



RESIDENTIAL BATHROOM REMODEL

PERMIT PROCESS

This information is being provided to help guide you through the permit process. It is the responsibility of the property owner and/or designee to ensure that a permit has been secured prior to commencing any work and that all required inspections are approved. Residential bathroom permits are submitted via mail or at the Village Hall.

Step 1: Permit Application Submittal

- **Permit application must be signed, include the project cost and a completed contractor list** – www.vbg.org/PA
- **Copy of proposal** with homeowner's signature.
- **Contractor Registration:** www.vbg.org/contractor
All contractors must be registered in the Village of Buffalo Grove for the respective year. To check the most recent list of registered contractors, go to www.vbg.org/cl
- **Permit drawings must show:** (1/4 in = 1 ft scaled floor plan)
 - Existing and proposed plans – 2 sets
 - Indicate if any load bearing walls will be removed and detail the use of adjoining rooms.
 - Additional plans may be required if bearing walls will be removed or relocated.
 - New and existing windows
 - Additional plans may be required if new windows will be installed or if existing windows will be re-sized.
 - Location of all electrical receptacles and switches
 - All bathroom receptacles must be 20-amp GFCI protected.
 - Details of cabinet/vanity and fixture layout.
 - List of materials used on finish floor.
 - Details of piping waste and supply.
- The permit packet submitted should include all the above items for review and any relevant permit information.
- **Delivery Options** – Mail or drop-off, M-F, 8a-4p. Online acceptance is not available at this time for this permit type. Village of Buffalo Grove - Attn: Building Dept - 50 Raupp Blvd, Buffalo Grove, IL 60089



Example floor plan – See Page 2

Step 2: Processing and Plan Review

- VBG strives for an average review turnaround time of 5-10 business days once all required information is provided. However, during high permit season times, April – October, plan review time can vary. Permits are reviewed in sequential order with no expedited review options.
- If any portion of the application is not approved, the applicant will be sent a review letter to the email and/or address provided on the application. This letter will list all the items needing to be addressed before permit issuance. Applicant must respond directly to plan reviewer in writing, providing corrected revisions as directed.
- Once approved, the applicant will be contacted with permit issuance information, fees and payment options.



Step 3: Permit Issuance and Construction Period

- **Permit Fees:** \$200 per bathroom (Cash, check, and credit card with 3% processing fee – Not Accepted: AMEX)
- **Approved plans** are given to the applicant at permit issuance and must be on-site and accessible at all times. Permit card must remain posted until final inspections are approved.
- **Construction is permitted** on weekdays, 7am-7pm, and on weekends, 8am-7pm. (Village Municipal Code, Section 9.38.037) No materials or dumpsters are to be stored on the street or in the parkway.
- **Any changes to approved plans**, including a change in contractor, require an amendment to the existing permit. An [Amendment Form](#) must be submitted with supporting documentation showing proposed changes. No further inspections will be scheduled until the amendment is approved and picked up.
- **Permit is invalid** if work does not commence within 6 months or is suspended or abandoned for a period of 6 months after commencement of work.

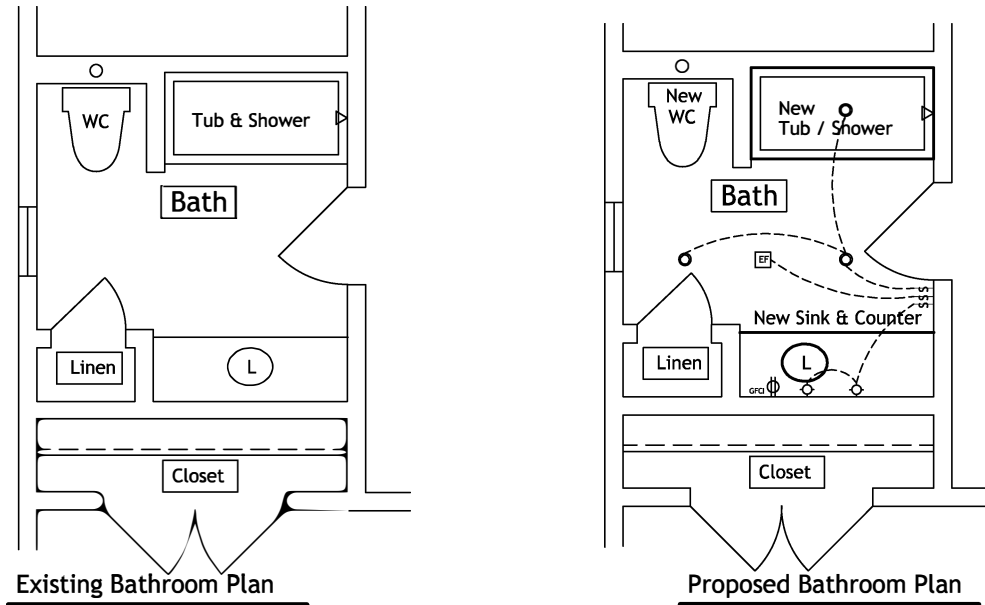
Step 4: Inspections *Scheduling Directives:* www.vbg.org/inspections

Typical bathroom remodel inspections are roughs, insulation and finals.

Step 5: Completion

Upon completion and approval of final inspections, the permit will be closed out.

Bath Remodeling Permit Example Drawing



Notes for bath remodeling permits:

1. Smoke & carbon monoxide (CO) detectors required throughout residence
2. GFCI's outlets required within 3' of each sink.
3. If wall surfaces are removed, insulation must fill the cavity & 1/2" (min.) drywall req'd, (cement board @ tub/shower locations).

Drawings should indicate:

Existing bathroom plan

Proposed bathroom plan

Space Names

Insulation locations & R-values if existing wall surfaces removed

Proposed electrical lights/outlets/switches/etc.

Proposed plumbing fixture locations

