

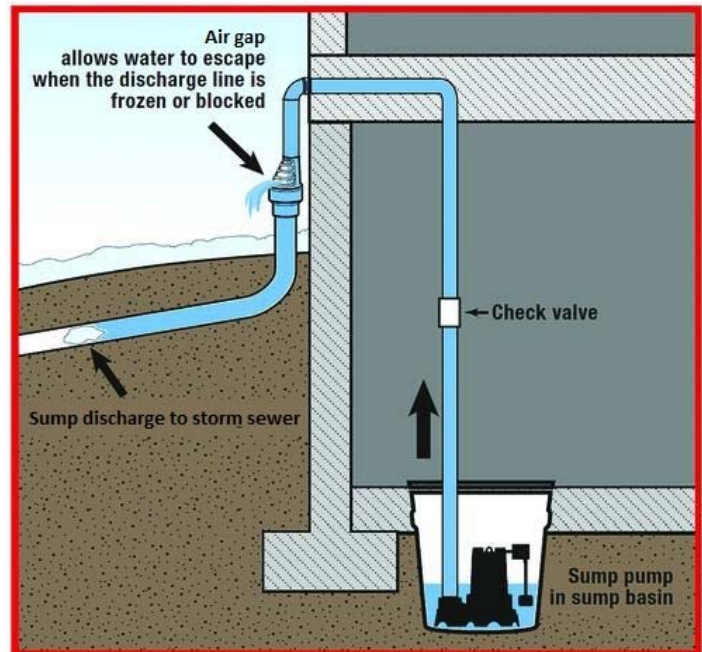
NEW SUMP PUMP/STORM SEWER CONNECTIONS

Can I connect my sump pump to the Village's storm sewer system?

- Yes, however there may not be a storm sewer or storm structure in close enough proximity to provide a connection.
- To determine whether or not storm water infrastructure exists near your residence, please contact the Engineering Department at (847) 459-2523.

Do I need a permit to connect my sump pump discharge to the storm sewer?

- Yes, a permit is required to construct, repair, or replace any connection to a storm sewer or structure.
- Permits for **new storm connections** are reviewed and issued by the **Engineering Department**.
- Permits for **repairs to existing storm connections** are reviewed and issued by the **Building Department**.



PERMIT PROCESS

Due to the uniqueness of each sump pump connection, there may be additional permit requirements. This information is being provided to help guide you through the permit process. It is the responsibility of the property owner to ensure that a permit has been secured prior to commencing any work and that all required inspections are approved.

Step 1: Permit Application Submittal

Submittal Requirements Checklist

- Completed Sump Pump Connection Diagram
- Two copies of the Plat of Survey (See example on Page 4)
 - Plat of Survey should be clean and legible
 - Show location and dimensions of the proposed route to the proposed connection point
- A detailed scope of work or proposal from the contractor, which should include:



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- Pipe material, depth of excavation, length of construction, stone base, etc.
- All contractors must be registered for the current calendar year with the Village.
 - See the “Contractor Registration” section of the Building and Zoning Resources webpage

Step 2: Processing and Plan Review

Review Period

- Average review time is 3 to 5 business days after all required information is provided.
- Following submittal of the completed sump pump connection diagram, plat of survey, and detailed scope of work/proposal from a contractor, the Engineering Department will provide a detailed letter and permit application for execution by the applicant.
- Once all items have been reviewed and approved, the applicant needs to pay the permit fee prior to issuance of a permit and the start of work.

Step 3: Permit Issuance

Permit Fee

- The permit fee to connect to the Village’s storm sewer is \$1,200.
 - The Village performs the following:
 - Excavation in the Right of Way;
 - Connection cored in the sewer/structure;
 - One length of pipe out of connection at sewer/structure.
- The fee is due at time of permit issuance. Accepted payment methods are cash, check, or credit card (except AmEx); however, there is an additional processing fee for credit card payments.

Permit Issuance

- Resident must provide:
 - All items listed in **Step 1**;
 - An executed permit application form provided by the Engineering Department; and
 - Payment of permit fee.
- After receiving the above items, the Village will issue a permit letter approving the proposed work.

Step 4: During Construction

General Information

- Construction is permitted between 7 a.m. and 7 p.m. on weekdays and between 8 a.m. and 7 p.m. on weekends (See the Village’s Municipal Code, Section 9.38.037).
- No materials or dumpsters are to be stored on the street or in the parkway.

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- Permit is invalid if work is not commenced within 90 days, or is suspended or abandoned for a period of 6 months after commencement of work.
- The Village of Buffalo Grove Sewer Department will make the physical connection at the storm structure or pipe.
 - **The applicant or applicant's contractor must coordinate the connection with the Village's Sewer and Drainage Manager, Jeff Rogers at (847) 459-2545.**

Underground Utilities

- Call 811 at least a few days before you start any digging project. Utility companies who have potential facilities in the area will be notified. Each utility company will send a locator to mark the appropriate location of the underground utility lines within a few days of your call. **For more information, visit call811.com.**

Step 5: Inspections

Required Inspections

- Final Inspection
 - Once excavation for pipe installation is complete, **Applicant must call the Engineering Department at (847) 459-2523 to schedule an inspection.**
 - **Inspection shall be scheduled at least 24 hours prior to backfilling**
 - Includes verification:
 - Materials (i.e. pipe bedding, pipe material, etc.);
 - Pipe depth; and
 - Backfill.

CONSTRUCTION REQUIREMENTS AND SPECIFICATIONS

Please note that these specifications are not all-inclusive. Additional changes or requirements may be made by the inspectors at the time of the inspection to ensure that all construction is performed to code.

Materials

- Pipe: 4" SDR 26 PVC with gasketed SDR 35 fittings
- Stone Pipe Bedding: 4" of CA-11 stone

Construction Requirements

- Minimum pipe slope of 1%
- Minimum pipe depth of 18" from finished grade to top of pipe
- 4" air gap between sump pump discharge exiting the residence and new sump pump connection pipe underground
- The alteration of the existing grade is not allowed in any of the following areas:

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- In any easement;
- Within 5 feet of any property line;
- Within any drainage way.

MORE INFORMATION

- More details and requirements can be found:
 - In the Village's Municipal Code
 - 15.12.030 – Downspouts and Sump Pump Discharges
 - On the Village's website
 - www.vbg.org/how_do_i/learn_more_about/stormwater
- Call the Engineering Department at (847) 459-2523 with any questions
- Project guidelines can be found at:
www.vbg.org/your_government/village_services/community_development_services/building_and_zoning_resources



Sump Pump Connection Diagram

**VILLAGE OF BUFFALO GROVE
PUBLIC WORKS**

51 RAUPP BOULEVARD, BUFFALO GROVE, IL 60089 (847)459-2523/ FAX 459-7944

HOMEOWNERS NAME: _____

ADDRESS: _____

DATE: _____ EMAIL ADDRESS: _____

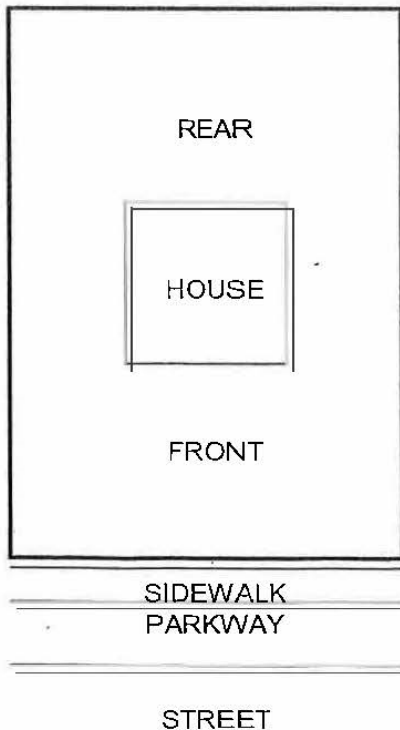
CONTRACTOR (if applicable): _____

CONTACT NAME: _____

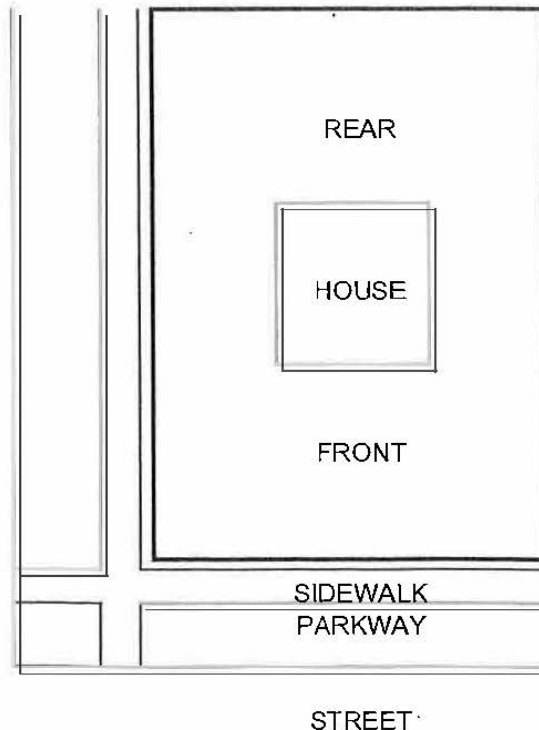
CONTACT PHONE: _____

SKETCH IN LOCATION OF SUMP PUMP WITH LINES CONNECTING TO PARKWAY AREA

INTERIOR LOT EXAMPLE



CORNER LOT EXAMPLE



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Example of Plat of Survey



PLAT OF SURVEY

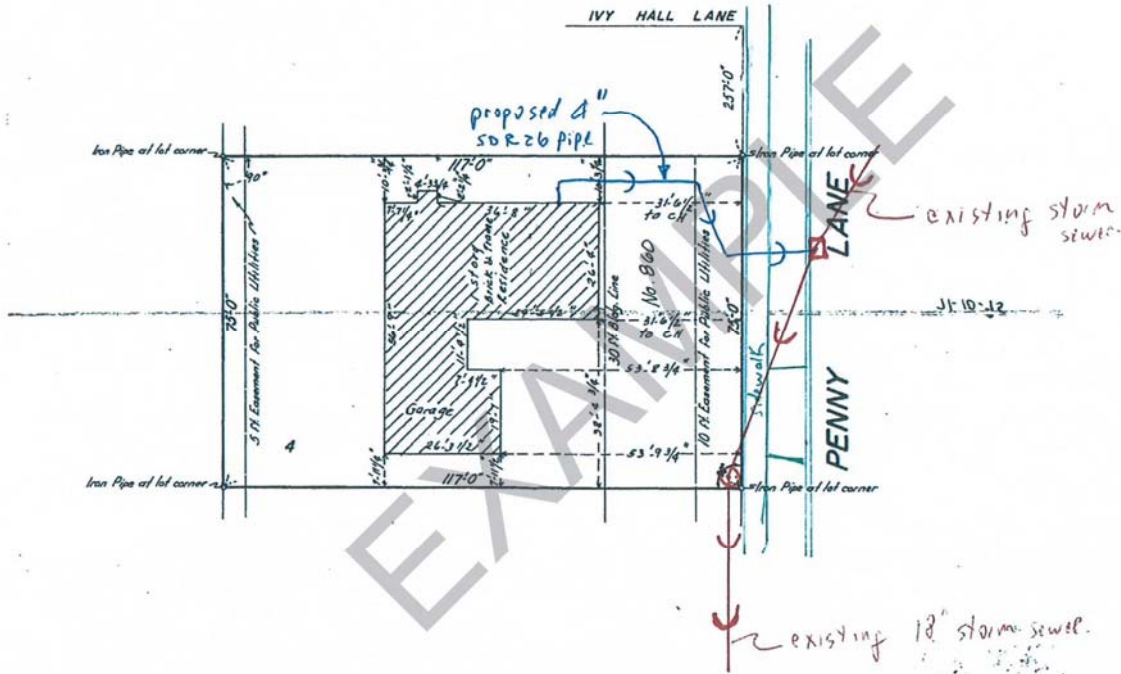
— BY —
CONSOER, TOWNSEND & ASSOCIATES
CONSULTING ENGINEERS - SURVEYORS
340 EAST GRAND AVENUE, CHICAGO, ILL. 60611
(312) 337-6900
OF

FOR _____
ORDERED BY Levitt & Sons, Inc.
ORDER NO. 71.10.75

Job # 1419
957 Penny

FILMED BY
AMP, INC.
C/O STERIS

LOT 4 IN BLOCK 26 IN STRATHMORE, BUFFALO GROVE UNIT 12, BEING A SUBDIVISION OF PARTS OF THE WEST 1/2 OF THE S. W. 1/4 OF SECTION 29 AND THE N. W. 1/4 OF THE N. W. 1/4 OF SECTION 32, ALL IN TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.



SCALE: 1 inch equals 20 feet.

All measurements are taken to and along the corner foundation of the building.

STATE OF ILLINOIS }
COUNTY OF COOK }

COUNTY OF COOK }
STATE OF ILLINOIS }

Consoer, Townsend and Associates hereby certify that a survey has been made of and under their supervision of a tract of land described in the above caption.

Carl A. Rieel, a registered Illinois Land Surveyor, do hereby certify that I have surveyed the property described above and that the plat shown hereon is a correct representation of said survey.

Chicago, Illinois, February 10, A.D. 1971
By: Robert J. Schiller
Partner

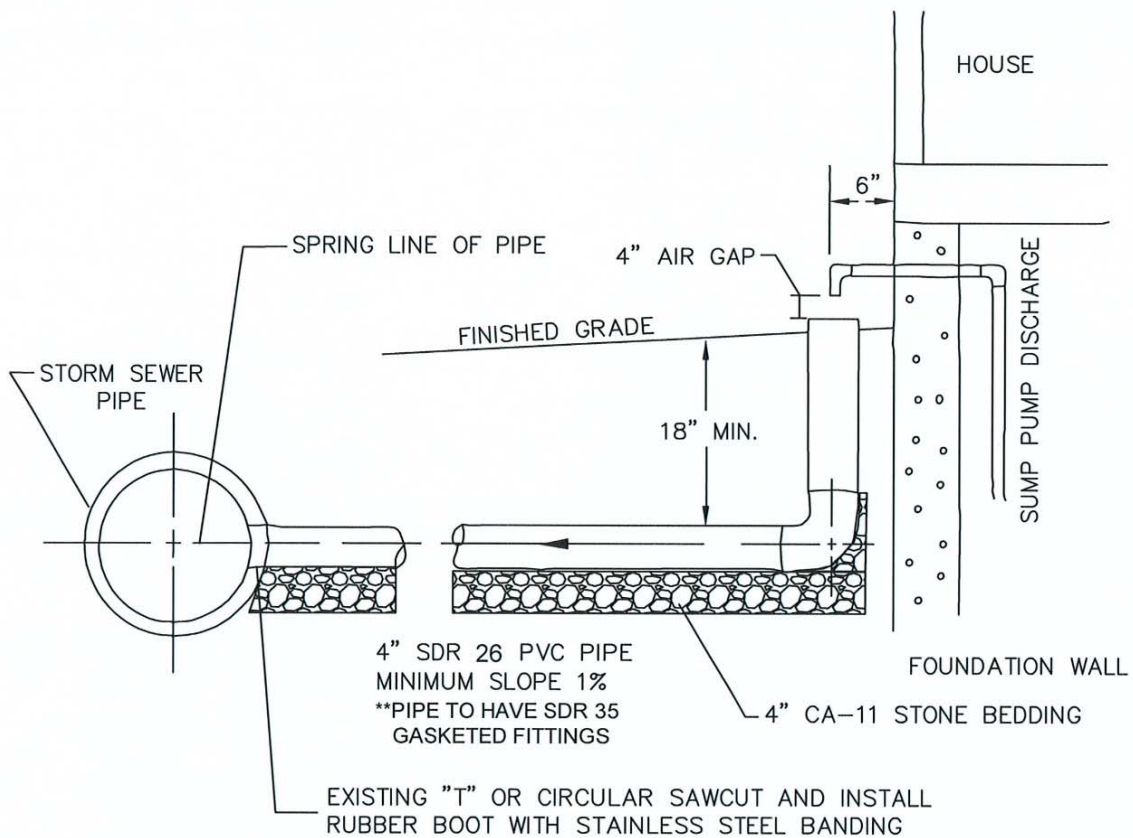
DATED THIS 10th DAY OF February, A.D. 1971
Carl J. Rieel
Illinois Registered Land Surveyor No. 1627

NOTE:
1. Please check Legal Description with Deed and report any discrepancy immediately.
2. Compare all points before building by same and report any discrepancies at once.
3. Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat.
4. Consult local authorities for building lines established by local ordinances.

LOCATION OF BUILDING
DATED THIS 11th DAY OF December, A.D. 1971
By: Carl J. Rieel
Illinois Registered Land Surveyor No. 1627

Sump Pump Connection Detail

EXHIBIT NO. 202



SUMP PUMP CONNECTION DETAIL