neighbors. The design will read more like a design element than an enclosed addition.

In summary, this space is not designed to make a statement but to blend in with the surrounding neighborhood and site. It has been carefully designed to be a "good neighbor"!



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material _____

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other _____

Color of Finish _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other _____

Fascias, Soffits, Rakeboards

- Wood
- Other _____
- Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other _____

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material TO MATCH EXISTING HOUSE

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

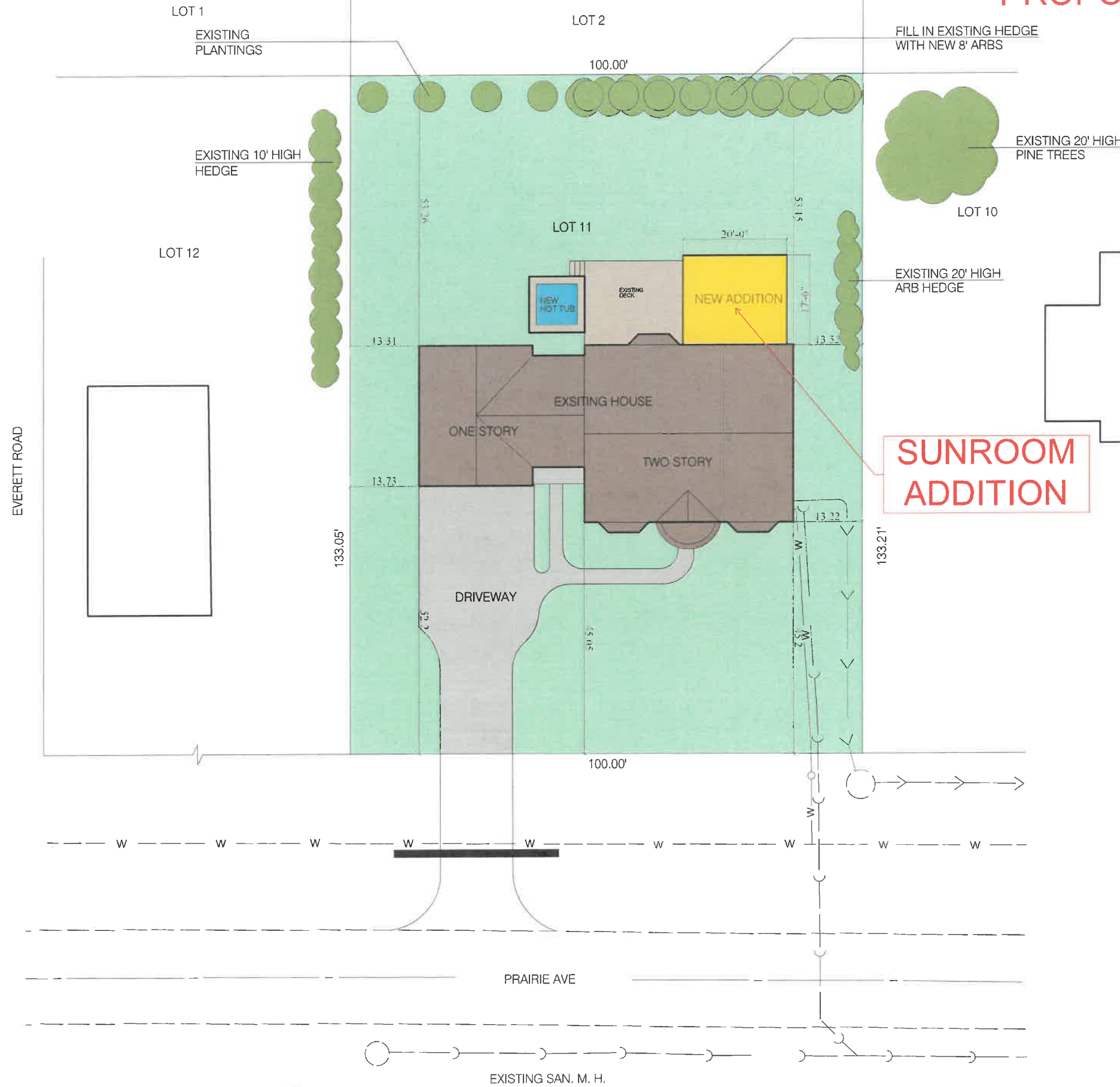
Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

PROPOSED SITE PLAN



SITE PLAN
SCALE: 1"=10'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.688.8802 EMAIL FKLEPITSCH@SBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRAIRIE
LAKE FOREST ILLINOIS

STAMP:

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST ILLINOIS

No.	REVISION / ISSUE	DATE:

DATE: 05/10/2023 SCALE: VARIES
DRAWING: APPROV:

TITLE
SITE PLAN

SHEET NUMBER
SK1

PROPOSED WEST AND EAST ELEVATIONS



WEST ELEVATION
SCALE: 1/4"=1'-0"

SUNROOM ADDITION NOT VISIBLE FROM WEST (FRONT) ELEVATION



EAST ELEVATION
SCALE: 1/4"=1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.688.8802 EMAIL FKLEPITSCH@SBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

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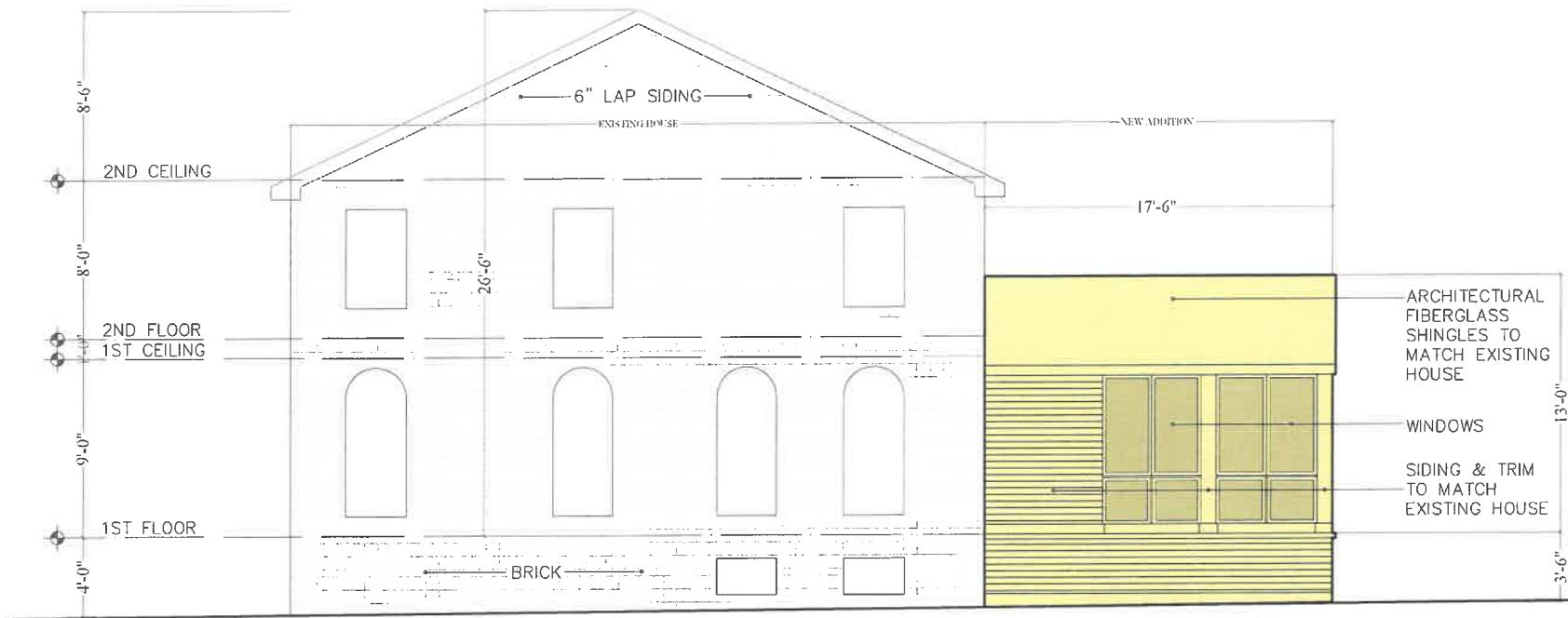
DATE: 05/10/2023 SCALE: 1/4" = 1'-0"
DRAWING: APPROV: _____

ALL INFORMATION CONTAINED HEREIN IS PROPERTY OF FRANK J. KLEPITSCH ARCHITECTURE SC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF FRANK J. KLEPITSCH ARCHITECTURE SC.

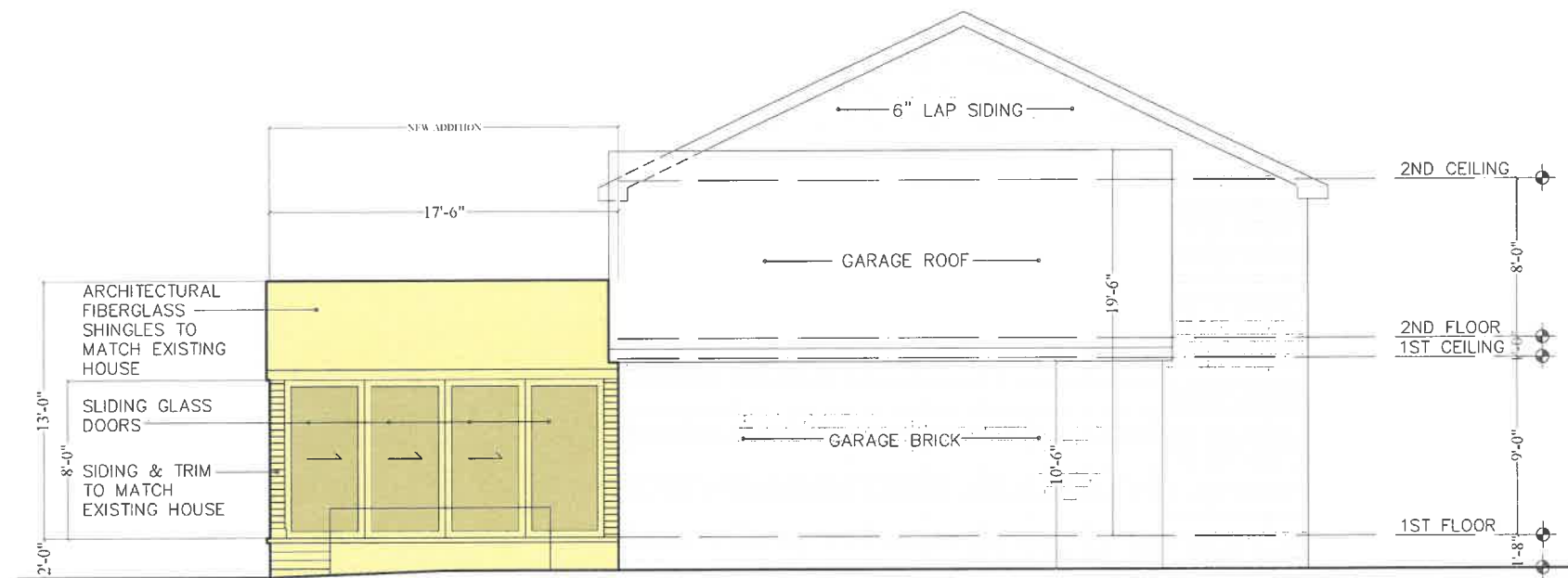
TITLE
ELEVATIONS

SHEET NUMBER
SK4

PROPOSED SOUTH AND NORTH ELEVATIONS



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.688.8802 EMAIL FKLEPITSCH@SBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

STAMP:

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST ILLINOIS

No.	REVISION / ISSUE	DATE

DATE: 05/10/2023 SCALE: 1/4" = 1'-0"
DRAWING: APPROV:

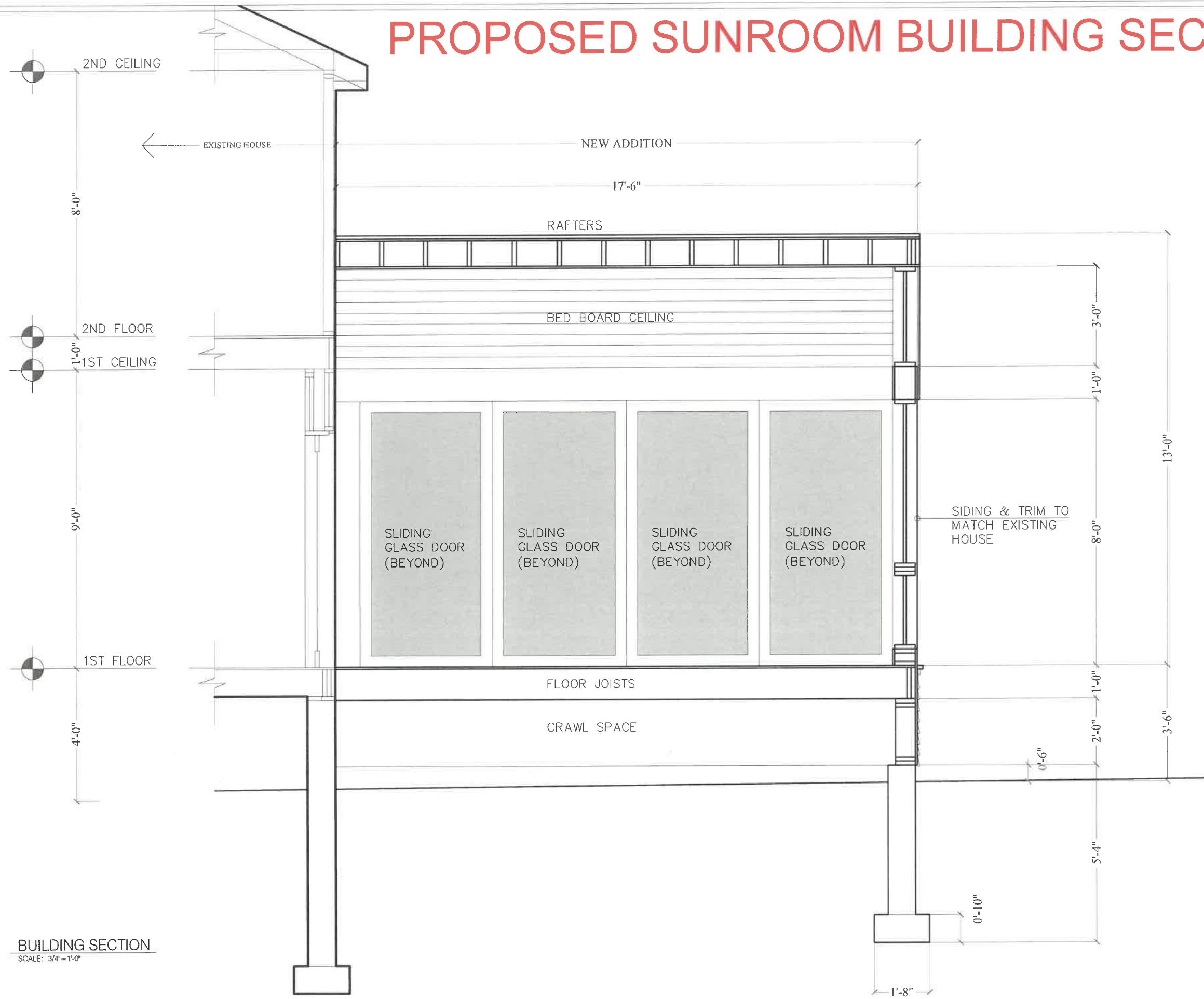
ALL INFORMATION CONTAINED HEREIN IS PROPERTY OF GRACELINE ARCHITECTURE SC. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF GRACELINE ARCHITECTURE SC.

TITLE
ELEVATIONS

SHEET NUMBER

SK3

PROPOSED SUNROOM BUILDING SECTION



BUILDING SECTION
SCALE: 3/4" = 1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN+BUILD INTERIOR DESIGN
PHONE 847.668.8602 EMAIL FKLEPITSCH@SBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

STAMP:

THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION & TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODES OF LAKE FOREST ILLINOIS

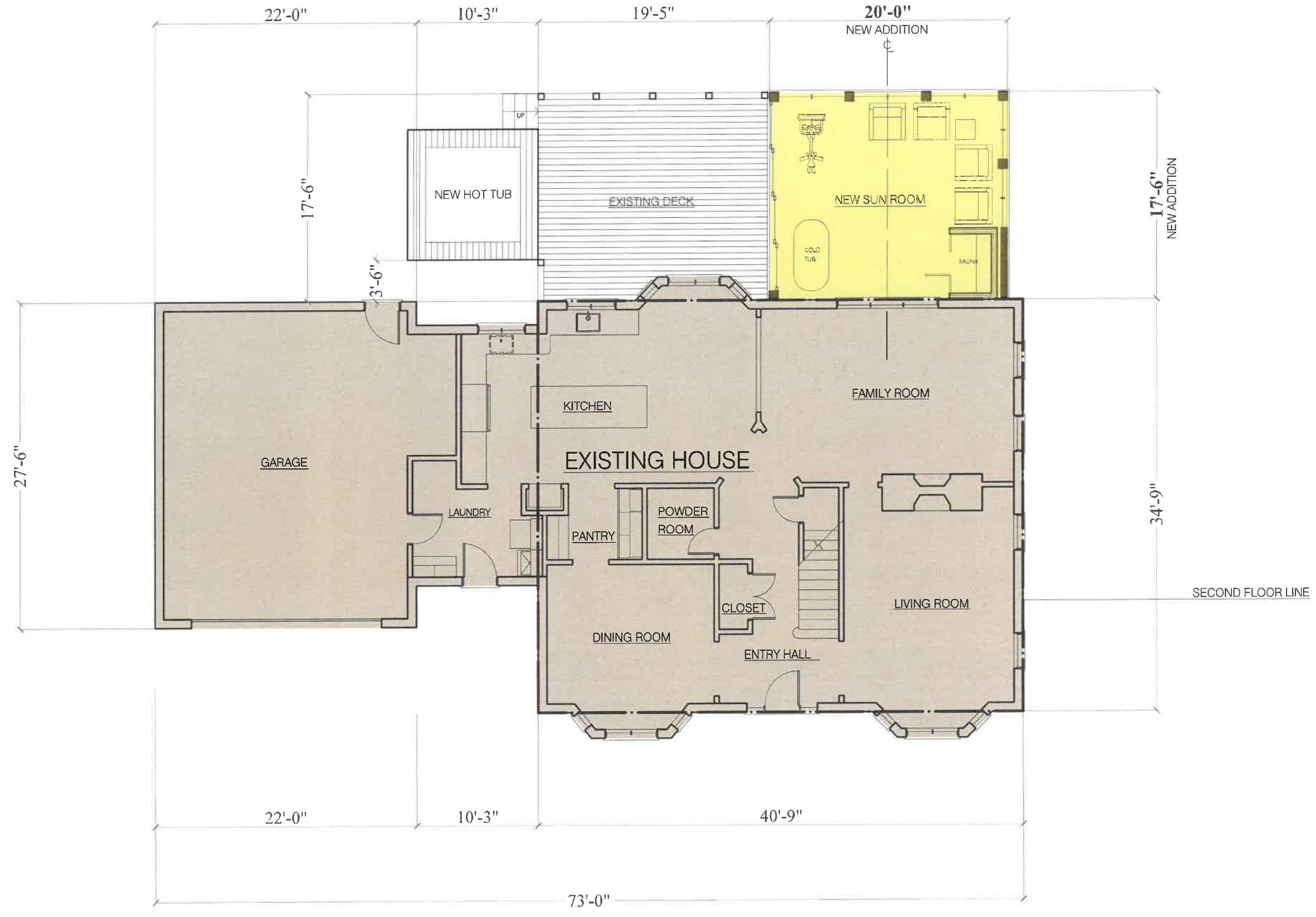
No.	REVISION / ISSUE	DATE:

DATE: 05/10/2023 SCALE: 3/4" = 1'-0"
DRAWING: APPROV:

TITLE
EAST - WEST SECTION

SHEET NUMBER
SK5

PROPOSED FIRST FLOOR PLAN



FLOOR PLAN
SCALE: 1/4" = 1'-0"

GRACELINE ARCHITECTURE SC
FRANK J. KLEPITSCH, A.I.A.
ARCHITECTURE DESIGN-BUILD INTERIOR DESIGN
PHONE 847.688.8802 EMAIL FKLEPITSCH@SRBCGLOBAL.NET

BARTUCH RESIDENCE
1021 PRARIE
LAKE FOREST ILLINOIS

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No.	REVISION / ISSUE	DATE:

DATE: 05/10/2023 SCALE: 1/4" = 1'-0"
DRAWING: APPROV:

TITLE
FLOOR PLAN

SHEET NUMER
SK2



PHOTOGRAPH 1 - NORTH NEIGHBOR'S PORCH



PHOTOGRAPH 2 - SOUTH PROPERTY LINE



PHOTOGRAPH 3 - NORTH PROPERTY LINE



PHOTOGRAPH 4 - EAST PROPERTY LINE



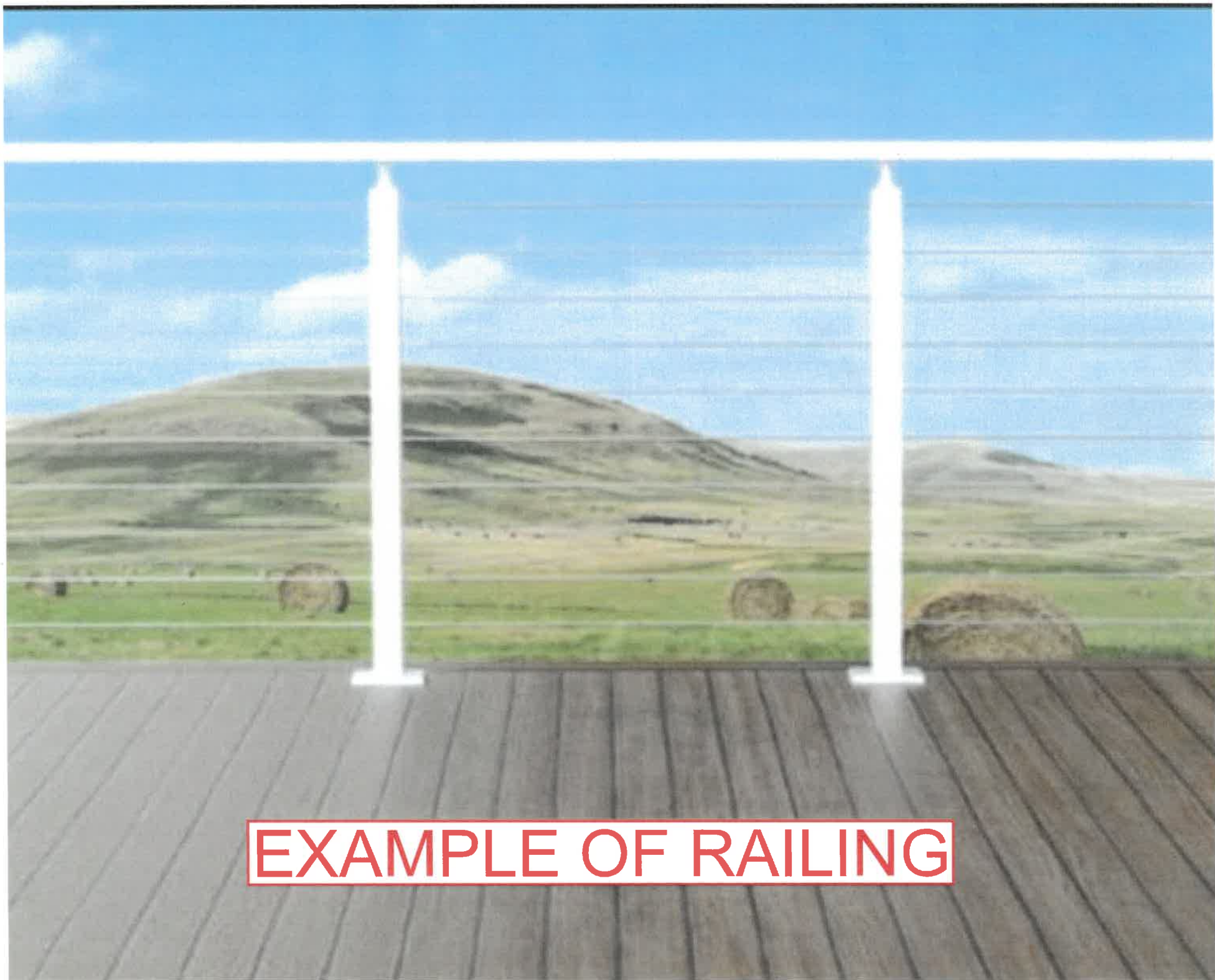
PHOTOGRAPH 5 - WEST ELEVATION OF EXISTING RESIDENCE



PHOTOGRAPH 6 - SOUTHWEST CORNER OF EXISTING RESIDENCE



PHOTOGRAPH 7 - EAST ELEVATION OF EXISTING RESIDENCE



EXAMPLE OF RAILING

Agenda Item 4
Amberley Courtyard Homes - Revisions to Previously Approved Plans

Staff Report
Vicinity Map
Air Photo

1845 Amberley Court - Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Elevations
Previously Approved Floor Plans
Currently Proposed Site Plan
Currently Proposed North and South Elevations
Currently Proposed East and West Elevations
Currently Proposed Roof Plan
Currently Proposed Floor Plans

1935 Amberley Court - Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Elevations
Previously Approved Floor Plan
Currently Proposed Site Plan
Currently Proposed North Elevation
Currently Proposed West Elevation
Currently Proposed South Elevation
Currently Proposed East Elevation
Currently Proposed Roof Plan
Currently Proposed Floor Plan

2015 Amberley Court - Materials Submitted by Petitioner

Application
Statement of Intent
Description of Exterior Materials
Previously Approved Elevations
Previously Approved Floor Plans
Currently Proposed Site Plan
Currently Proposed East and West Elevations
Currently Proposed North and South Elevations
Currently Proposed Roof Plan
Currently Proposed Floor Plans

Materials shown in italics are included in the Board packet only. A complete copy of the packet is available from the Community Development Department.

Amberley Woods Courtyard Homes - Revisions to Previously Approved Plans

Consideration of a request for modifications to previously approved plans for three of the Amberley Woods Courtyard homes addressed as 1845, 1935 and 2015 Amberley Court.

Property Owner: McNaughton Development (Paul R. McNaughton 100%)

Project Representative: John Barry, McNaughton Development

Staff Contact: Jennifer Baehr, Planner

Background Information

The Amberley Woods mixed use development received final approvals from the City Council on April 20, 2006. The 24 Courtyard Homes are part of the larger development located on a 39 acre wooded site near the western gateway to the City, just east of the office buildings on Saunders Road and west of Conway Farms Drive. The development, as originally approved, includes a mix of uses, single family residential, multi-family residential and commercial uses.

Today, one of two multi-family buildings is completed and occupied. A second multi-family building is nearing completion. Five of the 24 single family homes were constructed by previous developers and have been occupied for several years. The current developer, McNaughton Development, has completed and received Certificates of Occupancy for two homes as of the date of this writing. Eight additional homes are in various stages of construction by McNaughton, and nine vacant courtyard home lots remain. All of the lots under construction as well as the vacant lots are owned by McNaughton Development. The modifications now requested are for three homes proposed on some of the remaining vacant parcels.

McNaughton Development received approval from the Board in June 2021 for four single family home model types, the "Bostonian", "Brunswick", "Carlisle" and "Fenwick". The model types are offered in three different architectural styles, French Country, Shingle and Tudor. Since that time, the developer has returned to the Board several times requesting modifications to the approved plans, some of the modifications have been relatively minor such as shifting of a window opening, others have been more significant including modifications to the building's footprint or changes to the roof forms. It is unusual for a developer to repeatedly request modifications to previously approved plans however, in this case the developer has stated that the modifications are ongoing in an effort to meet customer demand.

Summary of Request

As noted above, this is a request for approval of modifications to three of the designs for the Amberley Woods Courtyard Homes previously approved by the Board. As the Board knows, a standard condition of approval requires that *any and all* changes from the plans approved by the Board and City Council be highlighted on the plans submitted for permit. This condition has routinely not been adhered to with plans submitted by McNaughton Development for the Courtyard Homes causing delays in the plan review and permitting turnaround time. Because of past experience with this particular development, staff undertakes an extended review of the plans since changes have repeatedly been made between the approved plans and the plans submitted for permit. Staff continues to encourage the developer to communicate with staff about changes being considered to streamline the review process and allow for early feedback on whether proposed changes will require further review by the Building Review Board.

If one or two minor changes are proposed to the revised plans that do not significantly alter the massing, rooflines, style, detailing, the overall intent of the Board's approval, and importantly, are generally consistent with the original Courtyard Homes as approved and constructed, staff has the ability to consult with the Chairman as appropriate and administratively approve minor changes. These types of changes might include a slight shifting of a window due to the interior floor plan as long as the overall pattern on the exterior walls of solids and voids is not interrupted, or a slight change to the design of a railing in cases where a product may no longer be available. If multiple changes or significant changes such as changes in massing, footprint, rooflines or materials are proposed, the revised plans are presented to the Board for consideration and notice is provided to neighboring property owners.

The current revisions are proposed to the Carlisle French Country (1845 Amberley Court), the Fenwick French Country (1935 Amberley Court), and the Carlisle Tudor (2015 Amberley Court) model types. The proposed modifications include changes to the massing, rooflines, building footprint, window placement and proportions, and architectural details.

The petitioner's statements of intent for each of the homes lists *some* of the proposed changes, however, based on staff's review of the plans, there appears to be several additional changes proposed that are not called out in the petitioner's statements. Only the changes detailed in this staff report are under consideration. All other aspects of the design must be consistent with the previously approved plans. Again, as required by the conditions of approval, **any and all changes must be called out by the petitioner on plans submitted for permit to allow for proper evaluation in the context of the approvals and to determine the proper process for consideration of the proposed changes.**

A summary of the proposed changes identified by staff is provided below. In addition, a staff recommendation is provided for each of the proposed changes. The plans previously approved by the Board for each design are included in the Board's packet for comparison purposes.

It is important to note that the approving Ordinance for the overall development speaks specifically to the Courtyard Homes establishes the following:

- The Courtyard Homes shall not exceed 32 feet in height.
- The Courtyard Homes shall not be subject to the building scale provisions in the City Code. Instead, square footage is limited by height and the limited building area as defined on the plat of subdivision.
- The Courtyard Homes shall be generally in conformance with the conceptual plans presented as part of the initial development. The conceptual plans reflected narrow homes, each with two car garages.

Carlisle French Country - 1845 Amberley Court

NOTE: The floorplan layout of the currently proposed Carlisle French Country design is reversed in comparison to the originally approved and as a result, the elevations are also reversed.

North (Front) Elevation

- No changes proposed to the originally approved front elevation.

West (Right) Elevation

- The second floor was expanded to include an additional bedroom. The approved Carlisle floorplan had two bedrooms on the second floor. The currently proposed Carlisle floorplan has three bedrooms on the second floor. To accommodate the additional bedroom, the second floor space was expanded and the roof form was extended.
 - **Staff recommends approval of this change** given the limited visibility of the increased mass from the streetscape.
- A dormer with a double window was added to the expanded second floor area.
 - **Staff recommends approval of this change with modifications.** The other dormer on this elevation is a smaller dormer with a single window. To present more balance and symmetry on the elevation, staff recommends that the dormers on this elevation match in size.

South (Rear) Elevation

- A single-story sunroom was added to the east side of the rear elevation.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home and the limited visibility of the sunroom from the streetscape.
- The chimney was moved from the rear exterior wall to the interior of the home.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home and limited visibility of the chimney from the streetscape.
- A single French door and two tall windows were added to the family room.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home.

East (Left) Elevation

- The family room increased in size by expanding into the area originally approved as an open porch at the south end of the elevation. (This area was not identified by the developer as a change to the plans, staff has annotated the elevation to show this area).
 - **Staff recommends approval of this change.** The expansion of the family room is consistent with the overall design of the rest of the home.
- A triple casement window was added to the expanded family room.
 - **Staff recommends approval of this change** since the triple casement window is consistent with other openings on the home.

Fenwick French Country - 1935 Amberley Court

NOTE: The floorplan layout of the currently proposed Fenwick French Country design is reversed in comparison to the originally approved and as a result, the elevations are also reversed.

Overall Changes

- The proposed eave returns across all the elevations incorporate a sloped roof detail. The eave returns originally approved for this model type reflect more classical detailing.

- Although the approved eave detail enhances the appearance and elevates the design of the home, **staff recommends approval of this change** due to its minor impact on the overall appearance of the home.

North (Front) Elevation

- A third garage bay was added to the front elevation.
 - **Staff does not recommend approval of this change.** The proposed three car, front facing garage is not consistent with the original approvals granted for this development or any of the modified plans approved to date.

The entire length of the front elevation is 58 feet. The length of the front facing garage as proposed with three garage bays, totals 35 feet and extends across approximately 60 percent of the total front elevation. The proposed three car garage dominates the front elevation and is not compatible with the other homes in the development. The narrow lots and limited building areas never contemplated three car garages. The proximity of the homes to the streetscape provides no opportunity to screen or minimize the visible and streetscape impact of a third garage bay.

West (Right) Elevation

- The massing of the west elevation is proposed to change as a result of the proposed third garage bay.
 - As noted above, **staff does not recommend approval of the third garage bay.**

South (Rear) Elevation

- No changes proposed to the approved rear elevation.

East (Left) Elevation

- A single window at the south end of elevation was added in the primary bedroom.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home.
- The approved elevation shows two sets of double windows on the projecting bay element. As currently proposed, two single windows are proposed on the projecting bay element.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home.

Carlisle Tudor – 2015 Amberley Court

East (Front) Elevation

- No changes proposed to the approved front elevation.

North (Right) Elevation

- The family room increased in size by expanding into an open porch as reflected on the approved plans at the west end of the elevation. (This area was not identified by the developer as a change to the plans, staff has annotated the elevation to show this area).

- **Staff recommends approval of this change.** The expansion of the family room is consistent with the overall design of the rest of the home.
- A triple casement window was added to the expanded family room.
 - **Staff recommends approval of this change** since the triple casement window is consistent with other openings on the home.

West (Rear) Elevation

- A single-story sunroom was added to the north side of the rear elevation.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home and the limited visibility of the sunroom from the streetscape.
- The chimney was moved from the rear exterior wall to the interior of the home.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home and limited visibility of the chimney from the streetscape.
- A double French door was added to the family room.
 - **Staff recommends approval of this change** due to its minor impact on the overall design of the home.

South (Left) Elevation

- The second floor was expanded to include an additional bedroom. The approved Carlisle floorplan had two bedrooms on the second floor. The currently proposed Carlisle floorplan has three bedrooms on the second floor. To accommodate the additional bedroom, the second floor space was expanded and the roof form was extended.
 - **Staff recommends approval of this change** given the limited visibility of the increased mass from the streetscape.
- A double window was added to the expanded second floor area.
 - **Staff recommends approval of this change** since the double window is consistent with other openings on the home.

RECOMMENDATION

Recommend approval of the majority of the modifications proposed to the previously approved designs for the homes at 1845, 1935 and 2015 Amberley Court. The recommendation is based on the findings presented in this staff report. Staff recommends approval subject to the detailed outline above and subject to the following conditions of approval.

1. The plans shall be refined as follows:

1845 Amberley Court:

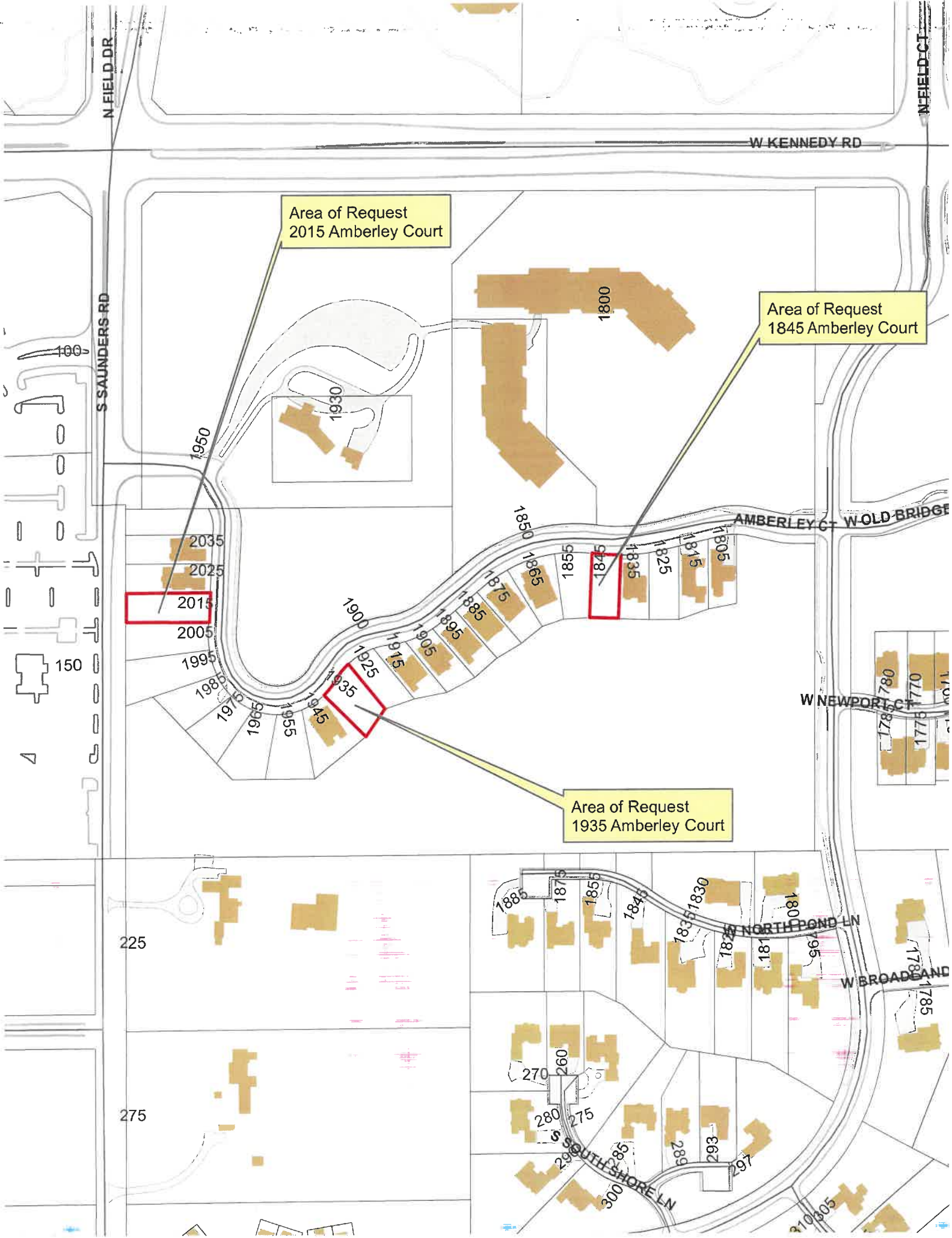
- The dormers on the west elevation shall be revised to match in size and appearance to present more balance and symmetry on the elevation.

1935 Amberley Court:

- The third garage bay is not approved and shall be removed.
2. The plans submitted for a building permit shall be modified to respond to the items listed above. **If additional modifications are made to the plans as the result of final design development, the modifications shall be clearly called out on the plan and a copy of the plan originally provided to the Board shall be attached for comparison purposes.** Staff is directed to review any changes, in consultation with the Chairman as appropriate, to determine whether the modifications are in conformance with the Board's direction and approval prior to the issuance of any permits.

All conditions of the original approval shall apply including, but not limited to:

3. The developer shall maintain a matrix of homes and their locations throughout the buildout of the development to assure appropriate diversity of models and architectural styles and submit said matrix updated, with each building permit submittal.
4. An updated tree survey will be required for each lot at the time plans are submitted for permit to determine which trees are worthy of preservation and require protection during construction. Healthy, heritage trees should also be considered in laying out the site plan recognizing that some trees will need to be removed to allow development of the lots.
5. Landscape plans for each residence shall be submitted prior to the issuance of a building permit for each building.
6. Construction parking and staging plans shall be submitted to the City along with the application for building permit for each home. Amberley Court must remain passable and free of dirt and debris at all times.



Area of Request
2015 Amberley Court

Area of Request
1845 Amberley Court

Area of Request
1935 Amberley Court

N FIELD DR

N FIELD CT

W KENNEDY RD

S SAUNDERS RD

AMBERLEY CT W OLD BRIDGE

W NEWPORT CT

NORTH POND LN

W BROADBAND

SOUTH SHORE LN

2015

1845

1935

225

275

1800

1830

1865

1855

1875

1885

1895

1900

1915

1905

1925

1885

1875

1855

1845

1835

1830

1825

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1815

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Area of Request
2015 Amberley Court

Area of Request
1845 Amberley Court

Area of Request
1935 Amberley Court

1845 AMBERLEY COURT – CARLISLE FRENCH COUNTRY



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1845 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

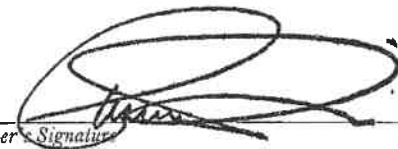
McNAUGHTON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number / Fax Number

JOHN.B@MCNAUGHTONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address / Phone Number / Fax Number


Owner's Signature

ARCHITECT/BUILDER INFORMATION

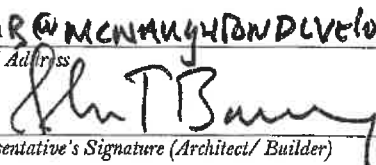
JOHN BARRY
Name and Title of Person Presenting Project

McNAUGHTON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

JOHN.B@MCNAUGHTONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address / Phone Number / Fax Number


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

Please email a copy of the staff report OWNER REPRESENTATIVE

Please fax a copy of the staff report OWNER REPRESENTATIVE

I will pick up a copy of the staff report at the Community Development Department OWNER REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL MCNAUGHTON</u>	Name _____
Address <u>115220 JACKSON ST. BARR RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
1845 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Fergon Architects, LLC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 1845 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started and or completed construction on ten of the nineteen home sites that were available in 2021. In the case of the home at 1845 Amberley, a client has requested the addition of a couple rooms which has resulted in a deviation from the June 2021 elevations for the Carlisle French County two-story style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The client for the proposed home has requested the following modifications from the approved plans...

- Addition of a sunroom
- Relocation of the fireplace
- Additional bedroom on the second floor

Request Summary

We feel that these minor modifications to the June 2021 plans have been proposed in such a way to preserve the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes are undetachable from the street view. In fact, the changes to the side will be blocked by the proximity of the existing home and the wooded nature of the rear yards and common open space area.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- | | |
|--|---|
| <input checked="" type="checkbox"/> Stone | <input type="checkbox"/> Wood Shingle |
| <input type="checkbox"/> Brick | <input type="checkbox"/> Aluminum Siding |
| <input type="checkbox"/> Wood Clapboard Siding | <input type="checkbox"/> Vinyl Siding |
| <input checked="" type="checkbox"/> Stucco | <input type="checkbox"/> Synthetic Stucco |
| | <input type="checkbox"/> Other _____ |
- Color of Material _____

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
 - Aluminum Clad
 - Vinyl Clad
 - Other FIBERGLASS
- Color of Finish _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other STUCCO

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other STUCCO

Fascias, Soffits, Rakeboards

- Wood
- Other HARDI BOARD PREFINISHED
- Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ARCHITECTURAL DIMENSIONAL ASPHALT

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

ORIGINALLY APPROVED CARLISLE FRENCH COUNTRY ELEVATIONS



FRONT ELEVATION

TOP/ RIDGE
29'-9" ABOVE FINISHED FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.552.0445 phone

AMBERLEY COURT - LAKE FOREST CARLISLE - FRENCH COUNTRY

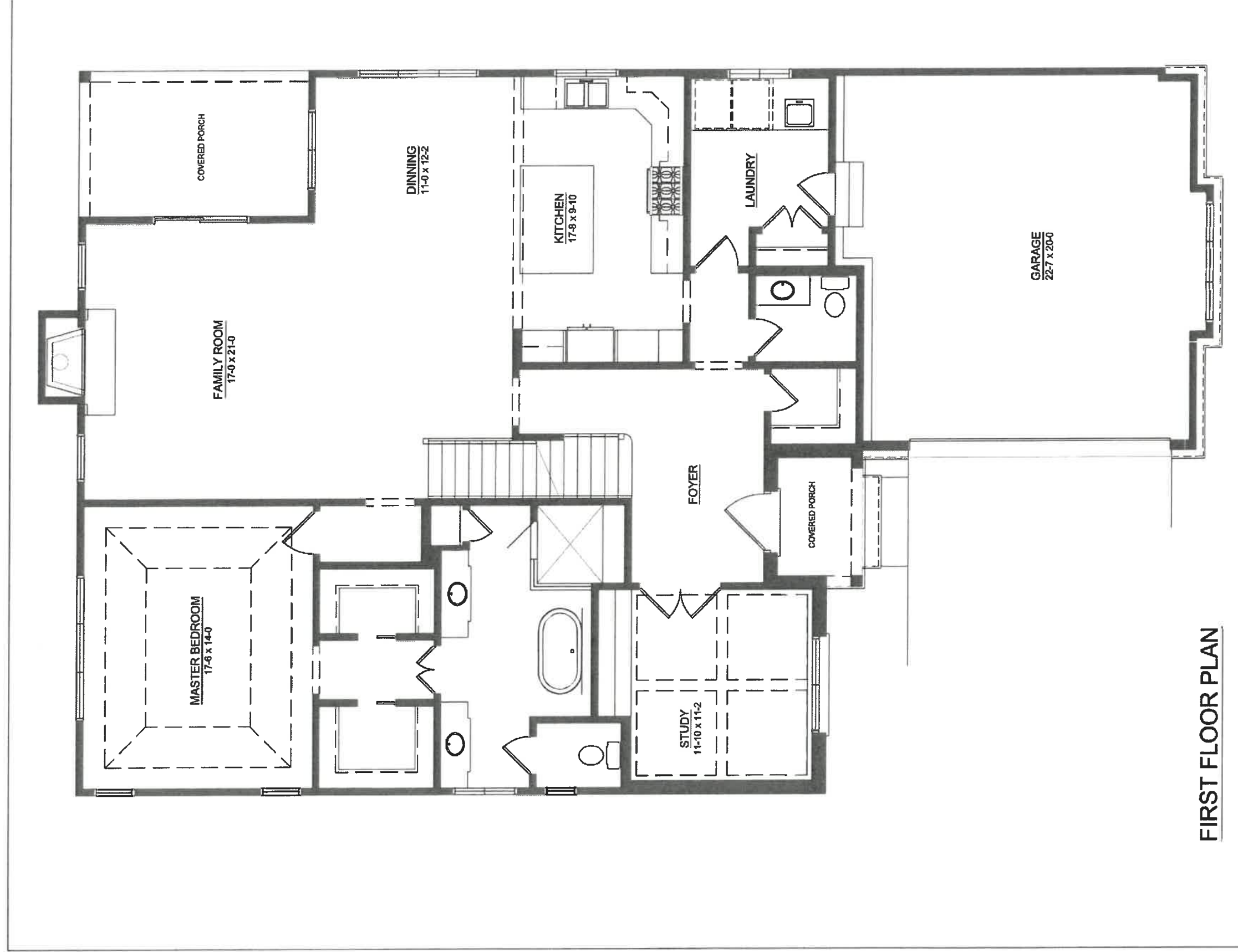
McNAUGHTON
DEVELOPMENT

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

JOB NO.
01820

MAY 18, 2020

ORIGINALLY APPROVED CARLISLE MODEL FIRST FLOOR PLAN



FIRST FLOOR PLAN

FERGON
ARCHITECTS LLC

434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

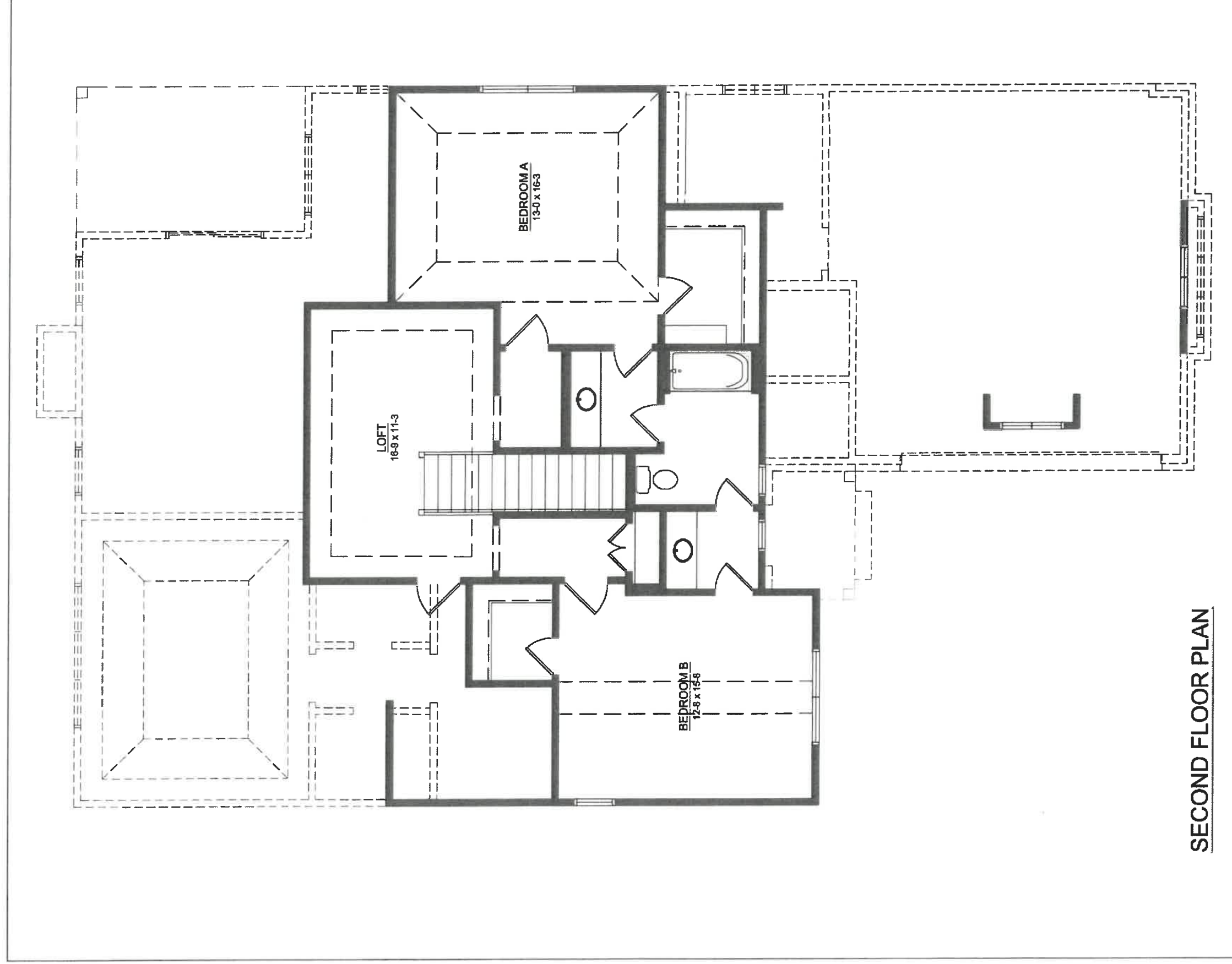
**MCGNAUGHTON
DEVELOPMENT**

115220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

CARLISLE

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ORIGINALLY APPROVED CARLISLE MODEL SECOND FLOOR PLAN



SECOND FLOOR PLAN

**McNAUGHTON
DEVELOPMENT**

11S220 JACKSON STREET
BURR RIDGE, IL 60527
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FAX: 630.325.3402

CARLISLE

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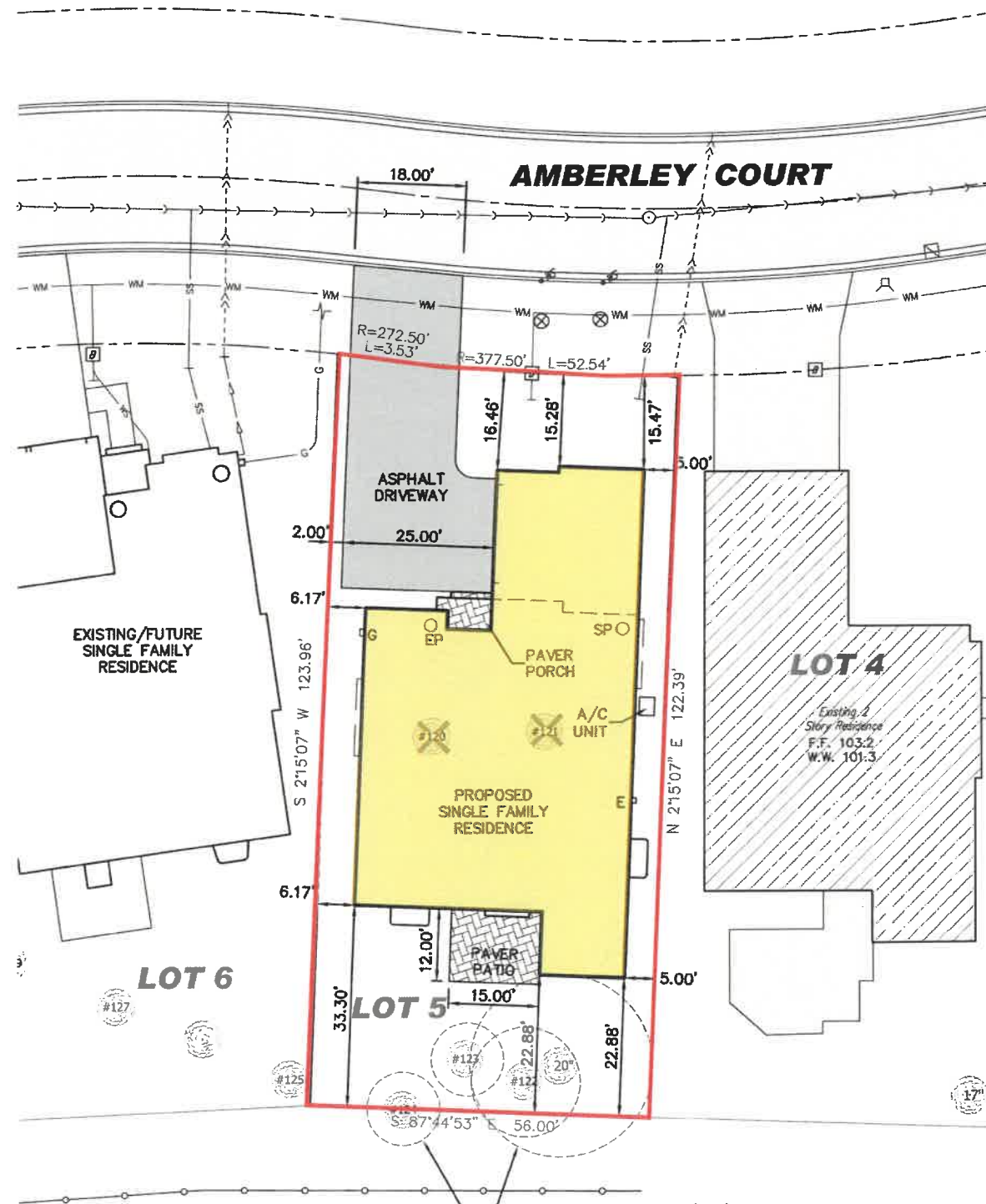
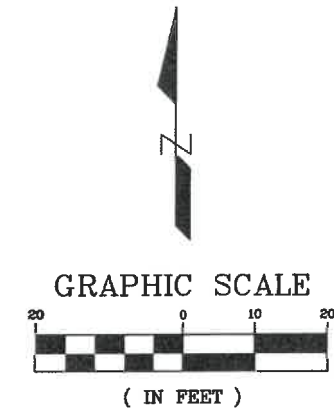
434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

ARCHITECTS LLC

1845 AMBERLEY COURT - PROPOSED SITE PLAN

SITE PLAN

LOT 5 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 6051357, IN LAKE COUNTY, ILLINOIS.



ROOT PROTECTION ZONE (TYP)
ANY WORK WITHIN THIS AREA
SHALL BE COMPLETED BY HAND.
NO HEAVY EQUIPMENT SHALL BE
ALLOWED WITHIN THE ROOT ZONE

1845 AMBERLEY COURT CARLISLE FRENCH COUNTRY - PROPOSED NORTH (FRONT) AND SOUTH (REAR) ELEVATIONS



FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

- WINDOW/DOOR NOTES**
- WINDOW DESIGNATIONS ARE AS FOLLOWS:
2640 IS EQUAL TO 2'-0" x 6'-0" UNIT
2640 IS EQUAL TO 2'-0" x 4'-0" UNIT ETC.
 - PROVIDE TEMPERED GLAZING IN DOORS,
DOOR SIDE LIGHTS AND WITHIN 7'-4" OF DOOR
JAMB.
 - PELLA LIFESTYLE ALUMINUM CLAD UNITS

- EXTERIOR LIGHT FIXTURE NOTES**
- ALL EXTERIOR LIGHT FIXTURES TO HAVE
FROSTED OR TEXTURED/SEEDED GLASS



REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES RELATING TO STRUCTURES AND BUILDINGS FOR THE CITY OF LAKE FOREST.

DATE: 3-6-23
LICENSE EXPIRES: 11/30/24 ARCHITECT

SHEET INDEX

1 of 8	FRONT & REAR ELEVATION
2 of 8	RIGHT & LEFT ELEVATION
3A of 8	WALL SECTIONS
3B of 8	WALL SECTIONS
4 of 8	GENERAL NOTES, DETAILS & PLUMBING DIAGRAMS
5 of 8	FOUNDATION PLAN
6 of 8	FRESHED BASEMENT PLANS
7 of 8	FIRST FLOOR PLAN
8 of 8	SECOND FLOOR PLAN
9 of 8	ROOF FRAMING PLAN
S1 of 2	FIRST FLOOR STRUCTURAL PLAN
S2 of 2	SECOND FLOOR STRUCTURAL PLAN
BW-1	WALL BRACING PLANS

CEILING HEIGHTS

ALL CEILING HEIGHTS ARE LESS THAN 14'-0" EXCEPT AREAS NOTED AS OPEN TO BELOW.

AREA TABULATIONS

FIRST FLOOR	2,272.72 S.F.
GARAGE	145.54 S.F.
SECOND FLOOR	1,220.72 S.F.
GROSS FLOOR AREA	4,138.98 S.F.

DESIGN LOADS

ROOF LIVE LOAD	30 lbs. per sq. ft.
FLAT ROOF LIVE LOAD	40 lbs. per sq. ft.
UNFINISHED ATTIC FLOOR LIVE LOAD	20 lbs. per sq. ft.
FLOOR LIVE LOAD - LIVING ROOMS	40 lbs. per sq. ft.
FLOOR LIVE LOAD - OTHER ROOMS	40 lbs. per sq. ft.
DECK LIVE LOAD	40 lbs. per sq. ft.
BALCONY LIVE LOAD	80 lbs. per sq. ft.
PARTITION DEAD LOAD	10 lbs. per sq. ft.
FLOOR DEAD LOAD	10 lbs. per sq. ft.

LAKE FOREST CODES

- INTERNATIONAL RESIDENTIAL CODE 2018
- INTERNATIONAL MECHANICAL CODE 2018
- INTERNATIONAL PROPERTY MAINTENANCE CODE 2006
- INTERNATIONAL FUEL GAS CODE 2018
- INTERNATIONAL ENERGY CONSERVATION CODE 2018
- NATIONAL ELECTRIC CODE NFPA 70, 2017
- STATE OF ILLINOIS PLUMBING CODE CURRENT 7701 CODE 890
- FIRE PREVENTION CODE 2018
- LI-F SAFE TV CODE NFPA 101, 2018
- NFPA 72 FIRE ALARM CODE 2019
- NFPA 13 120 120, FIRE SPRINKLER CODES 2016
- LAKE FOREST MUNICIPAL CODE

DATE	3/23/23
REVISIONS	ISSUED FOR PERMIT
	GENERAL REVISION

**AMBERLEY COURT
LAKE FOREST**
LOT 5 - CARLISLE/FRENCH
COPYRIGHT 2023 FERGON ARCHITECTS, LLC
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434 North Dover Avenue
Burr Ridge, Illinois 60528
708.328.0416 phone



LOT 5
DATE: FEBRUARY 23, 2023

1845 AMBERLEY COURT CARLISLE FRENCH COUNTRY - PROPOSED EAST (LEFT) AND WEST (RIGHT) ELEVATIONS



BOXED AREA SHOWS EXTENT OF
ORIGINALLY APPROVED OPEN PORCH
(THIS AREA NOT IDENTIFIED AS A CHANGE
BY DEVELOPER)

LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

- WINDOW, DOOR NOTES**
- WINDOW DESIGNATIONS ARE AS FOLLOWS
2008 IS EQUAL TO 2'-0" x 8'-0" UNIT
2642 IS EQUAL TO 2'-6" x 4'-0" UNIT, ETC
 - PROVIDE TEMPERED GLAZING IN DOORS
DOOR SIDE LIGHTS AND WITHIN 24" OF DOOR
JAMB
 - PELLA LIFESTYLE ALUMINUM CLAD UNITS
- EXTERIOR LIGHT FIXTURE NOTES**
- ALL EXTERIOR LIGHT FIXTURES TO HAVE
FROSTED OR TEXTURED/SEEK'D GLASS

REV	DATE	DESCRIPTION
	2/23/23	

**AMBERLEY COURT
LAKE FOREST**
LOT 5 - CARLISLE/FRENCH
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11322D JACKSON STREET
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WWW.FERGONARCHITECTS.COM

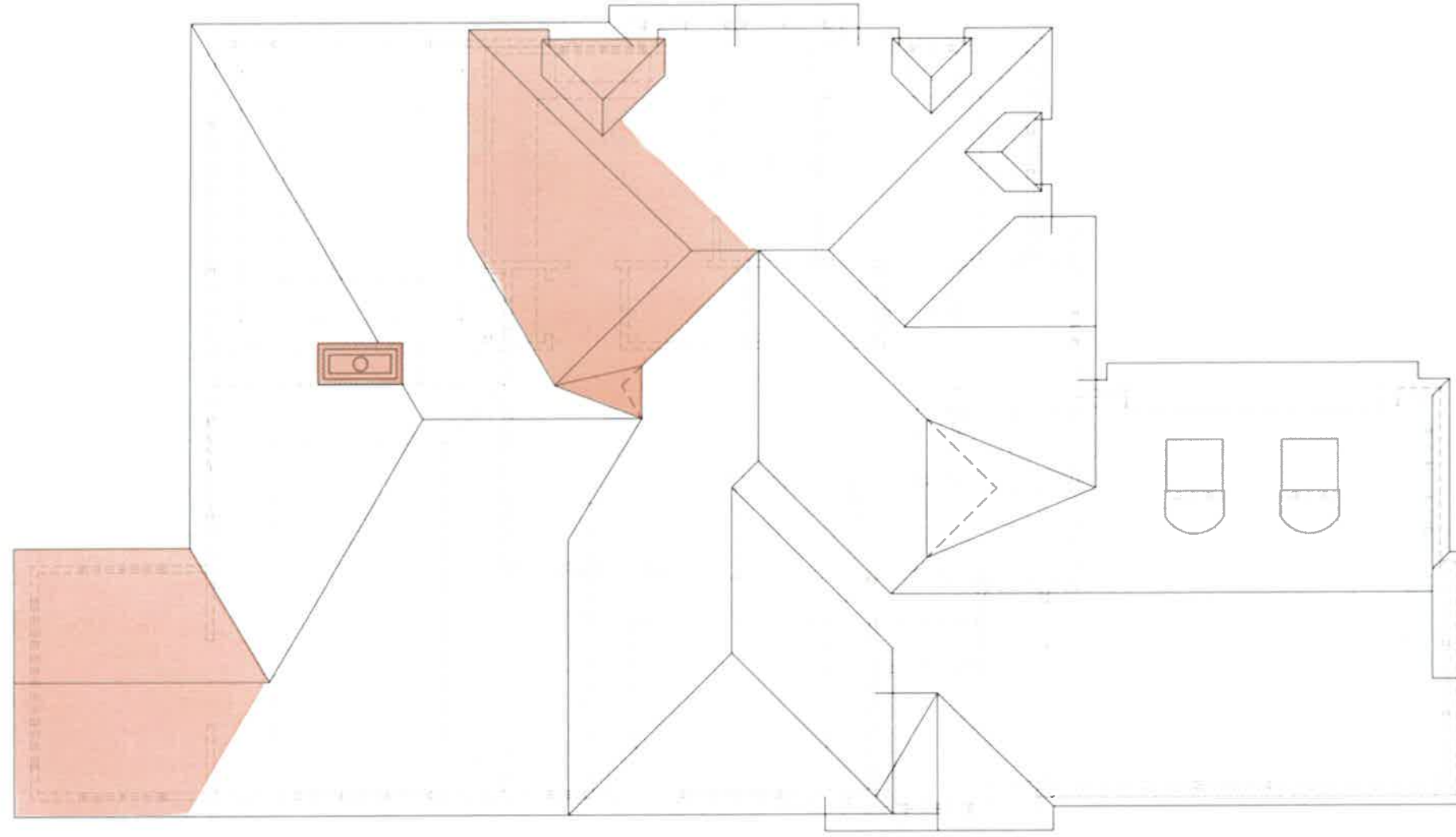
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488 North Dover Avenue
Lake Forest, IL 60058
708.353.0448 phone
708.353.0448 fax

**FERGON
ARCHITECTS LLC**

LOT 5
DATE: FEBRUARY 23, 2023

1845 AMBERLEY COURT CARLISLE MODEL - PROPOSED ROOF PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"

DATE	3/22/23
BY	REVISIONS
	REVISIONS
	REVISIONS
	REVISIONS
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	REVISIONS

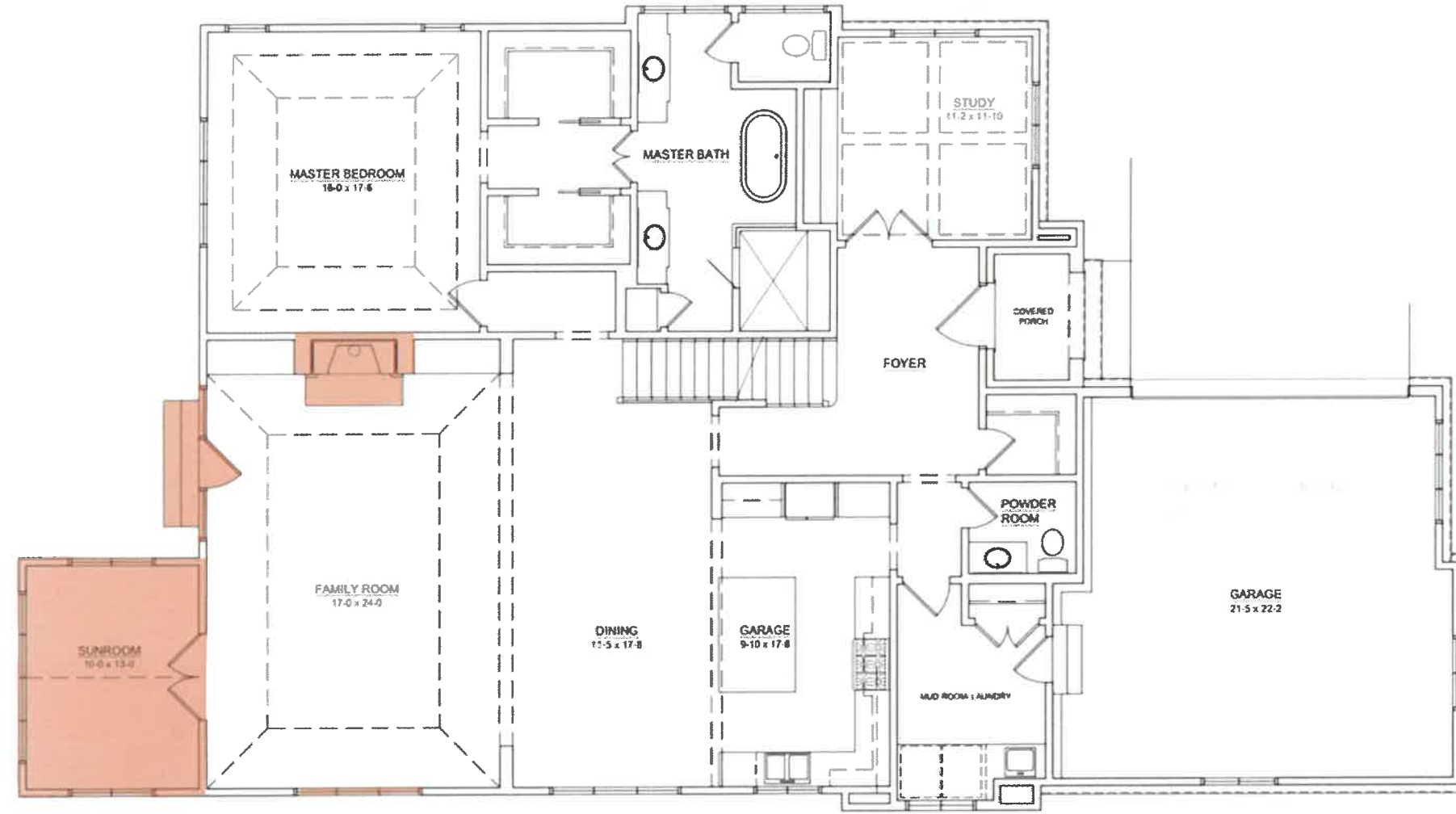
**AMBERLEY COURT
LAKE FOREST**
LOT 5 - CARLISLE/ FRENCH
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434 North Dover Avenue
La Grange Park, Illinois 60526
708.350.0448 phone

JOB NO	LOT 5
DATE	FEBRUARY 23, 2023

1845 AMBERLEY COURT CARLISLE MODEL - PROPOSED FIRST FLOOR PLAN



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	REVISIONS
8/23/23	ISSUED FOR PERMIT
8/23/23	GENERAL REVISIONS

**AMBERLEY COURT
LAKE FOREST**
LOT 5 - CARLISLE/ FRENCH
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SUITE 100
LAKE FOREST, IL 60045
PHONE: 815.326.3400
FAX: 815.326.3402

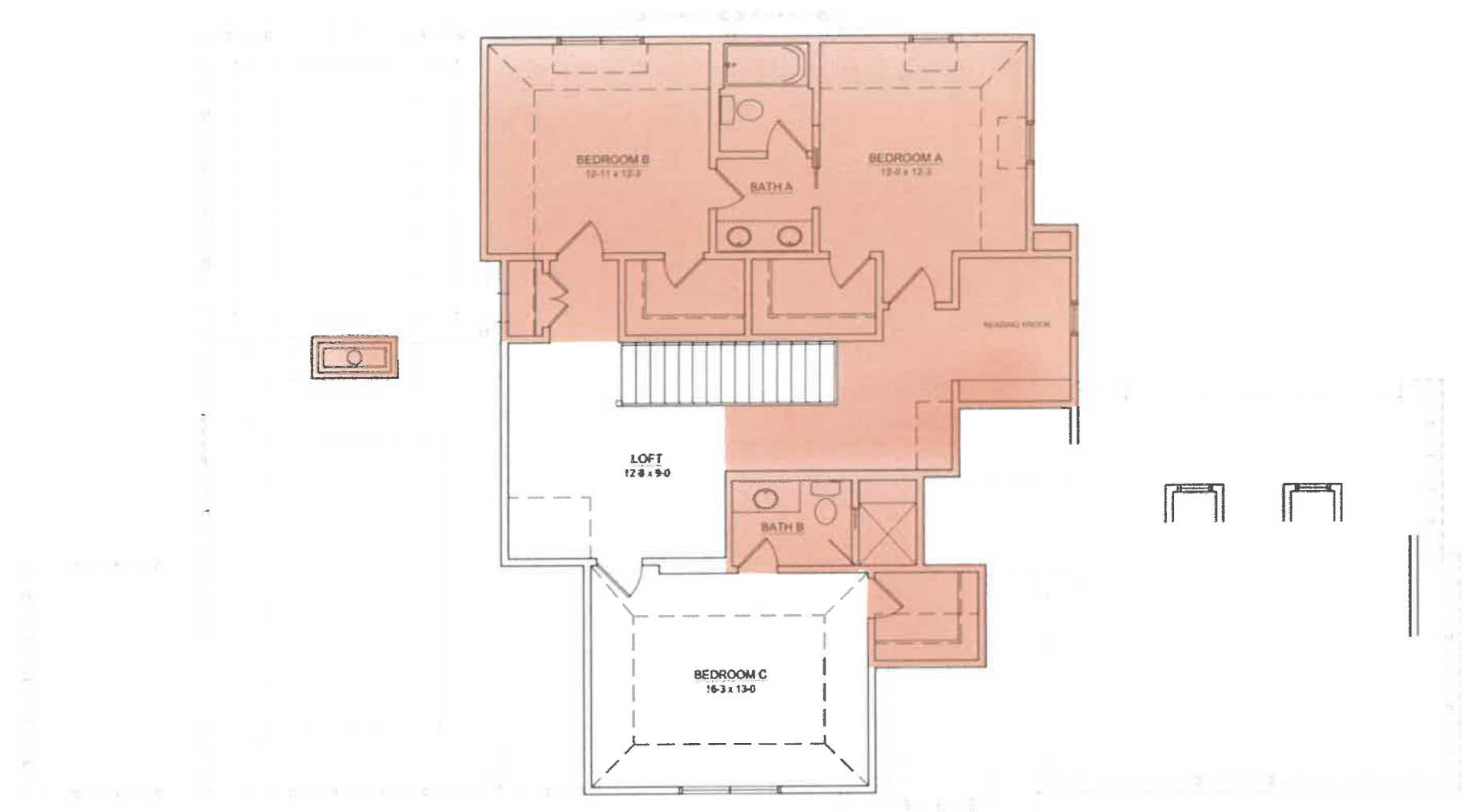
434 North Dover Avenue
La Grange Park, Illinois 60526
708.343.0448 phone
708.343.0448 phone



FERSON
ARCHITECTS, LLC

LOT 5
DATE: FEBRUARY 23, 2023

1845 AMBERLEY COURT CARLISLE MODEL - PROPOSED SECOND FLOOR PLAN



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	REVISIONS
3/27/23	ISSUED FOR PERMIT

**AMBERLEY COURT
LAKE FOREST**
LOT 5 - CARLISLE/ FRENCH
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PHONE: 830 325 3400
FAX: 830 325 3402

434 North Dover Avenue
La Grange Park, Illinois 60526
708 353 0148 phone

LOT 5
DATE: FEBRUARY 23, 2023

1935 AMBERLEY COURT – FENWICK FRENCH COUNTRY



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 1935 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION


McNAUGHON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL. 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number Fax Number

JOHN@MCNAUGHONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address Phone Number Fax Number


Owner's Signature

ARCHITECT/BUILDER INFORMATION

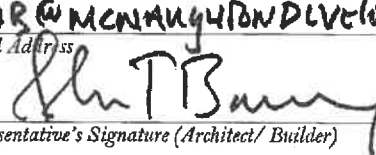
JOHN BARRY
Name and Title of Person Presenting Project

McNAUGHON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

JOHN@MCNAUGHONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address Phone Number Fax Number


Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.

<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL MCNAUGHTON</u>	Name _____
Address <u>115220 JACKSON ST. BURN RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
1935 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Daniel Lusus Architects, PC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 1935 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started and or completed construction on ten of the nineteen home sites that were available in 2021. In the case of the home at 1935 Amberley, a client has requested the addition of a garage which has resulted in a deviation from the June 2021 elevations for the Fenwick French Country ranch style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The client for the proposed home has requested the following modifications from the approved plans...

- Third-car garage stall

Request Summary

We feel that this minor modification to the June 2021 plans have been proposed in such a way to preserve the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes while visible from the street view do not impede upon the surrounding properties.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Façade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material _____

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
- Aluminum Clad
- Vinyl Clad
- Other FIBERGLASS
- Color of Finish _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other STUCCO

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other STUCCO

Fascias, Soffits, Rakeboards

- Wood
- Other HARDI BOARDED PREFINISHED
- Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal
- Other ARCHITECTURAL DIMENSIONAL ASPHALT

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

ORIGINALLY APPROVED FENWICK FRENCH COUNTRY ELEVATIONS



FRONT ELEVATION

TOP/ RIDGE
28'-9" ABOVE FINISHED FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- STUCCO FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0448 phone

AMBERLEY COURT - LAKE FOREST FENWICK - FRENCH COUNTRY

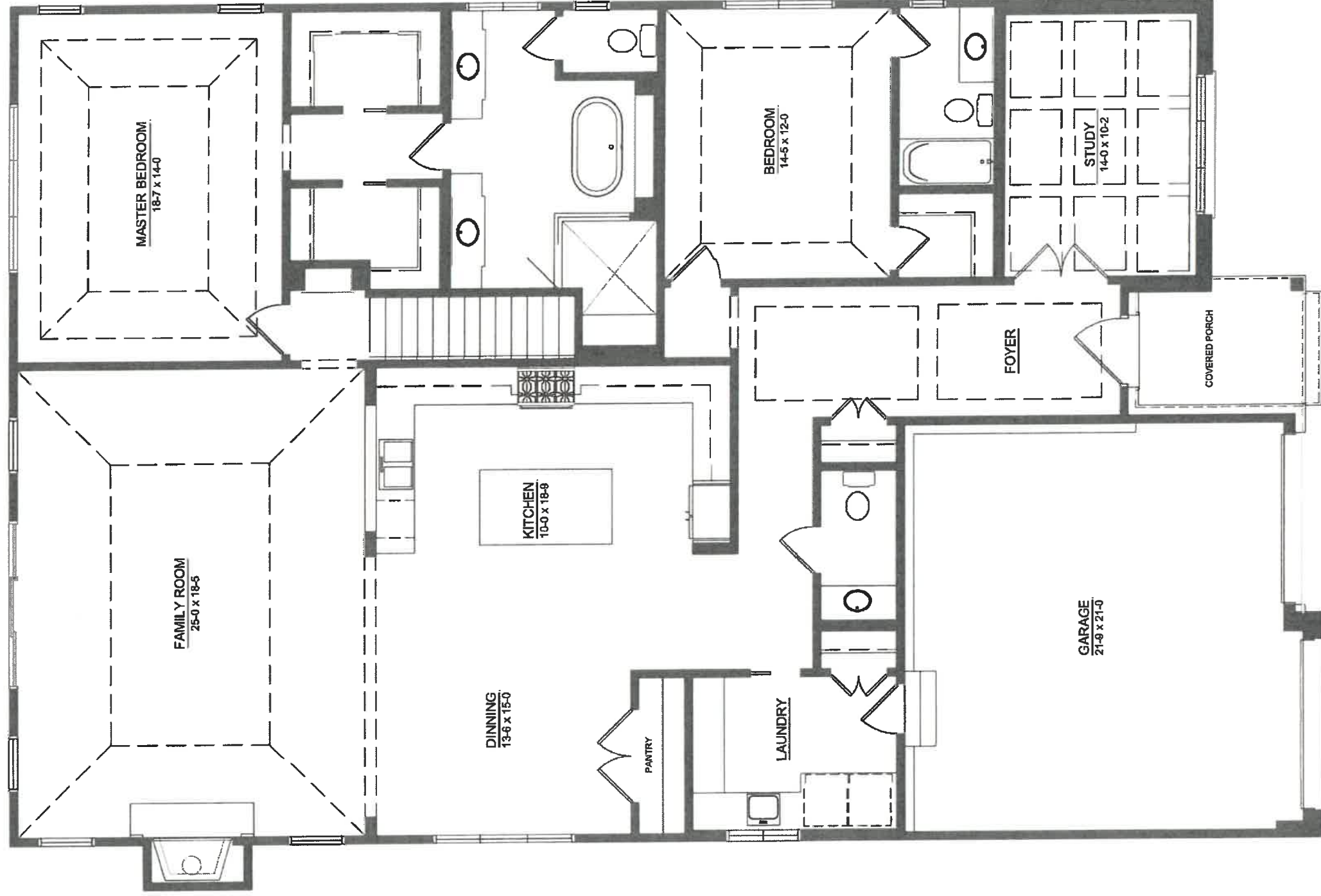
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JOB NO.
01820

MAY 18, 2021

ORIGINALLY APPROVED FENWICK FLOOR PLAN



FIRST FLOOR PLAN

**McNAUGHTON
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ARCHITECTS LLC

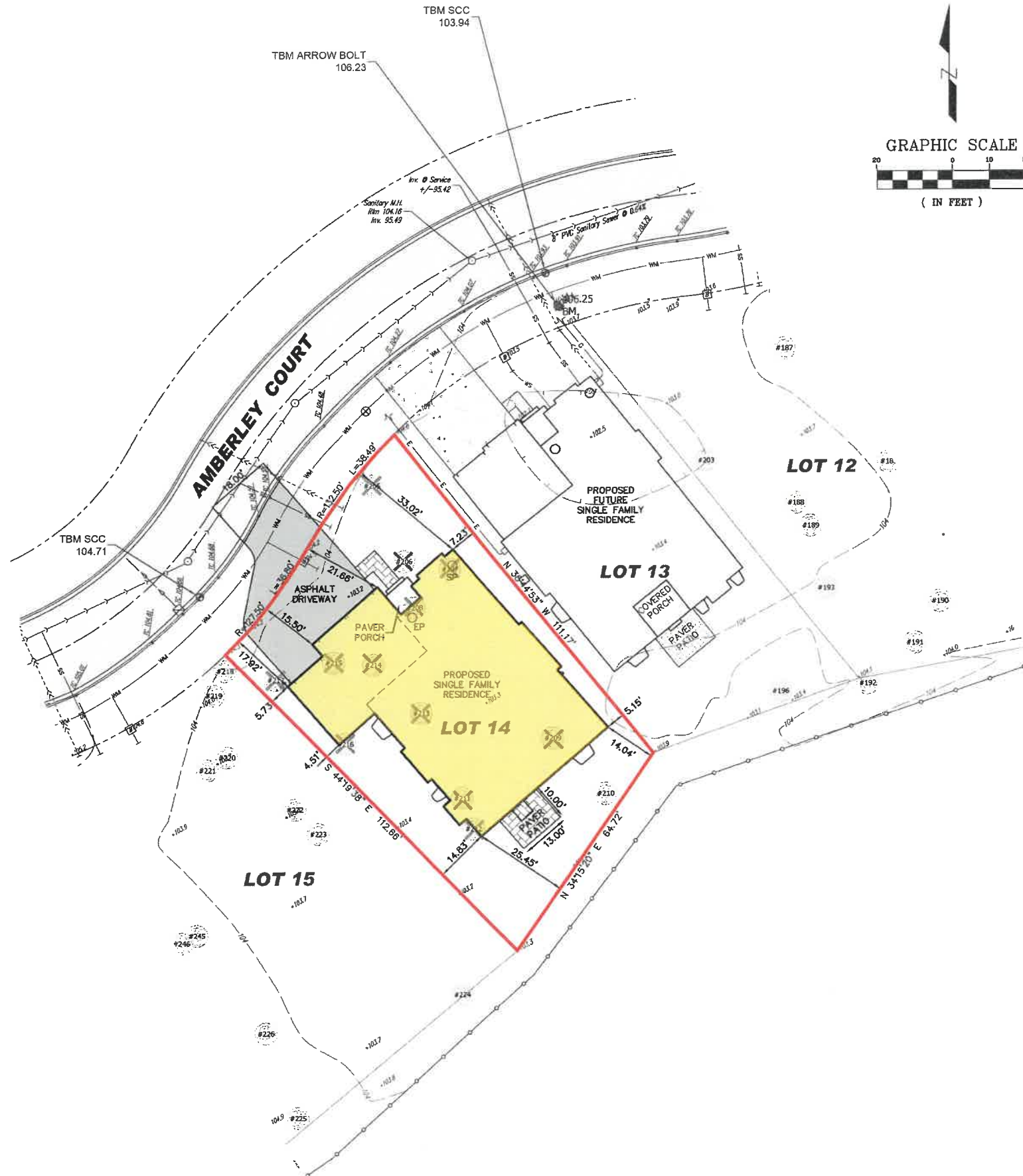
FENWICK

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SITE PLAN

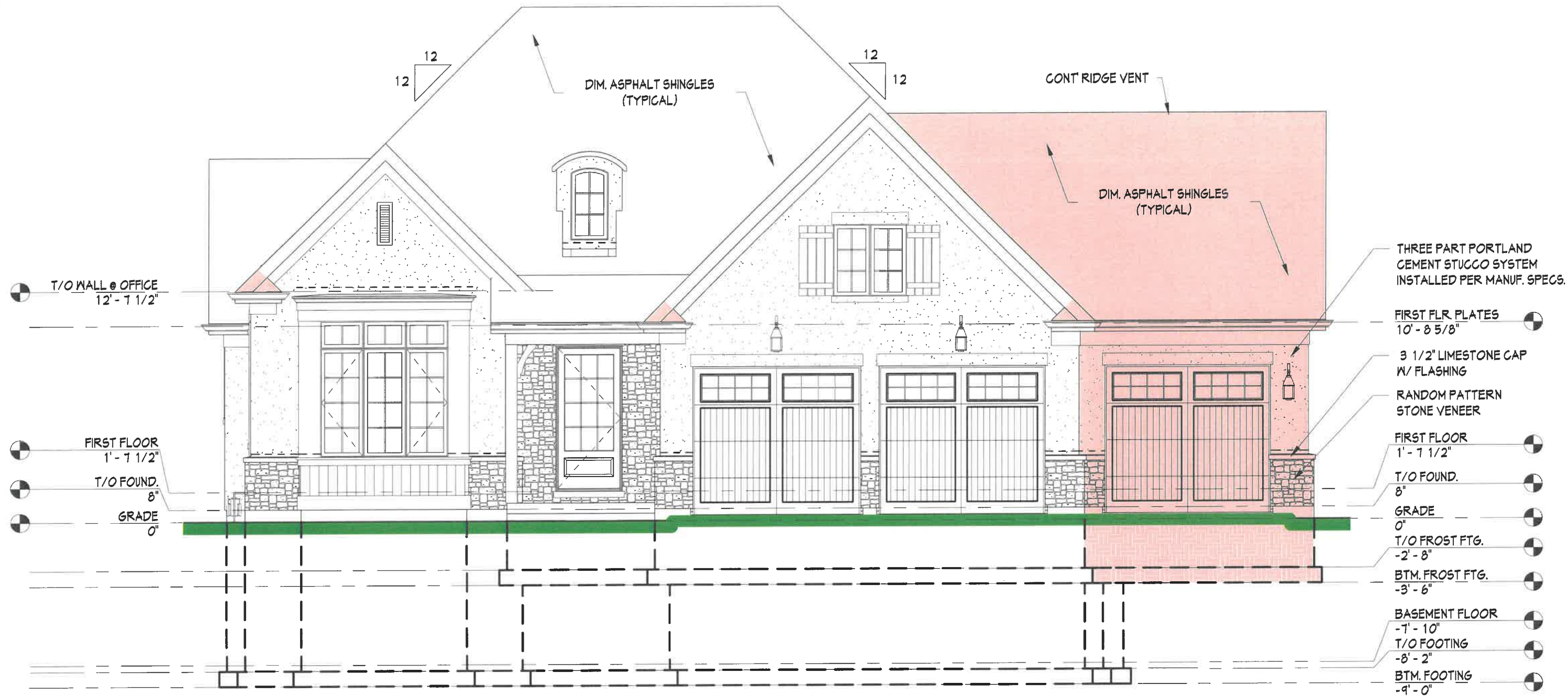
LOT 14 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 6051357, IN LAKE COUNTY, ILLINOIS.

1935 AMBERLEY COURT PROPOSED SITE PLAN



1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED NORTH ELEVATION (FRONT)

6/14/2023 11:58:18 AM



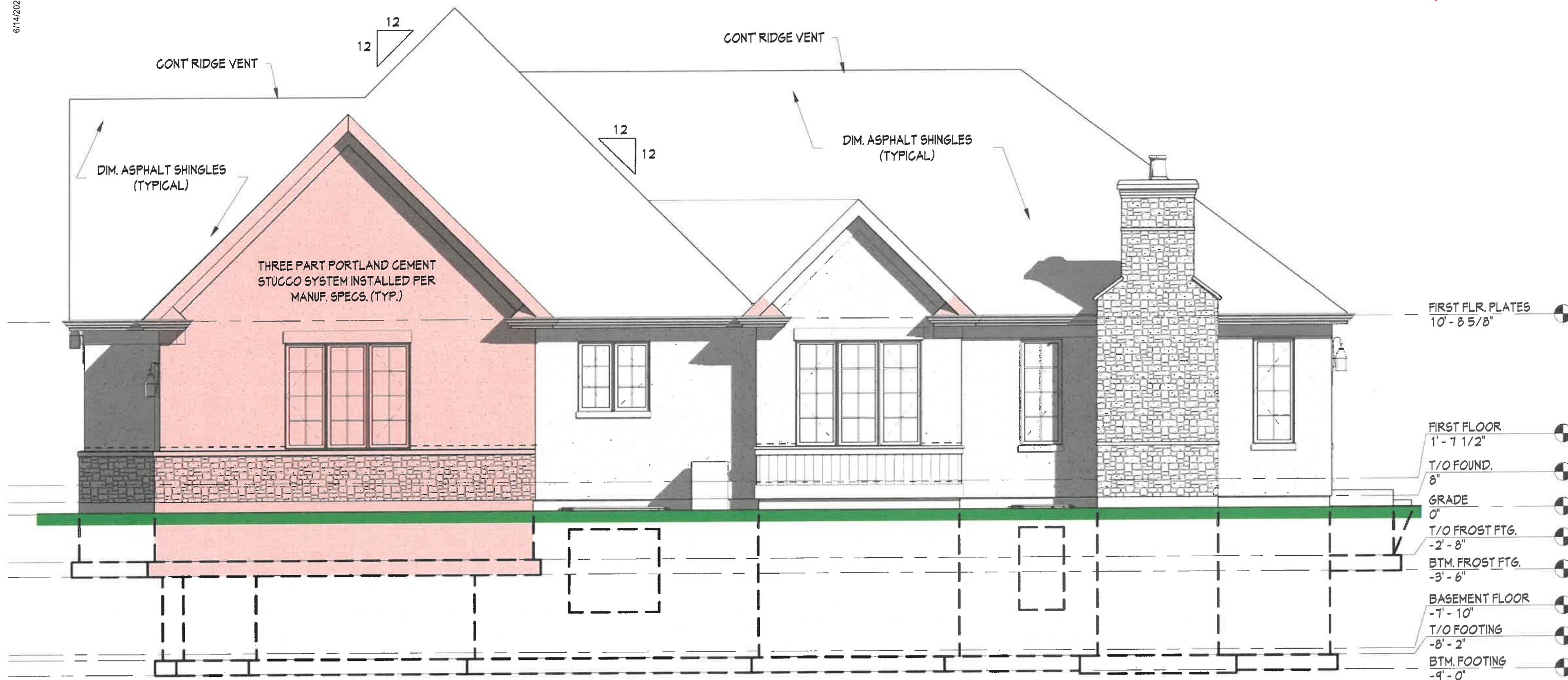
1 FRONT
SCALE: 3/16" = 1'-0"

E:\Projects\23897\1935 Amberley Court (Lot 14).rvt

<p>JUNE 14, 2023</p>	<p>DANIEL LESUS ARCHITECTS, P.C. DESIGN • PLANNING • CONSULTING 1033 Holly Circle P: 847.550.0972 Lake Zurich, IL. 60047 F: 847.550.1075 dlarchitectspc.com</p>	<p>PROPOSED 3-CAR FENWICK COUNTRY FRENCH 1935 AMBERLEY CT. (LOT 14) LAKE FOREST, ILLINOIS 60045</p>	<p>PERMIT: REVISION: REVISION: PROJECT NO.</p>	<p>SHEET: 3 FRONT © COPYRIGHT 2022 BY DANIEL LESUS ARCHITECTS, P.C.</p>
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1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED WEST ELEVATION (RIGHT)

6/14/2023 11:59:26 AM

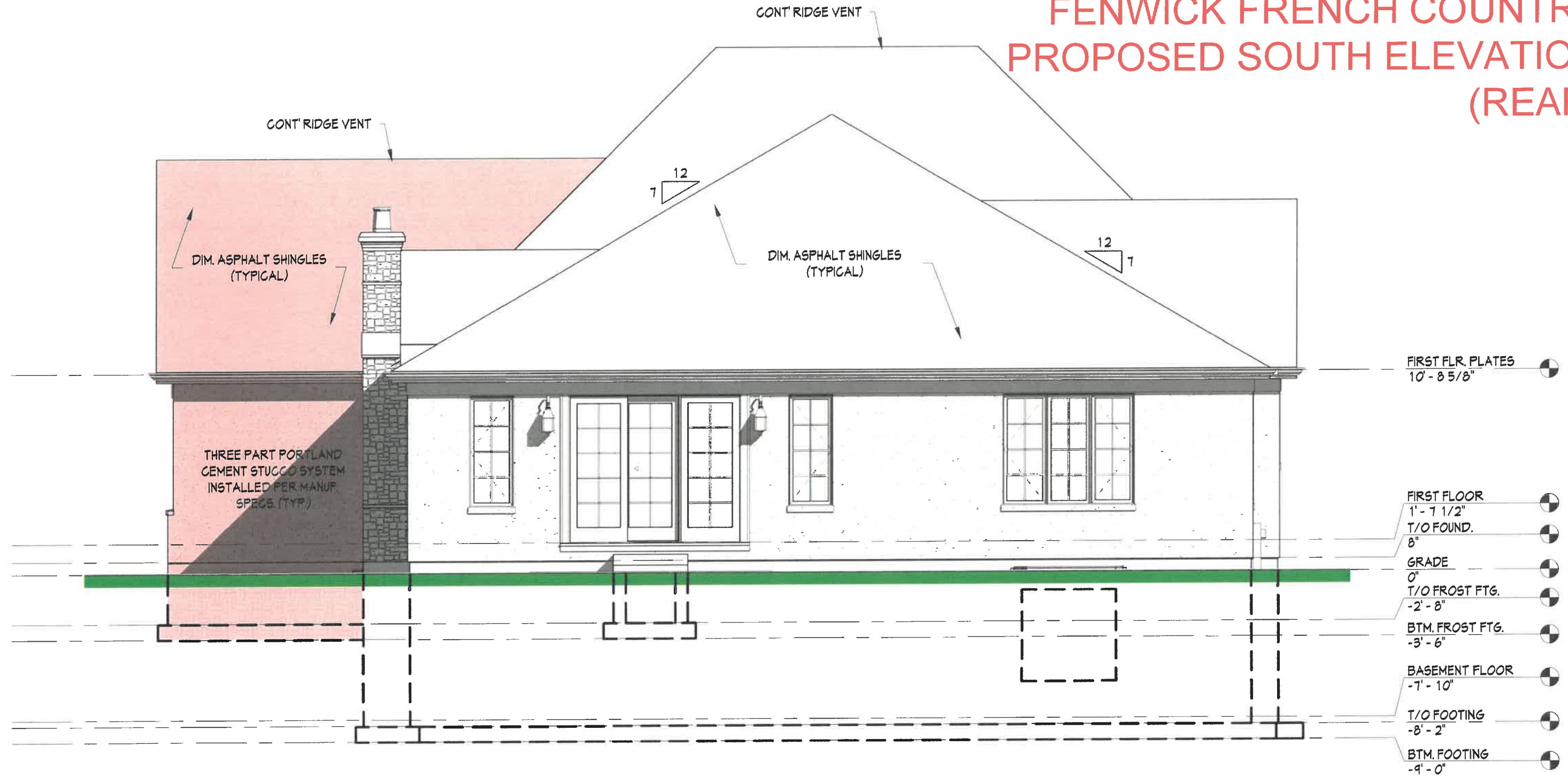


1 RIGHT
SCALE: 3/16" = 1'-0"

E:\Projects\238971935 Amberley Court (Lot 14).rvt

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1935 AMBERLEY COURT FENWICK FRENCH COUNTRY PROPOSED SOUTH ELEVATION (REAR)



1 REAR
SCALE: 3/16" = 1'-0"

JUNE 14, 2023

DANIEL LESUS ARCHITECTS, P.C.
DESIGN • PLANNING • CONSULTING
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Lake Zurich, IL. 60047 F: 847.550.1075
dlarchitectspc.com

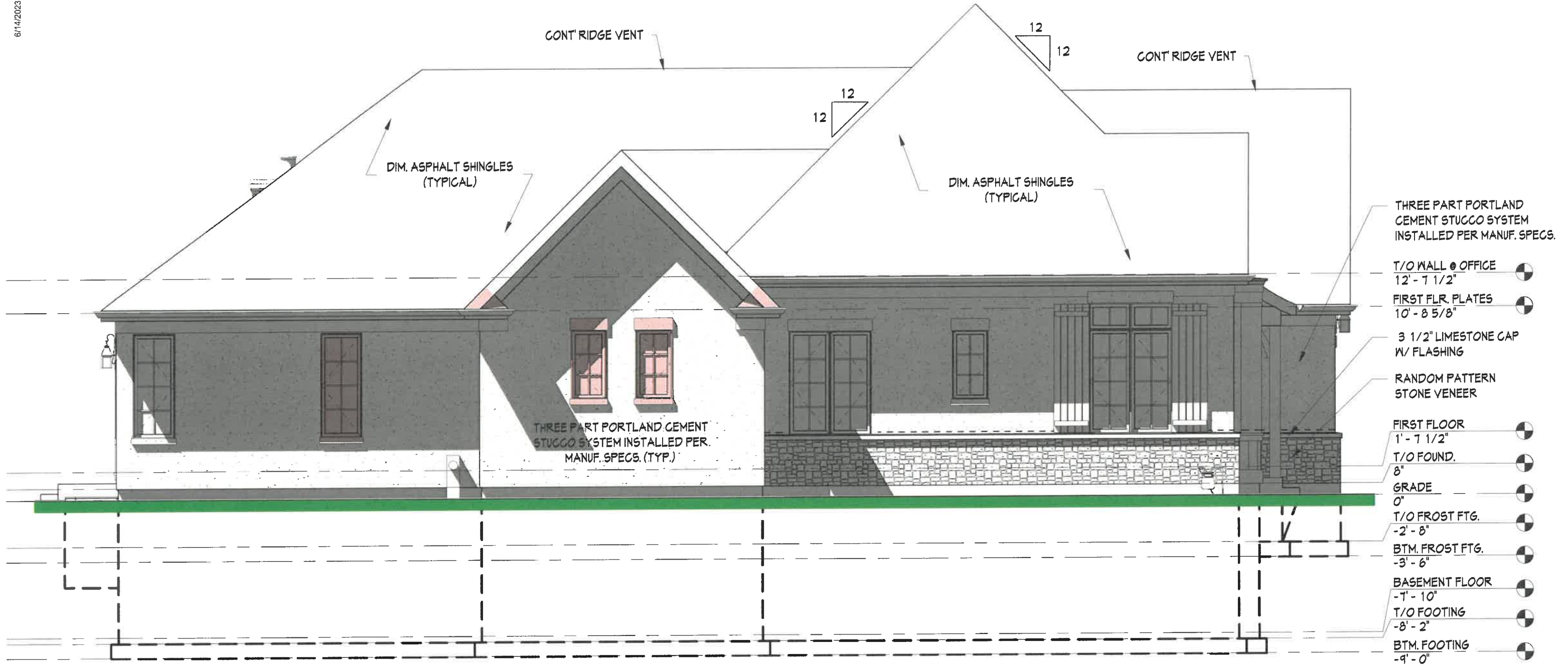
PROPOSED 3-CAR FENWICK COUNTRY FRENCH
1935 AMBERLEY CT. (LOT 14)
LAKE FOREST, ILLINOIS 60045

PERMIT:
REVISION:
REVISION:
PROJECT NO.

SHEET: **5**
REAR
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1935 AMBERLEY COURT - FENWICK FRENCH COUNTRY PROPOSED EAST ELEVATION (LEFT)

6/14/2023 11:59:43 AM

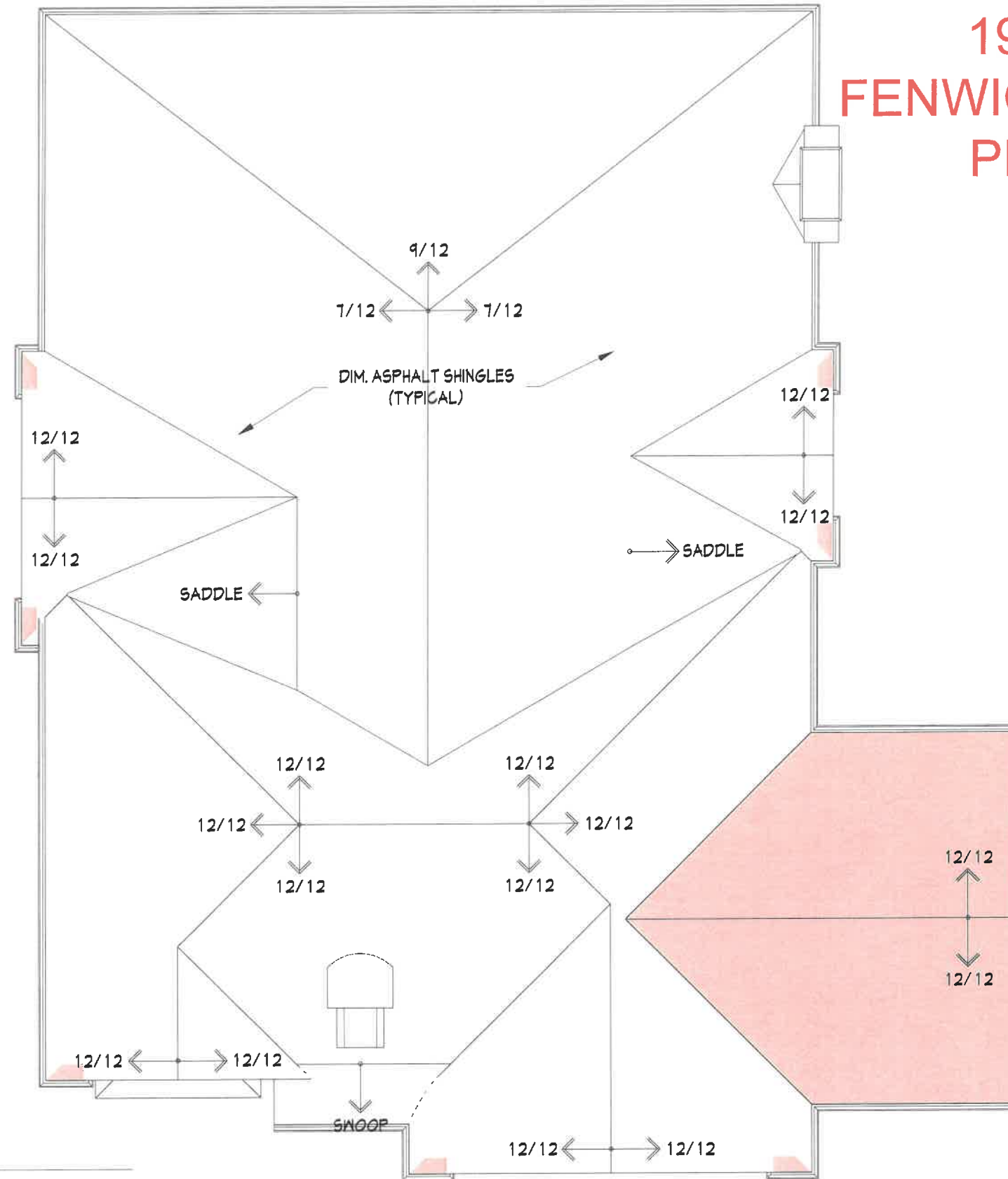


1 LEFT
SCALE: 3/16" = 1'-0"

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<p>JUNE 14, 2023</p>	<p>DANIEL LESUS ARCHITECTS, P.C. DESIGN • PLANNING • CONSULTING 1033 Holly Circle P: 847.550.0972 Lake Zurich, IL. 60047 F: 847.550.1075 dlarchitectspc.com</p>	<p>PROPOSED 3-CAR FENWICK COUNTRY FRENCH 1935 AMBERLEY CT. (LOT 14) LAKE FOREST, ILLINOIS 60045</p>	<p>PERMIT: REVISION: REVISION: PROJECT NO.</p>	<p>SHEET: 6 LEFT © COPYRIGHT 2022 BY DANIEL LESUS ARCHITECTS, P.C.</p>
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1935 AMBERLEY COURT FENWICK FRENCH COUNTRY PROPOSED ROOF PLAN



1 **ROOF**
SCALE: 1/8" = 1'-0"

JUNE 14, 2023

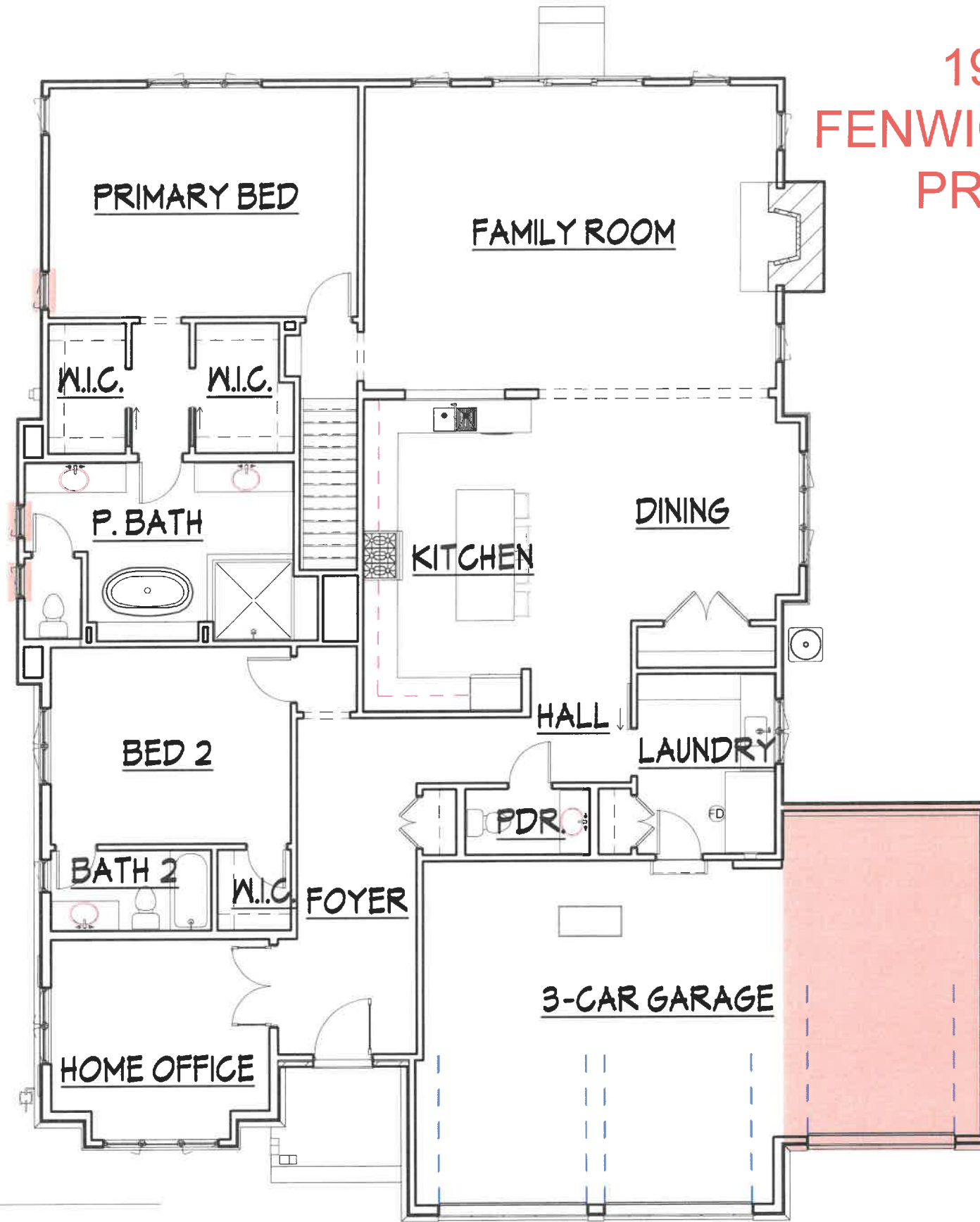
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PROPOSED 3-CAR FENWICK COUNTRY FRENCH 1935 AMBERLEY CT. (LOT 14) LAKE FOREST, ILLINOIS 60045

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PROJECT NO.:

SHEET:
7
ROOF
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1935 AMBERLEY COURT FENWICK FRENCH COUNTRY PROPOSED FLOOR PLAN



1 **FIRST**
SCALE: 1/8" = 1'-0"

JUNE 14, 2023

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PLAN
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2015 AMBERLEY COURT – CARLISLE TUDOR



**THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION**

PROJECT ADDRESS 2015 AMBERLEY COURT, LAKE FOREST

APPLICATION TYPE

RESIDENTIAL PROJECTS		COMMERCIAL PROJECTS	
<input checked="" type="checkbox"/> New Residence	<input type="checkbox"/> Demolition Complete	<input type="checkbox"/> New Building	<input type="checkbox"/> Landscape/Parking
<input type="checkbox"/> New Accessory Building	<input type="checkbox"/> Demolition Partial	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Lighting
<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Height Variance	<input type="checkbox"/> Signage or Awnings
<input type="checkbox"/> Building Scale Variance	<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/>

PROPERTY OWNER INFORMATION

MCNAUGHTON DEVELOPMENT
Owner of Property

115220 JACKSON STREET
Owner's Street Address (may be different from project address)

BURN RIDGE IL. 60527
City, State and Zip Code

630-325-3400 / 630-325-3402
Phone Number *Fax Number*

JOHN.B@MCNAUGHTONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address *Phone Number* *Fax Number*

Owner's Signature

ARCHITECT/BUILDER INFORMATION

JOHN BARRY
Name and Title of Person Presenting Project

MCNAUGHTON DEVELOPMENT
Name of Firm

115220 JACKSON STREET
Street Address

BURN RIDGE IL 60527
City, State and Zip Code

JOHN.B@MCNAUGHTONDEVELOPMENT.COM 630-325-3400 / 630-325-3402
Email Address *Phone Number* *Fax Number*

Representative's Signature (Architect/ Builder)

The staff report is available the Friday before the meeting, after 3:00pm.		
<i>Please email a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>Please fax a copy of the staff report</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE
<i>I will pick up a copy of the staff report at the Community Development Department</i>	<input type="checkbox"/> OWNER	<input type="checkbox"/> REPRESENTATIVE



CORPORATE OWNERSHIP (EXHIBIT A)

Please list the names and addresses of all officers and directors of the Corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the Corporation authorizing the execution and submittal of this application.

Name <u>PAUL MCNAUGHTON</u>	Name _____
Address <u>115220 JACKSON ST. BURN RIDGE IL 60527</u>	Address _____
Ownership Percentage <u>100</u> %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Name _____	Name _____
Address _____	Address _____
Ownership Percentage _____ %	Ownership Percentage _____ %

Lake Forest Building Review Board
Property Narrative &
Request for a New Single-Family Residence
2015 Amberley Court
Lake Forest, Illinois 60045

McNaughton Development LLC and Fergon Architects, LLC are returning to the Building Review Board requesting approval for modifications to the previously approved single family home design for the proposed home at 2015 Amberley Court, Lake Forest in the Amberley Woods Subdivision.

Architectural Review Process

The Building Review Board in June 2021 recommended to the City Council the approval of twelve different elevations for new homes to be constructed on the remaining nineteen lots along Amberley Court within the Amberley Woods subdivision. Since that time, we have started and or completed construction on ten of the nineteen home sites that were available in 2021. In the case of the home at 2015 Amberley, a client has requested the addition of a couple rooms which has resulted in a deviation from the June 2021 elevations for the Carlisle Tudor two-story style home. City Staff has requested that we make this application for approval of the change in light of their inability to approve it administratively.

Architectural Modification

The client for the proposed home has requested the following modifications from the approved plans...

- Addition of a sunroom
- Relocation of the fireplace

Request Summary

We feel that these minor modifications to the June 2021 plans have been proposed in such a way to preserve the character of those plans. The home as proposed would be constructed within the spirit of the approvals. The changes are undetachable from the street view. In fact, the changes to the side will be blocked by the proximity of the existing home and the wooded nature of the rear yards and common open space area.



THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS

Facade Material

- Stone
- Brick
- Wood Clapboard Siding
- Stucco

- Wood Shingle
- Aluminum Siding
- Vinyl Siding
- Synthetic Stucco
- Other _____

Color of Material _____

Window Treatment

Primary Window Type

- Double Hung
- Casement
- Sliding
- Other _____

Finish and Color of Windows

- Wood
 - Aluminum Clad
 - Vinyl Clad
 - Other FIBERGLASS
- Color of Finish _____

Window Muntins

- Not Provided
- True Divided Lites

Simulated Divided Lites

- Interior and Exterior muntin bars
- Interior muntin bars only
- Exterior muntin bars only
- Muntin bars contained between the glass

Trim Material

Door Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other Stucco

Window Trim

- Limestone
- Brick
- Wood
- Synthetic Material _____
- Other Stucco

Fascias, Soffits, Rakeboards

- Wood
- Other HARDI BOARD PREFINISHED
- Synthetic Material _____

THE CITY OF LAKE FOREST
BUILDING REVIEW BOARD APPLICATION
DESCRIPTION OF EXTERIOR MATERIALS – CONTINUED

Chimney Material

- Brick
- Stone
- Stucco
- Other _____

Roofing

Primary Roof Material

- Wood Shingles
- Wood Shakes
- Slate
- Clay Tile
- Composition Shingles _____
- Sheet Metal _____
- Other ARCHITECTURAL DIMENSIONAL ASPHALT

Flashing Material

- Copper
- Sheet Metal _____
- Other _____

Color of Material _____

Gutters and Downspouts

- Copper
- Aluminum
- Other _____

Driveway Material

- Asphalt
- Poured Concrete
- Brick Pavers
- Concrete Pavers
- Crushed Stone
- Other _____

Terraces and Patios

- Bluestone
- Brick Pavers
- Concrete Pavers
- Poured Concrete
- Other _____

ORIGINALLY APPROVED CARLISLE TUDOR ELEVATIONS



FRONT ELEVATION

31'-2" ABOVE FINISHED FLOOR

BOT/ FIRST FLOOR CLG.
9'-1" ABOVE FINISHED FLOOR

TOP/ FIRST FLOOR
1'-7" ABOVE GRADE



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

TYPICAL EXTERIOR FACADE DETAILS:

- ARCHITECTURAL GRADE ASPHALT SHINGLES CONTINUOUS RIDGE VENTS.
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 4" BRICK FIREPLACE W/ CLAY FLUE CAP
- HARDIE BOARD FASCIA & SOFFIT W/ FACTORY FINISH
- 3/4" TRADITIONAL STUCCO W/ STUCCO TRIM BOARDS
- 4" BRICK OR STONE WHERE SHOWN
- FIBERGLASS SIMULATED DIVIDED LITE WINDOWS, FRENCH DOORS & SLIDERS.
- CUT STONE SILLS AT WINDOWS AND DOORS WITH MASONRY VENEER.



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0448 phone

AMBERLEY COURT - LAKE FOREST CARLISLE - TUDOR

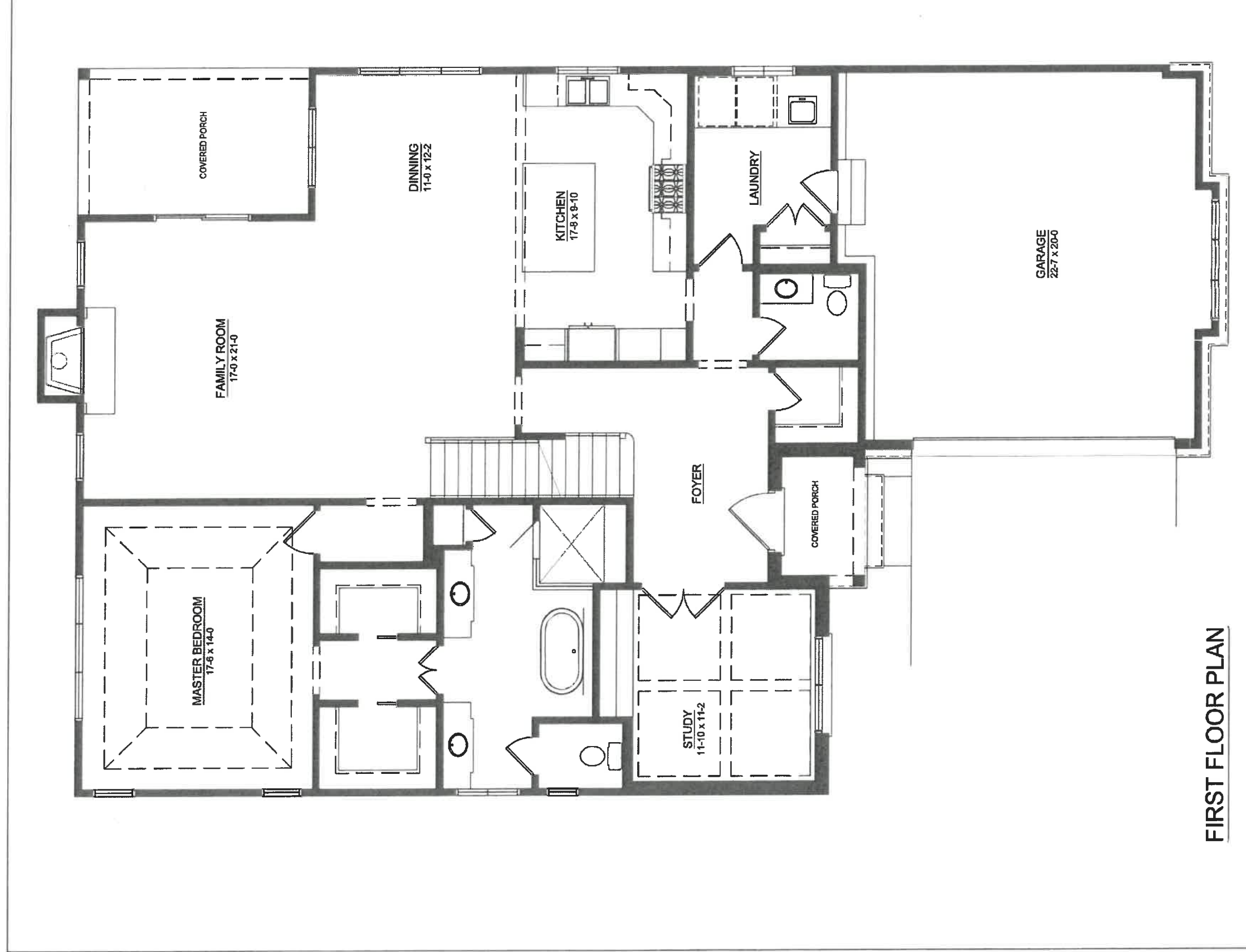
McNAUGHTON
DEVELOPMENT

119220 JACKSON STREET
BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3412

JOB NO.
01820

NAY 18, 2020

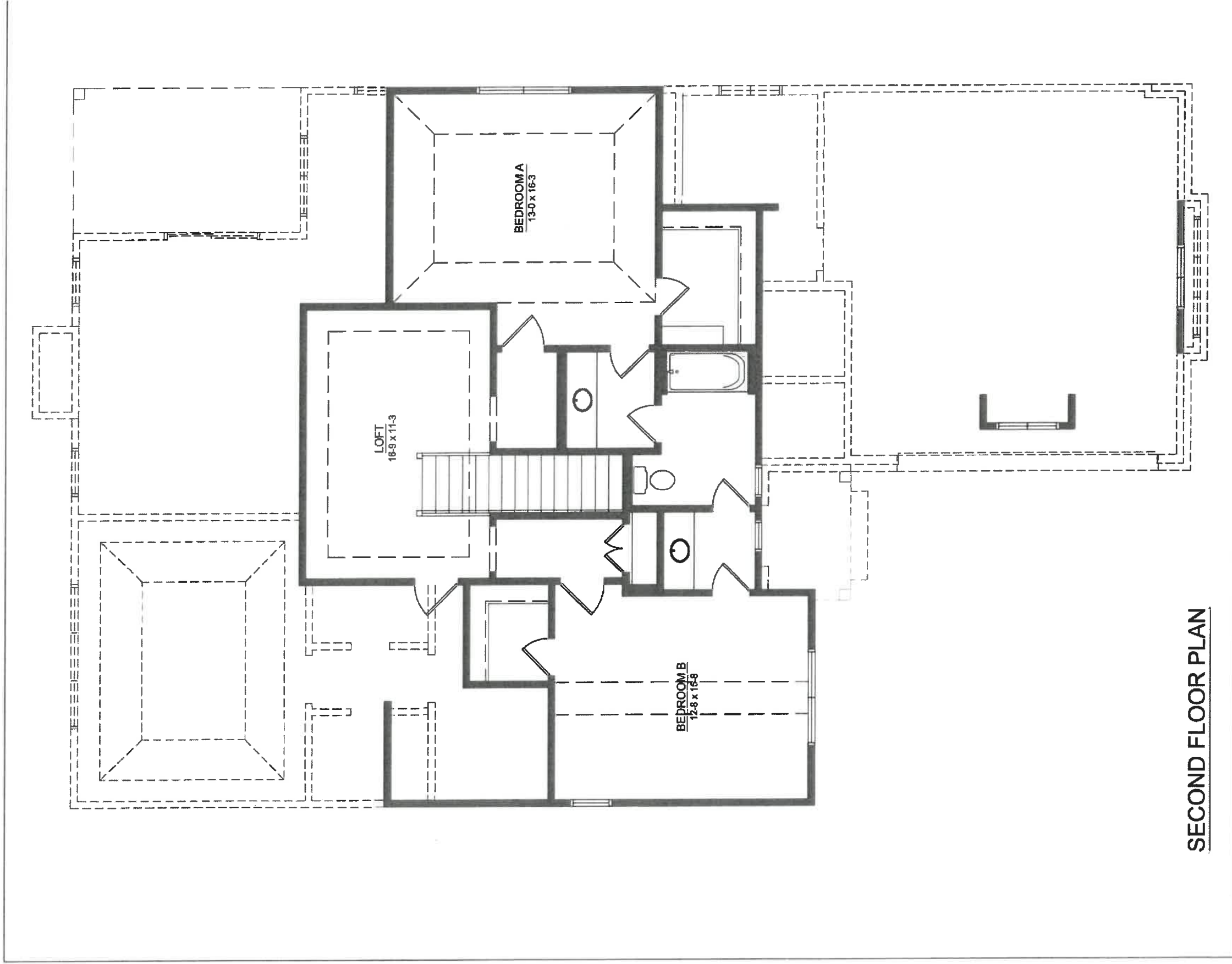
ORIGINALLY APPROVED CARLISLE MODEL FIRST FLOOR PLAN



FIRST FLOOR PLAN

	 <p>434 North Dover Avenue La Grange Park, Illinois 60526 708.352.0446 phone</p>	<p>McNAUGHTON DEVELOPMENT</p> <p>11S220 JACKSON STREET BURR RIDGE, IL 60527 PHONE: 630.325.3400 FAX: 630.325.3402</p>	<p>CARLISLE</p> <p><small>COPYRIGHT 2017 FERGON ARCHITECTS, LLC The Plans, Specifications and concepts are shown on this drawing are the sole property of Fergon Architects, L developed for use on and in connection with the specified project. Any use, reproduction or assignment any to without obtaining written consent of Fergon Architects, LLC</small></p>
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ORIGINALLY APPROVED CARLISLE MODEL SECOND FLOOR PLAN



SECOND FLOOR PLAN



434 North Dover Avenue
La Grange Park, Illinois 60526
708.352.0446 phone

McNAUGHTON
DEVELOPMENT

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BURR RIDGE, IL 60527
PHONE: 630.325.3400
FAX: 630.325.3402

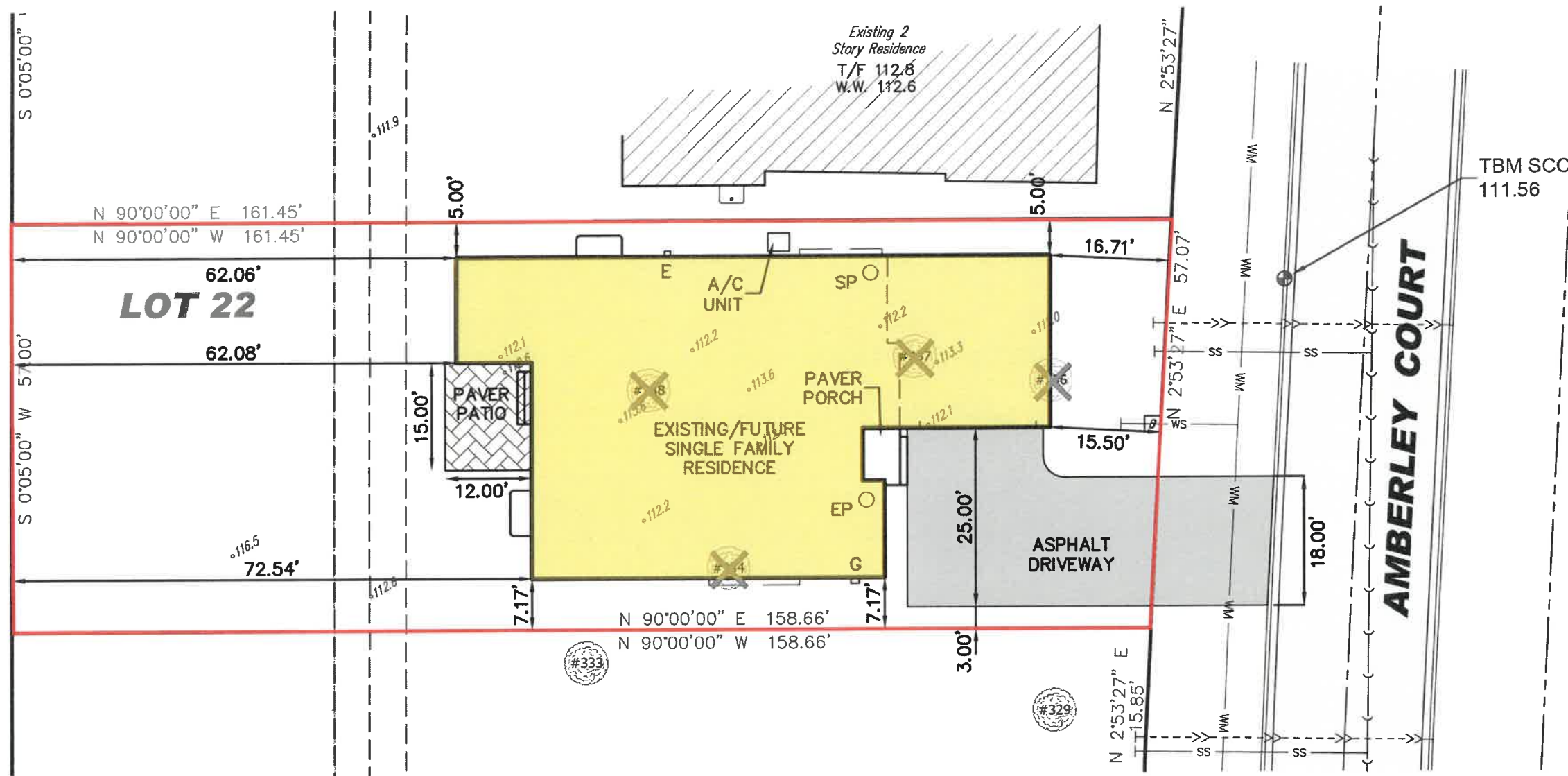
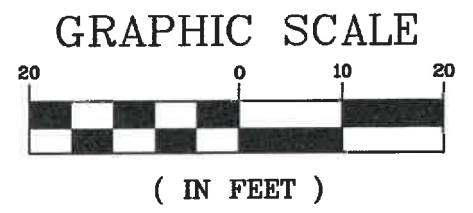
CARLISLE

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2015 AMBERLEY COURT PROPOSED SITE PLAN

SITE PLAN

LOT 22 IN AMBERLEY WOODS SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF GOVERNMENT LOT 2 OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THEREOF RECORDED APRIL 31, 2006 AS DOCUMENT 6051357, IN LAKE COUNTY, ILLINOIS.



2015 AMBERLEY COURT - CARLISLE TUDOR PROPOSED EAST (FRONT) AND WEST (REAR) ELEVATIONS



FRONT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

- WINDOW/DOOR NOTES**
- WINDOW DESIGNATIONS ARE AS FOLLOWS
3000 IS EQUAL TO 2'-0" x 6'-0" UNIT
2640 IS EQUAL TO 2'-0" x 4'-0" UNIT, ETC
 - PROVIDE TEMPERED GLAZING IN DOORS, DOOR SIDE LIGHTS AND WITHIN 2'-0" OF DOOR JAMB
 - PELLA LIFESTYLE ALUMINUM CLAD UNITS
- EXTERIOR LIGHT FIXTURE NOTES**
- ALL EXTERIOR LIGHT FIXTURES TO HAVE FROSTED OR TEXTURED/SEEDED GLASS



REAR ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES RELATING TO STRUCTURES AND BUILDINGS FOR THE CITY OF LAKE FOREST

DATE: 6/1/23
LICENSE EXPIRES: 11/30/24 ARCHITECT

SHEET INDEX

1 of 9	FRONT & REAR ELEVATION
2 of 9	RIGHT & LEFT ELEVATION
3A of 9	WALL SECTIONS
3B of 9	WALL SECTIONS
4 of 9	GENERAL NOTES, DETAILS & PLUMBING DIAGRAMS
5 of 9	FOUNDATION PLAN
6 of 9	FINISHED BASEMENT PLANS
7 of 9	FIRST FLOOR PLAN
8 of 9	SECOND FLOOR PLAN
9 of 9	ROOF FRAMING PLAN
31 of 2	FIRST FLOOR STRUCTURAL PLAN
32 of 2	SECOND FLOOR STRUCTURAL PLAN
EW 1	WALL BRACING PLANS

CEILING HEIGHTS
ALL CEILING HEIGHTS ARE LESS THAN 14'-0" EXCEPT AREAS NOTED AS OPEN TO BELOW

AREA TABULATIONS

FIRST FLOOR	2,382.96 S.F.
GARAGE	527.79 S.F.
SECOND FLOOR	1,231.63 S.F.
GROSS FLOOR AREA	4,142.38 S.F.

DESIGN LOADS

ROOF LIVE LOAD	30 lbs per s.f.
FLAT ROOF LIVE LOAD	40 lbs per s.f.
UNFINISHED ATTIC FLOOR LIVE LOAD	20 lbs per s.f.
FLOOR LIVE LOAD - SLEEPING ROOMS	40 lbs per s.f.
FLOOR LIVE LOAD - OTHER ROOMS	40 lbs per s.f.
DECK LIVE LOAD	40 lbs per s.f.
BALCONY LIVE LOAD	80 lbs per s.f.
PARTITION DEAD LOAD	10 lbs per s.f.
FLOOR DEAD LOAD	10 lbs per s.f.

- LAKE FOREST CODES**
- INTERNATIONAL RESIDENTIAL CODE 2018
 - INTERNATIONAL MECHANICAL CODE 2018
 - INTERNATIONAL PROPERTY MAINTENANCE CODE 2006
 - INTERNATIONAL FUEL GAS CODE 2018
 - INTERNATIONAL ENERGY CONSERVATION CODE 2018
 - NATIONAL ELECTRIC CODE (NFPA 70), 2017
 - STATE OF ILLINOIS PLUMBING CODE, CURRENT, 77th, CODE 890
 - FIRE PREVENTION CODE 2018
 - LIF SAFETY CODE NFPA 101 2018
 - NFPA 72 FIRE ALARM CODE 2016
 - NFPA 13 13D 13R, FIRE SUPPRESSANT CODES 2016
 - LAKE FOREST MUNICIPAL CODE

REVISION	
DATE	6/1/23
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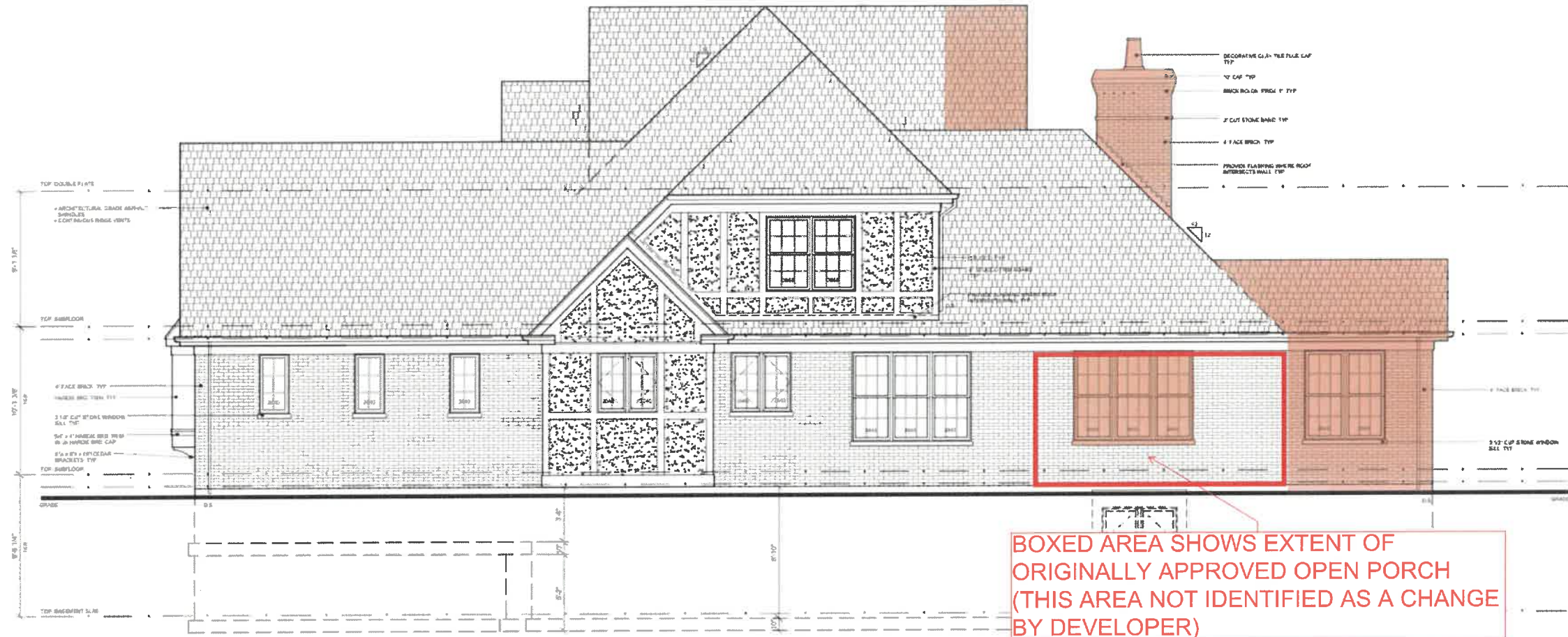
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434 North Dover Avenue
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708.352.0410
**FERSON
ARCHITECTS LLC**

LOT 22
DATE: JUNE 1, 2023
JOB NO: 1 of 9

2015 AMBERLEY COURT - CARLISLE TUDOR PROPOSED NORTH (RIGHT) AND SOUTH (LEFT) ELEVATIONS

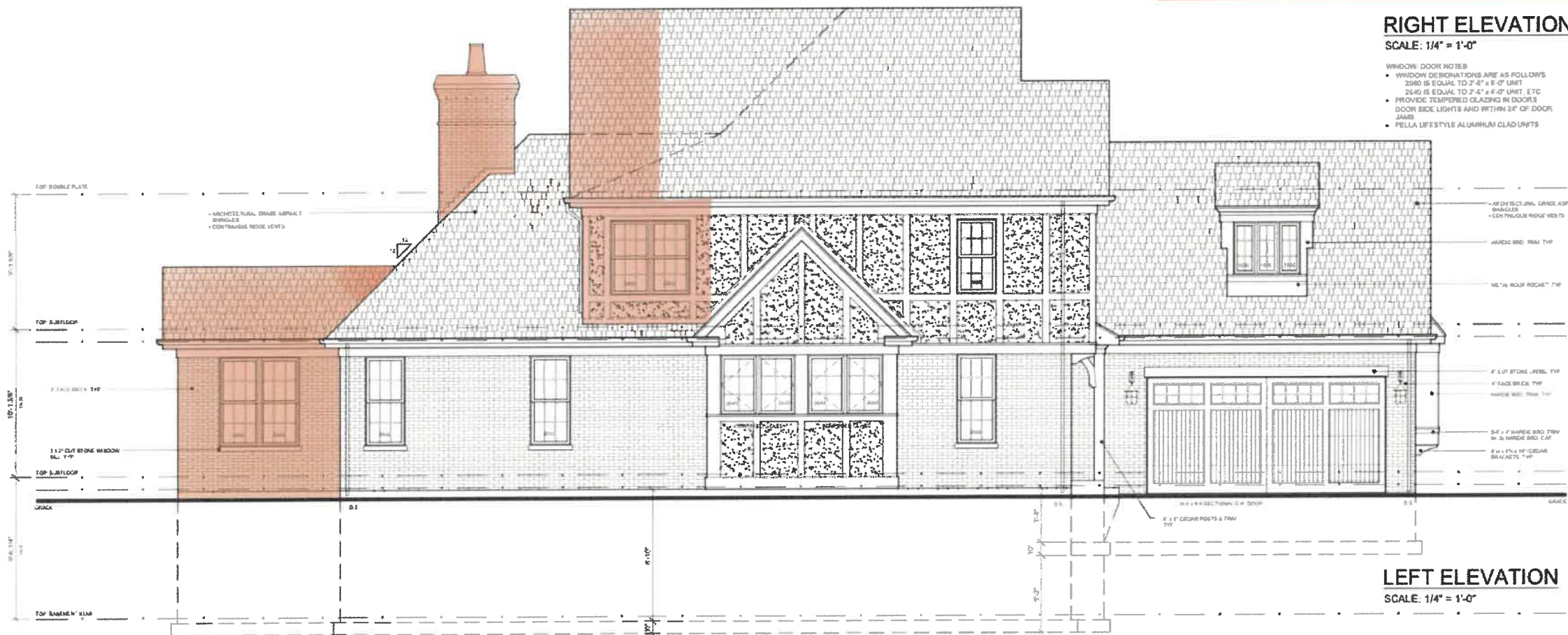


BOXED AREA SHOWS EXTENT OF
ORIGINALLY APPROVED OPEN PORCH
(THIS AREA NOT IDENTIFIED AS A CHANGE
BY DEVELOPER)

RIGHT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

- WINDOW DOOR NOTES
 - WINDOW DESIGNATIONS ARE AS FOLLOWS
3080 IS EQUAL TO 2'-6" x 6'-0" UNIT
2540 IS EQUAL TO 2'-6" x 4'-0" UNIT, ETC
 - PROVIDE TEMPERED GLAZING IN DOORS
DOOR SIDE LIGHTS AND WITHIN 24" OF DOOR
JAMB
 - PELLA LIFESTYLE ALUMINUM CLAD UNITS
- EXTERIOR LIGHT FIXTURE NOTES
ALL EXTERIOR LIGHT FIXTURES TO HAVE
FROSTED OR TEXTURED/SEEDED GLASS



LEFT ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

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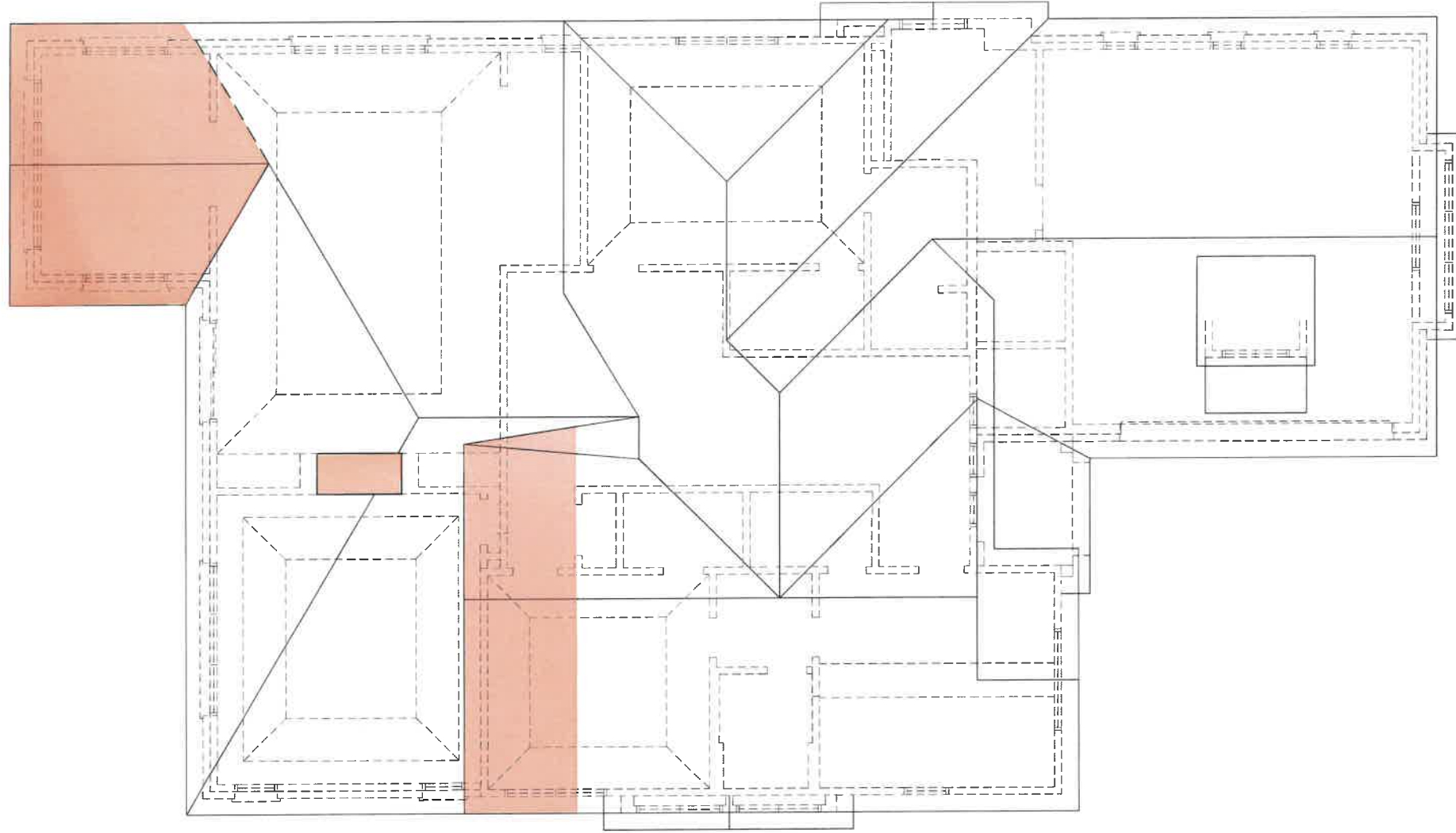
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DEVELOPMENT

681 North Dove Avenue
La Grange Park, Illinois 60526
708.352.0446 phone
FERCON
ARCHITECTS, LLC

LOT 22
DATE
JUNE 1, 2023

2015 AMBERLEY COURT CARLISLE MODEL - PROPOSED ROOF PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"

DATE	REVISIONS
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**AMBERLEY COURT
LAKE FOREST**
LOT 22 - CARLISLE/TUDOR
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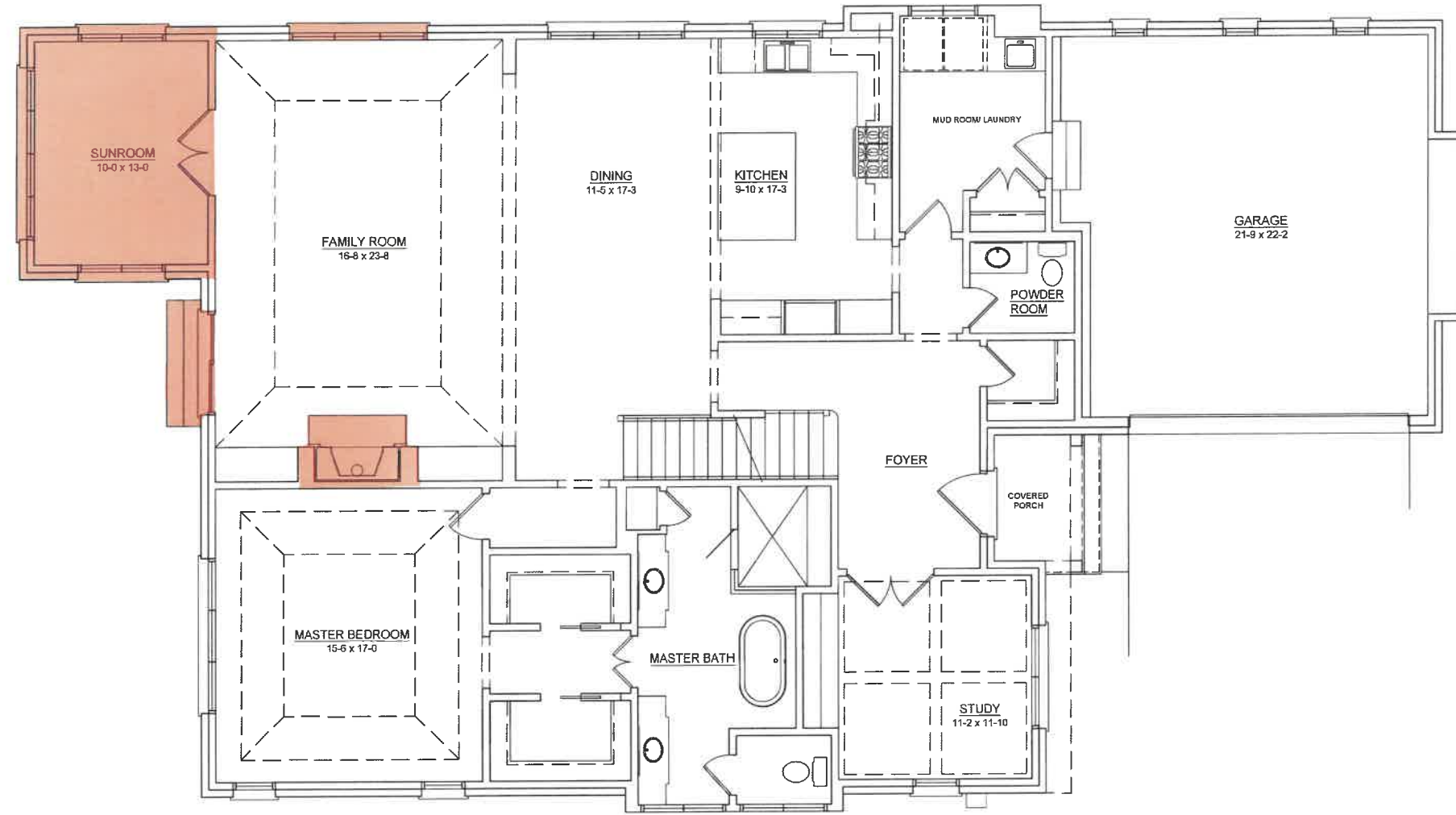
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ARCHITECTS LLC**

JOB NO. **LOT 22**
DATE: JUNE 1, 2023

2015 AMBERLEY COURT CARLISLE MODEL - PROPOSED FIRST FLOOR PLAN



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE:	01/23
REVISIONS:	ISSUED FOR PERMIT

**AMBERLEY COURT
LAKE FOREST**
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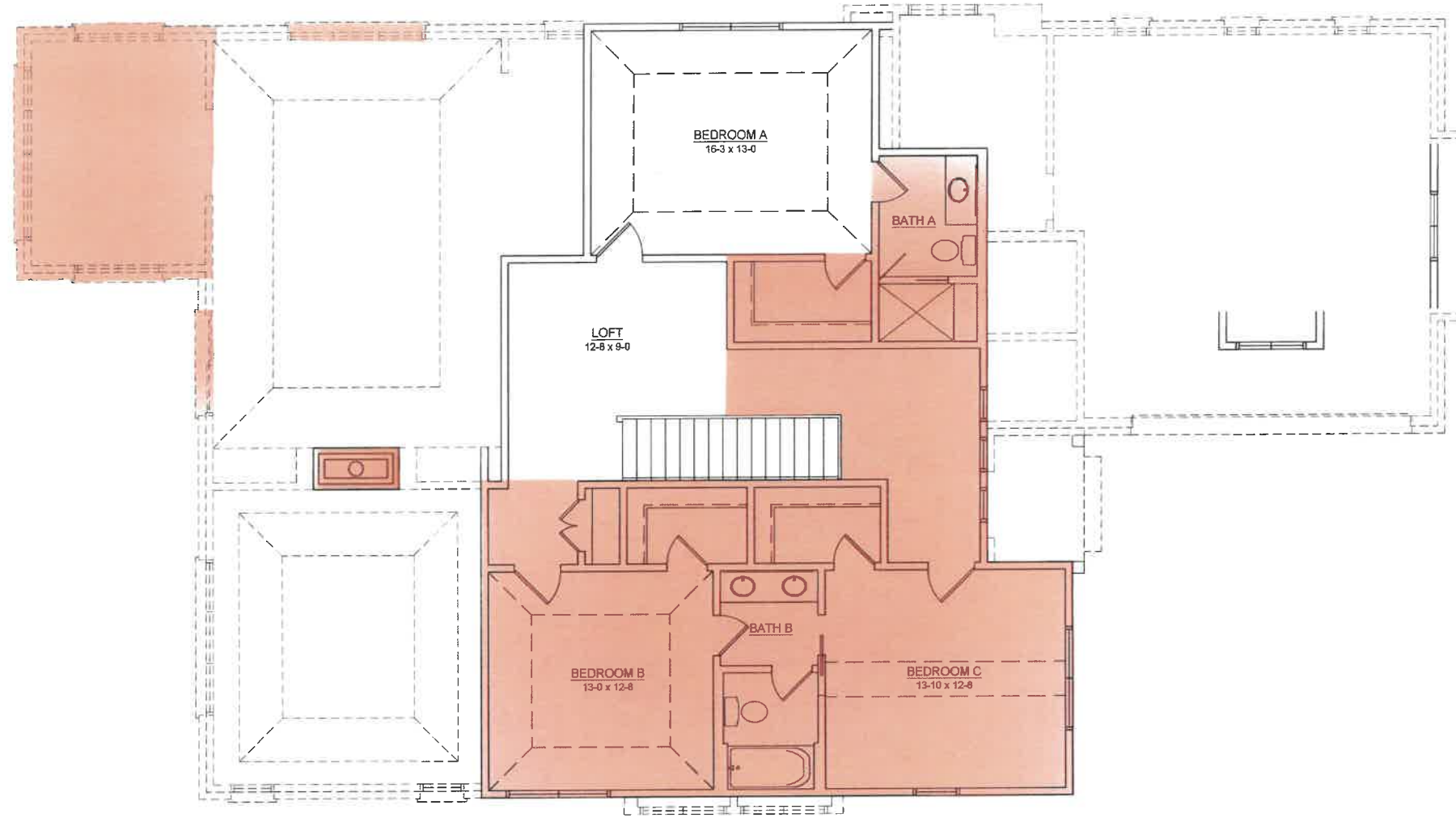
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DATE: JUNE 1, 2023

2015 AMBERLEY COURT CARLISLE MODEL - PROPOSED SECOND FLOOR PLAN



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE:	REVISIONS:
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**AMBERLEY COURT
LAKE FOREST**
LOT 22 - CARLISLE/TUDOR
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DATE: **JUNE 1, 2023**