



Buckingham County Planning Commission Agenda
Monday, May 22, 2023 6:00PM
County Administration Building
Peter Francisco Meeting Room
www.buckinghamcountyva.org

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<https://youtube.com/live/rWhICDp2GX0?feature=share>

1. Call to Order by Chairman

Invocation

Pledge of Allegiance

Establishment of Quorums

2. Approval of Agenda

3. Approval of Minutes

A. April 19, 2023 Work Session

B. April 24, 2023 Regular Meeting

4. Public Comment

5. Old Business

1. Public Hearing Case23-ZTASUP326 Marci Lowrance

6. New Business

1. Introduction Case 23-SUP327 US Cellular

7. Reports

A. Building Permits Report

B. Zoning Administrator Report

8. Commission Matters and Concerns

9. Adjournment

**Buckingham County
Planning Commission
April 19, 2023**

At a meeting of the Buckingham County Planning Commission held on Wednesday April 19, 2023 at 6:00 p.m. in the Peter Francisco meeting room, located within the Buckingham County Administration Complex, the following members were present; John Bickford, James D. Crews III;; Joyce Gooden, Pete Kapuscinski, Ashley Shumaker, Stephen Taylor and Board of Supervisor Danny Allen. Also present were Nicci Edmondston, Zoning Administrator, and E.M. Wright, Jr., County Attorney. Steve Dorrier was absent.

Re: Call to Order, Quorum Present, Invocation, and Pledge of Allegiance

Chairman John Bickford called the meeting to order. Joyce Gooden gave the invocation, James D Crews led the Pledge of Allegiance and it was said by all who were in attendance. Chairman John Bickford certified there was a quorum- seven of eight members were present. The meeting could continue.

Bickford: Nicci any adjustments to adoption of the agenda?

Edmondston: Agenda remains the same. I don't have anything.

Bickford: Okay. I do understand. Mr. Wright had called me to the side that he has not gotten all of his legal opinions in yet. So he would prefer rather than going that he wait till we get them all in. So he will not be giving his presentation tonight. That will be off the off the agenda. So with that change, have a motion to approve with the change?

Gooden: So moved.

Shumaker: Second.

Bickford: Any discussion? All in favor Raise your right hand. Passes. That brings us to our first and only presentation. I'll let you hold it. The floor is yours.

Commissioner Gooden moved, Commissioner Shumaker seconded and was unanimously carried by the Commission to approve the agenda.

Hedi Berthoud: Testing, can you hear me okay. All right. Good evening. My name is Heidi Divya Berthoud and I reside in district five. I am on the Buckingham County committee tasked to review the state study on the potential impacts of gold mining on Virginia and have been asked by chair Bickford, to give you an overview of this study. Speaking on behalf of the Friends of Buckingham and the Virginia community Rights Network, I want to acknowledge how responsive the Planning Commission and the board of supervisors have been to resident concerns

about the potential impacts in Buckingham County. We understand that you want to take action to protect the county and you want to be on sound legal footing. Thank you. We deeply appreciate your work. Our supervisors waited for the state final report before making their unanimous decision on February 13. And I quote, carry the recommendation of the goldmine Review Committee to the planning commission to start the process to amend the zoning ordinance to ban metallic mining in any zoning district in Buckingham County, and to come up with definitions for the ordinance for metals end, quote, we're not entirely clear about the Planning Commission's role in relation to the supervisors. We respect that you need to work within your authority. We ask that you consider the county's options and advise the supervisors how you can best work with them to prevent harmful impacts from mining and processing. Slide two please. Thank you. We have noted five options that have come up in the county and been considered to varying degrees that are simply stated here rely on a special use permit require industry to first show proof of a mine of similar scope that has caused no harm prohibit gold mining, prohibit all metallic mining and prohibit the use of cyanide in mineral processing. I will come back to these options later. Slide three please. The 294 Page state study report was published December 1 of last year. The state report is a combined report. It includes a state section with more than 160 written public comments, and the 228 page report of the National Academies of Science, Engineering and medicine. The National Academies also published a clear and concise four page summary, which we previously sent to you by email. Slide four please. This study identifies potential impacts of gold mining in Virginia that should concern us. These include surface water and groundwater contamination such as acid rock drainage, also known as ARD, and sulfide bearing rock from sulfide bearing rock disturb during mining and or toxic metal discharge. remobilization of legacy mercury from past uses rare but catastrophic events such as dam failures and spills, which are increasingly which are an increasing risk because of their frequency and severity of high precipitation and flooding events due to climate change. Cumulative health effects due to interacting chemical and non chemical stressors, and groundwater table drawdown for miles around is a major local concern. Slide five please. The study also tells us clearly that our state regulatory framework won't protect us overall. The committee found that the regulatory framework of Virginia appears to have been designed for operations like crushed stone quarrying, and sand and gravel operations, not gold mining. Virginia's current regulatory framework is not adequate to address the potential environmental degradations that could accompany commercial gold mining. Slide six please. The report continues. Virginia's regulatory framework lacks an adequate financial assurance system which poses a fiscal and environmental risk to the Commonwealth. In addition, Virginia lacks opportunities for a diverse public to be engaged in permitting processes. Virginia also lacks a modern system for review of environmental impacts. These and other portions of Virginia's regulatory framework fell short in comparison to other states, the federal government and modern best practices. Slide seven, please. Slide seven lists the following inadequacies in Virginia in Virginia's regulations identified in the report. There's a need for regulation of exploratory drilling, a need for public notification information and participation. A need for site specific analysis of environmental and health impacts, a need for accurate assessment of potential long term costs. There's a need for regulation of off site processing, there are no regulations need for enforcement capacity, fines are not issued for non compliance. There is a lot lacking, wouldn't you say? I do not have time in a 20 minute presentation to address these

inadequacies in detail, but I can say more about them in the q&a if you'd like. Slide eight please. To minimize sorry, the National Academies report makes two recommendations to the General Assembly and state agencies. First, to minimize impacts to human health and the environment. The GA and state agencies should ensure that robust site and project specific analyses of the impacts are completed prior to the permitting of a gold mining project. Second, the GA and agencies should update Virginia's laws and its regulatory framework. These findings and recommendations help us understand why the supervisors decided to ask you to amend the zoning ordinance. The Virginia General Assembly and state agencies have not acted on the study recommendations. Our supervisors want to act to protect us. Slide nine please. Looking at Virginia code Virginia law gives localities the power to decide whether and where to allow, restrict or prohibit any type of mining. Virginia law. Governing mineral mining activities also allows localities to establish standards and adopt regulations about mineral mining activities as long as they are not less stringent than those adopted by the director of Virginia energy. Buckingham County officials are empowered as shown on this slide. Slide 10, please. The state study group and the National Academies were tasked with determining the potential impacts of gold mining and evaluating Virginia's existing regulatory regime. They found the potential impacts significant and the current regulations insufficient. Their report included two recommendations we saw earlier, update Virginia's laws and regulatory framework and require robust site and project specific analyses. The report for the state could not include specific recommendations about how local governments regulate mining additional resources to help you make informed decisions are available to including people. A staff representative and a committee member from the National Academies gold mining study are available to talk with you. Other scientists who have had success improving mining practices around the world are willing to talk with you about what other communities have done and how they have fared. Dr. Steve Ammerman, a biophysicist specializing in groundwater in mining, and Jan moral of earthworks who helped El Salvador adopt and maintain a metallic mining ban have provided written highlights of their work and are willing to present to you please let us know the best way for you to receive this information. Slide 11, please. Another resource recently available for you is a 10 page toolkit from the southern Environmental Law Center. SCLC developed this paper to help Virginia communities understand the land use tools available at the local level to regulate, restrict or prohibit gold mining activities. This guide says that although this toolkit focuses on gold mining, these land use tools also applied to other extractive activities, including the use of cyanide to extract gold or silver. SCLC has supported other communities who have asked for their assistance in regulating extractive industries. We understand that Katie Whitehead, a Pennsylvania resident concerned about Aston Bay exploration for metals and her area sent you a link to the toolkit. We can also provide it to you. Slide 12, please. Yet another resource is Pembroke Maine, a small community that adopted a metallic mining ordinance last year in May. The people of Pembroke did not want to take the chance that a silver mining company would be able to get around maines strict new state laws as they saw happening in other communities. So they banned industrial metallic mining. Slide 13, please, you're on it. Like Buckingham Pembroke already had several mining operations active in the town. They simply exempting exempted these industries from this law. Their new regulations do not affect the excavation of sand, gravel fill clay or any other non metallic minerals. Note the definition of a metallic mineral which may be useful to you. Any ore or material to be excavated from the natural deposits on or

in the earth for its metallic mineral content to be used for commercial or industrial purposes. Metallic mineral does not include ores of thorium or uranium. Slide 14 Please. Now I want to return to the five options available to remind us here they are in brief, rely on a special use permit require industry to prove it safe first, prohibit gold mining prohibit all metallic mining, prohibit the use of cyanide in mineral processing. Slide 15 Please one option is to rely on a special use permit. Buckingham County special use permit The application does not address the concerns and state regulatory inadequacies that we have just summarized for you. And this is an understatement because the state is not prepared to regulate large scale metallic mining operations. Neither is Buckingham slide 16 Please. A second local option for Buckingham is to is to require industry to prove it first, prove it first requires a metallic mining company before permitting to first show proof of alliances of similar scope that has caused no harm to human health or the economy. This ordinance could be compatible with a land use ordinance ban on the use of cyanide in processing. Or this ordinance could be written to take effect if a ban on metallic mining or cyanide processing is challenged. Virginia law grants Buckingham the authority to adopt prove it first. Virginia code 15.2 Dash 1200 says localities may secure the general welfare and prevent pollution of water 1102 says localities may secure the general welfare 2280 says localities may restrict mining. Prove it first law has has a 20 year success record in Wisconsin from 1997 to 2017. No permits were granted. It looks really good for Minnesota to pass a prove it first law this year. This could be a viable option for Buckingham that you could recommend to the supervisors. Respectfully as far as we know Mr. Wright has not publicly considered these options in light, and in light of these particular Virginia codes. Slide 17 Please. A third option is to prohibit gold mining it's reasonable to consider banning gold mining giving given the study's findings. The first bullet is a definition of gold mining you might find informative. Gold is not on the current list of critical minerals needed for clean energy and national security. And slide 18 Please. A fourth option is to prohibit all metallic mining. Virginia's inadequate regulatory framework not only governs gold, but also other metallic mining and processing. The EPA considers metallic mining the most toxic of all industries. Thus, our interest and the supervisors interest in prohibiting all metallic mining, not just gold. Mr. Wright has accepted the state study report conclusion that localities are authorized by Virginia code to control mining, and he advised the supervisors that they can use the zoning ordinance to effectively control mining in the county. This is from the February 13 supervisor minutes. mining industry representatives have recently argued that banning metallic mining could prevent the mining of metals on the critical mineral list. This can be easily resolved by excluding any minerals on the USGS critical mineral list. Slide 19 Please. A fifth option is to ban the use of cyanide in mineral processing. Virginia law gives localities the authority to restrict how extraction activities including processing are done. Whether accompany uses cyanide to extract gold and silver depends on many factors. The study report repeatedly stated that site and project specific analysis would be needed in order to characterize a particular operation and predict its impacts and feasibility. We know that cyanide poses significant risks. We also know cyanide was used in Virginia gold mining. A bill to ban cyanide use in mining and processing in Virginia had broad bipartisan support and the 2023 General Assembly. The cyanide bill as it was called was defeated at the last minute when many legislators were misled by the erroneous assertion that the bill would affect mining of critical minerals. The only references we have seen to cyanide in mining is in processing silver and gold. Gold and silver are not critical minerals. We support banning the use

of cyanide in mining and processing, and we see this as a stopgap measure, it would, it would protect us from gold and silver mining, but not all metallic mining. And slide 20, please. It's natural to protect what we love. In closing, I want to acknowledge that you have a complex problem before you. The state study makes it clear that Virginia needs regulatory changes, and enforcement and enforcement capacity to keep the environment and Virginians safe from potential negative impacts of industrial gold mining. Without adequate state regulations, we need local regulations. Now. We hope our suggestions are useful to you in finding the answers you need to respond to the supervisors and draft language to protect us from metallic mining and processing. Thank you again for your work. And I know this was a lot. And there are more details I could go into. And I'd be happy to answer any questions. Thank you. Thank you for listening. I know that was a lot.

Bickford: Thank you. I'll open it up to the Commission here. Anyone have questions.

Kapuscinski: First question would be in regard to slide number four. You're talking about a number of these things, including the remote remediation of legacy mercury. Would you explain to me where exactly these particular problems came from? Were they were they the result of the study that you and the group got together and did?

Berthoud: All in here. This is this is the printed copy of the National Academies of Sciences, Engineering medicine, the potential impacts of gold mining in Virginia.

Kapuscinski: That was the result of the study that you Jordan and everybody else were on, right?

Berthoud: Yes, it was. Well, that was so that was a combination of three state agencies. And they hired the NASS as they're referred to the National Academies of Sciences to do the more impartial study. So it was it was they were known as the Department of Mines, Minerals and Energy at first and also DEQ, Department of Environmental Quality and Department of Health, the three of them came together to do this study.

Kapuscinski: One other question on slide six, would you kindly explain the adequate financial assurance that you or maybe the academy came together and decided would be required?

Berthoud: Okay, you know, I'm going to pull on the in the back here, they have conclusions and recommendations, which go into it in summary, but in at length more than what I've given you. So the financial assurance, Virginia's bonding rate, I can read you a little bit if you'd like. Okay, Virginia's bonding rates are based solely on disturbed acreage. This type of bond calculation often leads to under collection of bonds for gold mining and processing operations, because it focuses only on aspects of land reclamation, Reclamation, and does not account for additional costs, like post closure, water management.

Kapuscinski: What you're arguing here is it does not it does not regard or address the consequential situation, given the fact that there was mining in that area. So the sciences are saying that the bonds either should be greater or the state should require larger bonding?

Berthoud: Yes, I believe so. Now, I want to I want to give a little disclaimer here. I did not do this study. I'm here to report as best as I can. So I like I can read to you and I've only underlined a few things. I don't know that I can go right to answering some of your questions. But hey, if you got somebody from the National Academies to come, they'd probably have your answers for you right there. So I will try and answer them as best as I can. Well, let's see. There was Stephanie who was one of the...

Bickford: Stepahnie Johnson She sent me an email after Miss Whitehead had sent the general info and I tried to catch her this afternoon I didn't get in on time. I left her message in both places. So I explained to her that we may call on her to sort of follow up and reinforce some questions here if the commission chooses to, I did not hear back from her before the meeting.

Berthoud: Great. Thank you. Thank you. Yeah, she, Katie had reached out to the chair, chair Hopkins to see if he could come, but apparently, he's very just over the top. So but there are certainly a number of other people in that there's a long list of, of experts that were on that study that they can call upon to come in and present. And I must say that each one specialized in different areas. So but I think they know this business, and they can answer your questions. Yeah.

Bickford: Any other questions from the commissioners?

Gooden: On slide two, where you have the five, five local options to restrict or prevent mining activities that came about as a result of the study. Are these the only options that came up? Or these are just five chosen?

Berthoud: Well, these are the ones that have been talked about in public here. And, and all of these could be done in a variety of ways.

Gooden: So how many other options did they offer? I'm just asking that we have five listed here. So were there other options? Besides these five?

Berthoud: Well, what I, what I would say is like, for example, to prohibit all metallic mining, there's a lot of different ways you can do that. And that's what we're encouraging you to do is to call in people who've worked with other communities, because how you write it is, is variable. And, you know, Southern Environmental Law Center has a toolkit, and they gave examples, you know, in brief of what other communities in Virginia have done to regulate extraction activities. So, I mean, it's my humble opinion that, you know, Mr. Wright, this is a specialty. And I would suggest you get all the help you can get because people are willing,

Gooden: So all this information was gleaned. And then you came down to the five options. I just they didn't list just those five options in the study?

Berthoud: No.

Gooden: Okay. So looking at all of the information that was available to you, then these are the options that..?

Berthoud: That we've been, we've been talking about with the supervisors. I believe I said on one of the slides that the state study could not advise, they were not tasked to advise local communities and how to regulate mining, they were tasked to look at what the state is doing, not at what localities are doing. So it's up to us now because the state's not acting.

Gooden: Okay. And what I'm trying to find out is who is the we that came up with these options?

Berthoud: Those five that would be us. So friends of Buckingham and Virginia community Rights Network, we lead the whatever the organization, the community organization.

Gooden: I'm just looking for the source these five came from.

Berthoud: I see I see your I see how you could confuse that. Yes, that did not come from the study, we took the opportunity to extrapolate from what the study has shown us to what our options are now.

Gooden: Right because the first slide shows the study a picture of the study. And then next is a summary Yeah, it looks as if that summary is from the study

Berthoud: Okay, thank you for the feedback.

Gooden: Clarify who the we is.

Berthoud: Very good.

Kapuscinski: To jump to slide 15 and use Buckingham County special use permit application does not address the concerns *inaudible* is something again that your study came up with a resist something the Friends of Buckingham came up with, and if so, can you explain a little more clearly why you think especially use permit would not work?

Berthoud: Well, I think it says it fairly simply there that the special use permit does not address all of the concerns. that are before us with at the at the state level. Maybe I can refer to Pembroke and how they enacted a ban on metallic mining. And that is a stronger measure than using a special use permit. But they took that because they did not trust that even their strict, which we don't have strict state laws, that even with their strict state laws, they were afraid that the silver

mind would get around those laws. So they were laying hurdles in, you know, roadblocks, as best they could. And so, you know, with a special use permit, that's like the minimal protection. You know, it doesn't say anything about how you would regulate it, if you allowed if you allowed a special use permit. I mean, you'd have to all become mining experts, if you were to allow, or, you know, just trusting God that things would go right.

Kapuscinski: This is number one, I don't see I'm not as convinced is enter that that especially use permit wouldn't help us. All right. But I don't know. And I think this is something from the attorneys take up with us, because I know we can lay conditions using a special use permit. Whereas if we try to do things in zoning to be restrictive. I know that I'm curious to find out actually, what would be more significantly challenged? I think that's a legal question. I think that's something we have to wait for EM or somebody to come and talk to us about. I'm not as convinced as you are. That an SUP wouldn't help us. Because from my viewpoint, I don't know how much of a restriction placed on mining. Before we tip over the admin for we step over the line where in fact, we become legally challenged. That's the concern I have. And I guess we can't answer that question until we have a lawyer.

Bickford: All right. Well, the I will tell you what a little bit of conversation I've had with Mr. Wright. The special use permit is valid because it's, well, twofold. It's a established framework that you work under, it's a legal framework, it's established, been used and accepted. So you have that framework that would be less likely to cause exposure for the county. Second thing is because it's established framework, and accepted for all these years by the state and other states, is less likely to be altered by political changes in the state agencies.

Kapuscinski: So I'm not as uncomfortable with an SUP approach. I would be probably in regard to what you're saying I would be somewhat skeptical unless there was some convincing evidence otherwise, that that the policing of that particular situation by the county would ensure that those conditions would be followed. But again, that would hold true if we change the zone to So policing is always an issue. I think you brought that up. But I'm not as convinced as you are, that these SUP wouldn't work, I think, SUPs are a perfectly acceptable approach. If we can get it worded correctly, although I don't know that that's the only approach.

Berthoud: So could I ask you a question? So you would use the... your approach would be to use the s up to stop it or to allow it because if you allow it, and then if you pass the SUP, then you know, you don't have state regulations adequate, or enforcement adequate to allow it.

Kapuscinski: What I would presume that I'm allowed where and I would ask the lawyers this is if we did an SUP, and then we put conditions on it. So long as the state did not disallow those conditions. It would be therefore an allowance for us to police. That's what I'm thinking. But I'm not a lawyer. And I don't know if that's the case. You see, Mr. Chairman.

Bickford: This special use permit process allows each application to stand on its own merit, and also allows this body as well as a board of supervisors to put conditions on how to accomplish what you're trying to do with that application. Whether you're approving or disapproving it. So,

again, it is the accepted framework has been. And I'm not saying that these others possibly do have merit and maybe can be brought into the special use permit and modified to fit in to make it even stronger SUP. Again, that's a question that Mr. Wright is trying to gather information for, for us to let us know. But just remember that that's the framework that is accepted and been used. And we would be operating within that with a special use permit. And I would assume that we have, which I brought up, we have some leeway to extrapolate or maybe extend out some conditions that would limit even more.

Kapuscinski: I would, I would presume that but again, I don't know. I don't know where we step over.

Gooden: I'm going back to slide two, and I'm looking at the recommendations. And so how would these recommendations affect all the other mining operations that are already in Buckingham? How would these recommendations affect them?

Berthoud: Right. Well, I think that's more of a question for....

Bickford: That's a legal question.

Berthoud: Yeah, that's a legal question. And we would love to be part of that discussion.

Bickford: I would assume that any industry would be grandfathered in, it's already existing, I don't think you could go back to that established mining operation in the county and require them to prove it safe. You know, if that was the direction we were at, I think you'd have to grandfather on the ones that aren't established, it would be just new applications that would be coming before the county.

Berthoud: Yeah, I suppose if you put new before all of these, because we kind of we used to prohibit new gold mining prohibit all metallic mining, the require industry to prove it's a first you wouldn't do that, for existing industry, it would be for only new industry. prohibit the use of cyanide and mineral processing for a new industry.

Bickford: I would like to speak to number five to prohibit the use of cyanide, that's certainly an option to go even with a special use permit, you can make it a condition. But I'm wondering if that would be the smart route to take. Rather than being specific, you could be more general and just say chemicals, with improvement in technology all the time, another chemical may come available that they can use that still may have detrimental causes, but it's not cyanide, and they've switched over to that. So if you if you specify one chemical, it might be a way to get around, if you'd use a more general concept and just like chemicals, harmful chemical?

Berthoud: Well, I'm going to do something a little outrageous and say that I think there's some people here that wouldn't be very happy about that. When we worked on the bill, the cyanide bill, it first said it to eliminate cyanide and also sulfuric acid. And sulfuric acid was actually deleted from the bill to accommodate the concerns of Kyanite. So that's the tricky thing. And

that's why we said that that Cyanide is pretty much mostly used for gold, talking about metallic mining is mostly used for gold and silver and not for the others. And so that's why we also said it's like a stop gap measure because it doesn't really take care of all those other issues. But I mean, there's like 8000 chemicals out there. And very few of them ever have ever been called back. And we're paying for that right now. Yeah. So where do you start? And where do you stop?

Kapuscinski: Concern I have and I don't know, I guess maybe this draws me back to SUP. Because we can do the case by case with SUP. Turns me that if we were to ban chemicals, I don't have any problem with banning of cyanide in a mining operation. I just wonder whether or not they would bleed over into insecticides and things like that, that farmers use that are necessary for their cattle and their crops. I don't I and again, this may be a legal question, but it seems to me that again, if we if we tip this cabinet over, I mean, how many other businesses are going to be affected? If we don't word this thing extremely carefully. I especially as it relates to chemical.

Bickford: And that's, that's why I'll say, I don't think you want to be specific. You just like chemicals and not banning it just...

Kapuscinski: Do we have to say chemicals in a specific process? Or for a specific?

Bickford: That would probably be a legal question that we'd have to look at

Kapuscinski: I'm sorry, it concerns me that, that we might end up bleeding into farming or...

Bickford: You don't want to do that. And that's, if we have to be specific, but I'm just thinking out of the box and just in general chemicals, and then you see what is going to be used in application and how harmful it is. It would only be the chemicals that are specific for that application that are to be looking at.

Kapuscinski: Totally agree with it. I just don't know...

Bickford: I don't know, again, that's legal grounds.

Kapuscinski: Don't know if it'd be limited there. Or if we're going to open up Pandora's box that's concerning.

Berthoud: If I might say to if this is any assurance to yeah, you definitely need legal guidance on that. But my understanding and having looked at other communities, and that's why I really encourage you to get other people who have successfully moderated mining activities elsewhere, that you get, you see the wording that they've chosen, because you can be very specific about what you want to eliminate is my understanding. And so again, you know, getting southern Environmental Law Center getting Jan Morrell, who has helped Steve Ammerman, they've both worked on the language of moderating mining activities in other communities successfully. Montana has a ban on cyanide, you can take a look at that. It's really simple. It just

like the bill that we proposed to the General Assembly this year, the ban on cyanide, really simple. It's like a text amendment. So it's very, it's very simple. I don't know how you would do it at the local level. But because I haven't we haven't seen anything. It's a local level banning as an example. But you know, I don't, you know, there's a lot out there. And again, you have resources that can advise you that are happy to that's what they do. They're helping to, you know, clean up the mess all around the world.

Kapuscinski: Ma'am, have you? Have you submitted a list of those individuals we can use for resources to our chairman?

Berthoud: I have. I believe I've given you, Dr. Steve Ammerman and Jan Morell. But I can I can certainly send it again. And southern Environmental Law Center.

Bickford: I have all three Steve, Mr. Ammerman, Jan Murrell and Stephanie Johnson.

Berthoud: Yeah. And southern Environmental Law Center that they would be because they, you know, they, they've already been working. They already helped other communities draft. Ban like I sent you I sent you all the two examples of two municipalities that banned fracking. It was Augusta and County of Richmond.

Kapuscinski: I don't know that we're going to be able to do any kind of decision making here at this point in time. But I would certainly be interested in listening to what some of those people have to say specifically about the wording. That would be of your interest? I don't know.

Bickford: Well, before we get into that discussion anymore questions for Hedi?

Berthoud: Yeah, I just I guess I want to say one more thing. Again, yeah. The language I think if you see a few of them, it'll give you some ideas. Because I've looked at a few of them. And I find that really helpful to see what others have done, why reinvent the wheel? That can be very instructive. So any other?

Bickford: I appreciate your presentation and answering questions.

Berthoud: Well, thank you so much for all your questions and your attentiveness. Again. I know this is a lot and you have a lot of other things on your plate, but we got to deal with it. Thank you.

Bickford: Thank you. That brings us to our discussion. One we don't have the legal answers. Or not answers I guess really. From Mr. Wright yet so do we want to schedule another work session. And do you want to invite some of these other speakers? What's the pleasure of the commission here? I don't know. Mr. Wright, will just have to let us know when he has those other legal opinions in so he could, you know, answer your questions. We can set up another work session and hope that he's got those at that time.

Kapuscinski: You know, if Mr. Wright, Mr. Chairman, do you know if Mr. Wright , would be willing to have at least another attorney in here who seems to have some knowledge in this?

Bickford: I would suspect he would prefer just to give his opinion and to the commission first. We'll I'll let him speak for himself.

Kapuscinski: Question is would you be willing to have an additional another attorney in here who's been familiar with this stuff? Discuss this with us as well? I mean, it's your call I'm just asking.

Inaudible

Shumaker: Mr. Chairman, I'll chime in on that I think by asking other attorneys or whatnot to come in, I think inadvertently, we're creating some bias because we're asking people to come in that do have experience and have made noteworthy changes in their communities. Whereas I can only imagine that there are more than not communities like ours that have chosen to stay within the framework. They have existing, like special use permits until the Virginia State Assembly can make more headway. You know, right now we're trying to operate in parallel while they're making progress. And I think that that's difficult. So I can only imagine that there are other communities that have just chosen to stay until there's more legislation that supports it. So I would, I don't know that I'd be comfortable inviting in people on this side who have chosen to take action. So I think we have a very valid concern on this board that what we have existing is equally sufficient. So I think by bringing in a bunch of people who have supported banning and some of the stringent things, I think we are creating some bias that maybe we're not thinking about.

Inaudible

Kapuscinski: I think honestly we ought to have Mr. Wright come in here and tell us what he knows. And let us suggest it I think it's going to take maybe one not just one meeting but I'd like to hear legally what he thinks the laws allow or in fact, I've even got another question because quite frankly I don't think the state not addressing something is an automatic negative toward our addressing it. And I need to get I need to understand that because it seems to me if we can't be less restrictive, that means we could be more. And quite frankly, if the state doesn't have the regulation that we need. I don't think that limit it doesn't say anything. It doesn't say something like you cannot have that regulation it wouldn't it that doesn't necessarily make me believe that we can that we cannot have that regulations as an independent locality. I really, I don't know that answer. And I want to find that out. Because I think that has a lot to do with what we're going to end up in wording. So it'd be good to listen to this thing for an hour. But then I think we're probably going to have to go on and listen to a few other things for we come up with a recommendation now. That would be my view.

Bickford: Everyone in an agreement with pitch suggestion that we scheduled another work session when Mr. Wright has got his legal opinions together?

Allen: I guess we can. I mean im kind of looking at what's already on zoning. Just like in a one, mining and quarry, have to have a federal and a state license and or state license. So it'd be good to know what those license are required. And then part of our special use permit says, you know, the planning commission and Board of Supervisors can make changes in the ordinance. At same time, we got to go by what's in the Code of Virginia. So to me, the Code of Virginia is something we need to look at that and know where we can go forward reverse. And that's it. It just tells you right now what we're looking for one of the things is to reduce soil erosion in a one so that could be a big deal at preventing water pollution protecting watersheds, reducing hazards of floods and fires as just part of our zoning. To me we got a lot there to work with. The Code of Virginia and the two permits from state and federal would be two good days to see where it would put us.

Bickford: What you're referring to is just working through the special use permit process?

Allen: To see what we already got and see what we already can do. And that's a big deal. See how it's gonna affect what we already have

Bickford: In saying that does Pete's suggestion favorable for all the commissioners for the scheduled work session for Mr. Wright. Get his legal opinions on whatever he gathers. And if that's necessary, which should probably be I think thats probably the right call. We'll then have him possibly have another other work session before we make a final decision on what avenue we take. Nicci, we'll go ahead. I guess we'll schedule. I'm not sure if Mr. Wright will be ready. We'll have gathered all his opinions at that point. But we'll tentatively scheduled for May.

Edmondston: Yes, sir. Mr. Chairman, the work session is tentatively scheduled for May 15. The third Monday.

Kapuscinski: Can't do that. That's the planning commission training session in Richmond. Yeah, that's a comp plan, right.

Edmondston: I think the training session is that the week prior or is that the 14th and 15th 14th 15th. Remember, this meeting starts at 7, it was moved, an hour. And looking at what will happen from CRC, they submitted their schedule, I have that handy. At the may meeting with CRC, it will only be a discussion of where our community meeting will be held. So I wouldn't anticipate that we would have a ton. After that, I could if there will be availability within the agenda for that day in May. And then moving forward to June, it appears that CRC would not be here at our work session, they would be holding the community meeting and then in turn, come back to us in July to discuss the results of the community meeting. So we, as the planning commission do have availability in the agenda for those two potential work sessions.

Bickford: Alright, I'm going to ask the participants of the training, adding on to that work session. Do you all will be in class and then traveling back from Richmond when we moved back to seven o'clock, but that Mr. Wright already indicated is going to add at least an hour to it? Do

you feel comfortable doing that? We were tentatively setting up for may on our work session for you if you have those vendors.

Allen: We're just gonna move it back Make it seven instead of six o'clock

Bickford: We'll go ahead and schedule it for that and we'll give you whatever time you need because I'm sure we're going to have some fun.

Inaudible

Bickford: That's it decided we're going to set it for May...

Edmondston: May 15th 7PM.

Bickford: All right. That brings us to commission matters and concerns, have anything they want to voice at this time? I'd say none. Do I have a motion to adjourn?

Kapuscinski: So move.

Allen: Second.

Bickford: All right. All favor, raise your right hand. We are adjourned. Thank you.

Commissioner Kapuscinski moved, Supervisor Allen seconded, and was unanimously carried by the Commission to adjourn the meeting.

There being no further business, Chairman Bickford declared the meeting adjourned.

ATTEST:

Nicci Edmondston
Zoning Administrator

John Bickford
Chairman

**Buckingham County
Planning Commission
April 24, 2023**

At a meeting of the Buckingham County Planning Commission held on Monday April 24, 2023 at 6:00 p.m. in the Peter Francisco meeting room, located within the Buckingham County Administration Complex, the following members were present; John Bickford, James D. Crews III;; Joyce Gooden, Steve Dorrier, Pete Kapuscinski, Ashley Shumaker, Stephen Taylor and Board of Supervisor Danny Allen. Also present were Nicci Edmondston, Zoning Administrator, and E.M. Wright, Jr., County Attorney.

Re: Call to Order, Quorum Present, Invocation, and Pledge of Allegiance

Chairman John Bickford called the meeting to order. Steve Gooden gave the invocation, Ashley Shumaker led the Pledge of Allegiance and it was said by all who were in attendance. Chairman John Bickford certified there was a quorum- eight of eight members were present. The meeting could continue.

Bickford: Pete is out of state but he is on the phone would like to participate? I do need a motion for him to join us by telephone.

Dorrier: I'll make a motion that he participate.

Crews: Second.

Bickford: Okay. Have a motion a second. All in favor? Raise your right hand. All right, Pete, you are in the meeting and that gives us a full quorum. Nicci, is there any changes to the agenda?

Commissioner Dorrier moved, Commissioner Crews seconded and was unanimously carried by the Commission to allow Commissioner Kapuscinski to join virtually.

Edmondston: Chairman, Bickford there are no changes at this time.

Bickford: Okay, so proceeding on do I have a motion to approve as presented?

Shumaker: So moved.

Gooden: Second.

Bickford: All in favor, raise your right hand. And that agenda is approved. That brings us to the approval of minutes. We have the march 27 2023 regular meeting minutes. Do I have a motion to approve or someone found a mistake or anything?

Commissioner Shumaker moved, Commissioner Gooden seconded and was unanimously carried by the Commission to approve the agenda.

Allen: So moved.

Shumaker: Second.

Bickford: Motion and second to approve as presented. All in favor? Raise your right hand. Minutes pass. That brings us to public comment. Do we have people signed up?

Supervisor Allen moved, Commissioner Shumaker seconded and was unanimously carried by the Commission to approve the minutes as presented.

Edmondston: Yes, we do. Mr. Chairman. The first person signed up this evening is Michael Morris. And he will be followed by Annabelle Bryant.

Bickford: Okay, thank you. Mr. Morris please come to the podium state your full name address. You have three minutes. Thank you

Michael Morris: Full name Michael Morris Address is Appomattox but i live in Buckingham County live near holiday lake 465 Morris Forest Lane. And good evening, everyone. My name is Mike Morris. I'm a lifelong resident of Buckingham County. I've worked at the Kyanite mine for 19 years. So Kyanite mining proactively pursues mining excellence, and environmental stewardship every single day that we operate. Consequently, our mine has earned several state and federal reclamation awards that are recognized across the state as models for environmental stewardship and efficiency. So I attended a work session, I guess it was the 19th. It's a little unclear to me exactly what proposals the board and committees are seriously considering. However, it seems logical that all considerations should not only look to Kyanite Mining's exemplary past performance, but also to future logic and efficiency in all mining operations. One thing that bothered me just a little last Wednesday was that it seems that there is an idea to ban extraction of yet undiscovered resources as they are uncovered in an existing man. For example, if an existing man on earth and unexpected resource in the future that can be used, for instance, in a computer chip or in a battery or in some unforeseen invention, that will promote environmental excellence in the world, it would be illogical to make rules now. That would impede those efforts. Consider if you will for a second a medical comparison just for an example. If your heart surgeon has your chest opened up for a procedure, much like our mind is already opened. And the surgeons goal is to repair a hole in your heart that he knows is there he knows that exist? Does it make sense that he would ignore a second hole that he discovers while he's performing that same surgery while you're open? Why would anyone deliberately deny the need or impede a common sense heart repair when the second unexpected issue is found? The same logic should apply to future mining activity as well, especially when the activities are to be performed by a proven responsible community partner like Kyanite Mining Corporation, because in fact, logical extraction of an undiscovered resource could ultimately prevent some other new mine from unnecessarily being opened. And summary and I believe this with my heart Kyanite

mining corporation is a good neighbor because we strive every day to be a good neighbor. Please consider our past our future and very carefully consider all decisions that could impede logical mining activities in the future. So thank you.

Edmondston: Annabelle Bryant, followed by Harris Lender.

Annabelle Bryant: My name is Annabelle Bryant. I'm 14 years old. And I'm speaking for Marci. I've been playing softball since I was four years old and it's always been a little bit political as a coach's kid always got to good positions, and extra help with the sport. So with Marci she does not care who your parents are, she does not care who you are. She's here to be a good coach and to help you become a good softball player as you want to be. And I think she should be able to continue her lessons. They've helped me. They've helped my sisters and they helped my cousins and plenty of girls in Buckingham County. I really enjoyed everything she does for me, and I'm sure all the other little girls do too.

Harris Lender: My name is Harris Lender. I live in district five. I am really concerned about the discomfort that I hear about inviting more experts with experience to inform you guys have how other communities have successfully created local and state law to stop metallic mining. I'm also concerned about those of you who have not spoken up. So please show us you understand and that you care because we need all hands on deck. You had over two hours of input from local industry whose messages stay the course metallic mining is not so bad. Nothing a little baking soda can't handle. And we provide jobs for the community and financial donations to local groups in need. You had a mere 20 minute presentation about the state study, which concludes the state's regulatory framework cannot protect us from the significant impacts of gold mining. Also, there was some discussion of options that had been tossed around briefly by the county. Mrs. Shumaker sorry. You said that you are concerned about the bias that other attorneys and experts would have because they have chosen to take action, but not one on this commission expressed concern about industry's bias when they were presenting for over two hours. The experts who have successfully curbed metallic mining could instead be seen as a resource to help you on your task of doing what they have already accomplished. They are not anti mining. They are pro life, pro clean life healthy clean water, air, soil and healthy economies. They can help us understand what is possible. The supervisors are convinced they don't want metallic mining, but it seems that you need convincing of the extensive history of problems of metallic mining. Even the EPA calls it the most polluting industry. What I heard you say as you think the existing regulatory framework is good enough until it is improved upon. The state study says Virginia regulations are clearly inadequate, but nothing is being done. The state missed their opportunity to pass a simple, popular bill to ban the cyanide process this year. If they can't get that stopgap measure passed, why would we expect them to pass recommended sweeping reforms? It's up to us to use our local power to do what we can to protect ourselves. The state cavalry is not coming to save us, we are the cavalry. So please invite these experts in, they generously give freely of their time and they care deeply about the welfare of all life on the planet. Please invite them now. They are very busy people too. Thank you.

Edmondston: Hedi Berthoud followed by Mindy Zlotnik.

Hedi Berthoud: Good evening Hello my name is Heidi Divya bear too. And I live in district five. I have a friend who is a history teacher in Charlottesville who supports us and likes to follow what's going on with our work to stop metallic mining and Buckingham County and the State when he saw this book, which I forgot to bring, when he saw this book, which I'm going to talk about. It really hit him what fantastic work we have done. He asked if you'll appreciate what we've done. And I said, I don't think so. And he insisted that I let you know what a big deal. This is. Okay, so do you remember me showing you this book, it was the it was the NASM study, the National Academies of Sciences study was a big book, and it was the printed copy of the final report. And so when I gave you the report last week, I showed it to you. And so you have to use your imagination on that. So this is our important contribution to Buckingham and all of Virginia. I do hope that you read the four page highlights of this report, which I sent you today for, there's a link for it. For others listening online, you can go to the Friends of Buckingham goldmining webpage to find the link to that to that four page report. I feel like seeing it for yourself and making it more real how impactful metallic mining on any economy is would lead one to want to make a strong stand to stop the troubles from trespassing on health and on our health and welfare. The task before you to ban metallic mining is challenging and complicated and we understand you want to avoid a lawsuit from industry from for loss of future profits. Compared with the potential high impacts and losses from metallic mining potential. Strong measures with higher risks are at stake. Yes, it's important to review existing county zoning codes and see just how unprepared we are for metallic mining. The county does not have the capacity to develop adequate regulations and conditions required to permit metallic mining. We know from the state study how ill prepared the state is not only are the state regulations far from adequate but also there is minimal oversight and enforcement of requirements. State agencies are not able to levy fines for non compliance. Just want to make sure you got that this took my breath away when I first heard that we are learning more about how you could work with existing zoning code. The southern Environmental Law Center toolkit has some examples of how other counties have handled this problem with different trade offs and risks to way we all want an easy answer but I think we're gonna have to work for it. Thanks for finding the best solutions for all of us and thank you for letting me go over.

Mindy Zlotnik: On April 18 Heidi Berthoud presented a summary of the state study to you as requested. It was followed by a discussion among you of how keeping the status quo of the SUP would give you a lot to work with. And you should see what you already have on the books. This is exactly what the local mining companies suggested at the last planning commission work session. So it came as no surprise to hear you all go down this route. It was noted in the discussion last Wednesday that the company would need a federal and state license before beginning work. From this comment of supervisor Allen, I quote the code of Virginia and the two permits from the state and federal would be good things to see where they put us at. It sounded like he thought these permits would provide safety for us. But we know that the state from the state study that the state does not have regulations in place that would provide that kind of protection. updating these regulations is one of the two recommendations made by the study. The SUP is necessary and must be in place before getting those state and federal licenses. The SUP is the doorway that companies must go through before going to the state and federal

permitting process. If Buckingham County gave a company the green light with an SUP, the state would assume the county wants the industry and they in turn would give the state permit. It becomes a circular argument. Virginia code 15.22280 gives local municipalities like Buckingham County permission to regulate, prohibit and restrict mining in their area. We have heard affirmation of this fact from Joe Lurch from Vaco am right the county attorney and SCLC in their toolkit for local municipalities. Have you all been influenced by the self serving to our testimony you heard from local mining industries. During those presentations, no one on the planning commission. The mining companies or the state edge agencies ever mentioned the state study its findings or its recommendations. Last Wednesday after the presentation about the state study. Your discussion reverted back to the SUP the recommendation of the mining industry. No one wants metallic mining in Buckingham County, except maybe the local mining industries. Why not exclude them from the picture and make this zoning amendment cover new metallic mining interests and get on with it. Protect us now. The state is not going to do that anytime soon.

Karen Kreps: Thank you for your time. My name is Karen Kreps. My place is in district five. I'd like to know if you're outraged by the damage metallic mining has caused around the world. I'm concerned that you have not grasped the seriousness of just how damaging metallic mining is. Why am I concerned? Because of your talk of using the existing special use permits to protect us. A permit could allow it to happen. The supervisors asked you to create law to ban metallic mining. I know it's not that simple. But please, more of the same is not good enough. Relying on a special use permit is not the answer. The word special use permit says it all. It means that under special circumstances, a permit could be approved. We don't want to leave the door open for a permit to be issued under any circumstances none dont give them an inch. The state study says that the state protections are inadequate in many very concerning ways. If you let in one mine, the state study clearly says clearly that the state cannot protect us. It actually says that even with the best of regulations, the risks cannot be completely eliminated. No state or local requirements will be enough. Just say no, you commissioners are talking about working with existing zoning code, the special use permit to tweak it and make it stronger. That does not do the job of stopping this cold. The locality is the very first place industry goes to get permission a permit required for a metallic mine. We are the front door to mining. The county has the power the permission from Virginia state law to open the door or close it and keep it closed. You can ban mining, no mining. Once that door is open, the state gets a green light to move forward with the rest of the permitting process. There is no pending reform in the site with adequate protections of Virginia regulations. We have to stop it here now. The SUP gives current or future supervisors the option to open that door. You don't get to walk that back. Anytime you get an application for a metallic mine. The current supervisors and planning commission would need to be educated all over again about the extensive, complicated issues. Do you see the county having the capacity to take that on, you may not always have active resident watchdogs or fair minded supervisors to make wise decisions. Your constituents are counting on you to create a law that will stop the process effectively now, thank you very much.

David Waters: Good evening, my name is David Waters, and I live in district five. You are being asked to prohibit metallic mining and all zoning districts. You have permission by Virginia

law to prohibit extraction activities. Nonetheless, you're very concerned about being sued. And so you were looking at tweaking existing special use permit zoning code which might not expose the county as much as an outright ban, a permit is just that it could allow metallic mining, we can and we must be stronger. Earlier this year, the cyanide Bill House Bill 1722 was proposed to the General Assembly, but not passed. It was a simple text amendment to existing state law, which said no minor or other person shall use cyanide or a cyanide compound in any mineral mining or processing operation. Cyanide would be banned for this specific use and would not limit other industrial uses. That would stop large scale gold and silver mining for now as Cyanide is the most efficient method of separating these metals from there or you were sent examples of two Virginia municipalities that banned extraction. They are simple and very informative. Have you looked at the Pembroke mane ordinance banning silver mining a nine page ordinance? I think it would also be helpful to look at this. The following are excerpts from Virginia codes that support your task. Here they are in brief 15.2 Dash 2280 locality may by ordinance, regulate, restrict, permit or prohibit the excavation or mining of soil or other natural resources 15.2 Dash 1200 any county may adopt such measures to secure and promote the health, safety and general welfare of its inhabitants. Such power shall include the adoption of regulations for the prevention of the pollution of water, which is dangerous to health or lives of persons residing in the county 15.2 Dash 1102 a municipal corporation shall have and may exercise all powers which are necessary or desirable to secure and promote the general welfare of the inhabitants of the municipality and the safety health peace, good order and comfort of such. Again, the special use permit could permit new mining. You have been asked to ban new metallic mining, not allow for permitting under special uses. You have three basic options which could effectively accomplish this prohibition. Ban new metallic mining ban the process using cyanide or adopt the ready to go no toxic trespass prove it first ordinance. You know which one we want. As you've heard the prove it first ordinance was successful in Wisconsin for 20 years. Understanding these options is a part of your task. Thank you for your service, like Sure.

Kenda Hunanman: Good evening, I'm Kenda Hunanman. I'm Commissioner Dorrier district five. And I haven't heard anybody congratulate you yet. But I think you work very hard. And I think you deserve that raise you got tonight. So I'm glad to see you're appreciated. I was really impressed. And I heard from several of the officials here in the county how impressed they were with the PowerPoint that was presented at the work session. That was last week. I think that Heidi and Mindy did a tremendous job putting that together. They went to endless hours to get that information for you. I hope it was useful to you. I know there's been talk about a definition and needing a definition. I haven't heard any more discussion is that been discussed at this point about what metallic mining is and if you can answer me doesn't look like you can. I don't hear much from you. Honestly, I would like to speaking of which I spoke with or emailed Miss Edmondston about not being able to hear him right last week. And he had some useful things to say I was in the audience. So I did hear some of it, but not all of it. And so I asked if it would be in the transcript. And she said, No, it would just be listed as in audible, which I think is a real loss. And the public needs to be aware of what's going on. They're not showing up here all that often. But I noticed that the recording of the work session was not posted on the county website. I think that's really important that people were able to have access to that, I hope, you'll see that that happens soon. And I really hope that you're planning to get these other experts in to speak to

you we do want a fair and balanced input on this thing so that you can make a real full decision on what you suggest to the Board of Supervisors. I hope you'll ask them to think about this rights issue. I know you can't rule on it. But the board they've got an ordinance, it's finished. They could go ahead and approve that right now. While you're still working on getting whatever zoning information you need. Thank you.

Alan Binstock: Good evening, I'm Alan Binstock, thank you for taking the time to hear me. I'm a resident of district five. And I'm glad I have a moment to be here with you folks. I'm also a retired planner from NASA's Goddard Space Flight Center. And when I think about it, we had incredible pressures to get a aerospace program moving forward. But I think you guys have heavier pressures around you. Because this isn't about definition alone. It's about with the will to do something. And that has to come from looking, I believe at the bigger picture, which is what we are trying to do we want economic development, we need a tax base. We understand all that. But what is our quality of life going forward? Good Roads won't help if it comes from gold mining, because we'll have to move we can't live next door to it. We can't do have the quality of life we're looking for. So I believe our future is going to veer in a different direction. I hope it will. And I don't know that it's vineyards. I don't know the answer. But we see it in counties around us that do grow and do prosper from the abundant sunshine and natural resources that are here. Gold mining won't provide us that. So the challenge, I think for you guys is how to do it, and not stay up at night worrying about lawsuits, et cetera. I heard a word mentioned earlier by brethren from the doing the Kyanite mining and I think he's dead on he's right stewardship, we all have to be stewards of this county of ours. And I think the fine line can be drawn. And you folks are experts in your corner. I don't know about the specifics. But I do know big words like cyanide, and other types of things that are toxic to our water system, to our air and to our lives. And I do know that this, the mining near us will drain our wells as it's already started to. So I think it's about not just finding out how to do it, you can do it. You're all right, folks. I did a little bit of checking. You guys are smart guys. But to actually do it and make it happen. Certainly not put existing operations at risk. But draw a line when it comes to using the very materials that have never succeeded. never succeeded. We looked at all case studies and you've heard from people before us, there aren't any success stories when it comes to cyanide mining and non metallic mining. It can't be that hard to define. I would be if it's of any use. I'd be happy to help. But I think you've got this thank you for your time. Thank you sir.

Edmondston: Katherine Thimnakis followed by Stephen Fisk and Mr. Fisk will be the last speaker of the evening.

Katherine Thimnakis: Katherine Thimnakis Glenmore district. The practical proposal tonight is for forming immediately a town council, working for Buckingham economy, Buckingham prosperity, local planning works. Now that you have considered potential permits for the new Canton area, there are wonderful possibilities. Route 15 connects with Fluvanna, which is a wealthy Charlottesville suburb consider that local investment in a unique family restaurant would be most successful. First, the administration create creates policy, which prioritizes who gets the permits. Keep it all local. By planning strong policies, values are all about sustainability. Then invite millionaires local millionaires needing to invest in family enterprises. Policy stops outside

profiteers from exploiting, they are not even members of the Chamber of Commerce for \$40. Healthy delicious menus served by health oriented Buckingham businesses means certain success, how many truckers and hardworking laborers know from their doctors they need to eat healthy, but hard to do without such places. With large parking areas such restaurants would be a godsend, and retirees could have safe healthy and very sociable meeting places, build green with sustainable local products means respect. We go where we are respected. With the support of the town council. The administration has access for practical resources contributed by we locals, promoting investments, a type of resources economy library, young people need their space, Rada Midkiff opened downtown a great vegetarian coffee shop on this building, but Covid close to down it should reopen. But the problem was parking. They lost without street space out on the highway. Such a local cafe is ideal for young people, residents have to go to Charlottesville, very successful, our small town. The interiors are all wood with walls of books. And this way the young people operate these cafes where they can all express mindful artistic ideals. This is a big success round the corner please.

Stephen Fisk: Thank you and good evening. Good evening. I am a new resident of Buckingham County 288 Liberty Lane just moved in, not even five months here. We moved here because we wanted to clean air, clean land, clean water, the health of living in a beautiful, natural environment. And it is alarming to arrive here and to be in a confrontation with gold mining interests. When I came to the planning commission meeting where the mining interests represented their interests. I was astonished that there was nobody here representing the specifics of gold mining. And gold mining, as you know, has no record of being beneficial in any way to the community in which it is becomes established. So I stand before you absolutely and completely opposed to gold mining in this county. The world is moving towards the end of extractive extraction and exploitation of our land as a process of moving toward renewables. And that's what we need to do. And of course, I understand that there are minerals in this land that may be found that will be beneficial to renewable products. But on the other hand, when it comes up against the deleterious and harmful effects of gold mining, we've got to say, Absolutely, no. And the last thing I want to ask you about is the rights based ordinance. You know, I've heard it said that we don't need that it's already understood. But what happens when you put something in writing, whether it's in the Bible, or whether it's in the covenants of governance, that when you put something down, it becomes a covenant, it becomes a written protection, to save lives, to have clean air, clean land, clean water? That's what we're here for. We're here for a quality of life. That does not include gold mining. Thank you for your time.

Bickford: That's all the speakers?

Edmondston: Yes, sir.

Bickford: All right. We'll move forward to the old business. I see you have listed metallic mining I assume to reference the work session will have coming up.

Edmondston: Yes, sir. The upcoming work session may 15.

Bickford: Okay, when Mr. Wright was going to give his legal summary of what of all the options that were in front of the planning commission on the past to get to where they were been charged to get to as far as metallic mining. I would close out and we'll move on to new business the introduction of case. Marci Lowrance.

Edmondston: Yes, sir. Mr. Chairman and members of the Planning Commission, we do have an introduction tonight of case 23SUP ZTA 326. The landowner is David Christian of 287 boxwood drive Arvonnia, our applicant is Marci Lowrance 246, boxwood drive Arvonnia. The tax map and property information includes tax map 68 parcel 37 contains just over 25 acres and it's located at 59 Gold Hill Elementary School Road in New Kent and then it is part of the Marshall magisterial district. It is currently zoned light industrial M one and the request before you this evening, is that the applicant wishes to add a zoning text amendment for a private recreational facility to a list of special uses in a light industrial in one zoning district and apply for a special use permit for that purpose. As I mentioned, this property is located at 59 Gold Hill Elementary School Road in New Canton. The property is currently zoned light industrial in one and this is a use not provided for in this zoning district within the zoning ordinance. However, the applicant has made application to add this use through a zoning text amendment and also to apply for a special use permit for this purpose. This use may be permitted by the Buckingham County Board of Supervisors by the zoning text amendment and a special use permit following recommendation by the Planning Commission in accordance with this ordinance and the Code of Virginia. The Planning Commission may recommend and the Board may impose conditions to ensure protection of the district if both the zoning text amendment and the special use permit are approved. The application and narrative and complete application are attached. As you have seen last week when this packet became available. There are 10 conditions currently suggested to this special use permit and zoning text amendment. Would it be the wishes of the planning commission to hold a public hearing? And if so, would that be possible to be held on the regular meeting night of May 22 at 6pm. That question is before you I do have the applicant Miss Lowrance here in the audience this evening along with the landowner for questions and concerns at the planning commission.

Bickford: Would the applicant come forward please?

Marci Lowrance: I am Marcy Lowrance, and I'm the owner of grit softball Academy. I've applied for the zoning text amendment to be added to this list of special uses for the m one district to operate a softball facility out of in house pharmacy partners. That's the formal Gold Hill Elementary School. It'll be located in the old cafeteria and it would be like a fully turfed facility with batting cages and plenty of room for softball workouts for all the girls of our community and all the surrounding counties as well. I was born and raised here in Buckingham, I went to Buckingham County high school I played softball there and then I went to play division one softball at Longwood University and Charleston Southern. After I graduated from Charleston Southern I coached at Charleston Southern for two years. And then I took a head coaching job at Oceanside Collegiate Academy, which is a high school in Charleston, South Carolina. My husband and my family moved back with me to Buckingham in October of 2021. And one of my passions is to give back to the community that gave me a lot. They taught me so

much about softball this community its where I found my love for it. And I just felt like, there was nothing here. As far as quality softball instruction to give to the girls of this community. There are things for baseball, but not as much for softball. And that was one thing I was passionate about to give back to that the community of those girls. What grit stands for is greatness, resilience, intelligence, and tenacity. And those are things I really tried to instill. In all the girls that come through my facility. I really feel that young girls today have a really hard time with social media and everything else, their identity is wrapped up in so many things that really it shouldn't be wrapped up in. And so my goal is to teach them that they can do hard things, that they're important that they're capable, and they're valued, and that none of their identity is wrapped up in any of the things that other people say or do. And I want them all to know that they can do anything they set their minds to my parents had to take me to Petersburg, Ashland, Richmond all the places to get this type of quality softball instruction. And I want the girls of this community to have access to that, and not have to pay the astronomical prices that my parents had to pay to get me that instruction in those big cities. I really try to make sure that my facility always has a positive atmosphere, that the girls always feel welcomed, and they feel loved. And they know that when they leave, I care about them, not just as softball players, but as people as well. And I just want to make sure that I can give that to them. So that's what I'm asking for today is for you guys to recommend to the board supervisors, and also for a public hearing, to be able to continue to give that positive atmosphere to our community and to the girls of our county.

Bickford: Any questions from commissioners? Pete are you there?

Kapuscinski: Can you hear me?

Bickford: Oh, Pete, do you have any questions for the applicant?

Kapuscinski: No, the only question I have is for Miss Edmondson. Can you hear what I'm asking here?

Edmondston: Yes, sir.

Kapuscinski: Okay, if there's a text amendment to an M one zone, does that affect every m one zone? In other words, does that mean that there could be a recreational facility in every m one zone?

Edmondston: Mr. Kapuscinski There's just one m one. This is specifically for light industrial. A private recreational facility was added as a zoning text amendment a number of years ago to the A one zoning district. But this request for zoning text amendment is solely for the M one light industrial district?

Kapuscinski: Okay. Mr. Chairman, I I did visit the site, I thought I was relatively impressed. And I can see what they want to do for the young women in our community. I would tell you, I would it just it's favorable to me to have something like this done in a text amendment with an SUP because I guess the concern I would have is if somebody tried to put this kind of an

operation in a light industrial area where it might present a risk to the young people involved, we would have the ability, because it is an SUP ensure their safety by the condition. So that would be the only contribution I would make at this point in time.

Bickford: Okay, thank you. If I understood you correctly, what you're concerned with it? This would make a by right, in any other in one m1 zoning. Is that what your question is or concern?

Kapuscinski: My question is if this from what I understand, this is a text amendment and then an SUP Am I correct? In other words, it's not a by, right?

Edmondston: That's correct. This is amending or changing the ordinance to increase a use to the list of special uses by way of adding a private recreational facility. So this private recreational facility and the special use permit for that this is in no way, shape, or form to be added to a list of permitted uses.

Kapuscinski: Okay. All right. That's fine. I mean, as long as we have the ability to, to view potential other requests for recreational facilities in this type of zone as an SUP, I'm okay with that.

Bickford: Okay. Thank you, Pete. Any other questions for?

Dorrier: Will, this involve a vdot impact report or anything like that? I didn't see one.

Lowrance: We did get one of those as well. It has been.

Edmondston: This site is actually the former Gold Hill Elementary School. So the there's quite a significant ingress and egress to this particular facility. But yes, sir, to answer your question, Mr. Dorrier, you're on page nine of your application, Mr. Edwards with Vdot that did sign off on and he stated that a traffic impact study it statement is not required. And that does the existing entrance meet VDOT requirements for the proposed use? His response on the form was yes,

Bickford: Marci what will be your normal hours of operation? And I know it varies probably.

Lowrance: It does a little bit, but usually I'm Wednesdays and Thursday nights from 430 to seven, and then sometimes every other Sundays in the afternoons after church.

Bickford: Any other questions from the commissioners?

Allen: No, I just think it's a good idea that we'll go ahead and approve this. And but I'm like, what he was saying a while ago. I hate to see it as stuck into our zoning. But just to use it for the SUP is fine.

Bickford: It's site specific for this one application, right.

Allen: Far as I'm concerned if no more questions. Yeah. I'll make a motion to move it on to public hearing.

Dorrier: Second.

Bickford: All right. I have a motion and second. Any further discussion? All in favor, raise your right hand. Pete, how do you vote, sir?

Kapuscinski: I vote yes.

Bickford: Okay. Very good. It's unanimous. Thank you. We will see you...

Edmondston: May 22.

Supervisor Allen moved, Commissioner Shumaker seconded and was unanimously carried by the Commission to move Case 23-SUP/ZTA326 on to public hearing.

Bickford: Thank you, that'll bring us to your report and building permit.

Edmondston: Yes, sir. Both of the building permits report is included. for informational purposes, just like it is every month, you may see if you've been watching the building reports. February and March, the volume decreased slightly, but we are seeing an increase and the issuance of those building permits. Again, I'm sure related to the weather and borrowing and all those type things. I do not have anything for you as zoning administrator. The only thing that I will do is remind everyone of the work session may 15. At 7pm. It should be a time for our county attorney to provide some legal counsel on the mining legal options.

Bickford: Very good. Commission matters and commissioners have anything you'd like to watch.

Gooden: Before we get too far, I think you opened the meeting with today is the 27th.

Bickford: Thank you. Alright, see you now would like to, on behalf of the Board express our appreciation for the pay increase that the Board of Supervisors voted for us tonight. Greatly appreciate that. Thank you all very much. And saying that if no other Commissioner matters, do I have a motion to adjourn?

Gooden: So moved.

Allen: Second.

Bickford: All in favor, raise your right hand. All right, good. Pete. How do you vote?

Kapuscinski: I vote Yeah.

Bickford: All right. We'll see you the next time. Thank you Pete. We are adjourned. Thank you.

Commissioner Gooden moved, Supervisor Allen seconded, and was unanimously carried by the Commission to adjourn the meeting.

There being no further business, Chairman Bickford declared the meeting adjourned.

ATTEST:

Nicci Edmondston
Zoning Administrator

John Bickford
Chairman

Buckingham County Planning Commission

May 22, 2023

Administration Building

6:00 PM

Public Hearing Case 23-ZTASUP326

Owner/Applicant: Landowner David Christian
287 Boxwood Dr
Arvon VA 23004

Applicant Marci Lowrance
246 Boxwood Dr
Arvon VA 23004

Property Information: Tax Map 68, Parcel 37, containing approximately 25.714 acres, located at 59 Gold Hill Elementary School Road New Canton VA 23123, Marshall Magisterial District.

Zoning District: Light Industrial (M-1)

Request: The Applicant wishes to Add a Zoning Text Amendment for a Private Recreational Facility to a list of Special Uses in a Light Industrial M1 Zoning District and Apply for a Special Use Permit for that purpose.

Background/Zoning Information: This property is located at 59 Gold Hill Elementary School Road New Canton VA 23123, Marshall Magisterial District. The landowner is David Christian and the Applicant is Marci Lowrance. This property is zoned Light Industrial M1. Currently, this is a use not provided for in this Zoning District within The Zoning Ordinance, however the applicant has made application to add this use through a Zoning Text Amendment, Private Recreational Facility, to a list of Special Uses in a Light Industrial M1 Zoning District. The Applicant is applying for a Special Use Permit for this purpose. This use may be permitted by the Buckingham County Board of Supervisors by a Zoning Text Amendment and a Special Use Permit following recommendation by the Planning Commission in accordance with this ordinance and the Code of Virginia. The Planning Commission may recommend and the Board may impose conditions to ensure protection of the district if both the Zoning Text Amendment and the Special Use Permit are approved. The application and narrative are attached.

Below are conditions that you may consider attaching to the request if approved:

1. That all federal, state and local regulations, ordinances and laws be strictly adhered to.
2. Right of ways and roadway shoulders shall not be used for parking.

3. The property shall be kept neat and orderly.
4. That the applicant pursues a commercial solid waste container and follow the County Solid Waste Ordinance.
5. That all documentation submitted by the applicant in support of this special use permit request becomes a part of the conditions except that any such documentation that may be inconsistent with these enumerated conditions shall be superseded by these conditions.
6. Nothing in this approval shall be deemed to obligate the County to acquire any interest in property, to construct, maintain or operate any facility or to grant any permits or approvals except as may be directly related hereto.
7. The County Zoning Administrator and one other County staff member, as appointed by the County Administrator, shall be allowed to enter the property, with proper notice, if a complaint is registered against the property for noncompliance with this permit. Any complaints not solely related to this permit will be given to the appropriate department or agency.
8. In the event that any one or more of the conditions is declared void for any reason whatever, such decision shall not affect the remaining portion of the permit, which shall remain in full force and effect, and for this purpose, the provisions of this are hereby declared to be severable
9. That any infraction of the above mentioned conditions could lead to a stop order and discontinuation of the special use permit, if it be the wishes of the Board of Supervisors.
10. That the applicant(s) and landowner(s) understands the conditions and agrees to the conditions.

SPECIAL USE PERMIT APPLICATION CHECKLIST
BUCKINGHAM COUNTY OFFICE OF ZONING AND PLANNING MINIMUM SUBMISSION
REQUIREMENTS

The following table lists the information necessary to review a special use application. All items are required, unless otherwise stated, and must be submitted in order for the application to be accepted for review. This completed checklist must be submitted with the application.

Adjacent Property Owners List and Affidavit (pages 4, 5 & 6 attached). This list can be obtained from the Clerk of Courts Office: ☒ YES ☐ NO

Completed application for special use permit (page 3 attached). If not signed by the owner, a Power of Attorney must accompany the application: ☒ YES ☐ NO

Interest Disclosure Affidavit (page 7 attached). Must be signed by the owner: ☒ YES ☐ NO

Power of Attorney (page 10 attached). Required if anyone other than the owner is signing the application form or proffer statement on behalf of the owner: YES ☒ NO

Written Narrative (page 11 guidance in preparing the Written Narrative): ☒ YES ☐ NO

Fees: ☒ YES ☐ NO

Deed: ☒ YES ☐ NO

Plat (15 copies). The plat information may be incorporated into the Special Use Permit General Site Plan, in which case, copies of a separate plat are not required. The plat must be prepared by a certified land surveyor or licensed civil engineer and contain the following:

- A. Bearings and distances of a scale of 1" = 100' or less for all property lines and existing and proposed zoning lines: ☒ YES ☐ NO
- B. Area of land proposed for consideration, in square feet or acres: ☒ YES ☐ NO
- C. Scale and north point: ☒ YES ☐ NO
- D. Names of boundary roads or streets and widths of existing right-of-ways: ☒ YES ☐ NO

Tax Map (15 copies). Identify property that special use is being considered for and identify by name all adjacent landowners.

Special Use General Site Plan (15 copies) The General Site Plan must contain the following:

1. Vicinity Map – Please show scale: ☒ YES ☐ NO ☐ N/A
2. Owner and Project Name: ☒ YES ☐ NO ☐ N/A
3. Parcel Identification numbers, name, present zoning, and zoning and use of all abutting or adjoining parcels: ☒ YES ☐ NO ☐ N/A
4. Property lines of existing and proposed zoning district lines: ☒ YES ☐ NO ☐ N/A *no district lines*
5. Area of land proposed for consideration, in square feet or acres: ☒ YES ☐ NO ☐ N/A
6. Scale and north point: ☒ YES ☐ NO ☐ N/A
7. Names of boundary roads or streets and widths of existing right-of-ways: ☒ YES ☐ NO ☐ N/A
8. Easements and encumbrances, if present on the property: ☒ YES ☐ NO ☐ N/A
9. Topography indicated by contour lines: YES ☒ NO ☐ N/A
10. Areas having slopes of 15% to 25% and areas having slopes of 25% or greater clearly indicated by separate shading devices (or written indication of "no areas having slopes of 15% to 25% or greater"): YES ☐ NO ☒ N/A
11. Water Courses to include the approximate location of the 100 year floodplain (if applicable) based on FEMA maps (or written indication of "not in floodplain"): YES ☒ NO ☐ N/A
12. Delineation of existing mature tree lines or written indication of "no mature tree lines": YES ☒ NO ☐ N/A
13. Proposed roads with right-of-way width that will connect with or pass through the subject property: YES ☒ NO ☐ N/A
14. General locations of major access points to existing streets: ☒ YES ☐ NO ☐ N/A
15. List of the proposed density for each dwelling unit type, and/or intensity of each non-residential use: YES ☐ NO ☒ N/A
16. Location of any open space and buffer areas, woodland conservation areas, storm water management facilities, and community and public facilities: YES ☐ NO ☒ N/A
17. Location of existing and proposed utilities, above or underground: YES ☐ NO ☒ N/A
18. Vehicular and pedestrian circulation plan, including traffic counts and typical street sections, right-of-way improvements, access points, travel ways, parking, loading, stacking, sidewalks, and trails: YES ☐ NO ☒ N/A
19. Layouts and orientation of buildings and improvements, building use, height, setbacks from property lines and restriction lines: ☒ YES ☐ NO ☐ N/A
20. Location and design of screening and landscaping: YES ☐ NO ☐ N/A
21. Building architecture: YES ☒ NO ☐ N/A
22. Site lighting proposed: YES ☒ NO ☐ N/A
23. Area of land disturbance in square feet and acres: YES ☐ NO ☒ N/A
24. Erosion and Sediment Control Plan submitted (10,000 square feet or more): YES ☐ NO ☒ N/A
25. Historical sites or gravesites on general site plan: YES ☒ NO ☐ N/A
26. Show impact of development of historical or gravesite areas: YES ☐ NO ☒ N/A
27. A copy of the current status of all real estate taxes of all property owned in Buckingham County. If real estate taxes are not current, an explanation in writing and signed by the owner shall accompany this application. Any liens or other judgments against property shall also be explained in writing and signed by the owner: ☒ YES ☐ NO ☐ N/A

APPLICATION FOR A SPECIAL USE PERMIT

CASE NUMBER: _____
(Case Number Assigned by Zoning Administrator)

DATE OF APPLICATION: 3/19/23

Special Use Permit Request: for a zoning text amendment to
be added to a list of Special Uses for the M1 dist
for a private recreational facility and apply for a special use permit for the us
Purpose of Special Use Permit: Softball instruction and training for

the young girls of Buckingham County and surrounding areas

Zoning District: M1 Number of Acres: 25.714

Tax Map Section: 68 Parcel: 37 Lot: — Subdivision: — Magisterial Dist.: Marshall

Street Address: 59 Gold Hill Elementary School Rd New Canton, VA 23121
Directions from the County Administration Building to the Proposed Site: _____

attached directions

Name of Applicant: Marci Lawrence

Mailing Address: 2416 Boxwood Drive Arvonia, VA 23004

Daytime Phone: 434-607-5440 Cell Phone: 434-607-5440

Email: marcilawrence@gmail.com Fax: n/a

Name of Property Owner: David Christian

Mailing Address: 287 Boxwood Drive Arvonia, VA 23004

Daytime Phone: 434-390-8788 Cell Phone: 434-390-8788

Email: davidchristian109@gmail.com Fax: n/a

Signature of Owner: David Christian Date: 3/21/23

Signature of Applicant: Marci Lawrence Date: 3/19/23

Please indicate to whom correspondence should be sent:

☐ Owner of Property ☐ Contractor Purchaser / Lessee ☐ Authorized Agent ☐ Engineer
☒ Applicant

13360 W James Anderson Hwy
to 59 Gold Hill Elementary School Rd

18 min

14.7 miles

IRS reimbursement:

\$8.58



Head east on W James Anderson Hwy (US-60). Go for 3.7 mi.

Then 3.71 miles



Turn left onto N James Madison Hwy (US-15). Go for 10.9 mi.

Then 10.93 miles



Turn left onto Gold Hill Elementary School Rd. Go for 171 ft.

Then 0.03 miles



59 Gold Hill Elementary School Rd
New Canton, VA 23123-2162

nont

Scottsville

B

A

Dillwyn



ADJACENT PROPERTY OWNER'S LIST

(Required)

The applicant shall provide a list of all adjoining landowners, including subject property and all property immediately across the street/road from the subject property. Any body of water does not constitute a boundary line for this purpose, therefore a body of water and the property adjoining the subject property but separated by a body of water is still considered an adjoining landowner. County boundary lines and those adjoining property owners in the next County are considered adjoining property owners if the land adjoins the subject's property. Adjoining landowners can be verified through the Buckingham County Clerk of Courts or the Clerk's Office in the adjoining County, or by personal contact. The list shall include the name, address, town/city, zip code, road route number, tax map section number, parcel number, lot number, and subdivision. The list shall be typewritten or printed legibly. Failure to list all adjoining landowners could delay the process.

1. Name: JAMN Limited Partnership LP

Mailing Address: _____

Physical Address: _____

Tax Map Section: 68 Parcel: 17 Lot: — Subdivision: —

2. Name: In-House Pharmacy Partners

Mailing Address: _____

Physical Address: _____

Tax Map Section: 68 Parcel: ~~1000~~ 17 Lot: — Subdivision: —

3. Name: David + Joan Holiman

Mailing Address: _____

Physical Address: _____

Tax Map Section: 68 Parcel: 34 Lot: — Subdivision: —

4. Name: Frances Allen

Mailing Address: _____

Physical Address: _____

Tax Map Section: 68 Parcel: 38+39 Lot: — Subdivision: —

See attached forms

6. Name: Letha Shumaker ET ALs, Helen S Hampton Life Est,
C/O Jay Hampton

Mailing Address: _____

Physical Address: _____

Tax Map Section: 68 Parcel: 41 & 48 Lot: — Subdivision: —

7. Name: Elam, Emma, Jacob, & Eli Stotzfus

Mailing Address: _____

Physical Address: _____

Tax Map Section: 69 Parcel: 49 Lot: — Subdivision: —

8. Name: _____

Mailing Address: _____

Physical Address: _____

Tax Map Section: _____ Parcel: _____ Lot: _____ Subdivision: _____

9. Name: _____

Mailing Address: _____

Physical Address: _____

Tax Map Section: _____ Parcel: _____ Lot: _____ Subdivision: _____

10. Name: _____

Mailing Address: _____

Physical Address: _____

Tax Map Section: _____ Parcel: _____ Lot: _____ Subdivision: _____

11. Name: _____

Mailing Address: _____

Physical Address: _____

Tax Map Section: _____ Parcel: _____ Lot: _____ Subdivision: _____

TM# 68-17

JAMN LIMITED PARTNERSHIP LLP
814 E MAIN ST
RICHMOND VA 23219

TM# 68-17A

IN HOUSE PHARMACY PARTNERS LLC
287 BOXWOOD DR
ARVONIA VA 23004

TM# 68-36

DAVID & JOAN HOLIMAN
12 SYCAMORE SYRCLE
MINERAL VA 23117

*Physical Address: 25805 N James Madison HWY New Canton 23123

TM# 68-38 & 39

FRANCES ALLEN
25475 N JAMES MADISON HWY
NEW CANTON VA 23123

*Physical address for TM# 68-39 as well

TM# 68-41& 68-48

LETHA SHUMAKER ET ALS
HELEN S HAMPTON LIFE EST
C/O JOY HAMPTON
25446 N JAMES MADISON HWY
NEW CANTON VA 23123

*Physical addresses: 25442 AND 25446 N James Madison HWY New Canton 23123

TM# 69-49

Elam, Emma, Jacob and Eli Stoltzfus

25766 N James Madison HWY

New Canton VA 23123

*Physical address for parcel as well

ADJACENT PROPERTY OWNERS AFFIDAVIT

STATE OF VIRGINIA
COUNTY OF BUCKINGHAM

This 3rd day of April, year 2023
I David W. Christian hereby make oath that
(printed name of owner/contract purchaser/authorized agent)

the list of adjoining landowners is a true and accurate list as submitted with my application.

Signed: (to be signed in front of notary public)

David W. Christian

(owner / contract purchaser / authorized agent – please circle one)

NOTARY:
COMMONWEALTH OF VIRGINIA

COUNTY OF Buckingham

STATE OF Virginia

Subscribed and sworn to me on the 3rd day of April,

of the year 2023. My Commission expires on Sept. 30, 2024.

Notary Public Signature: Virginia A. Robinson
Stamp:

VIRGINIA A. ROBINSON
NOTARY PUBLIC
Commonwealth of Virginia
REG. #243182

INTEREST DISCLOSURE AFFIDAVIT

STATE OF VIRGINIA

COUNTY OF BUCKINGHAM, VIRGINIA

On this 3rd day of April, of the year 2023,

I David W. Christian (printed name of owner)

hereby make oath that no member of the Buckingham County Board of Supervisors nor the Buckingham County Planning Commission has interest in such property either individually, or by ownership of stock in a corporation owning such land, or by partnership, or as a holder of ten percent (10%) or more of the outstanding shares of stock in or as a director or officer of any corporation owning such land, directly or indirectly by such members of his/her immediate household, except as follows:

Signature of Owner: (to be signed in front of notary public)

David W. Christian

NOTARY PUBLIC

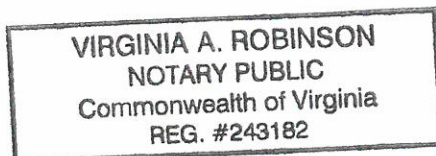
COUNTY OF Buckingham STATE OF Virginia

Subscribed and sworn to me on this 3rd day of April

of the year 2023. My commission expires Sept 30, 2024.

Notary Public Signature: Virginia A. Robinson

Stamp:



**CULTURAL RESOURCE ASSESSMENT AND RECORD CHECK FOR
PENDING DEVELOPMENT APPLICATIONS**

Case Number / File Name: _____

Visual Inspection Findings (describe what is on the property now):

Commerical building, baseball field, playground,
shed, generator, basketball courts, parking,
Circle driveway, fields with grass, pump house,
and well

County Records Check (describe the history of this property):

formerly Gold Hill Elementary School

Were any historical sites or gravesites found on site, or be suspected by a reasonable person to be on the site? Yes _____ No X

If yes, please explain and show on the site plan the location of such and explain any historical significance:

Ma

Will this proposal have any impact on the historical site or gravesite? Yes _____ No X

If yes, please explain any impact:

Ma

Owner/Applicant Signature: Marcia Lawrence Date: _____

Printed Name: Marcia Lawrence Title: Applicant

APPLICATION FOR A TRAFFIC IMPACT DETERMINATION

Please fill out the following information before presenting to VDOT:

Case Number / File Name: _____

Applicant: Marci Lawrence

Location: In House Pharmacy Partners - 59 Gold Hill Elem
School Rd Arden, VA 23004

Proposed Use: Softball Facility

For VDOT use only:

☐ A Traffic Impact Statement is required per 24 VAC 30-155-60.

☒ A Traffic Impact Statement is not required. The traffic generated by the proposed zoning change / development does not exceed normal thresholds.

☐ The Traffic Impact Analysis has been waived by the Zoning / Planning Department for the following reasons:

Does the existing entrance meet VDOT requirements for the proposed use?

Yes ☒ No ☐ If no, please explain the necessary steps to bring into compliance with the requirements for the proposed use:

Signature of VDOT Resident Engineer: C. D. Blunt

Printed Name: Charles D. Blunt Date: 3-22-23

n/a

SPECIAL POWER OF ATTORNEY AFFIDAVIT

STATE OF VIRGINIA
COUNTY OF BUCKINGHAM

On this _____ day of _____, in the year of _____,

I _____ the owner of _____
(printed name of landowner) (Tax Map Number)

Hereby make, constitute, and appoint _____
(printed name)

my true and lawful attorney-in-fact, and in my name, place, and stead give unto him/her said full power and authority to do and perform all acts and make all representation necessary, without limitation whatsoever, to make application for said zoning. The right, powers, and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on the day _____ of the month _____ in the year of _____ and shall remain in full force and effect thereafter until actual notice by certified mail with return receipt requested is received by the Zoning / Planning Office of Buckingham County stating that the terms of this power have been revoked or modified.

Signature of Landowner (to be signed in front of Notary Public):

NOTARY PUBLIC

County of _____ State of _____

Subscribed and sworn before me on the _____ day of _____

in the year _____. My commission expires _____.

Signature of Notary Public: _____

Stamp:

To Whom It May Concern:

My name is Marci Lowrance, formerly Marci Christian. My husband, Isaac Lowrance, our children, John David and Teagan, and I all live here in Buckingham County. I was raised in this county and grew up participating in many different recreational sports here. It was here in Buckingham that I fell in love with the game of softball. Most of my childhood was spent on the softball fields of Gene Dixon and BCHS. While at BCHS, I was involved in Student Council Association (President 2009-2010), Virginia Student Council Association (Vice President 2009-2010), and Future Business Leaders of America. I also played four years of Varsity Softball and was named all-district and all-region multiple times and James River Player of the year. I graduated from Buckingham County High School in 2010 and went to Longwood for two years to play Division I softball and study Kinesiology. After two years, I transferred to Charleston Southern University in Charleston, SC to continue my Division I softball career. While there, I earned my bachelor's degree in Kinesiology. During my time at Charleston Southern, I was a 2-time All-Conference Player, broke records for homeruns, rbis, runs scored, and slugging percentage. For eight weeks during the season, I was ranked as the number one home run hitter for Division I softball. I finished the season in the top 5 in the entire nation for homeruns and was a 2-time MVP. Most importantly, CSU was where my personal relationship with Jesus really took off and I truly accepted Him into my life. After graduation I coached at Charleston Southern for two years before accepting a Head Coaching Job for a Charter School in Mount Pleasant, SC. In October of 2021, my family and I moved back to Buckingham. My goal for this business is to give the young ladies of this county something that has been missing for as long as I can remember. My parents drove me to Richmond, Goochland, Ashland, and Petersburg more times than I can count to provide me with the best softball

instruction available. There is nothing like this in our county for girls who wish to play softball. It is important that I give back to Buckingham County, which shaped most of my childhood. Giving back to the game and county that gave me so much is my goal for GRIT Softball Academy.

My request is for a Zoning Text Amendment to be added to the list of Special Uses in the M1 Light Industrial District for a private recreational facility. I am applying for a Special Use Permit for a softball facility inside of In House Pharmacy Partners. This facility would be located at 59 Gold Hill Elementary School Road New Canton, VA 23123.

The purpose of this softball facility, referred to as GRIT Softball Academy, would be to provide quality softball instruction to the children of Buckingham and surrounding counties. It is important to me to provide the young girls of this county an advantage that I never had while I lived here. I was forced to go over an hour each way to get softball instruction. I never want another Buckingham County girl to have to travel so far to have the same access to quality softball instruction as the ladies that live in bigger cities. My goal is not only to provide them with the softball skills to take them to the next level, but also to be a positive mentor in their lives. Softball is something that will bring many cultures, groups, and communities together. The positive impact that sports has on our young children's minds is irreplaceable, and GRIT Softball Academy will provide the younger generation of girls in this county with that advantage. Please consider granting GRIT Softball Academy a Special Use Permit to continue to positively impact our small community and the young girls of this county.

Thank you,

Marci Lowrance

WRITTEN NARRATIVE

The Written Narrative shall describe the relationship of the proposed project to the relevant components of the Comprehensive Plan. Please be very detailed and describe in depth each and every component 1 through 15. The following outline is provided to aid you in preparing the written narrative:

1. Land Use
2. Community Design
3. Cultural Resources
4. Economic Development
5. Environment
6. Fire and Rescue, Law Enforcement
7. Housing
8. Libraries
9. Parks and Open Spaces
10. Potable Water
11. Sewage
12. Schools
13. Telecommunications
14. Transportation
15. Solid Waste

If this proposal is for an event, describe the handling of the entire event, including but not limited to: number of participants, schedule of events, police, security, food, beverages, water, sanitation, emergencies, crowd control, entrances and exits, traffic control, signage, advertisement, parking, fee collection, control of animals, trash disposal, site clean-up, fighting, alcohol, abuse of alcohol and/or illegal substances

SIGNAGE AT PROPERTY

The Buckingham County Zoning Ordinance requires the following:

The applicant in any case which requires a public hearing shall post signs furnished by the agent on each parcel involved at least 21 days prior to the public hearing indicating that a public hearing is eminent, the date, a rezoning issue, and a County contact number. The signs shall be placed on the VDOT right-of-way closest to the applicant's property line and shall be clearly visible from the road with bottom of the sign not less than one and one half feet above the ground. If more than one public road abuts the property, the signs shall be placed in the same manner as above for each abutting road. If no road abuts a property, then the agent shall define an area for the signs. The agent may ask the applicant that the sign be moved to another area either on the property to achieve greater public visibility. The applicant shall be responsible for keeping the signs free from grass, weeds, and any other plants or vines that may obstruct the public's view. The applicant shall contact the Virginia Department of Transportation for any information concerning where the right-of-way is located. The applicant shall be responsible for the signs should VDOT or their contractor conduct mowing or clearing of the right-of-way in the area where the sign is located.

Any signs required shall be maintained at all times by the applicant up to the time of the final public hearing. No person, except the applicant or the agent or an authorized agent of either, shall remove or tamper with any sign furnished during the period it is required to be maintained under this section. All signs erected under this ordinance shall be removed by the applicant within 15 days following a decision at the final public hearing and shall be returned to the agent. The applicant shall purchase the signs at a fee as determined by the Board of Supervisors and shall be non-refundable. The applicant shall be responsible for the replacement of the sign(s) and shall contact the agent as soon as possible for another sign to be replaced as the manner described above. Should the sign(s) have to be replaced more than twice, this section shall no longer be forced upon the applicant.

I have read, understand and agree to the above requirements.

Applicant/Owner: Marcia J. [Signature]

Date: 3/19/23

TENTATIVE SCHEDULE FOR A SPECIAL USE PERMIT

The application, site plan, written narrative, and all information requested in this application must be filled out in its entirety and supplied to the Buckingham Zoning / Planning Office and the fee must be paid before this case will be allowed to move forward.

Case will be introduced at a regularly scheduled Planning Commission meeting held on the fourth Monday of every month. Planning Commission may set a Public Hearing at this time to be held during a regularly scheduled meeting. Public Hearings offer an opportunity for citizens to speak concerning the case.

Following the Planning Commission Public Hearing, the Planning Commission may make a recommendation to approve / deny / or table the case for more information. Once the Planning Commission makes a recommendation to approve or deny, this recommendation will be forwarded to the Board of Supervisors at their next regularly scheduled meeting. The Board of Supervisors meetings are held on the second Monday of every month. The Board of Supervisors may set a Public Hearing at this time to be held during a regularly scheduled meeting. The Board of Supervisors will make the final decision to approve or deny the application after the public hearing.

Example Timeline:

- | | |
|-------------|--|
| January 25 | Case is introduced to Planning Commission. Planning Commission sets Public Hearing for next regularly scheduled meeting on February 22. |
| February 22 | Planning Commission Public Hearing. Planning Commission recommends to approve / deny / or table for more information. Once the Planning Commission reaches a decision to approve or deny, this recommendation will be forwarded to the Board of Supervisors at their next regularly scheduled meeting. |
| March 8 | Case is introduced to Board of Supervisors. |
| April 12 | Board of Supervisors may approve / deny / table for more information. |

The Planning Commission and the Board of Supervisors has a right to call extra public hearings at their discretion if the Board(s) decide they are needed.

You or your agent are encouraged to attend these meetings to answer any questions that may arise concerning your application / proposal. The County strongly encourages the applicant to visit the area around his proposed site and understand what the adjoining landowner concerns are.

2020-1852

BOOK 477 PAGE 066

DOCUMENT PREPARED BY:
E. M. WRIGHT, JR.
COUNTY ATTORNEY
PO BOX 200
BUCKINGHAM, VIRGINIA 23921

Tax IDs # 68-37
and
68-17A

Consideration: \$600,000-
Grantor Exempt: 58.1-811 (4) 4.

THIS DEED, made this 17th day of November, 2020, by and between

BUCKINGHAM COUNTY, A POLITICAL SUBDIVISION OF THE
COMMONWEALTH OF VIRGINIA, ALSO KNOWN AS and acting through the BOARD
OF SUPERVISORS of BUCKINGHAM COUNTY, hereinafter called Grantors, and, IN-
HOUSE PHARMACY PARTNERS, LLC, a Virginia Limited Liability Company, hereinafter
called Grantee, provides:

THAT in consideration of TEN DOLLARS (\$10.00) and other good and
valuable consideration, the receipt of which is hereby acknowledged, the Grantors grant and
convey unto the Grantee with SPECIAL WARRANTY, all the following described real estate:

TRACT ONE

ALL that certain tract or parcel of land, together with all
improvements and appurtenances thereto belonging, lying and being
in Marshall District of Buckingham County, Virginia, containing
24.8 acres, more or less, but being a conveyance by the boundary and
not by the acre, and being part of the property associated with the site
on which was located the "Gold Hill Elementary School" and
bounded on the east by US Route 15, and by the property of Holman,
Jamn Limited Partnership, LLP, and Allen, all as shown on the 2020
Tax Maps of Buckingham County. This property is described by
reference to several plats, the first being a plat of 27 acres by J. G.
Trent, County Surveyor dated April 26th, 1930 and of record in the
Clerk's Office of the Circuit Court of Buckingham County in Deed
Book 63, at page 218; the second being a plat of 24.8 acres by Carroll
Gillispie, CLS SBC, dated July 16, 1959 and of record in the
aforesaid Clerk's Office in Deed Book 64, at page 481; the third
being a plat of 0.652 acres by Carroll Gillispie, CLS SBC, dated
May 2, 1963 and of record in the aforesaid Clerk's Office in Deed
Book 70, at page 432 B, the fourth being a plat of 0.463 acres by

Carroll Gillispie, CLS SBC, dated May 2, 1963 and of record in the aforesaid Clerk's Office in Beed Book 70, at page 432 A; and the fifth being a plat by Robert L. Lum, CLS, dated June 21, 1978 and of record in the aforesaid Clerk's Office in Deed Book 112, at page 537. See also Sheet 16 of the plans for Route 15, State Highway Project referenced in Deed Book 117, at page 679 *et seq.*

TRACT TWO

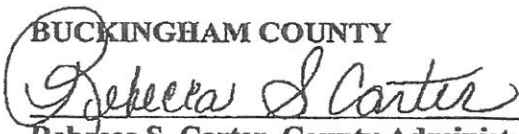
ALL that certain tract or parcel of land, together with all improvements and appurtenances thereto belonging, lying and being in Marshall District of Buckingham County, Virginia, containing 0.176 acres, more or less, but being a conveyance by the boundary and not by the acre, and described as to the west of a 0.652 acres, more or less, (part of the tract of land described above) and the northern most line is 75.93 feet, the western most line is 100 feet, the southern most line is 77.45 acres, and the eastern most line connects the southern most line at the eastern end with the northern most line at the eastern end, but being a conveyance by the boundary and not by the acre, and being part of the property associated with the site on which was located the "Gold Hill Elementary School". This property is described by reference to a plat by Robert L. Lum, CLS, dated April 24th, 2000 and of record in the Clerk's Office of the Circuit Court of Buckingham County in Deed Book 255, at page 446.

For sources of title of Tract One and Two see Deed Book 476, at page 279 *et seq.*

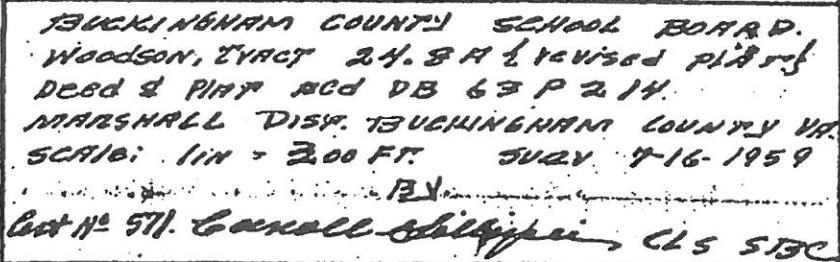
This property is conveyed subject to conditions, restrictions, easements, and rights of way of record or as may be apparent from inspection of the property, including but not limited to the Rights of the Commonwealth of Virginia, as well as others, to the use of Route 9066.

See Well Dedications at Deed Book 206, at page 206 *et seq.* And Deed Book 271, at page 262 *et seq.*

WITNESS the execution of this deed pursuant to duly delegated authority.

BUCKINGHAM COUNTY

 By: Rebecca S. Carter, County Administrator

FRED LANG - RENE REED. FUMGUSON.





BUCKINGHAM COUNTY VA

0 200 400 800 Feet

MAP 68

08-38
08-39
09-49
08-42
08-17
08-36
08-17

All green highlighted areas will be used for



training at GRT Softball Academy

North Point



South Point





An aerial photograph of the Gold Hill Elementary School campus. The school building is a large, light-colored structure with a green rectangular area highlighted on its roof. A white location pin is placed on the building. To the left of the building is a large, oval-shaped green field, likely a sports field. A road, labeled 'Gold Hill Elementary School Rd', runs along the right side of the building. In the top right corner, a highway shield for route 15 is visible. The surrounding area is mostly dark, indicating trees or dense vegetation.

Gold Hill
Elementary School

30952 N James Madison Hwy, New
Canton, VA 23123, United States



A floor plan diagram of an indoor sports facility. The facility is rectangular with a stage at the top. A horizontal line divides the space below the stage. On the left side, there is a large rectangular area labeled 'BATTING CAGE'. The remaining area on the right is labeled 'INDOOR TURF FIELDING AREA'. The diagram includes several small diagonal lines at the corners and along the left wall, possibly representing doors or structural elements.

STAGE

BATTING
CAGE

INDOOR TURF
FIELDING AREA

Date: 4/06/23 Cash Register: 001 BUCKINGHAM COUNTY 15:00:31

Cshr: TINA COSTELLO Account#: 000003936 Cust.Transactions:

Type: PAY Dept/Bill#: RE2022 00057590002 P/I Date: 4/06/2023 4/06/2023

Name: IN HOUSE PHARMACY PARTNERS LLC Bill Date: 4/28/2022 Half: 2

Nam2: Due/PstDt: 12/05/2022

Addr: 287 BOXWOOD DR PAdr: 59 GOLD HILL ELEM SCHOOL R

ARVONIA VA

Zip: 23004 - 0000

Map#: 68 37

Desc: RT 15 - 2 MI N OF

MMMIIDDBLLLLLS

GOLD HILL 25.741 AC

Acre: 25.741 Dist/Cls 04 / 02 Status

MrtgCo:

SSN: 000 - 00 - 0000 000 - 00 - 0000

Land:	\$196,700	Improve:	\$2,255,200	Use:	\$0
Original Bill:	\$6,374.94	Credits:	\$6,374.94	Discount:	\$0.00
Penalty Paid:	\$0.00	Int Paid:	\$0.00	Last Date:	10/20/2022
Amount Owed:	\$0.00	Other:	\$0.00	Setoff Claim#:	000000000
Total Owed:	\$0.00	Penalty:	\$0.00	Interest:	\$0.00
Principal Due:		Pen Rate	% Int Fact		
Penalty Due:		Interest Due:			
Total Amount Due:		Aging:			

Promise to Pay Date:

F1=Amt Tender F2=Next Ticket F3=Exit

F10=Func Menu F20=Attach

T A X R E C E I P T

BUCKINGHAM COUNTY
 CHRISTY L CHRISTIAN
 (434) 969-4744
 POST OFFICE BOX 106
 BUCKINGHAM VA 23921

SPECIAL USE PERMIT - ZONING
 68 37

LOWRANCE MARCI

Ticket #:00001600001 @@

Date : 4/06/2023
 Register: TC4/TC1
 Trans. #: 25392
 Dept # : SPUSE
 Acct# :

Previous
 Balance \$.00

Principal Being Paid \$ 200.00
 Penalty \$.00
 Interest \$.00

Amount Paid \$ 200.00

*Balance Due \$.00

Pd by IN HOUSE PHARMACY PARTNERS LLC Check 200.00 # FARMERS 186
 BALANCE DUE INCLUDES PENALTY/INTEREST THRU THE MONTH 4/2023

Buckingham County Planning Commission
May 22, 2023
Administration Building
6:00 PM
Introduction Case 23-SUP327 US CELLULAR

Date: May 22, 2023
To: Buckingham County
Board of Supervisors
From: Nicci Edmondston, Zoning Administrator
Re: Public Hearing Case 23-SUP327

Owner/Applicant: Landowner Richard & Terry Harris
211 Holland Road
Farmville VA 23901

Applicant US Cellular, Agent Emilee Lauer
5221 Valley Park Dr, Suite 1B
Roanoke VA 24019

Property Information: Tax Map 196, Parcel 13, containing approximately 44.98 acres, located at 211 Holland Road Farmville VA 23901, Curdsville Magisterial District.

Zoning District: Agricultural District (A-1)

Request: To Obtain a Special Use Permit for the Purpose of Constructing a 199' Monopole Communications Tower. The Applicant is asking the Planning Commission to recommend a Public Hearing date to hear this request.

Background/Zoning Information: This property is located at 211 Holland Road Farmville VA 23901, Curdsville Magisterial District, Tax Map 196-13, containing approximately 44.98 acres. The landowners are Richard & Terry Harris, and the applicant is US Cellular, Agent Emilee Lauer. This property is zoned Agriculture (A-1). The Zoning Ordinance does not permit a Communications Tower as a Permitted Use. However, Within the A-1 Agricultural District, Radio Stations, Television Stations, and Cable TV Facilities, Communication Station and/or Tower or Related Facilities in Accordance with Article 9 of this Ordinance may be permitted by the Buckingham County Board of Supervisors by a Special Use Permit following recommendation by the Planning Commission in accordance with this ordinance and the Code of Virginia. The Planning Commission may recommend and the Board may impose conditions to ensure protection of the district if the Special Use Permit is approved. CityScape, as the Wireless

Telecommunications Expert for the County of Buckingham, “believes there is a preponderance of evidence that construction of a new personal wireless communications facility in the vicinity of the proposed site is technically justified and is essential for the Applicant to achieve its stated coverage goals. Furthermore, given the rolling nature of the terrain in the County, which presents challenges to personal wireless transmission and reception, CityScape believes the location and height proposed are technically appropriate. The choice of the monopole’s color and whether the monopole should be concealed is at the discretion of the County.” Applicant US Cellular, Agent Emilee Lauer explains this project within the submitted narrative and all submitted application documents.

Below are conditions that you may consider attaching to the request if approved:

- 1) Prior to permitting, Applicant shall provide a determination of no hazard from the FAA indicating the proposed tower shall not require lighting/markings; and,
- 2) Prior to issuance of building permits, the Applicant shall submit satisfactory SHPO and NEPA documentation; and,
- 3) Prior to permitting, the Applicant shall submit a signed letter stating that the tower will be designed with breakpoint technology to have a fall radius of 40 feet or less; and,
- 4) All vertical feedlines shall be installed within the monopole shaft and all access ports shall be sealed to prevent wildlife access; and,
- 5) Prior to permitting, the Applicant shall submit an engineering report, signed by a Professional Engineer licensed in the Commonwealth of Virginia, certifying that the tower will have the structural capacity for the proposed US Cellular equipment and similar installations of five other wireless providers; and,
- 6) The Applicant shall submit final construction drawings for the facility which shall be certified by a Virginia Professional Engineer and include breakpoint technology in its tower design; and,
- 4) If an emergency power backup generator is used, its noise level shall not exceed 65dBa at the nearest property edge. Testing shall be limited to the hours between 9:00A.M. and 4:00P.M, (Monday through Friday); and,
- 5) Should the highest antennas arrays be lowered in the future for capacity needs, the unused top portion of the tower shall be removed; and,
- 6) No advertising shall be installed on the fencing near the ground compound; and,
- 7) That all federal, state and local regulations, ordinances and laws be strictly adhered to.

8) In the event that any one or more of the conditions is declared void for any reason whatever, such decision shall not affect the remaining portion of the permit, which shall remain in full force and effect, and for this purpose, the provisions of this are hereby declared to be severable.

9) That any infraction of the above mentioned conditions could lead to a stop order and discontinuation of the special use permit, if it be the wishes of the Planning Commission or Board of Supervisors.

10) The County Zoning Administrator and one other County staff member, as appointed by the County Administrator, shall be allowed to enter the property, with proper notice, if a complaint is registered against the property for noncompliance with this permit. Any complaints not solely related to this permit will be given to the appropriate department or agency.

11) If the building permit is not obtained within six (6) months from the date of approval then the Special Use Permit shall be null and void.

12) That the applicant (s) understands the conditions and agrees to the conditions.

13) Tower shall not be constructed until a tenant is ready to locate on the tower immediately after building.

14) The construction of the tower must be complete within 2 years from the date of approval or this permit will be null and void.

15) At the County's discretion, if concealment is not an option, the tower, antennas and all other ancillary equipment mounted on the tower shall be painted a color deemed the least visually obtrusive.

SPECIAL USE PERMIT APPLICATION CHECKLIST
BUCKINGHAM COUNTY OFFICE OF ZONING AND PLANNING MINIMUM SUBMISSION
REQUIREMENTS

The following table lists the information necessary to review a special use application. All items are required, unless otherwise stated, and must be submitted in order for the application to be accepted for review. This completed checklist must be submitted with the application.

Adjacent Property Owners List and Affidavit (pages 4, 5 & 6 attached). This list can be obtained from the Clerk of Courts Office: ☒ YES ☐ NO

Completed application for special use permit (page 3 attached). If not signed by the owner, a Power of Attorney must accompany the application: ☒ YES ☐ NO

Interest Disclosure Affidavit (page 7 attached). Must be signed by the owner: ☒ YES ☐ NO

Power of Attorney (page 10 attached). Required if anyone other than the owner is signing the application form or proffer statement on behalf of the owner: ☒ YES ☐ NO

Written Narrative (page 11 guidance in preparing the Written Narrative): ☒ YES ☐ NO

Fees: YES ☒ NO *Office will mail you checks*

Deed: ☒ YES ☐ NO

Plat (15 copies). The plat information may be incorporated into the Special Use Permit General Site Plan, in which case, copies of a separate plat are not required. The plat must be prepared by a certified land surveyor or licensed civil engineer and contain the following:

- A. Bearings and distances of a scale of 1" = 100' or less for all property lines and existing and proposed zoning lines: ☒ YES ☐ NO
- B. Area of land proposed for consideration, in square feet or acres: ☒ YES ☐ NO
- C. Scale and north point: ☒ YES ☐ NO
- D. Names of boundary roads or streets and widths of existing right-of-ways: ☒ YES ☐ NO

Tax Map (15 copies). Identify property that special use is being considered for and identify by name all adjacent landowners.

Included at back of SUP

Special Use General Site Plan (15 copies) The General Site Plan must contain the following:

1. Vicinity Map – Please show scale: ☒ YES NO N/A
2. Owner and Project Name: ☒ YES NO N/A
3. Parcel Identification numbers, name, present zoning, and zoning and use of all abutting or adjoining parcels: ☒ YES NO N/A
4. Property lines of existing and proposed zoning district lines: ☒ YES NO N/A
5. Area of land proposed for consideration, in square feet or acres: ☒ YES NO N/A
6. Scale and north point: ☒ YES NO N/A
7. Names of boundary roads or streets and widths of existing right-of-ways: ☒ YES NO N/A
8. Easements and encumbrances, if present on the property: ☒ YES NO N/A
9. Topography indicated by contour lines: ☒ YES NO N/A
10. Areas having slopes of 15% to 25% and areas having slopes of 25% or greater clearly indicated by separate shading devices (or written indication of "no areas having slopes of 15% to 25% or greater"): ☒ YES NO N/A
11. Water Courses to include the approximate location of the 100 year floodplain (if applicable) based on FEMA maps (or written indication of "not in floodplain"): YES NO ☒ N/A
12. Delineation of existing mature tree lines or written indication of "no mature tree lines": ☒ YES NO N/A
13. Proposed roads with right-of-way width that will connect with or pass through the subject property: ☒ YES NO N/A
14. General locations of major access points to existing streets: ☒ YES NO N/A
15. List of the proposed density for each dwelling unit type, and/or intensity of each non-residential use: YES NO ☒ N/A
16. Location of any open space and buffer areas, woodland conservation areas, storm water management facilities, and community and public facilities: ☒ YES NO ☒ N/A
17. Location of existing and proposed utilities, above or underground: ☒ YES NO ☒ N/A
18. Vehicular and pedestrian circulation plan, including traffic counts and typical street sections, right-of-way improvements, access points, travel ways, parking, loading, stacking, sidewalks, and trails: YES NO ☒ N/A
19. Layouts and orientation of buildings and improvements, building use, height, setbacks from property lines and restriction lines: ☒ YES NO ☒ N/A
20. Location and design of screening and landscaping: ☒ YES NO N/A
21. Building architecture: YES NO ☒ N/A
22. Site lighting proposed: YES NO ☒ N/A
23. Area of land disturbance in square feet and acres: ☒ YES NO N/A
24. Erosion and Sediment Control Plan submitted (10,000 square feet or more): YES NO ☒ N/A
25. Historical sites or gravesites on general site plan: YES NO ☒ N/A
26. Show impact of development of historical or gravesite areas: YES NO ☒ N/A
27. A copy of the current status of all real estate taxes of all property owned in Buckingham County. If real estate taxes are not current, an explanation in writing and signed by the owner shall accompany this application. Any liens or other judgments against property shall also be explained in writing and signed by the owner: YES NO ☒ N/A

APPLICATION FOR A SPECIAL USE PERMIT

CASE NUMBER: _____
(Case Number Assigned by Zoning Administrator)

DATE OF APPLICATION: 2/3/2023

Special Use Permit Request: Requesting approval for the proposed
195' monopole telecommunications tower

Purpose of Special Use Permit: To build a new telecommunications
tower

Zoning District: A-1 Agricultural Number of Acres: 44.98

Tax Map Section: 196 Parcel: 13 Lot: _____ Subdivision: _____ Magisterial Dist.: Francisco

Street Address: 211 Holland Rd, Farmville

Directions from the County Administration Building to the Proposed Site: _____

Name of Applicant: US Cellular (Agent: Emilee Lawer)

Mailing Address: 5221 Valley Park Dr, Suite 1 B, Roanoke, VA 24019

Daytime Phone: _____ Cell Phone: 540-580-5139

Email: emilee@adps-inc.com Fax: _____

Name of Property Owner: Richard & Terry Harris

Mailing Address: 211 Holland Rd, Farmville, VA 23901

Daytime Phone: _____ Cell Phone: 434-391-4230

Email: _____ Fax: _____

Signature of Owner: Richard Harris Date: 2-9-23

Signature of Applicant: Emilee Lawer Date: 2/3/23

Please indicate to whom correspondence should be sent:

☐ Owner of Property ☐ Contractor Purchaser / Lessee ☒ Authorized Agent ☐ Engineer
☐ Applicant

ADJACENT PROPERTY OWNER'S LIST

(Required)

The applicant shall provide a list of all adjoining landowners, including subject property and all property immediately across the street/road from the subject property. Any body of water does not constitute a boundary line for this purpose, therefore a body of water and the property adjoining the subject property but separated by a body of water is still considered an adjoining landowner. County boundary lines and those adjoining property owners in the next County are considered adjoining property owners if the land adjoins the subject's property. Adjoining landowners can be verified through the Buckingham County Clerk of Courts or the Clerk's Office in the adjoining County, or by personal contact. The list shall include the name, address, town/city, zip code, road route number, tax map section number, parcel number, lot number, and subdivision. The list shall be typewritten or printed legibly. Failure to list all adjoining landowners could delay the process.

1. Name: Steven Christian

Mailing Address: 456 Concord Mountain Rd, Farmville, VA 23901

Physical Address: _____

Tax Map Section: 195 Parcel: 12 Lot: _____ Subdivision: _____

2. Name: Robert + Lisa Phaup

Mailing Address: 278 Fork Rd, Farmville, VA 23901

Physical Address: 241 Fork Rd, Farmville, VA 23901

Tax Map Section: 195 Parcel: 37 Lot: _____ Subdivision: _____

3. Name: Eugene + Mary Hubbard

Mailing Address: 1394 Milford Terr, Teaneck, NJ 7666

Physical Address: _____

Tax Map Section: 195 Parcel: 38 Lot: _____ Subdivision: _____

4. Name: Carrie Johnson

Mailing Address: 3203 Day St, Hopewell, VA 23860

Physical Address: 13111 Francisco Rd, Farmville, VA 23901

Tax Map Section: 195 Parcel: 39 Lot: _____ Subdivision: _____

6. Name: Ripon + Claire LaRoche

Mailing Address: 13436 Francisco Rd, Farmville, VA 23901

Physical Address: _____

Tax Map Section: 195 Parcel: 51 Lot: _____ Subdivision: _____

7. Name: Barry + Elizabeth Morlan

Mailing Address: 57 Holland Rd, Farmville, VA 23901

Physical Address: " "

Tax Map Section: 196 Parcel: 29 Lot: _____ Subdivision: _____

8. Name: Wayne Beasley

Mailing Address: 818 Emblys Gap Rd, Roseland, VA 22967

Physical Address: 3875 S James Madison Hwy, Farmville, VA 23901

Tax Map Section: 196 Parcel: 30A Lot: _____ Subdivision: _____

9. Name: ~~DANIELA~~ Emma John + Sheryl McKay

Mailing Address: 13603 Francisco Rd, Farmville, VA 23901

Physical Address: " "

Tax Map Section: 196 Parcel: 31 Lot: _____ Subdivision: _____

10. Name: Barry + Elizabeth Morlan

Mailing Address: 57 Holland Rd, Farmville, VA 23901

Physical Address: _____

Tax Map Section: 196 Parcel: 39B Lot: _____ Subdivision: _____

11. Name: _____

Mailing Address: _____

Physical Address: _____

Tax Map Section: _____ Parcel: _____ Lot: _____ Subdivision: _____

ADJACENT PROPERTY OWNERS AFFIDAVIT

STATE OF VIRGINIA
COUNTY OF BUCKINGHAM

This 7 day of February, year 2023
I Emilee Lauer hereby make oath that
(printed name of owner/contract purchaser/authorized agent)

the list of adjoining landowners is a true and accurate list as submitted with my application.

Signed: (to be signed in front of notary public)

Emilee Lauer
(owner / contract purchaser authorized agent please circle one)

NOTARY:
COMMONWEALTH OF VIRGINIA

CITY
COUNTY OF SALEM

STATE OF VIRGINIA

Subscribed and sworn to me on the 7 day of February
of the year 2023. My Commission expires on 10-31-2024.

Notary Public Signature: Garry Lee Saunders II
Stamp:

GARRY LEE SAUNDERS II
NOTARY PUBLIC
Commonwealth of Virginia
Reg. #7682231
My Commission Expires October 31, 2024

INTEREST DISCLOSURE AFFIDAVIT

STATE OF VIRGINIA
COUNTY OF BUCKINGHAM, VIRGINIA

On this 3 day of February, of the year 2023,

I Richard Harris (printed name of owner)
hereby make oath that no member of the Buckingham County Board of Supervisors nor
the Buckingham County Planning Commission has interest in such property either
individually, or by ownership of stock in a corporation owning such land, or by
partnership, or as a holder of ten percent (10%) or more of the outstanding shares of
stock in or as a director or officer of any corporation owning such land, directly or
indirectly by such members of his/her immediate household, except as follows:

Richard + Terry Harris

Signature of Owner: (to be signed in front of notary public)

Richard Harris

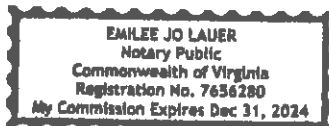
NOTARY PUBLIC

COUNTY OF Buckingham STATE OF Virginia

Subscribed and sworn to me on this 3 day of February
of the year 2023. My commission expires 12/31/24.

Notary Public Signature:

Stamp:



**CULTURAL RESOURCE ASSESSMENT AND RECORD CHECK FOR
PENDING DEVELOPMENT APPLICATIONS**

Case Number / File Name: _____

Visual Inspection Findings (describe what is on the property now):

Located on this parcel is landowners residence
along with fields and woods.

County Records Check (describe the history of this property):

Same property conveyed unto F.W. Harris as 44.98
acres by deed dated August 20, 1973. No indications
of use other than agricultural.

Were any historical sites or gravesites found on site, or be suspected by a reasonable person to be on the site? Yes _____ No X

If yes, please explain and show on the site plan the location of such and explain any historical significance:

Will this proposal have any impact on the historical site or gravesite? Yes _____ No X
If yes, please explain any impact:

Owner/Applicant Signature: Emilee Lauer Date: 2/3/23

Printed Name: Emilee Lauer Title: Applicant Agent

See next page from VDOT - Already Submitted

APPLICATION FOR A TRAFFIC IMPACT DETERMINATION

Please fill out the following information before presenting to VDOT:

Case Number / File Name: _____

Applicant: _____

Location: _____

Proposed Use: _____

For VDOT use only:

_____ A Traffic Impact Statement is required per 24 VAC 30-155-60.

_____ A Traffic Impact Statement is not required. The traffic generated by the proposed zoning change / development does not exceed normal thresholds.

_____ The Traffic Impact Analysis has been waived by the Zoning / Planning Department for the following reasons:

Does the existing entrance meet VDOT requirements for the proposed use?

Yes _____ No _____ If no, please explain the necessary steps to bring into compliance with the requirements for the proposed use:

Signature of VDOT Resident Engineer: _____

Printed Name: _____ Date: _____



COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION
4219 CAMPBELL AVENUE
LYNCHBURG VIRGINIA 24501-4300

Stephen C. Brich, P. E.
COMMISSIONER

DATE ISSUED: 11-28-22

APPLICANT

U.S. Cellular Corp.
NAME

5221 Valleypark Drive
ADDRESS Suite 1-B

Roanoke VA 24019
CITY STATE ZIP CODE

(540) 561-2277
PHONE NUMBER

LOCATION 709
ROUTE

014- Buckleham
COUNTY

A Low Volume Commercial Entrance exists leading to the above noted property. The Low Volume Commercial Entrance has been previously permitted and/or is constructed to standard.

WITNESS the following signatures and seals:

Owner Signed

(Seal)

VDOT Representative

(Seal)

Agent for County

Date

Note. This may be presented to the County only once and expires sixty (60) days after the date issued

REV: 21b.2018

VirginiaDOT.org
WE KEEP VIRGINIA MOVING

SPECIAL POWER OF ATTORNEY AFFIDAVIT

STATE OF VIRGINIA
COUNTY OF BUCKINGHAM

On this 3 day of February, in the year of 2023,

I Richard Harris the owner of 196-13
(printed name of landowner) (Tax Map Number)

Hereby make, constitute, and appoint Emilee Lauer
(printed name)

my true and lawful attorney-in-fact, and in my name, place, and stead give unto him/her said full power and authority to do and perform all acts and make all representation necessary, without limitation whatsoever, to make application for said zoning. The right, powers, and authority of said attorney-in-fact herein granted shall commence and be in full force and effect on the day 3 of the month February in the year of 2023 and shall remain in full force and effect thereafter until actual notice by certified mail with return receipt requested is received by the Zoning / Planning Office of Buckingham County stating that the terms of this power have been revoked or modified.

Signature of Landowner (to be signed in front of Notary Public):

Richard Harris

NOTARY PUBLIC

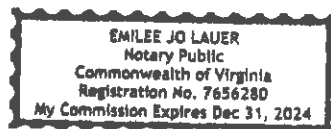
County of Buckingham State of Virginia

Subscribed and sworn before me on the 3 day of February

in the year 2023. My commission expires 12/31/24.

Signature of Notary Public: Emilee Jo Lauer

Stamp:



WRITTEN NARRATIVE

The Written Narrative shall describe the relationship of the proposed project to the relevant components of the Comprehensive Plan. Please be very detailed and describe in depth each and every component 1 through 15. The following outline is provided to aid you in preparing the written narrative:

1. Land Use
2. Community Design
3. Cultural Resources
4. Economic Development
5. Environment
6. Fire and Rescue, Law Enforcement
7. Housing
8. Libraries
9. Parks and Open Spaces
10. Potable Water
11. Sewage
12. Schools
13. Telecommunications
14. Transportation
15. Solid Waste

If this proposal is for an event, describe the handling of the entire event, including but not limited to: number of participants, schedule of events, police, security, food, beverages, water, sanitation, emergencies, crowd control, entrances and exits, traffic control, signage, advertisement, parking, fee collection, control of animals, trash disposal, site clean-up, fighting, alcohol, abuse of alcohol and/or illegal substances

See next page

Written Narrative

The purposed wireless facility will work with all aspects of the County Comprehensive Plan to ensure the use of land is preserved. The facility will support residents' needs to provide better coverage to communicate. Given the strong agricultural use of the area measures have been taken to make the design fit in with the surroundings per ordinance requirements. This project will not negatively impact the current use of the land or the land surrounding it. Giving today's demand for the increase in technology, this is a crucial development for growth in all areas. This will allow future carriers to collocate on the tower helping to alleviate the chance for more towers in the area, helping to conserve the surrounding landscape. This project will not cause impact to the rural lands in Buckingham County, nor will it impact livestock, rivers, solid waste, water or sewage.

The project design is the least intrusive to help fit in with the surroundings in the area. The new structure will be a monopole style which is the most streamlined. Typically, poles are about 60 inches at the base and taper to around 20 inches at the top. Using original buffers and added landscape it helps reduce the visual impact, while preserving forest lands, parks and open spaces.

Environmental engineers have taken the steps necessary to make sure the new facility will have no negative impact on the historical significance in the area. The plan has met with the standards to preserve any historically significant properties. No rezoning is necessary for this project, all items have corresponded along with the Agricultural district located in the ordinance. This project is designed to be extremely safe for all citizens, houses, schools, etc. Monopoles are designed with breakpoint technology and to fall within their selves in roughly a 40-foot radius.

A wireless facility is a necessary infrastructure in the 21st century. Technology is growing daily and the need for new towers are becoming more and more. The increase in use of towers has caused the demand for more towers to be built, known as capacity sites, to offload the other towers. This also allows for more carriers to come into the area, giving residents more choices to cut down on prices.

Tower is designed to house 6 total carriers. This gives plenty of space to allow the County to collocate their Emergency Services antennas as well. With the increase in their antennas, it gives more coverage for emergencies located in the community. Law enforcement and Rescue need the best given coverage to be there for anyone in need at any given time. The biggest providers in the area will all benefit with the purposed tower to better expand their services for their customers.

Increase in service allows those who are traveling, in case they break down or just need a better signal to their GPS, to get the information they need or make calls. Majority of people use a GPS to travel and navigate. Telecommunications is an important role to making every day life function as it should. Residential or businesses revolve around these technologies in order to live, make money, and communicate.

SIGNAGE AT PROPERTY

The Buckingham County Zoning Ordinance requires the following:

The applicant in any case which requires a public hearing shall post signs furnished by the agent on each parcel involved at least 21 days prior to the public hearing indicating that a public hearing is eminent, the date, a rezoning issue, and a County contact number. The signs shall be placed on the VDOT right-of-way closest to the applicant's property line and shall be clearly visible from the road with bottom of the sign not less than one and one half feet above the ground. If more than one public road abuts the property, the signs shall be placed in the same manner as above for each abutting road. If no road abuts a property, then the agent shall define an area for the signs. The agent may ask the applicant that the sign be moved to another area either on the property to achieve greater public visibility. The applicant shall be responsible for keeping the signs free from grass, weeds, and any other plants or vines that may obstruct the public's view. The applicant shall contact the Virginia Department of Transportation for any information concerning where the right-of-way is located. The applicant shall be responsible for the signs should VDOT or their contractor conduct mowing or clearing of the right-of-way in the area where the sign is located.

Any signs required shall be maintained at all times by the applicant up to the time of the final public hearing. No person, except the applicant or the agent or an authorized agent of either, shall remove or tamper with any sign furnished during the period it is required to be maintained under this section. All signs erected under this ordinance shall be removed by the applicant within 15 days following a decision at the final public hearing and shall be returned to the agent. The applicant shall purchase the signs at a fee as determined by the Board of Supervisors and shall be non-refundable. The applicant shall be responsible for the replacement of the sign(s) and shall contact the agent as soon as possible for another sign to be replaced as the manner described above. Should the sign(s) have to be replaced more than twice, this section shall no longer be forced upon the applicant.

I have read, understand and agree to the above requirements.

Applicant/Owner: _____

Timothy Lane

Date: 2/3/23

#292
THIS DEED, made this 6th day of March, 1984, by and between F. W. HARRIS, single, hereinafter referred to as party of the first part, and RICHARD C. HARRIS and TERRY P. HARRIS, hereinafter referred to as party of the second part, as tenants by the entireties with the right of survivorship as at common law.

WITNESSETH: That for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, the party of the first part does hereby grant and convey with GENERAL WARRANTY of title and with ENGLISH COVENANTS of title, unto the party of the second part, as tenants by the entireties with the right of survivorship as at common law, the following described real property, to-wit:

ALL that certain lot, tract or parcel of land, lying and being in Francisco Magisterial District, Buckingham County, Virginia, containing 36.3 acres, more or less, and bounded on the northernmost boundary by lands of Hobert Harris, on the easternmost boundary by State Rout 709, on the southernmost boundary by lands now or formerly of Jones and on the westernmost boundary by lands now or formerly of Phaup.

BEING the same land conveyed unto F. W. Harris as 44.98 acres by deed dated August 20, 1973 and recorded in Deed Book 91 at page 103. For clarification of description of this property, reference is made to quitclaim deeds located in Deed Book 113 at page 302 and Deed Book 113 at page 308 in the aforementioned Clark's Office.

ERNEST E. MEANY, JR.
APPROVED BY CLERK
F. W. HARRIS
DEEDS LOCATED IN DEED BOOK 113
PAGE 302

This deed is made expressly subject to all covenants, restrictions and easements now of record on said property as the same may lawfully apply.

800 131 652

WITNESS the following signature and seal:

F. W. Harris (SEAL)
F. W. Harris

STATE OF VIRGINIA

COUNTY/CITY OF Buckingham to-wit:

I, the undersigned notary public, do hereby certify that F. W. Harris has this date acknowledged the foregoing deed bearing date on the 6th day of March, 1984, in my jurisdiction aforesaid.

Given under my hand this 17th day of March, 1984.

My commission expires:

Michael M. M. M.
Notary Public

HERBERT E. MAXEY, JR.
ATTORNEY AT LAW
P.O. BOX 80
Buckingham, Virginia 22604

VIRGINIA: CLERK'S OFFICE OF THE CIRCUIT COURT OF BUCKINGHAM COUNTY.

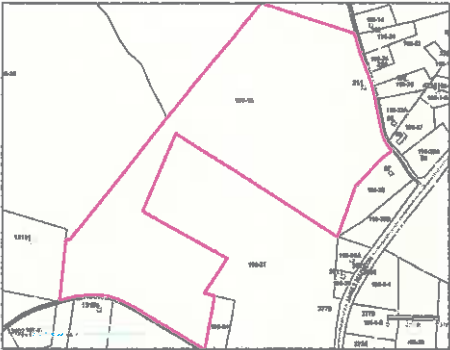
St. R. Tax 97.50
Co. R. Tax 22.50
Transfer 1.00
Clerk 10.00
Grantor Tax 65.00
Total \$ 206.00

The foregoing instrument with acknowledgment was admitted to record on 4-11-1984 at 9:30 A.M. in D.B. 131 Pages 651-652.
Recording costs paid as shown.
Teste: MALCOLM BOOKER JR., CLERK

By: David B. Cyrus DEPUTY CLERK

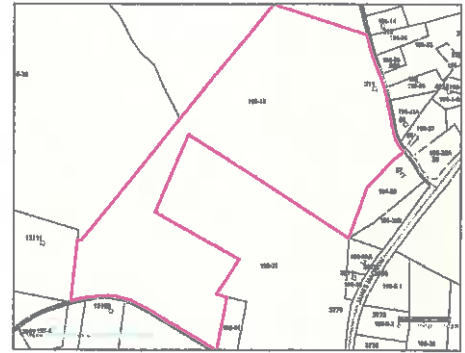
This property's information:

Parcel #	196-13
Owner Name	HARRIS RICHARD C & TERRY P
Owner Address 1	211 HOLLAND RD
Owner Address 2	
Owner Address 3	FARMVILLE VA
Owner ZIP	23901
Description 1	RT 709 - 1 MI N OF
Description 2	SHEPPARDS 44.98 AC
Description 3	
Class	
Acreage	44.98
E911 Address	211 HOLLAND RD



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Owner ZIP	23901
Description 1	RT 709 - 1 MI N OF
Description 2	SHEPPARDS 44.98 AC
Description 3	
Class	
Acreage	44.98
E911 Address	211 HOLLAND RD



parc_id	Parcel Num	Owner	Address 1	Address 2	City/State	ZIP
195-12	195-12	CHRISTIAN STEVEN J	456 CONCORD MOUNTAIN RD		FARMVILLE VA	23901
195-37	195-37	PHAUP ROBERT W & LISA M PHAUP	278 FORK RD		FARMVILLE VA	23901
195-38	195-38	HUBBARD EUGENE W & MARY J	1394 MILFORD TERR		TEANECK NJ	7666
195-39	195-39	JOHNSON CARRIE A	C/O POLLIE KIMBROUGH	3203 DAY ST	HOPEWELL VA	23860
195-51	195-51	LAROCHE RIPON W II & CLAIRE R	13436 FRANCISCO RD		FARMVILLE VA	23901
196-13	196-13	HARRIS RICHARD C & TERRY P	211 HOLLAND RD		FARMVILLE VA	23901
196-29	196-29	MORLAN BARRY E & ELIZABETH MORLAN	57 HOLLAND RD		FARMVILLE VA	23901
196-30A	196-30A	BEASLEY WAYNE	818 EMBLYS GAP RD		ROSELAND VA	22967
196-31	196-31	STOLTZFUS DAVID Z & EMMA B	13603 FRANCISCO RD		FARMVILLE VA	23901
196-39B	196-39B	MORLAN BARRY E & ELIZABETH MORLAN	57 HOLLAND RD		FARMVILLE VA	23901

**County of Buckingham, Virginia
Telecommunications Site Review
Application for New Structure**



2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593

May 10, 2023

Ms. Nicci Edmondston
Zoning Administrator
County of Buckingham
13380 W. James Anderson Highway
Buckingham, VA 23921

Applicant/Provider: Emilee Lauer on behalf of US Cellular Corporation
Provider Site Name/Number: Francisco Road / 466376
Site Location: Near 211 Holland Road, Farmville, VA 23901
Latitude: N 37° 23' 47.18" **Longitude:** W 78° 29' 04.04"
Proposed Structure: 195' Monopole with 4-foot Lightning Rod on top

Dear Ms. Edmondston,

At your request, on behalf of Buckingham County, Virginia ("County"), CityScape Consultants ("CityScape"), in its capacity as Telecommunications Consultant for the County, has considered the merits of an application submitted by Emilee Lauer ("Submitter") on behalf of US Cellular Corporation ("Applicant" or "US Cellular"), to construct a new one hundred ninety five (195) foot *monopole tower* with a four (4) foot attached lightning rod, *see Figure 1*. This facility is intended to accommodate the antennas for US Cellular and other future collocations. The subject property, which is zoned A-1 Agricultural and is 44.98 acres, is owned by Richard & Terry Harris. The proposed tower site would be located near the Harris residence, about 695 feet west of the intersection of Holland Road and South James Madison Highway (US Highway 15) in the community of Sheppards, Buckingham County, *see Figure 2*. The Applicant states that the proposed tower is needed to address waning capacity and inadequate coverage in the area surrounding the intended location of the tower. The proposed tower height complies with the County's *intended* height limitation of one hundred and ninety nine (199) feet above ground for a non-replacement tower.

The proposed Facility has been evaluated from the following perspectives:

- Whether the proposed Facility, as specified, is justified due to technological reasons and is essential for the Applicant to provide its telecommunications service; and,
- Whether the proposed Facility follows the guidelines of the Telecommunications Act of 1996 and subsequent federal legislation and is compliant with the Virginia and Buckingham County Codes and all other pertinent rules and regulations; and,
- Completeness and compliance with Article 9, "Radio, Television and Wireless Communication Tower Amendment of the Zoning Ordinance of Buckingham County; and the "Supplemental Document to Article 9".

County of Buckingham, Virginia

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For a new wireless communications facility to be justified, its need, location and height must be addressed. This application proposes to construct a new one hundred and ninety five (195) foot *monopole type* tower plus four-foot lightning rod for a total height of 199 feet, along with a fenced-in equipment compound. Section 704 of the federal Telecommunications Act of 1996 (“the Telecom Act”) specifically preserves the authority of state and local governments over decisions regarding the placement, construction, and modification of personal wireless service facilities, so long as such regulation 1) does not involve matters preempted by federal law or regulation, 2) does not unreasonably discriminate among providers of functionally equivalent services and 3) does not prohibit or have the effect of prohibiting the development of a provider’s personal wireless network.

Cellular Macro/Microsite Design

In addition to the minimum effective needed height for signal coverage, as more wireless devices are deployed, capacity issues become the limiting factor. Technology is improving which allows towers to connect to more wireless devices owned by subscribers, but the network eventually does not keep up with the speed that such devices are capable of delivering. As the population grows and the number of wireless devices sharply rises, more *localized* wireless sites will be needed. This will involve the construction of additional wireless facilities that may overlap signal footprints with the provider’s existing facilities. These facilities are necessary to offload wireless connection requests coming into the existing adjacent base station towers so that they do not operate over their capacity to handle the volume of subscriber connection requests. This practice has been ongoing in urban and suburban areas for many years and will continue in rural agricultural and residential areas. The future will also involve a greater utilization of what are known as “small cells” which are antennas placed on street lamps and buildings.

Objectives of the Applicant and Need for Facility

The Applicant provided an affidavit from the US Cellular RF Engineer, dated March 29, 2023, which included the following: 1) the objectives for service improvement that the proposed facility would address; 2) justification of the site location and antenna height; 3) propagation service maps for pre-construction and post-construction conditions, (*see Figure 3*) and 4) results of RF analyses for three potential collocation tower sites and the reasons why they would not address the service objectives. CityScape does not need further RF engineering documents in order to make a determination of the cogency of the information already provided. US Cellular also provided its search ring map for this project, which appears to be the same document that was submitted to site acquisition staff. Due to many factors (engineering and otherwise) affecting the selection of a site for a new wireless facility, any search ring from a provider is more of a guideline than a hard boundary. In any case, the proposed site is verified to be near the center of the search ring area.

The service objectives of the Applicant are stated as follows:

- Offload service connection volume from the existing US Cellular Willis Mountain site to the new proposed site.

County of Buckingham, Virginia

Telecommunications Site Review

Application for New Structure

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C O N S U L T A N T S , I N C .

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- Improve in-building coverage in the communities of Sheppards and Curdsville.
- Improve in-vehicle coverage along US Highway 15 and Francisco Road (State Route 636).

The RF Engineer refers to an existing “gap” in service, but the pre-construction propagation map, *see Figure 3-A*, does not visually indicate an obvious coverage gap. This map seems to indicate that there is already existing in-building coverage in Curdsville and in-vehicle coverage along Highway 15 going south from Sheppards and east and west along Francisco Road. The post-construction map, *see Figure 3-B*, shows an upgrade of existing service from in-vehicle to in-building in both target communities and also along the forementioned roads. It is not apparent to CityScape why these roads require an increase from in-vehicle to in-building and where and what the “coverage gap” actually is. Perhaps the so-called “gap” refers to the waning capacity of the Willis Mountain facility causing connection and speed issues in the areas that the Applicant is requesting to better serve. CityScape does not in any way consider Applicant’s stated objectives as spurious, so we have conducted this review taking the Applicant’s needs as given.

The collocation studies by the US Cellular RF Engineer are addressed in the next section.

Evaluation of Applicant’s Proposal

Buckingham County has certain rights concerning height, location and type of support structure as well as the ability to assure the proposed facility is following FCC safety specifications and local building codes. While the County has the discretion to regulate the above, the County cannot prevent the Applicant from developing its wireless network, according to federal law. CityScape is satisfied there is preponderant evidence that the Applicant requires an additional facility in the area to keep up with the demand for coverage improvement and higher data speeds.

The Applicant submitted a letter from US Cellular stating that the proposed facility will be constructed so as to comply with “FCC requirements regarding interference and emissions.” However, what they do not state is that, as an FCC licensee, the Applicant is required to follow FCC protocol as detailed in the FCC’s Best Practices Guide if a valid complaint of interference due to the proposed facility is received from another radio service, and will do everything within reason to mitigate the interference.

According to the Applicant’s application documents, the proposed US Cellular antennas would be at an elevation of one hundred ninety (190) feet above ground; sector antenna mounts would be installed at that elevation for Applicant’s antennas and remote radio units. Up to five future collocators’ antennas would be accommodated at the site per County Code, *see Figure 1*. All future collocation applications must be reviewed to assure compliance with structural limitations and federal law including FCC regulations. Attached is a letter from Sabre Industries, *see Figure 4*, stating that in the event of catastrophic failure of the tower due to high winds, the tower will fall to the ground within “a fall radius less than or equal to 40 feet.”

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The County has the right to regulate the type of tower to be used and if the support structure should be concealed. The Applicant proposes to build a non-concealed monopole tower on non-publicly owned property, which is *third from last* in the County's hierarchy of siting preferences ((6)b. (i) of Section 5). The equipment compound would be a fenced-in area of forty-by-forty (40 x 40) feet and would enclose the monopole and ground equipment, see **Figure 5**. A six-foot high chain link fence would be installed on the perimeter of the compound, topped with barbed wire as a climbing deterrent. The compound layout drawing shows three (3) ten-by-fifteen (10 x 15) foot areas meant for equipment space for three future collocators. Note that this is less than the five (5) collocations required in the County Code, however, the Code does not require a minimum number of spaces to be set aside inside the ground compound for future collocators. This drawing does show two additional similar areas, presumably anticipating that the number of collocators would exceed three, but these two areas intrude into the ten (10) foot wide landscape buffer.

The County Code requires 110% setback for a 199-foot structure which would equate to a 219-foot spacing from the tower to the property line. The Code does allow for the use of breakpoint technology for a lesser setback and the Applicant is showing 80-feet to the closest property line.¹ The forementioned Sabre Industries letter, see **Figure 4**, states that the tower would be designed for a fall radius of 40 feet or less, implying breakpoint technology at the 155-foot elevation on the tower, but the Applicant itself has not provided this statement.

The Applicant submitted the Federal Aviation Administration (FAA) Determination of No Hazard (DNH) to airspace navigation for the proposed 199-foot tower at the proposed location. The DNH states that no lighting or painting are required. Since the monopole is not required to be painted aviation white and orange, the structure could be left with a galvanized metallic finish or be painted another color agreed to by the Applicant and the County that is deemed less visually obtrusive.

The RF Engineer's affidavit provided evidence to support the claim that there are no existing wireless communication facilities or other structures reasonably close to the proposed site that can be utilized by US Cellular to accomplish its requested service improvements. The engineer's conclusions are summarized in a letter from the Submitter and co-signed by the RF Engineer, see **Figure 6**. The following three existing tower sites were studied by US Cellular's engineer:

1. **Towercom VI, 7733 S. James Madison Highway, Dillwyn VA, 195 feet AGL, 3.4 miles from the proposed site.** US Cellular Comments: Even with an antenna height of 190 feet AGL, "[a] facility at this location would not provide excellent in-vehicle coverage along [Highway 15] nor provide a substantial addition of indoor coverage in Sheppards or Curdsville." CityScape Response: We agree that this would not serve Applicant's objectives. The site is too far from Sheppards to provide in-building coverage improvement. Also, the site would not provide meaningful mobile in-vehicle improvement along Highway 15 south of Sheppards. Additionally, CityScape believes this site is too close to the existing US Cellular facility at Willis Mountain to provide substantial capacity relief to that facility.

¹ See Site Plan, Sheet C-1 of Construction Plans, Revision 5 dated 4/19/2023.

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2. **National Communications Towers, northwest of the intersection of US Highway 15 & State Highway 633, Curdsville VA, 195 feet AGL, 2.1 miles from the proposed site.** US Cellular Comments: *Even with an antenna height of 190 feet AGL, "this location is unsuitable from an RF design perspective...Like the [Towercom site], this one [will not] provide substantial benefit."* CityScape Response: This site also would not provide meaningful improvement to the south. The signal would suffer from significant terrain-related attenuation in the path through Sheppards and along Highway 15 south of Sheppards.
3. **SBA Tower, 169 Crescent Road, Sheppards VA, 195 feet AGL, 1.6 miles from the proposed site.** US Cellular Comments: *"[T]his location is unsuitable from an RF design perspective...the RF signals cannot propagate far enough north in order to bridge the coverage gap...In addition, [this location] will make it difficult to achieve improvements to our indoor coverage and capacity in [Sheppards and Curdsville]."* CityScape Response: As explained below, due to three carriers' antennas existing on this tower, the highest antenna height available is about 155 feet AGL. We agree that the site is too far south to provide improved in-building coverage into Curdsville.

It should be noted that CityScape has looked for but did not find any evidence that either of Alternative Sites 1 and 2 has ever been built. Both are registered in the FCC ASR database but both are in "Granted" status and have not been notified as "Constructed". In addition, as of 9/17/2022, the latest satellite imagery (through Google Earth), shows no existing tower or construction activity at either site. Thus, neither site, even if technically feasible for use by US Cellular, appears to be a realistic option. The SBA tower, however, does exist; in fact, it is Site 21 of CityScape's Master Plan Report for Buckingham County prepared in 2021. The tower is currently utilized by AT&T, Shentel/Sprint (now T-Mobile) and Verizon. The highest antenna elevation for an additional carrier on this tower is about 155 feet AGL. Based on our searches in communications tower databases, CityScape has found no additional existing towers in the area. After a thorough review of the three sites that US Cellular investigated, CityScape has determined that the proposed site is superior to the other three in terms of location, terrain elevation, and the degrees of signal improvement into Sheppards, Curdsville south of Sheppards along Highway 15 and along Francisco Road east and west of Highway 15.

Therefore, CityScape believes there is a preponderance of evidence that construction of a new personal wireless communications facility in the vicinity of the proposed site is technically justified and is essential for the Applicant to achieve its stated coverage goals. Furthermore, given the rolling nature of the terrain in the County, which presents challenges to personal wireless transmission and reception, CityScape believes the location and height proposed are technically appropriate. The choice of the monopole's color and whether the monopole should be concealed is at the discretion of the County.

CityScape reviewed all application materials provided by the Applicant as required by the County's land use regulations between February and April 2023. During that time, CityScape deemed

**County of Buckingham, Virginia
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Application for New Structure**

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CONSULTANTS, INC.

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the original submission and three subsequent re-submissions incomplete due to missing documentation as required by the County Code. The application was finally deemed complete on April 28, 2023.

If the County elects to approve the tower, it should do so with the following conditions:

1. Prior to issuance of building permits, the Applicant shall submit satisfactory SHPO and NEPA documentation; and,
2. Prior to permitting, the Applicant shall submit an engineering report, signed by a Professional Engineer licensed in the Commonwealth of Virginia, certifying that the tower will have the structural capacity for the proposed US Cellular equipment and similar installations of five other wireless providers; and,
3. Prior to permitting, the Applicant shall submit a signed letter stating that the tower will be designed with breakpoint technology to have a fall radius of 40 feet or less; and,
4. The Applicant shall submit final construction drawings for the facility which shall be certified by a Virginia Professional Engineer and include breakpoint technology in its tower design; and,
5. At the County's discretion, if concealment is not an option, the tower, antennas and all other ancillary equipment mounted on the tower shall be painted a color deemed the least visually obtrusive; and,
6. All vertical feedlines shall be installed within the monopole shaft and all access ports shall be sealed to prevent wildlife access.

We certify that, to the best of our knowledge, all the information included herein is accurate at the time of this report. CityScape is employed only by public entities and has unbiased opinions. All recommendations are based on technical merit without prejudice or bias per prevailing laws and codes.

Respectfully submitted,



B. Benjamin Evans
Senior Project Engineer
CityScape Consultants, Inc.

**County of Buckingham, Virginia
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CityScape

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Susan Rabold
Project Manager
CityScape Consultants, Inc.

**County of Buckingham, Virginia
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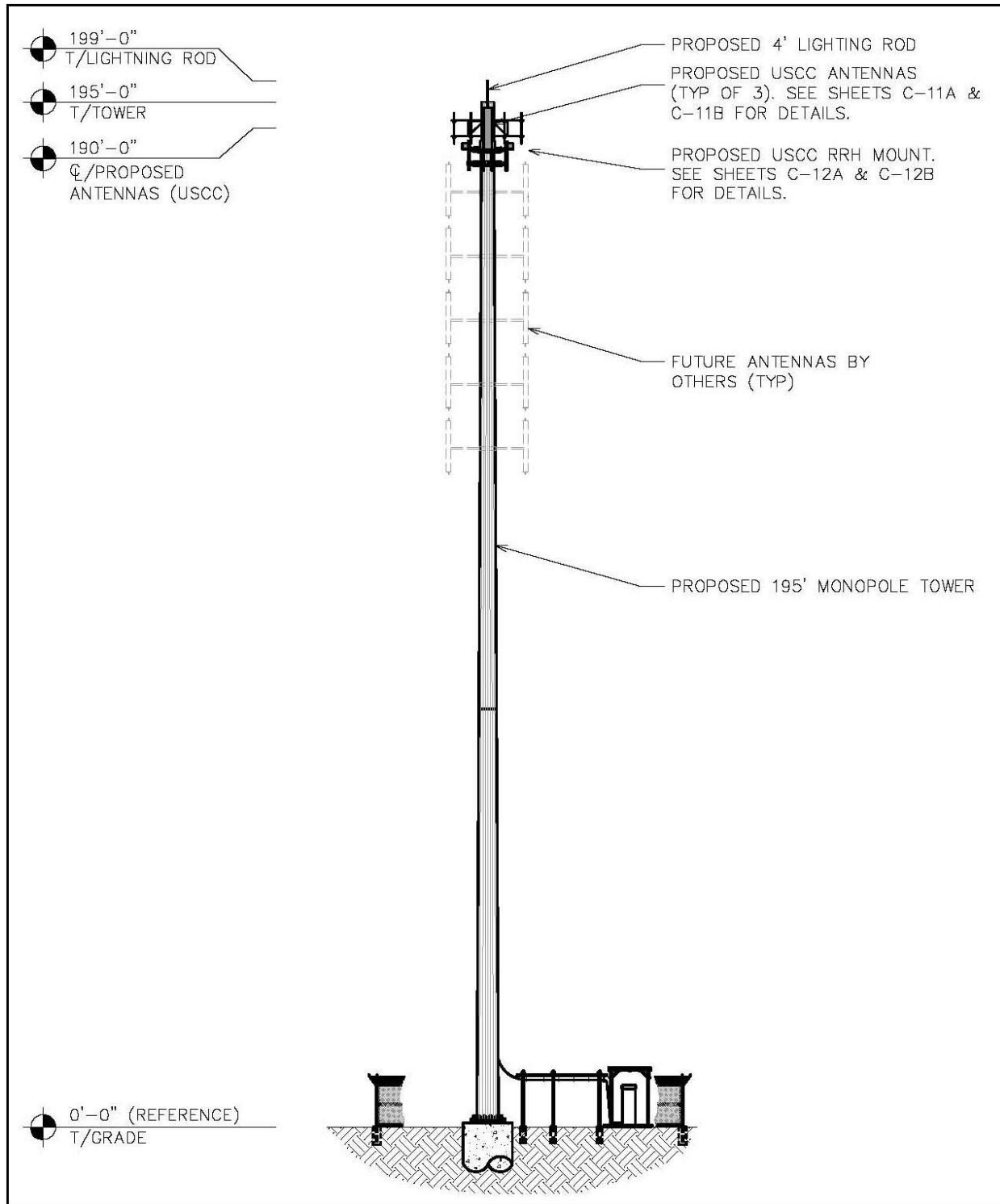


Figure 1. Tower Elevation Sketch

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Orlando, FL 32806

Tel: 877.438.2851 Fax: 877.220.4593

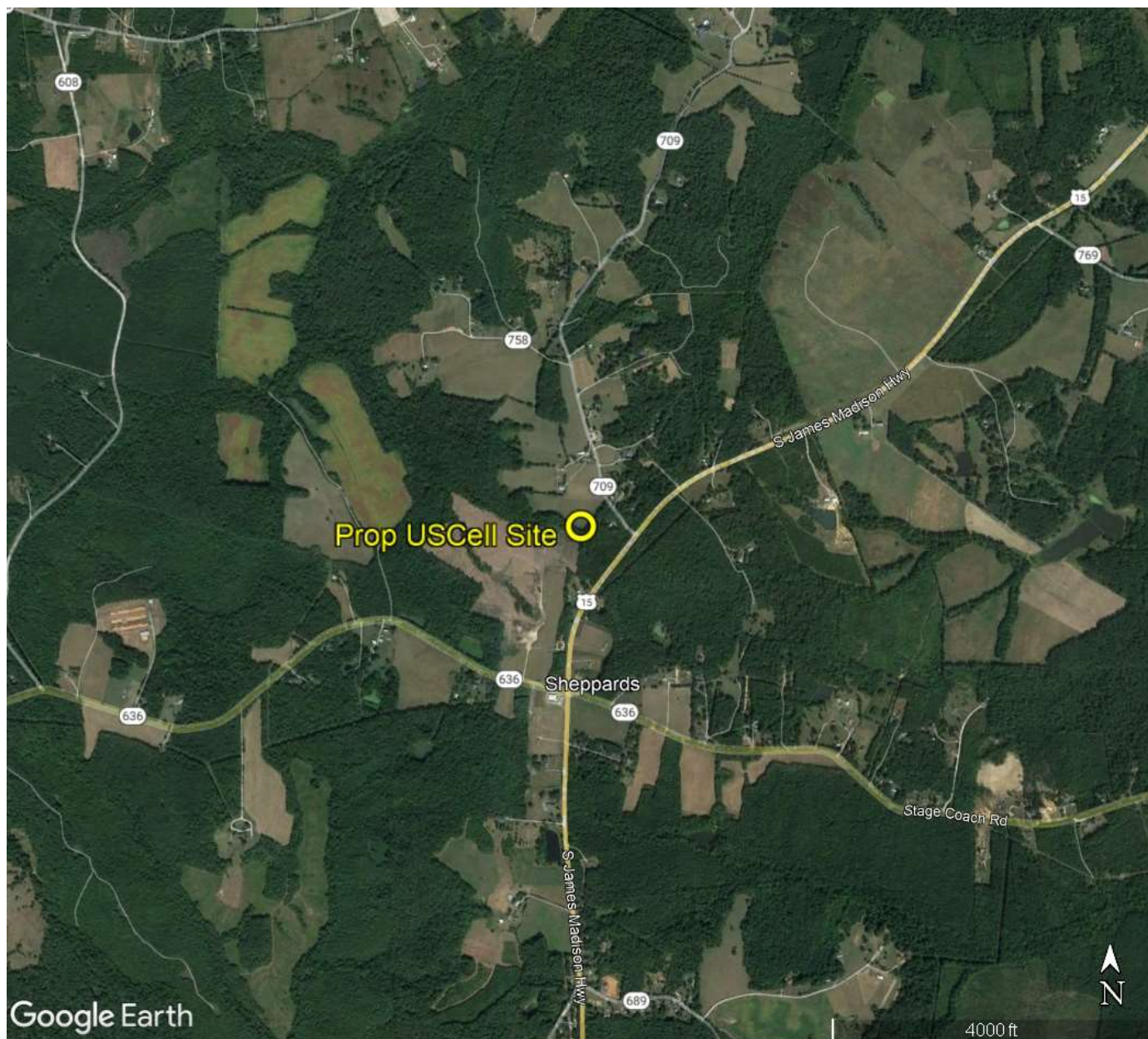


Figure 2. Google Map of Proposed Facility Location

**County of Buckingham, Virginia
Telecommunications Site Review
Application for New Structure**

CityScape
CONSULTANTS, INC.

2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593

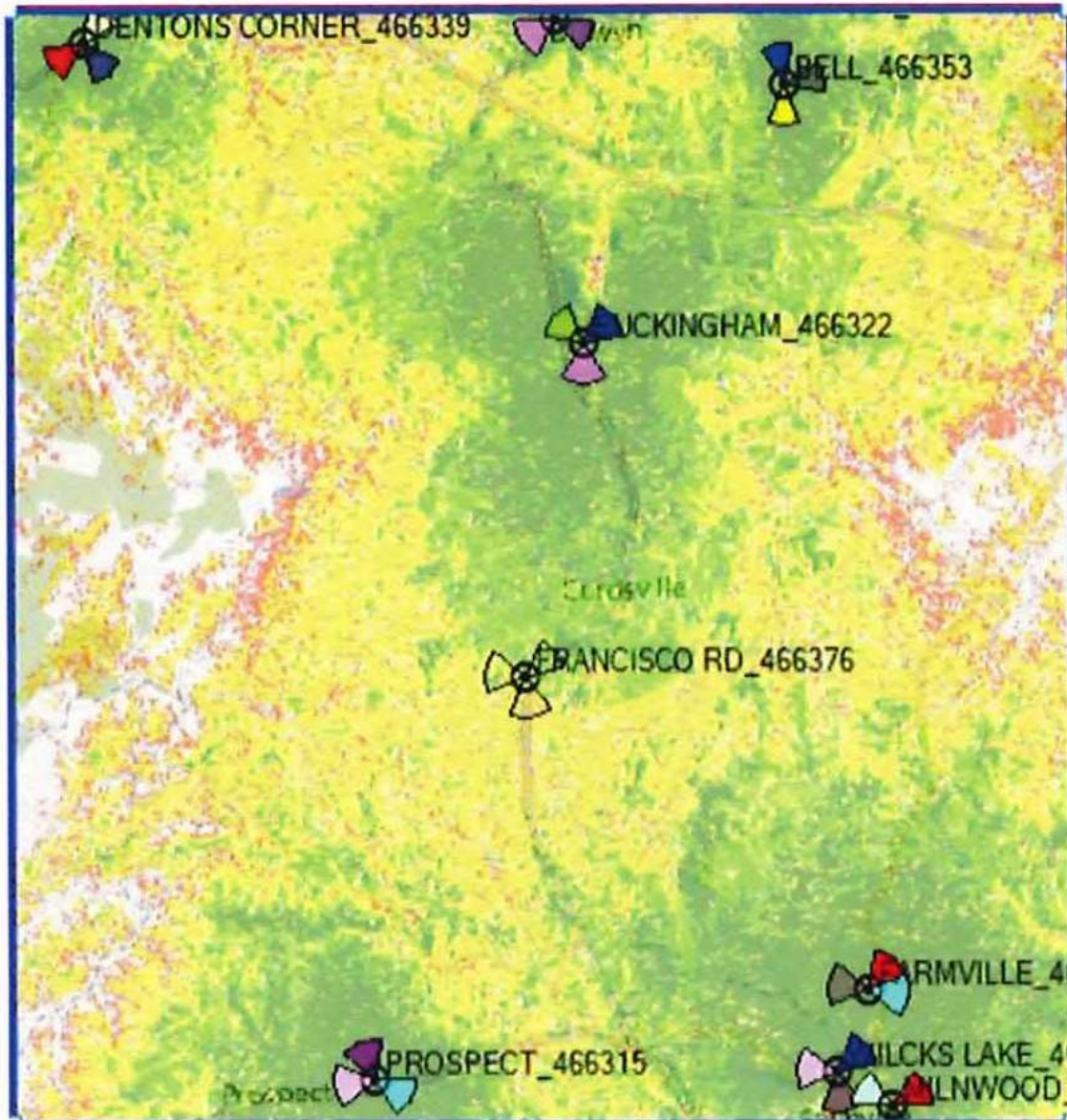


Figure 3-A. Propagation Map Showing Existing US Cellular Service Areas

**County of Buckingham, Virginia
Telecommunications Site Review
Application for New Structure**

CityScape
CONSULTANTS, INC.

2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593

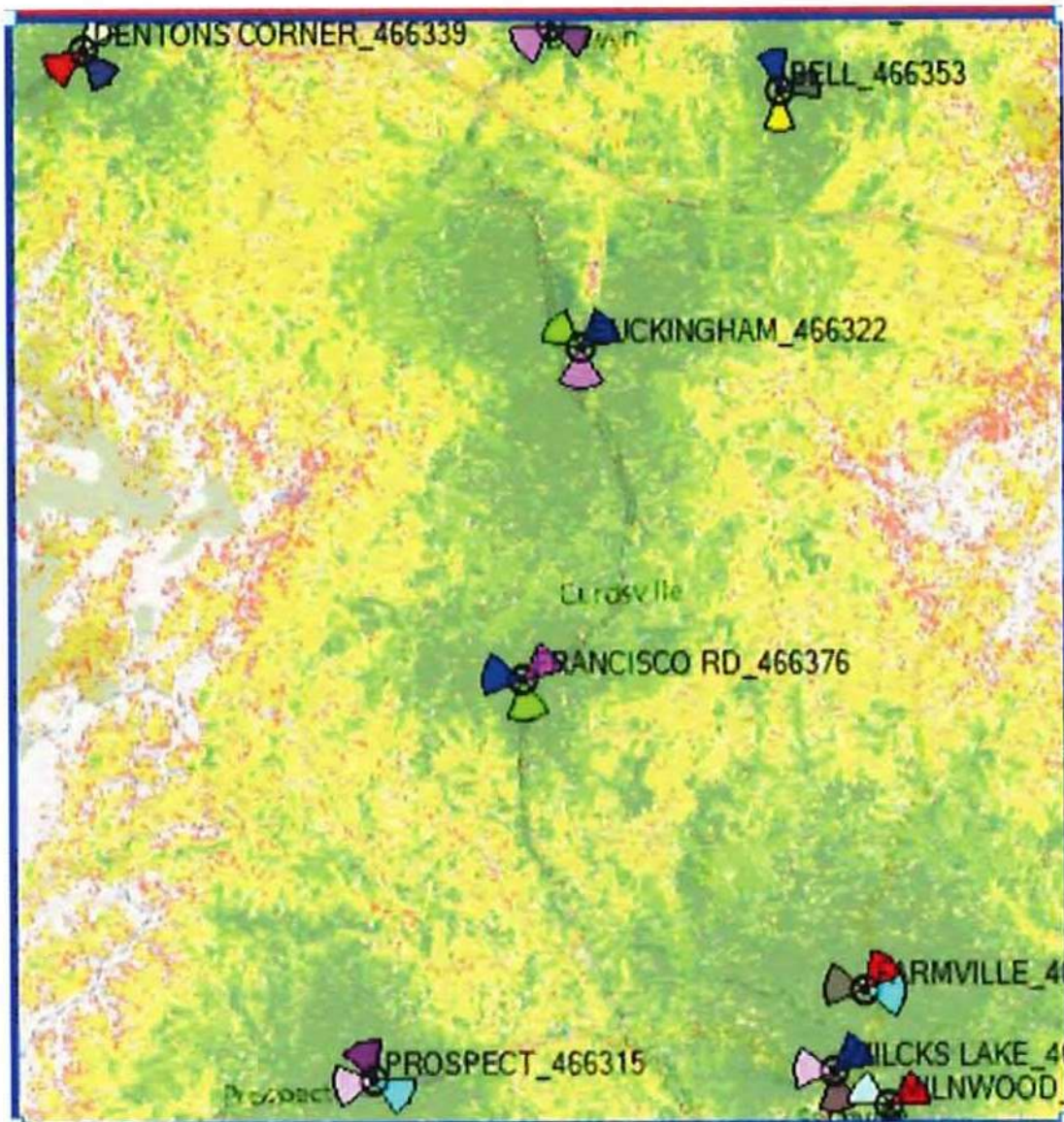


Figure 3-B. Propagation Map showing USC Service Areas Post-Construction

County of Buckingham, Virginia
Telecommunications Site Review
Application for New Structure

CityScape
CONSULTANTS, INC.

2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593



January 26, 2023

Mr. Jon Scarborough
US Cellular Corp
3806 Thirlane Road Northwest
Roanoke, VA 24019

RE: 190' Monopole for #466376 Francisco Road, VA

Dear Mr. Scarborough,

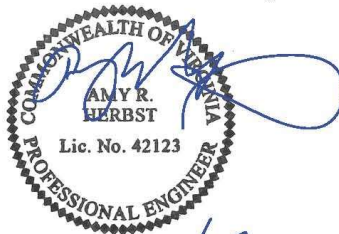
Upon receipt of order, we propose to design and supply the above-referenced monopole for an Ultimate Wind Speed of 110 mph without ice and 30 mph with 1.5" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna-Supporting Structures and Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above-referenced monopole designed and manufactured by Sabre Industries.* This would effectively result in a fall radius less than or equal to 40 feet.

Sincerely,

Amy R. Herbst, P.E.
Senior Design Engineer



Sabre Industries, Inc. • 7101 Southbridge Drive • Sioux City, IA 51111
P: 712-258-6690 F: 712-279-0814 W: www.SabreIndustries.com

Figure 4. Fall Zone Structural Letter

County of Buckingham, Virginia Telecommunications Site Review Application for New Structure

CityScape
CONSULTANTS, INC.

2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593

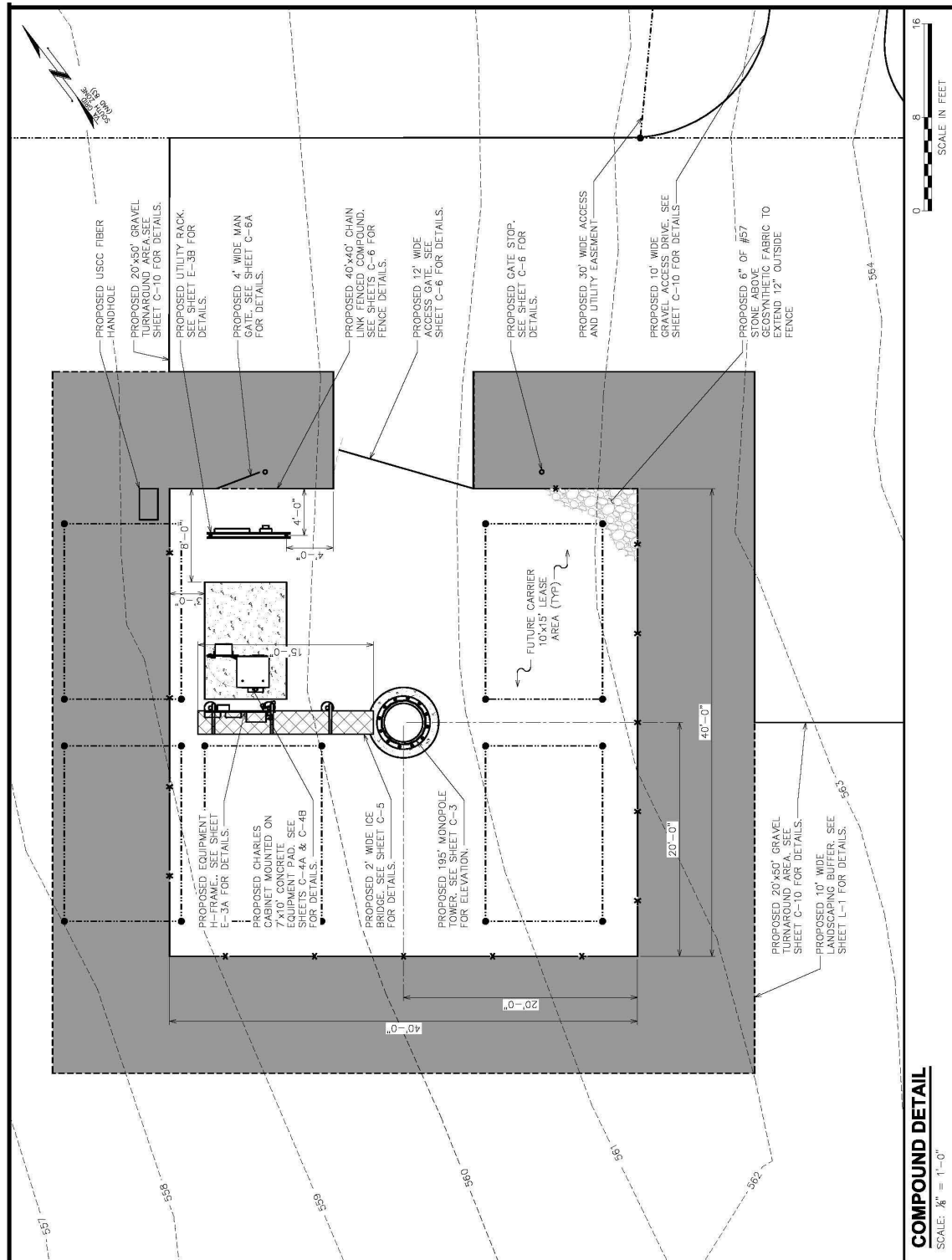


Figure 5. Ground Compound Detail

**County of Buckingham, Virginia
Telecommunications Site Review
Application for New Structure**

CityScape
CONSULTANTS, INC.

2423 S. Orange Avenue, #317
Orlando, FL 32806
Tel: 877.438.2851 Fax: 877.220.4593



January 26th, 2023

Buckingham County
13380 W. James Anderson Hwy
Buckingham, VA 23921

Re: Affidavit of Compliance with Siting Alternative Hierarchy
For proposed tower in Farmville, VA

To Whom It May Concern:

The purpose of this letter is to confirm there are no siting alternative locations. There are no other Wireless Communications Facilities or structures within the coverage objective area. Any utility structures in the vicinity were not adequate collocation candidates nor achieved the required height and therefore were deemed unacceptable. After search of the area it is determined there are not any alternative existing facilities that meet US Cellular's needs. The provided propagation maps show the service gap at the location of the proposed tower to be constructed by US Cellular.

Should you have any questions, please do not hesitate to contact me. US Cellular looks forward to working with you on this proposed project.

Sincerely,

A handwritten signature in cursive script, appearing to read "Emilee Lauer".


Emilee Lauer
Old Dominion Professional Services LLC
(540) 580-5139

A handwritten signature in cursive script, appearing to read "Nathan Canavan".

Nathan Canavan
Associate RF Engineer
US Cellular

Figure 6. Applicant's Collocation Study Summary Letter

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2.3, 4.8.13 of Table A thereof. The fieldwork was completed on 5/18/22. Date of Plat or Map: 6/06/22.


BRIAN L. SUTPHIN, LS #2679
6-6-22

THIS SURVEY IS NOT FOR RECORDATION

SCHEDULE B – SECTION II ITEMS
PER TITLE COMMITMENT #22110808VA DATED 4/26/22

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attached, or disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met.	DOES NOT APPLY TO SURVEY
2. Taxes are paid through 2021. Taxes for 2022 and subsequent periods become a lien not yet due and payable on the first day of the tax period.	DOES NOT APPLY TO SURVEY
3. Rights or claims of parties in possession not shown by the public records.	DOES NOT APPLY TO SURVEY
4. Easements, or claims of easements, not shown by the public records.	DOES NOT APPLY TO SURVEY
5. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises.	DOES NOT APPLY TO SURVEY
6. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.	DOES NOT APPLY TO SURVEY
7. Taxes or special assessments which are not shown as existing liens by the public records.	DOES NOT APPLY TO SURVEY
8. Boundary Line Agreement recorded August 31, 1994 in Book 172 at Page 786 as Instrument #1226.	DOES NOT AFFECT LEASE AREA OR ACCESS/UTIL. EASEMENT
9. Easement between Richard C. Harris and Central Telephone Company of Virginia dated September 3, 1993 and recorded July 14, 1994 in Book 194 at Page 142 as Instrument #1189.	DOES NOT AFFECT LEASE AREA OR ACCESS/UTIL. EASEMENT

PARENT PARCEL LEGAL DESC.

PER FILE #: 22110808VA

ALL that certain lot, tract or parcel of land, lying and being in Francisco Magisterial District, Buckingham County, Virginia, containing 36.3 acres, more or less, and bounded on the northernmost boundary by lands of Robert Harris, on the easternmost boundary by State Route 709, on the southernmost boundary by lands now or formerly of Jones and on the westernmost boundary by lands now or formerly of Phaup.

GENERAL NOTES

* THIS SPECIFIC PURPOSE ALTA SURVEY IS FOR THE LEASED PREMISES AND ACCESS AND OR UTILITY EASEMENTS ONLY, THIS SPECIFIC PURPOSE ALTA SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF U.S. CELLULAR CORPORATION AND EXCLUSIVELY FOR THE TRANSFERAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY
EQUIPMENT USED FOR ANGULAR AND LINEAR MEASUREMENTS:
TOPCON GM-50 (DATE OF LAST FIELD VISIT: 5/18/22)

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE ALTA SURVEY ARE ADJUSTED TO NAVD88 (GEOID 18) AND HAVE A VERTICAL ACCURACY OF +/- 0.5 FEET.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE ALTA SURVEY ARE BASED ON VIRGINIA SPC SOUTH ZONE (NAD83).

PER THE FEMA FLOODPLAIN MAPS, THIS SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD).
COMMUNITY PANEL NO.:51029C04258 DATED 6/17/08.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE ALTA SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

PARENT PARCEL

OWNER: RICHARD C. HARRIS & TERRY P. HARRIS
SITE ADDRESS: HOLLAND ROAD, FARMVILLE, VA 23901
PARCEL ID#: 196-13
AREA: 44.98 ACRES (PER TAX ASSESSOR)
REFERENCE: DEED BOOK 131, PAGE 651

LEGEND

- E— EXISTING OVERHEAD ELECTRIC
 - T— EXISTING OVERHEAD TELEPHONE
 - UE— EXISTING UNDERGROUND ELECTRIC
 - UT— EXISTING UNDERGROUND TELEPHONE
 - UT— PROPOSED UNDERGROUND ELECTRIC
 - UT— PROPOSED UNDERGROUND TELEPHONE
 - X— FENCE LINE
 - SURVEY LINE
 - POWER POLE
 - TELEPHONE PEDESTAL
 - WATER VALVES
 - FIRE HYDRANTS
 - 5/8" REBAR SET
 - AS NOTED
 - COMPUTED POINT
- TELEPHONE PED
FIRE HYDRANT
5/8" REBAR SET
AS NOTED
COMPUTED POINT

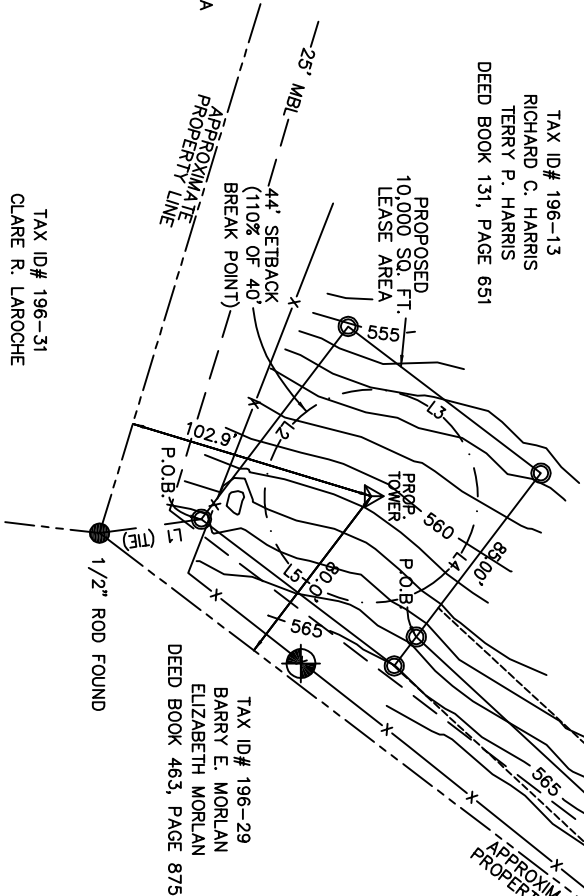
TAX ID# 196-13
RICHARD C. HARRIS
TERRY P. HARRIS
DEED BOOK 131, PAGE 651

GPS NOTES

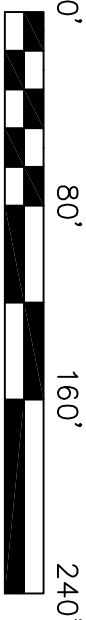
THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.02 FEET (HORZ) 0.23 FEET (VERT)
EQUIPMENT: LEICA SYSTEM 1200 DUAL FREQUENCY
GPS PROCESSING METHOD: OPUS
DATE OF SURVEY: 5/18/22
DATUM/EPOCH: NAD_83(2011)/EPOCH: 2010.0000
GEOID MODEL: GEOID 18
COMBINED GRID SCALE FACTOR: 0.99992373
CONVERGENCE ANGLE: 0°00'34"

TAX ID# 196-13
RICHARD C. HARRIS
TERRY P. HARRIS
DEED BOOK 131, PAGE 651



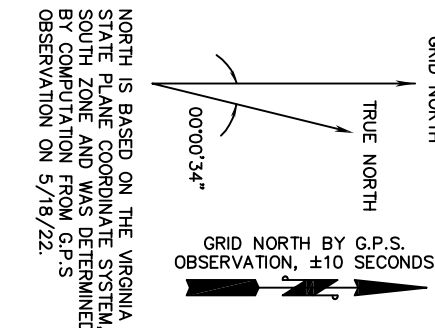
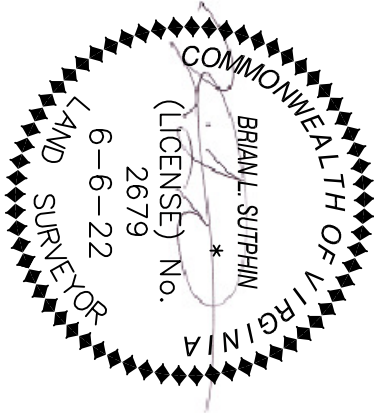
GRAPHIC SCALE



SCALE: 1" = 80'



LOCATION MAP
NOT TO SCALE



NORTH IS BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AND WAS DETERMINED BY COMPUTATION FROM G.P.S. OBSERVATION ON 5/18/22.

LINE	BEARING	DISTANCE
L1	N 07°44'16" W	42.44'
L2	N 52°43'59" W	100.00'
L3	N 37°16'01" E	100.00'
L4	S 52°43'59" E	100.00'
L5	S 37°16'01" W	100.00'
L6	N 42°46'23" E	202.57'
L7	N 38°49'48" E	99.94'
L8	N 02°23'22" E	86.47'
L9	N 62°10'12" E	31.72'

PROPOSED LEASE AREA LEGAL DESC.

ALL THAT CERTAIN LEASE AREA LYING IN BUCKINGHAM COUNTY, VIRGINIA, BEING A PORTION OF THE LANDS OF RICHARD C. HARRIS, AND TERRY P. HARRIS, TAX ID# 196-13, DEED BOOK 131, PAGE 651, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" ROD SET, SAID ROD BEING N 07°44'16" W 42.44' FROM A 1/2" ROD FOUND; THENCE N 52°43'59" W 100.00' TO A 5/8" ROD SET; THENCE N 37°16'01" E 100.00' TO A 5/8" ROD SET; THENCE S 52°43'59" E 100.00' TO A 5/8" ROD SET; THENCE S 37°16'01" W 100.00' TO THE POINT OF BEGINNING, AND CONTAINING 10,000 SQUARE FEET MORE OR LESS.

PROPOSED 30' NON-EXCLUSIVE ACCESS/UTILITY EASEMENT

ALL THAT CERTAIN NON-EXCLUSIVE ACCESS/UTILITY EASEMENT LYING IN BUCKINGHAM COUNTY, VIRGINIA, BEING A PORTION OF THE LANDS OF RICHARD C. HARRIS AND TERRY P. HARRIS, TAX ID# 196-13, DEED BOOK 131, PAGE 651, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" ROD SET, SAID ROD BEING S 52°43'59" E 85.00' FROM THE NORTHERN CORNER OF THE PROPOSED LEASE AREA; THENCE N 42°46'23" E 202.57' TO A 5/8" ROD SET; THENCE N 38°49'48" E 99.94' TO A 5/8" ROD SET; THENCE N 02°23'22" E 86.47' TO A 5/8" ROD SET; THENCE N 62°10'12" E 31.72' TO A R.R. SPIKE SET IN THE WESTERN RIGHT OF WAY LINE OF "HOLLAND ROAD".

BENCHMARK
NORTH: 3667870.88
EAST: 11487501.43
ELEVATION: 565.96' (NAVD 88)
DESCRIPTION: 5/8" ROD

COORDINATE POINT LOCATION
CENTERLINE OF TOWER (2C)
NAD 1983
LATITUDE: 37°23'47.180"N
LONGITUDE: 78°29'04.038"W
ELEVATION: 560.6' SITE (NAVD 88)
STATE PLANE COORDINATE
NORTHING: 3667889.87
EASTING: 11487432.36

US CELLULAR

BLUE RIDGE
SURVEYING & MAPPING, INC.
445 WEST STUART DRIVE
HILLSVILLE, VIRGINIA 24343
PHONE 276.728.2022
EMAIL: bsurvey@gmail.com

SITE NAME: FRANCISCO ROAD

SITE NUMBER: 466376

SITE ADDRESS: HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

911 ADDRESS: HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

AREA: LEASE AREA = 10,000 SQ. FT.

PROPERTY OWNER:
RICHARD C. HARRIS
TERRY P. HARRIS

TAX MAP NUMBER: 196

PARCEL NUMBER: 13

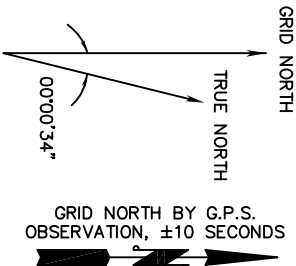
SOURCE OF TITLE:
DEED BOOK 131, PAGE 651

2C LATITUDE: 37°23'47.180"N
2C LONGITUDE: 78°29'04.038"W

NO.	REVISION/ISSUE	DATE
1	SURVEY	5/18/22

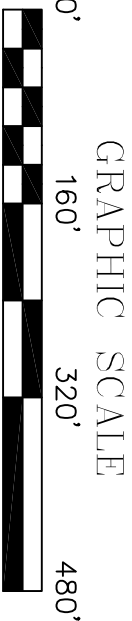
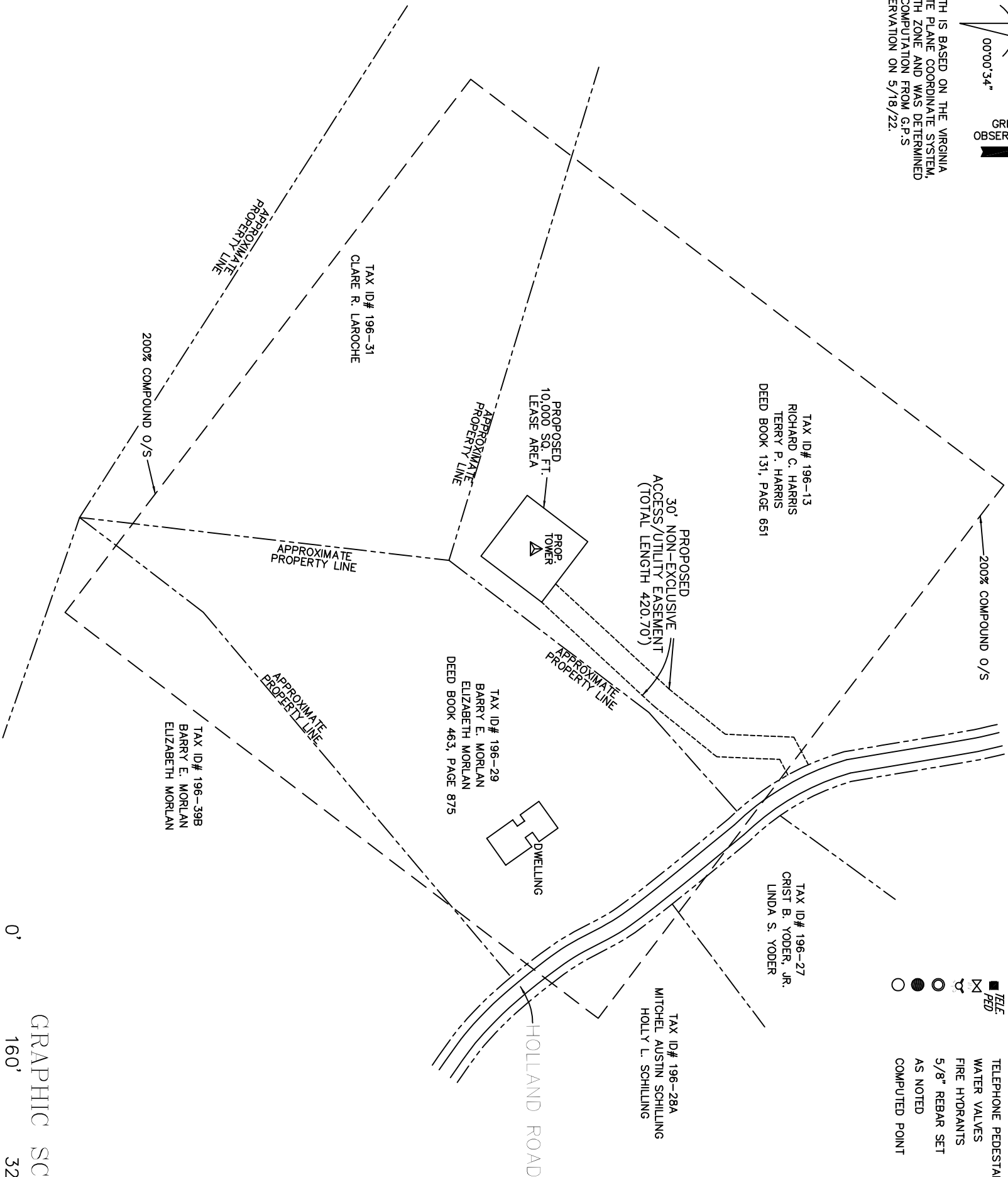
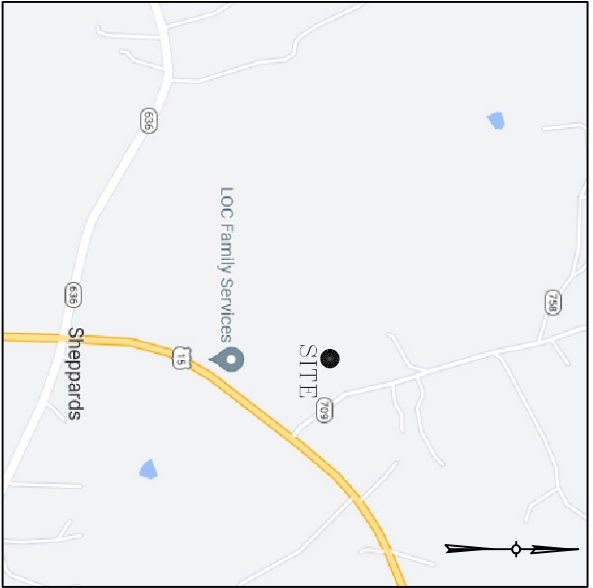
TITLE:
SPECIFIC PURPOSE ALTA SURVEY
LOCATED OFF
"HOLLAND ROAD"
CURDSVILLE MAGISTERIAL DISTRICT
BUCKINGHAM COUNTY, VIRGINIA

SHEET:



NORTH IS BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AND WAS DETERMINED BY COMPUTATION FROM G.P.S. OBSERVATION ON 5/18/22.

- LEGEND
- EXISTING OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - FENCE LINE
 - SURVEY LINE
 - POWER POLE
 - TELEPHONE PEDESTAL
 - WATER VALVES
 - FIRE HYDRANTS
 - 5/8" REBAR SET
 - AS NOTED
 - COMPUTED POINT



SCALE: 1" = 160'



BENCHMARK

NORTH: 3667870.88

EAST: 11487501.43

ELEVATION: 565.96' (NAVD 88)

DESCRIPTION: 5/8" ROD

COORDINATE POINT LOCATION

CENTERLINE OF TOWER (2C)

NAD 1983

LATITUDE: 37°23'47.180"N

LONGITUDE: 78°29'04.038"W

ELEVATION: 560.6' SITE (NAVD 88)

STATE PLANE COORDINATE

NORTHING: 3667899.87

EASTING: 11487432.36

US CELLULAR

BLUE RIDGE

SURVEYING & MAPPING, INC.

445 WEST STUART DRIVE

HILLSVILLE, VIRGINIA 24343

PHONE 276.728.2022

EMAIL: bsurvey1@gmail.com

SITE NAME: FRANCISCO ROAD

SITE NUMBER: 466376

SITE ADDRESS: HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

911 ADDRESS: HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

AREA: LEASE AREA = 10,000 SQ. FT.

PROPERTY OWNER:

RICHARD C. HARRIS
TERRY P. HARRIS

TAX MAP NUMBER:

196

PARCEL NUMBER:

13

SOURCE OF TITLE:

DEED BOOK 131, PAGE 651

2C LATITUDE: 37°23'47.180"N

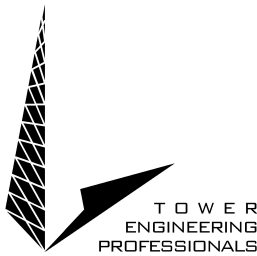
2C LONGITUDE: 78°29'04.038"W

NO.	REVISION/ISSUE	DATE
1	SURVEY	5/18/22

TITLE: SPECIFIC PURPOSE ALTA SURVEY
LOCATED OFF
"HOLLAND ROAD"
CURDSVILLE MAGISTERIAL DISTRICT
BUCKINGHAM COUNTY, VIRGINIA

SHEET:

C-2A



Mr. John Scarborough
Project Manager – USCC
3806 Thirlane Road NW
Roanoke, VA 24019

Re: NEPA Checklist
U.S. Cellular Corporation
Francisco Road (466376)
Holland Road
Farmville, VA 23901
(Buckingham County)

Mr. Scarborough,

Tower Engineering Professionals, Inc. (TEP) conducted an FCC Compliance NEPA Checklist (NEPA) for the proposed tower compound lease area and access & utility easement associated with the proposed construction of a 195-ft (199-ft with appurtenances) AGL monopole communications tower for the site designated as **Francisco Road (466376)** and is pleased to submit the findings to U.S. Cellular. The proposed site is located on a parcel of real estate in Buckingham County, VA. The parent property is occupied by agricultural land. The surrounding properties are primarily occupied by low-density residential, agricultural, and forested land.

The NEPA Checklist research conducted by TEP indicates that the site is **not**: located in an officially designated wilderness area; located in an officially designated wildlife preserve; located in a floodplain and proposed to be constructed less than one foot above the base flood elevation; involve significant change in surface features; located in a residential zoned area and required to be equipped with high intensity white lights; and will **not**: adversely affect threatened or endangered species or their designated critical habitats; adversely affect districts, sites, buildings, structures or objects listed or eligible for listing on the National Register of Historic Places; or affect Indian religious sites.

TEP conducted the Section 106 of the NHPA portion of the NEPA checklist and the Native American consultation. TEP filed the proposed **Francisco Road (466376)** site with the FCC Tower Construction Notification System (TCNS) on 9/30/2022 and was assigned TCNS Identification Number 256725. TEP has received correspondence from all of the applicable tribes with known ancestral and/or aboriginal rights to Buckingham County, VA as per FCC TCNS.

The results of the NEPA Checklist conducted by TEP conclude that no further investigation (i.e. NEPA Environmental Assessment) is warranted and recommended for the **Francisco Road (466376)** site.

This NEPA Checklist is limited to the location of the proposed 195-ft (199-ft with appurtenances) AGL monopole communications tower, 10,000-ft² tower compound lease area containing a 1,600-ft² fenced tower compound and a proposed 20' x 43' gravel turnaround area, and a proposed 30-ft x 420-ft access & utility easement as depicted on the "Site Plan – Sheet C-1" dated September 21, 2022, which was completed by Tower Engineering Professionals for U.S. Cellular Corporation. Any future or additional lease areas or access and/or utility easements not depicted on the aforementioned site plan were not assessed as part of this NEPA Checklist and are not warranted with this document.

Sincerely

A handwritten signature in black ink, appearing to read "Ryan A. Malek".

Ryan A. Malek
Environmental Division Manager
Tower Engineering Professionals, Inc.



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Virginia Ecological Services Field Office
6669 Short Lane
Gloucester, VA 23061-4410
Phone: (804) 693-6694 Fax: (804) 693-9032



In Reply Refer To:
Project code: 2023-0068532
Project Name: Francisco Rd.

April 13, 2023

Federal Nexus: yes
Federal Action Agency (if applicable): Federal Communications Commission

Subject: Federal agency coordination under the Endangered Species Act, Section 7 for 'Francisco Rd.'

Dear Ryan Malek:

This letter records your determination using the Information for Planning and Consultation (IPaC) system provided to the U.S. Fish and Wildlife Service (Service) on April 13, 2023, for 'Francisco Rd.' (here forward, Project). This project has been assigned Project Code 2023-0068532 and all future correspondence should clearly reference this number. **Please carefully review this letter. Your Endangered Species Act (Act) requirements may not be complete.**

Ensuring Accurate Determinations When Using IPaC

The Service developed the IPaC system and associated species' determination keys in accordance with the Endangered Species Act of 1973 (ESA; 87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) and based on a standing analysis. All information submitted by the Project proponent into the IPaC must accurately represent the full scope and details of the Project. Failure to accurately represent or implement the Project as detailed in IPaC or the Northern Long-eared Bat Rangewide Determination Key (DKey), invalidates this letter.

Determination for the Northern Long-Eared Bat

Based upon your IPaC submission and a standing analysis completed by the Service, your project has reached the determination of “May Affect, Not Likely to Adversely Affect” the northern long-eared bat. Unless the Service advises you within 15 days of the date of this letter that your IPaC-assisted determination was incorrect, this letter verifies that consultation on the Action is complete and no further action is necessary unless either of the following occurs:

- new information reveals effects of the action that may affect the northern long-eared bat in a manner or to an extent not previously considered; or,
- the identified action is subsequently modified in a manner that causes an effect to the northern long-eared bat that was not considered when completing the determination key.

15-Day Review Period

As indicated above, the Service will notify you within 15 calendar days if we determine that this proposed Action does not meet the criteria for a “may affect, not likely to adversely affect” (NLAA) determination for the northern long-eared bat. If we do not notify you within that timeframe, you may proceed with the Action under the terms of the NLAA concurrence provided here. This verification period allows the identified Ecological Services Field Office to apply local knowledge to evaluation of the Action, as we may identify a small subset of actions having impacts that we did not anticipate when developing the key. In such cases, the identified Ecological Services Field Office may request additional information to verify the effects determination reached through the Northern Long-eared Bat DKey.

Other Species and Critical Habitat that May be Present in the Action Area

The IPaC-assisted determination for the northern long-eared bat does not apply to the following ESA-protected species and/or critical habitat that also may occur in your Action area:

- Monarch Butterfly *Danaus plexippus* Candidate
- Tricolored Bat *Perimyotis subflavus* Proposed Endangered

You may coordinate with our Office to determine whether the Action may affect the species and/or critical habitat listed above. Note that reinitiation of consultation would be necessary if a new species is listed or critical habitat designated that may be affected by the identified action before it is complete.

If you have any questions regarding this letter or need further assistance, please contact the Virginia Ecological Services Field Office and reference Project Code 2023-0068532 associated with this Project.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

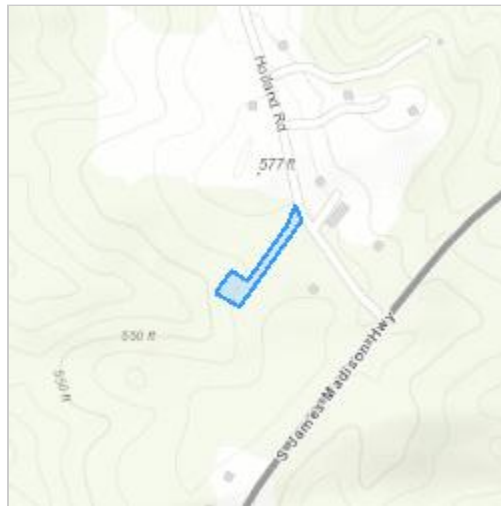
Francisco Rd.

2. Description

The following description was provided for the project 'Francisco Rd.':

Proposed communications tower project within an agricultural field.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@37.3970169,-78.48379376333045,14z>



DETERMINATION KEY RESULT

Based on the answers provided, the proposed Action is consistent with a determination of “may affect, but not likely to adversely affect” for the Endangered northern long-eared bat (*Myotis septentrionalis*).

QUALIFICATION INTERVIEW

1. Does the proposed project include, or is it reasonably certain to cause, intentional take of the northern long-eared bat or any other listed species?

Note: Intentional take is defined as take that is the intended result of a project. Intentional take could refer to research, direct species management, surveys, and/or studies that include intentional handling/encountering, harassment, collection, or capturing of any individual of a federally listed threatened, endangered or proposed species?

No

2. Do you have post-white nose syndrome occurrence data that indicates that northern long-eared bats (NLEB) are likely to be present in the action area?

Bat occurrence data may include identification of NLEBs in hibernacula, capture of NLEBs, tracking of NLEBs to roost trees, or confirmed acoustic detections. With this question, we are looking for data that, for some reason, may have not yet been made available to U.S. Fish and Wildlife Service.

No

3. Does any component of the action involve construction or operation of wind turbines?

Note: For federal actions, answer ‘yes’ if the construction or operation of wind power facilities is either (1) part of the federal action or (2) would not occur but for a federal agency action (federal permit, funding, etc.).

No

4. Is the proposed action authorized, permitted, licensed, funded, or being carried out by a Federal agency in whole or in part?

Yes

5. Is the Federal Highway Administration (FHWA), Federal Railroad Administration (FRA), or Federal Transit Administration (FTA) funding or authorizing the proposed action, in whole or in part?

No

6. Are you an employee of the federal action agency or have you been officially designated in writing by the agency as its designated non-federal representative for the purposes of Endangered Species Act Section 7 informal consultation per 50 CFR § 402.08?

Note: This key may be used for federal actions and for non-federal actions to facilitate section 7 consultation and to help determine whether an incidental take permit may be needed, respectively. This question is for information purposes only.

Yes

7. Is the lead federal action agency the Environmental Protection Agency (EPA) or Federal Communications Commission (FCC)? Is the Environmental Protection Agency (EPA) or Federal Communications Commission (FCC) funding or authorizing the proposed action, in whole or in part?

Yes

8. Have you determined that your proposed action will have no effect on the northern long-eared bat? Remember to consider the [effects of any activities](#) that would not occur but for the proposed action.

If you think that the northern long-eared bat may be affected by your project or if you would like assistance in deciding, answer “No” below and continue through the key. If you have determined that the northern long-eared bat does not occur in your project’s action area and/or that your project will have no effects whatsoever on the species despite the potential for it to occur in the action area, you may make a “no effect” determination for the northern long-eared bat.

Note: Federal agencies (or their designated non-federal representatives) must consult with USFWS on federal agency actions that may affect listed species [50 CFR 402.14(a)]. Consultation is not required for actions that will not affect listed species or critical habitat. Therefore, this determination key will not provide a consistency or verification letter for actions that will not affect listed species. If you believe that the northern long-eared bat may be affected by your project or if you would like assistance in deciding, please answer “No” and continue through the key. Remember that this key addresses only effects to the northern long-eared bat. Consultation with USFWS would be required if your action may affect another listed species or critical habitat. The definition of [Effects of the Action](#) can be found here: <https://www.fws.gov/media/northern-long-eared-bat-assisted-determination-key-selected-definitions>

No

9. Does the action area contain any caves (or associated sinkholes, fissures, or other karst features), mines, rocky outcroppings, or tunnels that could provide habitat for hibernating northern long-eared bats?

No

10. Is suitable summer habitat for the northern long-eared bat present within 1000 feet of project activities?
(If unsure, answer "Yes.")

Note: If there are trees within the action area that are of a sufficient size to be potential roosts for bats (i.e., live trees and/or snags ≥ 3 inches (12.7 centimeter) dbh), answer "Yes". If unsure, additional information defining suitable summer habitat for the northern long-eared bat can be found at: <https://www.fws.gov/media/northern-long-eared-bat-assisted-determination-key-selected-definitions>

Yes

11. Will the action cause effects to a bridge?

No

12. Will the action result in effects to a culvert or tunnel?

No

13. Does the action include the intentional exclusion of northern long-eared bats from a building or structure?

Note: Exclusion is conducted to deny bats' entry or reentry into a building. To be effective and to avoid harming bats, it should be done according to established standards. If your action includes bat exclusion and you are unsure whether northern long-eared bats are present, answer "Yes." Answer "No" if there are no signs of bat use in the building/structure. If unsure, contact your local U.S. Fish and Wildlife Services Ecological Services Field Office to help assess whether northern long-eared bats may be present. Contact a Nuisance Wildlife Control Operator (NWCO) for help in how to exclude bats from a structure safely without causing harm to the bats (to find a NWCO certified in bat standards, search the Internet using the search term "National Wildlife Control Operators Association bats"). Also see the White-Nose Syndrome Response Team's guide for bat control in structures

No

14. Does the action involve removal, modification, or maintenance of a human-made structure (barn, house, or other building) **known or suspected to contain roosting bats**?

No

15. Will the action cause construction of one or more new roads open to the public?

For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.).

No

16. Will the action include or cause any construction or other activity that is reasonably certain to increase average daily traffic on one or more existing roads?

Note: For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.).

No

17. Will the action include or cause any construction or other activity that is reasonably certain to increase the number of travel lanes on an existing thoroughfare?

For federal actions, answer 'yes' when the construction or operation of these facilities is either (1) part of the federal action or (2) would not occur but for an action taken by a federal agency (federal permit, funding, etc.).

No

18. Will the proposed action involve the creation of a new water-borne contaminant source (e.g., leachate pond pits containing chemicals that are not NSF/ANSI 60 compliant)?

No

19. Will the proposed action involve the creation of a new point source discharge from a facility other than a water treatment plant or storm water system?

No

20. Will the action include drilling or blasting?

Yes

21. Will the drilling or blasting affect known or potentially suitable hibernacula, summer habitat, or active year-round habitat (where applicable) for the northern long-eared bat?

Note: In addition to direct impacts to hibernacula, consider impacts to hydrology or air flow that may impact the suitability of hibernacula. Additional information defining suitable summer habitat for the northern long-eared bat can be found at: <https://www.fws.gov/media/northern-long-eared-bat-assisted-determination-key-selected-definitions>

No

22. Will the action involve military training (e.g., smoke operations, obscurant operations, exploding munitions, artillery fire, range use, helicopter or fixed wing aircraft use)?

No

23. Will the proposed action involve the use of herbicides or pesticides other than herbicides (e.g., fungicides, insecticides, or rodenticides)?

No

24. Will the action include or cause activities that are reasonably certain to cause chronic nighttime noise in suitable summer habitat for the northern long-eared bat? Chronic noise is noise that is continuous or occurs repeatedly again and again for a long time.

Note: Additional information defining suitable summer habitat for the northern long-eared bat can be found at: <https://www.fws.gov/media/northern-long-eared-bat-assisted-determination-key-selected-definitions>

Yes

25. Will the proposed action result in the cutting or other means of knocking down, bringing down, or trimming of any trees suitable for northern long-eared bat roosting?

Note: Suitable northern long-eared bat roost trees are live trees and/or snags ≥ 3 inches dbh that have exfoliating bark, cracks, crevices, and/or cavities.

No

PROJECT QUESTIONNAIRE

Will all project activities be completed by April 1, 2024?

Yes

IPAC USER CONTACT INFORMATION

Agency: Tower Engineering Professionals, Inc.

Name: Ryan Malek

Address: 326 Tryon Road

City: Raleigh

State: NC

Zip: 27603

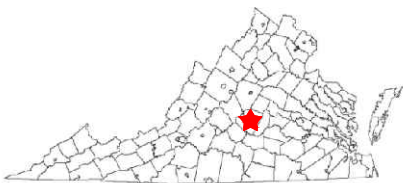

Email: rmalek@tepgroup.net

Phone: 9193321917

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Federal Communications Commission

STATE LOCATION



SITE LOCATION



DRIVING DIRECTIONS

FROM RICHMOND, VA: TAKE PREFERRED ROUTE TO VA-76 S. STAY ON VA-76 S THEN TAKE THE VA-288 N EXIT AND KEEP LEFT FOR VA-288 N. EXIT ONTO US-60 W. TURN LEFT ONTO CO RD 652 THEN TURN LEFT ONTO STATE RTE 654. CONTINUE ON STATE RTE 654 THEN TURN LEFT ONTO STATE RTE 600. TURN RIGHT ONTO STATE RTE 633 THEN TURN LEFT ONTO US-15 S. TURN RIGHT ONTO STATE RTE 709. THE SITE WILL BE ON THE LEFT IN 500 FEET.

PROJECT TEAM

PROJECT CONTACT:
NAME U.S. CELLULAR CORPORATION
ADDRESS 8410 W. BRYN MAWR
CITY, STATE, ZIP CHICAGO, IL 60631
CONTACT JON SCARBOROUGH

TOWER OWNER:
NAME U.S. CELLULAR CORPORATION
ADDRESS 8410 W. BRYN MAWR
CITY, STATE, ZIP CHICAGO, IL 60631
CONTACT JON SCARBOROUGH

CIVIL ENGINEER:
NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT TYLER D. SHENK, P.E.
PHONE (919) 661-6351

ELECTRICAL ENGINEER:
NAME TOWER ENGINEERING PROFESSIONALS, INC.
ADDRESS 326 TRYON ROAD
CITY, STATE, ZIP RALEIGH, NC 27603-3530
CONTACT TYLER D. SHENK, P.E.
PHONE (919) 661-6351

PROPOSED 195-FT MONOPOLE (199-FT OVERALL HEIGHT)

SITE NAME:
FRANCISCO ROAD

SITE NUMBER:
466376

SITE ADDRESS (E911 ADDRESS T.B.D.):
**HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)**

INDEX OF SHEETS		
NO.	SHEET TITLE	REV
T-1	TITLE SHEET	5
-	SITE SURVEY	-
C-1	SITE PLAN	5
C-2	COMPOUND DETAIL	5
C-3	TOWER ELEVATION	5
C-4AB	CABINET & FOUNDATION DETAILS	5
C-5	ICE BRIDGE DETAILS	5
C-6	FENCE DETAILS	5
C-6A	MAN GATE DETAILS	5
C-6B	CATTLE GATE DETAILS	5
C-7	SIGNAGE DETAILS	5
C-8	SOIL & EROSION CONTROL PLAN	5
C-9	SILT FENCE DETAILS	5
C-10	ACCESS ROAD DETAILS	5
C-11AB	ANTENNA MOUNTING DETAILS & SPECIFICATIONS	5
C-12AB	RRH MOUNTING DETAILS & SPECIFICATIONS	5
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E-3	POWER/TELCO PLAN	5
E-3AB	EQUIPMENT H-FRAME & SERVICE RACK DETAILS	5
E-4,5	COMPOUND & EQUIPMENT GROUNDING PLAN	5
E-6,7,8	GROUNDING DETAILS I, II, III	5
N-1	PROJECT NOTES	5
-	APPENDIX: USGS TOPO MAP	-

PROJECT INFORMATION

LATITUDE: N 37° 23' 47.180" (NAD '83)*
LONGITUDE: W 78° 29' 04.038" (NAD '83)*
EXISTING GROUND ELEVATION: 560.6' ± (NAVD '88) *
PROPOSED GROUND ELEVATION: 560.6' ± (NAVD '88)
* INFORMATION PER 1-A CERTIFICATION PROVIDED BY BLUE RIDGE SURVEYING & MAPPING, INC. DATED MAY 19, 2022.
TOWER TYPE: 195' MONOPOLE (199' OVERALL)
LOADING TYPE: 4T4R
ACCESS ISSUES: N/A
GATE COMBO: 8722

STRUCTURAL NOTE

STRUCTURAL STATUS:

- MOUNT SA - N/A
- TOWER SA - N/A

SCOPE OF WORK

TOWER SCOPE:
PROPOSED EQUIPMENT:

- (3) DENGYO OCT8-2LX2HX-BW65 ANTENNAS
- (3) SECTOR MOUNTS (SABRE P/N: C10857777CDP OR APPROVED EQUIVALENT)
- (1) COLLAR MOUNT (SABRE P/N: C10899050 OR APPROVED EQUIVALENT)
- (2) RRH QUAD BRACKET MOUNT (SITE PRO P/N: UGLM4 OR APPROVED EQUIVALENT)
- (8) RRH DUAL MOUNTS (SITE PRO P/N: CWT8 OR APPROVED EQUIVALENT)
- (1) 1¼" HYBRID LINE
- (1) RAYCAP RUSDC-6267-PF-48 (ON RRH MOUNT)
- (3) NOKIA AHCA RRHs
- (3) NOKIA AHFIB RRHs
- (3) GROUND BARS (TOWER TOP, TOWER MIDDLE, AND BASE OF TOWER)

LTE JUMPERS:

- (3) POWER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
- (6) FIBER JUMPERS FROM RAYCAP TO BAND 2/4 RRHS
- (12) PROPOSED ½" JUMPERS FROM BAND 2/4 RRHS TO ANTENNA
- (3) POWER JUMPERS FROM RAYCAP TO BAND 5 RRHS
- (6) FIBER JUMPERS FROM RAYCAP TO BAND 5 RRHS
- (12) PROPOSED ½" JUMPERS FROM BAND 5 RRHS TO ANTENNA
- (3) RET JUMPERS FROM BAND 5 RRHS TO ANTENNA

GROUND EQUIPMENT SCOPE:
PROPOSED EQUIPMENT:

- (1) 7'x10' CONCRETE PAD
- (1) CHARLES EQUIPMENT CABINET
- (1) ICE BRIDGE (15'-0" IN LENGTH REQUIRED)
- (1) RAYCAP RUSDC-6267-PF-48 (MOUNTED ON H-FRAME)
- (1) JUNCTION BOX
- (1) GROUND BAR ON EQUIPMENT H-FRAME
- (1) GROUND BAR ON EQUIPMENT PAD
- (1) CAC EQUIPMENT CABINET
- (1) MULTI-GANG METER SERVICE RACK WITH TELCO BOX (COORDINATE WITH LOCAL UTILITY COMPANY)
- (1) 200A POWER METER & SERVICE ENTRANCE DISCONNECT
- (1) EQUIPMENT CANOPY (SITEPRO P/N: COV1012-B)
- (8) 6' UNISTRUTS FOR H-FRAME AND U-BOLTS FOR MOUNTING
- (8) 7' UNISTRUTS FOR SERVICE RACK & U-BOLTS FOR MOUNTING

SPECIAL REQUIREMENTS:
ANTENNA AZIMUTHS:
CONTRACTOR SHALL VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
CONTRACTOR TO REQUEST RF SHEET FROM CM, DO NOT GO ONLY OFF DRAWINGS.

UTILITIES:
POWER COMPANY: CENTRAL VA ELECTRIC COOPERATIVE
CONTACT: CUSTOMER SERVICE
PHONE: (800) 367-2832
METER # ON SITE: 90 579 755
TELCO COMPANY: SPRINT CORPORATION
CONTACT: CUSTOMER SERVICE
PHONE: (888) 211-4727
PEDESTAL # NEAR SITE: DN 9-1-1

PLANS PREPARED FOR:


8410 W. BRYN MAWR
CHICAGO, IL 60631

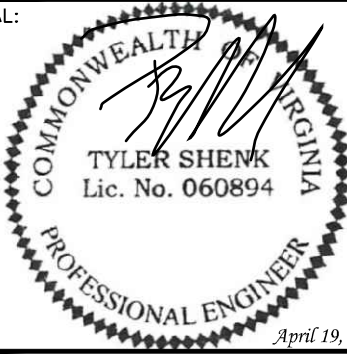
PROJECT INFORMATION:

FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:


TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:


April 19, 2023

5	04-19-23	CONSTRUCTION
4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD	CHECKED BY: ANG
---------------	-----------------

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: **T-1**

REVISION: **5**
TEP#: 311384

To US CELLULAR CORPORATION and WFG NATIONAL TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2,3,4,8,13 of Table A thereof. The fieldwork was completed on 5/18/22. Date of Plat or Map: 6/06/22.



6-6-22

BRIAN L. SUTPHIN, LS #2679

THIS SURVEY IS NOT FOR RECORDATION

SCHEDULE B – SECTION II ITEMS
PER TITLE COMMITMENT #22110808VA DATED 4/26/22

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attached, or disclosed between the Commitment Date and the date on which all of the Schedule B, Part I--Requirements are met.	DOES NOT APPLY TO SURVEY
2. Taxes are paid through 2021 Taxes for 2022 and subsequent periods become a lien not yet due and payable on the first day of the tax period.	DOES NOT APPLY TO SURVEY
3. Rights or claims of parties in possession not shown by the public records.	DOES NOT APPLY TO SURVEY
4. Easements, or claims of easements, not shown by the public records.	DOES NOT APPLY TO SURVEY
5. Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises.	DOES NOT APPLY TO SURVEY
6. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.	DOES NOT APPLY TO SURVEY
7. Taxes or special assessments which are not shown as existing liens by the public records.	DOES NOT APPLY TO SURVEY
8. Boundary Line Agreement recorded August 31, 1994 in Book 172 at Page 786 as Instrument #1226.	DOES NOT AFFECT LEASE AREA OR ACCESS/UTIL. EASEMENT
9. Easement between Richard C. Harris and Central Telephone Company of Virginia dated September 3, 1993 and recorded July 14, 1994 in Book 194 at Page 142 as Instrument #1189.	DOES NOT AFFECT LEASE AREA OR ACCESS/UTIL. EASEMENT

PARENT PARCEL LEGAL DESC.

PER FILE #: 22110808VA

ALL that certain lot, tract or parcel of land, lying and being in Francisco Magisterial District, Buckingham County, Virginia, containing 36.3 acres, more or less, and bounded on the northernmost boundary by lands of Hobert Harris, on the easternmost boundary by State Route 709, on the southernmost boundary by lands now or formerly of Jones and on the westernmost boundary by lands now or formerly of Phaup.

GENERAL NOTES

* THIS SPECIFIC PURPOSE ALTA SURVEY IS FOR THE LEASED PREMISES AND ACCESS AND OR UTILITY EASEMENTS ONLY, THIS SPECIFIC PURPOSE ALTA SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF U.S. CELLULAR CORPORATION AND EXCLUSIVELY FOR THE TRANSFERAL OF THE LEASED PREMISES AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF, BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY

EQUIPMENT USED FOR ANGULAR AND LINEAR MEASUREMENTS:
TOPCON GM-50 (DATE OF LAST FIELD VISIT: 5/18/22)

THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN ON THIS SPECIFIC PURPOSE ALTA SURVEY ARE ADJUSTED TO NAVD88 (GEOID 18) AND HAVE A VERTICAL ACCURACY OF +/- 0.5 FEET.

BEARINGS SHOWN ON THIS SPECIFIC PURPOSE ALTA SURVEY ARE BASED ON VIRGINIA SPC SOUTH ZONE (NAD83).

PER THE FEMA FLOODPLAIN MAPS, THIS SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X (AREA OF MINIMAL FLOOD HAZARD). COMMUNITY PANEL NO.:51029C0425B DATED 6/17/08.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC PURPOSE ALTA SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT ANY UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN--SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

PARENT PARCEL

OWNER: RICHARD C. HARRIS & TERRY P. HARRIS

SITE ADDRESS: HOLLAND ROAD, FARMVILLE, VA 23901

PARCEL ID#: 196-13

AREA: 44.98 ACRES (PER TAX ASSESSOR)

REFERENCE: DEED BOOK 131, PAGE 651

LEGEND

—E—	EXISTING OVERHEAD ELECTRIC
—T—	EXISTING OVERHEAD TELEPHONE
—UE—UE—	EXISTING UNDERGROUND ELECTRIC
—UT—UT—	EXISTING UNDERGROUND TELEPHONE
—UE—	PROPOSED UNDERGROUND ELECTRIC
—UT—	PROPOSED UNDERGROUND TELEPHONE
—X—	FENCE LINE
—	SURVEY LINE
—	POWER POLE
—	TELEPHONE PEDESTAL
—	WATER VALVES
—	FIRE HYDRANTS
—	5/8" REBAR SET
—	AS NOTED
—	COMPUTED POINT

TELE. PED.

TAX ID# 196-13
RICHARD C. HARRIS
TERRY P. HARRIS
DEED BOOK 131, PAGE 651

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.02 FEET (HORZ) 0.23 FEET (VERT)
EQUIPMENT: LEICA SYSTEM 1200 DUAL FREQUENCY
GPS PROCESSING METHOD: OPUS
DATE OF SURVEY: 5/18/22
DATUM/EPOCH: NAD_83(2011)/EPOCH: 2010.0000
GEOID MODEL: GEOID 18
COMBINED GRID SCALE FACTOR: 0.99992373
CONVERGENCE ANGLE: 0°00'34"

PROPOSED
30' NON-EXCLUSIVE
ACCESS/UTILITY EASEMENT
(TOTAL LENGTH 420.70')

TAX ID# 196-13
RICHARD C. HARRIS
TERRY P. HARRIS
DEED BOOK 131, PAGE 651

PROPOSED
10,000 SQ. FT.
LEASE AREA

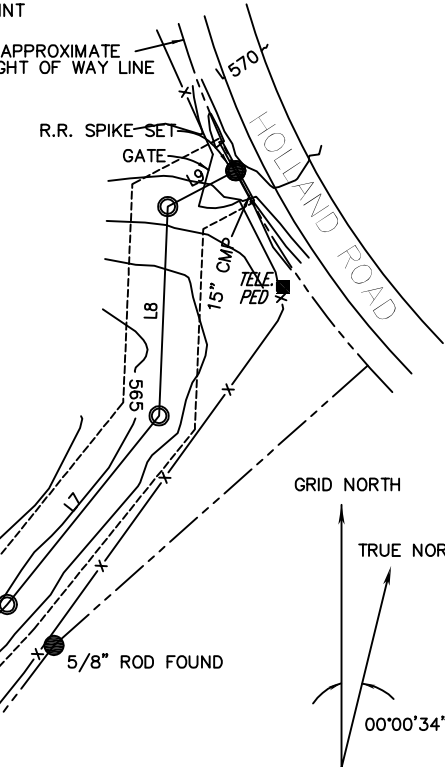
APPROXIMATE
PROPERTY LINE

TAX ID# 196-31
CLARE R. LAROCHE

GRAPHIC SCALE



SCALE: 1" = 80'



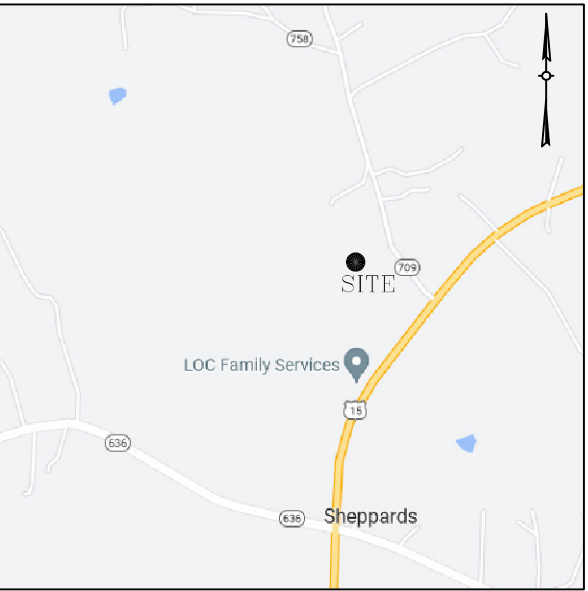
GRID NORTH

TRUE NORTH

00°00'34"

NORTH IS BASED ON THE VIRGINIA
STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE AND WAS DETERMINED
BY COMPUTATION FROM G.P.S
OBSERVATION ON 5/18/22.

GRID NORTH BY G.P.S.
OBSERVATION, ±10 SECONDS



LOCATION MAP
NOT TO SCALE



LINE	BEARING	DISTANCE
L1	N 07°44'16" W	42.44'
L2	N 52°43'59" W	100.00'
L3	N 37°16'01" E	100.00'
L4	S 52°43'59" E	100.00'
L5	S 37°16'01" W	100.00'
L6	N 42°46'23" E	202.57'
L7	N 38°49'48" E	99.94'
L8	N 02°23'22" E	86.47'
L9	N 62°10'12" E	31.72'

PROPOSED LEASE AREA LEGAL DESC.

ALL THAT CERTAIN LEASE AREA LYING IN BUCKINGHAM COUNTY, VIRGINIA, BEING A PORTION OF THE LANDS OF RICHARD C. HARRIS AND TERRY P. HARRIS, TAX ID# 196-13, DEED BOOK 131, PAGE 651, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" ROD SET, SAID ROD BEING N 07°44'16" W 42.44' FROM A 1/2" ROD FOUND; THENCE N 52°43'59" W 100.00' TO A 5/8" ROD SET; THENCE N 37°16'01" E 100.00' TO A 5/8" ROD SET; THENCE S 52°43'59" E 100.00' TO A 5/8" ROD SET; THENCE S 37°16'01" W 100.00' TO THE POINT OF BEGINNING, AND CONTAINING 10,000 SQUARE FEET MORE OR LESS.

PROPOSED 30' NON-EXCLUSIVE
ACCESS/UTILITY EASEMENT

ALL THAT CERTAIN NON-EXCLUSIVE ACCESS/UTILITY EASEMENT LYING IN BUCKINGHAM COUNTY, VIRGINIA, BEING A PORTION OF THE LANDS OF RICHARD C. HARRIS AND TERRY P. HARRIS, TAX ID# 196-13, DEED BOOK 131, PAGE 651, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" ROD SET, SAID ROD BEING S 52°43'59" E 85.00' FROM THE NORTHERN CORNER OF THE PROPOSED LEASE AREA; THENCE N 42°46'23" E 202.57' TO A 5/8" ROD SET; THENCE N 38°49'48" E 99.94' TO A 5/8" ROD SET; THENCE N 02°23'22" E 86.47' TO A 5/8" ROD SET; THENCE N 62°10'12" E 31.72' TO A R.R. SPIKE SET IN THE WESTERN RIGHT OF WAY LINE OF "HOLLAND ROAD".



BENCHMARK

NORTH: 3667870.88
EAST: 11487501.43
ELEVATION: 565.96' (NAVD 88)
DESCRIPTION: 5/8" ROD



COORDINATE POINT LOCATION
CENTERLINE OF TOWER (2C)

NAD 1983
LATITUDE: 37°23'47.180"N
LONGITUDE 78°29'04.038"W
ELEVATION: 560.6' SITE (NAVD 88)
STATE PLANE COORDINATE
NORTHING: 3667899.87
EASTING: 11487432.36

US CELLULAR

BLUE RIDGE

SURVEYING & MAPPING, INC.
445 WEST STUART DRIVE
HILLSVILLE, VIRGINIA 24343
PHONE 276.728.2022
EMAIL: brsurvey1@gmail.com

SITE NAME:

FRANCISCO ROAD

SITE NUMBER:

466376

SITE ADDRESS:

HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

911 ADDRESS:

HOLLAND ROAD
FARMVILLE, VA 23901
BUCKINGHAM COUNTY

AREA:

LEASE AREA = 10,000 SQ. FT.

PROPERTY OWNER:

RICHARD C. HARRIS
TERRY P. HARRIS

TAX MAP NUMBER:

196

PARCEL NUMBER:

13

SOURCE OF TITLE:

DEED BOOK 131, PAGE 651

2C LATITUDE:

37°23'47.180"N

2C LONGITUDE:

78°29'04.038"W

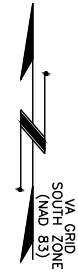
NO.	REVISION/ISSUE	DATE
1	SURVEY	5/18/22

TITLE:
SPECIFIC PURPOSE ALTA SURVEY
LOCATED OFF
"HOLLAND ROAD"
CURDSVILLE MAGISTERIAL DISTRICT
BUCKINGHAM COUNTY, VIRGINIA

SHEET:

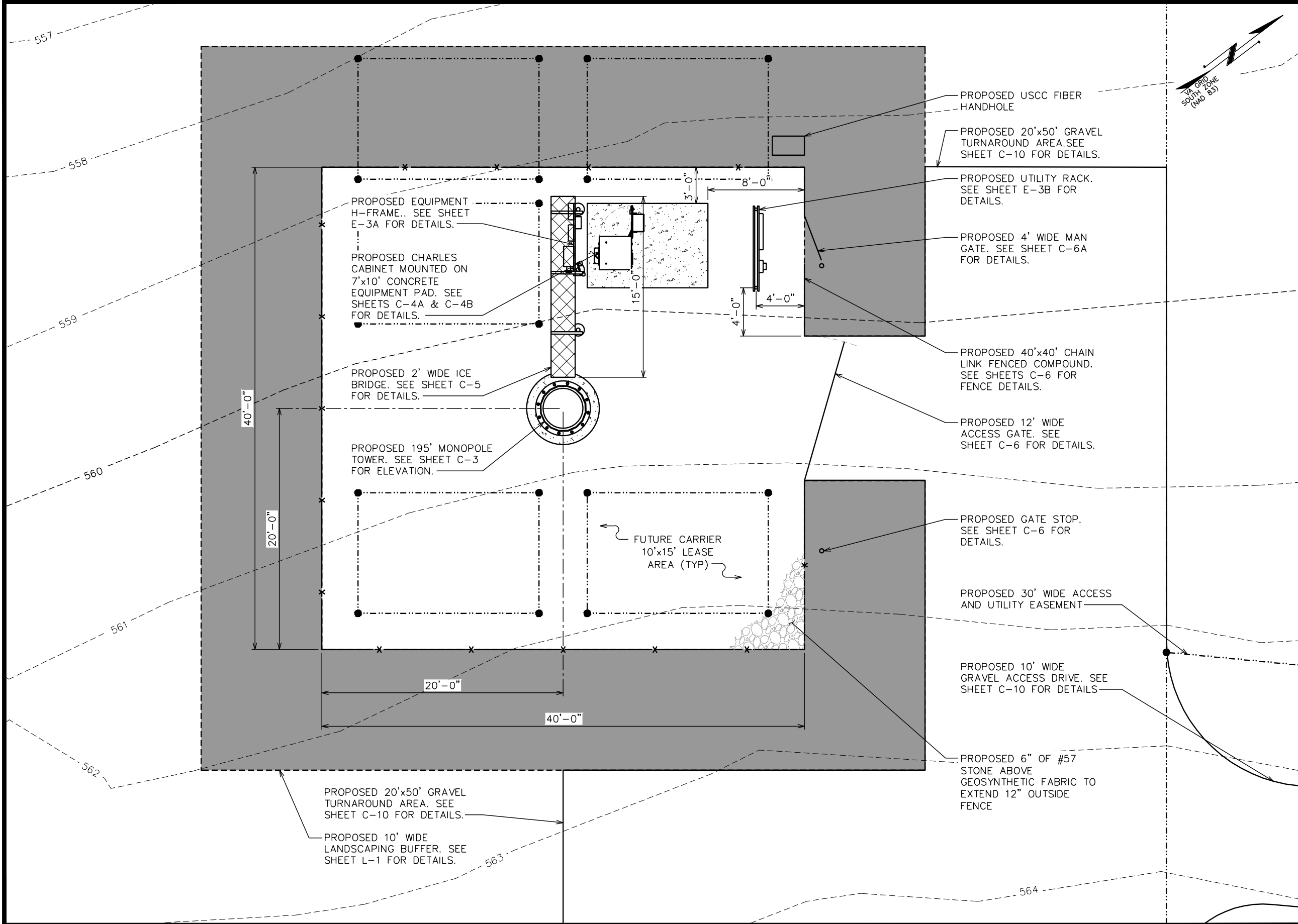
C-2

1. THE BASIS OF THE MERIDIANS AND COORDINATES FOR THIS PLAT IS THE VIRGINIA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (VA STATE PLAIN, SOUTH ZONE NAD 83), BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON 05/18/2022.
2. VERTICAL INFORMATION SHOWN, BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) IN FEET.
3. ALL DISTANCES ARE GROUND UNLESS OTHERWISE NOTED.
4. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #51029C0425B, DATED 06/17/2008.




SHEET NUMBER: C-1	REVISION: 5
	TEP#: 311384

A horizontal scale bar with a black and white checkered pattern. It is labeled '0' at the left end, '100' at the midpoint, and '200' at the right end. Below the bar, the text 'SCALE IN FEET' is centered.



PLANS PREPARED FOR:

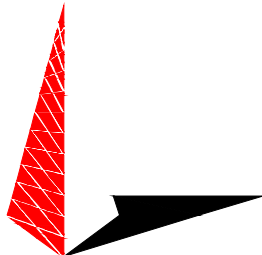


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

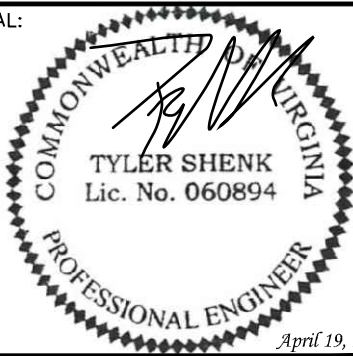
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



April 19, 2023

5	04-19-23	CONSTRUCTION
4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
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REV	DATE	ISSUED FOR:

DRAWN BY: THD | CHECKED BY: ANG

SHEET TITLE:

COMPOUND DETAIL

SHEET NUMBER:

C-2

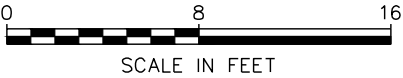
REVISION:

5

TEP#: 311384

COMPOUND DETAIL

SCALE: 1/8" = 1'-0"



NOTES:

1. PROPOSED CABLES TO BE RUN ON INSIDE OF MONOPOLE.
2. TOWER SHALL BE CONSTRUCTED OF GALVANIZED STEEL OR PAINTED PER APPLICABLE STANDARDS OF THE FAA OR OTHER APPLICABLE FEDERAL OR STATE AGENCY
3. TOWER ELEVATION SHOWN FOR REFERENCE ONLY. VERIFY ACTUAL TOWER DESIGN & LOADING WITH TOWER DRAWINGS FROM MANUFACTURER AND/OR PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION.
4. MONOPOLE TOWER REQUIRED PER BUCKINGHAM COUNTY ORDINANCE.
5. MONOPOLE TOWER IS TO BE ORDERED USING BREAKPOINT TECHNOLOGY OF 40'.

EUPEN HYBRID CABLE LENGTH

PROPOSED RAYCAP QUANTITY AT GROUND LEVEL:	1
ICE BRIDGE LENGTH:	15-FT
RAYCAP CENTERLINE + 20-FT BUFFER:	210-FT
TOTAL ESTIMATED LENGTH OF HYBRID CABLE:	225-FT
TOTAL EST. LENGTH OF HYBRID CABLE (ROUNDED UP):	250-FT

JUMPER INFO

FIBER/POWER JUMPER LENGTH FROM RAYCAP TO RRU		
	BAND 2/4	BAND 5
ALPHA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)	10-M (32.8 FT)

1/2" JUMPER FROM RRU TO ANTENNA

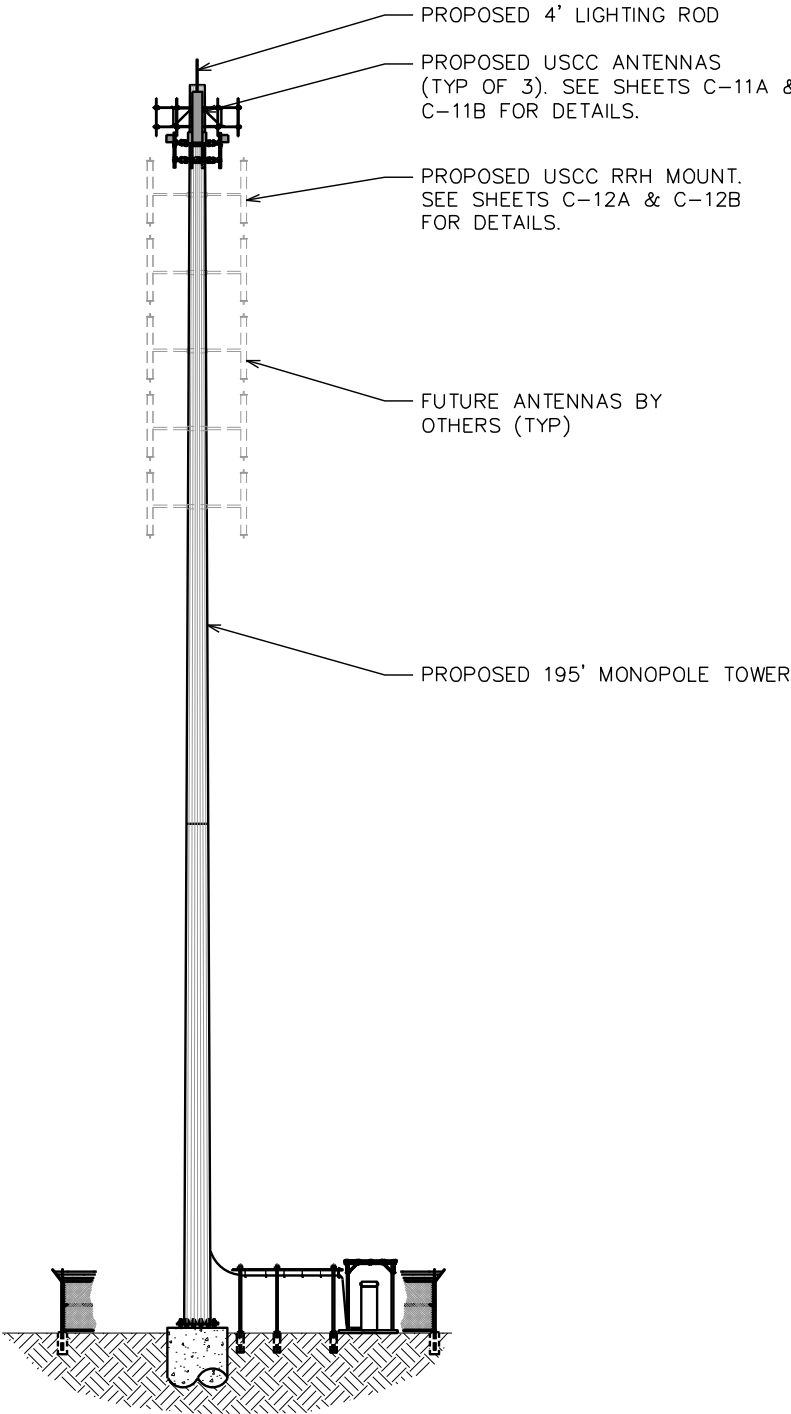
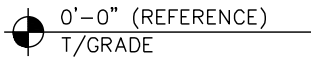
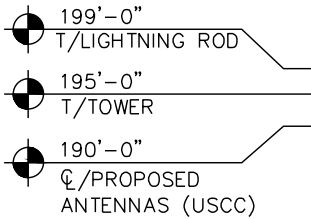
	BAND 2/4	BAND 5
ALPHA SECTOR:	15-FT	15-FT
BETA SECTOR:	15-FT	15-FT
GAMMA SECTOR:	15-FT	15-FT

RET JUMPER INFO

RRU TO ANTENNA	
	BAND 5
ALPHA SECTOR:	10-M (32.8 FT)
BETA SECTOR:	10-M (32.8 FT)
GAMMA SECTOR:	10-M (32.8 FT)

TOWER ELEVATION

SCALE: 1" = 30'



PLANS PREPARED FOR:

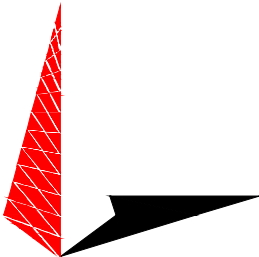


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

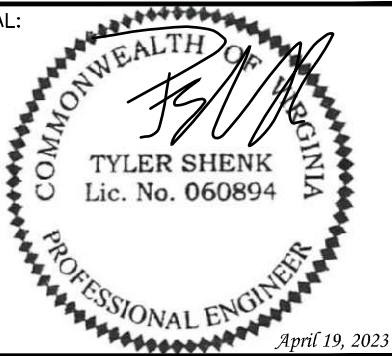
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
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FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

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326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



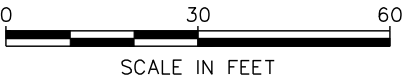
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DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

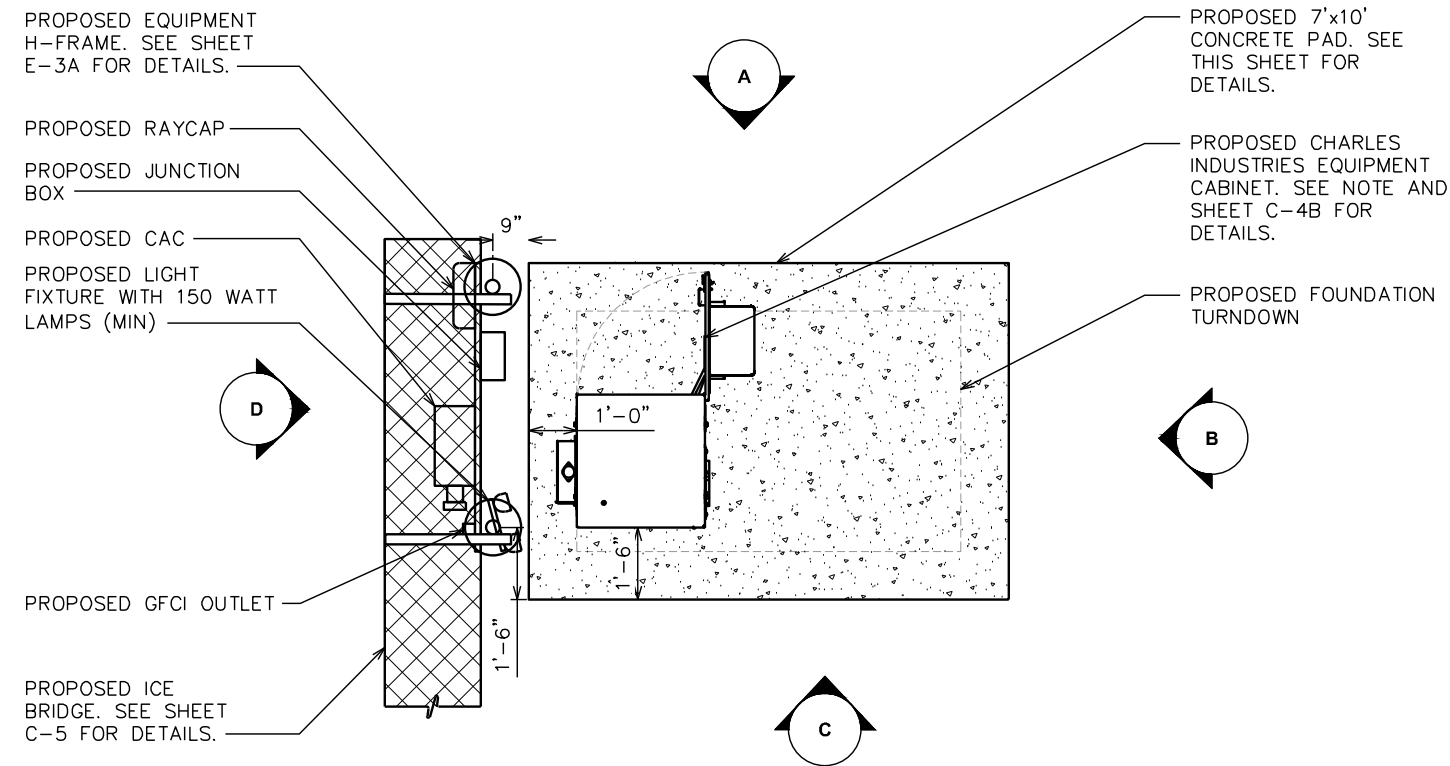
TOWER
ELEVATION

SHEET NUMBER:	REVISION:
C-3	5
	TEP#: 311384



NOTE:

PROPOSED CHARLES INDUSTRIES CABINET TO BE MOUNTED TO PLINTH PROVIDED BY MANUFACTURER PER MANUFACTURER SPECIFICATIONS.



EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"



STRUCTURAL NOTES:

SPECIFICATIONS/CODES:

1. CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 318-14.
2. REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
3. DESIGN SHALL BE PER INTERNATIONAL BUILDING CODE, 2018 EDITION WITH VA AMENDMENTS.

(7) #5 LONG REBAR @ 12" O.C. MAX

12 MIL. POLY

1" CHAMFER

FILL WITH NON-FROST SUSCEPTABLE SOIL COMPACTED TO 2500 PSI (MIN)

FOUNDATION NOTES:

1. FOUNDATION DESIGN BASED ON 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
2. CONCRETE SHALL BE 2500 PSI.
3. REBAR Fy = 60,000 PSI.
4. ALL BACKFILL SHALL BE THOROUGHLY COMPACTED TO A MINIMUM OF 95% DENSITY USING THE MODIFIED PROCTOR METHOD.

(11) #5 SHORT REBAR @ 12" O.C. MAX

PROPOSED 7'-0"x10'-0"x8" CONCRETE PAD

1'-6"

2"

6"

1'-6"

6"

1'-6"

6"

1'-6"

6"

1'-6"

6"

1'-6"

6"

1'-6"

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1'-6"

6"

1'-6"

6"

1'-6"

6"

FOUNDATION DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:



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CHICAGO, IL 60631

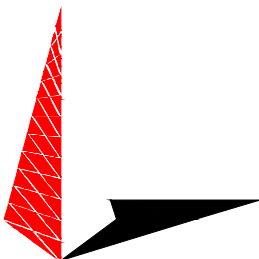
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FRANCISCO ROAD

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(BUCKINGHAM COUNTY)

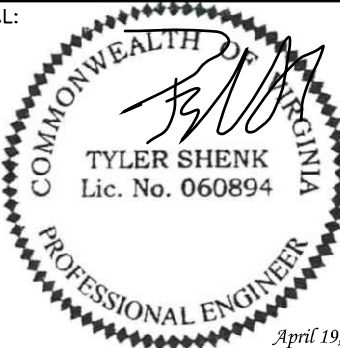
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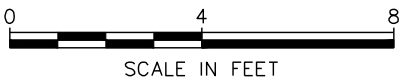
SHEET TITLE:

CABINET DETAILS

SHEET NUMBER:	REVISION:
C-4A	5
TEP#:	311384

ELEVATION A

SCALE: 1/4" = 1'-0"



ELEVATION B

SCALE: 1/4" = 1'-0"

ELEVATION C

SCALE: 1/4" = 1'-0"

ELEVATION D

SCALE: 1/4" = 1'-0"

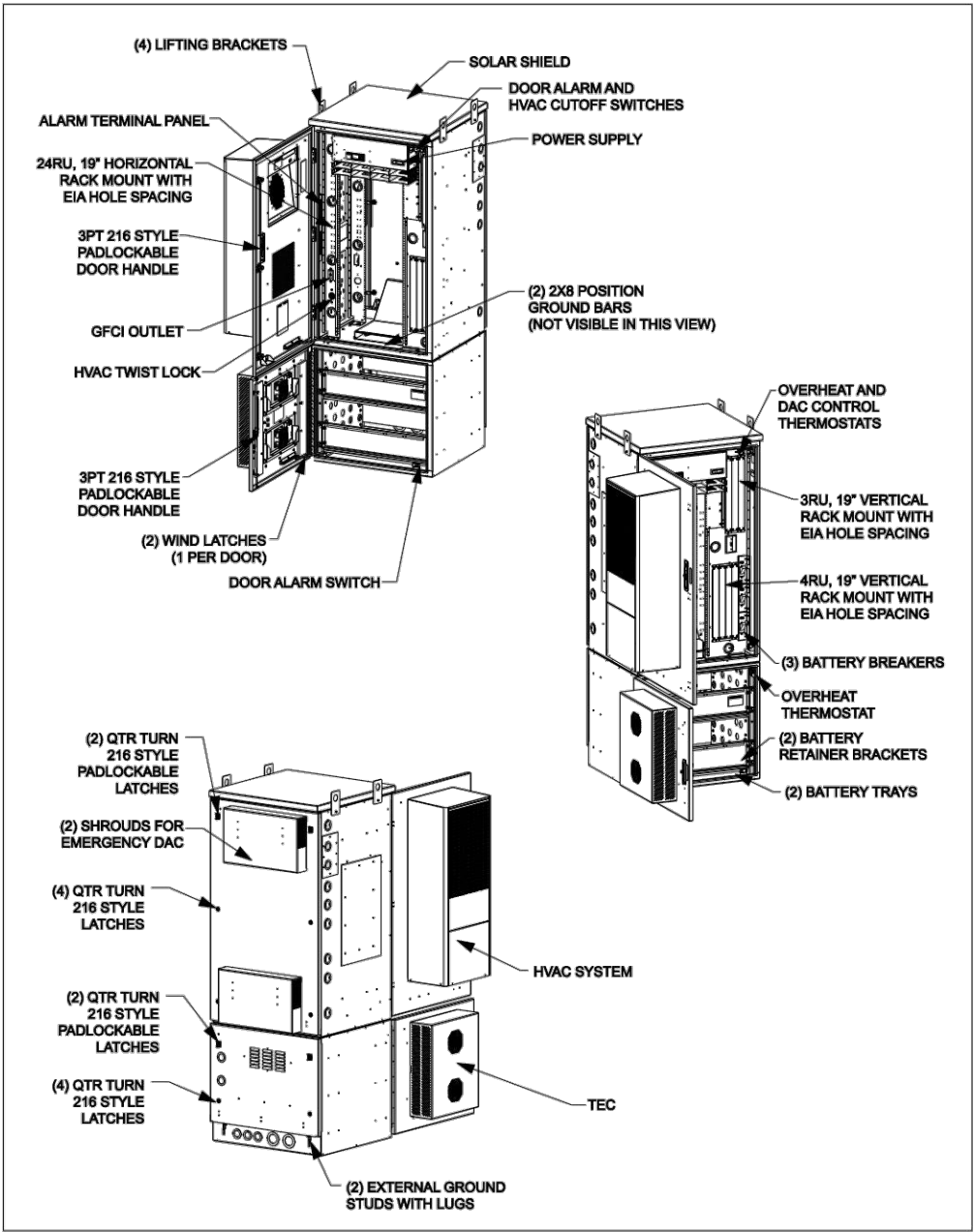


Figure 3 CUBE Components

PLANS PREPARED FOR:

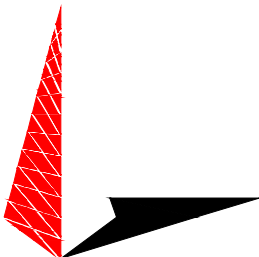


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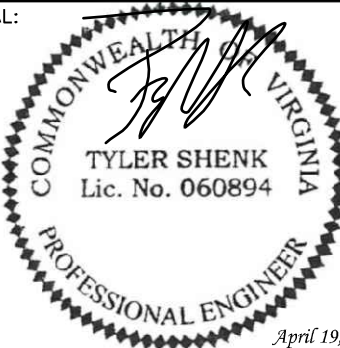
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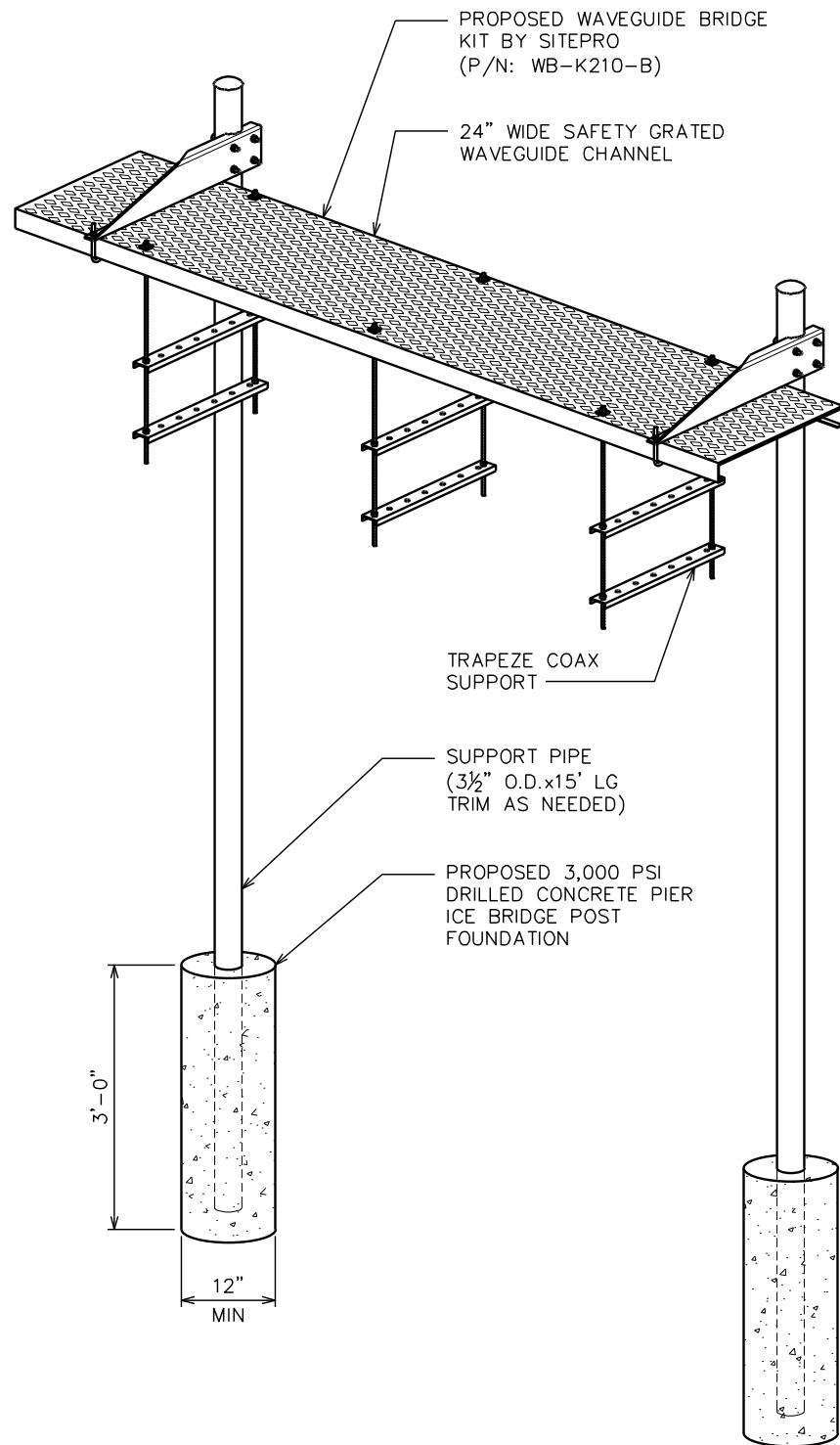
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SHEET TITLE:

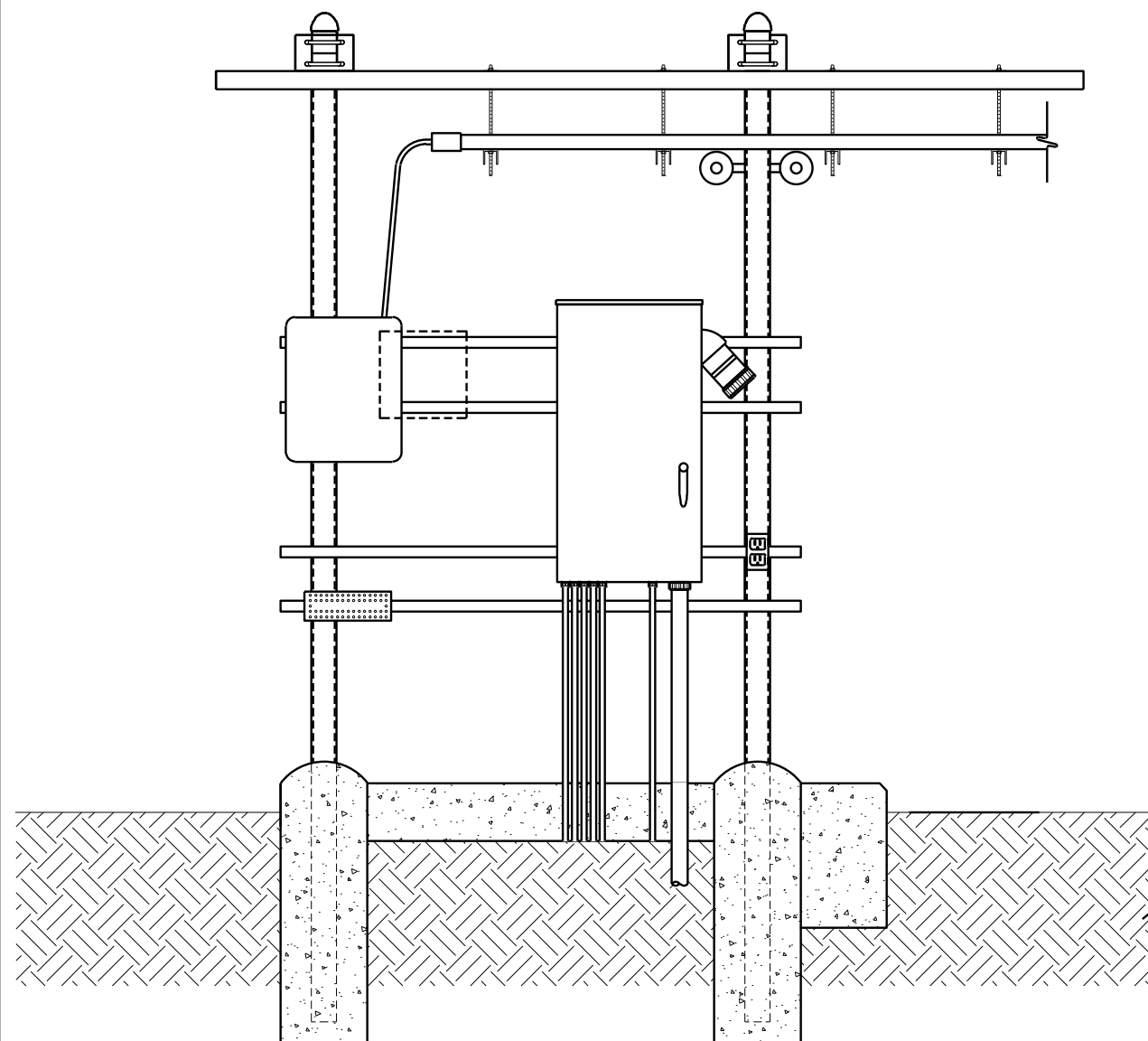
CABINET DETAILS

SHEET NUMBER:	REVISION:
C-4B	5
TEP#:	311384



NOTE:

GPS ANTENNA SHALL BE MOUNTED TO EQUIPMENT CANOPY POST WITH A UNIVERSAL GPS MOUNTING KIT (VALMONT P/N: B1841) OR AN APPROVED EQUIVALENT.



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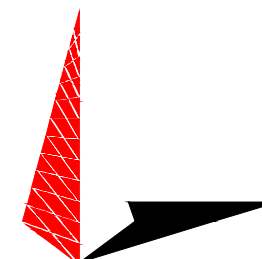
PROJECT INFORMATION:

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REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**ICE BRIDGE
DETAILS**

SHEET NUMBER:

C-5

REVISION:

5

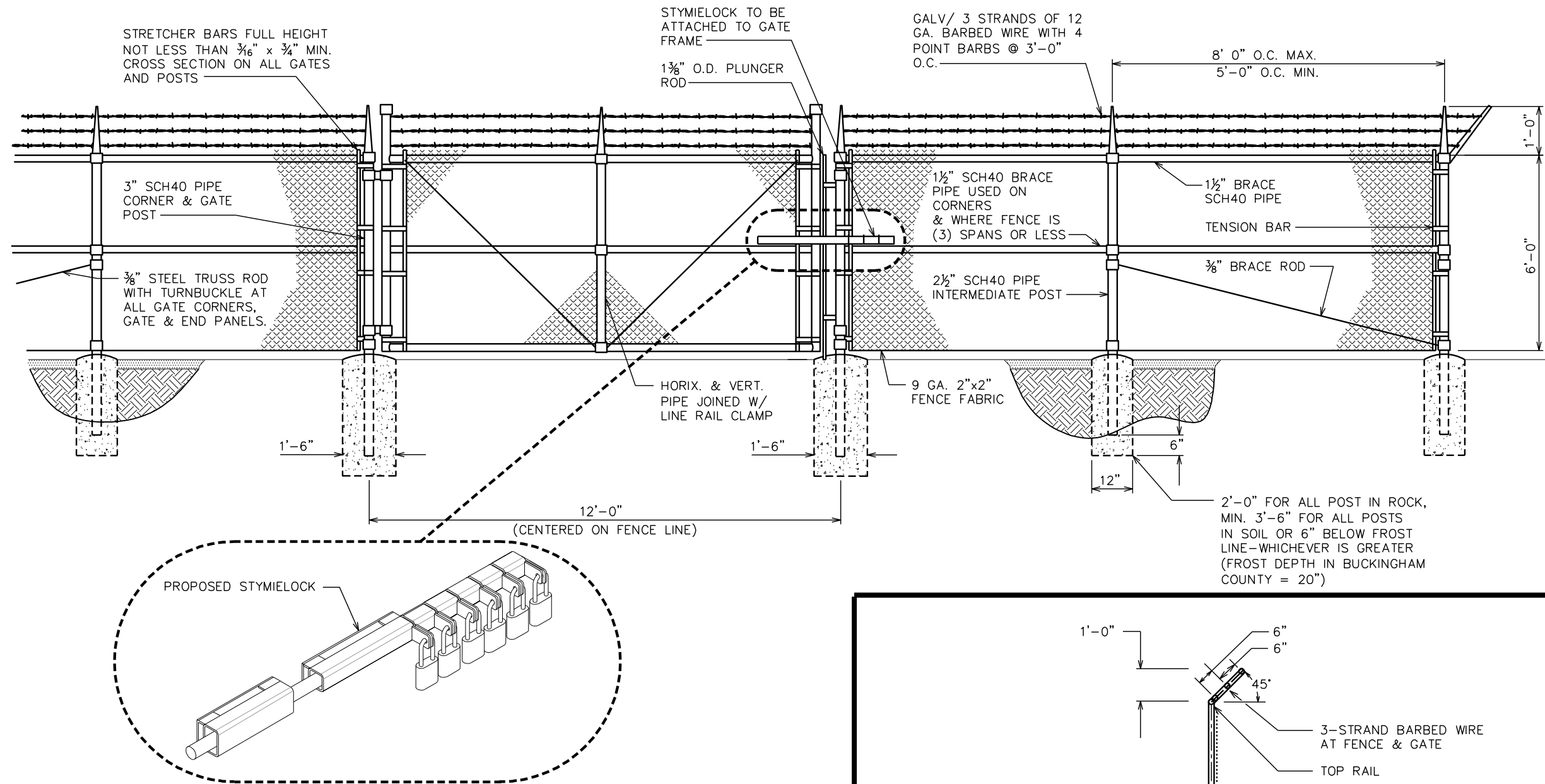
TEP#: 311384

ICE BRIDGE DETAIL

SCALE: N.T.S.

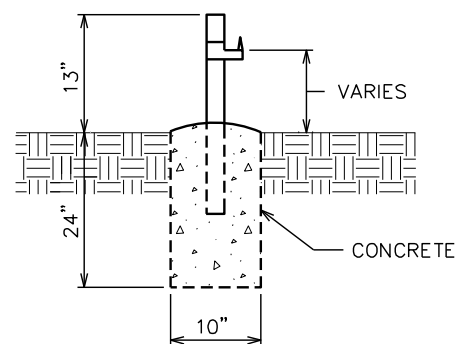
GPS MOUNTING DETAIL

SCALE: N.T.S.



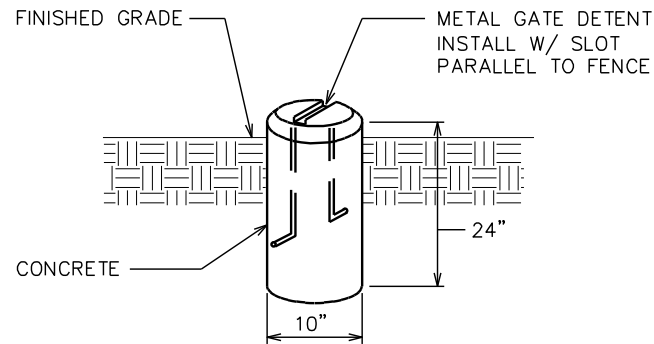
TYPICAL FENCE ELEVATION

SCALE: N.T.S.



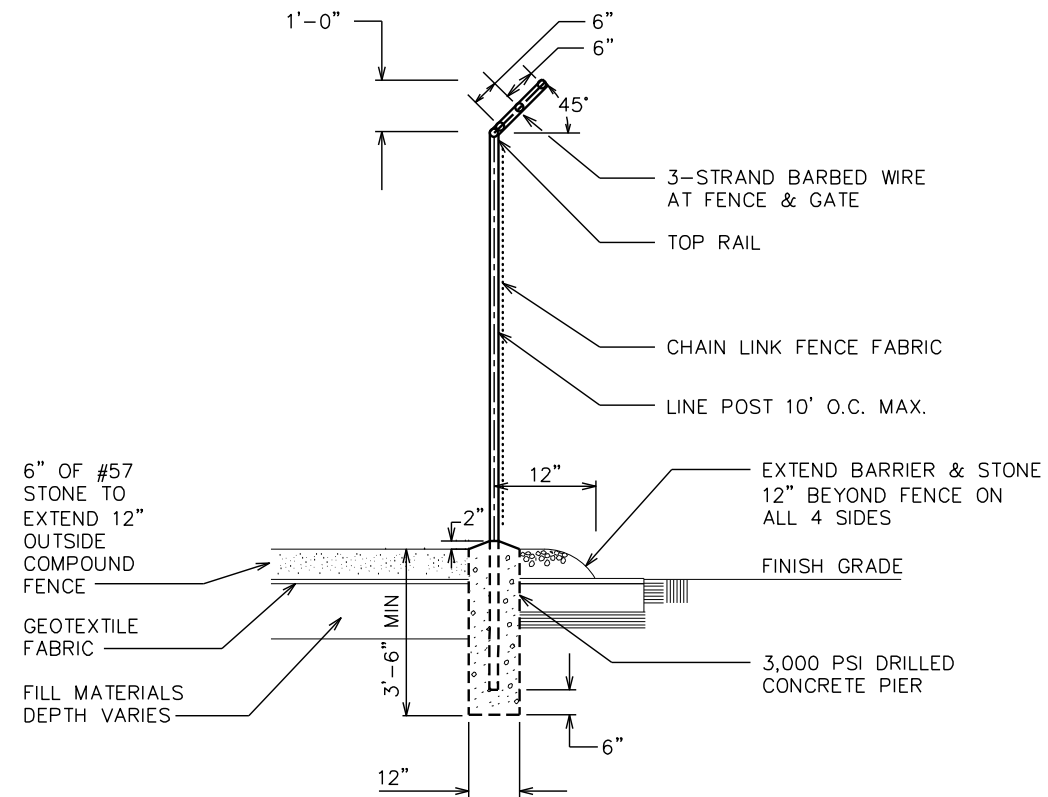
GATE STOP / KEEPER DETAIL

SCALE: N.T.S.



GATE DETENT DETAIL

SCALE: N.T.S.



FENCE / BARBED WIRE ARM DETAIL

SCALE: N.T.S.

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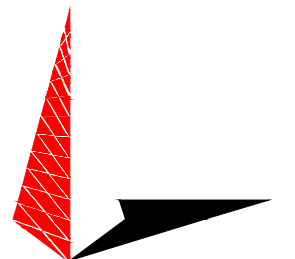
PROJECT INFORMATION:

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(E911 ADDRESS TBD)
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FARMVILLE, VA 23901
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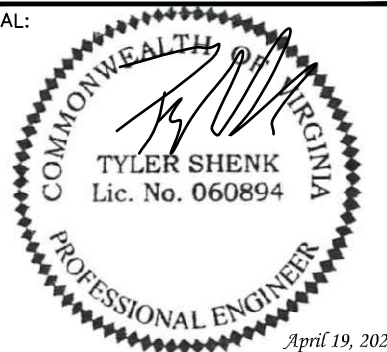
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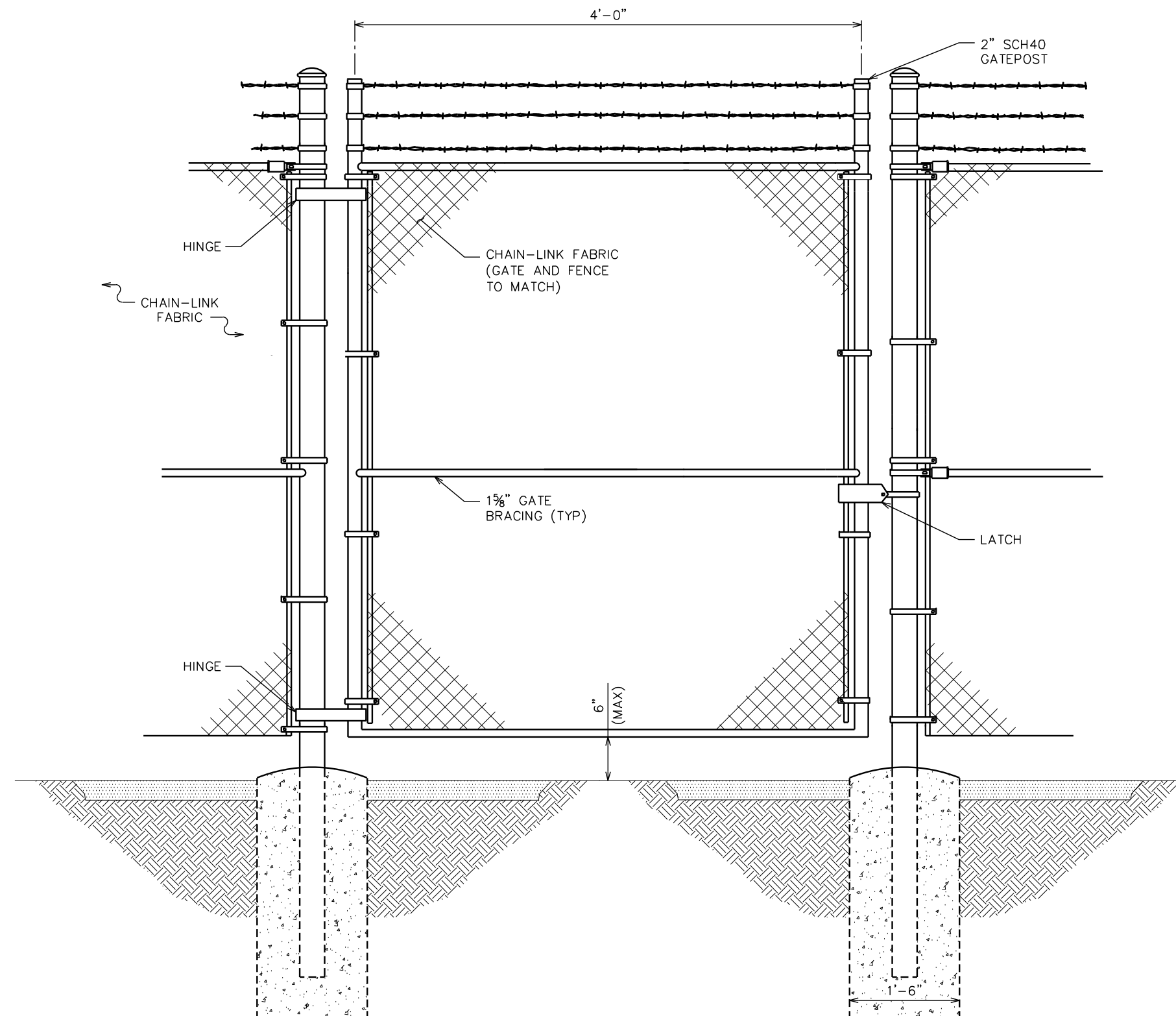
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REV	DATE	ISSUED FOR:

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SHEET TITLE:

FENCE DETAIL

SHEET NUMBER:	REVISION:
C-6	5
	TEP#: 311384



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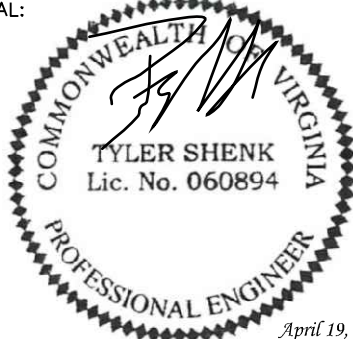
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SHEET TITLE:

MAN GATE DETAIL

SHEET NUMBER: **C-6A** REVISION: **5**

TEP#: 311384

MAN GATE DETAIL

SCALE: N.T.S.

NOTES:

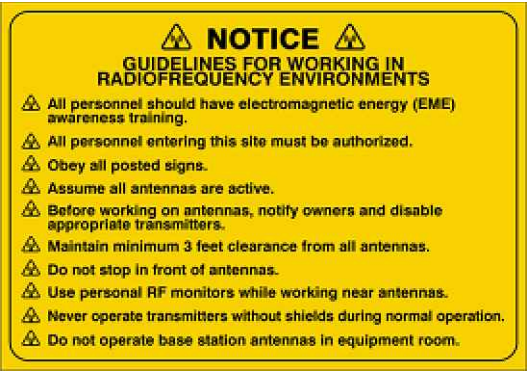
1. SIGNS SHALL BE MADE OF ALUMINUM WITH ¼" HOLES ½" FROM EACH CORNER TO HANG SIGNS ON FENCE.
2. SIGNS SHALL BE INSTALLED AS FOLLOWS:
GATE: NO TRESPASSING, RF GUIDELINES, RF WARNING, NFPA SULFURIC ACID, AUTHORIZED PERSONNEL ONLY
INTERIOR OF FENCE GATE: EXIT SIGN
3. SIGNS SHALL BE INSTALLED WITH CENTER AT 5' ABOVE FINISHED GRADE.

NO TRESPASSING
OPERATIONS LICENSED BY
THE FEDERAL GOVERNMENT

PERSONS VANDALIZING THIS FACILITY
WILL BE PROSECUTED UNDER APPLICABLE
FEDERAL, STATE AND LOCAL LAWS.

PRIOR TO ENTRY OR IN CASE OF
EMERGENCY CONTACT U.S. CELLULAR:
(888) 944-9400

SITE NUMBER 466376



PLANS PREPARED FOR:

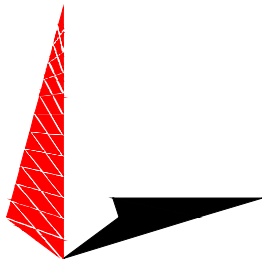


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SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER:	REVISION:
C-7	5
	TEP#: 311384

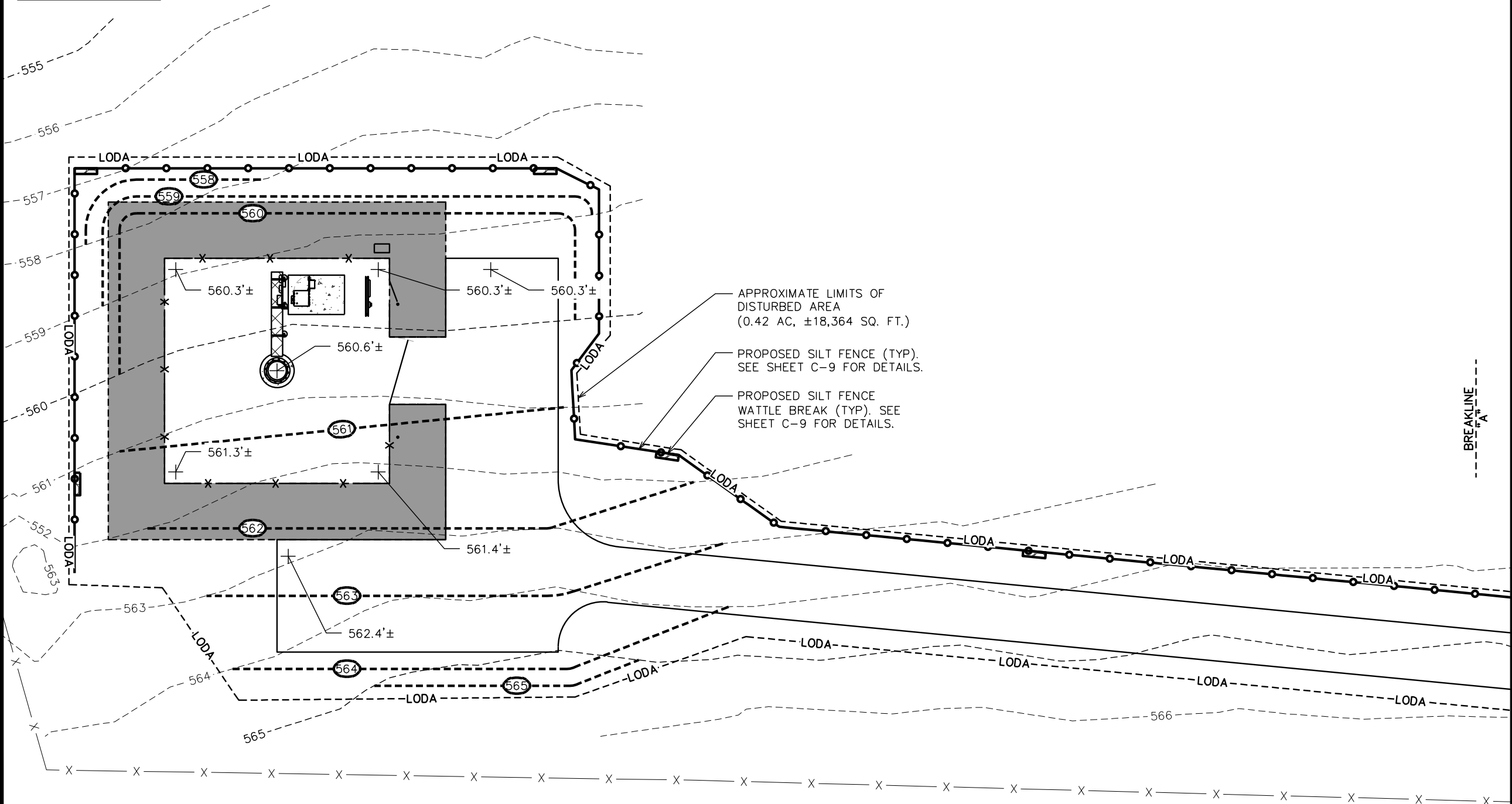
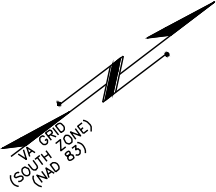
TYPICAL SIGNS AND SPECIFICATIONS

SCALE: N.T.S.

NOTE:

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS COMPOUND.

LEGEND	
SILT FENCE	
LODA	



PLANS PREPARED FOR:

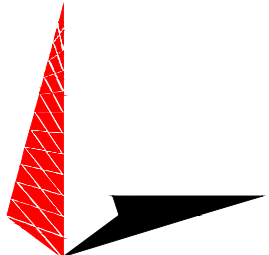


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SHEET TITLE:

**SOIL AND EROSION
CONTROL PLAN**

SHEET NUMBER:	REVISION:
C-8A	5
TEP#:	311384

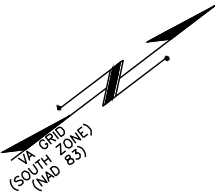
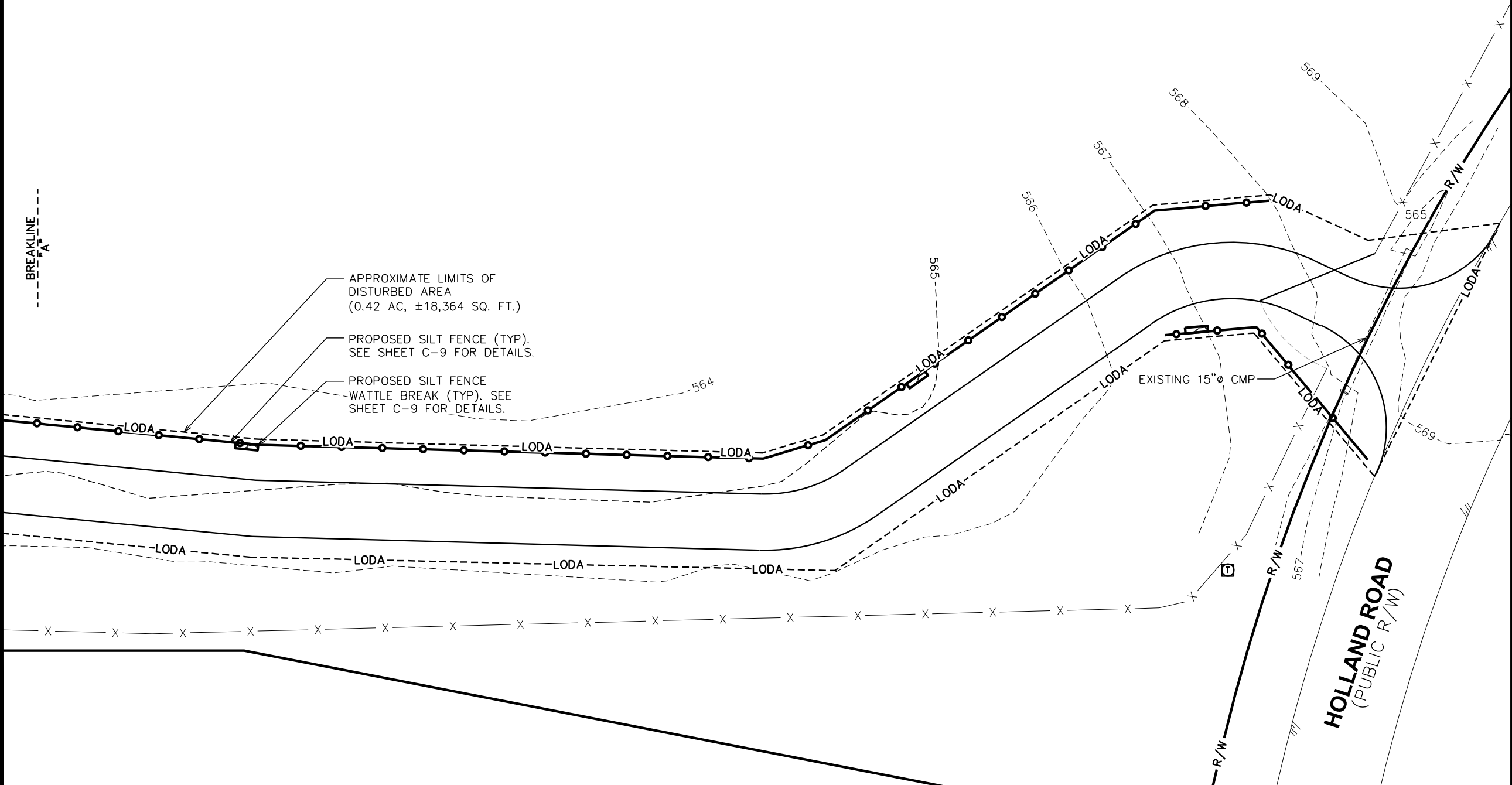
SOIL & EROSION CONTROL PLAN

SCALE: 1" = 20'



LEGEND

SILT FENCE	
LODA	



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OFFICE: (919) 661-6351
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5	04-19-23	CONSTRUCTION
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3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD

CHECKED BY: ANG

SHEET TITLE:

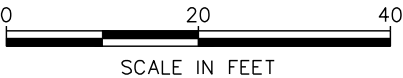
SOIL AND EROSION
CONTROL PLAN

SHEET NUMBER:
C-8B

REVISION:
5
TEP#: 311384

SOIL & EROSION CONTROL PLAN

SCALE: 1" = 20'



1. FILTER FABRIC SHALL CONFORM TO THE REQUIREMENTS LISTED IN ASTM D 6461.
2. ENDS OF INDIVIDUAL FILTER FABRIC SHALL BE SECURELY FASTENED AT A SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT POST
3. PLACE 10 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
4. INSPECT SEDIMENT FENCE(S) AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
5. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE.
6. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND PROPERLY STABILIZE THE SITE.



SILT FENCE WATTLE BREAK DETAIL



PLANS PREPARED FOR:



8410 W. BRYN MAWR
CHICAGO, IL 60631

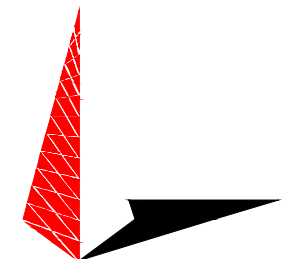
PROJECT INFORMATION:

FRANCISCO ROAD

SITE #: 466376

(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

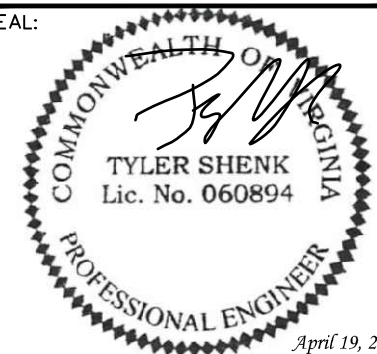
PLANS PREPARED BY:



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April 19, 2023

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SHEET TITLE:

SILT FENCE DETAILS

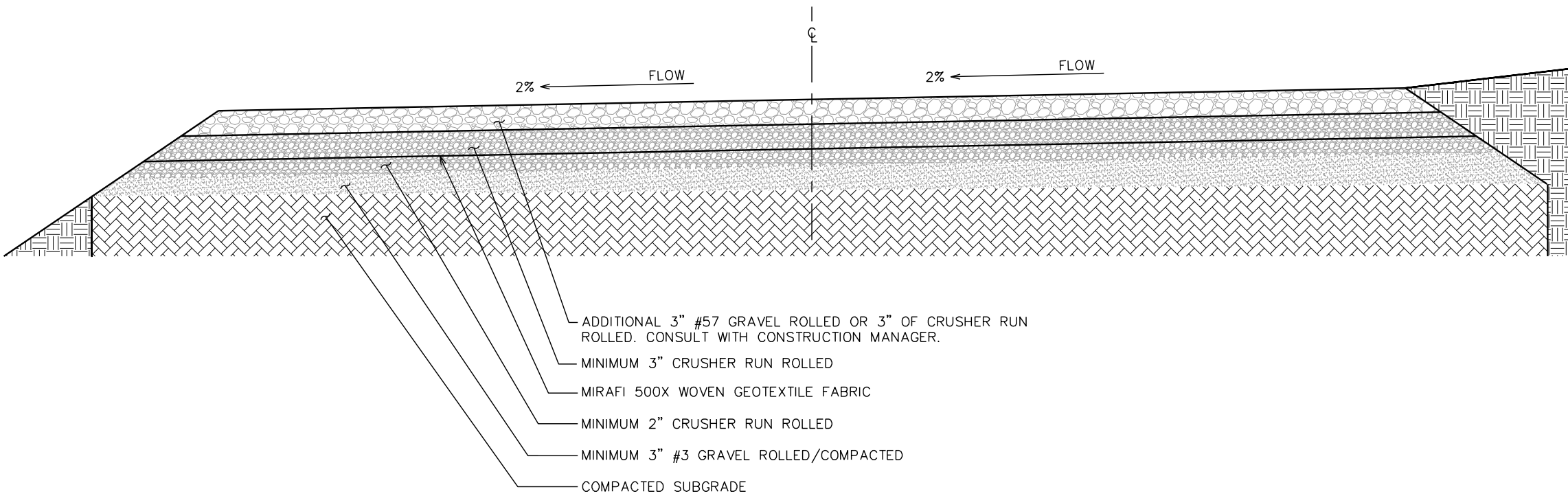
SHEET NUMBER:

C-9

REVISION:

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TEP#: 311384



STANDARD SUPERELEVATED ROAD SECTION

SCALE: N.T.S.

PLANS PREPARED FOR:



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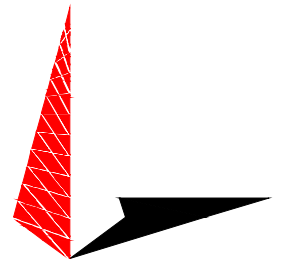
PROJECT INFORMATION:

FRANCISCO ROAD

SITE #: 466376

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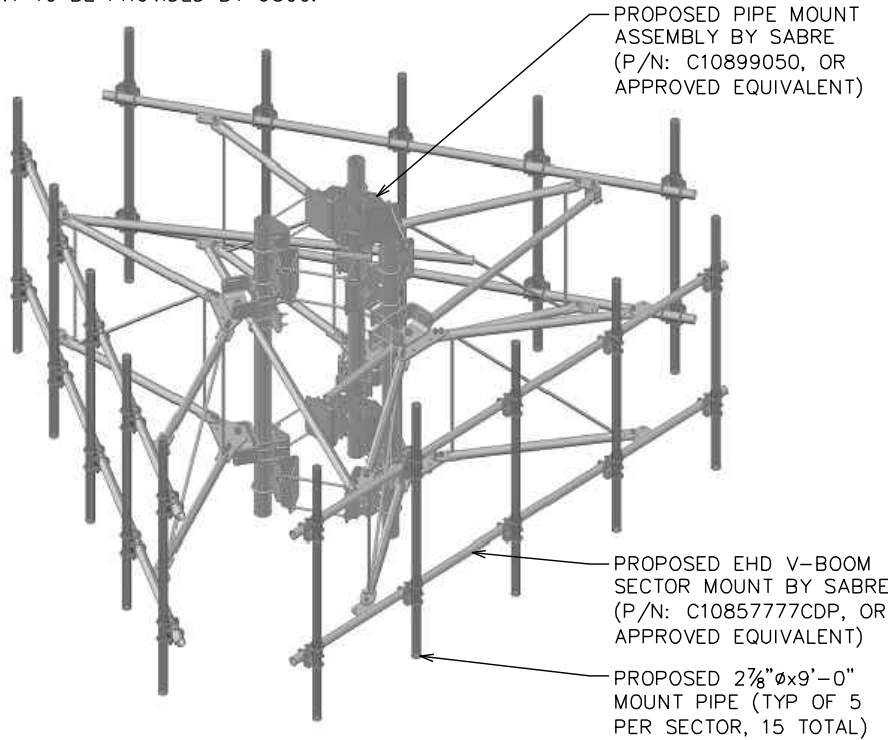
SHEET TITLE:

ACCESS ROAD DETAILS

SHEET NUMBER:	REVISION:
C-10	5
	TEP#: 311384

NOTES:

- 1. MOUNT INCLUDES ATTACHMENT HARDWARE. MOUNT PIPES SOLD SEPARATELY.
- 2. ANTENNA MOUNT TO BE PROVIDED BY USCC.



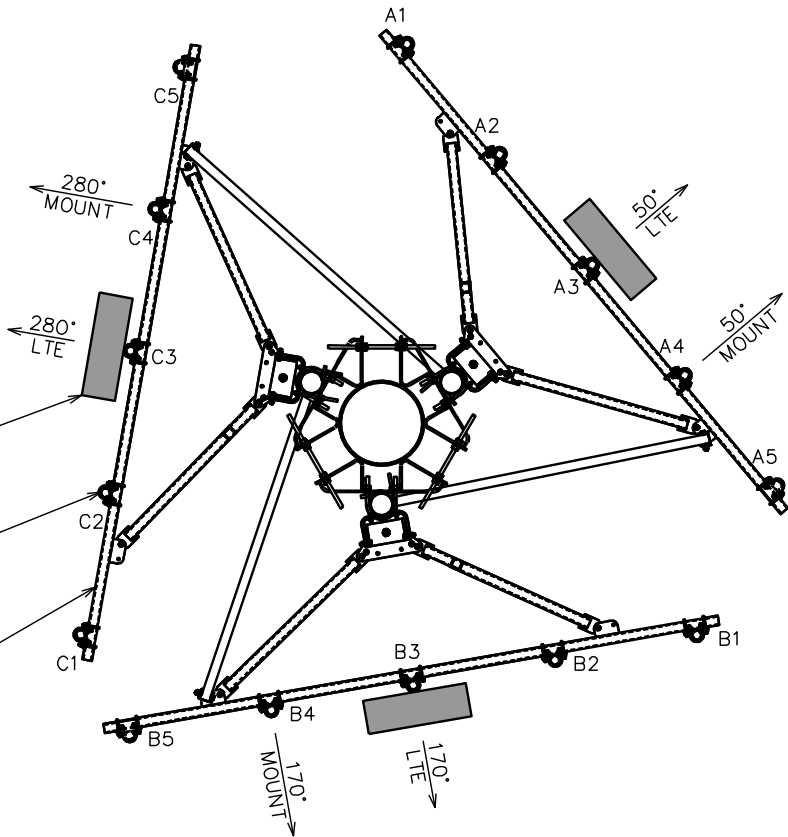
NOTES:

- 1. CONTRACTOR TO CONFIRM ANTENNA AZIMUTH WITH USCC LOADING SHEET PRIOR TO INSTALLATION.
- 2. SEE SHEET C-13 FOR PLUMBING DIAGRAM.
- 3. SEE SHEETS C-12A & C-12B FOR RRH AND RAYCAP DETAILS.
- 4. SEE SHEET C-11B FOR ANTENNA SPECIFICATIONS.

PROPOSED USCC LTE ANTENNA (TYP OF 3)

PROPOSED USCC 2 7/8"Øx9'-0" MOUNT PIPE (TYP OF 15)

PROPOSED USCC SECTOR MOUNT (TYP OF 3)



ANTENNA MOUNT DETAILS

SCALE: N.T.S.

MOUNT ORIENTATION

SCALE: 1/4" = 1'-0"

ANTENNA/CABLE SCHEDULE

ANTENNA	SECTOR	TECH	MANUFACTURER (MODEL #)	AZIMUTH (TRUE NORTH)	MOUNTING HEIGHT	LB RET TILT	MB RET TILT	MECH. D-TILT	EQUIPMENT	SURGE PROTECTION	COAX/CABLE	CABLE LENGTH*	COAX JUMPER*
A3	ALPHA	LTE	DENGYO OCT8-2LX2HX-BW65	50°	℄ @ 190'-0"	2'	2'	0°	(3) NOKIA AHCA RRH (3) NOKIA AHFIB RRH	(1) RUSDC-6267-PF-48 RAYCAP	(1) 1 1/4"Ø HYBRID CABLE	250'±	25'±
B3	BETA	LTE	DENGYO OCT8-2LX2HX-BW65	170°	℄ @ 190'-0"	2'	2'	0°					25'±
C3	GAMMA	LTE	DENGYO OCT8-2LX2HX-BW65	280°	℄ @ 190'-0"	2'	2'	0°					25'±

NOTES:

- 1. *CONTRACTOR SHALL FIELD VERIFY HYBRID CABLE AND COAX JUMPER LENGTHS PRIOR TO ORDERING MATERIALS.
- 2. (1) ANTENNA PER SECTOR FOR A TOTAL OF (3) ANTENNAS.
- 3. CONTRACTOR TO VERIFY AZIMUTHS PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR TO REQUEST RF SHEET FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

RF CONFIGURATION

SCALE: N.T.S.

PLANS PREPARED FOR:

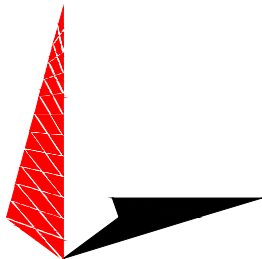


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CHICAGO, IL 60631

PROJECT INFORMATION:

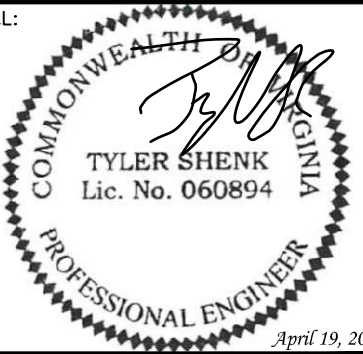
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SITE #: 466376
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HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

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SHEET TITLE:
**ANTENNA MOUNTING
DETAILS**

SHEET NUMBER: **C-11A** REVISION: **5**
TEP#: 311384



Base Station Antennas

Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

Type OCT8-2LX2HX-BW65

Base Station Antenna

8-ports 617-894 / 617-894 / 1695-2400 / 1695-2400 MHz 65°, 16 / 16 / 18 / 18 dBi, 2°-12° / 2°-12° / 2°-12° / 2°-12° Tilt Antenna With 4 Integrated RCUs.

Electrical Specifications

Frequency Range(MHz)		2x617-894			2x1695-2400		
		617-698	698-824	824-894	1695-1920	1920-2180	2300-2400
Polarization		±45°					
Horizontal 3dB Beamwidth(°)		70	63	60	66	63	58
Vertical 3dB Beamwidth(°)		10.4	9.1	8.0	5.5	5	4.3
Gain (dBi)		15.0	15.5	16.0	17.6	18.0	18.1
Electrical Downtilt		2°-12°			2°-12°		
Upper Sidelobe Suppression(dB)	First	≥16	≥16	≥16	≥16	≥16	≥16
Front-to-Back Ratio Total Power, ± 30° (dB)		≥23	≥24	≥25	≥25	≥25	≥25
Cross polar ratio	Main direction(dB)	≥17	≥17	≥17	≥17	≥17	≥17
	±60° (dB)	≥7	≥7	≥7	≥7	≥7	≥7
Isolation ports		≥25 dB					
Isolation Frequency		≥30 dB					
VSWR		< 1.5					
Intermodulation IM3		< -150 dBc(2x43dBm carrier)					
Impedance		50 Ω					
Max. Power per Input (at 50°C ambient temperature)		500 W			300 W		
Lightning Protection		DC Ground					



Mechanical Specifications

Redome Material		Fiberglass
Connector Type and Location		4.3-10x8_Bottom IRCUI in:1 x 8 pin male IRCUI out:1 x 8 pin female
Dimensions,HxWxD(mm)/(inches)		2438 x 499 x 180 / 95.9 x 19.6 x 7.1
Packing Size(mm)/(inches)		2750 x 620 x 325 / 108.3 x 24.4 x 12.8
Weight ,w/o Mounting kit(kg)/(lbs)		47 / 103.4
Weight with Mounting kit(kg)/(lbs)		53 / 116.6
Packing Weight(kg)/(lbs)		63 / 138.6
Max. Wind Velocity(mph)		150
Mounting hardware		≤ 50 mm ~ ≤ 115 mm
Operational Temperature(°C)		-40 to +65
Operational Humidity(%)		<95
Wind Load at 100mph (Front/lateral/Rearside(N))		1416/280/1027

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OCT8-2LX2HX-BW65 Rev.3



Base Station Antennas

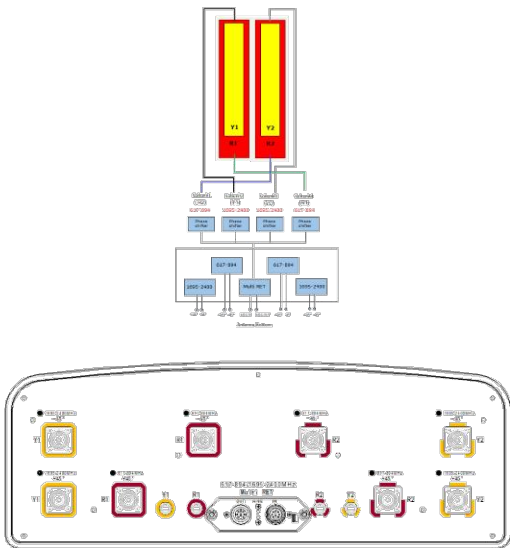
Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

Type OCT8-2LX2HX-BW65

Integrated RET Properties

Protocols		Compliant to AISG 2.0/3GPP
Input voltage range		+10~+30VDC(pin 6)
Power consumption		<2W(stand by);<13W(motor activated) 2 x 8 pin connector acc. To IEC 60130-9 Acc.to AISG Daisy chain in:male Daisy chain out:female
Connectors	AISG	Two motor shaft(Embedded motor)
	Antenna	
Hardware interface	AISG	RS485A/B(pin5/pin3);Power supply(pin6); DC return(pin7)Acc.to AISG
Adjustment time(full range)		40 sec(typically,depending on antenna)
Adjustment Cycles		≥10000
Torque Max		≥160mN.m
Lightning Protection Rating		IEC 61000-4-5 Current Pulse Profile,8/20 μs 10 Repetitions Min.@ 6kA IEC 61312-1 Annex B Current Pulse Profile, 10/350 μs,200 Repetitions Min. @ 0.6kA

COMPREHENSIVE TILT CONFIGURATION



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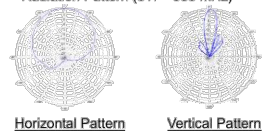


Base Station Antennas

Frequency Range	617-894x2 1695-2400x2
Polarization	±45°
Half-Power Beam Width	65°
Electrical Downtilt	2° - 12°x4

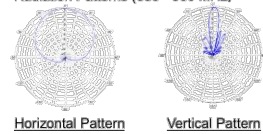
Type OCT8-2LX2HX-BW65

Radiation Pattern (617 - 880 MHz)



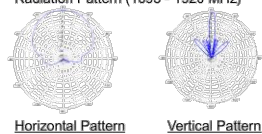
Horizontal Pattern Vertical Pattern

Radiation Patterns (880 - 960 MHz)



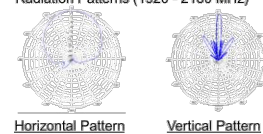
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Radiation Pattern (1695 - 1920 MHz)



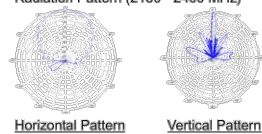
Horizontal Pattern Vertical Pattern

Radiation Patterns (1920 - 2180 MHz)



Horizontal Pattern Vertical Pattern

Radiation Pattern (2180 - 2400 MHz)



Horizontal Pattern Vertical Pattern

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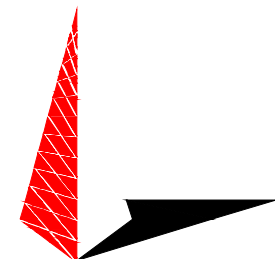
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SITE #: 466376

(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
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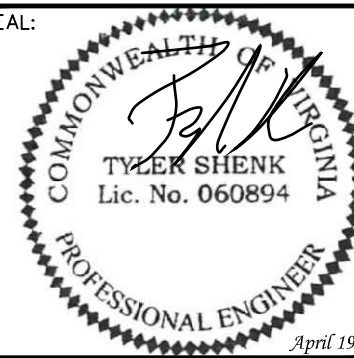
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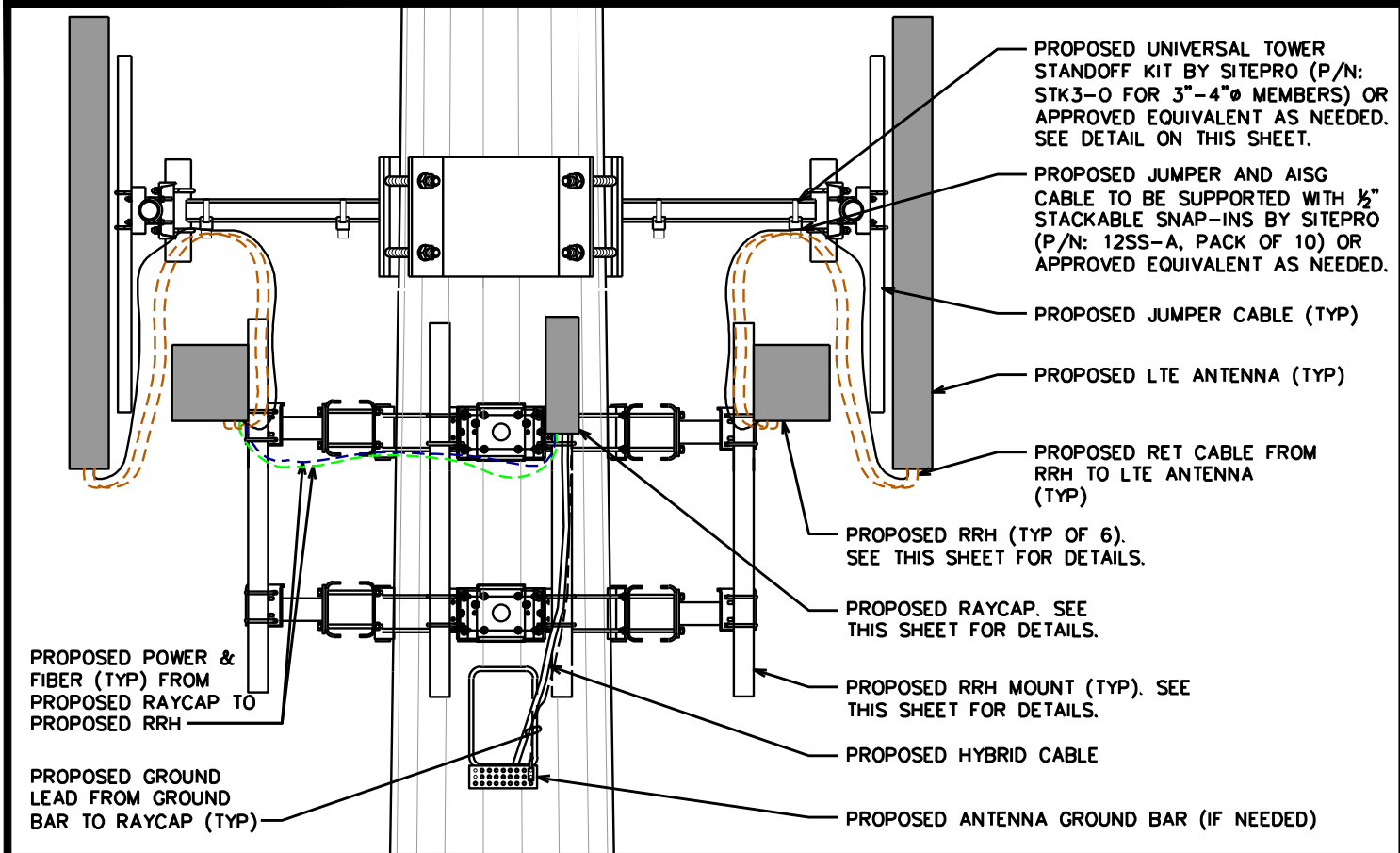
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**ANTENNA
SPECIFICATIONS**

SHEET NUMBER:	REVISION:
C-11B	5
TEP#: 311384	

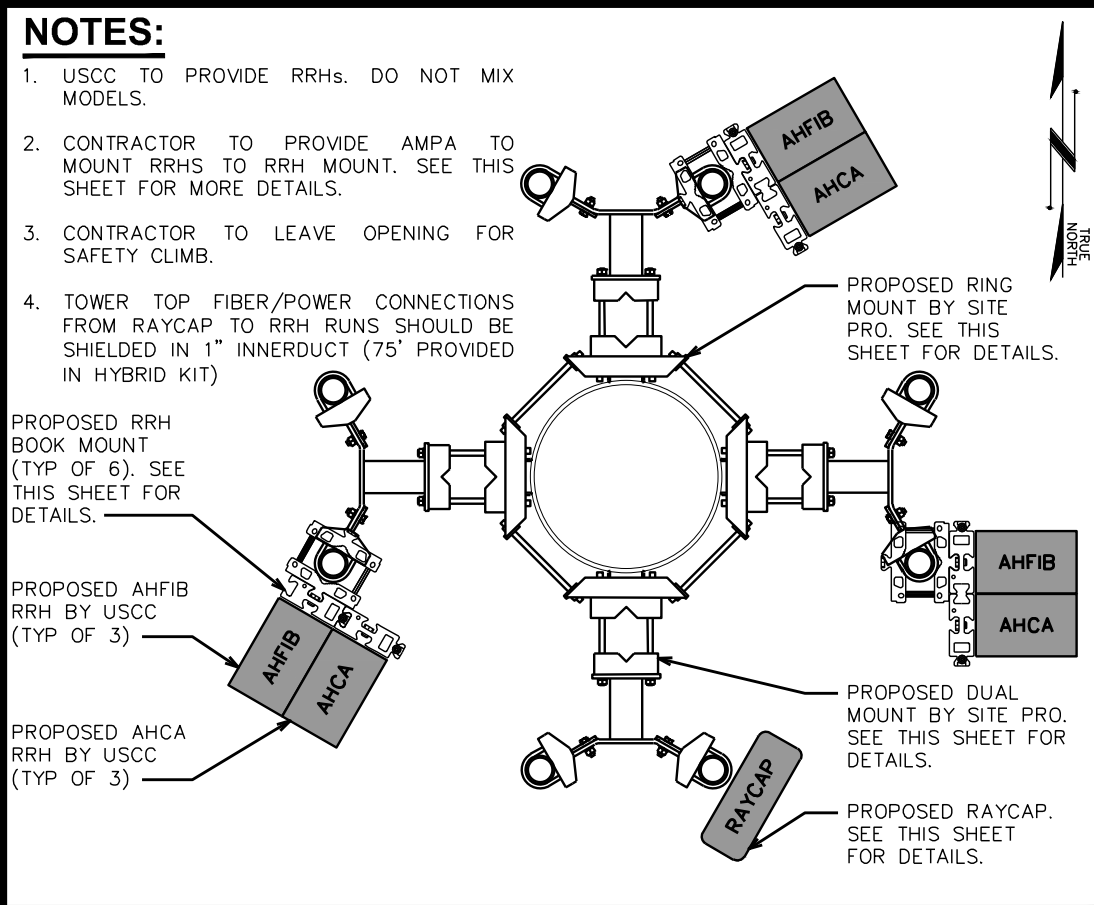
ANTENNA DETAILS

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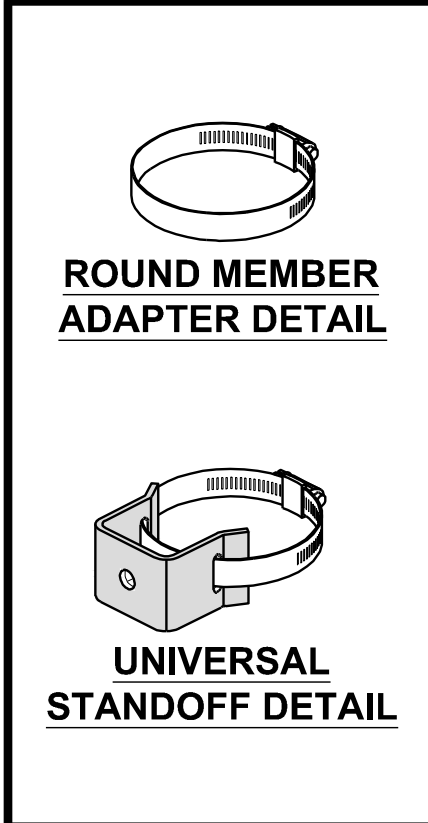
RAYCAP AND RRH MOUNTING DETAIL (ELEVATION)

SCALE: N.T.S.



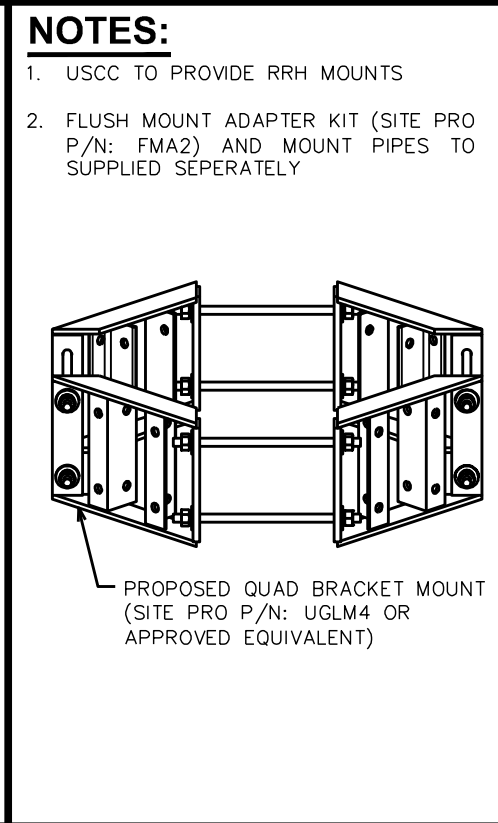
RAYCAP AND RRH MOUNTING DETAIL (PLAN)

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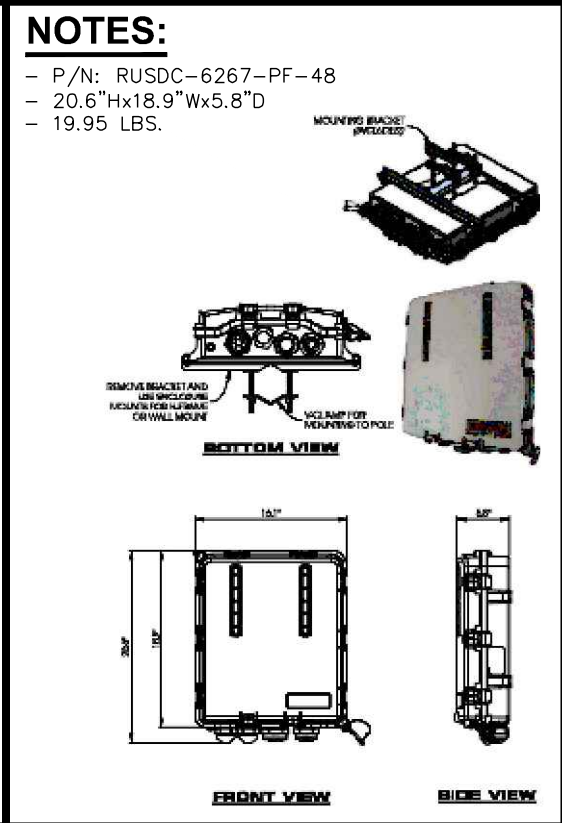
MOUNTING DETAILS

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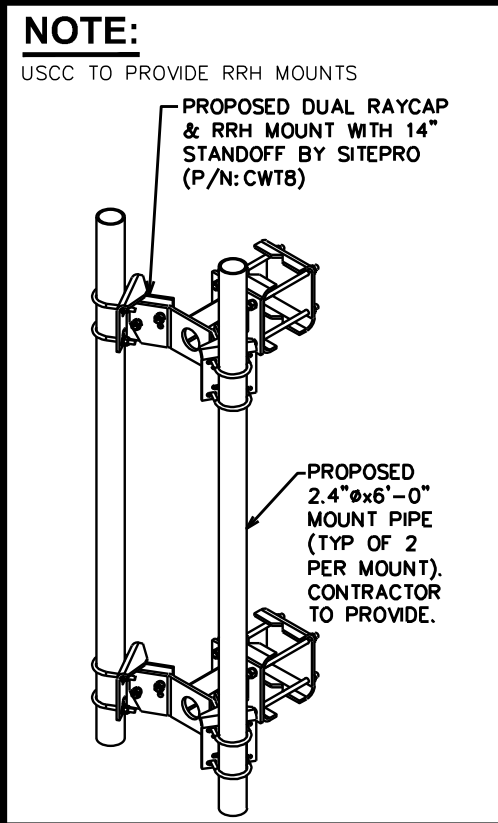
QUAD BRACKET MOUNT

SCALE: N.T.S.



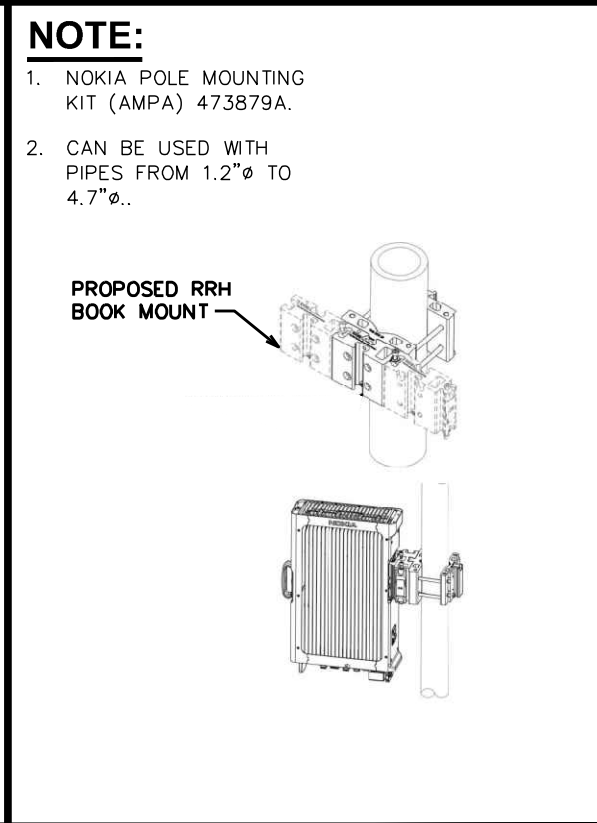
RAYCAP SPEC SHEET

SCALE: N.T.S.



DUAL MOUNT

SCALE: N.T.S.



RRH BOOK MOUNT

SCALE: N.T.S.

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uscellular

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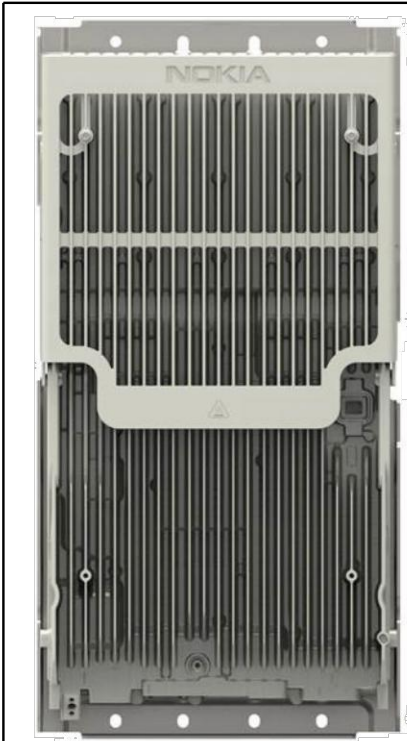
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SHEET TITLE:

RRH MOUNTING DIAGRAM

SHEET NUMBER:	REVISION:
C-12A	5
TEP#: 311384	



Product name	AirScale Dual RRH 4T4R B25/66 320W, AHFIB – 474216A
Supported Frequency bands	3GPP Bands 25 and 66
Frequencies	Band 25: DL 1930–1995MHz, UL 1850–1915MHz Band 66: DL 2110–2200MHz, UL 1710–1780MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	Band 25/ Band 66 – full band
Occupied Bandwidth OBW	Band 25: full band, Band 66: 80MHz
Output Power	40W per band, 80W per TX
Supply Voltage / Voltage Range	DC-48 V / -36V to -60V
Typical Power Consumption	525W (ETSI 24h Avg – 4x20W per band, 40W per TX port)
Antenna Ports	4 ports, 4.3-10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control Interfaces	AISG3.0 from ANT 1,2,3,4 and RET (Power supply ANT1 and ANT3)
Other Interfaces	External Alarm MDR-26 Serial connector (4 inputs, 1 Output) DC Circular Power Connector
Operational Temperature Range	-40°C to 55°C (with no solar load)
Dimensions (mm)	560x308x149 mm (without covers or mounting bracket)
Height x width x depth	
Volume (liters)	< 26 (without covers or mounting bracket)
Weight (kg)	< 30 (without covers or mounting bracket)
Ingress protection class	IP65
Installation options	Pole, Wall; Book mount: Vertical wall/pole, Horizontal wall
Surge protection	Class II 5kA

AHFIB RRH SPEC SHEET

SCALE: N.T.S.



Product name	AirScale RRH 4T4R B5 160W AHCA - 473966A
Supported frequency bands	3GPP band 5
Frequencies	DL 869-894MHz, UL 824-849MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	25MHz
Occupied Bandwidth OBW	25MHz
Output power	4T4R 40 W/ 2T4R 60W
Dimensions (mm) height x width x depth	337 x 295 x 165
Volume (liters)	16.4
Weight (kg)	16.7
Supply Voltage / Voltage Range	DC-48V / -36V to -60V
Typical Power Consumption	207 W (ETSI 24h Avg – 4x20W mode)
Antenna ports	4TX/4RX, 4.3-10+
Optical ports	2 x CPRI 9.8 Gbps
ALD control interfaces	AISG3.0 from ANT1, 2, 3, 4 and RET (Power supply ANT1 and ANT3)
Other interfaces	External alarm MDR-26 serial connector (4 inputs, 1 output) DC circular power connector
Operational temperature range	-40°C to 55°C (with no solar load)
Ingress protection class	IP65
Installation options	Pole or wall, RAS, vertical or horizontal book mount
Surge protection	Class II 5kA

AHCA RRH SPEC SHEET

SCALE: N.T.S.

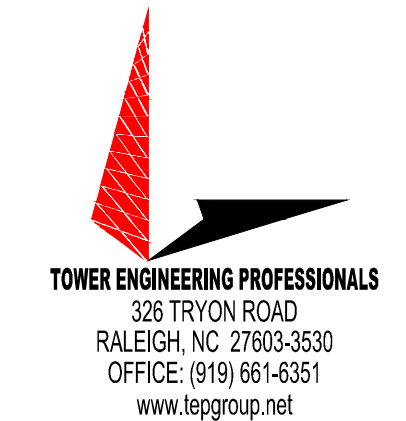
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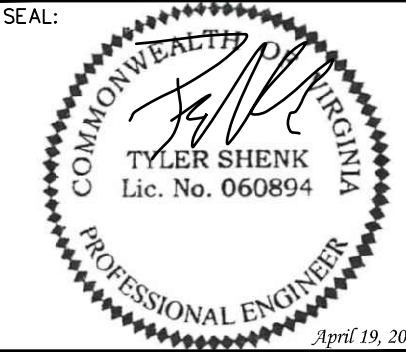
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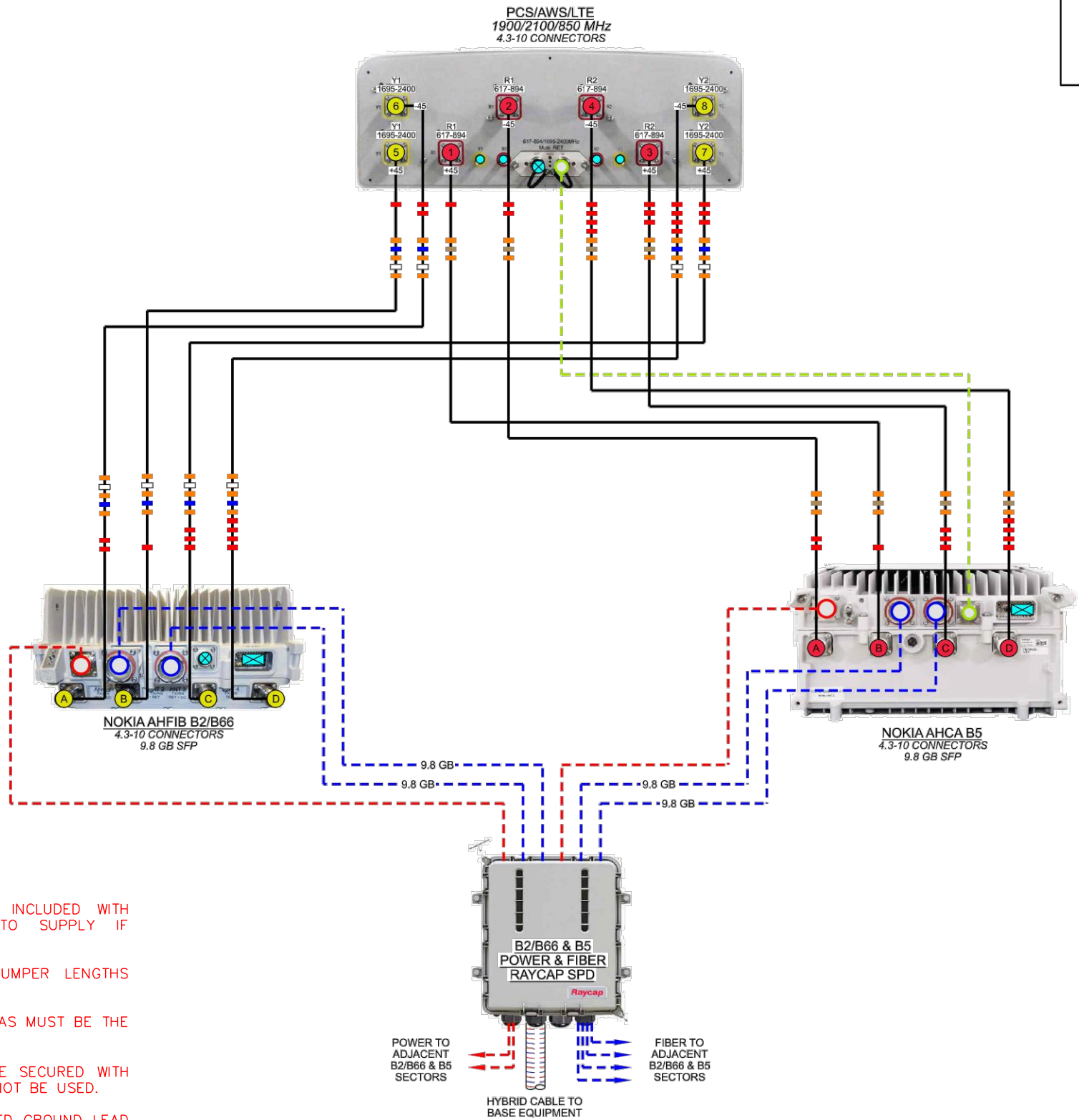
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RRH SPEC
SHEETS

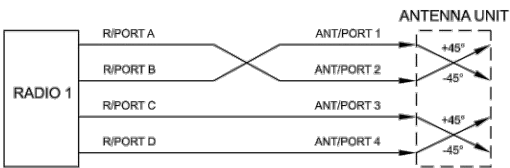
SHEET NUMBER:	REVISION:
C-12B	5
TEP#:	311384



NSN// B2/B66 / B5
PER SECTOR CONFIGURATION



ANT. TO AIRSCALE RADIO DE-CORRELATION



CABLE LEGEND

- EUPEN HYBRID CABLE
- 1/2" COAX JUMPER
- FIBER JUMPER
- POWER JUMPER
- RET JUMPER
- MID BAND PORT
- LOW BAND PORT
- WEATHERPROOF CAP

NOTES:

- UNUSED PORTS TO BE CAPPED. CAPS INCLUDED WITH EQUIPMENT PURCHASE. CONTRACTOR TO SUPPLY IF NECESSARY.
- SEE TOWER ELEVATION FOR SPECIFIC JUMPER LENGTHS AND SIZES.
- ALL JUMPERS BETWEEN RRH AND ANTENNAS MUST BE THE SAME LENGTH (PER SECTOR).
- EXCESS JUMPER AND RET CABLES TO BE SECURED WITH GROMMETS AND SNAP-INS. VELCRO MAY NOT BE USED.
- CONTRACTOR TO USE STRANDED INSULATED GROUND LEAD #6. SPECIFIED BY MANUFACTURER.
- USE LDF4 JUMPERS FOR RRHs.

PLUMBING DIAGRAM: DX232

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NOTES:

- ALL JUMPERS BETWEEN RADIO UNITS & ANTENNAS MUST BE THE SAME LENGTH.
- CONTRACTOR TO INSTALL WEATHERPROOF CAP ON ALL UN-USED PORTS.

PLANS PREPARED FOR:

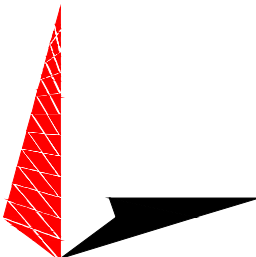


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

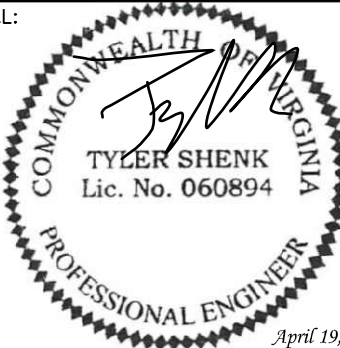
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



5	04-19-23	CONSTRUCTION
4	03-29-23	CONSTRUCTION
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DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**PLUMBING
DIAGRAM**

SHEET NUMBER:	REVISION:
C-13	5
	TEP#: 311384

PLUMBING DIAGRAM

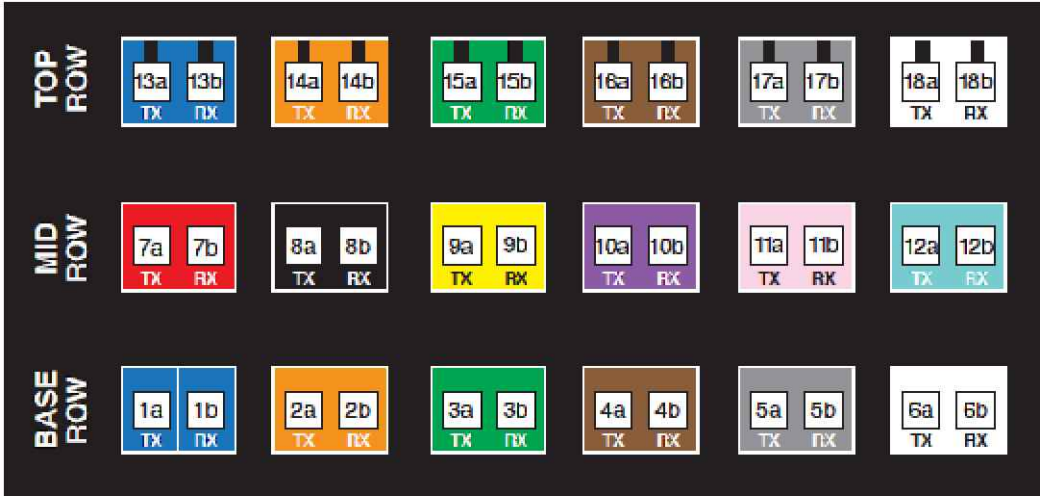
SCALE: N.T.S.

DATE CREATED: 06/04/2021

NOTE:

REFER TO USCC DOCUMENT "TOWER MOUNTED EQUIPMENT AND TOWER CABLE STANDARDS AT CELL SITES" FOR COMPLETE COLOR CODING STANDARDS.

CONNECTOR 13 13A: BLUE TX 13B: BLUE RX with TRACERS	CONNECTOR 14 14A: ORANGE TX 14B: ORANGE RX with TRACERS	CONNECTOR 15 15A: GREEN TX 15B: GREEN RX with TRACERS	CONNECTOR 16 16A: BROWN TX 16B: BROWN RX with TRACERS	CONNECTOR 17 17A: SLATE TX 17B: SLATE RX with TRACERS	CONNECTOR 18 18A: WHITE TX 18B: WHITE RX with TRACERS
CONNECTOR 7 7A: RED TX 7B: RED RX	CONNECTOR 8 8A: BLACK TX 8B: BLACK RX	CONNECTOR 9 9A: YELLOW TX 9B: YELLOW RX	CONNECTOR 10 10A: VIOLET TX 10B: VIOLET RX	CONNECTOR 11 11A: ROSE TX 11B: ROSE RX	CONNECTOR 12 12A: AQUA TX 12B: AQUA RX
CONNECTOR 1 1A: BLUE TX 1B: BLUE RX	CONNECTOR 2 2A: ORANGE TX 2B: ORANGE RX	CONNECTOR 3 3A: GREEN TX 3B: GREEN RX	CONNECTOR 4 4A: BROWN TX 4B: BROWN RX	CONNECTOR 5 5A: SLATE TX 5B: SLATE RX	CONNECTOR 6 6A: WHITE TX 6B: WHITE RX



PROPOSED (24) FIBER CABLES

PROPOSED (12) TERMINAL BLOCK
6-20 AWG

PROPOSED (18) FIBER COUPLERS ON
FIBER LANDING

PROPOSED (6) STRIKESORB MODULE

PROPOSED (6) FIBER CABLES

PROPOSED (5) BEND PROTECTORS

PROPOSED GROUND STRIP FOR SHIELD
AND DRAIN WIRES

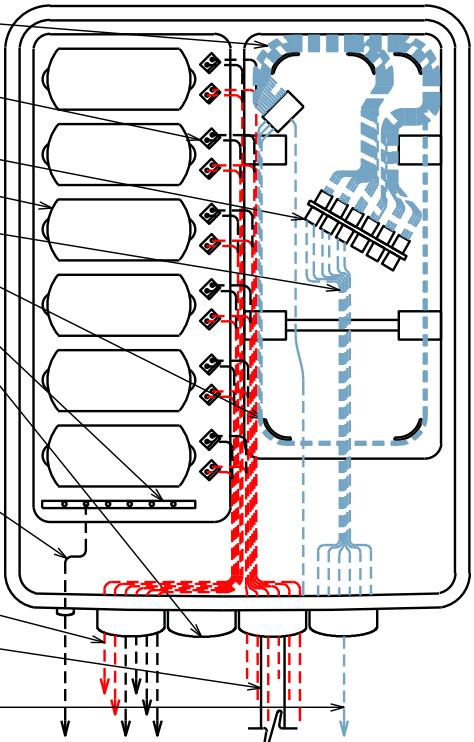
PROPOSED EMPTY PORT

PROPOSED #6 INSULATED GROUND LEAD
WITH 2 LUG MECHANICAL CONNECTION
BETWEEN PROPOSED RAYCAP AND
EXISTING RF GROUND BAR

PROPOSED POWER JUMPER CABLES
TO RRHS

PROPOSED 1¼" HYBRID CABLE

PROPOSED FIBER OPTIC JUMPER CABLE
TO RRHS

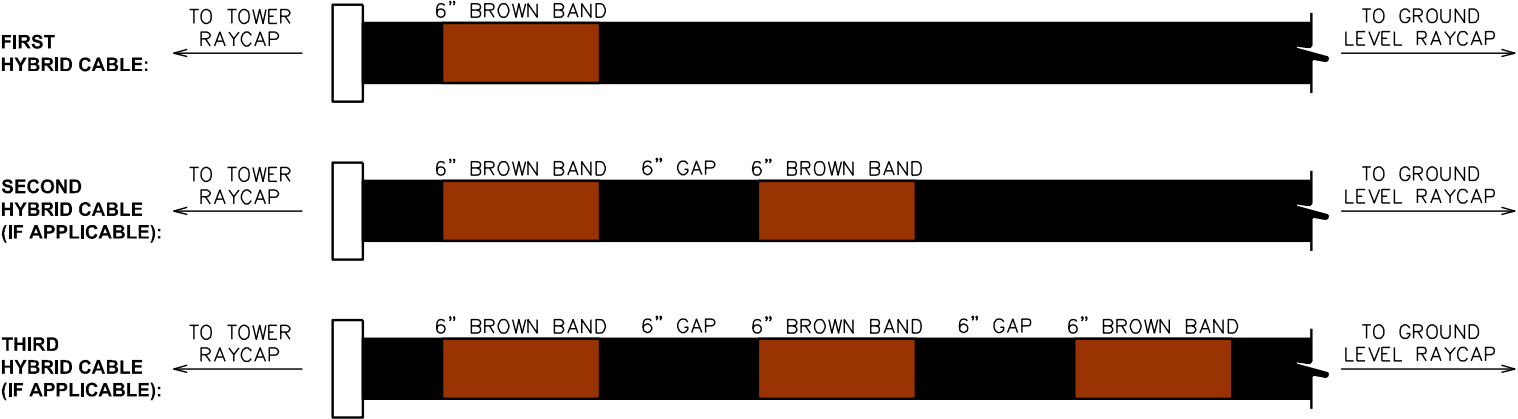


FIBER CABLE LABELING

SCALE: N.T.S.

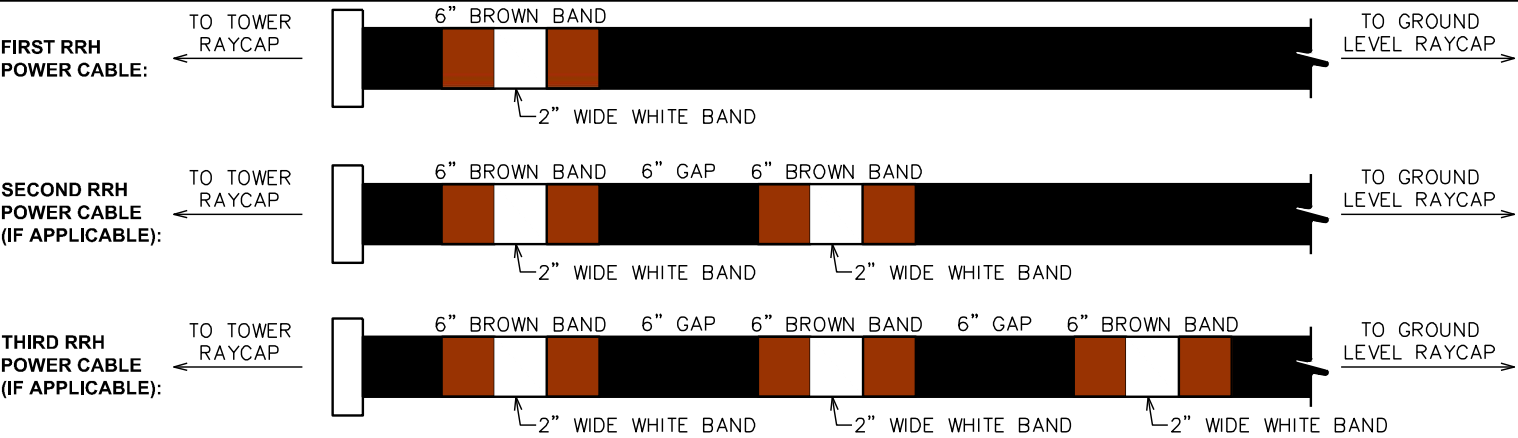
RAYCAP CABLING

SCALE: N.T.S.



HYBRID CABLE BANDING

SCALE: N.T.S.



POWER CABLE BANDING

SCALE: N.T.S.

PLANS PREPARED FOR:

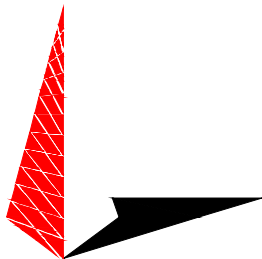


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

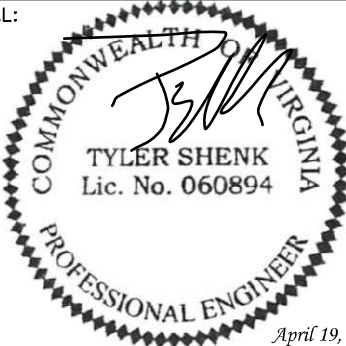
FRANCISCO ROAD
SITE #: 466376
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HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



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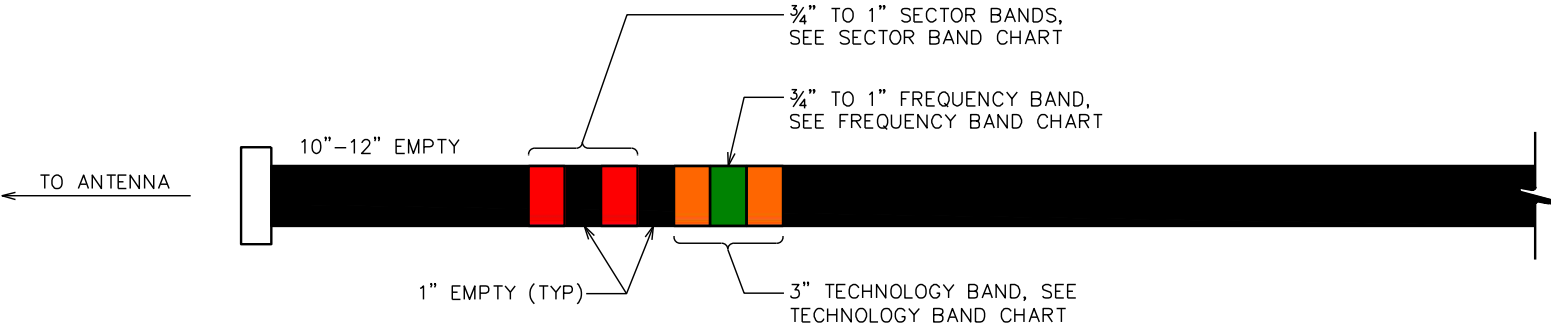
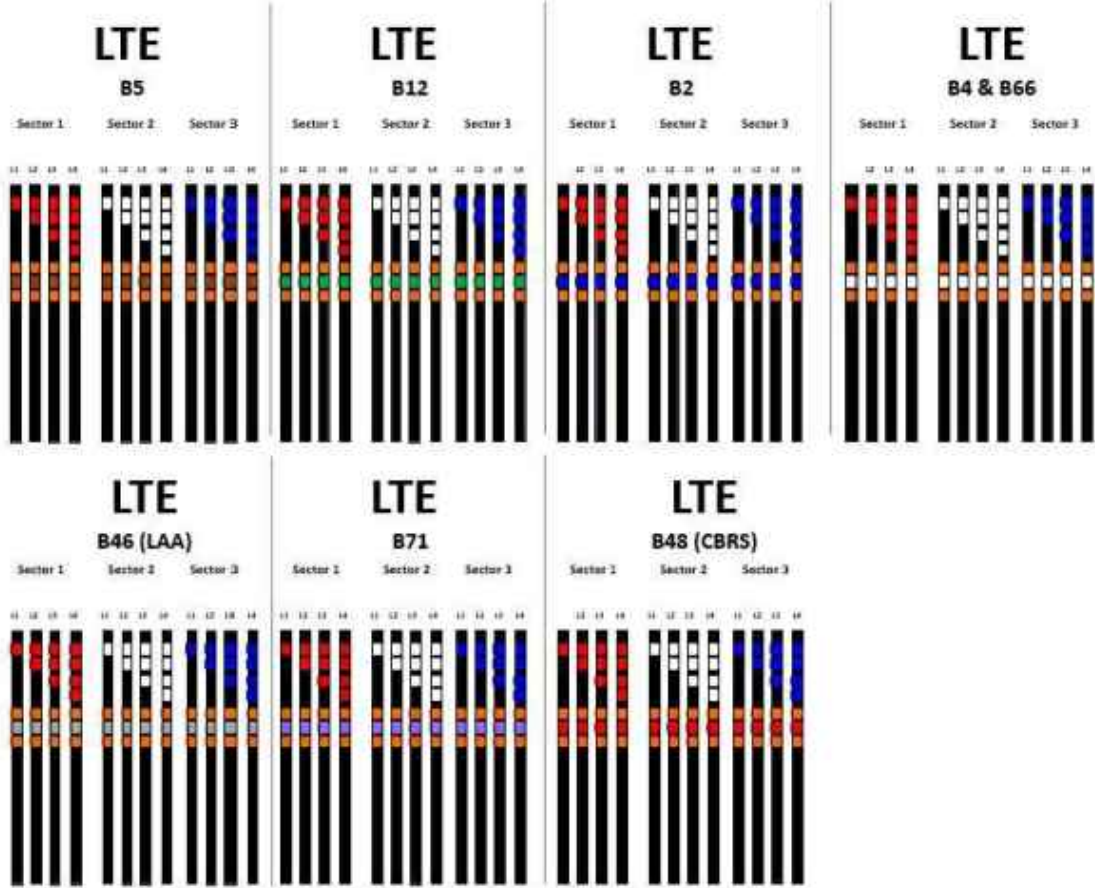
**LABELING
STANDARDS I**

SHEET NUMBER:	REVISION:
C-14A	5
TEP#:	311384

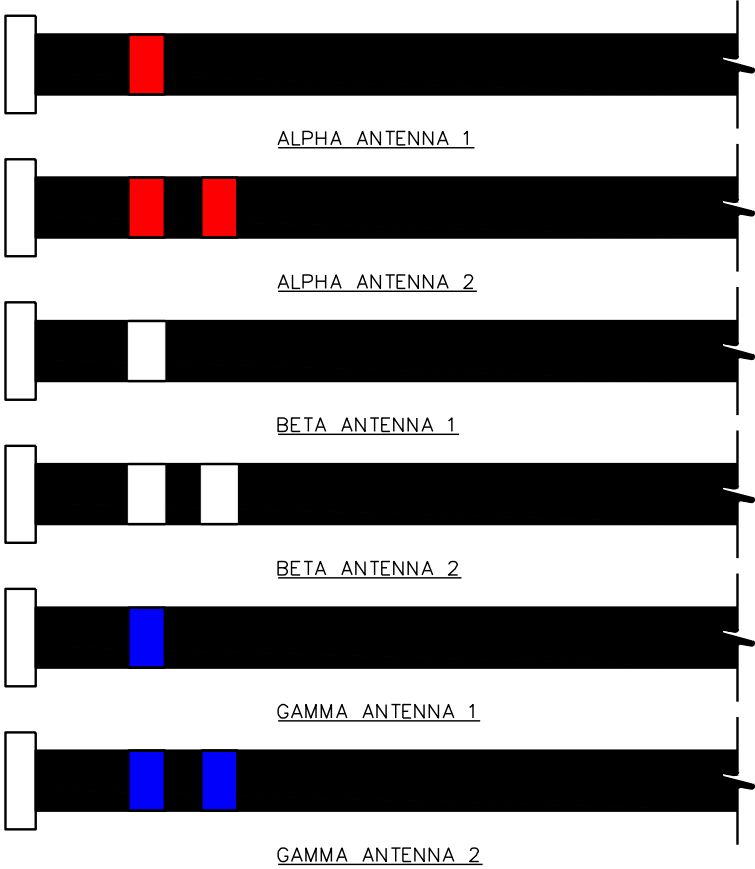
Sector Band Assignments (Most Common Case: Single Technology within the Sector)					
Sector Band	Assigned Color	Line 1	Line 2	Line 3	Line 4
Alpha (Sector 1)	red	1 red band	2 red bands	3 red bands	4 red bands
Beta (Sector 2)	white	1 white band	2 white bands	3 white bands	4 white bands
Gamma (Sector 3)	blue	1 blue band	2 blue bands	3 blue bands	4 blue bands
Delta (Sector 4, if applicable)	green	1 green band	2 green bands	3 green bands	4 green bands
Epsilon (Sector 5, if applicable)	violet	1 violet band	2 violet bands	3 violet bands	4 violet bands
Zeta (Sector 6, if applicable)	brown	1 brown band	2 brown bands	3 brown bands	4 brown bands

FREQUENCY BAND	
FREQUENCY	FREQUENCY BAND
700 (B12)	GREEN
800 (B5)	BROWN
1900 (B2)	BLUE
2100 (B4 & B66)	WHITE
5100 (B46)–LAA	GREY
600 (B71)	VIOLET
3500 (B48)–CBRS	RED

USC COAX Color Code Standard



RET SECTOR BAND		
SECTOR	LINE 1 - FIRST TECHNOLOGY	LINE 2 - FIRST TECHNOLOGY
ALPHA	(1) RED BAND	(2) RED BAND
BETA	(1) WHITE BAND	(2) WHITE BAND
GAMMA	(1) BLUE BAND	(2) BLUE BAND



PLANS PREPARED FOR:



8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

FRANCISCO ROAD

SITE #: 466376

(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)


PLANS PREPARED BY:



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SEAL:



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SHEET TITLE:

LABELING STANDARDS II



SHEET NUMBER:	REVISION:
C-14B	5
	TEP#: 311384

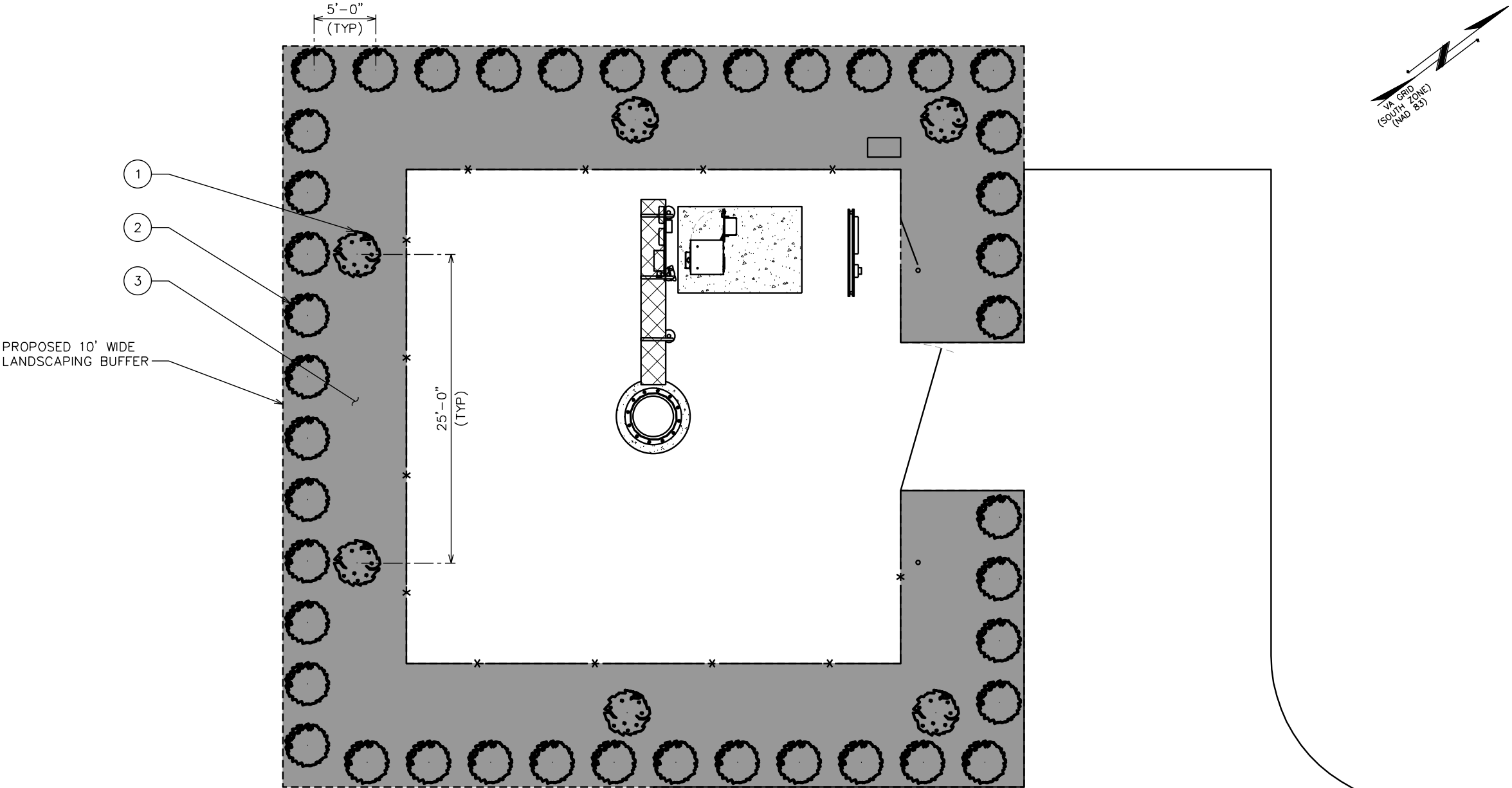
COAX CABLE BANDING

SCALE: N.T.S.

RET CABLE BANDING

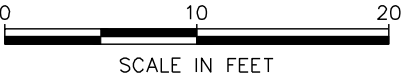
SCALE: N.T.S.

PLANTING SCHEDULE									
ITEM	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT @ PLANTING	HEIGHT @ MATURITY	CALIPER/SPREAD @ PLANTING	CALIPER/SPREAD @ MATURITY	SPACING	REMARKS
TREES									
①	6	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	–	–	2" (MIN)	–	25'-0"	SHOWN AS 
SHRUBS									
②	42	ILEX GABRA	INKBERRY HOLLY	2'-0" (MIN)	5'-0" (MAX)	–	–	5'-0"	SHOWN AS 
MULCH									
③	–	–	–	–	–	–	–	–	APPLY 3"-4" DEEP FROM THE TRUNKLINE TO THE DRIPLINE. FOR GROUND COVER – APPLY 1"-2" DEEP.




LANDSCAPING PLAN

SCALE: 1" = 10'



PLANS PREPARED FOR:



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CHICAGO, IL 60631

PROJECT INFORMATION:

FRANCISCO ROAD
SITE #: 466376

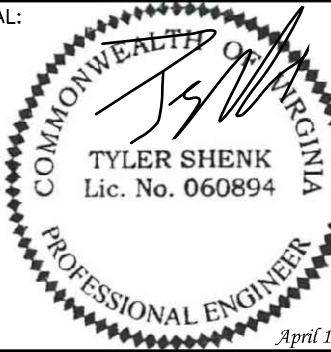
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HOLLAND ROAD
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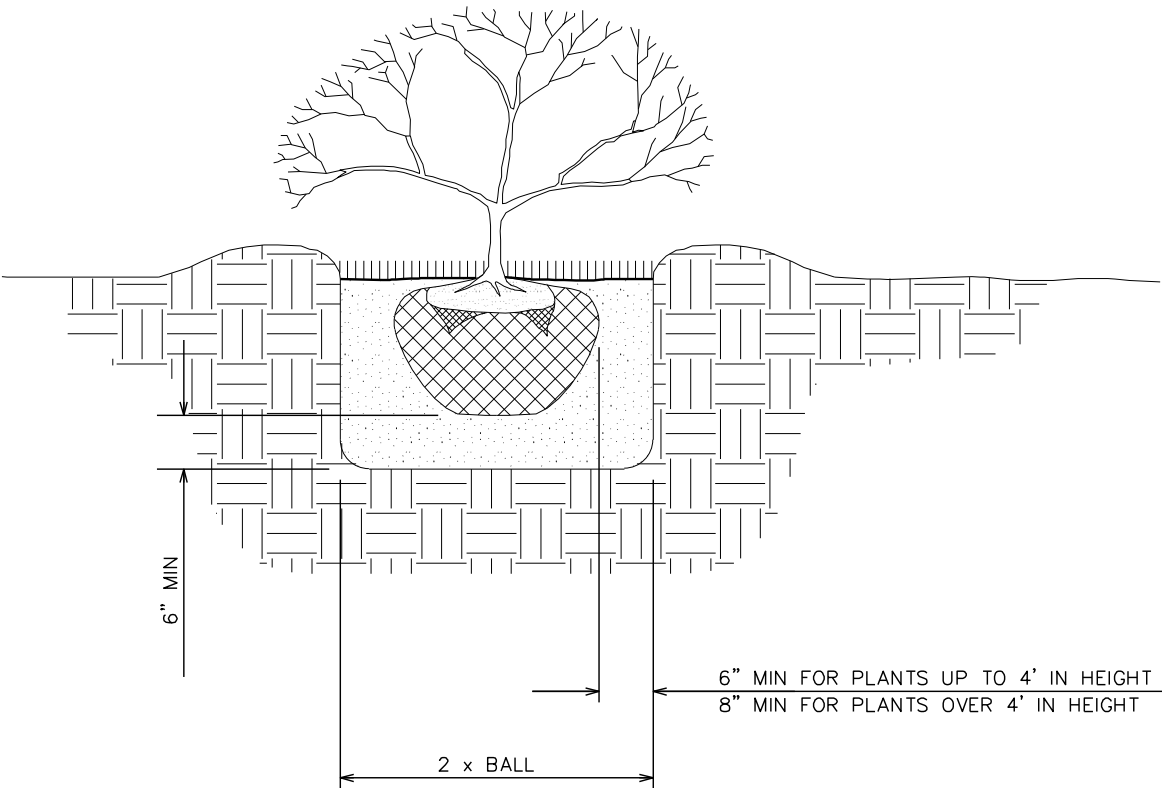
SHEET TITLE:

LANDSCAPING PLAN

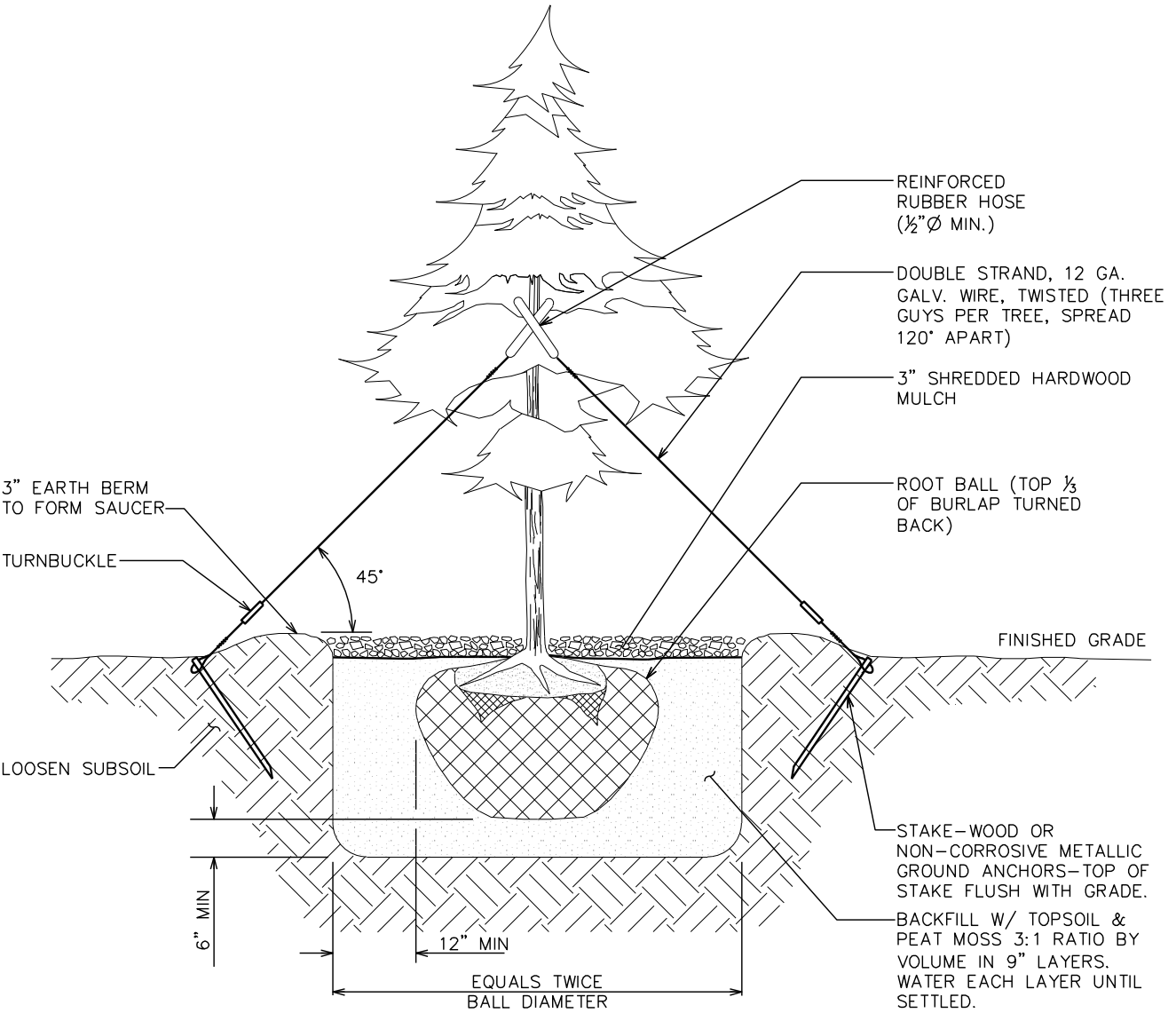
SHEET NUMBER:	REVISION:
L-1	5
	TEP#: 311384

LANDSCAPE NOTES:

- 1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
- 2. EACH PLANT TO BE IN GOOD CONDITION AFTER SHEARING AND PRUNING.
- 3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
- 4. ALL PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF INSTALLATION.
- 5. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK. ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
- 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

LANDSCAPING DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:

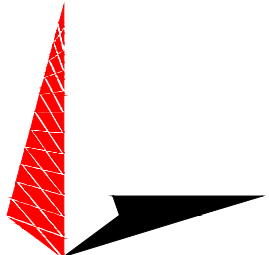


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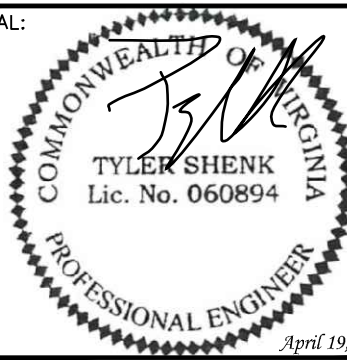
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SHEET TITLE:

**LANDSCAPING
DETAILS**

SHEET NUMBER:	REVISION:
L-2	5
	TEP#: 311384

SCOPE:

1. PROVIDE LABOR, MATERIALS, INSPECTION, AND TESTING TO PROVIDE CODE COMPLIANCE FOR ELECTRIC, TELEPHONE, AND GROUNDING/LIGHTNING SYSTEMS.

CODES:

1. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND CODES. THESE INCLUDE BUT ARE NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:
- A. THE NATIONAL ELECTRICAL SAFETY CODE

B. THE NATIONAL ELECTRIC CODE – NFPA–70

C. REGULATIONS OF THE SERVING UTILITY COMPANY

D. LOCAL AND STATE AMENDMENTS

E. THE INTERNATIONAL ELECTRIC CODE – IEC (WHERE APPLICABLE)
2. PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR.
3. AFTER COMPLETION AND FINAL INSPECTION OF THE WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF COMPLETION AND APPROVAL.

TESTING:

1. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST THE EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. THE TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.

GUARANTEE:

1. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND WITHOUT EXPENSE TO THE OWNER.
2. THE WARRANTY CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.

UTILITY CO-ORDINATION:

1. CONTRACTOR SHALL COORDINATE WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH THE SERVICE REQUIREMENTS OF EACH UTILITY COMPANY.

EXAMINATION OF SITE:

1. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH THE CONDITIONS AFFECTING THE PROPOSED ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS SECTION WILL IN NO WAY RELIEVE THE CONTRACTOR OF PERFORMING THE WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.

CUTTING, PATCHING AND EXCAVATION:

1. COORDINATION OF SLEEVES, CHASES, ETC., BETWEEN SUBCONTRACTORS WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.
2. NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE ELECTRICAL WORK SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING.
3. SEAL PENETRATIONS THROUGH RATED WALLS, FLOORS, ETC., WITH APPROVED METHOD AS LISTED BY UL.

RACEWAYS / CONDUITS GENERAL:

1. CONDUCTORS SHALL BE INSTALLED IN LISTED RACEWAYS. CONDUIT SHALL BE RIGID STEEL, EMT, SCH40 PVC, OR SCH80PVC AS INDICATED ON THE DRAWINGS. THE RACEWAY SYSTEM SHALL BE COMPLETE COMPLETE BEFORE INSTALLING CONDUCTORS.
2. EXTERIOR RACEWAYS AND GROUNDING SLEEVES SHALL BE SEALED AT POINTS OF ENTRANCE AND EXIT. THE RACEWAY SYSTEM SHALL BE BONDED PER NEC.

EXTERIOR CONDUIT:

1. EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL.
2. THE CONDUIT SHALL BE RIGID STEEL AT GRADE TRANSITIONS OR WHERE EXPOSED TO DAMAGE.
3. UNDERGROUND CONDUITS SHALL BE RIGID STEEL, SCH40 PVC, OR SCH80 PVC AS INDICATED ON THE DRAWINGS.
4. BURIAL DEPTH OF CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION, BUT SHALL NOT BE LESS THAN THE FROST DEPTH AT THE SITE.
5. CONDUIT ROUTES ARE SCHEMATIC. CONTRACTOR SHALL FIELD VERIFY ROUTES BEFORE BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND/OR BUILDING OWNER.

INTERIOR CONDUIT:

1. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT OR PVC.
2. CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.
3. PROVIDE SUPPORTS FOR CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.

EQUIPMENT:

1. DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.
2. CONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK. CONTRACTOR WILL VERIFY THAT EXISTING CIRCUIT BREAKERS ARE RATED FOR MORE THAN AVAILABLE FAULT CURRENT AND REPLACE AS NECESSARY.
3. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY.

CONDUCTORS:

1. FURNISH AND INSTALL CONDUCTORS SPECIFIED IN THE DRAWINGS. CONDUCTORS SHALL BE COPPER AND SHALL HAVE TYPE THWN (MIN) (75° C) INSULATION, RATED FOR 600 VOLTS.
2. THE USE OF ALUMINUM CONDUCTORS SHALL BE LIMITED TO THE SERVICE FEEDERS INSTALLED BY THE UTILITY.
3. CONDUCTORS SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:
- A. MINIMUM WIRE SIZE SHALL BE #12 AWG.

B. CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND #12 MAY BE SOLID OR STRANDED.

C. CONNECTION FOR #10 AWG #12 AWG SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.

D. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP–ON SLEEVES WITH NYLON INSULATOR.
3. CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.

UL COMPLIANCE:





1. ELECTRICAL MATERIALS, DEVICES, CONDUCTORS, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR ACCEPTED BY JURISDICTION (I.E., LOCAL COUNTY OR STATE) APPROVED THIRD PARTY TESTING AGENCY.

GROUNDING:

1. ELECTRICAL NEUTRALS, RACEWAYS AND NON–CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT AND ASSOCIATED ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH NEC ARTICLE 250. THIS SHALL INCLUDE NEUTRAL CONDUCTORS, CONDUITS, SUPPORTS, CABINETS, BOXES, GROUND BUSSES, ETC. THE NEUTRAL CONDUCTOR FOR EACH SYSTEM SHALL BE GROUNDED AT A SINGLE POINT.
2. PROVIDE GROUND CONDUCTOR IN RACEWAYS PER NEC.
3. PROVIDE BONDING AND GROUND TO MEET NFPA 780 – "LIGHTNING PROTECTION" AS A MINIMUM.
4. PROVIDE GROUNDING SYSTEM AS INDICATED ON THE DRAWINGS, AS REQUIRED BY THE NATIONAL ELECTRIC CODE, RADIO EQUIPMENT MANUFACTURERS, AND MOTOROLA R56 (AS APPLICABLE).

ABBREVIATIONS AND LEGEND

A	–	AMPERE	PNLBD	–	PANELBOARD
AFG	–	ABOVE FINISHED GRADE	PVC	–	RIGID NON–METALLIC CONDUIT
ATS	–	AUTOMATIC TRANSFER SWITCH	RGS	–	RIGID GALVANIZED STEEL CONDUIT
AWG	–	AMERICAN WIRE GAUGE	SW	–	SWITCH
BCW	–	BARE COPPER WIRE	TGB	–	TOWER GROUND BAR
BFG	–	BELOW FINISHED GRADE	UL	–	UNDERWRITERS LABORATORIES
BKR	–	BREAKER	V	–	VOLTAGE
C	–	CONDUIT	W	–	WATTS
CKT	–	CIRCUIT	XFMR	–	TRANSFORMER
DISC	–	DISCONNECT	XMTR	–	TRANSMITTER
EGR	–	EXTERNAL GROUND RING			
EMT	–	ELECTRIC METALLIC TUBING			
FSC	–	FLEXIBLE STEEL CONDUIT			
GEN	–	GENERATOR			
GPS	–	GLOBAL POSITIONING SYSTEM			
GRD	–	GROUND			
IGB	–	ISOLATED GROUND BAR			
IGR	–	INTERIOR GROUND RING (HALO)			
KW	–	KILOWATTS			
NEC	–	NATIONAL ELECTRIC CODE			
PCS	–	PERSONAL COMMUNICATION SYSTEM			
PH	–	PHASE			
PNL	–	PANEL			

----	E	----	UNDERGROUND ELECTRICAL CONDUIT
----	T	----	UNDERGROUND TELEPHONE CONDUIT
			KILOWATT–HOUR METER
-----			UNDERGROUND BONDING AND GROUNDING CONDUCTOR.
			GROUND ROD
			CADWELD
			GROUND ROD WITH INSPECTION WELL

PLANS PREPARED FOR:

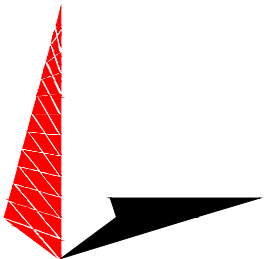


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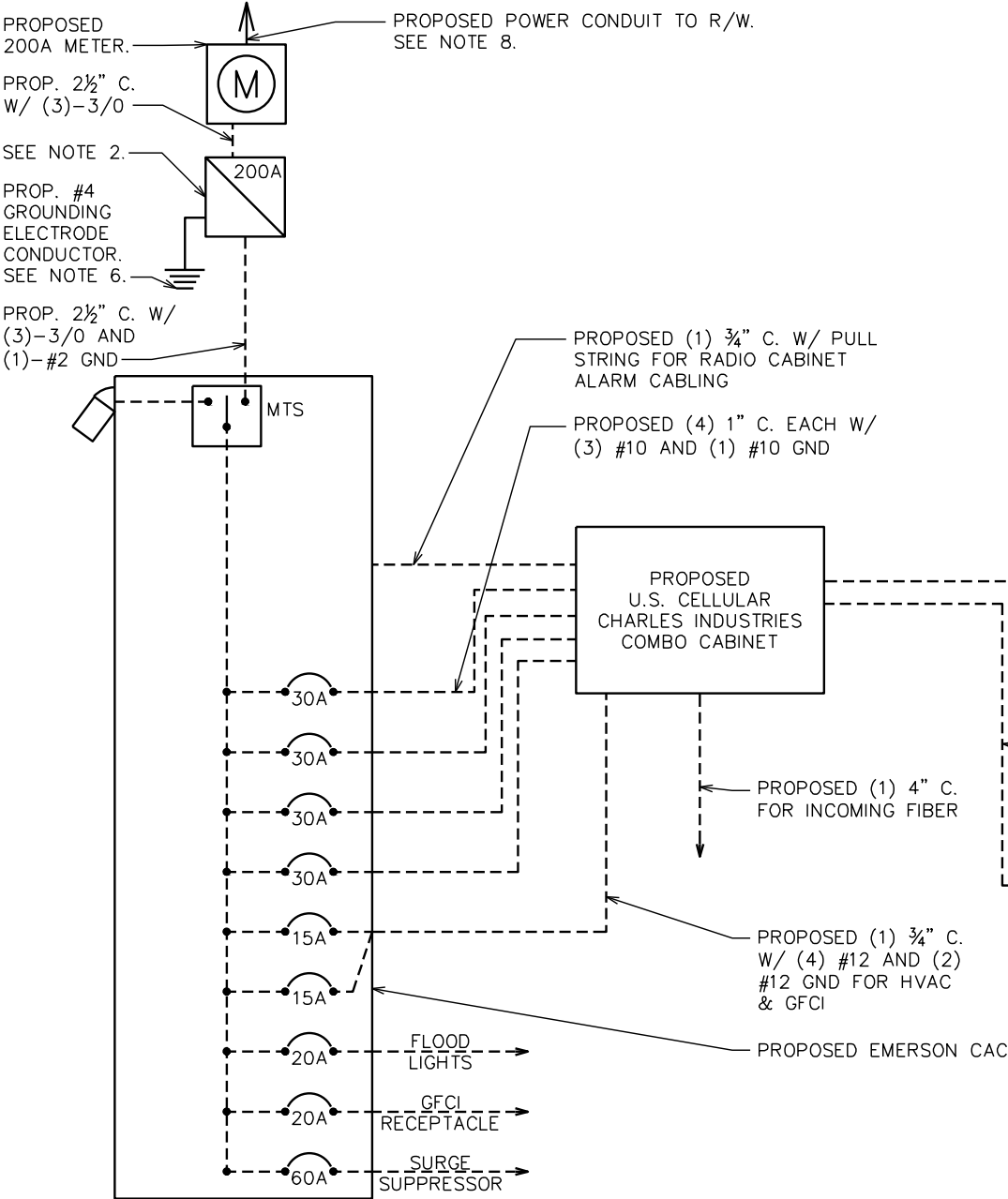
SHEET TITLE:

ELECTRICAL
NOTES

SHEET NUMBER:	REVISION:
E-1	5
	TEP#: 311384

NOTES:

1. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO VENDOR PRINTS PROVIDED BY EQUIPMENT MANUFACTURER.
2. 200A RATED DISCONNECT FUSED AT 200A. IF NOT EXISTING, INSTALL 200A SERVICE ENTRANCE RATED DISCONNECT FUSED AT 200A.
3. SOME BREAKERS NOT SHOWN IN ONE LINE DIAGRAM FOR CLARITY.
4. CONTRACTOR TO VERIFY LOAD CENTER PANEL CAPACITY AND EXISTING LOADING IS WITHIN RATED LIMITS.
5. PROPOSED CONDUCTOR FEEDING PROPOSED CHARLES CABINET IS BASED ON MANUFACTURER SPECIFICATIONS.
6. THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND
7. THE WIRING DIAGRAM PROVIDED BY THE MANUFACTURER DOES NOT SHOW A NEUTRAL BEING USED. THE CONTRACTOR WILL NEED TO VERIFY WITH THE INSTALLATION SPECS.
8. FINAL POWER SPECIFICATIONS WILL BE DETERMINED CLOSER TO CONSTRUCTION UPON POWER AND FIBER WALKS COMPLETED BY THE CONSTRUCTION MANAGER WITH THE UTILITY COMPANIES. FINAL POWER AND FIBER DESIGN MUST BE COMPLETED PRIOR TO CONSTRUCTION AND APPROVED BY BOTH USCC AND APPLICABLE UTILITY COMPANIES.



ONE LINE DIAGRAM

SCALE: N.T.S.

NOTE:

CONTRACTOR TO VERIFY THE SIZE OF ALL BREAKERS SHOWN AND WITH MANUFACTURER SPECIFICATIONS.

200A 120/240VAC POWER PANEL SCHEDULE												
LOAD SERVED	VOLT AMPERES (WATTS)		TRIP	CKT #	PHASE		CKT #	TRIP	VOLT AMPERES (WATTS)		LOAD SERVED	
	L1	L2							L1	L2		
SURGE SUPPRESSOR	0		60A	1	A		2	30A	2880		RECTIFIER 5/6	
		0		3	B		4			2880		
GFCI RECEPTACLE	180		20A	5	A		6	30A	2880		RECTIFIER 7/8	
FLOOD LIGHTS		300	20A	7	B		8			2880		
RECTIFIER 1/2	2880		30A	9	A		10	15A	1440		HVAC (COMBO CABINET)	
		2880		11	B		12			1440		
RECTIFIER 3/4	2880		30A	13	A		14	15A	200		GFCI (COMBO CABINET)	
		2880		15	B		16	-	-	-		
-	-		-	17	A		18	-	-		-	
		-		19	B		20	-		-	-	
-	-		-	21	A		22	-	-		-	
		-		23	B		24	-		-	-	
VOLT AMPS	5,940	6,060							7,400	7,200	VOLT AMPS	
L1 VOLT AMPERES				13,340	13,260		L2 VOLT AMPERES					
				26,600		TOTAL VOLT AMPERES						
				110.8		TOTAL AMPS						
				138.5		AMPS X 125%						

PLANS PREPARED FOR:

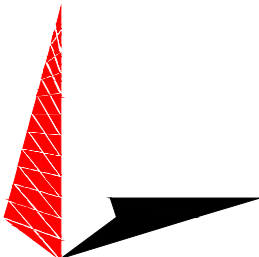


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



5	04-19-23	CONSTRUCTION
4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

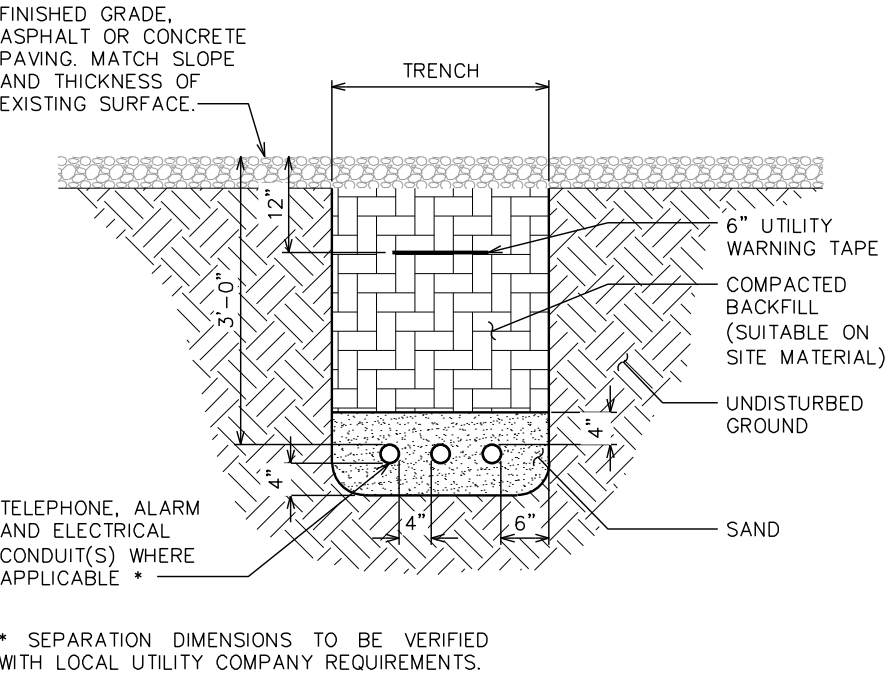
DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:
**ONE LINE DIAGRAM &
POWER PANEL
SCHEDULE**

SHEET NUMBER: **E-2** REVISION: **5**
TEP#: 311384

NOTES:

- 1. ACTUAL SEPARATION OF CONDUITS TO BE DETERMINED BY SITE SPECIFIC REQUIREMENTS.
- 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
- 3. PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLES, EQUIPMENT, ETC.)
- 4. PROVIDE RGS CONDUIT FOR INSTALLATIONS BELOW PARKING LOTS AND ROADWAYS.

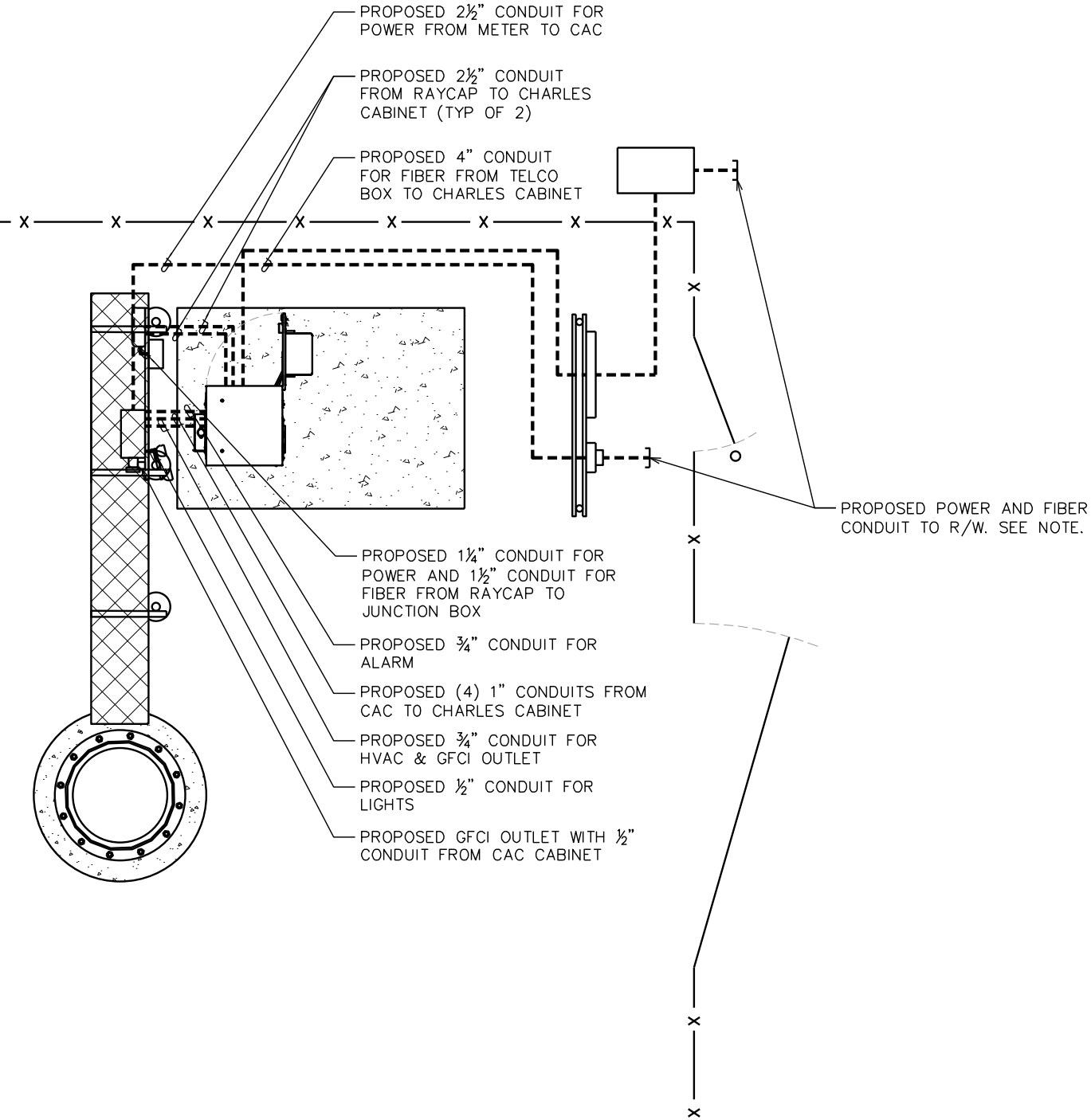


UNDERGROUND CONDUIT(S) TRENCH DETAIL

SCALE: N.T.S.

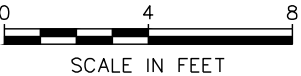
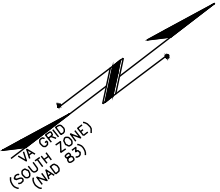
NOTE:

FINAL POWER AND FIBER SPECIFICATIONS WILL BE DETERMINED CLOSER TO CONSTRUCTION UPON POWER AND FIBER WALKS COMPLETED BY THE CONSTRUCTION MANAGER WITH THE UTILITY COMPANIES. FINAL POWER AND FIBER DESIGN MUST BE COMPLETED PRIOR TO CONSTRUCTION AND APPROVED BY BOTH USCC AND APPLICABLE UTILITY COMPANIES.



POWER AND TELCO PLAN

SCALE: 3/16" = 1'-0"



PLANS PREPARED FOR:

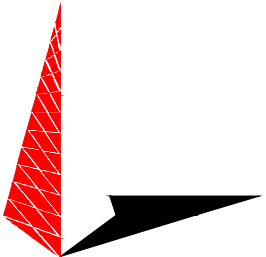


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CHICAGO, IL 60631

PROJECT INFORMATION:

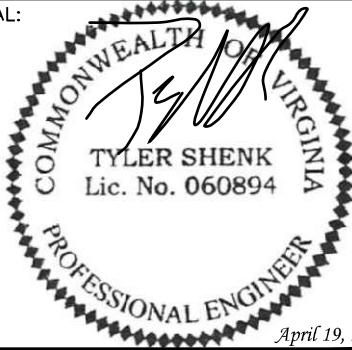
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD
RALEIGH, NC 27603-3530
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www.tepgroup.net

SEAL:



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REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**POWER/TELCO
PLAN**

SHEET NUMBER:

E-3

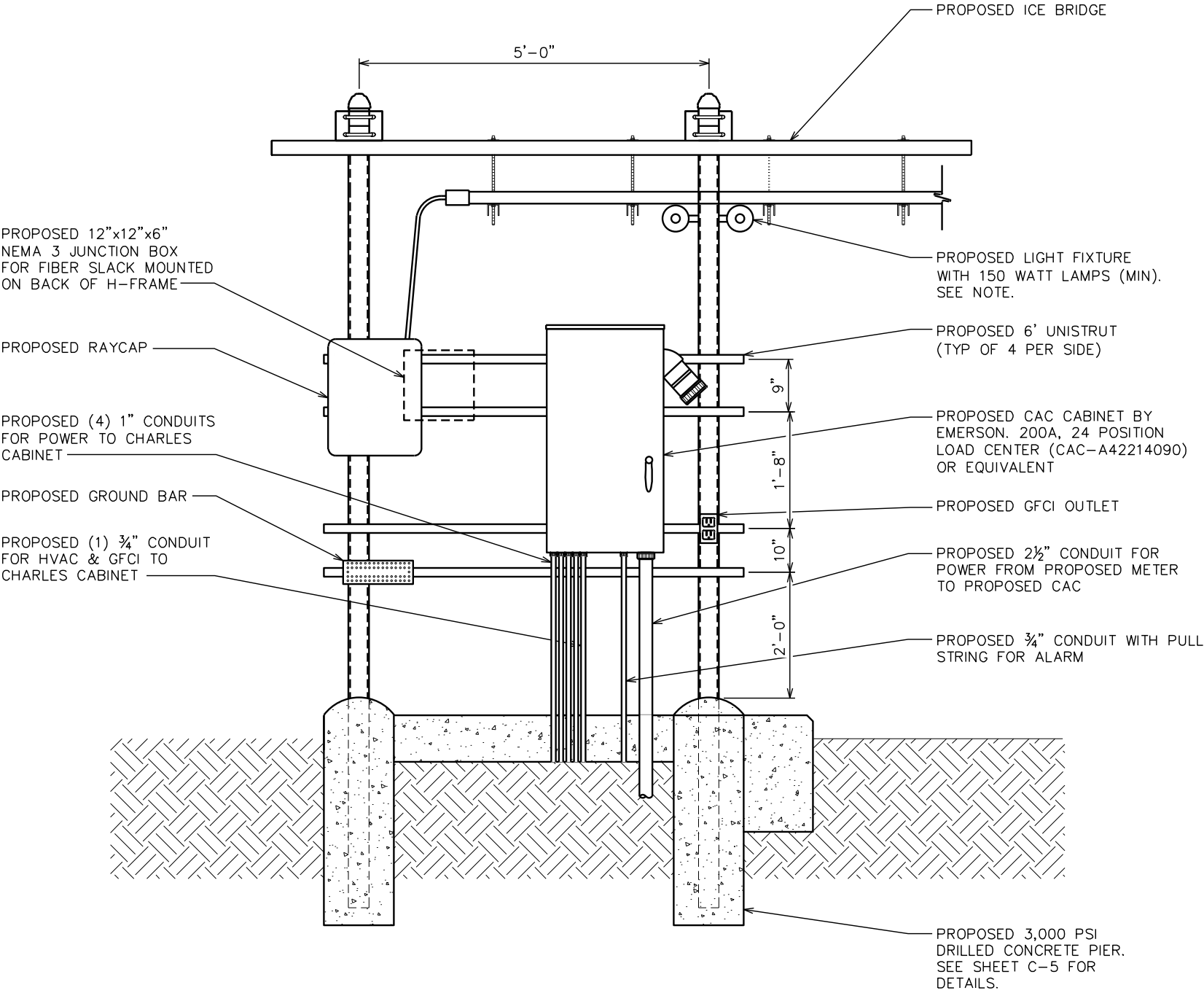
REVISION:

5

TEP#: 311384

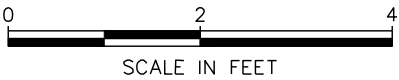
NOTE:

CONTRACTOR TO FIELD LOCATE
LIGHT FIXTURE FOR OPTIMUM
COVERAGE OF WORK AREA.



EQUIPMENT H-FRAME DETAILS

SCALE: 1/2" = 1'-0"



PLANS PREPARED FOR:



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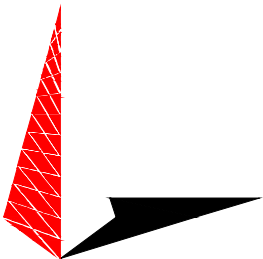
PROJECT INFORMATION:

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SITE #: 466376

(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

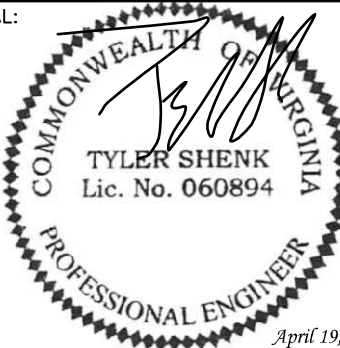
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DRAWN BY: THD CHECKED BY: ANG

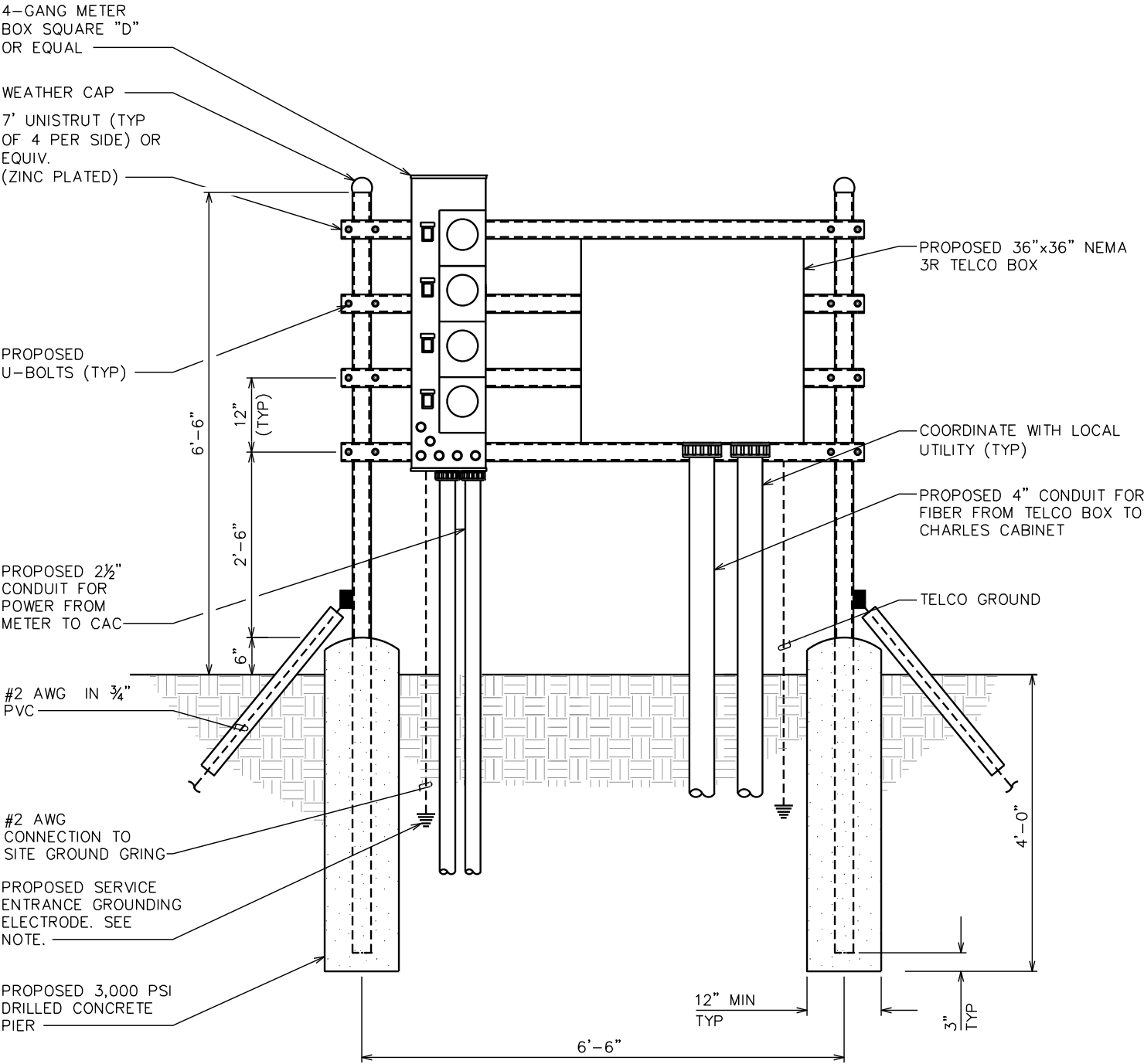
SHEET TITLE:

**EQUIPMENT
H-FRAME DETAILS**

SHEET NUMBER:	REVISION:
E-3A	5
	TEP#: 311384

NOTE:

THE GROUNDING ELECTRODE CONDUCTOR IS SIZED FOR A SINGLE 200A SERVICE. THE CONTRACTOR WILL INSTALL (1) 3/0 COPPER GEC INSTEAD IF THE METER BANK SHARES A COMMON N-G BOND.



SERVICE RACK DETAILS

SCALE: N.T.S.

PLANS PREPARED FOR:



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CHICAGO, IL 60631

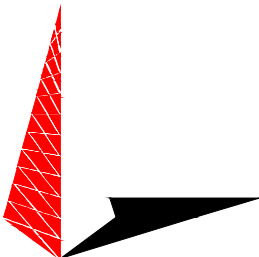
PROJECT INFORMATION:

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SITE #: 466376

(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

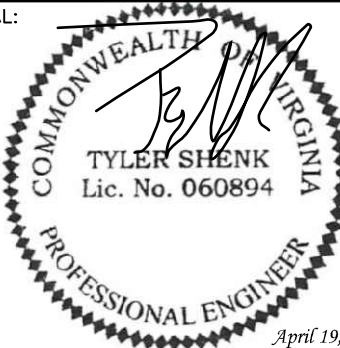
PLANS PREPARED BY:



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SEAL:



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2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

SERVICE RACK
DETAILS

SHEET NUMBER:	REVISION:
E-3B	5
TEP#:	311384

DRAWING NOTES

- 1

PROPOSED TOWER GROUND RING BURIED 30" BFG OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER)
- 2

PROPOSED TOWER GROUND RING BOND TO PROPOSED EQUIPMENT GROUND RING (TYP)
- 3

PROPOSED 5/8"Øx10' COPPER GROUND ROD (TYP)
- 4

PROPOSED TOWER GROUND BAR
- 5

PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS GREATER)
- 6

PROPOSED SERVICE ENTRANCE GROUNDING ELECTRODE
- 7

FOR EQUIPMENT PAD GROUNDING, SEE SHEET E-5.
- 8

TOWER GROUND RING TO TOWER STEEL (TYP OF 3)
- 9

PROPOSED CADWELD (TYP)
- 10

GATE POST GROUNDING (TYP)
- 11

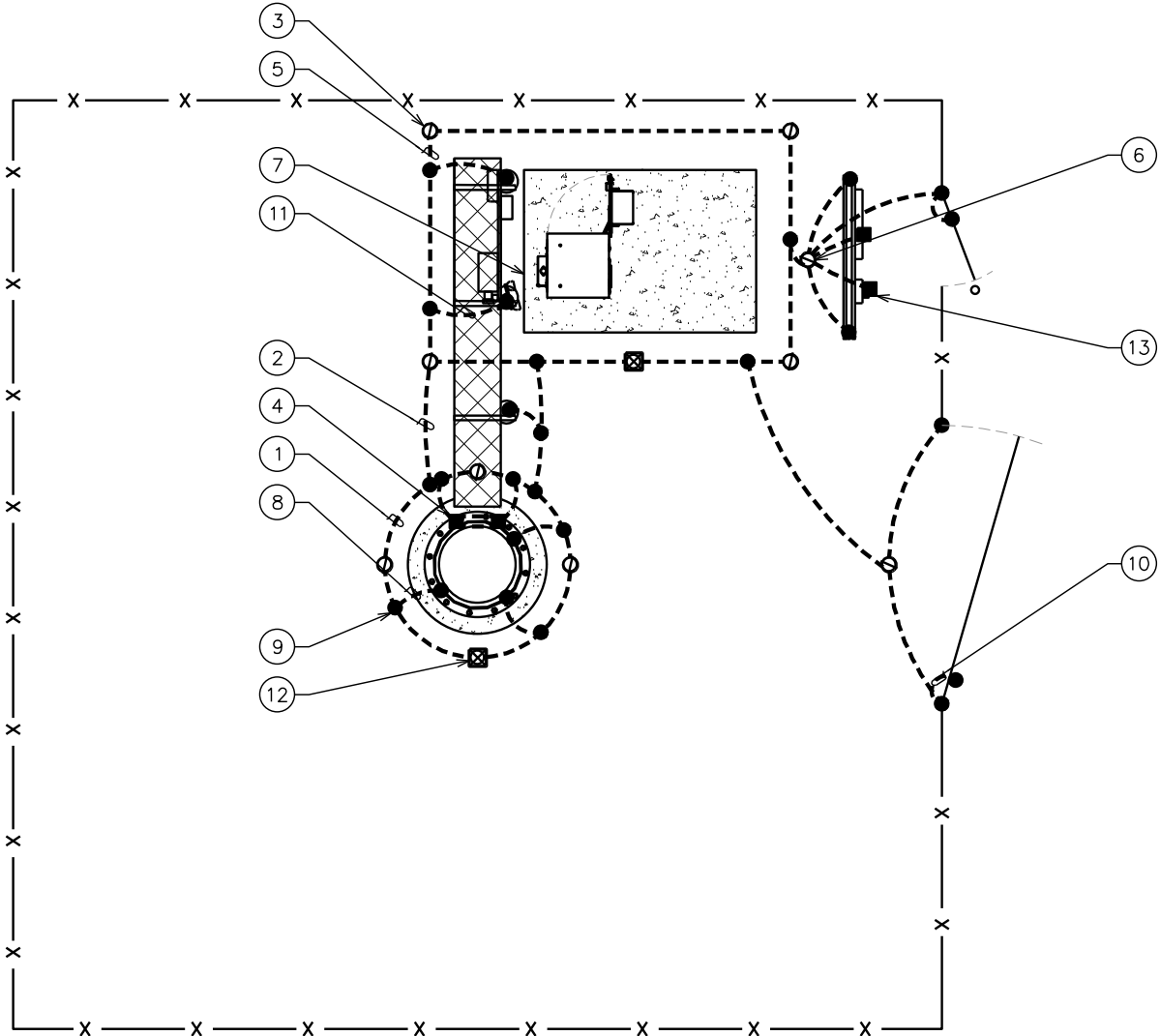
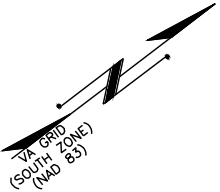
ICE BRIDGE POST GROUND TO EQUIPMENT GROUND RING
- 12

PROPOSED 5/8"Øx10' COPPER GROUND ROD WITH INSPECTION WELL (TYP)
- 13

PROPOSED 2-HOLE MECHANICAL LUG CONNECTION (TYP)

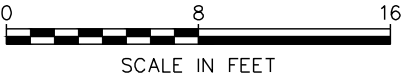
GROUNDING NOTES:

1. CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE OR 6" BELOW FROST DEPTH (WHICHEVER IS GREATER). GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM; PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2. BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3. GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4. CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5. BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6. THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.



COMPOUND GROUNDING PLAN

SCALE: 1/8" = 1'-0"



PLANS PREPARED FOR:

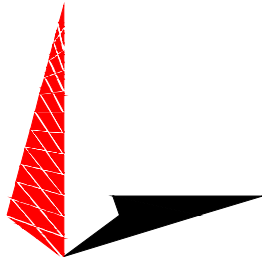


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

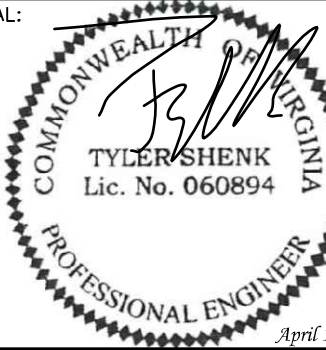
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



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326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



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4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**COMPOUND
GROUNDING PLAN**

SHEET NUMBER:	REVISION:
E-4	5
	TEP#: 311384

DRAWING NOTES

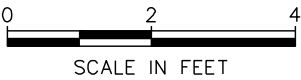
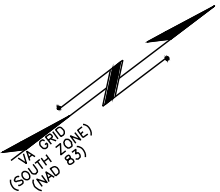
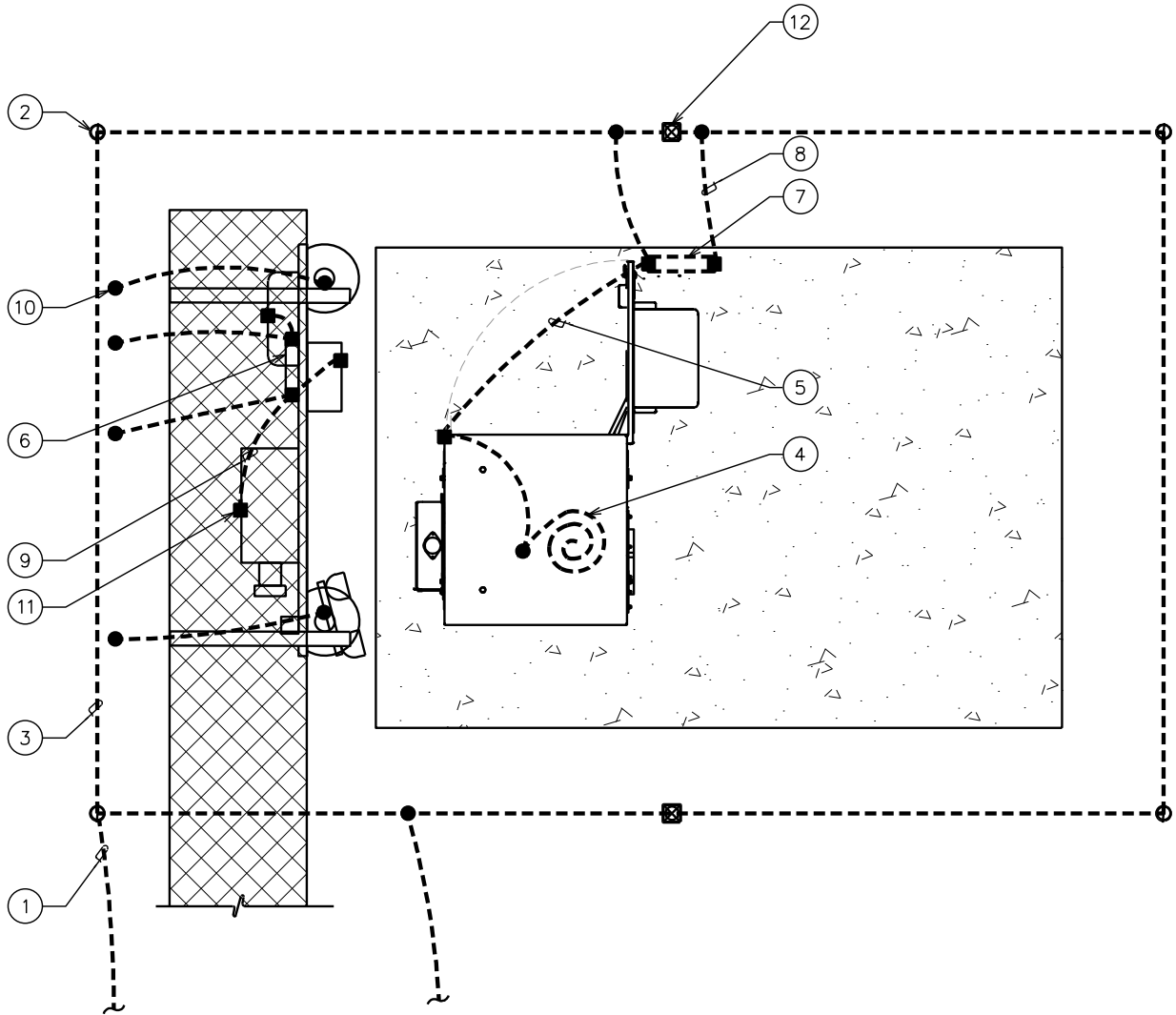
- 1
- EXTEND EQUIPMENT GROUND RING TO PROPOSED TOWER GROUND RING (TYP)
- 2
- PROPOSED 5/8"Ø10' COPPER GROUND ROD (TYP)
- 3
- PROPOSED EQUIPMENT GROUND RING (BURIED 30" BFG OR 6" BELOW FROST DEPTH, WHICHEVER IS DEEPER)
- 4
- GROUND PROPOSED CABINET PER MFG'S SPECIFICATIONS (TYP)
- 5
- CABINET GROUND TO PROPOSED GROUND BAR
- 6
- GROUND BAR MOUNTED ON H-FRAME
- 7
- GROUND BAR MOUNTED ON EQUIPMENT PAD
- 8
- GROUND LEAD FROM PROPOSED GROUND BAR TO PROPOSED GROUND RING (TYP OF 4)
- 9
- PROPOSED EQUIPMENT GROUND (TYP)
- 10
- PROPOSED CADWELD (TYP)
- 11
- PROPOSED 2-HOLE MECHANICAL LUG CONNECTION (TYP)
- 12
- PROPOSED GROUND ROD WITH INSPECTION WELL

GROUNDING NOTES:

1.
- CONTRACTOR SHALL VERIFY THAT GROUNDING ELECTRODES SHALL BE CONNECTED IN A RING USING #2 AWG BARE TINNED COPPER WIRE. THE TOP OF THE GROUND RODS AND THE RING CONDUCTOR SHALL BE 30 INCHES BELOW FINISHED GRADE (OR 6" BELOW FROST DEPTH, WHICHEVER IS GREATER). GROUNDING ELECTRODES SHALL BE DRIVEN ON 10'-0" CENTERS (9'-0" MINIMUM, 16'-0" MAXIMUM; PROVIDE AND INSTALL AS REQUIRED PER TYPICAL GROUNDING PLAN SHOWN).
2.
- BONDING OF THE GROUNDED CONDUCTOR (NEUTRAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECTING MEANS. BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250.30.
3.
- GROUND RING CONNECTION CONDUCTORS SHALL BE OF EQUAL LENGTH, MATERIAL, AND BONDING TECHNIQUE.
4.
- CONTRACTOR SHALL ENSURE GROUND RING IS WITHIN 12 TO 36 INCHES OF THE EQUIPMENT PAD. PROVIDE/INSTALL GROUNDING CONNECTIONS SHOWN ABOVE AS NEEDED PER EXISTING SITE GROUNDING SYSTEM. CONTRACTOR SHALL VERIFY ALL EXISTING SITE GROUNDING CONDITIONS BEFORE STARTING WORK OR PURCHASING EQUIPMENT.
5.
- BOND CIGBE TO EXTERNAL GROUND RING WITH 2 RUNS OF #2 BARE TINNED SOLID COPPER CONDUCTOR IN PVC. CONNECT BAR END WITH 2 HOLE LUG, AND "CADWELD" THE OTHER END TO THE EXTERNAL GROUND ROD.
6.
- THE PREFERRED LOCATION FOR COAX GROUNDING IS AT THE BASE OF THE TOWER PRIOR TO THE COAX BEND. BONDING IS SHOWN ON THE ICE BRIDGE DUE TO DIFFICULTY WITH WELDING OR ATTACHING TO TOWER LEGS. CONTRACTOR SHALL ADVISE CONSTRUCTION MANAGER PRIOR TO PLACING CIGBE ON ICE BRIDGE IF MOUNTING TO TOWER LEG IS POSSIBLE.

TYPICAL EQUIPMENT GROUNDING PLAN

SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:

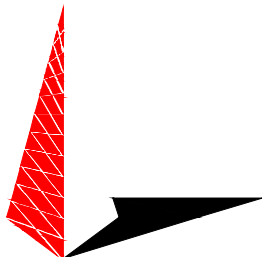


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

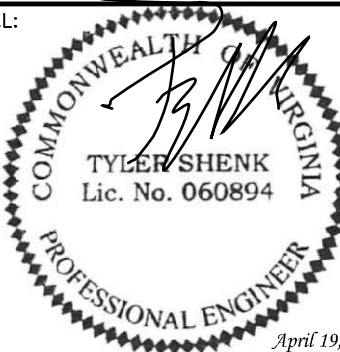
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



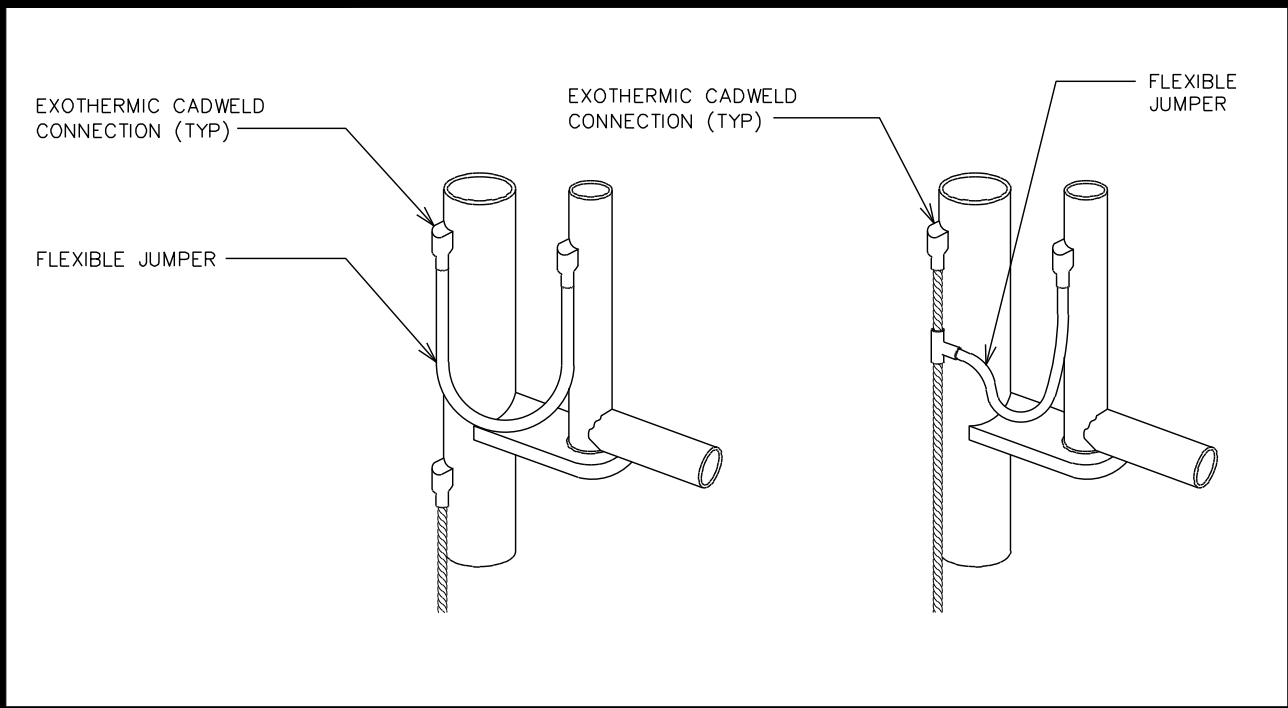
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REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

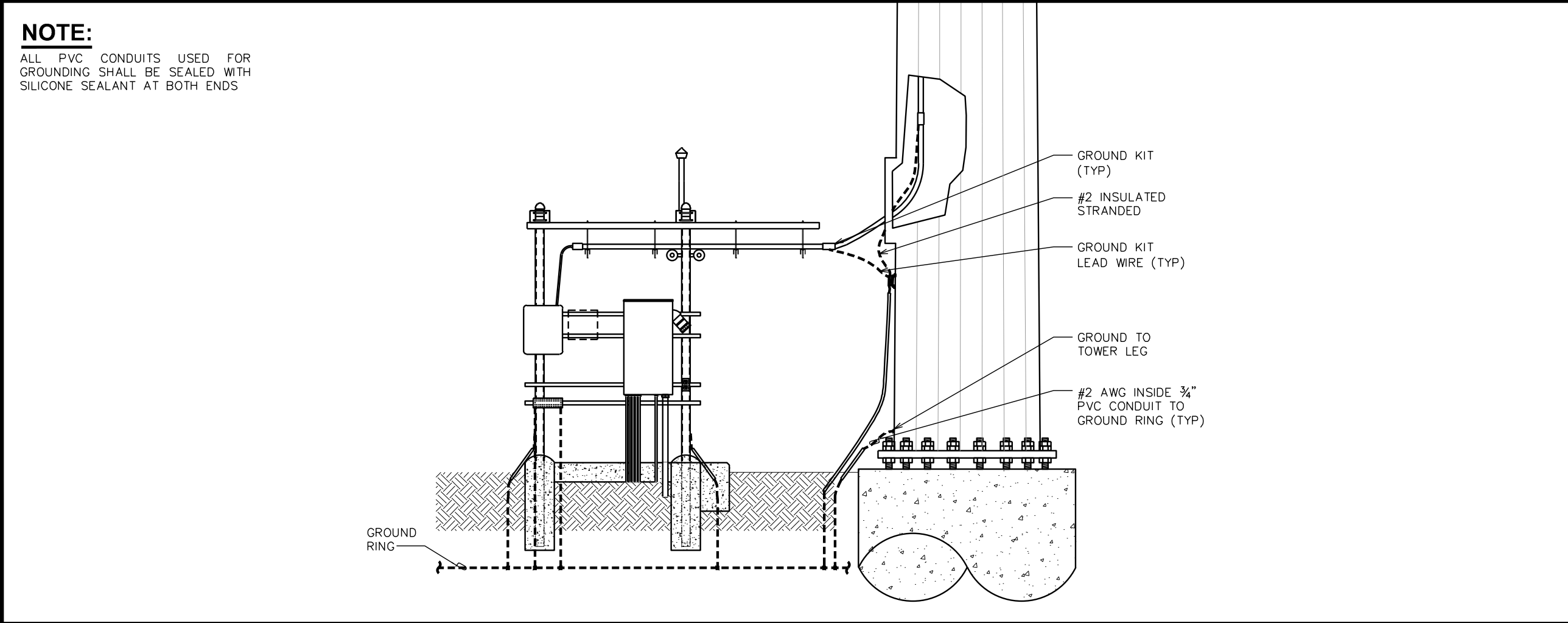
**EQUIPMENT
GROUNDING PLAN**

SHEET NUMBER:	REVISION:
E-5	5
	TEP#: 311384



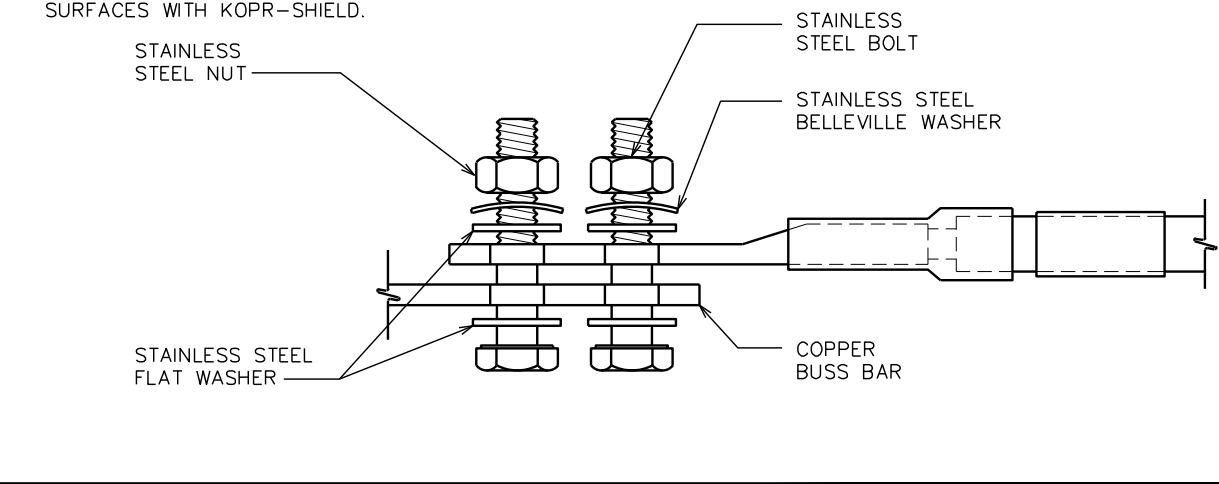
TYPICAL FENCE AND GATE BONDING DETAIL
SCALE: N.T.S.

NOTE:
ALL PVC CONDUITS USED FOR GROUNDING SHALL BE SEALED WITH SILICONE SEALANT AT BOTH ENDS



ICE BRIDGE/COAX/GROUNDING BAR ELEVATION
SCALE: N.T.S.

- NOTES:**
1. ALL HARDWARE SHALL BE 18-8 STAINLESS STEEL, INCLUDING THE BELLEVILLE WASHERS. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
 2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN THE LUG AND STEEL. COAT ALL SURFACES WITH KOPR-SHIELD.



TYPICAL LUG DETAIL
SCALE: N.T.S.

PLANS PREPARED FOR:



8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

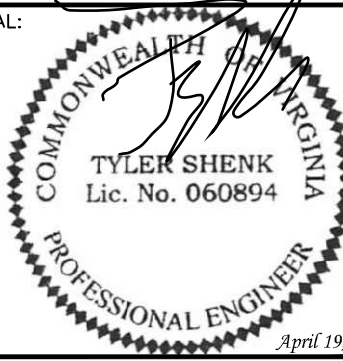
FRANCISCO ROAD
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SEAL:



April 19, 2023

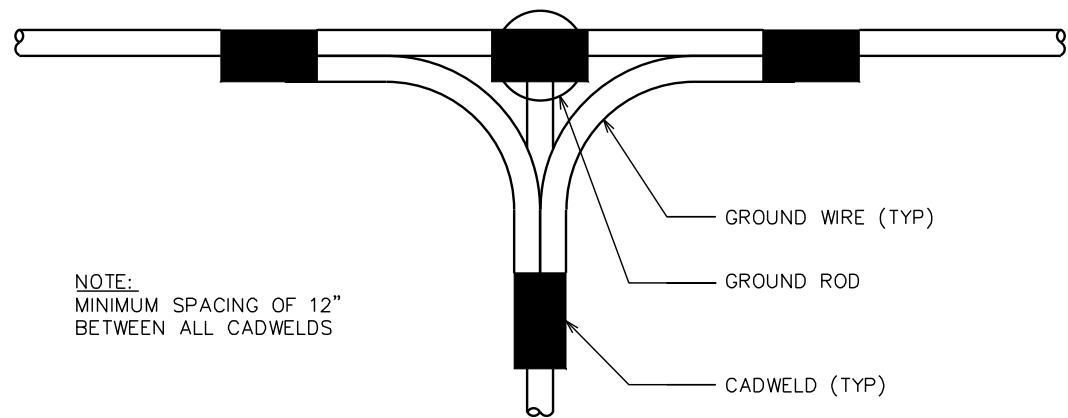
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REV	DATE	ISSUED FOR:

DRAWN BY: THD	CHECKED BY: ANG
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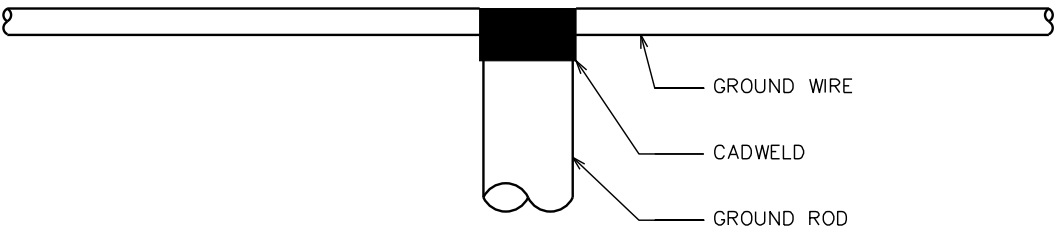
GROUNDING DETAILS I

SHEET NUMBER:	REVISION:
E-6	5
	TEP#: 311384



NOTE:
MINIMUM SPACING OF 12"
BETWEEN ALL CADWELDS

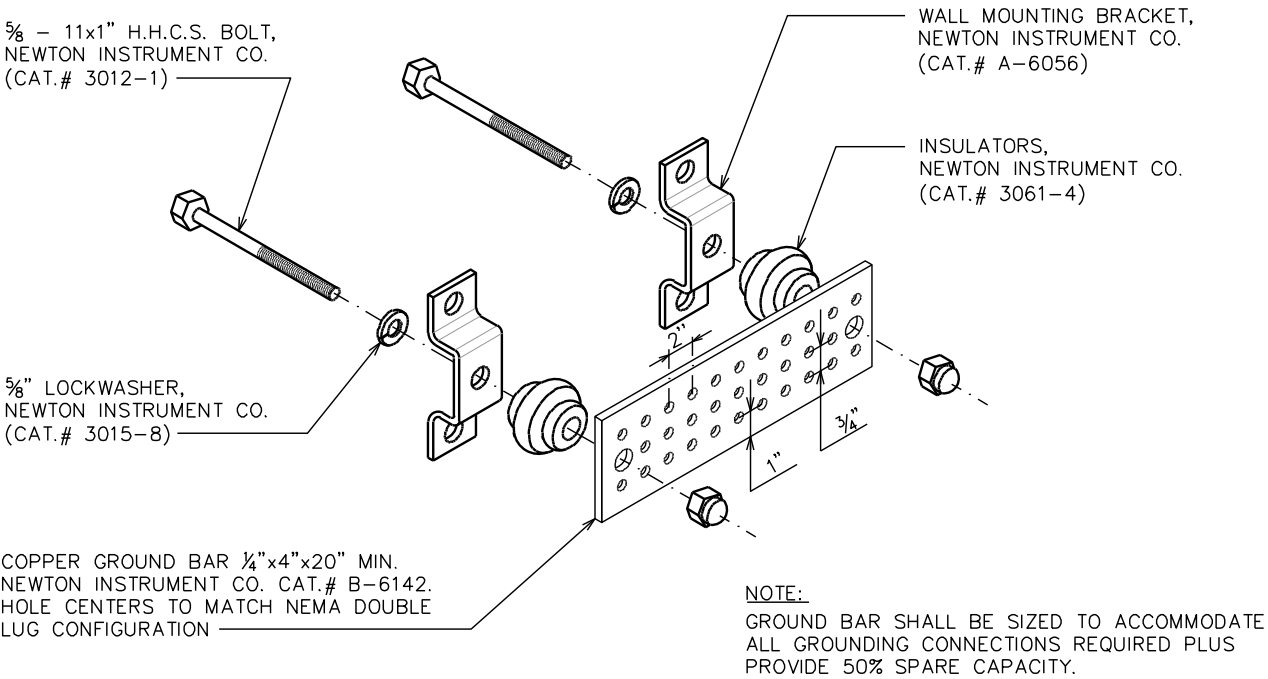
TOP VIEW



SIDE VIEW

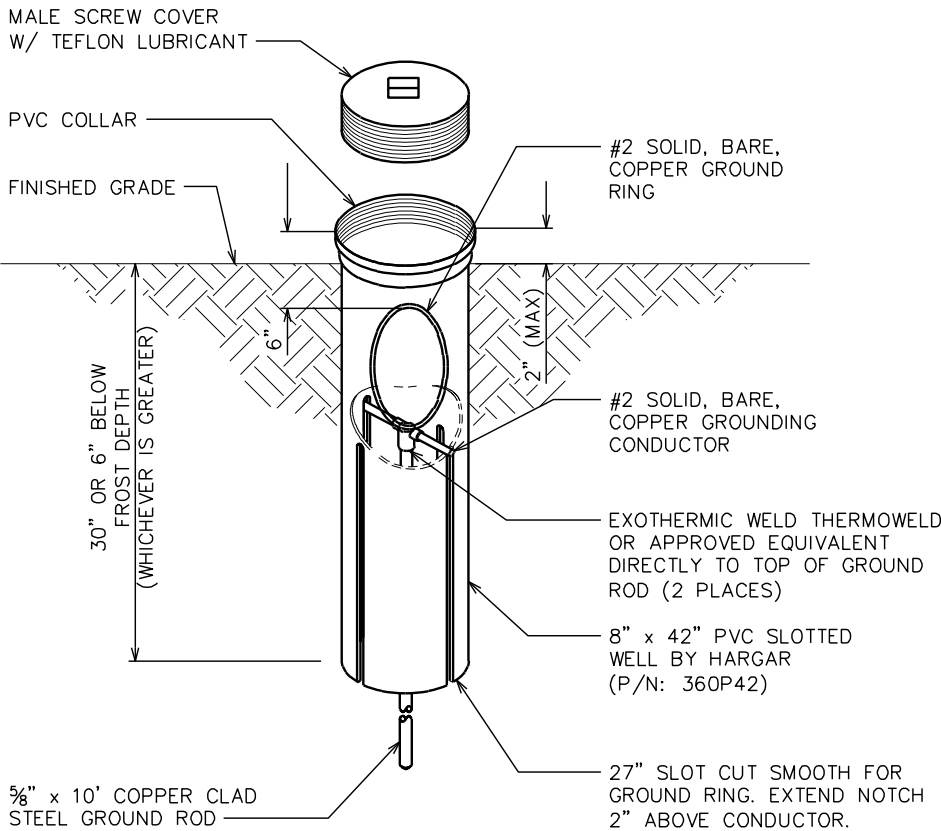
CADWELD GROUNDING DETAIL

SCALE: N.T.S.



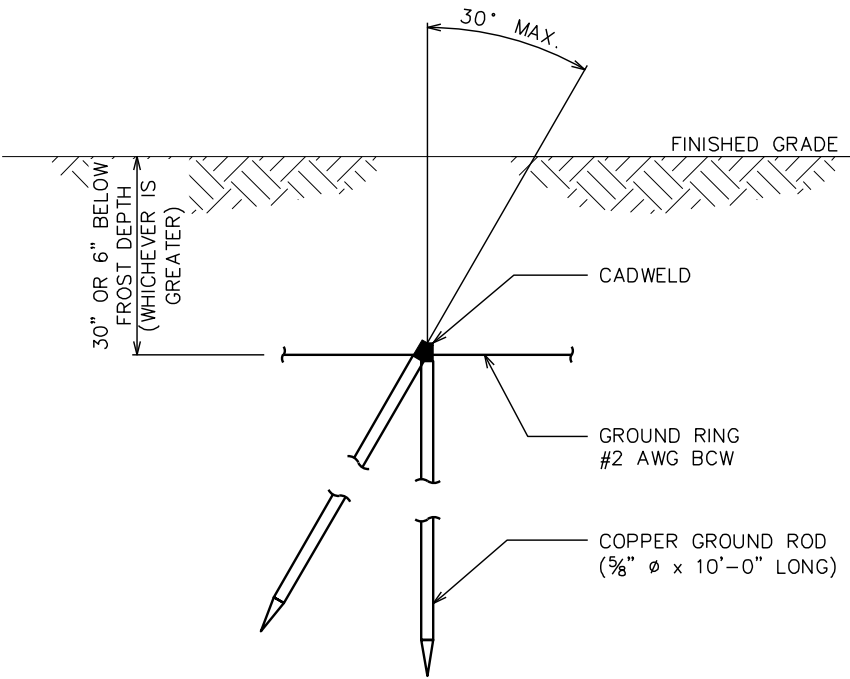
STANDARD GROUND BAR DETAIL

SCALE: N.T.S.



GROUND ROD WITH INSPECTION WELL

SCALE: N.T.S.



COPPER-CLAD STEEL GROUND ROD

SCALE: N.T.S.

PLANS PREPARED FOR:

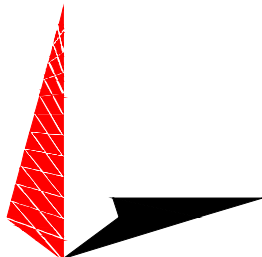


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CHICAGO, IL 60631

PROJECT INFORMATION:

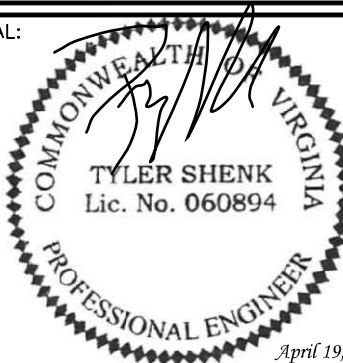
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



TOWER ENGINEERING PROFESSIONALS
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



5	04-19-23	CONSTRUCTION
4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**GROUNDING
DETAILS II**

SHEET NUMBER:

E-7

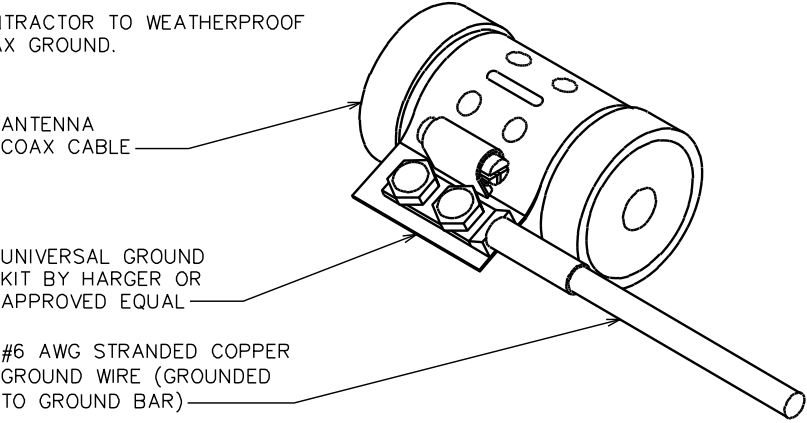
REVISION:

5

TEP#: 311384

NOTES:

- 1. DO NOT INSTALL COAX GROUND KIT AT A BEND.
- 2. CONTRACTOR TO WEATHERPROOF COAX GROUND.

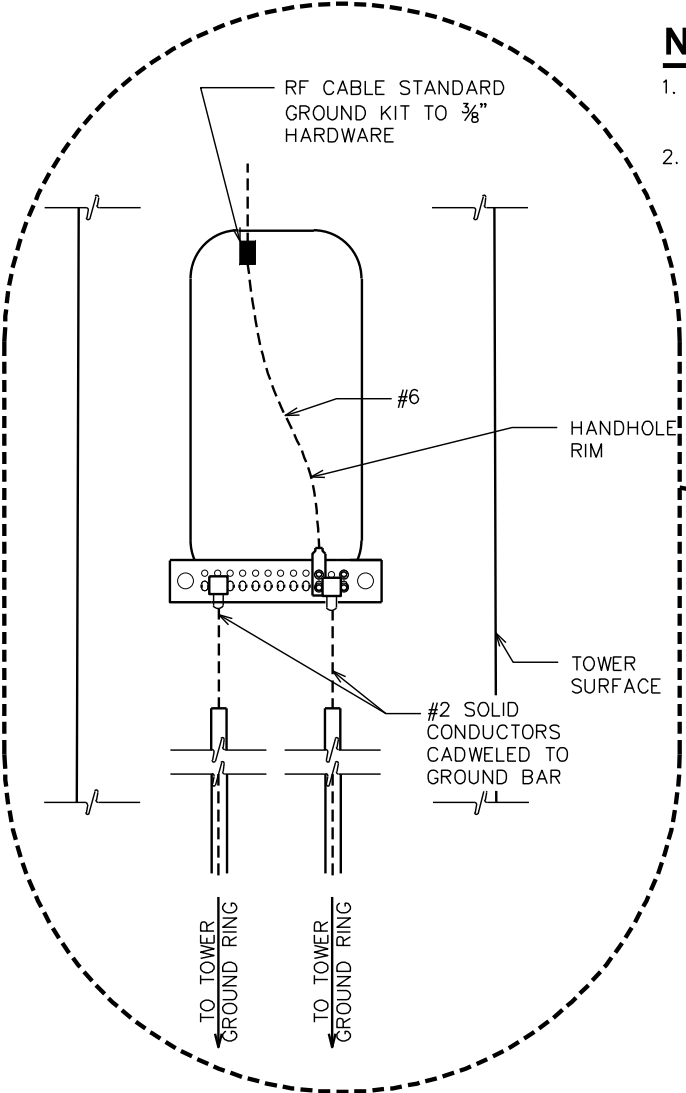


CABLE GROUNDING DETAIL

SCALE: N.T.S.

NOTES:

- 1. MINIMUM BEND RADIUS OF #2 SOLID CONDUCTOR IS 12"
- 2. ALL GROUND BARS SHALL BE INSTALLED WITH TAMPER RESISTANT MOUNTING HARDWARE.



RF CABLE STANDARD GROUND KIT

CIGBE GROUND BAR

#2 SOLID CONDUCTOR

STANDARD GROUND BAR. SEE DETAIL ON SHEET E-7.

RF CABLE STANDARD GROUND KIT TO 3/8" HARDWARE

STANDARD GROUND BAR, SEE DETAIL ON SHEET E-7. ATTACHED TO ANTENNA MOUNT OR EXTRA STEP PEG GUSSETS. BOND TO COAX ENTRY PORT.

ICE BRIDGE

ALL EXOTHERMIC WELDS ON SUPPORT/FENCE POSTS SHALL BE ABOVE GRADE FOR INSPECTION (TYP)

WEATHERPROOFING SEALANT TO BE APPLIED AT TOP OF PVC (TYP)

3/4" PVC MIN. 24" INTO GROUND AND EXTENDED ALL THE WAY UP TO THE EXOTHERMIC CONNECTION (TYP)

GROUND RING

COAX/WAVEGUIDE

#2 SOLID CONDUCTOR CLAMPED TO TOWER ENTRY PORT

SPLICE

GROUNDING JUMPER (TYP)

ICE BRIDGE, COAX, STANCHION, AND TOWER GROUNDING DETAIL

SCALE: N.T.S.

PLANS PREPARED FOR:

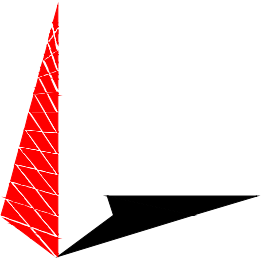


8410 W. BRYN MAWR
CHICAGO, IL 60631

PROJECT INFORMATION:

FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



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REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

**GROUNDING
DETAILS III**

SHEET NUMBER:

E-8

REVISION:

5

TEP#: 311384

GENERAL NOTES:

1. ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED U.S. CELLULAR OR ITS DESIGNATED REPRESENTATIVE.
2. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF VIRGINIA.
3. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA/EIA-222-H, AND CONFORMS TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION WITH VIRGINIA AMENDMENTS.
4. WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2018 EDITION WITH VIRGINIA AMENDMENTS.
5. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
6. ALL HARDWARE ASSEMBLY MANUFACTURER’S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERSEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
7. IT IS THE CONTRACTOR’S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
8. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER’S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
9. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
11. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
12. BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
13. ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
14. 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
15. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROOFROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REWORKED OR REPLACED.
16. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
17. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
18. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DESCREPACEIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.

STRUCTURAL STEEL NOTES:

1. THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
2. UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A. STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992-GR50.

B. ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.

C. ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.

D. ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
3. ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATIONS AND MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
4. HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.
5. HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.
6. REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTED MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF ANY EXCESS.
7. A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
8. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
9. ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
10. ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
11. FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
12. DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SNAP OFF.
13. PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
14. GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
15. WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE - STEEL.

PLANS PREPARED FOR:

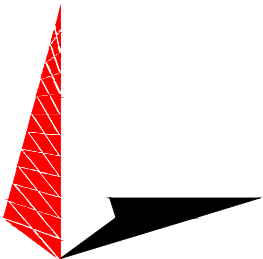


8410 W. BRYN MAWR
CHICAGO, IL 60631

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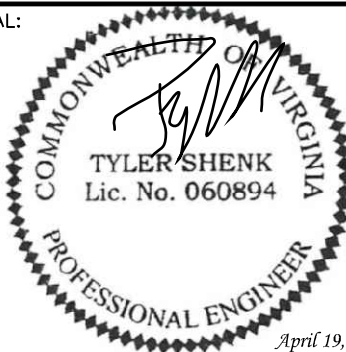
FRANCISCO ROAD
SITE #: 466376
(E911 ADDRESS TBD)
HOLLAND ROAD
FARMVILLE, VA 23901
(BUCKINGHAM COUNTY)

PLANS PREPARED BY:



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www.tepgroup.net

SEAL:



April 19, 2023

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4	03-29-23	CONSTRUCTION
3	03-16-23	CONSTRUCTION
2	09-21-22	CONSTRUCTION
REV	DATE	ISSUED FOR:

DRAWN BY: THD CHECKED BY: ANG

SHEET TITLE:

PROJECT
NOTES

SHEET NUMBER:

N-1

REVISION:

5

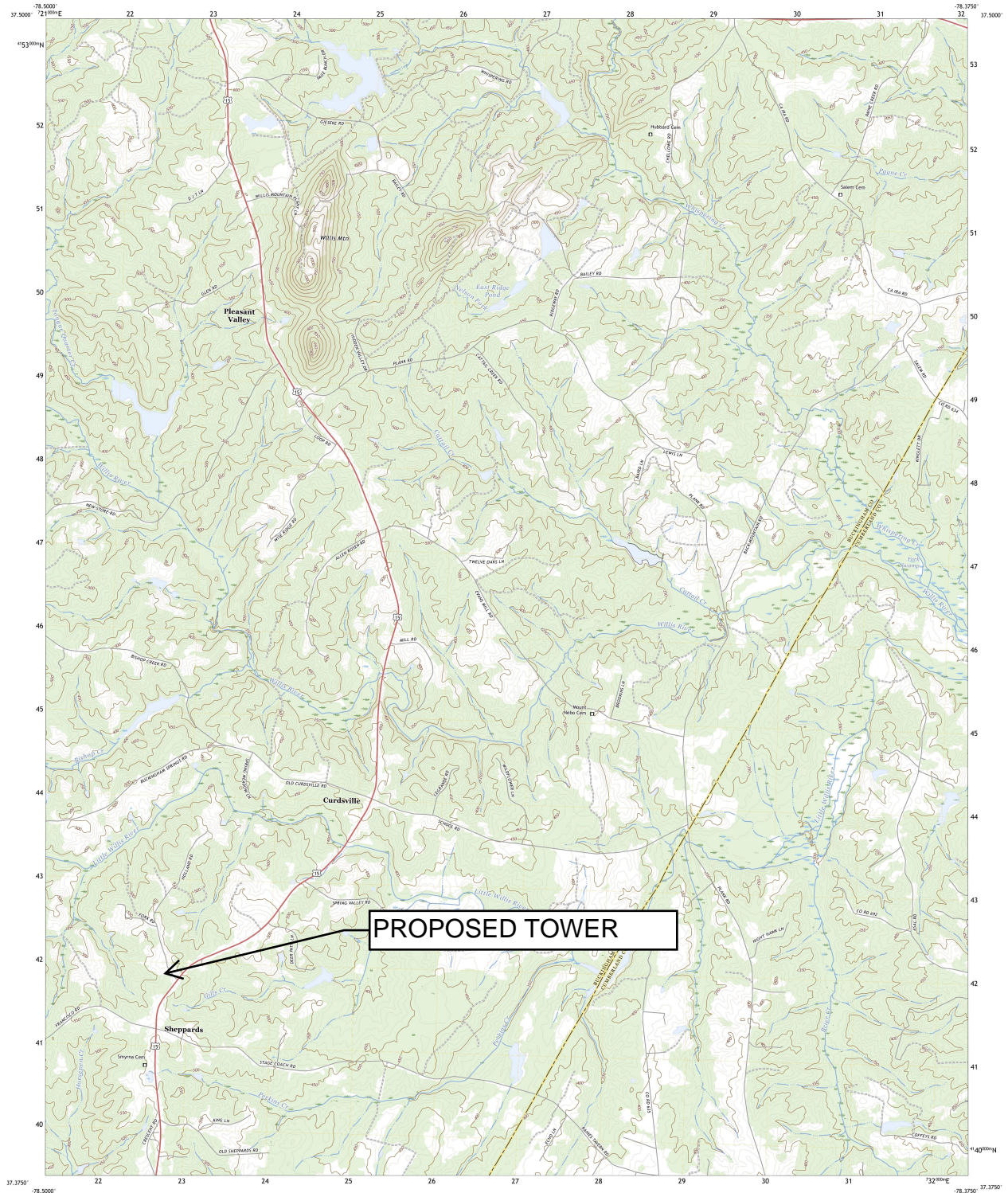
TEP#: 311384



U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY

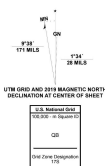


WILLIS MOUNTAIN QUADRANGLE
VIRGINIA
7.5-MINUTE SERIES



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84) Projection and
1000-meter grid. Minimum contour interval, 100 feet.
This map is not a legal document. Boundaries may be
generalized for the map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery: NAD83, August 2018 - August 2018
Base: U.S. Census Bureau, 2014
Hydrography: National Hydrography Dataset, 2018
Contours: National Elevation Dataset, 2018
Boundaries: Multiple sources, see metadata file 2018 - 2021
Wetlands: FWS National Wetlands Inventory 1984 - 1984

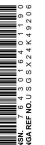


SCALE 1:24,000
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1000 500 0 500 1000 2000
1000 0 1000 2000 3000 4000 5000 6000 7000 8000 9000 10000
FEET
CONTOUR INTERVAL 10 FEET
NORTH AMERICAN VERTICAL DATUM OF 1988
This map was produced to conform with the
National Geographic Program US Topo Product Standard.



ROAD CLASSIFICATION
Expressway
Secondary Hwy
Ramp
Interstate Route
Local Connector
Local Road
WFO
US Route
State Route

WILLIS MOUNTAIN, VA
2022





3700 Magnolia Road
Gordonsville, VA 22942

Site Acquisition
Construction Management

5/12/2023

Ms. Edmondston,

Per CityScape's final approval note, we wanted to address the conditions in which they have listed in their approval. Please find responses below in red.

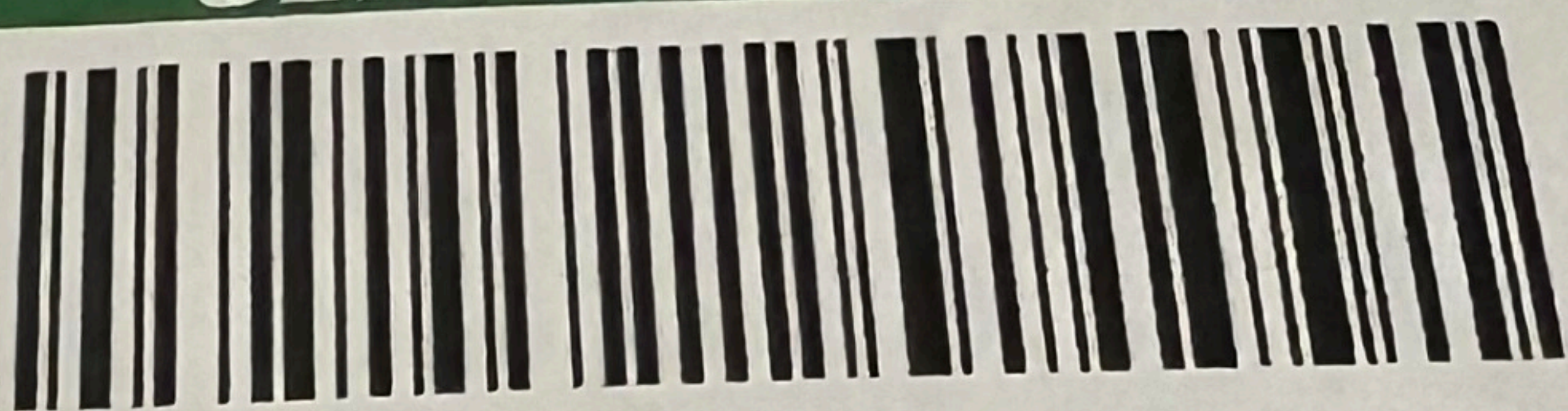
1. Prior to issuance of building permits, the Applicant shall submit satisfactory SHPO and NEPA documentation; and, (Please reference provided documentation from environmental firm covering SHPO and NEPA findings)
2. Prior to permitting, the Applicant shall submit an engineering report, signed by a Professional Engineer licensed in the Commonwealth of Virginia, certifying that the tower will have the structural capacity for the purposed US Cellular equipment and similar installations of five other wireless providers; and, (Please see Construction Drawings Page C-3)
3. Prior to permitting, the Applicant shall submit a signed letter stating that the tower will be designed with breakpoint technology to have a fall radius of 40 feet or less; and, (Please see Fall Zone Letter by Sabre Industries)
4. The Applicant shall submit final construction drawings for the facility which shall be certified by a Virginia Professional Engineer and include breakpoint technology in its tower design; and, (Please see Construction Drawings (Page C-3 Notes) Tower is designed using breakpoint technology of 40')
5. At the County's discretion, if concealment is not an option, the tower, antennas and all other ancillary equipment mounted on the tower shall be painted a color deemed the least visually obtrusive; and, (Please see Construction Drawings (Page C-3 Notes) Tower is purposed to be of a galvanized finish per the Buckingham County Zoning Ordinance and if deemed necessary by FAA will be painted per applicable standards if necessary)
6. All vertical feed lines shall be installed within the monopole shaft and all access ports shall be sealed to prevent wildlife access. (Please see Construction Drawings (Page C-3 Notes) Purposed cables to be run on inside of monopole)

Thank You!

Emilee Lauer
540-580-5139
emilee@odps-inc.com

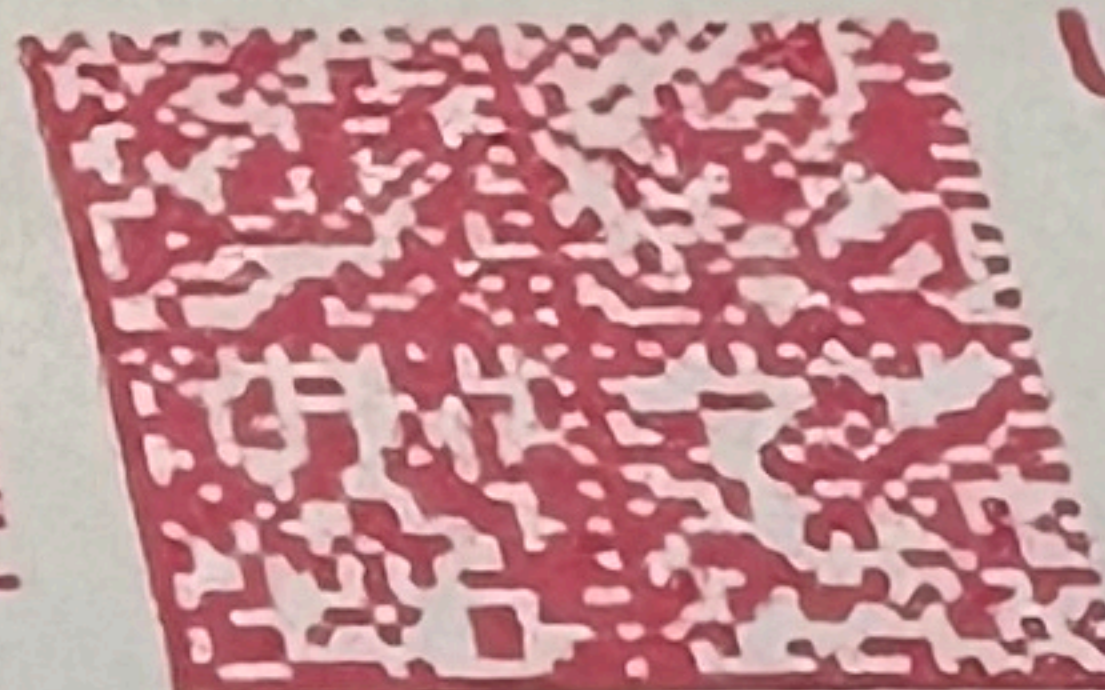
0 Magnolia Road
onsville, VA 22942

CERTIFIED MAIL

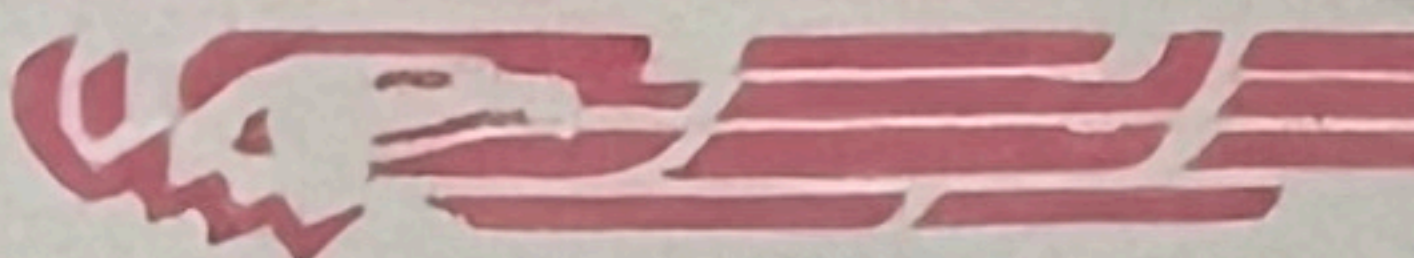


7021 1970 0001 9308 4688

FIRST-CLASS



US POSTAGE



ZIP 24070

02 7H

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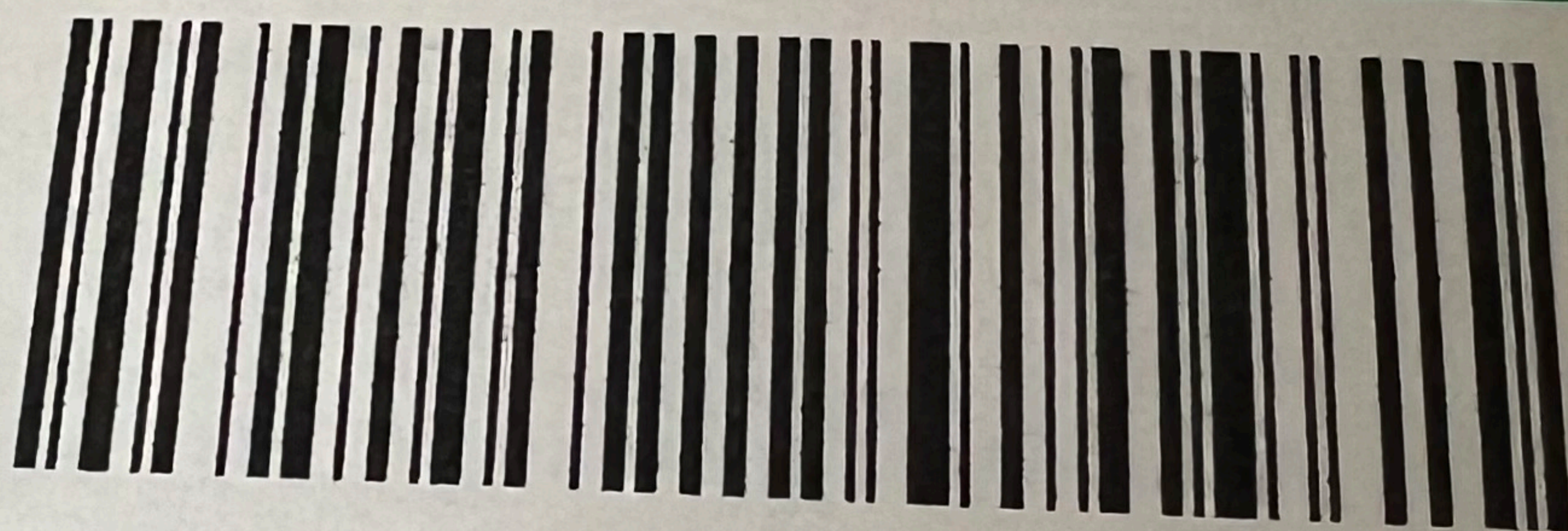
\$ 00

AP

Dish Wireless
Attn: Lorna Kennedy
10571 Telegraph Rd
Suite 210

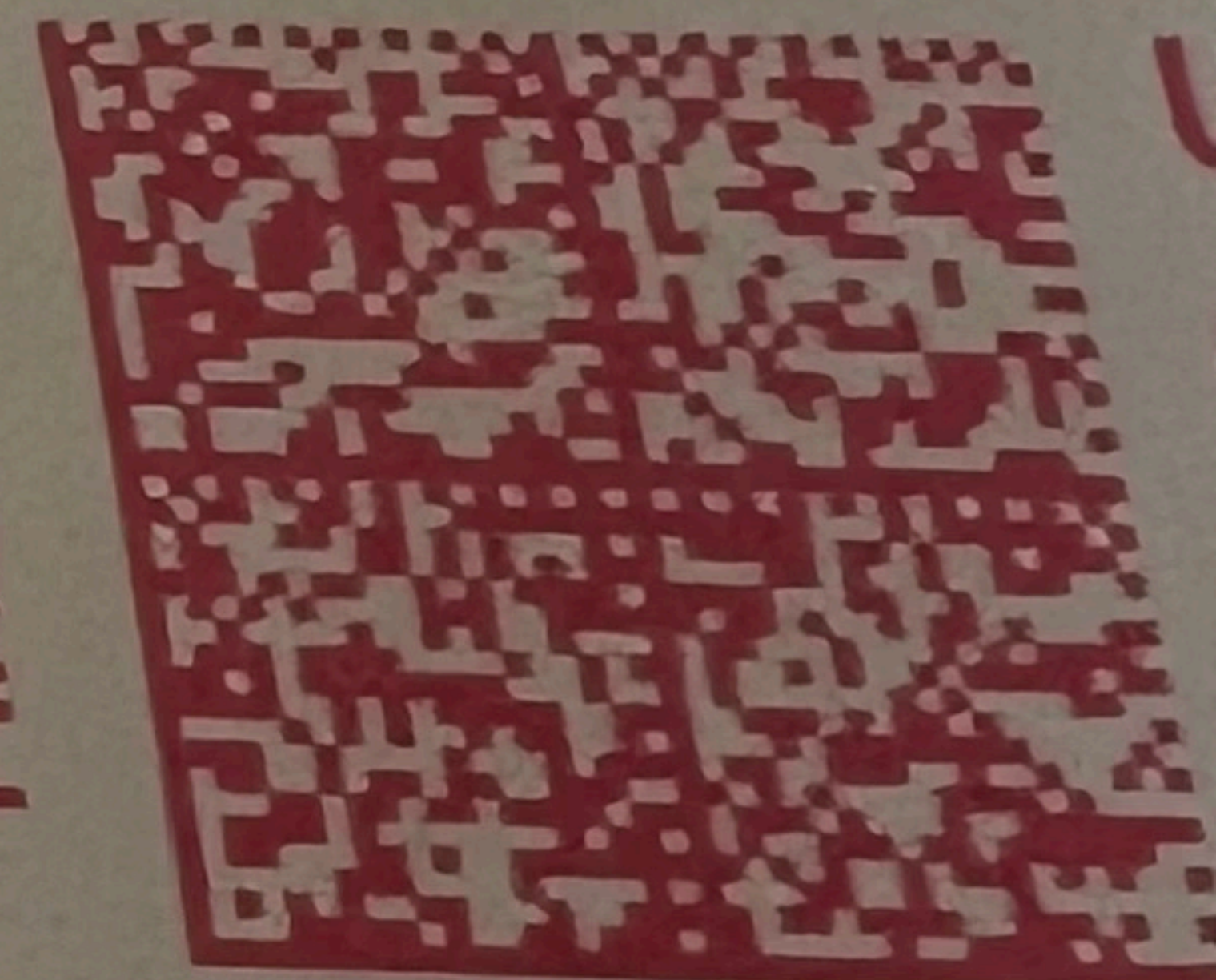
Glen Allen, VA 23059

CERTIFIED MAIL



7021 1970 0001 9308 4695

FIRST-CLASS



ia Road
VA 22942

TMobile Regulatory Team
601 Pennsylvania Ave NW
North Building, Suite 800
Washington DC, 20004

35 Building Permits were issued in the amount of \$8238.55 for the month of April 2023

Permit No.	District	Name	Purpose	Cost of Construction	Cost of Permit
19419	Curdsville	LeAnne Hill	Farm Building Exempt	\$13,000.00	\$10.00
19429	Francisco	Lois Gager	Electrical	\$2,424.00	\$51.00
19435	Slate River	Moore Construction	Residential Remodel	\$7,000.00	\$51.00
19436	Maysville	Matthew Woodford	Mechanical	\$200.00	\$51.00
19437	Slate River	Carl Powell	Detached Garage	\$40,000.00	\$380.26
19348	Francisco	Darwins Construction LLC	Detached Garage	\$15,747.00	\$144.64
19440	Slate River	CMH Homes Oakwood	Mobile Home Doublewide	\$170,000.00	\$356.96
19441	James River	Amanda Johnson	Residential Addition	\$7,000.00	\$77.32
19442	Slate River	Rock River Inc	New Dwelling Stickbuilt	\$220,534.00	\$430.80
19443	Slate River	Rock River Inc	New Dwelling Stickbuilt	\$218,000.00	\$384.03
19444	James River	Scott Aumiller	New Dwelling Stickbuilt	\$810,000.00	\$1,317.11
19445	Marshall	Cathy Jones	Mechanical	\$200.00	\$51.00
19446	Curdsville	Mary Bates	Mobile Home Doublewide	\$0.00	\$392.21
19447	Curdsville	Richardson Jr LLC	Farm Building Exempt	\$6,000.00	\$10.00
19448	Maysville	Charles Love	Inground Pool	\$65,000.00	\$162.02
19449	Maysville	Nick Fraykor	Electrical	\$1,000.00	\$51.00
19450	James River	Jessica and Matthew Nicholas	New Dwelling Stickbuilt	\$80,000.00	\$88.35
19451	Town of Dillwyn	John Tindall	Residential Addition	\$52,000.00	\$112.60
19452	Maysville	Donald Neece	Generator	\$1,800.00	\$51.00
19453	Slate River	Travis Rose	Mobile Home Singlewide	\$0.00	\$285.27
19454	James River	Thomas Oxenham	New Dwelling Stickbuilt	\$20,000.00	\$172.31
19455	Francisco	Parker Oil	Mechanical	\$400.00	\$51.00
19456	Francisco	Kevin Minor	Farm Building Exempt	\$9,800.00	\$10.00
19457	Maysville	Robin Perkins	Mobile Home Singlewide	\$17,000.00	\$236.78
19458	Maysville	Stephen Smith	Electrical	\$1,500.00	\$51.00
19459	James River	Greene Environmental	Underground Storage Tank	\$5,000.00	\$51.00
19460	Slate River	Michael and Sons	Electrical	\$1,570.64	\$51.00
19461	Slate River	Interstate Sign Company	Commercial Addition	\$0.00	\$51.00
19462	Slate River	Rock River Inc	New Dwelling Stickbuilt	\$301,900.00	\$665.40
19463	Slate River	Rock River Inc	New Dwelling Stickbuilt	\$258,066.36	\$426.28
19464	Slate River	Rock River Inc	New Dwelling Stickbuilt	\$229,164.33	\$343.39
19465	Marshall	Unlimited Builders	Residential Addition	\$8,000.00	\$78.66
19466	Francisco	Piney Ridge	Detached Garage	\$235,000.00	\$284.89
19468	Slate River	Jonathan Yoder	New Dwelling Stickbuilt	\$760,000.00	\$1,257.27
19472	James River	Wayne Wunder	Electrical		\$51.00
Cost of permit is calculated based on square footage of structure				\$3,557,306.33	\$8,238.55