CITY OF ANAMOSA

CITY COUNCIL AGENDA – REGULAR SESSION

MONDAY, JULY 26, 2021 – 6:00 P.M.
ANAMOSA LIBRARY & LEARNING CENTER (VIA ZOOM)
600 EAST 1ST STREET, ANAMOSA, IA 52205

Zoom Meeting Link	Join by Telephone
https://us02web.zoom.us/j/84847587911	+1 312 626 6799
Meeting ID: 848 4758 7911	Meeting ID: 848 4758 7911
Passcode: Anamosa	Passcode 1944393

If you wish to address the City Council, please use the "raise your hand" feature or comment indicating such. Once the Mayor has opened the issue for public comment, you will be called on and your microphone will be turned on. Before speaking, please state your name and address. Each speaker is limited to five (5) minutes per agenda item and is expected to refrain from the use of profane, obscene, or slanderous language.

1.0) ROLL CALL

2.0) PLEDGE OF ALLEGIANCE

3.0) APPROVAL OF AGENDA

4.0) MOTION TO APPROVE THE MINUTES FROM THE FOLLOWING MEETINGS:

4.1) July 12, 2021 – Regular City Council Meeting

5.0) PUBLIC HEARINGS:

5.1) PUBLIC HEARING ON PROPOSED AMENDMENT TO THE ANAMOSA CORRIDOR URBAN RENEWAL AREA

1. MAYOR OPENS PUBLIC HEARING
2. PROCEEDINGS
3. MOTION TO CLOSE PUBLIC HEARING

5.2) **RESOLUTION** TO DECLARE NECESSITY AND ESTABLISH AN URBAN RENEWAL AREA, PURSUANT TO SECTION 403.4 OF THE CODE OF IOWA AND TO APPROVE AN URBAN RENEWAL PLAN AMENDMENT FOR THE ANAMOSA CORRIDOR URBAN RENEWAL AREA. **ROLL VOTE.**

5.3) **FIRST READING** OF ORDINANCE PROVIDING FOR THE DIVISION OF TAXES LEVIED ON TAXABLE PROPERTY IN THE JULY, 2021 ADDITION TO THE ANAMOSA CORRIDOR URBAN RENEWAL AREA, PURSUANT TO SECTION 403.19 OF THE CODE OF IOWA. **ROLL VOTE.**

1. POSSIBLE MOTION TO WAIVE STATUTORY RULE FOR SECOND READING OF ODRINANCE
2. POSSIBLE MOTION TO GIVE FINAL CONSIDERATION AND ADOPTION OF ORDINANCE

6.0) PROCLOMATIONS: NONE

7.0) OLD BUSINESS:

7.1) **DOWNTOWN FAÇADE PROJECT** UPDATE. **(**Derek Lumsden**)**

7.2) **DISCUSSION** AND POSSIBLE ACTION ON CHANGE ORDERS FOR THE DOWNTOWN FAÇADE PROJECT **(**Derek Lumsden**)**

7.3) **DISCUSSION** AND POSSIBLE ACTION ON VIRTUAL MEETING PARTICIPATION

7.4) **PROJECT** STATUS UPDATE FROM SNYDER AND ASSOCIATES (Lindsay Beaman, Tim Wallace)

7.5) **PROJECT** STATUS UPDATE FROM HR GREEN (Andrew Marsh, Josh Scanlon)

8.0) NEW BUSINESS

8.1) **REVIEW** AND APPROVAL OF PLANS AND SPECS FOR THE SYCAMORE STREET PROJECT AND PLACE THESE DOCUMENTS ON FILE.

8.2) **RESOLUTION** SETTING PUBLIC HEARING ON PROPOSED PLANS AND SPECIFICATIONS, PROPOSED FORM OF CONTRACT AND ESTIMATE OF COSTS FOR THE ANAMOSA SYCAMORE STREET PROJECT FOR AUGUST 23, 2021 AT 6:00 PM AT THE ANAMOSA LIBRARY AND LEARNING CENTER. **ROLL VOTE.**

8.3) **DISCUSSION** AND POSSIBLE ACTION ON APPOINTMENT OF DAN FRANK AS ANAMOSA FIRE CHIEF AS RECOMMENDED BY THE ANAMOSA FIRE FIGHTERS ASSOCIATION.

8.4) **DISCUSSION** AND POSSIBLE ACTION ON APPOINTMENT OF CHRIS MINER ASSISTANT FIRE CHIEF AS RECOMMENDED BY THE ANAMOSA FIRE FIGHTERS ASSOCIATION.

8.5) **REVIEW** AND APPROVAL OF CHANGE ORDER FOR COLOR OF THE EXTERIOR OF THE FIRE STATION ADDITION AND CURRENT BUILDING. (Anamosa Fire Department)

8.6) **DISCUSSION** AND POSSIBLE ACTION FOR LEAVING THE PARKLET INFRONT OF TYLER AND DOWNING IN PLACE FROM JULY 28-30.

8.7) **RESOLUTION** SETTING CORRECTED SALARIES FOR FISCAL YEAR 2021-22 FOR APPOINTED OFFICERS AND EMPLOYEES OF THE CITY OF ANAMOSA, IOWA; **ROLL VOTE**.

8.8) **RESOLUTION** APPROVING THE HIRING AND SETTING SALARIES OF SEASONAL PART TIME EMPLOYEES FOR THE PARKS AND RECREATION DEPARTMENT FOR THE 2021 SUMMER SEASON. **ROLL VOTE.**

8.9) **RESOLUTION** SETTING DATE FOR PUBLIC HEARING ON THE APPLICATION FOR COMMUNITY DEVELOPMENT BLOCK GRANT FUNDS FOR HOUSING REHABILITATION FOR AUGUST 9, 2021 AT 6PM AT THE ANAMOSA LIBRARY AND LEARNING CENTER**. ROLL VOTE.**

8.10) **RESOLUTION** HIRING AND SETTING SALARY FOR WASTEWATER TRAINEES. **ROLL VOTE**.

8.11) **DISCUSSION** AND POSSIBLE ACTION ON THE APPOINTMENT OF JEFF WILKEN TO THE PLANNING AND ZONING COMMISSION.

8.12) **SECOND READING** OF AN ORDINANCE AMENDING SECTION 95.06 OF THE CODE OF ORDINANCES OF THE CITY OF ANAMOSA, IOWA, AND ADDING SECTION 90.10(3) TO REQUIRE ANNEXATION AS A CONDITION FOR CONNECTION TO THE CITY'S SANITARY SEWER SERVICE AND WATERWORKS SYSTEMS**. ROLL VOTE.**

1. POSSIBLE MOTION TO GIVE FINAL CONSIDERATION AND ADOPTION OF ORDINANCE

8.13) **RESOLUTION** APPROVING A SETTLEMENT AND RELEASE AGREEMENT FOR PROPERTY AT 201 W WALNUT STREET, ANAMOSA, IOWA**. ROLL VOTE.**

8.14) **REVIEW** AND APPROVAL OF AN EXTENDED OUTDOOR SERVICE AREA REQUEST FOR THE ANAMOSA BOWLING CENTER LIQUOR LICENSE ON JULY 29, 2021 FOR RAGBRAI EVENT.

8.15) **REVIEW** AND APPROVAL OF PREMISE UPDATE FOR LIQUOR LICENCE FOR GIGGLE JUICE LIQUOR STATION, LLC

8.16) **REVIEW** AND APPROVAL OF LIQUOR LICENSE RENEWAL FOR DOLLAR GENERAL STORE #3685

8.17) **REVIEW** AND APPROVAL OF CURRENT BILLS

9.0) CITY ADMINISTRATOR'S REPORT:

10.0) MAYOR AND COUNCIL REPORTS:

10.1) MAYOR'S REPORT

10.2) COUNCIL REPORTS

11.0) PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

12.0) ADJOURNMENT

STATEMENT OF COUNCIL PROCEEDINGS
July 12, 2021

The City Council of the City of Anamosa met in Regular Session July 12, 2021 at the Anamosa Library and Learning Center and via Zoom at 6:00 p.m. with Mayor Rod Smith presiding. The following Council Members were present: John Machart, Rich Crump, Jeff Stout, Kay Smith, Alan Zumbach, and Galen Capron. Absent: none. Also present were Beth Brincks, City Administrator/Clerk; Rebecca Vernon, Library Director and Jeremiah Hoyt, Police Chief. Iowa Code Chapter 21, as interpreted, permits public meetings to be held electronically.

Mayor Rod Smith called the meeting to order at 6:00 p.m. Roll call was taken with a quorum present.

Pledge of Allegiance.

Director Vernon gave some brief instructions on use of Zoom and how to participate in the meeting.

Motion by Stout, second by Machart to approve the agenda. Ayes: all. Nays: none. Motion carried.

Motion by Smith, second by Zumbach to approve the minutes of the June 28, 2021 Regular City Council meeting. Ayes: all. Nays: none. Motion carried.

Dusty Embree gave an update on the RAGBRAI planning. Maps will be out soon. They are still in need of volunteers. Alcohol Licensing was discussed.

Motion by Smith, second by Crump to approve the plans and specs for the Well #6 Project and to place these documents on file. Residents in the area will be notified of the construction. Driveway paving options were discussed. Ayes: all. Nays: none. Motion carried.

Motion by Crump, second by Stout to approve Resolution 2021-38 setting a public hearing date of August 23, 2021 at 6:00 pm at the Anamosa Library and Learning Center and via Zoom on proposed plans and specifications, proposed form of contract and estimate of costs for the Anamosa well #6 project and the taking of bids for such work. Roll vote. Ayes: Capron, Stout, Crump, Smith, Machart, and Zumbach. Nays: none. Motion carried.

Motion by Crump, second by Capron to table the request for an extended outdoor service area for The Anamosa Bowling Center on July 29, 2021 for RAGBRAI. Ayes: all. Nays: none. Motion carried.

Motion by Crump, second by Zumbach to approve Resolution 2021-39 hiring and setting salaries of seasonal part time employees for the Parks and Recreation Department for the 2021 Summer Season. Roll vote. Ayes: Crump, Smith, Capron, Stout, Zumbach, and Machart. Nays: none. Motion carried.

Motion by Crump, second by Smith approving Resolution 2021-40 setting the date of July 26, 2021 at 6:00 pm for Public Hearing on the application for Community Development Block Grant Funds for Housing Rehabilitation. Roll vote. Ayes: Capron, Stout, Crump, Smith, Machart, and Zumbach. Nays: none. Motion carried.

Motion by Crump, second by Machart to approve Resolution 2021-41 setting the salary for the Utility Billing Clerk at $15.50 per hour. Roll vote. Ayes: Crump, Capron, Smith, Stout, Zumbach, and Machart. Nays: none. Motion carried.

Motion by Capron, second by Crump to approve the first reading of an Ordinance section 95.06 of the code of ordinances of the city of Anamosa, Iowa, and adding Section 90.10(3) to require annexation as a condition for connection to the City's Sanitary Sewer Service and Waterworks Systems. Roll vote. Ayes: Capron, Smith, Stout, Crump, Machart, and Zumbach. Nays: none. Motion carried.

Motion by Crump, second by Zumbach to approve a new Liquor License for Las Brasas Restaurant. Ayes: all. Nays: none. Motion carried.

Motion by Crump, to approve the current bills, second by Machart. Ayes: all. Nays: none. Motion carried.

City Administrators Report: Brincks stated that the Iowa League of Cities Conference registration is open. She will be in attendance. It is being held in Coralville this year. She will be in Ames on Monday for a Clerk training and the Deputy Clerk will be attending from Tuesday to Thursday. A few snags in the accounting system launch but they are being worked through.

Mayor and Council Reports: Smith reported that the Library Board met and they have trustee positions open. The Friends of the Library are looking to install some statuary at the Library. Capron attended the Solid Waste Commissions meeting and reported that they are in the process of hiring a new director. The position was offered to a candidate but they had not accepted yet.

There were no Public comments for items not on the agenda.

Motion by Machart, second by Stout to adjourn. Ayes: all. Nays: none. Motion Carried. Meeting adjourned at 6:56 pm.

_____
Rod Smith, Mayor

ATTEST:

_____
Beth Brincks, City Clerk

NOTICE OF PUBLIC HEARING ON DESIGNATION OF EXPANDED ANAMOSA CORRIDOR URBAN RENEWAL AREA AND ON PROPOSED URBAN RENEWAL PLAN AMENDMENT

Notice Is Hereby Given: That at 6 o'clock p.m., at the Anamosa Library and Learning Center, Anamosa, Iowa, on July 26, 2021, the City Council of the City of Anamosa will hold a public hearing on the question of amending the urban renewal plan (the "Plan") for the Anamosa Corridor Urban Renewal Area and designating an expanded Anamosa Corridor Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403, Code of Iowa, by adding and including all the property (the "Property") described as follows:

> That part of the N ½ NW ¼ of Section 12, Township 84 North, Range 4 West of the 5th P.M., in the City of Anamosa, Iowa, described as follows: Commencing at the Northwest corner of said Section 12; thence East 157.35 feet along the North line of said N ½ NW ¼ to a point of intersection with the East right-of-way line of U.S. Highway No. 151; thence South 1°42' West, 794.20 feet along the East right-of-way line of said U.S. Highway No. 151 to a point; thence South 27°11' East 189.20 feet to a point of intersection with the Northerly right of way line of U.S. Highway No. 64; thence Easterly 360 feet along the Northerly right of way line of said U.S. Highway No. 64 to a point; thence North 21°20' East 417.4 feet to point of beginning of tract herein described; thence South 68°40' East 598.71 feet to a point; thence South 70°12' East 243.00 feet to a point; thence South 88°27'30" East 390.00 feet to a point of intersection with the West line of the E ¼ NW ¼ of said Section 12; thence North 1°32'30" East 826.33 feet along the West line of the E ¼ NW ¼ of said Section 12 to a point; thence North 88°18' West 1182.59 feet to a point; thence South 1°42' West 550.74 feet to the point of beginning, subject to easements, covenants, conditions and restrictions of record.

The proposed amendment to the Plan brings the Property described above under the Plan and makes it subject to the provisions of the Plan. The amendment (i) covers the addition of the Property to the Urban Renewal Area; and (ii) authorizes the undertaking of a new urban renewal project in the Urban Renewal Area consisting of providing tax increment financing support to By Design, LLC in connection with the renovation and expansion of the existing facilities located at 103 Chamber Drive in the Urban Renewal Area for leasing to Metal Design Systems, Inc. ("MDSI") for use in the manufacturing business operations of MDSI.

Due to federal and state government recommendations in response to COVID-19 pandemic conditions, the meeting can alternatively be accessed via Zoom, which will be accessible at the following:

Zoom Meeting Link	Join by Telephone
https://us02web.zoom.us/j/84847587911	+1 312 626 6799
Meeting ID: 848 4758 7911	Meeting ID: 848 4758 7911
Passcode: Anamosa	Passcode 1944393

Written comments may be filed or made prior to the meeting and will be recorded in the minutes.

At said hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matters of the hearing.

Beth Brincks
City Clerk

RESOLUTION NO. 2021-

Resolution to Declare Necessity and Establish an Urban Renewal Area, Pursuant to Section 403.4 of the Code of Iowa and to Approve an Urban Renewal Plan Amendment for the Anamosa Corridor Urban Renewal Area

WHEREAS, as a preliminary step to exercising the authority conferred upon Iowa cities by Chapter 403 of the Code of Iowa (the "Urban Renewal Law"), a municipality must adopt a resolution finding that one or more slums, blighted or economic development areas exist in the municipality and that the development of such area or areas is necessary in the interest of the public health, safety or welfare of the residents of the municipality; and

WHEREAS, the City Council (the "Council") of the City of Anamosa, Iowa (the "City") has previously created the Anamosa Corridor Urban Renewal Area (the "Urban Renewal Area") and adopted an urban renewal plan (the "Plan") for the governance of projects and initiatives therein; and

WHEREAS, a proposal has been made which shows the desirability of expanding the Urban Renewal Area to add and include all the property (the "Property") lying within the legal description set out in Exhibit A hereto; and

WHEREAS, the proposal demonstrates that sufficient need exists to warrant finding the Property to be an economic development area; and

WHEREAS, an amendment (the "Amendment") to the Plan has been prepared which (1) covers the addition of the Property to the Urban Renewal Area; and (2) facilitates the undertaking of a new urban renewal project in the Urban Renewal Area consisting of providing tax increment financing support to By Design, LLC in connection with the renovation and expansion of the existing facilities located at 103 Chamber Drive in the Urban Renewal Area for leasing to Metal Design Systems, Inc. ("MDSI") for use in the manufacturing business operations of MDSI; and

WHEREAS, notice of a public hearing by the City Council of the City on the question of establishing the Property as an urban renewal area and on the proposed Amendment for the Urban Renewal Area was heretofore given in strict compliance with the provisions of Chapter 403 of the Code of Iowa, and the Council has conducted said hearing on July 26, 2021; and

WHEREAS, the Planning and Zoning Commission of the City has reviewed and commented on the proposed Amendment; and

WHEREAS, copies of the urban renewal plan amendment, notice of public hearing and notice of a consultation meeting with respect to the Amendment were mailed to Jones County and the Anamosa Community School District; the consultation meeting was held on the 15th day of July, 2021; and responses to any comments or recommendations received following the consultation meeting were made as required by law;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Anamosa, Iowa, as follows:

Section 1. An economic development area as defined in Chapter 403 of the Code of Iowa, is found to exist in the City of Anamosa on the Property.

Section 2. The Property is hereby declared to be an urban renewal area, in conformance with the requirements of Chapter 403 of the Code of Iowa, and is hereby designated the July, 2021 Addition to the Anamosa Corridor Urban Renewal Area.

Section 3. The development of the Property is necessary in the interest of the public health, safety or welfare of the residents of the City.

Section 4. It is hereby determined by this City Council as follows:

A. The proposed Amendment and the projects and initiatives described therein conform to the general plan of the municipality as a whole;

B. The proposed economic development projects described in the Amendment are necessary and appropriate to facilitate the proper growth and development of the City in accordance with sound planning standards and local community objectives.

C. It is not anticipated that families will be displaced as a result of the City's undertakings under the Amendment. Should such issues arise, then the City will ensure that a feasible method exists to carry out any relocations without undue hardship to the displaced and into safe, decent, affordable and sanitary housing.

Section 5. The Amendment attached hereto and made a part hereof, is hereby in all respects approved.

Section 6. All resolutions or parts thereof in conflict herewith are hereby repealed, to the extent of such conflict.

Councilmember _____ introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER	AYES	NAYS	ABSENT	ABSTAIN
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED AND APPROVED this 26th day of July, 2021.

_____
Mayor

Attest:

_____
City Clerk

EXHIBIT A
Legal Description
July, 2021 Addition to the Anamosa Corridor Urban Renewal Area

That part of the N ½ NW ¼ of Section 12, Township 84 North, Range 4 West of the 5th P.M., in the City of Anamosa, Iowa, described as follows: Commencing at the Northwest corner of said Section 12; thence East 157.35 feet along the North line of said N ½ NW ¼ to a point of intersection with the East right-of-way line of U.S. Highway No. 151; thence South 1°42' West, 794.20 feet along the East right-of-way line of said U.S. Highway No. 151 to a point; thence South 27°11' East 189.20 feet to a point of intersection with the Northerly right of way line of U.S. Highway No. 64; thence Easterly 360 feet along the Northerly right of way line of said U.S. Highway No. 64 to a point; thence North 21°20' East 417.4 feet to point of beginning of tract herein described; thence South 68°40' East 598.71 feet to a point; thence South 70°12' East 243.00 feet to a point; thence South 88°27'30" East 390.00 feet to a point of intersection with the West line of the E ¼ NW ¼ of said Section 12; thence North 1°32'30" East 826.33 feet along the West line of the E ¼ NW ¼ of said Section 12 to a point; thence North 88°18' West 1182.59 feet to a point; thence South 1°42' West 550.74 feet to the point of beginning, subject to easements, covenants, conditions and restrictions of record.

CITY OF ANAMOSA, IOWA

URBAN RENEWAL PLAN AMENDMENT
ANAMOSA CORRIDOR URBAN RENEWAL AREA

July 26, 2021

The Urban Renewal Plan (the "Plan") for the Anamosa Corridor Urban Renewal Area (the "Urban Renewal Area") is being amended for the purposes of adding certain property to the Urban Renewal Area and identifying a new urban renewal project to be undertaken therein.

1) Addition of Property. The real property (the "Property") described on Exhibit A hereto is, by virtue of this Amendment, being added as the July, 2021 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area. It is anticipated that the City will adopt an ordinance providing for the division of property tax revenues, as set forth in Section 403.19 of the Code of Iowa, with respect to a portion of the Property.

2) Identification of Project. By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project description:

Name of Project: By Design, LLC/Metal Design Systems, Inc. Redevelopment Project

Name of Urban Renewal Area: Anamosa Corridor Urban Renewal Area

Date of Council Approval of Project: July 26, 2021

Description of the Project and Project Site: By Design, LLC ("By Design") will undertake the renovation and expansion of the existing facilities situated on the Property (as described in Section 1 of this Amendment) for leasing to Metal Design Systems, Inc. ("MDSI") for use in the manufacturing business operations of MDSI. The Project will include the renovation of the manufacturing space in an existing building, the addition of new office space and the addition of new paint and finish line building.

It has been requested that the City provide tax increment financing assistance to the Company in support of the efforts to complete, operate and maintain the Project.

The costs of the Project will include legal and administrative fees associated with the initiation, authorization and carrying out of the City's participation therein in an amount not to exceed $10,000 (the "Admin Fees").

Description of Use of TIF: The City intends to enter into a Development Agreement with the Company with respect to the Project and to provide annual appropriation economic development payments (the "Payments") to the Company thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Property. It is

anticipated that the City's total commitment of incremental property tax revenues with respect to the Project will not exceed $1,780,000, plus the Admin Fees.

3) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	$12,880,616
Outstanding general obligation debt of the City:	$ 2,531,400
Proposed debt to be incurred in connection with this July, 2021 Amendment*:	$ 1,790,000

*It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

EXHIBIT A
Legal Description
Expanded Anamosa Corridor Urban Renewal Area
(July, 2021 Addition)

That part of the N ½ NW ¼ of Section 12, Township 84 North, Range 4 West of the 5th P.M., in the City of Anamosa, Iowa, described as follows: Commencing at the Northwest corner of said Section 12; thence East 157.35 feet along the North line of said N ½ NW ¼ to a point of intersection with the East right-of-way line of U.S. Highway No. 151; thence South 1°42' West, 794.20 feet along the East right-of-way line of said U.S. Highway No. 151 to a point; thence South 27°11' East 189.20 feet to a point of intersection with the Northerly right of way line of U.S. Highway No. 64; thence Easterly 360 feet along the Northerly right of way line of said U.S. Highway No. 64 to a point; thence North 21°20' East 417.4 feet to point of beginning of tract herein described; thence South 68°40' East 598.71 feet to a point; thence South 70°12' East 243.00 feet to a point; thence South 88°27'30" East 390.00 feet to a point of intersection with the West line of the E ¼ NW ¼ of said Section 12; thence North 1°32'30" East 826.33 feet along the West line of the E ¼ NW ¼ of said Section 12 to a point; thence North 88°18' West 1182.59 feet to a point; thence South 1°42' West 550.74 feet to the point of beginning, subject to easements, covenants, conditions and restrictions of record.

ORDINANCE NO. _____

An Ordinance Providing for the Division of Taxes Levied on Taxable Property in the July, 2021 Addition to the Anamosa Corridor Urban Renewal Area, Pursuant to Section 403.19 of the Code of Iowa

WHEREAS, the City Council of the City of Anamosa, Iowa (the "City") previously enacted an ordinance entitled "An Ordinance Providing For The Division Of Taxes Levied On Taxable Property In The Anamosa Corridor Urban Renewal Area, Pursuant to Section 403.19 of the Code of Iowa"; and

WHEREAS, pursuant to that ordinance, certain taxable property within the Anamosa Corridor Urban Renewal Area in the City was designated a "tax increment district"; and

WHEREAS, the City Council now desires to establish a new "tax increment district" by designating the real property comprising the July, 2021 Addition to the Anamosa Corridor Urban Renewal Area;

BE IT ENACTED by the Council of the City of Anamosa, Iowa:

Section 1. Purpose. The purpose of this ordinance is to provide for the division of taxes levied on the taxable property in the July, 2021 Addition to the Anamosa Corridor Urban Renewal Area of the City of Anamosa, Iowa, each year by and for the benefit of the state, city, county, school districts or other taxing districts after the effective date of this ordinance in order to create a special fund to pay the principal of and interest on loans, moneys advanced to or indebtedness, including bonds proposed to be issued by the City of Anamosa to finance projects in such area.

Section 2. Definitions. For use within the remainder of this ordinance the following terms shall have the following meanings:

"City" shall mean the City of Anamosa, Iowa.

"County" shall mean Jones County, Iowa.

"Urban Renewal Area Addition" shall mean the July, 2021 Addition to the Anamosa Corridor Urban Renewal Area of the City of Anamosa, Iowa, the legal description of which is set out below, approved by the City Council by resolution adopted on July 26, 2021:

That part of the N ½ NW ¼ of Section 12, Township 84 North, Range 4 West of the 5th P.M., in the City of Anamosa, Iowa, described as follows: Commencing at the Northwest corner of said Section 12; thence East 157.35 feet along the North line of said N ½ NW ¼ to a point of intersection with the East right-of-way line of U.S. Highway No. 151; thence South 1°42' West, 794.20 feet along the East right-of-way line of said U.S. Highway No. 151 to a point; thence South 27°11' East 189.20 feet to a point of intersection with the Northerly right of way line of U.S. Highway No. 64; thence Easterly 360 feet along the Northerly right of way line of said U.S. Highway No. 64 to a point; thence North 21°20' East 417.4 feet to point

of beginning of tract herein described; thence South 68°40' East 598.71 feet to a point; thence South 70°12' East 243.00 feet to a point; thence South 88°27'30" East 390.00 feet to a point of intersection with the West line of the E ¼ NW ¼ of said Section 12; thence North 1°32'30" East 826.33 feet along the West line of the E ¼ NW ¼ of said Section 12 to a point; thence North 88°18' West 1182.59 feet to a point; thence South 1°42' West 550.74 feet to the point of beginning, subject to easements, covenants, conditions and restrictions of record.

"Urban Renewal Area" shall mean the entirety of the Anamosa Corridor Urban Renewal Area as amended from time to time.

Section 3. Provisions for Division of Taxes Levied on Taxable Property in the Urban Renewal Area Addition. After the effective date of this ordinance, the taxes levied on the taxable property in the Urban Renewal Area Addition each year by and for the benefit of the State of Iowa, the City, the County and any school district or other taxing district in which the Urban Renewal Area Addition is located, shall be divided as follows:

(a) that portion of the taxes which would be produced by the rate at which the tax is levied each year by or for each of the taxing districts upon the total sum of the assessed value of the taxable property in the Urban Renewal Area Addition, as shown on the assessment roll as of January 1 of the calendar year preceding the first calendar year in which the City certifies to the County Auditor the amount of loans, advances, indebtedness, or bonds payable from the special fund referred to in paragraph (b) below, shall be allocated to and when collected be paid into the fund for the respective taxing district as taxes by or for said taxing district into which all other property taxes are paid. For the purpose of allocating taxes levied by or for any taxing district which did not include the territory in the Urban Renewal Area Addition on the effective date of this ordinance, but to which the territory has been annexed or otherwise included after the effective date, the assessment roll applicable to property in the annexed territory as of January 1 of the calendar year preceding the effective date of the ordinance which amends the plan for the Urban Renewal Area Addition to include the annexed area, shall be used in determining the assessed valuation of the taxable property in the annexed area.

(b) that portion of the taxes each year in excess of such amounts shall be allocated to and when collected be paid into a special fund of the City to pay the principal of and interest on loans, moneys advanced to or indebtedness, whether funded, refunded, assumed or otherwise, including bonds issued under the authority of Section 403.9(1), of the Code of Iowa, incurred by the City to finance or refinance, in whole or in part, projects in the Urban Renewal Area, and to provide assistance for low and moderate-income family housing as provided in Section 403.22, except that taxes for the regular and voter-approved physical plant and equipment levy of a school district imposed pursuant to Section 298.2 of the Code of Iowa, taxes for the instructional support program levy of a school district imposed pursuant to Section 257.19 of the Code of Iowa and taxes for the payment of bonds and interest of each taxing district shall be collected against all taxable property within the taxing district without limitation by the provisions of this ordinance. Unless and until the total assessed valuation of the taxable property in the Urban Renewal Area Addition exceeds the total assessed value of the taxable property in such area as shown by the assessment roll referred to in subsection (a) of this section, all of the taxes levied and collected upon the taxable property in the Urban Renewal Area Addition shall be paid into the funds for the

respective taxing districts as taxes by or for said taxing districts in the same manner as all other property taxes. When such loans, advances, indebtedness, and bonds, if any, and interest thereon, have been paid, all money thereafter received from taxes upon the taxable property in the Urban Renewal Area Addition shall be paid into the funds for the respective taxing districts in the same manner as taxes on all other property.

(c) the portion of taxes mentioned in subsection (b) of this section and the special fund into which that portion shall be paid may be irrevocably pledged by the City for the payment of the principal and interest on loans, advances, bonds issued under the authority of Section 403.9(1) of the Code of Iowa, or indebtedness incurred by the City to finance or refinance in whole or in part projects in the Urban Renewal Area.

(d) as used in this section, the word "taxes" includes, but is not limited to, all levies on an ad valorem basis upon land or real property.

Section 4. Repealer. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 5. Saving Clause. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 6. Effective Date. This ordinance shall be effective after its final passage, approval and publication as provided by law.

Passed by the City Council of the City of Anamosa, Iowa, on July 26, 2021.

_____
Mayor

Attest:

_____
City Clerk

AIA® Document G701™ – 2017

Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 001

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #1 – PR 01 dated July 16, 2021 for addresses 209 and 211 W Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	0.00
The Contract Sum prior to this Change Order was	$	913,980.00
The Contract Sum will be increased by this Change Order in the amount of	$	11,126.28
The new Contract Sum including this Change Order will be	$	925,106.28

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
DocuSigned by: Bethany Jordan 7DFE8EF5BC8A4...	DocuSigned by: Ronald L. Richard B7A83BB7A9A1483F...	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
7/20/2021 | 13:52:00 PDT	7/20/2021 | 11:13:48 PDT	
DATE	**DATE**	**DATE**

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User Notes: (3B9ADA59)

DocuSign Envelope ID: AD60337D-E4BB-44F9-94DA-77AC82C2EE8E

TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
2245 Kerper Blvd
Suite 2
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 16, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 1 – PR 01

Additional cost for 209 and 211 W Main per attached.

Environmental Services of Iowa	2,656.18
Tricon	8,121.98
Sub-Total	10,778.16
OHP (Subcontracted)	132.81
General Liability Insurance	54.12
Bond	161.19
Total	**$ 11,126.28**

*Tricon OHP is already included.

The above work will add _____ days to the completion date.

Approved By:

Ron Richard 7/16/2021

Project Manager – Tricon Construction Date

Construction Manager – Story Construction Date

Iowa Dept Administrative Services Date

DocuSign Envelope ID: AD60337D-E4BB-44F9-94DA-77AC82C2EE8E

ENVIRONMENTAL MANAGEMENT SERVICES OF IOWA, INC.

5170 WOLFF ROAD, DUBUQUE, IA 52002

(563) 583-0808

INVOICE

BILL TO: Tricon Construction Group
1230 East 12th Street
Dubuque, IA 52001
Attn: Accounts Payable

Invoice Number: 06717
Invoice Date: 07/15/2021

Purchase Order No.:
Contract #:

TERMS: NET 30 DAYS
1.5% PAST DUE

Pay From This Invoice

Description	Amount
Bulk Sample Collection & Asbestos Analysis	
Downtown Revitalization Façade Improvement Project, 211 W. Main St., Anamosa, IA	
06/09/2021	
Bulk samples collection and preparation	$133.70
Bulk samples asbestos analysis at an approved lab:	
Bulk Samples: 3 at $30.00 each	$90.00 **T**

SUBTOTAL	$223.70
TAX	$6.30
SHIPPING & HANDLING	$0.00
TOTAL DUE	**$230.00**

Thank You!

Total Due by: 08/14/2021

PLEASE MAKE CHECKS PAYABLE TO AND REMIT TO:

Environmental Management Services of Iowa, Inc.
5170 Wolff Road, #2
Dubuque, IA 52002-2563

Tax ID#: 42-1332848

DocuSign Envelope ID: AD60337D-E4BB-44F9-94DA-77AC82C2EE8E

ENVIRONMENTAL MANAGEMENT SERVICES OF IOWA, INC.

5170 WOLFF ROAD, DUBUQUE, IA 52002

(563) 583-0808

INVOICE

BILL TO: Tricon Construction Group
1230 East 12th Street
Dubuque, IA 52001
Attn: Accounts Payable

Invoice Number: 06718
Invoice Date: 07/15/2021

Purchase Order No.:
Contract #:

TERMS: NET 30 DAYS
1.5% PAST DUE

Pay From This Invoice

Description	Amount
Asbestos Project Z3389-B	
Downtown Revitalization Façade Improvement Project, 211 W. Main St., Anamosa, IA	
07/08/2021	
Removal and disposal of asbestos tar flashings on parapet wall.	
LABOR: 21 hrs. at $100.00 per hour	$2,100.00
MATERIALS:	$67.53
AIR SAMPLES:	$50.00
LANDFILL/DISPOSAL:	$58.65
VEHICLES:	$150.00

SUBTOTAL	$2,426.18
TAX	$0.00
SHIPPING & HANDLING	$0.00
TOTAL DUE	**$2,426.18**

Thank You!

Total Due by: 08/14/2021

PLEASE MAKE CHECKS PAYABLE TO AND REMIT TO:

Environmental Management Services of Iowa, Inc.
5170 Wolff Road, #2
Dubuque, IA 52002-2563

Tax ID#: 42-1332848

DocuSign Envelope ID: AD60337D-E4BB-44F9-94DA-77AC82C2EE8E

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

Tricon Construction
Anamosa Façade Project
209/211 West Main Street
PR #01 – Parapet Wall LF Price

Tricon CMU Masonry Option:

- In Lieu of BSM Masonry Option
- Remove Loose brick to sound construction.
- All debris to be removed and disposed of
- Rebuild brick wall using 8" CMU.
- Price includes 1 liner foot of parapet wall approx. 2 feet tall.
- This is just an option to get the wall sound enough for us to have a stable wall for wood blocking.
    - $95.13/Ln. Ft.
    - Minimum $800

Tricon Carpentry (Wood Blocking)

- Wood Blocking per PR-01 Detail
    - $107.32/Ln. Ft.
    - Minimum $250

Tricon Roof Protection

- Protect roof from weather while doing work.
    - $545.95 Lump Sum

DocuSign Envelope ID: AD60337D-E4BB-44F9-94DA-77AC82C2EE8E

TRICON
CONSTRUCTION GROUP

Cost Break Down

- Masonry Repairs: Tricon
  - Pricing #1
    - (15 total feet) @ $95.13/Ln.Ft.
      - $1,426.95
  - Pricing #2
    - (25 total feet) @ $57.08/Ln.Ft.
      - $1,427.00
- Wood Blocking Cost: Tricon
  - (44 total feet) @ $107.32/Ln.Ft.
    - $4,722.08
- Weather Protection: Tricon
  - $545.95
- Abatement Cost: Environmental Services of Iowa
  - Abatement Testing
    - $230.00
  - Abatement Work
    - $2,426.18

- Overall Total: $10,778.16

DocuSign

Certificate Of Completion

Envelope Id: AD60337DE4BB44F994DA77AC82C2EE8E

Status: Sent

Subject: Please DocuSign: Change Order #1

Source Envelope:

Document Pages: 6

Signatures: 2

Certificate Pages: 2

Initials: 0

AutoNav: Enabled

EnvelopeId Stamping: Enabled

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 10:50:12 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None)	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 10:57:34 AM Viewed: 7/20/2021 11:10:46 AM Signed: 7/20/2021 11:13:48 AM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None)	DocuSigned by: Bethany Jordan 477F3EF5B6E4417... Signature Adoption: Uploaded Signature Image Using IP Address: 98.159.121.33	Sent: 7/20/2021 11:13:49 AM Viewed: 7/20/2021 1:50:34 PM Signed: 7/20/2021 1:52:00 PM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None)		Sent: 7/20/2021 1:52:01 PM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:11 AM Viewed: 7/20/2021 2:52:32 PM
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:11 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:11 AM Viewed: 7/20/2021 2:05:22 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 10:57:34 AM

Payment Events	Status	Timestamps

DocuSign Envelope ID: 07766CAF-FC5B-45FC-A836-EB863F517560

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Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 002

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 103 E dated July 13, 2021 for address 103 E Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	11,126.28
The Contract Sum prior to this Change Order was	$	925,106.28
The Contract Sum will be decreased by this Change Order in the amount of	$	86.01
The new Contract Sum including this Change Order will be	$	925,020.27

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
DATE	**DATE**	**DATE**

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TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 103 E

103 EAST MAIN

a. Tricon: KDAT to Cement Trim **($ 86.01)**

The above work will add ____ days to the completion date.

Approved By:

Ron Richard	07/13/2021
Project Manager – Tricon Construction	Date
Architect	Date
Owner	Date

DocuSign

Certificate Of Completion

Envelope Id: 07766CAFFC5B45FCA836EB863F517560

Status: Sent

Subject: Please DocuSign: Anamosa Facades Change Order #2

Source Envelope:

Document Pages: 2

Signatures: 0

Certificate Pages: 2

Initials: 0

AutoNav: Enabled

EnvelopeId Stamping: Enabled

Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 10:57:43 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		Sent: 7/20/2021 11:00:00 AM Viewed: 7/20/2021 11:12:54 AM
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:34 AM Viewed: 7/20/2021 2:56:18 PM

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:34 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:34 AM Viewed: 7/20/2021 2:05:06 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:00:00 AM

Payment Events	Status	Timestamps

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Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 003

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 203 E dated July 13, 2021 for address 203 E Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	11,040.27
The Contract Sum prior to this Change Order was	$	925,020.27
The Contract Sum will be decreased by this Change Order in the amount of	$	1,079.96
The new Contract Sum including this Change Order will be	$	923,940.31

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
	DocuSigned by: Ronald L. Richard DA24E8C49A8B4F1...	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
	7/20/2021 | 11:24:52 PDT	
DATE	**DATE**	**DATE**

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TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 203 E

203 EAST MAIN

a.	Pella	(2,016.21)
b.	Tricon	274.47
c.	Tricon	691.53
	Goldsmith	110.00
	Zephyr	122.00
e.	Tricon: KDAT to Cement Trim	(111.57)
	Total Deduct	**($ 1,079.96)**

The above work will add __4__ days to the completion date.

Approved By:

Ron Richard — 07/13/2021
Project Manager – Tricon Construction — Date

Architect — Date

Owner — Date

DocuSign Envelope ID: 6A52D87C-228D-40A5-8F05-7FD16591C285

On Thu, Jul 1, 2021 at 4:51 PM Robert <robert.pellawindows@gmail.com> wrote:

Afternoon Andy,

- 203 E Main front arch transom to square

  Original: $8808.06

  New: $6791.58

  Credit: $2016.21

From: Brent Goldsmith <brentgoldsmith@yahoo.com>

Sent: Wednesday, June 30, 2021 6:19 AM

To: Andy Knapp <andyknapp@triconcg.com>

Subject: Anamosa

- 203 East main

  Add 2 hours labor to prep column @$55=$110

DocuSign Envelope ID: 6A52D87C-228D-40A5-8F05-7FD16591C285

PROPOSAL

ZEPHYR ALUMINUM PRODUCTS, INC.
555 HUFF STREET, PO BOX 936
DUBUQUE, IOWA 52004-0936
Phone: (563) 588-2036
Toll-Free: (800) 747-9397
Fax: (563) 588-4355

PROPOSAL SUBMITTED TO	PHONE	DATE
Tricon Construction	588-9516	July 12, 2021
STREET	JOB NAME	
	Anamosa Downtown Revitalization	
CITY, STATE, AND ZIP CODE	JOB LOCATION	
Dubuque, IA 52001	Anamosa Iowa	

AITC #1

203 E Main St	Material	$42.00
	Shop Labor	$14.00
	Field Labor	$66.00
	Total	$122.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature Bruce Timmerman

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____

DocuSign

Certificate Of Completion

Envelope Id: 6A52D87C228D40A58F057FD16591C285
Status: Sent
Subject: Please DocuSign: Anamosa Facades Change Order #3
Source Envelope:
Document Pages: 4
Signatures: 1
Certificate Pages: 2
Initials: 0
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 11:00:09 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None)	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 11:02:09 AM Viewed: 7/20/2021 11:14:31 AM Signed: 7/20/2021 11:24:52 AM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None)		Sent: 7/20/2021 11:24:53 AM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None)		
Electronic Record and Signature Disclosure: Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None)	COPIED	Sent: 7/20/2021 11:10:16 AM Viewed: 7/20/2021 2:57:21 PM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:10:16 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:10:16 AM Viewed: 7/20/2021 2:04:03 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:02:09 AM

Payment Events	Status	Timestamps

AIA® Document G701™ – 2017

Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 004

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 205 E dated July 13, 2021 for address 205 E Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	9,960.31
The Contract Sum prior to this Change Order was	$	923,940.31
The Contract Sum will be increased by this Change Order in the amount of	$	5,196.70
The new Contract Sum including this Change Order will be	$	929,137.01

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
	DocuSigned by: Ronald L. Richard B7A43BF7A9A483F...	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
	7/20/2021 | 11:25:17 PDT	
DATE	**DATE**	**DATE**

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User Notes: (3B9ADA54)

DocuSign Envelope ID: 8901438B-68FC-465B-88AA-035A2AC62AF8

TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 205 E

205 EAST MAIN

a.	Tricon	365.96
b.	Tricon	*4,100.88
c.	Tricon	(243.74)
	Goldsmith	220.00
	Zephyr	244.00
d.	Tricon: KDAT to Cement Trim	(215.33)
	Sub-Total	4,471.77
	OHP (Subcontracted)	23.20
	OHP (Self-Performed)	601.17
	General Liability Insurance	25.28
	Bond	75.28
	Total	**$ 5,196.70**

The above work will add __7__ days to the completion date.

**If deterioration is worse than expected, an additional cost may apply.*

Approved By:

Ron Richard — 07/13/2021
Project Manager – Tricon Construction — Date

Architect — Date

Owner — Date

DocuSign Envelope ID: 8901438B-68FC-465B-88AA-035A2AC62AF8

From: Brent Goldsmith <brentgoldsmith@yahoo.com>

Sent: Wednesday, June 30, 2021 6:19 AM

To: Andy Knapp <andyknapp@triconcg.com>

Subject: Anamosa

- 205 East main

Clean and Prep column: 4 hours @$55=$220

DocuSign Envelope ID: 8901438B-68FC-465B-88AA-035A2AC62AF8

PROPOSAL

ZEPHYR ALUMINUM PRODUCTS, INC.
555 HUFF STREET, PO BOX 936
DUBUQUE, IOWA 52004-0936
Phone: (563) 588-2036
Toll-Free: (800) 747-9397
Fax: (563) 588-4355

PROPOSAL SUBMITTED TO	PHONE	DATE
Tricon Construction	588-9516	July 5, 2021
STREET	JOB NAME	
	Anamosa Downtown Revitalization	
CITY, STATE, AND ZIP CODE	JOB LOCATION	
Dubuque, IA 52001	Anamosa Iowa	

Add for aluminum brake metal in finish to match the storefront using .040" thick aluminum sheet. We will bend the aluminum over the wood blocking to cover the edge from the cast iron column to behind the aluminum storefront.

205 E Main St	Material	$84.00
	Shop Labor	$28.00
	Field Labor	$132.00
	Total	**$244.00**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature Bruce Timmerman

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____

DocuSign

Certificate Of Completion

Envelope Id: 8901438B68FC465B88AA035A2AC62AF8
Status: Sent
Subject: Please DocuSign: Anamosa Facades Change Order #4
Source Envelope:
Document Pages: 4
Signatures: 1
Certificate Pages: 2
Initials: 0
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 11:02:13 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 11:04:22 AM Viewed: 7/20/2021 11:17:11 AM Signed: 7/20/2021 11:25:17 AM
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		Sent: 7/20/2021 11:25:18 AM
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:55 AM Viewed: 7/20/2021 2:58:05 PM

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:55 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:09:54 AM Viewed: 7/20/2021 2:04:41 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:04:22 AM

Payment Events	Status	Timestamps

DocuSign Envelope ID: 2BC86D7D-6AB2-4AD9-B2E1-05D92A3CA95C

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Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 005

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 205 W for address 205 W Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	15,157.01
The Contract Sum prior to this Change Order was	$	929,137.01
The Contract Sum will be increased by this Change Order in the amount of	$	4,292.12
The new Contract Sum including this Change Order will be	$	933,429.13

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
	DocuSigned by: Ronald L. Richard	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
	7/20/2021 | 11:26:44 PDT	
DATE	**DATE**	**DATE**

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User Notes: (3B9ADA58)

DocuSign Envelope ID: 2BC86D7D-6AB2-4AD9-B2E1-05D92A3CA95C

TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 205 W

205 WEST MAIN

a.	Pella	4,036.71
b.	Tricon: KDAT to Cement Trim	(28.08)
	Sub-Total	4,008.63
	OHP	200.43
	General Liability Insurance	20.88
	Bond	62.18
	Total	**$ 4,292.12**

The above work will add ____ days to the completion date.

Approved By:

Ron Richard — 07/13/2021
Project Manager – Tricon Construction — Date

Architect — Date

Owner — Date

DocuSign Envelope ID: 2BC86D7D-6AB2-4AD9-B2E1-05D92A3CA95C

On Thu, Jul 1, 2021 at 4:51 PM Robert <robert.pellawindows@gmail.com> wrote:

Afternoon Andy,

- 205 W Main front arch windows

  Original: $9823.11

  New: $31859.82

  Adds: $4036.71

DocuSign

Certificate Of Completion

Envelope Id: 2BC86D7D6AB24AD9B2E105D92A3CA95C
Status: Sent
Subject: Please DocuSign: Anamosa Facades Change Order #5
Source Envelope:
Document Pages: 3
Signatures: 1
Certificate Pages: 2
Initials: 0
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 11:04:27 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 11:06:38 AM Viewed: 7/20/2021 11:19:04 AM Signed: 7/20/2021 11:26:44 AM
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		Sent: 7/20/2021 11:26:45 AM
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:08:32 AM Viewed: 7/20/2021 2:58:50 PM

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:08:32 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:08:31 AM Viewed: 7/20/2021 2:02:18 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:06:38 AM

Payment Events	Status	Timestamps

DocuSign Envelope ID: 646CE5E4-B6EB-43C5-8B57-0400841F5F04

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Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 006

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 209 W dated July 13, 2021 for address 209 W Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	19,449.13
The Contract Sum prior to this Change Order was	$	933,429.13
The Contract Sum will be decreased by this Change Order in the amount of	$	96.81
The new Contract Sum including this Change Order will be	$	933,332.32

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
	DocuSigned by: Ronald L. Richard 0A43B5CA9A9A4E5...	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
	7/20/2021 | 11:27:11 PDT	
DATE	**DATE**	**DATE**

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User Notes: (3B9ADA5D)

DocuSign Envelope ID: 646CE5E4-B6EB-43C5-8B57-0400841F5F04

TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 209 W

209 WEST MAIN

a.	Goldsmith	690.00
	Pella	(1,578.37)
	Zephyr	815.00
	Tricon: KDAT to Cement Trim	(23.44)
	Total Deduct	**($ 96.81)**

The above work will add __1__ days to the completion date.

Approved By:

Ron Richard — 07/13/2021
Project Manager – Tricon Construction — Date

Architect — Date

Owner — Date

DocuSign Envelope ID: 646CE5E4-B6EB-43C5-8B57-0400841F5F04

PROPOSAL

ZEPHYR ALUMINUM PRODUCTS, INC.
555 HUFF STREET, PO BOX 936
DUBUQUE, IOWA 52004-0936
Phone: (563) 588-2036
Toll-Free: (800) 747-9397
Fax: (563) 588-4355

PROPOSAL SUBMITTED TO	PHONE	DATE
Tricon Construction	588-9516	July 12, 2021
STREET	JOB NAME	
	Anamosa Downtown Revitalization	
CITY, STATE, AND ZIP CODE	JOB LOCATION	
Dubuque, IA 52001	Anamosa Iowa	

AITC #1

209 W Main St	Material	$610.00
	Field Labor	$175.00
	Boom Lift	$30.00
	Total	$815.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature Bruce Timmerman

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____

DocuSign Envelope ID: 646CE5E4-B6EB-43C5-8B57-0400841F5F04

On Thu, Jul 1, 2021 at 4:51 PM Robert <robert.pellawindows@gmail.com> wrote:

Afternoon Andy,

- 209 W Main picture window elimination Credit: $1578.37

o

-----Original Message-----

From: Brent Goldsmith <brentgoldsmith@yahoo.com>

Sent: Tuesday, July 6, 2021 3:25 PM

To: Andy Knapp <andyknapp@triconcg.com>

Subject: Re: Anamosa Facade 209/211 West Painting Extra

$690 both buildings That will cover prep/cleaning, priming and 2 finish coats and lift expense.

DocuSign

Certificate Of Completion

Envelope Id: 646CE5E4B6EB43C58B570400841F5F04
Status: Sent
Subject: Please DocuSign: Anamosa Facades Change Order #6
Source Envelope:
Document Pages: 4
Signatures: 1
Certificate Pages: 2
Initials: 0
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 11:10:24 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 11:12:24 AM Viewed: 7/20/2021 11:24:53 AM Signed: 7/20/2021 11:27:11 AM
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		Sent: 7/20/2021 11:27:12 AM
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:12:23 AM Viewed: 7/20/2021 2:59:28 PM

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:12:24 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:12:24 AM Viewed: 7/20/2021 2:03:13 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:12:24 AM

Payment Events	Status	Timestamps

AIA® Document G701™ – 2017

Change Order

PROJECT: *(Name and address)*
Anamosa Downtown Revitalization
Facade Improvement Project
Downtown Business District (Multiple Addresses)
Anamosa, IA 52205

CONTRACT INFORMATION:
Contract For: General Construction

Date: March 4, 2021

CHANGE ORDER INFORMATION:
Change Order Number: 007

Date: July 20, 2021

OWNER: *(Name and address)*
City of Anamosa
107 South Ford Street
Anamosa, IA 52205

ARCHITECT: *(Name and address)*
Martin Gardner Architecture, P.C.
700 11th St., Ste. 200
Marion, IA 52302

CONTRACTOR: *(Name and address)*
Tricon General Construction, Inc.
1230 East 12th Street
Dubuque, IA 52001

THE CONTRACT IS CHANGED AS FOLLOWS:
(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)
See attached Tricon COR #2R2 – 211 W dated July 13, 2021 for address 211 W Main.

The original Contract Sum was	$	913,980.00
The net change by previously authorized Change Orders	$	19,352.32
The Contract Sum prior to this Change Order was	$	933,332.32
The Contract Sum will be decreased by this Change Order in the amount of	$	1,027.49
The new Contract Sum including this Change Order will be	$	932,304.83

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be unchanged.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Martin Gardner Architecture, P.C.	Tricon General Construction, Inc.	City of Anamosa
ARCHITECT *(Firm name)*	**CONTRACTOR** *(Firm name)*	**OWNER** *(Firm name)*
	DocuSigned by: Ronald L. Richard B7A43BF7A0A1483F...	
SIGNATURE	**SIGNATURE**	**SIGNATURE**
Bethany Jordan, Project Architect	Ronald L. Richard, Owner	Rod Smith, Mayor
PRINTED NAME AND TITLE	**PRINTED NAME AND TITLE**	**PRINTED NAME AND TITLE**
	7/20/2021 | 11:27:59 PDT	
DATE	**DATE**	**DATE**

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User Notes: (3B9ADA57)

DocuSign Envelope ID: 161D722C-6202-4355-B894-96CA269974AD

TRICON
CONSTRUCTION GROUP

www.triconcg.com

746 58th Ave Ct SW
Cedar Rapids, IA 52404
P 866.588.9516

Corporate Office
1230 East 12th Street
Dubuque, IA 52001
P 563.588.9516
F 563.588.9519

July 13, 2021

Bethany Jordan
Martin Gardner Architecture
700 11th St, Suite 200
Marion, IA 52302

Project: Downtown Revitalization Façade Improvement Project
Re: COR # 2R2 – 211 W

211 WEST MAIN

a.	Goldsmith	690.00
	Pella	(2,914.05)
	Zephyr	1,220.00
	Tricon: KDAT to Cement Trim	(23.44)
	Total Deduct	**($ 1,027.49)**

The above work will add __1__ days to the completion date.

Approved By:

Ron Richard — 07/13/2021
Project Manager – Tricon Construction — Date

Architect — Date

Owner — Date

DocuSign Envelope ID: 161D722C-6202-4355-B894-96CA269974AD

From: Robert <robert.pellawindows@gmail.com>
Date: July 13, 2021 at 8:59:43 AM CDT
To: Andy Knapp <andyknapp@triconcg.com>
Subject: Re: Anamosa Facade: Windows

On Thu, Jul 1, 2021 at 4:51 PM Robert <robert.pellawindows@gmail.com> wrote:
Afternoon Andy,

- 211 W Main picture window and transom elimination
    - Credit: $2914.05

    -----Original Message-----
    From: Brent Goldsmith <brentgoldsmith@yahoo.com>
    Sent: Tuesday, July 6, 2021 3:25 PM
    To: Andy Knapp <andyknapp@triconcg.com>
    Subject: Re: Anamosa Facade 209/211 West Painting Extra

    $690 both buildings That will cover prep/cleaning, priming and 2 finish coats and lift expense.

DocuSign Envelope ID: 161D722C-6202-4355-B894-96CA269974AD

PROPOSAL

ZEPHYR ALUMINUM PRODUCTS, INC.
555 HUFF STREET, PO BOX 936
DUBUQUE, IOWA 52004-0936
Phone: (563) 588-2036
Toll-Free: (800) 747-9397
Fax: (563) 588-4355

PROPOSAL SUBMITTED TO	PHONE	DATE
Tricon Construction	588-9516	July 12, 2021
STREET	JOB NAME	
	Anamosa Downtown Revitalization	
CITY, STATE, AND ZIP CODE	JOB LOCATION	
Dubuque, IA 52001	Anamosa Iowa	

AITC #1

211 W Main St	Material	$910.00
	Field Labor	$260.00
	Boom Lift	$50.00
	Total	$1,220.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature Bruce Timmerman

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____

DocuSign

Certificate Of Completion

Envelope Id: 161D722C62024355B89496CA269974AD
Subject: Please DocuSign: Anamosa Facades Change Order #7
Source Envelope:
Document Pages: 4
Certificate Pages: 2
AutoNav: Enabled
EnvelopeId Stamping: Enabled
Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Signatures: 1
Initials: 0

Status: Sent

Envelope Originator:
Justin Hoff
700 11th St., Ste. 200
Marion, IA 52302
justinh@martingardnerarch.com
IP Address: 98.159.121.33

Record Tracking

Status: Original
7/20/2021 11:12:29 AM

Holder: Justin Hoff
justinh@martingardnerarch.com

Location: DocuSign

Signer Events	Signature	Timestamp
Ronald L. Richard RonRichard@triconcg.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	DocuSigned by: Ronald L. Richard BA434BCA9A394E7... Signature Adoption: Pre-selected Style Using IP Address: 199.10.4.34	Sent: 7/20/2021 11:14:21 AM Viewed: 7/20/2021 11:22:12 AM Signed: 7/20/2021 11:27:59 AM
Bethany Jordan bethanyj@martingardnerarch.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		Sent: 7/20/2021 11:28:00 AM
Rod Smith rod.smith@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign		

In Person Signer Events	Signature	Timestamp

Editor Delivery Events	Status	Timestamp

Agent Delivery Events	Status	Timestamp

Intermediary Delivery Events	Status	Timestamp

Certified Delivery Events	Status	Timestamp

Carbon Copy Events	Status	Timestamp
Beth Brincks beth.brincks@anamosa-ia.org Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:14:20 AM Viewed: 7/20/2021 3:00:19 PM

Carbon Copy Events	Status	Timestamp
Derek Lumsden director@jonescountydevelopment.com Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:14:21 AM
Kyle Martin kylem@martingardnerarch.com President Martin Gardner Architecture Security Level: Email, Account Authentication (None) **Electronic Record and Signature Disclosure:** Not Offered via DocuSign	COPIED	Sent: 7/20/2021 11:14:21 AM Viewed: 7/20/2021 2:03:50 PM

Witness Events	Signature	Timestamp

Notary Events	Signature	Timestamp

Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	7/20/2021 11:14:21 AM

Payment Events	Status	Timestamps

SNYDER & ASSOCIATES

IOWA | MISSOURI | NEBRASKA | SOUTH DAKOTA | WISCONSIN

Memorandum

To: City of Anamosa **Date:** July 26, 2021

From: Snyder & Associates

RE: Engineers Report

CITY PROJECTS

WWTP Flow Equalization Basin
No updates to this project as site arrangements and easement needs continue to be under review by others.

2nd Street Lift Station – Phase 2
We meet with wastewater superintendent Steve and operator Bill on June 30, 2021 to walk through the project and discuss the planned improvements. Both were in favor of restarting the project with a few minor adjustments. They would like to bid the project sometime during the spring of 2022. After the meeting Steve provided us an email with some additional work requests from the street superintendent Shane and water superintendent Robert. We are working with all three departments to refine the scope of the additional services. Once we get the scope refined we will provide the City a contract amendment to add those services into this project.

Old Dubuque Road Extension and Roundabout
Project Administration:
Following the submittal of the Preliminary Plans that were submitted to the Iowa DOT on June 17, we have been in correspondence with the third-party reviewer regarding the roundabout design. The resulting comments and discussion resulted in a roundabout geometry that was slightly smaller in overall diameter, but still able to accommodate WB-67 truck sizes. Concurrent discussions with Beth and Shane concluded that the roundabout design should continue to accommodate the WB-67 truck size as had been previously requested and discussed through preliminary design. In summary, the resulting roundabout design will be slightly smaller in overall footprint which results in both construction cost and acquisition savings. Following those revisions, we received concurrence from the Iowa DOT on the roundabout geometry on July 9th.

We continue to work with Beth and Shane regarding guidance on any landscaping or hardscaping to be included in the construction documents for the center area of the roundabout. Our understanding is that street lighting for the roundabout will be provided by whichever utility services that area of the community. We've had preliminary discussion with Robert about the placement of water main through the project corridor and are planning to have a more detailed

discussion within the next couple of weeks so that these requests will be incorporated into the check plans.

Grant and Funding Applications:
Project description, EOPC, etc. revisions have been made and are reflected in the July Draft STIP as shown below for the STBG funds. We are currently working with the Iowa DOT for additional Urban-State Traffic Engineering Program (U-STEP) funding for the work related to the permanent closure of Old Dubuque Road. Eligible items would be the removal of existing Old Dubuque Road, removal of northbound left-turn lane, and pavement markings along Highway 151 for the closure of the southbound right-turn lane. Maximum funding request is $200,000 with a City match of 45% of the construction cost.

Funding

Source	2022
Contract	$574,000
SWAP-STBG (Regional) (SWAP)	$1,326,000
Total	**$1,900,000**

Schedule:
Prior to development of check plans (90% complete), we were hoping to have the Public Information Meeting and to allow for any further design changes or City requests that would need to be incorporated going forward. City staff has tentatively set a date for this public meeting during the first week of August, targeting a 3-4 hour window between afternoon and evening to allow for broad public attendance. This timeline pushes the entire schedule at least one month such that check plans will likely be submitted in September. We have expressed to City staff that if we need to push the bid letting by one or two months to accommodate the current rate of progress, we do not see that this would have any impact on the overall construction completion.

Revised Upcoming Schedule:

MILESTONE/TASK	SCHEDULE
Public Information Meeting	First week in August 2021
Check Plans (90% Complete)	September 2021
Utility Meeting	September 2021
Final Plans	October 2021
Acquisitions Complete	November 2021
Bid Letting	Dec 2021/Jan 2022
Construction Complete	Spring 2023

HRGreen

HRGREEN.COM

To: Beth Brincks, City of Anamosa

From: HR Green

Subject: Anamosa Project Status

Date: July 15, 2021

1. Sycamore Street Rehabilitation

- 60% Site visit completed and aggregated base condition Plans reviewed with Beth April 28, 2021.
- Submitted retaining wall easement to City on May 10, 2021.
- HR Green to submit final plans and specs July 21 with target letting August 18. Will follow up coordinate bidding schedule

Action Items: HR Green to submit final plans. City working on acquiring easement.

2. Scott & Main Intersection Improvements

- Field Review with City Staff completed.
- Concept & Opinion of Preliminary Construction Cost (OPCC) developed and shared with Shane.

Action Items: City to review and comment on concept and OPCC.

3. 5-Way Intersection TEAP Study

- City submitted funding request letter to DOT
- DOT agreed to fund a study

Action Items: HR Green working to get a contract with DOT for the study

4. Jordan Well No. 6

- Plans submitted in June to Iowa DNR for a construction permit.
- Plans and specs approved at Council, advertisement has begun for a Public Letting on August 12.

Action Items: City to publish Notice to Bidders on its website.

5. City GIS

- New Subdivision by Chamber Dr Data Collection.
    - Inspect and update information on Stormwater Assets and Sanitary Manholes. **Still On Hold for now.**
- Cemetery Head Stone Mapping Project
    - 3,534 headstones have been mapped and all headstones have been visited.
    - Next Steps…. Transfer of Headstone names from photos to GIS. Card Stock verification and Data Entry
- Wastewater Department Training and Updates
    - Mike with HR Green is working on jetting map schedule for every other year cleaning.
- Water Department
    - Mike with HR Green helped Robert Young with the purchase of a high accuracy data receiver. Waiting for manufacturer to deliver to HR Green's vendor for Mike to train City staff.

Action Item: Mike to discuss next steps on Cemetery data entry and validation with Beth and Ginger.

Final Design - 100% Plans
ENGINEER'S OPINION OF PROJECT COST
SYCAMORE ST. - DAVIS TO WILLIAMS
CONTRACT NUMBER 201647
ANAMOSA, IOWA
7/21/2021
Prepared by HR Green

#	CODE	ITEM	UNIT	UNIT PRICE	QUANTITIES		COST	
					DIVISION 1	TOTAL	DIVISION 1	TOTAL
DIVISION 1 - GENERAL								**$ -**
-	-	-	-	$ -	-	-	$ -	$ -
DIVISION 2 - EARTHWORK								**$ 24,952.50**
2.00	2010-108-D-3	TOPSOIL RESTORATION, 8 IN	SY	$ 20.00	927	927	$ 18,540.00	$ 18,540.00
2.01	2010-108-E-0	EXCAVATION, CLASS 10	CY	$ 15.00	250	750	$ 3,750.00	$ 11,250.00
2.02	2010-108-I-0	SUBBASE, MODIFIED, 6 IN.	SY	$ 7.50	355	355	$ 2,662.50	$ 2,662.50
DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION								**$ -**
-	-	-	-	$ -	-	-	$ -	$ -
DIVISION 4 - SEWERS AND DRAINS								**$ -**
-	-	-	-	$ -	-	-	$ -	$ -
DIVISION 5 - WATER MAINS AND APPURTENANCES								**$ 1,150.00**
5.00	5020-108-E-0	VALVE BOX ADJUSTMENT, MINOR	EA	$ 300.00	2	2	$ 600.00	$ 600.00
5.01	5020-108-F-0	VALVE BOX EXTENSION	EA	$ 550.00	1	1	$ 550.00	$ 550.00
DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWERS								**$ -**
-	-	-	-	$ -	-	-	$ -	$ -
DIVISION 7 - STREETS AND RELATED WORK								**$ 94,235.00**
7.00	7010-108-E-0	CURB & GUTTER 3.5 FT, 6 IN.	LF	$ 50.00	708	708	$ 35,400.00	$ 35,400.00
7.01	7020-108-I-0	HMA PAVEMENT SAMPLES AND TESTING	LS	$ 2,500.00	1.0	1	$ 2,500.00	$ 2,500.00
7.02	7021-108-A-0	HMA OVERLAY, SURFACE COURSE (2 IN.)	TONS	$ 50.00	98	98	$ 4,900.00	$ 4,900.00
7.03	7021-108-A-0	HMA, INTERMEDIATE COURSE (2 IN.)	TONS	$ 45.00	98	98	$ 4,410.00	$ 4,410.00
7.04	7030-108-E-0	SIDEWALK, PCC, 4 IN.	SY	$ 48.00	252.0	252	$ 12,096.00	$ 12,096.00
7.05	7030-108-G-0	DETECTABLE WARNING, CAST IRON	SF	$ 50.00	110	110	$ 5,500.00	$ 5,500.00
7.06	7030-108-H-1	DRIVEWAY, PAVED, PCC, 7 IN.	SY	$ 65.00	90	90	$ 5,850.00	$ 5,850.00
7.07	7040-108-A-0	FULL DEPTH PATCHES	SY	$ 120.00	95	95	$ 11,400.00	$ 11,400.00
7.08	7040-108-G-0	MILLING	SY	$ 5.00	901	901	$ 4,505.00	$ 4,505.00
7.09	7040-108-H-0	PAVEMENT REMOVAL	SY	$ 15.00	474	474	$ 7,110.00	$ 7,110.00
7.10	7040-108-I-0	CURB AND GUTTER REMOVAL	LF	$ 12.00	47	47	$ 564.00	$ 564.00
DIVISION 8 - TRAFFIC CONTROL								**$ 10,000.00**
8.00	8030-108-A-0	TEMPORARY TRAFFIC CONTROL	LS	$ 10,000.00	1	2	$ 10,000.00	$ 20,000.00
DIVISION 9 - SITE WORK AND LANDSCAPING								**$ 13,150.00**
9.00	9010-108-A-0	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING (TEMPORARY STABILIZING CROP)	AC	$ 1,500.00	0.2	0	$ 300.00	$ 300.00
9.01	9020-108-A-0	SOD	SQ	$ 60.00	84	84	$ 5,040.00	$ 5,040.00
9.02	9070-108-A-0	MODULAR BLOCK RETAINING WALL	SF	$ 55.00	142	142	$ 7,810.00	$ 7,810.00
DIVISION 11 - MISCELLANEOUS								**$ 44,000.00**
11.00	11010-108-A-0	CONSTRUCTION SURVEY	LF	$ 20,000.00	1	1	$ 20,000.00	$ 20,000.00
11.01	11020-108-A-0	MOBILIZATION	LS	$ 20,000.00	1	1	$ 20,000.00	$ 20,000.00
11.02	11030-108-A-0	MAINTENANCE OF POSTAL SERVICE	LS	$ 2,000.00	1	1	$ 2,000.00	$ 2,000.00
11.03	11030-108-B-0	MAINTENANCE OF SOLID WASTE COLLECTION	LS	$ 2,000.00	1	1	$ 2,000.00	$ 2,000.00
						Subtotal Construction		**$ 198,742.50**
								$ -
						Total Project Cost		**$ 198,742.50**

Project: Sycamore St
Client: City of Anamosa
Date Prepared: July 13, 2021

CITY COUNCIL ACTIONS / LETTING DATE

Council-Accepts Plans, Orders Construction	**Monday, July 26, 2021**
Desired Letting Date:	**Wednesday, August 18, 2021**
Council-Public Hearing/Award	**Monday, August 23, 2021**
Council-Accept Contracts, Bonds, & Insurance	**Monday, September 13, 2021**

Responsible Party	Task	Date	Days from Critical Date	Comments
HR Green	Final Plans to City	Wednesday, July 21, 2021	5	Hard Copies to City Hall
City Council	**Council-Accepts Plans, Orders Construction**	**Monday, July 26, 2021**	**0**	**Plans and Specs on File at City Hall**
HR Green	Publish Plans to Plan Rooms	Tuesday, July 27, 2021		Day after council orders construction
HR Green	Post Notice to Bidders to Plan Room	Tuesday, July 27, 2021	22	Between 13-45 days before letting
City	Post Notice To Bidders City Website	Tuesday, July 27, 2021	22	Between 13-45 days before letting
City	Send Notice of Public Hearing to Paper	Thursday, August 5, 2021		Min. 1 week advance of publication
City/Paper	Publish Notice of Public Hearing	Thursday, August 12, 2021	11	Between 4-20 before Public Hearing
HR Green/City	**Letting**	**Wednesday, August 18, 2021**	**0**	
HR Green	Submit Bid Tab to City	Wednesday, August 18, 2021	0	Due Thursday Before Public Hearing
City Council	**Council-Public Hearing/Award**	**Monday, August 23, 2021**	**0**	
Contractor	Signed Contracts, Bonds, & Insurance to City	Wednesday, September 8, 2021	5	
City Council	**Council-Accept Contracts, Bonds, & Insurance**	**Monday, September 13, 2021**	**0**	

Construction Schedule	Date	Working Days	Comments
Notice to Proceed	**Tuesday, September 14, 2021**		
Interim Completion (Phase 1)	Friday, November 19, 2021	66	
Final Completion (Phase 2)	Friday, April 29, 2022	94	

Sycamore Street Resurfacing & ADA Ramps

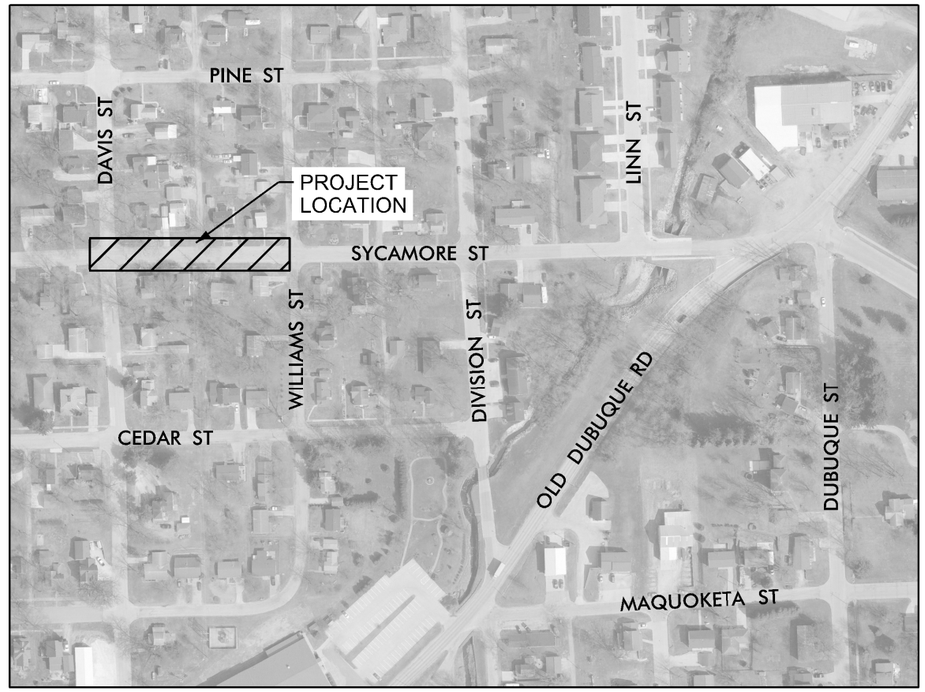
N Davis St to N Williams St

City of Anamosa, IA 2021

LICENSED PROFESSIONAL ENGINEER
JEREMY R. KAEMMER
P25073
IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

ENGINEERS NAME, P.E. DATE
License Number: P25073
My license renewal date is DECEMBER 31, 2021
Pages or sheets covered by this seal: ALL

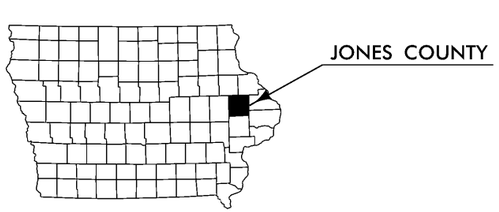


LOCATION MAP

HR GREEN PROJECT NUMBER 201647

INDEX OF SHEETS

No.	Description
A.01-A.02	TITLE & LEGEND AND SYMBOLS SHEETS
B.01	TYPICAL CROSS-SECTION & DETAILS SHEET
C.01-C.XX	ESTIMATE OF QUANTITIES, GENERAL INFORMATION, & TABULATIONS SHEETS
D.01	PLAN & PROFILE SHEET
E.01-E.02	CURB PLAN & PROFILE SHEETS
G.01	REFERENCE TIES & BENCH MARKS SHEET
H.01	RIGHT-OF-WAY & EASMENTS SHEET
J.01-J.03	STAGING & TRAFFIC CONTROL SHEET
L.01	INTERSECTIONS & MAINLINE GEOMETRICS SHEET
R.01	REMOVALS SHEET
S.01-S.04	SIDEWALK SHEETS
T.01	TABULATION OF EARTHWORK QUANTITIES SHEET
V.01	RETAINING WALL PLAN & PROFILE SHEET



HRGreen®

8710 EARHART LANE SW | CEDAR RAPIDS, IOWA 52404-8947
Phone: 319.841.4000 | Toll Free: 800.728.7805 | Fax: 319.841.4012 | HRGreen.com

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811 Know what's below. Call before you dig.

STANDARD SYMBOLS

- Control Point
- Evergreen Tree
- Deciduous Tree
- Shrub (Bushes)
- Timber
- Hedge
- Stump
- Swamp
- Revetment (Rip Rap)
- Cemetery
- Grave
- Board Fence
- Chain Link or Security Fence
- Existing Guardrail
- Wire Fence
- Tile Outlet
- Edge of Water
- Existing Drainage
- Proposed Drainage
- Right of Way Rail or Lot Corner
- Concrete Monument
- Well
- Existing Intake
- Proposed Intake
- Existing Utility Access (Manhole)
- Proposed Utility Access (Manhole)
- ST — Septic Tank
- C — Cistern
- L.P. Gas Tank (No Footing)
- UST — Underground Storage Tank
- Luminaire
- Traffic Signal
- Traffic Signal with Luminaire
- TP — Telephone Pedestal
- TVP — Television Pedestal
- Telephone Pole
- Power Pole
- Telephone Riser Pole
- Power Riser Pole

- W — Existing Water Line
- W2 — Existing Water Line (Service)
- San. — Existing Sanitary Sewer Line
- San. 2 — Existing Sanitary Sewer Service Line
- T — Existing Telephone Line
- T2 — Existing Telephone Line (Second Company)
- FO-1 — Existing Fiber Optics
- St. S. — Existing Storm Sewer Line
- G — Existing Gas Line
- G-HP — Existing High Pressure Gas Line
- E — Existing Power Line
- TV — Cable Television Line
- Construction Easement Line
- GV — Gas Valve
- SL — Speed Limit Sign
- SIGN — Sign
- WHU — Water Hook Up
- EB — Electric Box
- TCB — Traffic Signal Control Box
- RRB — Rail Road Signal Control Box
- TSB — Telephone Switch Box
- CO — Cleanout
- Existing Apron
- Existing Curb Stop
- W.V. — Existing Water Valve
- W.S.V. — Existing Water Service Valve
- Fire Hydrant
- T — Telephone Pole
- E — Electric Pole
- Utility Pole
- Satelite Dish

UTILITY LEGEND

General Utilities - Iowa One Call
(800) 292-8989

City of Anamosa
Shane Brown
(319) 462-2566

Mediacom LLC
Randy Chase
(845) 867-0933

CenturyLink
Tom Sturmer
(303) 453-9927

Maquoketa Valley Electric Coop.
Nik Schulte
(319) 820-0266

Alliant Energy
Field Manager
(800) 255-4268

IOWA 1-CALL# 1-800-292-8989

RIGHT OF WAY LEGEND

- Proposed Right of Way
- Existing Right of Way
- Existing and Proposed Right of Way
- Easement and Existing Right of Way
- Easement (Temporary)
- Easement

Legend And Symbol Information Sheet

(Symbols are Typical Only)

PlotDrvr: pdf_bw_no_level.pltcfg
Model: A.02

PenTbl: hrg.tbl
Last Saved: 7/21/2021

DRAWN BY:		JOB DATE:	
APPROVED:	HRG_PM	JOB NUMBER:	201647
CAD DATE:	7/21/2021	4:02:39 PM	
CAD FILE:	...\Sheet_Files\TitleSheet.dgn		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen.com
HRGreen

E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL AND OVERLAY WITH CURB REPLACEMENT
City of Anamosa, IA

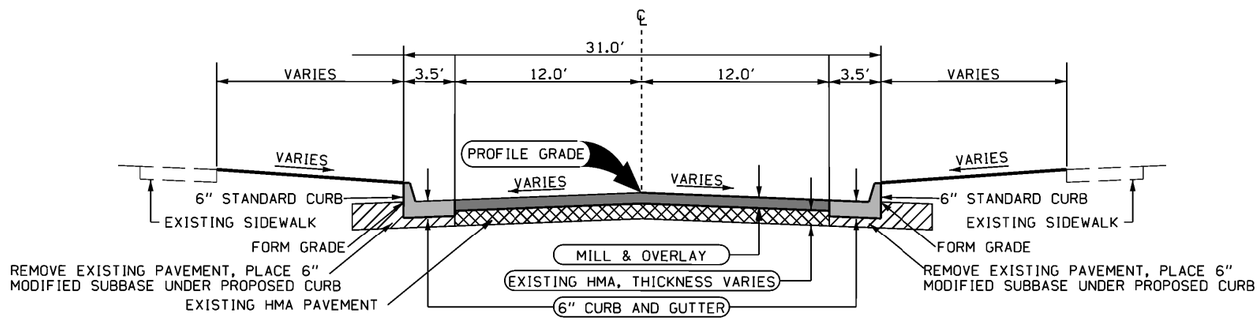
SYCAMORE STREET
LEGEND AND SYMBOLS

SHEET NO.
A.02

NOTES:

① REFER TO OTHER DRAWINGS FOR DETAILS OF CONSTRUCTION.

② NORMAL SECTION SHOWN MAY BE APPROPRIATELY MODIFIED FOR AREAS SPECIFICALLY DESIGNED BY THE ENGINEER SUCH AS INTERSECTIONS OR SUPER ELEVATED CURVES.



Location		
Road Identification	Station to Station	
SYCAMORE STREET	50+46.89	53+55.70

SYCAMORE STREET
TYPICAL CROSS SECTION
MILL & OVERLAY WITH CURB REPLACEMENT

PlotDrvr: pdf_bw_no_level.pltcfg
Model: B.01

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E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
TYPICAL SECTION AND DETAILS

SHEET NO.
B.01

ESTIMATED PROJECT QUANTITIES
(1 DIVISION PROJECT)

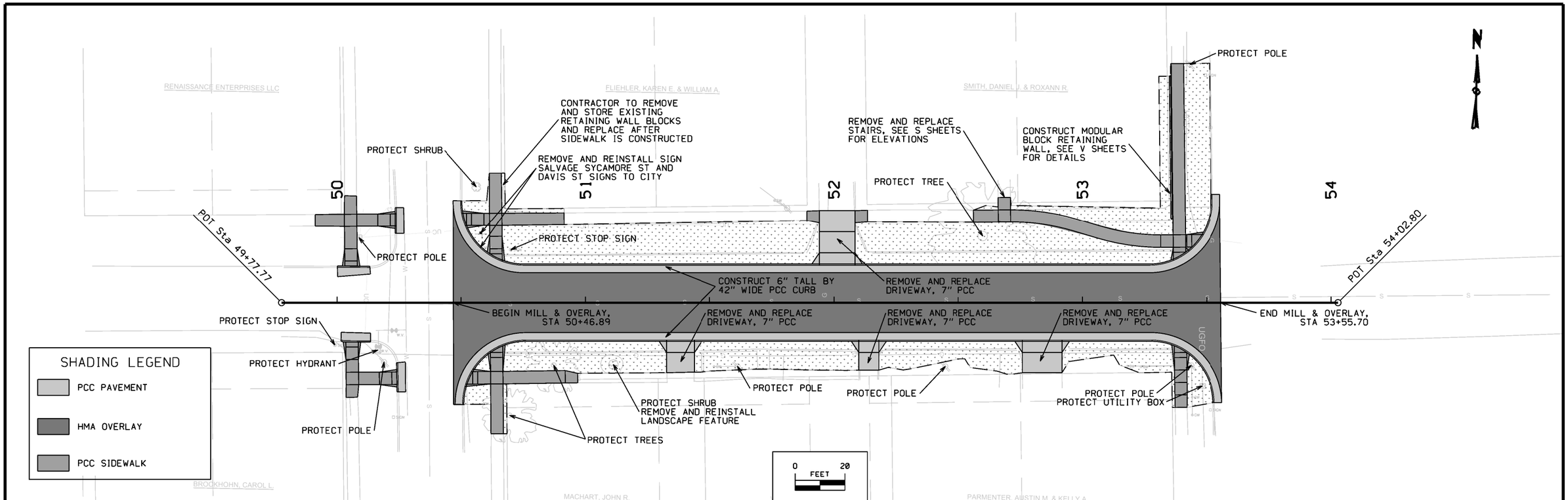
Item No.	Item Code	Item	Unit	Total	As Built Qty.
DIVISION 1 - GENERAL					
DIVISION 2 - EARTHWORK					
2.00	2010-108-D-3	TOPSOIL RESTORATION, 8 IN.	SY	927	
2.01	2010-108-E-0	EXCAVATION, CLASS 10	CY	250	
2.02	2010-108-I-0	SUBBASE, MODIFIED, 6 IN.	SY	355	
DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION					
DIVISION 4 - SEWERS AND DRAINS					
DIVISION 5 - WARER MAINS AND APPURTENANCES					
5.00	5020-108-E-0	VALVE BOX ADJUSTMENT, MINOR	EA	2	
5.01	5020-108-F-0	VALVE BOX EXTENSION	EA	1	
DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWERS					
DIVISION 7 - STREETS AND RELATED WORK					
7.00	7010-108-E-0	CURB AND GUTTER, 3.5 FT, 6 IN.	LF	708	
7.01	7020-108-I-0	HMA PAVEMENT SAMPLES AND TESTING	LS	1	
7.02	7021-108-A-0	HMA OVERLAY, SURFACE COURSE (2 IN.)	TONS	98	
7.04	7030-108-A-0	REMOVAL OF SIDEWALK	SY	240	
7.05	7030-108-G-0	DETECTABLE WARNING, CAST IRON	SF	110	
7.06	7030-108-H-1	DRIVEWAY, PAVED, PCC, 7 IN.	SY	90	
7.07	7040-108-A-0	FULL DEPTH PATCHES	SY	95	
7.08	7040-108-G-0	MILLING	SY	901	
7.09	7040-108-H-0	PAVEMENT REMOVAL	SY	474	
7.10	7040-108-I-0	CURB AND GUTTER REMOVAL	LF	47	
DIVISION 8 - TRAFFIC CONTROL					
8.00	8030-108-A-0	TEMPORARY TRAFFIC CONTROL	LS	1	
DIVISION 9 - SITE WORK AND LANDSCAPING					
9.00	9010-108-A-0	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING (TEMPORARY STABILIZING CROP)	AC	0.2	
9.01	9020-108-A-0	SOD	SY	84	
9.02	9070-108-A-0	MODULAR BLOCK RETAINING WALL	SF	142	
DIVISION 11 - MISCELLANEOUS					
11.00	11010-108-A-0	CONSTRUCTION SURVEY	LS	1	
11.01	11020-108-A-0	MOBILIZATION	LS	1	
11.02	11030-108-A-0	MAINTENANCE OF POSTAL SERVICE	LS	1	
11.03	11030-108-B-0	MAINTENANCE OF SOLID WASTE COLLECTION	LS	1	

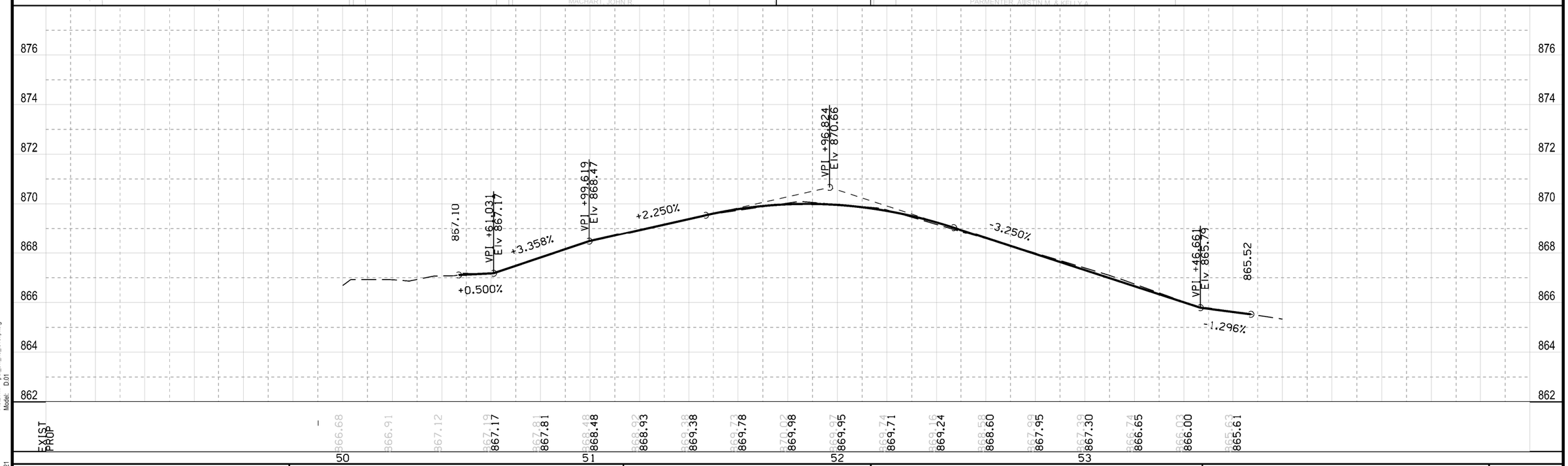
ESTIMATE REFERENCE INFORMATION

Item No.	Item Code	Description
2.00	2010-108-D-3	TOPSOIL RESTORATION, 8 IN.
		A. Topsoil calculated by Sod quantity at a 8 in. minimum depth. The lower 4" is till material and the upper 4" is new topsoil.
		B. 40% shrink factor is assumed.
		C. Contour to drain.
		D. Mobilization for this item is incidental.
2.01	2010-108-E-0	EXCAVATION, CLASS 10
		A. Excavation to be performed by City
		B. Fill Material to be provided by City
		C. Contractor to perform grading only
2.02	2010-108-I-0	SUBBASE, MODIFIED, 6 IN.
		A. Refer to typical sections in B Sheets.
5.00	5020-108-E-0	VALVE BOX ADJUSTMENT, MINOR
		A. Refer to D-sheets for locations
		B. Coordination with City is required and incidental
5.01	5020-108-F-0	VALVE BOX EXTENSION
		A. Refer to D-sheets for locations
		B. Coordination with City is required and incidental
7.00	7010-108-E-0	CURB AND GUTTER, 3.5 FT, 6 IN.
		A. Refer to typical sections in B Sheets.
		B. Refer to plan locations and profiles in the D Sheets.
		C. Maximum of 15 feet between transverse joints for proposed curb and gutter.
7.01	7020-108-A-0	HMA OVERLAY, SURFACE COURSE (2 IN.)
		A. Refer to typical sections in B Sheets.
		B. Refer to plan locations and profiles in the D Sheets.
		C. Densities used for estimating quantities are from the IDOT Design Manual 1B-4.
7.02	7020-108-A-0	HMA , INTERMEDIATE COURSE (2 IN.)
		A. Refer to typical sections in B Sheets.
		B. Refer to plan locations and profiles in the D Sheets.
		C. Densities used for estimating quantities are from the IDOT Design Manual 1B-4.
7.03	7020-108-H-0	HMA PAVEMENT SAMPLES AND TESTING
		A. Refer to SUDAS Section 7020.3.05 for smoothness requirements.
7.04	7030-108-E-0	SIDEWALK, PCC, 4 IN.
		A. Refer to B and S Sheets.
7.05	7030-108-G-0	DETECTABLE WARNING, CAST IRON
		A. Refer to plan locations in S Sheets.
		B. Refer to S Sheets for sidewalk compliance table.
7.06	7030-108-H-1	DRIVEWAY, PAVED, PCC, 5 IN.
		A. Refer to locations on the D Sheets.
7.07	7040-108-A-0	FULL DEPTH PATCHES
		A. Patches are to be performed around the curb returns and for areas with pavement unsuitable for overlay as determined by the Engineer after milling
		B. Contractor shall remove pavement around proposed returns and re-shape the areas to match proposed grades
7.08	7040-108-G-0	MILLING
		A. Refer to typical sections in B Sheets.
		B. Refer to locations in R Sheets
7.09	7040-108-H-0	PAVEMENT REMOVAL
		A. Refer to locations in R Sheets
		B. Sawcutting of existing pavement is incidental to this bid item.
		C. Includes integral and/or adjacent curb removal.
7.10	7040-108-I-0	CURB AND GUTTER REMOVAL
		A. Contractor shall remove Curb as required to install new sidewalk ramps
		B. Refer to R Shhets & S Sheets for locations.
8.00	8030-108-A-0	TEMPORARY TRAFFIC CONTROL
		A. Refer to J Sheets for traffic control plan.
		B. See J Sheets for proposed detour route.

ESTIMATE REFERENCE INFORMATION

Item No.	Item Code	Description
9.00	9010-108-A-0	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING (TEMPORARY STABILIZING CROP)
		A. For temporary ground covering of all disturbed areas on project, except for paved surfaces.
		B. Watering is incidental to this bid item.
9.01	9020-108-A-0	SOD
		A. For permanent ground covering of all disturbed areas on project, except for paved surfaces.
		B. Watering is incidental to this bid item.
		C. The Contractor is to protect existing grass to limit the sodding quantity.
		D. Soil restoration is to be complete prior to sodding.
9.02	9070-108-A-0	MODULAR BLOCK RETAINING WALL
		A. Refer to plan locations and profiles in V Sheets.
		B. Color and Style to be approved by the City.
		C. Exact dimensions, wall batter, backfill limits, backfill material, reinforcement, leveling pad materials, and leveling pad dimensions will be specified by the manufacturer.
11.00	11010-108-A-0	CONSTRUCTION SURVEY
		A. Item includes re-establishment of property pins after construction is completed and shall be incidental.
11.01	11020-108-A-0	MOBILIZATION
11.02	11030-108-A-0	MAINTENANCE OF POSTAL SERVICE
11.03	11030-108-B-0	MAINTENANCE OF SOLID WASTE COLLECTION





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City of Anamosa, IA

SYCAMORE STREET
PLAN AND PROFILE

SHEET NO.
D.01

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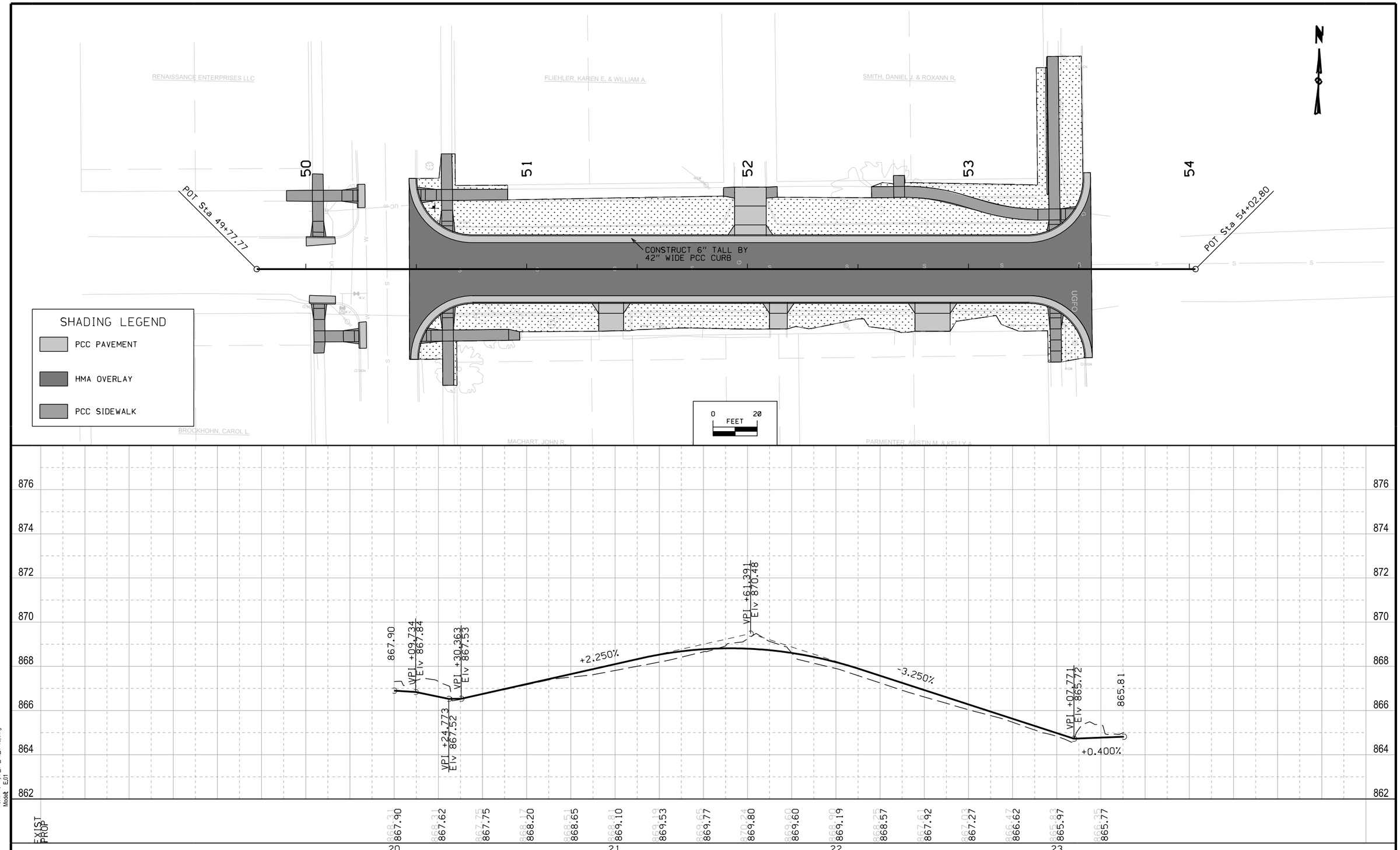

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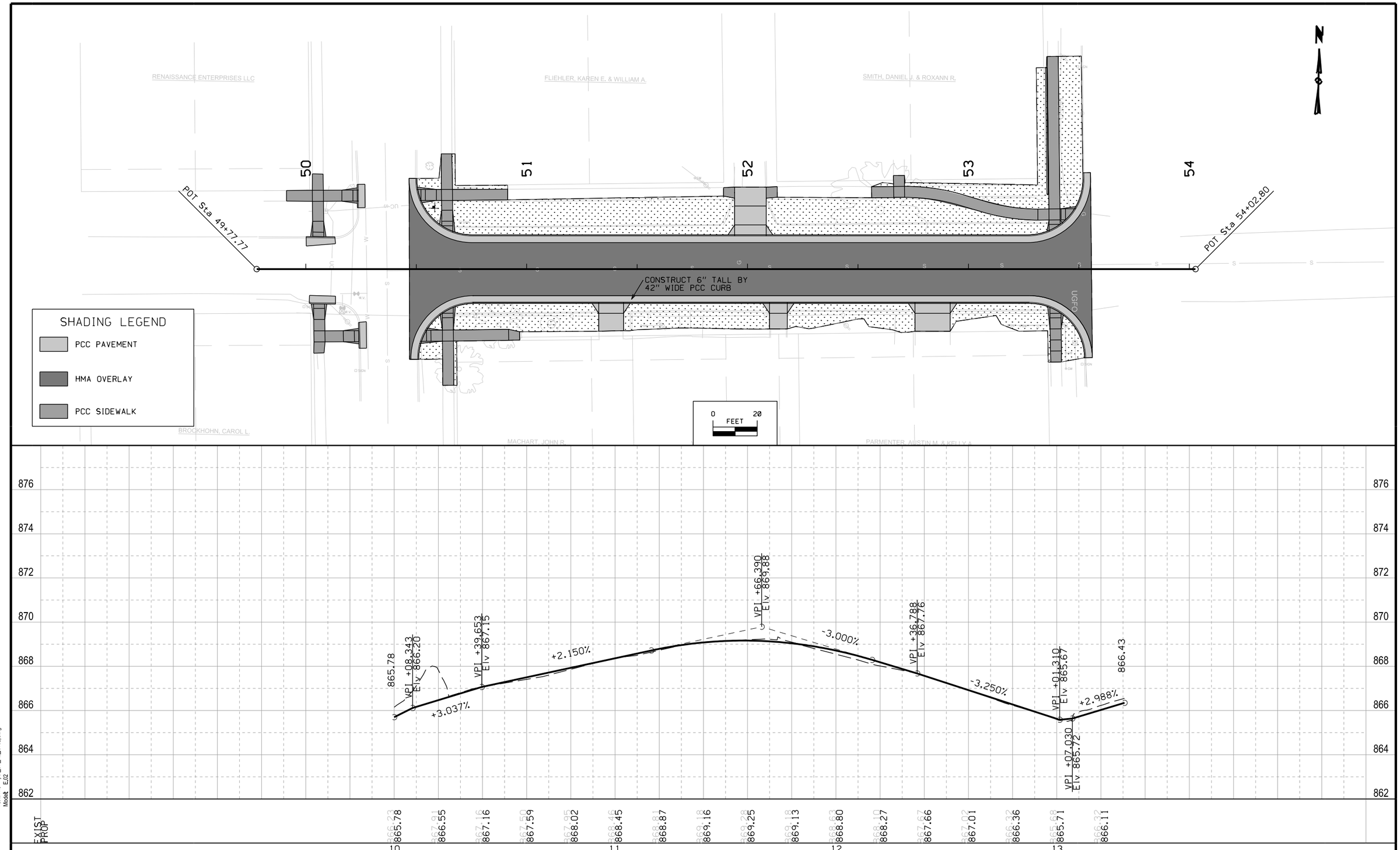
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
NORTH CURB PLAN AND PROFILE

SHEET NO.
E.01



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City of Anamosa, IA

SYCAMORE STREET
SOUTH CURB PLAN AND PROFILE

SHEET NO.
E.02

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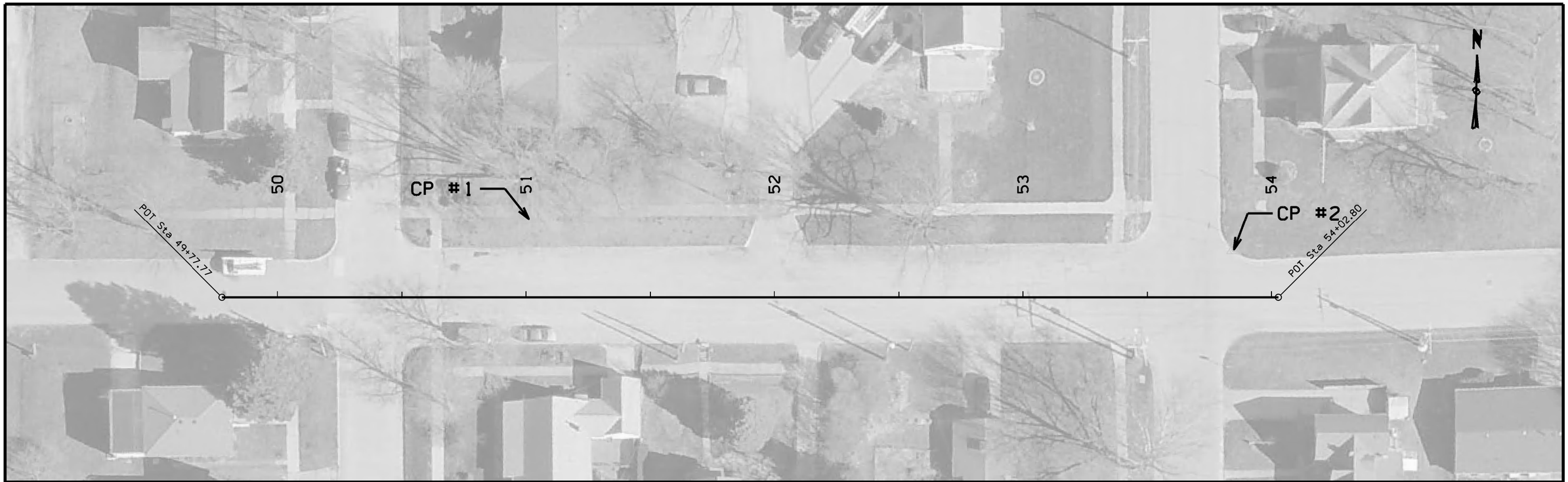
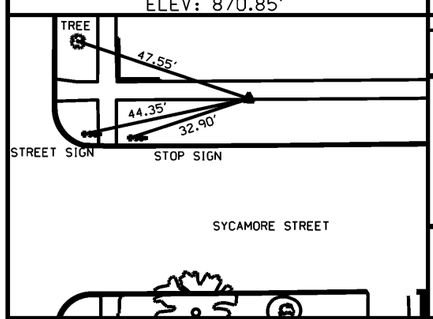
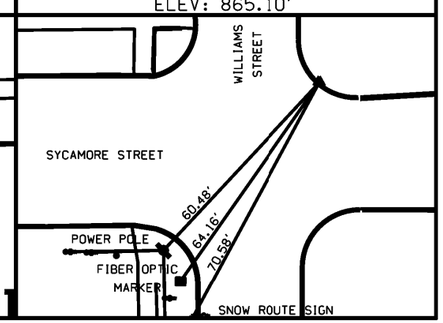


CONTROL POINT #1
CUT X IN SIDEWALK
N: 3,511,463.85 E: 5,523,102.66
ELEV: 870.85'



CONTROL POINT #2
CUT X IN TOP OF CURB
N: 3,511,456.90 E: 5,523,386.66
ELEV: 865.10'



ALIGNMENT COORDINATES

THE PROJECT COORDINATE SYSTEM IS NAD83 HARN IOWA STATE PLANE SOUTHERN ZONE, U.S. SURVEY FOOT

NAME	LOCATION	POINT ON TANGENT			BEGIN SPIRAL			BEGIN CURVE			SIMPLE CURVE PI OR MASTER PI OF SCS			END CURVE			END SPIRAL		
		STATION	COORDINATES		STATION	COORDINATES		STATION	COORDINATES		STATION	COORDINATES		STATION	COORDINATES		STATION	COORDINATES	
			Y (NORTHING)	X (EASTING)		Y (NORTHING)	X (EASTING)		Y (NORTHING)	X (EASTING)		Y (NORTHING)	X (EASTING)		Y (NORTHING)	X (EASTING)		Y (NORTHING)	X (EASTING)
100	SYCAMORE	49+77.77	3,511,429.86	5,522,979.90															
101		54+02.80	3,511,438.14	5,523,404.85															

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SYCAMORE STREET
REFERENCE TIES AND BENCHMARKS

SHEET NO.
G.01

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SYCAMORE STREET
RIGHT-OF-WAY

SHEET NO.
H.01

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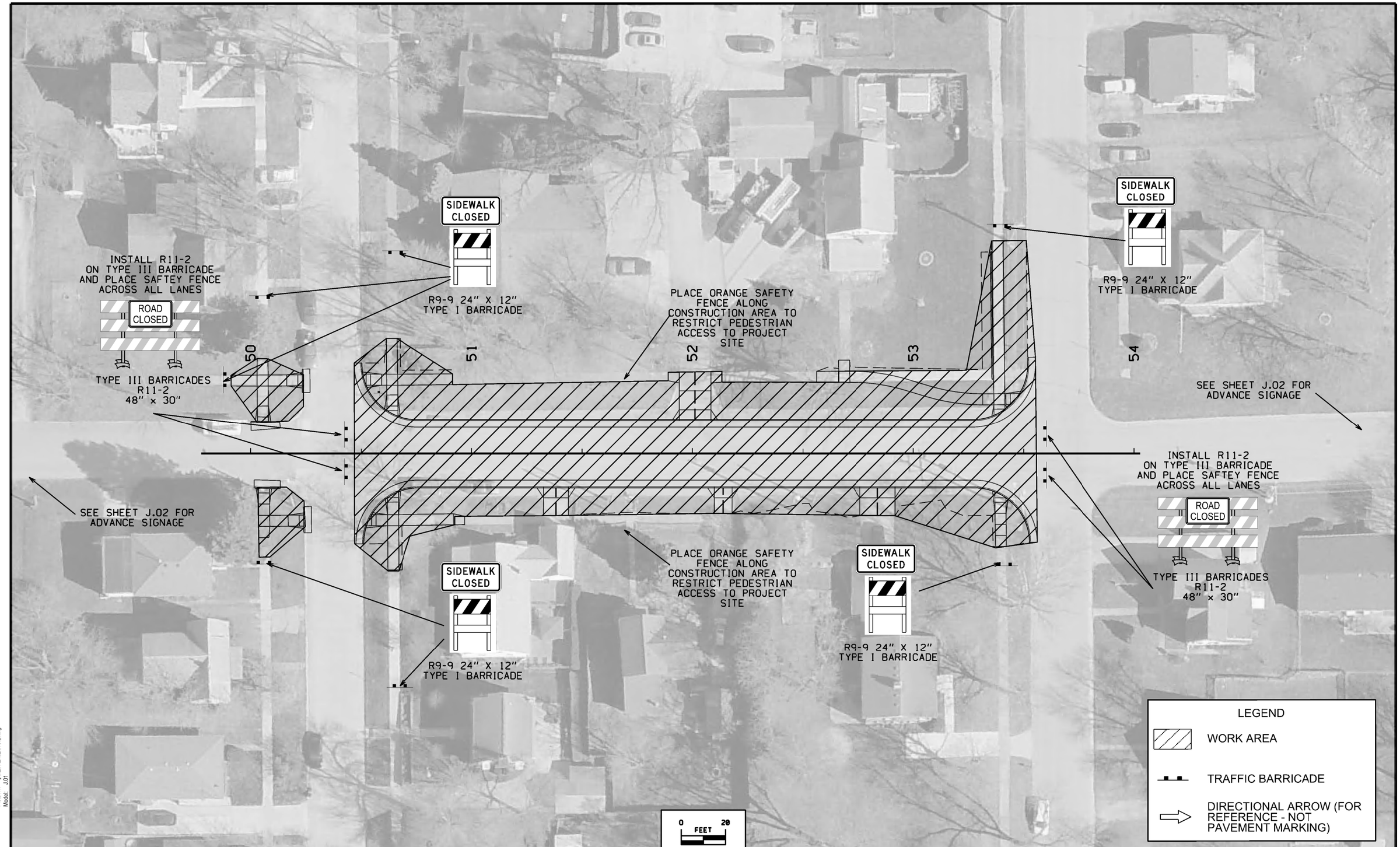

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City of Anamosa, IA

SYCAMORE STREET
STAGING AND TRAFFIC CONTROL

SHEET NO.
J.01

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City of Anamosa, IA

SYCAMORE STREET
STAGING AND TRAFFIC CONTROL

SHEET NO.
J.02

SIDE ROADS
PLAN AND PROFILE

PlotDrvr: pdf_bw_no_level.pltcfg
Model: J.02
PenTbl: hrg.tbl
Last Saved: 7/21/2021

GENERAL TRAFFIC CONTROL NOTES

1. TRAFFIC CONTROL PLAN ASSUMES A FULL CLOSURE FOR THE ENTIRE DURATION OF THE PROJECT. CHANGES TO THE STAGING PLAN MUST BE APPROVED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED TRAFFIC CONTROL PLANS TO THE ENGINEER FOR ALL STAGES OF WORK. WRITTEN NOTICE SHALL BE PROVIDED TO THE ENGINEER AT LEAST 48 HOURS IN ADVANCE OF ROADWAY CLOSURES. ADJUSTMENT TO ADVANCED SIGNAGE AND BARRICADING ARE SUBJECT TO ENGINEER APPROVAL AND ARE CONSIDERED INCIDENTAL.

2. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH SUDAS SECTION 8030 TEMPORARY TRAFFIC CONTROL.

3. PLACE PORTABLE DYNAMIC MESSAGE SIGNS OR STATIC MESSAGE SIGNS IN ADVANCE OF CLOSURES AND DETOURS, A MINIMUM OF FIVE (5) DAYS IN ADVANCE OF COMMENCEMENT OF WORK. DYNAMIC MESSAGE SIGNS ARE INCIDENTAL TO THE TEMPORARY TRAFFIC CONTROL ITEM. THE CONTRACTOR SHALL COORDINATE WITH THE CITY REGARDING THE MESSAGES.

4.PROVIDE APPROPRIATE SIGNAGE IF, AT ANY TIME, THERE IS AN ELEVATION DIFFERENCE BETWEEN ADJACENT OR OPPOSING TRAVEL LANES ON ANY STREET, SIDEWALK, OR TRAIL.

5.THE SPACING OF ALL SIGNS AND THE DISTANCES BETWEEN SIGNS SHOWN IN THE PLAN SHALL MEET THE REQUIREMENTS OF THE 2009 MUTCD. IF THE MINIMUM SPACING BETWEEN SIGNS CANNOT BE MAINTAINED, THE SIGN LOCATIONS SHALL BE ADJUSTED TO PROVIDE THE LARGEST SPACING AVAILABLE.

6.THE LOCATION FOR STORAGE OF EQUIPMENT BY THE CONTRACTOR DURING NONWORKING HOURS SHALL BE AS APPROVED BY THE ENGINEER.

SIDEWALK ACCESS

1.AS APPLICABLE, THE FOLLOWING REQUIREMENTS APPLY FOR SIGNING ALTERNATIVE ROUTES FOR SIDEWALKS CLOSED DURING CONSTRUCTION:

- ALTERNATIVE ROUTES FOR CLOSED ADA-COMPLIANT SIDEWALKS SHALL THEMSELVES BE ADA-COMPLIANT.

- ALTERNATIVE ROUTES FOR CLOSING SIDEWALKS THAT ARE NOT ADA-COMPLIANT SHALL PROVIDE, AT MINIMUM, THE SAME ACCESSIBILITY AS THE CLOSED SIDEWALK.

2. EXCEPT WHEN CONTRACT OPERATIONS ARE OCCURRING WITHIN SIDEWALK AREAS, PEDESTRIAN TRAFFIC SHALL BE MAINTAINED THROUGH WORKSPACES OR TRAFFIC CONTROL ZONES DURING THIS PROJECT. THE CONTRACTOR SHALL PROVIDE APPROPRIATE SIGNAGE FOR SIDEWALK CLOSURES.

3.SIDEWALK REMOVAL AND RECONSTRUCTION SHALL BE STAGED TO MINIMIZE LOSS OF PEDESTRIAN ACCESS TO RESIDENTIAL ENTRANCES. MAXIMUM ALLOWABLE LOSS OF ACCESS IS 48-HOURS. ALL WORK AT ENTRANCES SHALL BE COORDINATED WITH THE RESIDENT AND/OR OWNER.

4.THE CONTRACTOR IS TO OBTAIN SIDEWALK TRAFFIC CONTROL APPROVAL FROM THE CITY PRIOR TO IMPLEMENTATION.

5.SIDEWALK TRAFFIC CONTROL SHALL REMAIN IN PLACE UNTIL SIDEWALKS ARE REPLACED AND ACCESSIBLE.

6. THE COST FOR THE SIDEWALK ACCOMMODATIONS IS INCIDENTAL TO THE COST OF TRAFFIC CONTROL

STAGING

1.THESE STAGING NOTES ARE NOT INTENDED TO RESTRICT THE CONTRACTOR'S ACTIVITIES TO THIS SEQUENCE ALONE. THE CONTRACTOR MAY CONDUCT SEVERAL OPERATIONS CONCURRENTLY, PROVIDED THESE OPERATIONS DO NOT CAUSE CONFLICT.

2. AS LONG AS WORK REMAINS ON THE PROJECT; THE CONTRACTOR SHALL REMAIN ON THE PROJECT. IF ISSUES EXIST WITHIN A STAGE OF THE PROJECT WHICH ARE BEYOND THE CONTRACTOR'S CONTROL (SUCH AS OBSTRUCTIONS OR UTILITY ISSUES), THE CITY HAS THE OPTION TO REVISE THE CONTRACT STAGING AND DIRECT THE CONTRACTOR TO WORK ON OTHER 'UNAFFECTED' STAGES OR AREAS OF THE PROJECT AS SHOWN WITHIN THE CONTRACT DOCUMENTS, AT NO ADDITIONAL COST TO THE OWNER. THE OWNER MAY, AT THE OWNERS DISCRETION, PROVIDE ADDITIONAL DAYS TO THE CONTRACTOR BASED UPON RELOCATION EFFORTS AND SCHEDULING JUSTIFICATION.

3.ONCE WORK WITHIN A STAGE HAS COMMENCED, THE CONTRACTOR SHALL CONTINUE WORK WITHIN THAT STAGE UNTIL ALL WORK WITHIN THAT STAGE HAS BEEN COMPLETED. IF WORK WITHIN THAT STAGE IS NOT COMPLETED AND THE CONTRACTOR REMOVES THE "NORMAL" SIZE CREW (AND/OR EQUIPMENT) FROM THE PROJECT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER, THEN THE CONTRACTOR WILL BE CHARGED A DAY AND IMMEDIATELY ASSESSED THE DISINCENTIVE RATE FOR EACH DAY THE CONTRACTOR'S "NORMAL" SIZE CREW AND EQUIPMENT ARE NOT WORKING ON THE PROJECT. DISINCENTIVES WILL BE ASSESSED AT THE TIME OF MONTHLY PAY APPLICATIONS COVERING ANY PERIOD DURING WHICH THE CONTRACTOR HAD UNAUTHORIZED PERIODS OF WORK STOPPAGES.

4. THE CITY SHALL PERFORM SIDEWALK AND DRIVEWAY REMOVALS PRIOR TO THE PROJECT COMMENCING, AND WILL REPLACE DISTURBED SIGNS ON THE PROJECT. THE CITY SHALL ALSO PROVIDE BORROW FOR THE REQUIRED FILL AND CONTRACTOR SHALL HAUL AND PLACE. CONTRACTOR SHALL COORDINATE WITH CITY AND PROVIDE A MINIMUM 14 DAY NOTICE FOR CITY WHEN REQUESTING BORROW.

5. DAMAGES SHALL BE FIVE-HUNDRED DOLLARS ($500) PER DAY FOR FOR EACH DAY PAST THE COMPLETION DATE FOR PHASE 1, NOT INCLUDING SEASONAL SHUTDOWN, AND FIVE-HUNDRED DOLLARS ($500) PER DAY FOR FOR EACH DAY PAST THE COMPLETION DATE FOR PHASE 2, DAMAGES FOR EACH DAY SHALL BE ASSESSED INDEPENDENTLY FOR EACH PHASE, SEE CONTRACT DOCUMENTS FOR DATES.

PHASE 1:

1a- CITY TO PERFORM DRIVEWAY AND SIDEWALK REMOVALS AND PERFORM EXCAVATION PRIOR TO CONTRACTOR BEGINNING WORK

1b- CONTRACTOR TO FINISH REMOVALS AND PERFORM MILLING

1c- CONTRACTOR TO PERFORM PATCHING, CONSTRUCT NEW CURB AND DRIVEWAYS

1d- CONTRACTOR TO CONSTRUCT HMA OVERLAY

1e- CONTRACTOR TO SEED AREA WITH TEMPORARY STABILIZING CROP

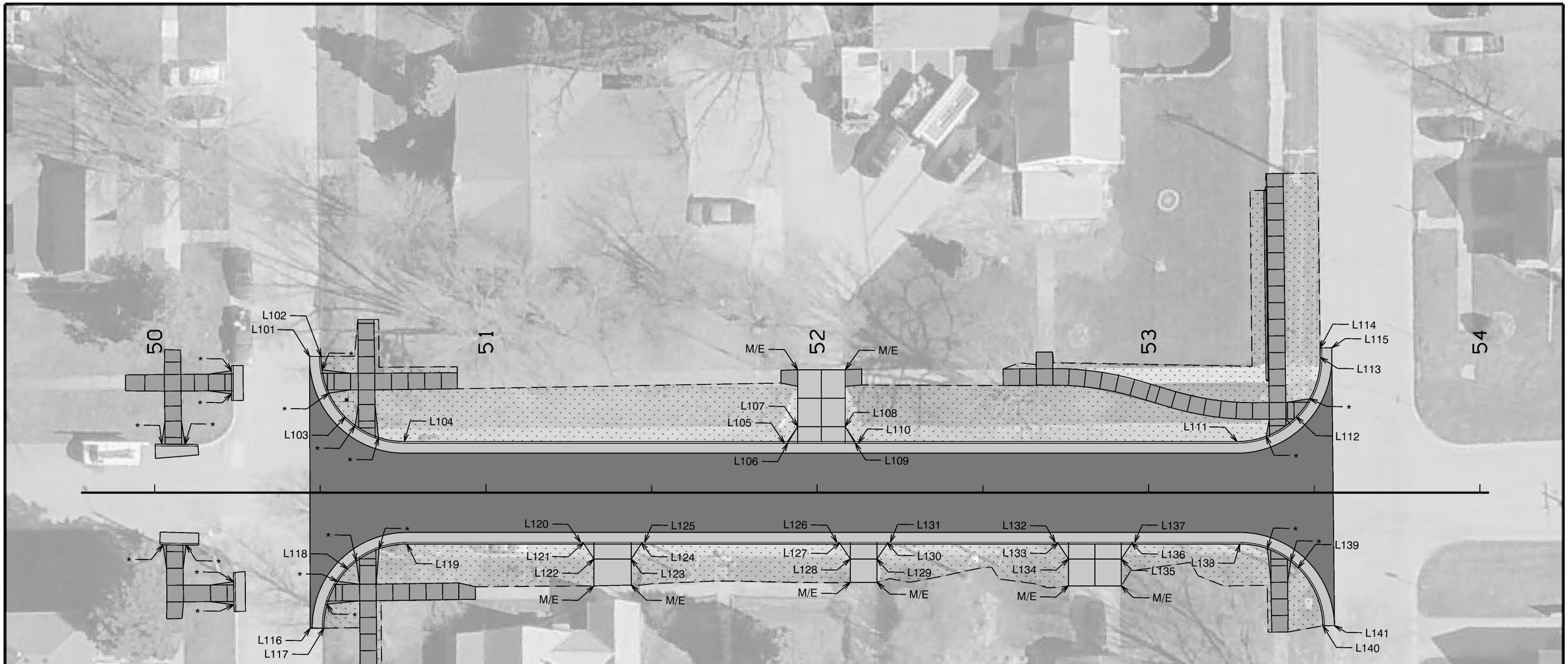
PHASE 2:

2a- CONTRACTOR TO CONSTRUCT SIDEWALKS AND RETAINING WALL

2b- CITY TO PROVIDE REMAINING FILL FOR CONTRACTOR TO HAUL AND PLACE

2c- CONTRACTOR TO FINALIZE GRADING, PERFORM SOIL RESTORATION, AND ESTABLISH SODDING FOR ALL DISTURBED AREAS

2d- CITY TO REPLACE DISTURBED SIGNS



Point	Station	Offset	Elevation	Notes
L101	50+46.80	-41.10	N/A	MATCH EXISTING
L102	50+50.30	-41.10	N/A	MATCH EXISTING, POC
L103	50+57.54	-22.88	868.13	BACK OF CURB, PIC, FG
L104	50+75.27	-15.50	868.23	BACK OF CURB, POT, FG
L105	51+90.12	-15.50	869.50	FORM GRADE, 6" STD CURB
L106	51+91.12	-15.50	869.47	FORM GRADE, 1.5" DROP CURB
L107	51+94.12	-20.00	870.98	EDGE OF DRIVEWAY
L108	52+08.41	-20.00	870.93	EDGE OF DRIVEWAY
L109	52+11.41	-15.50	869.60	FORM GRADE, 1.5" DROP CURB
L110	52+12.41	-15.50	869.60	FORM GRADE, 6" STD CURB
L111	53+26.80	-15.50	866.77	BACK OF CURB, POC, FG
L112	53+44.59	-22.93	865.77	EDGE OF LANDING, PIC, FG
L113	53+51.80	-40.81	866.01	BACK OF CURB, POT, FG
L114	53+51.77	-43.63	N/A	MATCH EXISTING
L115	53+55.26	-43.63	N/A	MATCH EXISTING
L116	50+46.97	40.76	N/A	MATCH EXISTING
L117	50+51.10	40.88	N/A	MATCH EXISTING, POC, FG
L118	50+58.28	22.96	867.05	BACK OF CURB, PIC, FG
L119	50+76.09	15.50	867.65	BACK OF CURB, POT, FG
L120	51+28.59	15.50	867.98	FORM GRADE, 6" STD CURB

Point	Station	Offset	Elevation	Notes
L121	51+29.60	15.50	867.98	FORM GRADE, 1.5" DROP CURB
L122	51+32.60	20.00	868.94	EDGE OF DRIVEWAY
L123	51+43.83	20.00	869.06	EDGE OF DRIVEWAY
L124	51+46.83	15.50	868.35	FORM GRADE, 1.5" DROP CURB
L125	51+47.83	15.50	868.66	FORM GRADE, 6" STD CURB
L126	52+05.93	15.50	868.91	FORM GRADE, 6" STD CURB
L127	52+06.93	15.50	868.87	FORM GRADE, 1.5" DROP CURB
L128	52+09.93	20.00	869.77	EDGE OF DRIVEWAY
L129	52+17.99	20.00	869.66	EDGE OF DRIVEWAY
L130	52+20.99	15.50	868.72	FORM GRADE, 1.5" DROP CURB
L131	52+21.99	15.50	868.98	FORM GRADE, 6" STD CURB
L132	52+71.81	15.50	867.49	FORM GRADE, 6" STD CURB
L133	52+72.81	15.50	867.42	FORM GRADE, 1.5" DROP CURB
L134	52+75.81	20.00	868.19	EDGE OF DRIVEWAY
L135	52+91.76	20.00	867.84	EDGE OF DRIVEWAY
L136	52+94.76	15.50	866.71	FORM GRADE, 1.5" DROP CURB
L137	52+95.74	15.50	866.94	FORM GRADE, 6" STD CURB
L138	53+27.61	15.50	866.48	BACK OF CURB, POC, FG
L139	53+45.16	22.69	866.35	BACK OF CURB, PIC, FG
L140	53+52.60	40.14	N/A	MATCH EXISTING
L141	53+56.10	40.14	N/A	MATCH EXISTING

NOTES:

- 'M/E' = MATCH EXISTING
- ANY POINT LABELED '*' INDICATES BEGIN/END OF CURB HEIGHT TRANSITION; SEE S SHEETS FOR SIDEWALK STAKING INFORMATION

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Model: L.01

PenTbl: hrg.tbl
Last Saved: 4/20/2021

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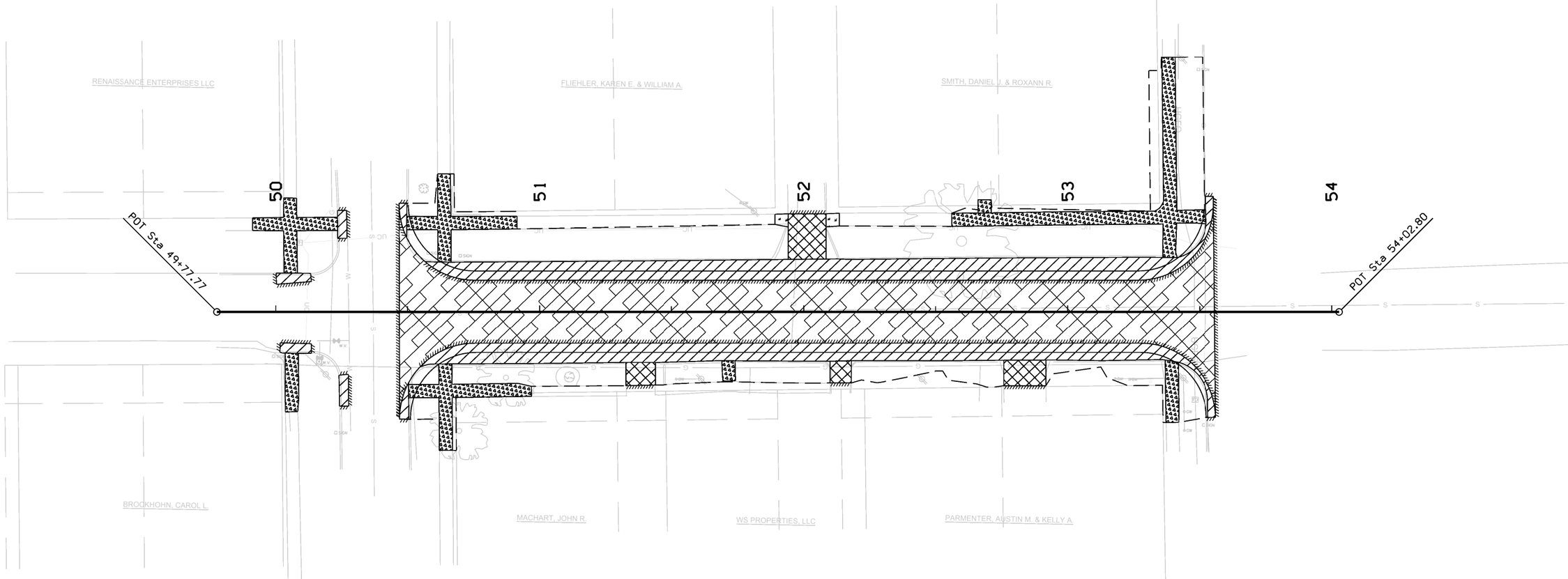
E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
GEOMETRIC STAKING AND JOINTING

SHEET NO.
L.01



LEGEND

- PAVEMENT REMOVAL
- DRIVEWAY REMOVAL
- MILLING
- SIDEWALK REMOVAL

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Model: R.01

PenTbl: hrg.tbl
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NO.	DATE	BY	REVISION DESCRIPTION

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E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
REMOVALS PLAN

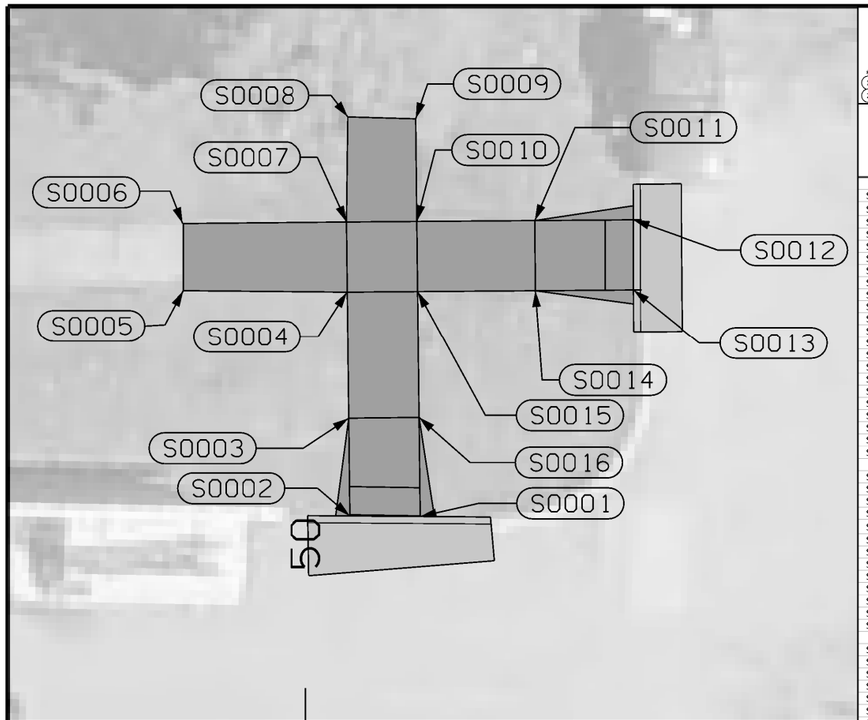
SHEET NO.
R.01

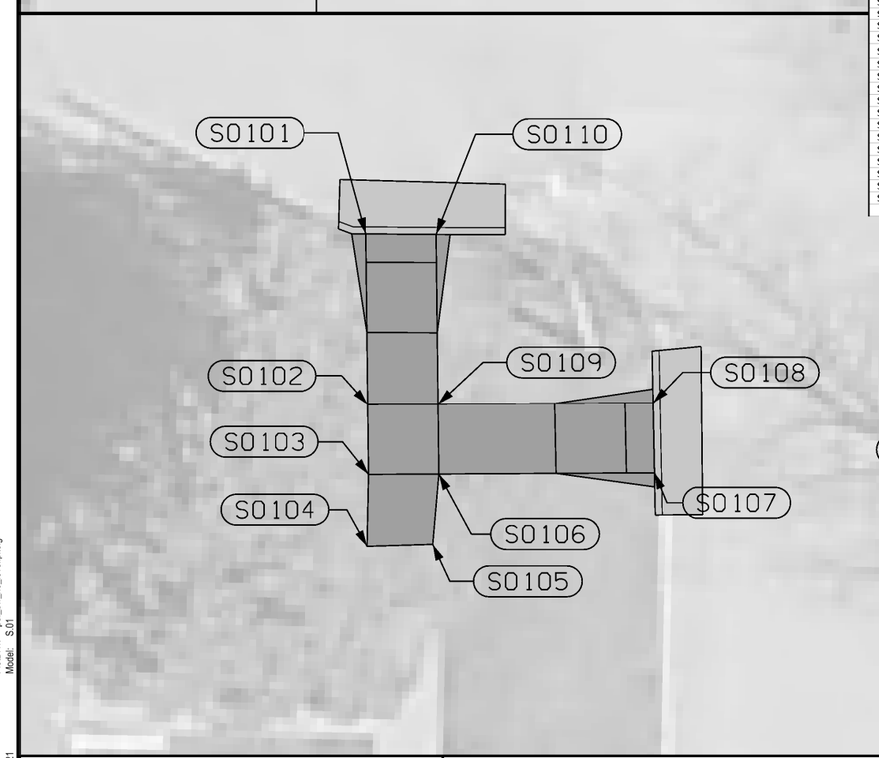
SIDEWALK COMPLIANCE

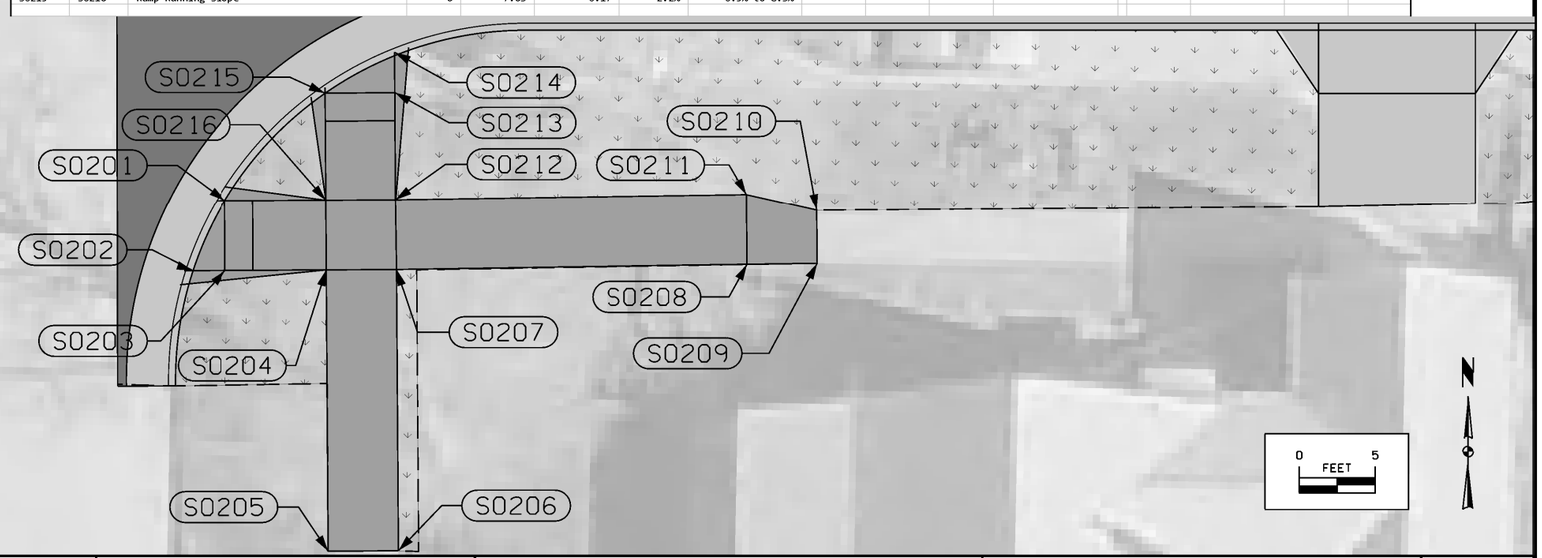
See S Sheets

* Does not include curb
(1) Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
(2) Refer to tabulation 113-01 for bid quantities.

Point to Point		Sidewalk Designation	_" PCC Sidewalk (2)	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? (1)	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES Point	Station	Offset	Elevation
S0001	S0002	Crosswalk Cross Slope - No Yield Condition	6	5.00	-0.15	-3.0%	0.0% to 5.0%					S0001	0+19.21	-7.83	866.63
S0001	S0016	Ramp Running Slope	6	7.05	0.35	5.0%	0.5% to 8.3%					S0002	0+14.21	-7.87	866.48
S0002	S0003	Ramp Running Slope	6	6.95	0.52	7.5%	0.5% to 8.3%	Yes				S0003	0+14.13	-14.82	867.00
S0003	S0004	Ramp Running Slope	6	9.02	0.68	7.5%	0.5% to 8.3%	Yes				S0004	0+14.03	-23.84	867.68
S0003	S0016	Ramp Cross Slope	6	5.00	-0.02	-0.4%	0.1% to 2.0%					S0005	0+02.30	-23.95	867.16
S0004	S0005	Sidewalk Running Slope	4	11.72	-0.52	-4.4%	0.5% to 5.0%	Yes				S0006	0+02.31	-28.73	867.21
S0004	S0007	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%					S0007	0+13.97	-28.84	867.75
S0004	S0015	Landing/Turning Space	6	5.00	-0.02	-0.4%	0.1% to 2.0%					S0008	0+14.07	-36.33	868.33
S0005	S0006	Match Existing Cross Slope	4	4.78	0.05	1.0%	Match Existing					S0009	0+18.89	-36.19	868.23
S0006	S0007	Sidewalk Running Slope	4	11.72	0.54	4.6%	0.5% to 5.0%	Yes				S0010	0+18.97	-28.88	867.73
S0007	S0008	Ramp Running Slope	6	7.50	0.58	7.7%	0.5% to 8.3%	Yes				S0011	0+27.37	-28.95	867.66
S0007	S0010	Landing/Turning Space	6	5.00	-0.02	-0.4%	0.1% to 2.0%					S0012	0+34.36	-29.00	867.62
S0008	S0009	Match Existing Cross Slope	4	4.83	-0.10	-2.1%	Match Existing					S0013	0+34.38	-24.00	867.53
S0009	S0010	Ramp Running Slope	6	7.31	-0.50	-6.8%	0.5% to 8.3%					S0014	0+27.40	-23.95	867.59
S0010	S0011	Ramp Running Slope	6	8.39	-0.07	-0.8%	0.5% to 8.3%					S0015	0+19.03	-23.88	867.66
S0010	S0015	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0016	0+19.13	-14.88	866.98
S0011	S0012	Ramp Running Slope	6	7.00	-0.04	-0.6%	0.5% to 8.3%								
S0011	S0014	Ramp Cross Slope	6	5.00	-0.07	-1.4%	0.1% to 2.0%								
S0012	S0013	Crosswalk Cross Slope - No Yield Condition	6	5.00	-0.09	-1.8%	0.0% to 5.0%								
S0013	S0014	Ramp Running Slope	6	7.00	0.06	0.9%	0.5% to 8.3%								
S0014	S0015	Ramp Running Slope	6	8.37	0.07	0.8%	0.5% to 8.3%								
S0015	S0016	Ramp Running Slope	6	9.00	-0.68	-7.6%	0.5% to 8.3%	Yes							
S0101	S0102	Ramp Running Slope	6	12.18	0.35	2.9%	0.5% to 8.3%					S0101	0+14.56	22.57	866.56
S0101	S0110	Crosswalk Cross Slope - No Yield Condition	6	5.00	0.05	1.0%	0.0% to 5.0%					S0102	0+14.70	34.75	866.91
S0102	S0103	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%					S0103	0+14.76	39.75	866.98
S0102	S0109	Landing/Turning Space	6	5.00	-0.02	-0.4%	0.1% to 2.0%					S0104	0+14.65	44.87	866.68
S0103	S0104	Ramp Running Slope	6	5.12	-0.30	-5.9%	0.5% to 8.3%					S0105	0+19.33	44.73	866.75
S0103	S0106	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0106	0+19.76	39.73	866.91
S0104	S0105	Match Existing Cross Slope	4	4.67	0.07	1.5%	Match Existing					S0107	0+35.10	39.64	866.10
S0105	S0106	Ramp Running Slope	6	5.02	0.16	3.2%	0.5% to 8.3%					S0108	0+34.99	34.64	866.31
S0106	S0107	Ramp Running Slope	6	15.34	-0.81	-5.3%	0.5% to 8.3%					S0109	0+19.70	34.73	866.89
S0106	S0109	Landing/Turning Space	6	5.00	-0.02	-0.4%	0.1% to 2.0%					S0110	0+19.56	22.61	866.61
S0107	S0108	Crosswalk Cross Slope - No Yield Condition	6	5.00	0.21	4.2%	0.0% to 5.0%								
S0108	S0109	Ramp Running Slope	6	15.30	0.58	3.8%	0.5% to 8.3%								
S0109	S0110	Ramp Running Slope	6	12.11	-0.28	-2.3%	0.5% to 8.3%								
S0201	S0202	Crosswalk Cross Slope - No Yield Condition	6	5.51	-0.17	-3.1%	0.0% to 5.0%					S0201	0+65.69	34.47	866.41
S0201	S0203	Ramp Cross Slope	6	5.00	0.02	0.4%	0.1% to 2.0%					S0202	0+63.40	39.48	866.24
S0202	S0203	Ramp Running Slope	6	2.32	0.19	8.2%	0.5% to 8.3%	Yes				S0203	0+65.72	39.47	866.43
S0203	S0204	Ramp Running Slope	6	7.21	0.54	7.5%	0.5% to 8.3%	Yes				S0204	0+72.93	39.43	866.97
S0204	S0205	Ramp Running Slope	6	20.00	1.15	5.7%	0.5% to 8.3%					S0205	0+73.06	59.43	868.12
S0204	S0207	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%					S0206	0+78.06	59.40	868.38
S0204	S0216	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0207	0+77.93	39.40	867.04
S0205	S0206	Match Existing Cross Slope	4	5.00	0.26	5.2%	Match Existing					S0208	1+02.93	39.04	869.00
S0206	S0207	Ramp Running Slope	6	20.00	-1.34	-6.7%	0.5% to 8.3%					S0209	1+07.93	38.96	869.39
S0207	S0208	Ramp Running Slope	6	25.00	1.96	7.8%	0.5% to 8.3%	Yes				S0210	1+07.89	35.17	868.36
S0311	S0313	Ramp Cross Slope	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0211	1+02.88	34.04	868.95
S0208	S0209	Ramp Running Slope	6	5.00	0.39	7.8%	0.5% to 8.3%	Yes				S0212	0+77.85	34.40	866.97
S0208	S0211	Sidewalk Cross Slope	4	5.00	-0.05	-1.0%	0.5% to 2.0%					S0213	0+77.81	26.75	866.80
S0209	S0210	Match Existing Cross Slope	4	3.79	-0.03	-0.8%	Match Existing					S0214	0+77.79	24.12	866.90
S0210	S0211	Ramp Running Slope	6	5.14	-0.41	-8.0%	0.5% to 8.3%	Yes				S0215	0+72.85	26.80	866.73
S0211	S0212	Ramp Running Slope	6	25.03	-1.98	-7.9%	0.5% to 8.3%	Yes				S0216	0+72.90	34.43	866.90
S0212	S0213	Ramp Running Slope	6	7.65	-0.17	-2.2%	0.5% to 8.3%								
S0212	S0216	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%								
S0213	S0214	Ramp Running Slope	6	2.87	0.10	3.5%	0.5% to 8.3%								
S0213	S0215	Ramp Cross Slope	6	5.00	-0.07	-1.4%	0.1% to 2.0%								
S0214	S0215	Crosswalk Cross Slope - No Yield Condition	6	5.74	-0.17	-3.0%	0.0% to 5.0%								
S0215	S0216	Ramp Running Slope	6	7.63	0.17	2.2%	0.5% to 8.3%								







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E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
SIDEWALK STAKING

SHEET NO.
S.01

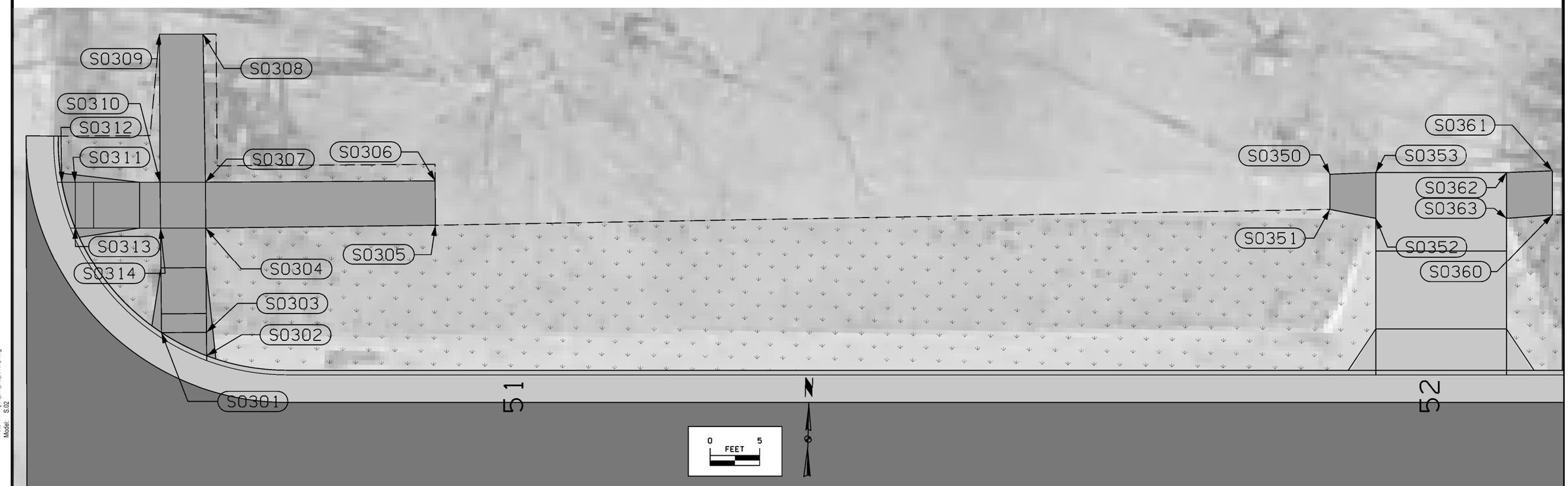
PlotDrvr: pdf_bw_no_level.pltcfg
Model: S.01
PenTbl: hrg.tbl
Last Saved: 4/20/2021

SIDEWALK COMPLIANCE

See S Sheets

* Does not include curb
(1) Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
(2) Refer to tabulation 113-01 for bid quantities.

Point to Point		Sidewalk Designation	_" PCC Sidewalk (2)	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? (1)	Measured Slope %	Initials	Remarks	FOR INFORMATION ONLY: VALUES USED TO DETERMINE DESIGNED SLOPES Point	Station	Offset	Elevation
S0301	S0302	Crosswalk Cross Slope - No Yield Condition	6	5.58	0.00	0.0%	0.0% to 5.0%					S0301	0+72.61	-12.79	867.57
S0301	S0303	Ramp Cross Slope	6	5.00	0.07	1.4%	0.1% to 2.0%					S0302	0+77.59	-10.27	867.57
S0301	S0314	Ramp Running Slope	6	11.56	0.86	7.4%	0.5% to 8.3%	Yes				S0303	0+77.57	-12.83	867.64
S0302	S0303	Ramp Running Slope	6	2.56	0.07	2.7%	0.5% to 8.3%					S0304	0+77.49	-24.23	868.50
S0303	S0304	Ramp Running Slope	6	11.41	0.86	7.5%	0.5% to 8.3%	Yes				S0305	1+02.49	-24.55	870.36
S0304	S0305	Ramp Running Slope	6	25.00	1.86	7.4%	0.5% to 8.3%	Yes				S0306	1+02.46	-29.39	870.51
S0304	S0307	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%					S0307	0+77.46	-29.23	868.57
S0304	S0314	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0308	0+77.19	-45.39	869.76
S0305	S0306	Match Existing Cross Slope	4	4.84	0.15	3.1%	Match Existing					S0309	0+72.39	-45.39	869.65
S0306	S0307	Ramp Running Slope	6	25.00	-1.94	-7.8%	0.5% to 8.3%	Yes				S0310	0+72.46	-29.23	868.50
S0307	S0308	Ramp Running Slope	6	16.16	1.19	7.4%	0.5% to 8.3%	Yes				S0311	0+63.19	-29.23	867.95
S0307	S0310	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%					S0312	0+61.73	-29.23	867.87
S0308	S0309	Match Existing Cross Slope	4	4.81	-0.11	-2.3%	Match Existing					S0313	0+63.19	-24.23	867.88
S0309	S0310	Ramp Running Slope	6	16.16	-1.15	-7.1%	0.5% to 8.3%					S0314	0+72.50	-24.23	868.43
S0310	S0311	Ramp Running Slope	6	9.27	-0.55	-5.9%	0.5% to 8.3%								
S0310	S0314	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%								
S0311	S0312	Ramp Running Slope	6	1.44	-0.08	-5.6%	0.5% to 8.3%								
S0311	S0313	Ramp Cross Slope	6	5.00	-0.07	-1.4%	0.1% to 2.0%								
S0312	S0313	Crosswalk Cross Slope - No Yield Condition	6	5.20	0.01	0.2%	0.0% to 5.0%								
S0313	S0314	Ramp Running Slope	6	9.32	0.55	5.9%	0.5% to 8.3%								
S0350	S0351	Match Existing Cross Slope	4	3.83	-0.13	-3.4%	Match Existing					S0350	2+00.17	-30.11	872.87
S0350	S0353	Sidewalk Running Slope	4	5.00	0.07	1.4%	0.5% to 5.0%					S0351	2+00.17	-26.28	872.74
S0351	S0352	Sidewalk Running Slope	4	5.10	0.13	2.5%	0.5% to 5.0%					S0352	2+05.17	-25.29	872.87
S0352	S0353	Sidewalk Cross Slope	4	5.00	0.07	1.4%	0.5% to 2.0%					S0353	2+05.17	-30.29	872.94
S0360	S0361	Match Existing Cross Slope	4	4.81	0.04	0.8%	Match Existing					S0360	2+24.47	-25.68	872.90
S0360	S0363	Sidewalk Running Slope	4	5.02	-0.05	-1.0%	0.5% to 5.0%					S0361	2+24.47	-30.48	872.94
S0361	S0362	Sidewalk Running Slope	4	5.00	-0.02	-0.4%	0.5% to 5.0%					S0362	2+19.47	-30.29	872.92
S0362	S0363	Sidewalk Cross Slope	4	5.00	-0.07	-1.4%	0.5% to 2.0%					S0363	2+19.47	-25.29	872.85



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NO.	DATE	BY	REVISION DESCRIPTION

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E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
SIDEWALK STAKING

SHEET NO.
S.02

PlotDrvr: pdf_bw_no_level.pltcfg
Model: S.02
PenTbl: hrg.tbl
Last Saved: 4/20/2021

113-10
04-18-17

SIDEWALK COMPLIANCE

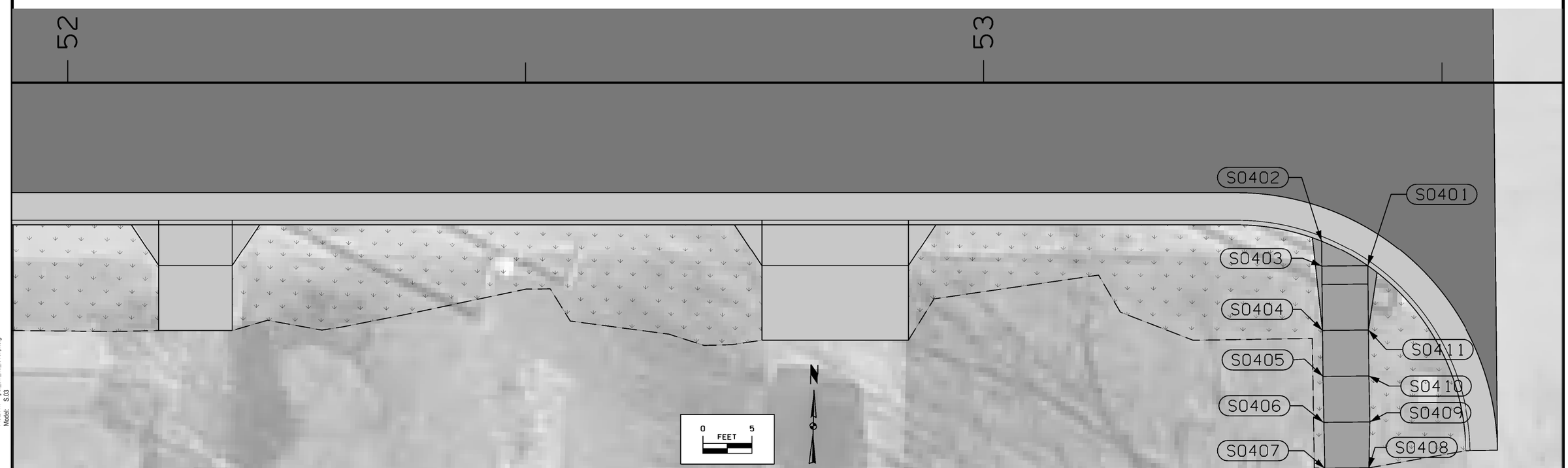
See S Sheets

* Does not include curb
(1) Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
(2) Refer to tabulation 113-01 for bid quantities.

Point to Point		Sidewalk Designation	_" PCC Sidewalk (2)	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? (1)	Measured Slope %	Initials	Remarks
S0401	S0402	Crosswalk Cross Slope - No Yield Condition	6	5.71	-0.06	-1.1%	0.0% to 5.0%				
S0401	S0403	Ramp Cross Slope	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0401	S0411	Ramp Running Slope	6	7.00	0.51	7.3%	0.5% to 8.3%				
S0402	S0403	Ramp Running Slope	6	2.77	0.13	4.7%	0.5% to 8.3%				
S0403	S0404	Ramp Running Slope	6	7.00	0.51	7.3%	0.5% to 8.3%				
S0404	S0405	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0404	S0411	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0405	S0406	Ramp Running Slope	6	5.00	0.36	7.2%	0.5% to 8.3%				
S0405	S0410	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0406	S0407	Ramp Running Slope	6	5.00	0.35	7.0%	0.5% to 8.3%				
S0406	S0409	Sidewalk Cross Slope	4	5.00	-0.07	-1.4%	0.5% to 2.0%				
S0407	S0408	Match Existing Cross Slope	4	4.80	-0.12	-2.5%	Match Existing				
S0408	S0409	Ramp Running Slope	6	5.00	-0.30	-6.0%	0.5% to 8.3%				
S0409	S0410	Ramp Running Slope	6	5.00	-0.36	-7.2%	0.5% to 8.3%				
S0410	S0411	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				

FOR INFORMATION ONLY:
VALUES USED TO DETERMINE DESIGNED SLOPES

Point	Station	Offset	Elevation
S0401	3+52.98	26.81	865.77
S0402	3+47.95	24.10	865.71
S0403	3+47.98	26.86	865.84
S0404	3+48.05	33.86	866.35
S0405	3+48.10	38.86	866.42
S0406	3+48.15	43.86	866.78
S0407	3+48.30	48.86	867.13
S0408	3+53.09	48.81	867.01
S0409	3+53.20	43.81	866.71
S0410	3+53.10	38.81	866.35
S0411	3+53.05	33.81	866.28



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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen.com
HRGreen

E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
SIDEWALK STAKING

SHEET NO.
S.03

SIDEWALK COMPLIANCE

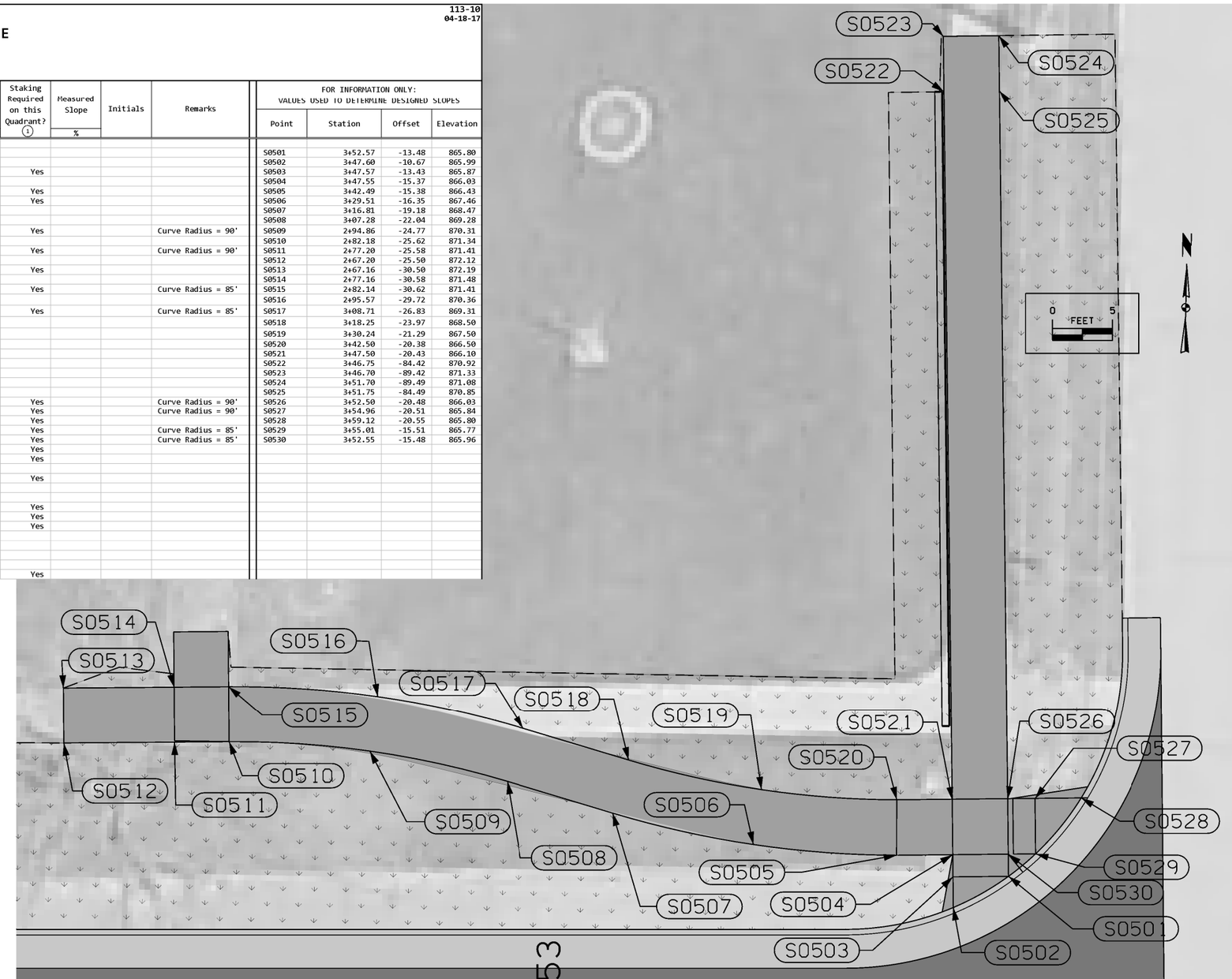
See S Sheets

* Does not include curb
(1) Staking required by Contracting Authority per Article 2511.03 of the Standard Specifications.
(2) Refer to tabulation 113-01 for bid quantities.

Point to Point		Sidewalk Designation	_" PCC Sidewalk (2)	Distance* FT	Δ Elevation FT	Slope %	Acceptable Constructed Range Pos. or Neg.	Staking Required on this Quadrant? (1)	Measured Slope %	Initials	Remarks
S0501	S0502	Crosswalk Cross Slope - No Yield Condition	6	5.71	0.19	3.3%	0.0% to 5.0%				
S0501	S0503	Ramp Cross Slope	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0501	S0530	Ramp Running Slope	6	2.00	0.16	8.0%	0.5% to 8.3%	Yes			
S0502	S0503	Ramp Running Slope	6	2.76	-0.12	-4.3%	0.5% to 8.3%				
S0503	S0504	Ramp Running Slope	6	2.00	0.16	8.0%	0.5% to 8.3%	Yes			
S0504	S0505	Ramp Running Slope	6	5.00	0.40	8.0%	0.5% to 8.3%	Yes			
S0504	S0521	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0504	S0530	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0505	S0506	Ramp Running Slope	6	13.02	1.03	7.9%	0.5% to 8.3%	Yes			Curve Radius = 90'
S0505	S0520	Sidewalk Cross Slope	4	5.00	0.07	1.4%	0.5% to 2.0%				
S0506	S0507	Ramp Running Slope	6	13.02	1.01	7.8%	0.5% to 8.3%	Yes			Curve Radius = 90'
S0506	S0519	Sidewalk Cross Slope	4	5.00	0.04	0.8%	0.5% to 2.0%				
S0507	S0508	Ramp Running Slope	6	9.96	0.81	8.1%	0.5% to 8.3%	Yes			
S0507	S0518	Sidewalk Cross Slope	4	5.00	0.03	0.6%	0.5% to 2.0%				
S0508	S0509	Ramp Running Slope	6	12.72	1.03	8.1%	0.5% to 8.3%	Yes			Curve Radius = 85'
S0508	S0517	Sidewalk Cross Slope	4	5.00	0.03	0.6%	0.5% to 2.0%				
S0509	S0510	Ramp Running Slope	6	12.72	1.03	8.1%	0.5% to 8.3%	Yes			Curve Radius = 85'
S0509	S0516	Sidewalk Cross Slope	4	5.00	0.05	1.0%	0.5% to 2.0%				
S0510	S0511	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0510	S0515	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0511	S0512	Ramp Running Slope	6	10.00	0.71	7.1%	0.5% to 8.3%				
S0511	S0514	Landing/Turning Space	6	5.00	0.07	1.4%	0.1% to 2.0%				
S0512	S0513	Match Existing Cross Slope	4	5.00	0.07	1.4%	Match Existing				
S0513	S0514	Ramp Running Slope	6	10.00	-0.71	-7.1%	0.5% to 8.3%				
S0514	S0515	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0515	S0516	Ramp Running Slope	6	13.47	-1.05	-7.8%	0.5% to 8.3%	Yes			Curve Radius = 90'
S0516	S0517	Ramp Running Slope	6	13.47	-1.05	-7.8%	0.5% to 8.3%	Yes			Curve Radius = 90'
S0517	S0518	Ramp Running Slope	6	9.96	-0.81	-8.1%	0.5% to 8.3%	Yes			
S0518	S0519	Ramp Running Slope	6	12.30	-1.00	-8.1%	0.5% to 8.3%	Yes			Curve Radius = 85'
S0519	S0520	Ramp Running Slope	6	12.30	-1.00	-8.1%	0.5% to 8.3%	Yes			Curve Radius = 85'
S0520	S0521	Ramp Running Slope	6	5.00	-0.40	-8.0%	0.5% to 8.3%	Yes			
S0521	S0522	Ramp Running Slope	6	64.05	4.82	7.5%	0.5% to 8.3%	Yes			
S0521	S0526	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0522	S0523	Ramp Running Slope	6	5.00	0.41	8.2%	0.5% to 8.3%	Yes			
S0522	S0525	Sidewalk Cross Slope	4	5.00	-0.07	-1.4%	0.5% to 2.0%				
S0523	S0524	Match Existing Cross Slope	4	5.00	-0.25	-5.0%	Match Existing				
S0524	S0525	Sidewalk Running Slope	4	5.00	-0.23	-4.6%	0.5% to 5.0%	Yes			
S0525	S0526	Ramp Running Slope	6	64.05	-4.82	-7.5%	0.5% to 8.3%	Yes			
S0526	S0527	Ramp Running Slope	6	2.46	-0.19	-7.7%	0.5% to 8.3%	Yes			
S0526	S0530	Landing/Turning Space	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0527	S0528	Ramp Running Slope	6	4.16	-0.04	-1.0%	0.5% to 8.3%				
S0527	S0529	Ramp Cross Slope	6	5.00	-0.07	-1.4%	0.1% to 2.0%				
S0528	S0529	Crosswalk Cross Slope - No Yield Condition	6	6.50	-0.03	-0.5%	0.0% to 5.0%				
S0529	S0530	Ramp Running Slope	6	2.46	0.19	7.7%	0.5% to 8.3%	Yes			

FOR INFORMATION ONLY:
VALUES USED TO DETERMINE DESIGNED SLOPES

Point	Station	Offset	Elevation
S0501	3+52.57	-13.48	865.80
S0502	3+47.60	-10.67	865.99
S0503	3+47.57	-13.43	865.87
S0504	3+47.55	-15.37	866.03
S0505	3+42.49	-15.38	866.43
S0506	3+29.51	-16.35	867.46
S0507	3+16.81	-19.18	868.47
S0508	3+07.28	-22.04	869.28
S0509	2+94.86	-24.77	870.31
S0510	2+82.18	-25.62	871.34
S0511	2+77.20	-25.58	871.41
S0512	2+67.20	-25.50	872.12
S0513	2+67.16	-30.50	872.19
S0514	2+77.16	-30.58	871.48
S0515	2+82.14	-30.62	871.41
S0516	2+95.57	-29.72	870.36
S0517	3+08.71	-26.83	869.31
S0518	3+18.25	-23.97	868.50
S0519	3+30.24	-21.29	867.50
S0520	3+42.50	-20.38	866.50
S0521	3+47.50	-20.43	866.10
S0522	3+46.75	-84.42	870.92
S0523	3+46.70	-89.42	871.33
S0524	3+51.70	-89.49	871.08
S0525	3+51.75	-84.49	870.85
S0526	3+52.50	-20.48	866.03
S0527	3+54.96	-20.51	865.84
S0528	3+59.12	-20.55	865.80
S0529	3+55.01	-15.51	865.77
S0530	3+52.55	-15.48	865.96



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NO.	DATE	BY	REVISION DESCRIPTION

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E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
SIDEWALK STAKING

SHEET NO.
S.04

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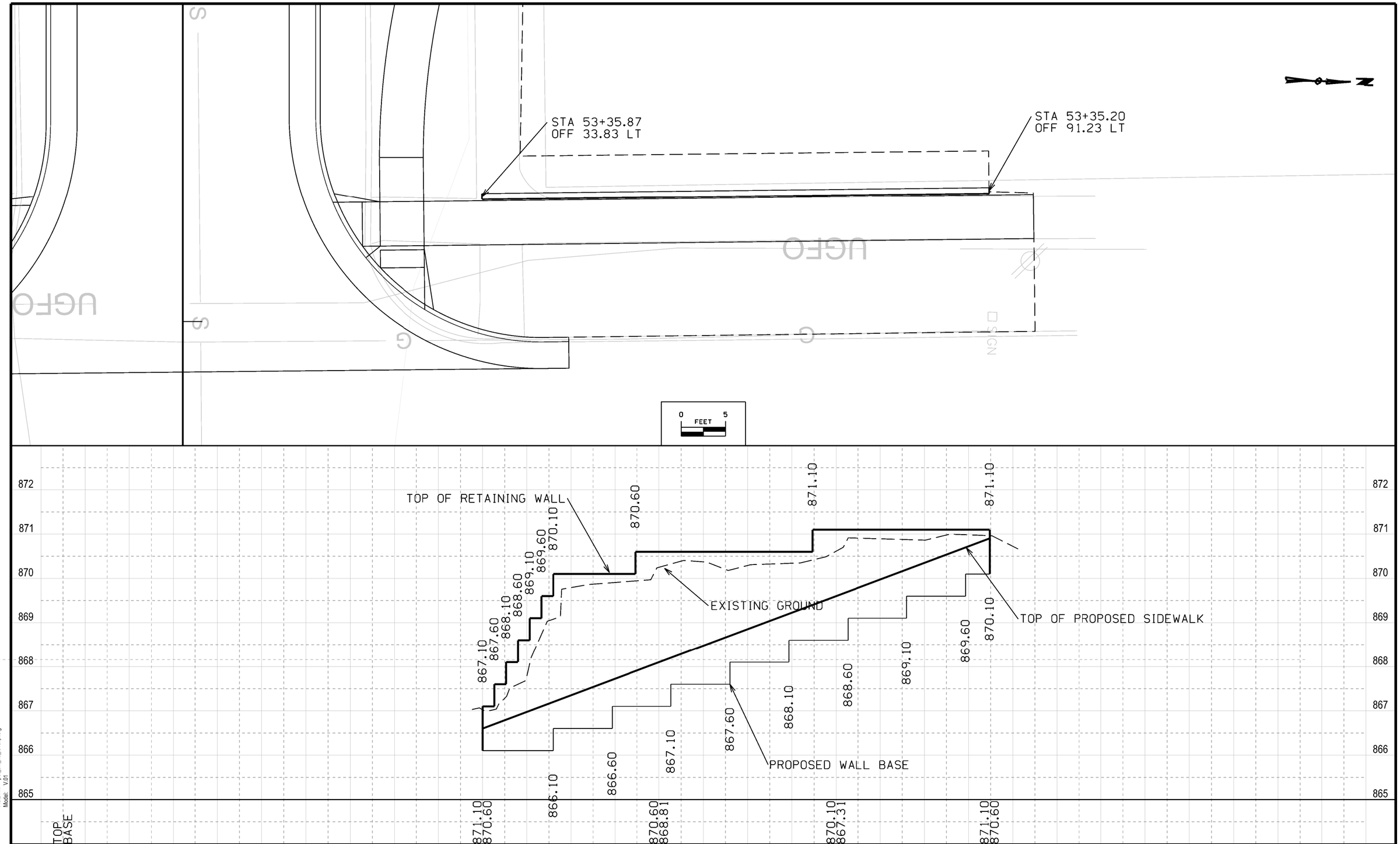

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NO.	DATE	BY	REVISION DESCRIPTION

HRGreen.com
HRGreen

E SYCAMORE ST
N DAVIS ST TO N WILLIAMS ST
MILL & OVERLAY W/CURB REPLACEMENT
City of Anamosa, IA

SYCAMORE STREET
RETAINING WALL PLAN AND PROFILE

SHEET NO.
V.01

PlotDrvr: pdf_bw_no_level.pltcfg
Model: V.01
PenTbl: hrg.tbl
Last Saved: 7/21/2021

RESOLUTION NO. 2021-

RESOLUTION SETTING PUBLIC HEARING ON PROPOSED PLANS AND SPECIFICATIONS, PROPOSED FORM OF CONTRACT AND ESTIMATE OF COSTS FOR THE ANAMOSA SYCAMORE STREET PROJECT AND THE TAKING OF BIDS FOR SUCH WORK

WHEREAS, the City Council of the City of Anamosa, Iowa now desires to make improvements to Sycamore Street; and

WHEREAS, the City Council has contracted with HR Green to design these improvements; and

WHEREAS, the City Council of the City of ANAMOSA, Iowa, has heretofore authorized the preparation of plans, specifications and bid documents for the improvements on Sycamore Street, said plans having been filed with the City Clerk on, or about, July 21, 2021 and

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of ANAMOSA, Iowa, that said improvements are hereby ordered constructed, and that the City Clerk publish notice of date of letting for August 12, 2021 at which time the City Clerk will receive bids for said work up until 2:00 pm, at which time all bids will be opened and publicly read with action to be taken on said bids at a City Council meeting at 6:00 P.M. on August 23, 2021, said notice to be published once at least four, but not more than 45 clear days prior to the date set for letting.

BE IT FURTHER RESOLVED, that a public hearing be held, on August 23, 2021, at 6:00 P.M. for consideration of the adoption by the City Council of the proposed plans, specifications and proposed form of contract for said improvements. The City Clerk shall publish notice of said hearing once at least four, but not more than 20 days prior to the date set for hearing.

Councilmember _____ introduced the foregoing Resolution No. 2021- and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the vote;

COUNCILMEMBER	AYES	NAYS	ABSENT	ABSTAIN
Crump, Rich	X			
Smith, Kay	X			
Machart, John	X			
Zumbach, Alan	X			
Stout, Jeff	X			
Capron, Galen	X			

PASSED AND APPROVED this 26th day of July, 2021.

_____
Rod Smith, Mayor

ATTEST:_____
Beth Brincks, City Clerk

6/7/2021
Bank Account: $75,666.72 ($40,666.72)
Members Present: 23
Previous Minutes: Motion to approve Jason Snow, 2nd by Mike Miner (carried)
Old Business:

- Discussed 11 fire calls
- New Boxes are on truck 5
- Keep bathrooms clean

New Business:

- Caseys donated antifreeze, if you want some take it.
- Fireworks Saturday the 4th. We will need help.
- Main street will be closed from Midnight Thursday to Midnight Friday for RAGBRI. We will start shifts at 12 pm on Thursday.
- Will cost $1,500 to repaint lettering on the building and $6,000 to re-vinyl. Some people are going to check on other options. Tabled for next meeting.
- Wednesday morning will be a library visit for kids.
- Make sure you are finding something to do on a fire scene. Always need help. If a chief or driver askes you to do something, do it.
- $734,000 for building bid. We have $26,800 in alternates for building which makes total bit $760,000. We will need to figure out where other money is coming from to make up difference. Either cut expenses or use money from out account. Tabled for another meeting.
- We are hosting the county meeting the 15th. Air bag demonstration. Tim will figure out a food situation. Cleaning the station the 14th at 6:30.
- Going to have a board meeting at some point this month.
- Motion by Jeff Swisher 2nd by Justin Buck to buy a 5 to 4 inch adapter to match Martelles hose. (Carried)
- July 17th and 18th summer fire school
- CITA fire school September 18th and 19th
- Chief vote: Dan Frank elected new chief with a vote of 16-6.

Motion to adjourn: 1st- Jason Snow 2nd- Jason Barns
Bank Night: Robert Young

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

Request for Information Transmittal

PROJECT:	City of Anamosa - Fire Station Addition
DATE:	7/12/2021
RETURN BY:	7/19/2021
REQUEST FOR INFORMATION ID:	RFI-001
SUBJECT:	RFI-001 Building Colors
TYPE:	Request for Information
VIA:	Email
PURPOSE:	To Answer

QUESTION: The color review for the building stated tan and green. It was relayed to Boomerang by the fire chief that Hawaiian Blue with white Trim were the selected colors by the fire department. As they plan to have the existing building reskinned to correspond with the Anamosa School Colors at some point in the future. Please Verify.

SUGGESTION:

ANSWER:

TO:	COMPANY / ADDRESS	PHONE
Phillip Parrott pparrott@shive-hattery.com	Shive-Hattery, Inc. 4125 Westown Parkway Suite 100 West Des Moines IA 50266-598 United States	515.223.8104

FROM:	COMPANY / ADDRESS	PHONE
Kristen Conrad kconrad@shive-hattery.com	Shive-Hattery, Inc. 4125 Westown Parkway Suite 100 West Des Moines IA 50266-598 United States	515.223.8104

REMARKS: The color review for the building stated tan and green. It was relayed to Boomerang by the fire chief that Hawaiian Blue with white Trim were the selected colors by the fire department. As they plan to have the existing building reskinned to correspond with the Anamosa School Colors at some point in the future. Please Verify.

For construction administration related transmittals, additional instructions can be found on our website at http://www.shive-hattery.com/pdf/const_admin_trans_122011.pdf The recipient agrees to these additional instructions. In the event that the recipient does not have internet access or the link is not available, please contact the sender for a copy.

When the drawings were produced, the Owner instructed us to match the colors that are on the existing station. Shive-Hattery has not been informed of the Owner's desire to change the colors of the metal panels. If the Owner desire the change, Shive-Hattery has no objections. This RFI response will be distributed to the Owner and used as confirmation to change the colors. Shive-Hattery will produce an ASI indicating the change of color.

Phillip Parrott, Architect
Shive-Hattery

July 12, 2021

RESOLUTION NO. 2021-

RESOLUTION SETTING CORRECTED SALARIES FOR FISCAL YEAR 2021-22 FOR APPOINTED OFFICERS AND EMPLOYEES OF THE CITY OF ANAMOSA, IOWA; AND ESTABLISHING AN EFFECTIVE DATE FOR THIS RESOLUTION

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ANAMOSA:

SECTION 1. The following persons and positions named shall be paid the salaries or wages indicated less legally required or authorized deductions from the amounts set out below on a bi-weekly basis and also make such contributions to Social Security, Medicare, I.P.E.R.S or other purposes as required by law or authorization of the City Council, all subject to audit and review by the City Council. All employees listed below will be considered regular full-time employees working at least 30 hours per week, unless otherwise indicated.

POSITION	EMPLOYEE NAME	ANNUAL SALARY OR HOURLY RATE FOR FY 2021	ANNUAL SALARY OR HOURLY RATE AS OF 7/1/21 Payroll Period	CLASSIFICATION ANNUAL SALARY OR HOURLY
POLICE DEPARTMENT				
EMERGENCY SERVICES ADMINISTRATIVE ASSISTANT	JAIMIE GOBLE	$18.25	$18.75*	HOURLY RATE
PATROL OFFICER	AARON MCMURRIN	$23.50	$25.00*	HOURLY RATE
PATROL OFFICER	NICOLE MINNIHAN	$24.50	$26.50*	HOURLY RATE
PATROL OFFICER	COLIN REEG	$22.50	$23.75*	HOURLY RATE
PATROL OFFICER	DEREK KUNKLE	$22.50	$23.75*	HOURLY RATE

*per Police Department Bargaining Unit Contract

SECTION 7. **EFFECTIVE DATE**: These salaries shall be effective for the first pay period paid after July 1, 2021.

SECTION 8. This resolution declares null and void any sections of previously approved salary resolutions in conflict with sections of this resolution.

Councilmember _____ introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER		AYES	NAYS	ABSENT
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED, ADOPTED AND APPROVED this 26th day of July, 2021.

_____
Rod Smith, Mayor

ATTEST:

_____
Beth Brincks, City Clerk

RESOLUTION NO. 2021-

RESOLUTION APPROVING THE HIRING AND SETTING SALARIES OF SEASONAL PART TIME EMPLOYEES FOR THE PARKS AND RECREATION DEPARTMENT FOR THE 2021 SUMMER SEASON

***WHEREAS*,** with the upcoming summer season there is a need to hire part time seasonal personnel to maintain the parks and to staff the Anamosa Aqua Court; and

***WHEREAS*,** the personnel list and personnel to hire have been reviewed by the Director and recommended to the Parks and Recreation Board where it was approved; and

***WHEREAS*,** such recommendation is now forwarded onto the City Council for their review and consideration.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF ANAMOSA, IOWA, that the following personnel for the upcoming season be approved:

SEASONAL PART-TIME	
Employee Name	**Hourly Rate**
Kian Kaufmann	$7.75

Councilmember Crump introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember Machart seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER		AYES	NAYS	ABSENT
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED AND APPROVED this 26th day of July, 2021.

_____
ROD SMITH, MAYOR

ATTEST:

_____
BETH BRINCKS, CITY CLERK

RESOLUTION NO. 2021-

RESOLUTION SETTING THE DATE FOR THE PUBLIC HEARING ON THE APPLICATION FOR COMMUNITY DEVELOPMENT BLOCK GRANT FUNDS FOR HOUSING REHABILITATION

WHEREAS, the City of Anamosa has committed to submitting an application for community development block grant funds for housing rehabilitation; and

WHEREAS, the application process requires a public hearing; and

WHEREAS, a public notice of said public hearing is required to be published in the designated local paper no less than four and no more than 20 days prior to the public hearing;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF ANAMOSA, IOWA, that the City of Anamosa City Council does hereby set August 9, 2021 at 6:00 p.m. as the date and time for the public hearing to be held in the Anamosa City Hall Council Chambers in Anamosa, Iowa.

FURTHERMORE, that publication of said public notice shall be made in accordance with the State Code of Iowa.

Councilmember _____ introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER	AYES	NAYS	ABSENT	ABSTAIN
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED AND APPROVED this 26th day of July, 2021.

_____
Rod Smith, Mayor

ATTEST:

_____
Beth Brincks, City Clerk

RESOLUTION NO. 2021-

RESOLUTION APPROVING THE HIRING AND SETTING SALARY FOR FULL TIME WASTEWATER OPERATOR FOR THE FISCAL YEAR ENDING JUNE 30, 2022

WHEREAS, the City Council regularly approves the hiring of new staff; and

WHEREAS, two of the Wastewater Operator positions is currently vacant; and

WHEREAS, this position was posted at City Hall for the required 10 days; and

WHEREAS, the Wastewater Superintendent is recommending the candidates below for the position of Wastewater Trainee; and

WHEREAS, such recommendation is now forwarded onto the City Council for their review and consideration.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF ANAMOSA, IOWA, that the following hire be approved with an effective date of July 26, 2021:

Position	Employee Names	Hourly Wage
Wastewater Trainee (Until Grade I Wastewater Operator certification received)	Rachel Neverman	$17.86 (After receipt of Grade I Wastewater Operator certification rate will increase $3.00)
Wastewater Trainee (Until Grade I Wastewater Operator certification received)	Tim Shada	$17.86 (After receipt of Grade I Wastewater Operator certification rate will increase $3.00)

Councilmember _____ introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER		AYES	NAYS	ABSENT
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED AND APPROVED this 26th day of July, 2021.

_____
Rod Smith, Mayor

ATTEST:

_____
Beth Brincks, City Clerk

CITY OF ANAMOSA
BOARD/COMMISSION CONSIDERATION REQUEST

BOARD/COMMISSION NAME: Planning & Zoning

NAME: Jeff Wilken

ADDRESS: 106 Roland St.

PHONE NUMBER: 319 462 5071 Business
319 481 0979 Cell

BRIEF BIOGRAPHY (Please give us some background information about yourself including employment, areas of interest, why this committee is of interest to you, how long you have lived in Anamosa, etc.)

Graduated from Anamosa in 1984
Lived in Rural Jones County Around Anamosa Most
of my Life. Lived in Anamosa 15 yrs
I own Automotive Services & I've Been in Business 23 yrs.
I was Asked By Mike Shaffer if I would Be Interested
in Being on this Board. I Dont Have A lot of Knowledge
in This Area But I Am willing To learn & Do my Best.

ORDINANCE NO. _____

AN ORDINANCE AMENDING SECTION 95.06 OF THE CODE OF ORDINANCES OF THE CITY OF ANAMOSA, IOWA, AND ADDING SECTION 90.10(3) TO REQUIRE ANNEXATION AS A CONDITION FOR CONNECTION TO THE CITY'S SANITARY SEWER SERVICE AND WATERWORKS SYSTEM

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ANAMOSA, IOWA:

Section 1. Amendment to Section 95.06. Section 95.06 of the Code of Ordinances of the City of Anamosa, Iowa, is amended as follows with underlined text indicating language added and unaltered text indicating existing language unchanged by this amendment but included for context:

> **95.06 SERVICE OUTSIDE THE CITY.** The owners of property outside the corporate limits of the City so situated that it may be served by the City sewer system may apply to the Council for permission to connect to the public sewer upon the terms and conditions stipulated by resolution or ordinance of the Council. Any such application for connection to the public sewer shall be accompanied by an application to voluntarily annex such property to the City and become a part thereof. No such application for connection to the public sewer shall be granted absent annexation of such property.

Section 2. Addition of Section 90.10(3). Section 90.10(3) of the Code of Ordinances of the City of Anamosa, Iowa, is added as follows:

> 3. A property owner outside the corporate limits of the City so situated that such owner's property may be served by the City's waterworks system may apply to the Council for permission to connect to the waterworks system upon the terms and conditions stipulated by resolution or ordinance of the Council. Any such application for connection to the waterworks system shall be accompanied by an application to voluntarily annex such property to the City and become a part thereof. No such application for connection to the waterworks system shall be granted absent annexation of such property.

Section 3. Repealer. Any provisions of the City Code in conflict with the provisions of this Ordinance are hereby repealed.

Section 4. Severability. If any section, provision, or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall have no effect on the validity of the Ordinance as a whole or any section, provision, or part thereof not adjudged invalid or unconstitutional.

Section 5. Effective Date. This Ordinance shall be in full force and effect from and after its adoption and publication as provided by law.

PASSED AND APPROVED this ___ day of _____ 2021.

_____

Rod Smith, Mayor

ATTEST:

_____

Beth Brincks, City Clerk/City Administrator

RESOLUTION NO. 2021-

RESOLUTION APPROVING THE SETTLEMENT/RELEASE AGREEMENT

WHEREAS, certain disputes have arisen concerning the condition and status of the Property at 201 W Walnut, including the alleged violations of various building codes; and

WHEREAS, the City of Anamosa and the property owner desire to compromise and settle all disputes and claims which exist or which may exist between and among them without admitting any liability and settle their rights and obligations in this matter; and

WHEREAS, the attached proposed settlement/release agreement is acceptable to the City.

BE IT RESOLVED, THEREFORE, that the City Council of the City of Anamosa hereby agrees to the terms of the attached settlement/release agreement and authorize the Mayor and City Attorney to sign said agreement.

Councilmember _____ introduced the foregoing **Resolution No. 2021-** and moved for its adoption. Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

COUNCILMEMBER	AYES	NAYS	ABSENT	ABSTAIN
CRUMP				
SMITH				
MACHART				
ZUMBACH				
STOUT				
CAPRON				

PASSED AND APPROVED this 26th day of July, 2021.

_____
Rod Smith, Mayor

ATTEST:

_____
Beth Brincks, City Clerk

CONFIDENTIAL SETTLEMENT AND RELEASE AGREEMENT

This Confidential Settlement and Release Agreement and its Exhibits (collectively, "Agreement") is made and entered into as of the last day set forth on the signature page ("Effective Date") by and between the City of Anamosa, Iowa ("Petitioner"), and Gayla L. Marien ("Respondent"), (individually, a "Party," and collectively, the "Parties"), for the purpose of resolving by compromise and settlement of all claims, controversies, alleged liabilities, and disputes between them.

RECITALS

This Agreement is entered into with reference to the following facts:

A. Respondent is the owner of property by way of warranty deed locally known as 201 W. Walnut Street, Anamosa, Jones County, Iowa ("Property"). The Property is legally described as follows:

> The East Half of LOTS 59 and 60, in J. D. M. CROCKWELL'S ADDITION to Anamosa, Iowa;
>
> Subject nevertheless to all easements, covenants, conditions, and restrictions of record, including any and all utility easements.

B. Certain disputes have arisen between the Parties concerning the condition and status of the Property, including the alleged violations of various building codes. Those disputes are more fully set forth in the pleadings filed in the Iowa District Court for Jones County, Iowa entitled *City of Anamosa, Iowa v. Gayla L. Marien, et al*, bearing Case Number EQCV007000 hereinafter to be referred to as the "Action."

C. Each Party to this Agreement is fully apprised of the facts set forth in these Recitals and of the facts and contentions raised in the Action, and in all other aspects of the dispute between or among the Parties, whether pleaded or not, and possibilities of each action and matter described herein.

D. Each Party denies all allegations, claims and defenses made by the other Party in the Action.

E. Notwithstanding the above, solely in order to avoid the cost, delay and uncertainty of further litigation, the Parties desire to compromise and settle all disputes and claims which exist or which may exist between and among them arising out of the facts, matters, and events set forth above, without admitting any liability and settle their rights and obligations in connection with the Action.

AGREEMENTS, RELEASES, AND PROMISES

THEREFORE, in consideration of the facts and general releases and promises contained herein, and for other good and valuable consideration, the sufficiency and receipt of which is acknowledged by each Party hereto, the Parties promise and agree as follows:

1. **Purchase of the Property:** Respondent agrees to sell the Property to Petitioner in exchange for Petitioner's dismissal of the Action at Petitioner's cost. The Parties agree that the Property is being sold in an as-is condition, and Respondent makes no warranties regarding the condition of the Property. This conveyance shall be accomplished by way of a Quit Claim Deed and the Petitioner is to bear any related closing costs, fees and transfer taxes, as applicable.

2. **No Liability for Alleged Code Violations:** The Parties agree that Respondent shall not be liable for any past, current or future building code violations relating to the Property, including, but not limited to, any fines or penalties owed regarding any past, current or future building code violations. The Parties further agree that Respondent shall not be responsible for bringing the Property in compliance with any past, current of future building code violations.

3. **Dismissal of Action:** The Parties agree to dismiss the Action with prejudice and without court costs to be assessed to Respondent.

4. **Attorneys' Fees:** Each Party shall bear their own attorneys' fees and costs incurred. If any Party hereto commences any action arising out of this Agreement, including, without limitation, any action to enforce or interpret this Agreement, the prevailing party or parties in such action shall be entitled to recover its reasonable attorney's fees and other expenses incurred in such action. Any award of attorney's fees hereunder shall not be computed according to any court schedule, but, instead, shall be in such amount as to fully reimburse all attorney's fees actually incurred in good faith, regardless of the size of the judgment, since it is the intention of all Parties to compensate fully the prevailing party for all attorney's fees paid or incurred in good faith.

5. **Confidentiality:** The Parties and their attorneys represent, warrant and agree that the terms and contents of this Agreement and all information and evidence elicited or exchanged during the Action and in negotiating this Agreement are and shall be, to the extent permitted by Petitioner's obligations under Iowa's Open Records Laws, treated as confidential and shall not be disclosed, in any way used or described or characterized to any other person or entity except as required by Iowa's Open Records Laws and as follows: (a) Petitioner may only disclose the contents or terms of the Agreement to its governmental divisions and City Council, its accountants and other tax preparers, to the Internal Revenue Service, and to its attorneys, or if otherwise compelled by a court of law; and (b) Respondent may disclose the contents or terms of the Agreement to their tax preparers, the Internal Revenue Service, their attorneys, governmental entities to which Respondents report, if compelled by a court of law, or as otherwise required in the normal course of their business. This confidentiality provision and agreement is a material term of this Agreement, breach of which the Parties hereby agree will cause the Parties irreparable harm. If Petitioner or Petitioner's attorneys are required by an appropriate order of a competent court to disclose the terms of this Agreement to individuals other than those set forth above, Petitioner shall notify Respondents' counsel, in writing, at least fifteen (15) days prior to such disclosure.

6. **Release of Unknown Claims:** Petitioner acknowledges and agrees that it may hereafter discover facts different from, or in addition to, those facts known to it or which it now

believes to be true with respect to any and all of the claims, demands, actions, causes of action, suits, liens, debts, obligations, damages, liabilities, judgments, costs, expenses, and fees (including reasonable attorney's fees) existing on the effective date of this Agreement. Petitioner nevertheless agrees that the releases set forth herein have been negotiated and agreed upon, notwithstanding such acknowledgment and agreement, and hereby expressly waives any and all rights which it may have under any federal or state statute or common law principle which may provide that a general release does not extend to claims which are not known to exist at the time of execution. Petitioner understands and acknowledges the significance and consequences of this waiver and assumes full responsibility for any and all damages, losses, costs, and expenses they may incur hereafter as a result of any of the facts, matters, and events referred to in the Recitals set forth above.

7. **Release Limitations:** This Agreement does not release: (1) claims arising out of the failure of either Party to perform in conformity with the terms of this Agreement; and (2) any future disputes between Petitioner and Respondent, including their successors and assigns.

8. **Warranties and Representations:** The Parties hereto warrant and represent that (a) he, she, or it is the sole owner of all rights, claims, damages, actions, causes of action, suits and defenses, as the case may be, at law or in equity, he, she, or it has or may have or that were asserted or could have been asserted in the action, and (b) he, she, or it has not assigned, transferred, conveyed, or purported to assign, transfer, or convey to any person or entity any right, claim, action, cause of action, suit (at law or in equity), defense, demand, debt, liability, account, or obligation herein released, or any part thereof, or which would, absent such assignment, transfer or conveyance, be subject to the releases set forth in this Agreement.

9. **Acknowledgments:** Each of the Parties acknowledge and agree that:

   a. This Agreement is entered into and executed voluntarily by each of the Parties hereto and without any duress or undue influence on the part of, or on behalf of, any such Party.

   b. Each of the Parties hereto has been represented by counsel of its/their own choice, or has had the opportunity to be represented by counsel and to seek advice in connection with the negotiations for, and in the preparation of, this Agreement and that he, she, or it has read this Agreement and that he, she or it is fully aware of its contents and legal effects. All Parties who are representing themselves are warned to obtain the advice of an attorney before signing this Agreement.

   c. The drafting and negotiation of this Agreement has been undertaken by all Parties hereto and their respective counsel. For all purposes, this Agreement shall be deemed to have been drafted jointly by all of the parties hereto with no presumption in favor of one party over another in the event of any ambiguity.

10. **Tax Consequences:** This Agreement is enforceable regardless of its tax consequences. The Parties understand and agree that the consideration set forth in this Agreement reflects

the settlement of disputed legal claims and that Respondent make no representations regarding the Agreement's tax consequences. Petitioner, however, specifically agrees that it is solely responsible for any and all taxes, interest and penalties due and owing, if any, should the payment or any portion thereof, be taxable.

11. **Compromise of Disputed Claims:** It is understood and agreed that this Agreement is the compromise of disputed claims, and that the terms of settlement contained herein and the releases executed are not intended to be and shall not be construed as admissions of any liability or responsibility whatsoever and each released Party expressly denies any liability or responsibility whatsoever.

12. **Severability:** If any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, the validity and enforceability of the remaining provisions shall not be affected thereby.

13. **Binding Effect:** This Agreement shall be binding on, and shall inure to the benefit of, the Parties hereto and their respective administrators, representatives, successors, and assigns.

14. **Governing Law:** This Agreement shall be governed by the laws of the State of Iowa and any question arising hereunder shall be construed or determined according to such law.

15. **Further Assurances:** The Parties agree to do all acts and things and to make, execute, acknowledge and deliver such written documents, instructions and/or instruments in such form as shall from time to time be reasonably required to carry out the terms and provisions of this Agreement, including but not limited to, the execution, filing or recording of any reporting documents, affidavits, deeds or agreements. The Parties further agree to give reasonable cooperation and assistance to any other party or parties hereto in order to enable such other Party or Parties to secure the intended benefits of this Agreement.

16. **Counterparts:** This Agreement may be executed by the Parties in any number of counterparts, including by way of facsimile, and each of which shall be deemed to be an original and all of which, collectively, shall be deemed to be one and the same instrument.

17. **Integration Clause:** This Agreement contains the entire agreement between and among the Parties hereto, and supersedes all prior and contemporaneous discussions, negotiations, understandings and agreements, whether oral or written, express or implied, between or among them relating to the subject matter of this Agreement. This Agreement may not be amended orally, nor shall any purported oral amendment (even if accompanied by partial or complete performance in accordance therewith) be of any legal force or effect or constitute an amendment of this Agreement, but rather this Agreement may be amended only by an agreement in writing signed by the parties.

18. **Time Is Of The Essence:** Time is of the essence with respect to the performance of any and all provisions of this Agreement.

19. **Headings and Captions:** The headings and captions inserted into this Agreement are for convenience only and in no way define, limit or otherwise describe the scope or intent of

this Agreement, or any provision hereof, or in any way affect the interpretation of this Agreement.

20. **Effective Date:** This Agreement shall be deemed effective on the Date that it is signed by all Parties hereto.

IN WITNESS WHEREOF, each of the Parties hereto has executed this Agreement on the date set forth opposite his, her, or its name below. **The undersigned hereby certify that they have read and fully understand all of the terms, provisions, and conditions of this Agreement and have executed this Agreement voluntarily.**

Dated:_____, 2021

_____
Rod Smith, Mayor
City of Anamosa, Iowa

Dated: 7-1, 2021

Gayla L. Marien
Gayla L. Marien

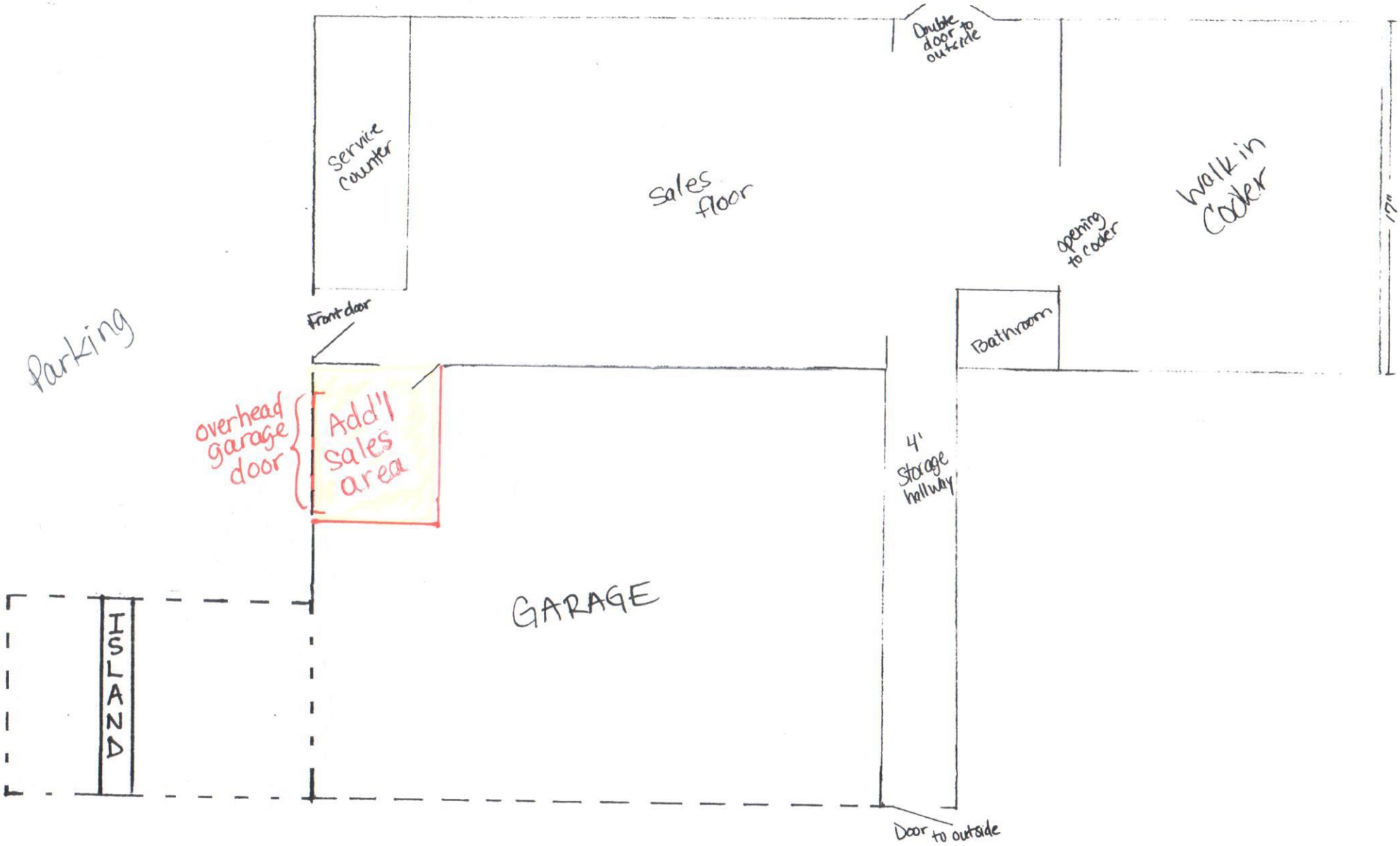
APPROVED AS TO FORM AND CONTENT:

Dated: _____, 2021

By: _____
Attorney for City of
Anamosa, Iowa

Dated: 7/14, 2021

By: _____
Attorney for Gayla L. Marien


Double door to outside
service counter
sales floor
walk in cooler
17'
opening to cooler
Bathroom
Front door
Parking
overhead garage door
Add'l sales area
4' storage hallway
GARAGE
ISLAND
Door to outside

CITY OF ANAMOSA
APPROVAL FORM FOR LIQUOR AND BEER LICENSE APPLICATIONS

Class _____Beer/Liquor
Sunday: Yes__ No__
New/Renewal/Amended
Circle Appropriate Info.

NAME OF APPLICANT: Dollar General #03685

TRADE NAME (DBA): _____

STREET ADDRESS: 314 W Main St.

PHONE (BUSINESS): 319-462-8406 **HOME (OR CELL):** _____

The undersigned have by the signatures of the officials noted below, certify that the above mentioned structure conforms to all laws within the jurisdictional limits of enforcement of said officials and may receive approval of this application.

ANAMOSA POLICE DEPARTMENT

The above named applicant(s) is approved by this department to have a beer and/or liquor license at the above location.

Police Chief _____ Date 07/16/21

Leave form at City Hall after Fire and Health signatures are complete

ANAMOSA FIRE DEPARTMENT: Fire Inspection Fee -- $35.00, includes two inspections. Each inspection after that will be $25 each. (Make check out to: City of Anamosa)

Fire Chief (or designee) _____ Date 6-30-21

Phone: 319-462-4434 for appointment

JONES COUNTY ENVIRONMENTAL HEALTH DEPARTMENT: (If applicable)

The above mentioned structure and business is in compliance with the Jones County Board of Health Regulations.

Jones County Environmental Health Official Paula Hart Date 7-16-21

Phone: 319-462-4715 for appointment

PLEASE RETURN FORM TO REENIE AT CITY HALL WHEN COMPLETED

Received at City Hall _____ **for the** _____ **Council Meeting**

CITY OF ANAMOSA
PAYMENTS FOR APPROVAL BY CITY COUNCIL ON JULY 26, 2021

JUNE MANUAL CHECKS

Date Issued	Warrant	In Favor of	Check Amount	Description
6/30/2021	67118	US POSTMASTER	82.27	UB REMINDER NOTICES
6/30/2021	67119	PAYROLL TRANSFER	81,463.10	PAYROLL TRANS JUN 11
6/30/2021	67120	PAYROLL TRANSFER	14,140.63	PAYROLL TRANS JUN 11 941
6/30/2021	67211	US POSTMASTER	552.72	JUN UB BILLINGS
6/30/2021	67227	ALTORFER MACHINERY CO	6,153.00-	CHECK ERROR
6/30/2021	67288	PAYROLL TRANSFER	47,356.06	JUN 25 PAYROLL TRANS
			11,259.71	JUN 25 PYROLL TRANS
			25,553.60	JUN 25 PAYROLL TRANS
TOTAL **	67288		84,169.37	
6/30/2021	67305	ALTORFER MACHINERY CO	1,926.00	GENERATOR PM
			768.00	GENERATO PM
			758.00	GEREATOR PM
			1,749.00	GENERATOR PM
TOTAL **	67305		5,201.00	
6/30/2021	67306	KLUESNER CONSTRUCTION	43,167.66	ASPHALT PROJECTS 2021
6/30/2021	67307	RED'S SALES & SERVICE	340.27	SERVICE 1994 FREIGHTLINE
			440.14	SERVICE 2007 FREIGHTLINE
			251.11	SERVICE 2002 FREIGHTLINE
TOTAL **	67307		1,031.52	
			223,655.27	

FUND RECAP:

FUND	DESCRIPTION	DISBURSEMENTS
01	GENERAL FUND	149,394.25
06	ROAD USE TAX FUND	43,167.66
51	WATER FUND	18,302.69
52	WASTEWATER FUND	12,790.67
TOTAL ALL FUNDS		223,655.27

JULY 26, 2021 COUNCIL VOUCHERS

Vendor Name	Payable Number	Post Date	Description (Ite	Account Number	Amoun
Vendor: 004898 - ALL SECURE					

ALL SECURE	030645	07/26/2021	FIRE ALARM MONITO	046-460-6452	75.00

			Vendor 004898 - ALL SECURE Total:		75.00
Vendor: 006141 - AMAZON CAPITAL SERVICES					
AMAZON CAPITAL	S1KTG-LXP-J-F13W	07/26/2021	RAGBRAI - BULLHOR	001-110-6553	490.50
AMAZON CAPITAL	S1KTG-LXPJ-F13W-1	07/26/2021	PAPER TOWELS	001-110-6553	32.23
AMAZON CAPITAL	S1KTG-LXPJ-F13W	07/26/2021	FAX PAPER	001-110-6553	26.15
AMAZON CAPITAL	S1JTW-F9Q7-6YWL	07/26/2021	CALCULATOR	001-622-6535	69.99
AMAZON CAPITAL	S1KN6-VWJ6-7FW1	07/26/2021	COMPUTER SUPPLIES	600-810-6536	178.18
AMAZON CAPITAL	S1QNG-1XV7-7JNR	07/26/2021	UV SYSTEM BRUSH	610-815-6559	25.94
AMAZON CAPITAL	S1WP4-WCLD-31K4	07/26/2021	COPY PAPER	001-622-6535	23.98
AMAZON CAPITAL	S1XPP-C7V6-1Y6F	07/26/2021	ENVELOPES	001-622-6535	55.98
AMAZON CAPITAL	S1XV4-3CDW-3D16	07/26/2021	PRINTER INK	110-211-6535	260.35
AMAZON CAPITAL	S1XV4-3CDW-3D16A	07/26/2021	PRINTER INK	001-622-6535	203.45
AMAZON CAPITAL	S1XV4-3CW-3D16	07/26/2021	PRINTER INK	610-815-6535	39.88
AMAZON CAPITAL	S1C6L-7FVV-3JL4	07/26/2021	RAGBRAI - VESTS -	001-110-6553	71.24
AMAZON CAPITAL	S1XV4-3CDW-3D16-1	07/26/2021	COPY PAPER	001-622-6535	155.40

			Vendor 006141 - AMAZON CAPITAL SERVICES Total:		1,633.27
Vendor: 005770 - AMAZON					
AMAZON	685645437365	07/19/2021	DVD'S	041-410-6501	250.90
AMAZON	979397574556	07/19/2021	VIDEO GAME	041-410-6501	14.99

			Vendor 005770 - AMAZON Total:		265.89
Vendor: 005971 - ANIMAL WELFARE FRIENDS					
ANIMAL WELFARE	F5041	07/26/2021	ANIMAL CONTROL	001-190-6460	140.00

			Vendor 005971 - ANIMAL WELFARE FRIENDS Total:		140.00
Vendor: 006048 - AVENU					
AVENU	INVB-027339	07/26/2021	HOSTING SOFTWARE	001-622-6490	1,463.20
AVENU	INVB-027339-1	07/26/2021	COMMUNICATION HAR	122-622-6722	2,189.39

			Vendor 006048 - AVENU Total:		3,652.59
Vendor: 000188 - BAKER & TAYLOR					
BAKER & TAYLOR	2036008527	07/19/2021	BOOKS	041-410-6501	28.89
BAKER & TAYLOR	2036029947	07/19/2021	BOOKS	041-410-6501	53.96

BAKER & TAYLOR	2036047578	07/15/2021	BOOKS	041-410-6501	359.06
BAKER & TAYLOR	2036059733	07/15/2021	BOOKS	041-410-6501	356.39

			Vendor 000188 - BAKER & TAYLOR Total:		798.30

Vendor: 004011 - BEST BUY

BEST BUY	BBY-80647203909	07/26/2021	COMPUTER SCREEN	C600-810-6536	3.09

			Vendor 004011 - BEST BUY Total:		3.09

Vendor: 005272 - BLACK HILLS ENERGY

BLACK HILLS ENER	INV0000095	07/26/2021	MONTHLY GAS BILL	001-110-6370	108.68
BLACK HILLS ENER	INV0000095	07/26/2021	MONTHLY GAS BILL	001-650-6370	49.79
BLACK HILLS ENER	INV0000096	07/26/2021	MONTHLY GAS BILL	015-150-6370	38.26
BLACK HILLS ENER	INV0000097	07/26/2021	MONTHLY GAS BILL	110-211-6370	34.14
BLACK HILLS ENER	INV0000098	07/26/2021	MONTHLY GAS BILL	046-460-6370	77.80
BLACK HILLS ENER	INV0000099	07/26/2021	MONTHLY GAS BILL	044-440-6370	478.10
BLACK HILLS ENER	INV0000100	07/26/2021	MONTHLY GAS BILL	600-810-6370	40.20
BLACK HILLS ENER	INV0000101	07/26/2021	MONTHLY GAS BILL	610-815-6370	123.12

			Vendor 005272 - BLACK HILLS ENERGY Total:		950.09

Vendor: 005100 - BLADE PEST CONTROL

BLADE PEST CONTR	INV0000090	07/19/2021	MONTHLY PEST CONT	041-410-6475	62.00

			Vendor 005100 - BLADE PEST CONTROL Total:		62.00

Vendor: 006168 - BRINCKS/BETH

BRINCKS/BETH	INV0000102	07/26/2021	MONTHLY PHONE	001-622-6373	20.00
BRINCKS/BETH	7192021	07/26/2021	MILEAGE REIMB	001-622-6446	125.44

			Vendor 006168 - BRINCKS/BETH Total:		145.44

Vendor: 006055 - CARRICO AQUATIC RESOURCES INC

CARRICO AQUATIC	20212655	07/26/2021	TEST KIT	044-440-6470	155.00

			Vendor 006055 - CARRICO AQUATIC RESOURCES INC Total:		155.00

Vendor: 003169 - CASEY'S GENERAL STORES INC.

CASEY'S GENERAL	INV0000103	07/26/2021	FUEL	001-110-6551	38.27

			Vendor 003169 - CASEY'S GENERAL STORES INC. Total:		38.27

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Vendor: 000395 - CENTURYLINK
CENTURYLINK     INV0000104      07/26/2021      INTERNET         043-430-6373       73.60
CENTURYLINK     INV0000140      07/26/2021      INTERNET         110-211-6373       66.04
                                                                                  --------
                                                Vendor 000395 - CENTURYLINK Total:   139.64
Vendor: 004883 - CHEM RIGHT LABORATORIES INC
CHEM RIGHT LABOR22146           07/26/2021      JULY BACTERIA TES600-810-6470       85.00
                                                                                  --------
                                Vendor 004883 - CHEM RIGHT LABORATORIES INC Total:    85.00
Vendor: 000210 - CITIZENS SAVINGS BANK
CITIZENS SAVINGSINV0000105      07/26/2021      ACH PAYROLL      001-622-6530       75.30
CITIZENS SAVINGSINV0000106      07/16/2021      ACH UB           610-815-6531       51.95
CITIZENS SAVINGSINV0000107      07/26/2021      ACH UB           600-810-6531       51.95
                                                                                  --------
                                    Vendor 000210 - CITIZENS SAVINGS BANK Total:   179.20
Vendor: 005294 - CUTTING EDGE GRAPHICS
CUTTING EDGE GRA7387            07/26/2021      LIFEGUARD APPAREL046-460-6546      798.00
                                                                                  --------
                                    Vendor 005294 - CUTTING EDGE GRAPHICS Total:   798.00
Vendor: 000238 - EBSCO SUSCRIPTION SERVICES
EBSCO SUSCRIPTIO1000129452-1    07/19/2021      NOVELIST PLUS SUB122-410-6725    1,132.06
                                                                                  --------
                                Vendor 000238 - EBSCO SUSCRIPTION SERVICES Total: 1,132.06
Vendor: 003826 - ECICOG
ECICOG          9338            07/26/2021      CDBG GRANT       331-601-6455      862.50
                                                                                  --------
                                                   Vendor 003826 - ECICOG Total:   862.50
Vendor: 004585 - EDWARDS SANITATION
EDWARDS SANITATI83424           07/19/2021      AUG/SEP TRASH REM041-410-6475       33.50
                                                                                  --------
                                        Vendor 004585 - EDWARDS SANITATION Total:    33.50
Vendor: 004526 - ELAN-CARDMEMBER SERVICE
ELAN-CARDMEMBER INV97896862     07/26/2021      MEETING SOFTWARE 001-622-6430       29.98
ELAN-CARDMEMBER INV0000147      07/26/2021      ADOBE SOFTWARE   001-622-6430      179.88
                                                                                  --------
                                      Vendor 004526 - ELAN-CARDMEMBER SERVICE Total:   209.86
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Vendor: 004334 - FAREWAY STORES, INC.
FAREWAY STORES, 00008517        07/26/2021      CRISCO SPRAY     110-211-6543       23.92
FAREWAY STORES, INV0000108      07/26/2021      PROPANE EXCHANGE 043-430-6532       13.99
                                                                                  --------
                                     Vendor 004334 - FAREWAY STORES, INC. Total:    37.91
Vendor: 006246 - FRAZIER/SPENCER
FRAZIER/SPENCER INV0000139      07/26/2021      MONTHLY PHONE REI110-211-6373       20.00
                                                                                  --------
                                          Vendor 006246 - FRAZIER/SPENCER Total:    20.00
Vendor: 005699 - GSM FILTRATION
GSM FILTRATION  4673            07/26/2021      BELTS FOR SLUDGE 610-815-6554    1,632.61
                                                                                  --------
                                           Vendor 005699 - GSM FILTRATION Total: 1,632.61
Vendor: 003615 - HOME DECORATING CENTER
HOME DECORATING 106234          07/26/2021      SPARE KEYS       044-440-6475       13.54
HOME DECORATING 106285          07/26/2021      PAINT AND SUPPLIE044-440-6475       54.75
HOME DECORATING 106308          07/26/2021      SPARE KEYS       044-440-6475        9.50
                                                                                  --------
                                     Vendor 003615 - HOME DECORATING CENTER Total:    77.79
Vendor: 005979 - HOUSBY HEAVY EQUIPMENT
HOUSBY HEAVY EQUP52586          07/26/2021      PARTS            110-211-6555      357.47
                                                                                  --------
                                     Vendor 005979 - HOUSBY HEAVY EQUIPMENT Total:   357.47
Vendor: 004946 - HOWARD R GREEN
HOWARD R GREEN  144659          07/26/2021      GIS SERVICES     600-810-6407       39.50
HOWARD R GREEN  144662          07/26/2021      GIS SERVICES CEME001-450-6796    3,442.50
                                                                                  --------
                                           Vendor 004946 - HOWARD R GREEN Total: 3,482.00
Vendor: 005184 - INFRASTRUCTURE TECHNOLOGY SOLU
INFRASTRUCTURE T25925           07/26/2021      ONLINE BACKUP SER001-110-6490      146.00
INFRASTRUCTURE T25926           07/26/2021      MANAGED AVG YRLY 001-110-6490      588.00
                                                                                  --------
                          Vendor 005184 - INFRASTRUCTURE TECHNOLOGY SOLU Total:   734.00
Vendor: 005112 - IOWA DEPT OF NATURAL RESOURCES
IOWA DEPT OF NAT06292021        07/26/2021      ANNUAL WATER SUPP600-810-6489      488.08
                                                                                  --------
```

Vendor 005112 - IOWA DEPT OF NATURAL RESOURCES Total: 488.08

Vendor: 003211 - IOWA ONE CALL

IOWA ONE CALL	232935	07/26/2021	LOCATES - JUNE	600-810-6553	79.65
IOWA ONE CALL	232935-1	07/26/2021	LOCATES - JUNE	610-815-6553	79.65

Vendor 003211 - IOWA ONE CALL Total: 159.30

Vendor: 000285 - J&R SUPPLY

J&R SUPPLY	2106330	07/26/2021	SHIRTS	610-815-6181	251.26

Vendor 000285 - J&R SUPPLY Total: 251.26

Vendor: 005397 - JETCO INC

JETCO INC	16493	07/26/2021	SCADA REPAIRS	610-815-6554	1,087.50

Vendor 005397 - JETCO INC Total: 1,087.50

Vendor: 000387 - JOHN DEERE FINANCIAL

JOHN DEERE FINAN	4008732	07/26/2021	TRIMMER STRING	043-430-6475	73.98
JOHN DEERE FINAN	3173132	07/26/2021	TILE	110-211-6523	149.99
JOHN DEERE FINAN	4011221	07/26/2021	GARDEN FABRIC PIN	043-430-6532	53.96
JOHN DEERE FINAN	401140	07/26/2021	GLUE	001-110-6474	3.99
JOHN DEERE FINAN	4013886	07/26/2021	CABLE TIES	044-440-6541	12.99
JOHN DEERE FINAN	401409	07/26/2021	WEED SPRAY	610-815-6501	95.97
JOHN DEERE FINAN	4014560	07/26/2021	SUPPLIES	044-440-6541	74.82
JOHN DEERE FINAN	4014954	07/26/2021	MOTAR MIX	110-211-6523	4.99
JOHN DEERE FINAN	4015171	07/26/2021	SUPPLIES	110-211-6523	350.96
JOHN DEERE FINAN	4016822	07/26/2021	MURIATIC ACID	044-440-6533	39.95
JOHN DEERE FINAN	4229518	07/26/2021	HYRAULIC FLUID	043-430-6471	164.43

Vendor 000387 - JOHN DEERE FINANCIAL Total: 1,026.03

Vendor: 001068 - KOCH OFFICE GROUP

KOCH OFFICE GROU	412220	07/26/2021	PRINTER CONTRACT	046-460-6470	217.62

Vendor 001068 - KOCH OFFICE GROUP Total: 217.62

Vendor: 005364 - KONICA MINOLTA BUSINESS SOLUTI

KONICA MINOLTA	B274199681	07/26/2021	COPIER METER	001-622-6470	7.13
KONICA MINOLTA	B274210020	07/26/2021	COPIER MAIN CONTR	001-622-6470	81.00
KONICA MINOLTA	B274348205	07/26/2021	COPIER - METER	001-110-6470	29.58

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                                                                        --------
                          Vendor 005364 - KONICA MINOLTA BUSINESS SOLUTI Total:   117.71
Vendor: 005907 - KONICA PREMIER FINANCE
KONICA PREMIER F38074038        07/26/2021      COPIER CONTRACT  001-622-6470      151.64
                                                                        --------
                                   Vendor 005907 - KONICA PREMIER FINANCE Total:   151.64
Vendor: 005945 - KONICA PREMIER FINANCE
KONICA PREMIER F73193884        07/26/2021      COPIER - MONTHLY 001-110-6470       75.85
                                                                        --------
                                   Vendor 005945 - KONICA PREMIER FINANCE Total:    75.85
Vendor: 005286 - KRAY/JEFF
KRAY/JEFF       INV0000137      07/26/2021      MONTHLY PHONE REI110-211-6373       20.00
                                                                        --------
                                                   Vendor 005286 - KRAY/JEFF Total:    20.00
Vendor: 006042 - LEAF
LEAF            12078397        07/15/2021      MONTHLY COPIER LE041-410-6471       96.00
LEAF            12039224        07/26/2021      COPIER           043-430-6535       49.26
                                                                        --------
                                                        Vendor 006042 - LEAF Total:   145.26
Vendor: 004483 - LODE/ERIC
LODE/ERIC       INV0000109      07/26/2021      MTHLY PHONE      110-211-6373       20.00
                                                                        --------
                                                   Vendor 004483 - LODE/ERIC Total:    20.00
Vendor: 006123 - LYNCH DALLAS, P.C.
LYNCH DALLAS, P.188922          07/26/2021      GENERAL LEGAL    001-640-6455    8,011.36
LYNCH DALLAS, P.188923          07/26/2021      REAL ESTATE      001-640-6455      156.50
LYNCH DALLAS, P.188924          07/26/2021      NUISANCE         001-110-6411      503.00
LYNCH DALLAS, P.188925          07/26/2021      POLICE MATTERS - 001-110-6411       49.50
LYNCH DALLAS, P.188926          07/26/2021      POLICE COLLECTIVE001-110-6411      115.50
                                                                        --------
                                         Vendor 006123 - LYNCH DALLAS, P.C. Total: 8,835.86
Vendor: 006159 - MACQUEEN EQUIPMENT
MACQUEEN EQUIPMEP13544          07/26/2021      TUBE CLAMP       610-815-6471       35.50
                                                                        --------
                                         Vendor 006159 - MACQUEEN EQUIPMENT Total:    35.50
Vendor: 005346 - MAQUOKETA VALLEY ELECTRIC COOP
```

MAQUOKETA VALLEY	INV0000142	07/26/2021	INDUSTRIAL PARK L	122-210-6372	46.28

			Vendor 005346 - MAQUOKETA VALLEY ELECTRIC COOP Total:		46.28
Vendor: 006152 - MARTIN GARDNER ARCHITECTURE					
MARTIN GARDNER A27		07/26/2021	DOWNTOWN FACADE	331-600-6490	4,986.73
MARTIN GARDNER A6		07/26/2021	POLICE STATION RE	351-111-6555	1,807.50

			Vendor 006152 - MARTIN GARDNER ARCHITECTURE Total:		6,794.23
Vendor: 003946 - MCOTTO'S					
MCOTTO'S	INV0000114	07/26/2021	CONCESSIONS	044-440-6546	28.50
MCOTTO'S	INV0000115	07/26/2021	CONCESSION	044-440-6546	28.50
MCOTTO'S	INV0000116	07/26/2021	CONCESSION	044-440-6546	89.75
MCOTTO'S	INV0000117	07/26/2021	CONCESSION	044-440-6546	28.50
MCOTTO'S	INV0000110	07/26/2021	CONCESSIONS	044-440-6546	28.50
MCOTTO'S	INV0000118	07/26/2021	CONCESSION	044-440-6546	28.50
MCOTTO'S	INV0000119	07/26/2021	CONCESSION	044-440-6546	28.50
MCOTTO'S	INV0000111	07/26/2021	CONCESSIONS	044-440-6546	28.50
MCOTTO'S	INV0000112	07/26/2021	CONCESSIONS	044-440-6546	28.50
MCOTTO'S	INV0000113	07/26/2021	CONCESSIONS	044-440-6546	28.50

			Vendor 003946 - MCOTTO'S Total:		346.25
Vendor: 004769 - MEDIACOM					
MEDIACOM	INV0000143	07/26/2021	INTERNET	001-622-6454	160.50

			Vendor 004769 - MEDIACOM Total:		160.50
Vendor: 005030 - MID-IOWA SOLID WASTE					
MID-IOWA SOLID W54675		07/26/2021	BROOM PARTS	110-211-6552	1,263.49

			Vendor 005030 - MID-IOWA SOLID WASTE Total:		1,263.49
Vendor: 005982 - MIDWEST TAPE					
MIDWEST TAPE	500654463	07/19/2021	DIGITAL MATERIALS	122-410-6725	99.25

			Vendor 005982 - MIDWEST TAPE Total:		99.25
Vendor: 002225 - MINGER MOWING & LANDSCAPE, INC					
MINGER MOWING & 17980		07/26/2021	NUISANCE ABATEMEN	001-110-6461	415.00
MINGER MOWING & 17858		07/15/2021	FERTILIZER	041-410-6475	73.50

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                                                                                --------
                          Vendor 002225 - MINGER MOWING & LANDSCAPE, INC Total:   488.50
Vendor: 000416 - MONTICELLO EXPRESS
MONTICELLO EXPREINV0000093      07/15/2021      ANNUAL SUBSCRIPTI122-410-6725       40.00
                                                                                --------
                                       Vendor 000416 - MONTICELLO EXPRESS Total:    40.00
Vendor: 003491 - MUNICIPAL SUPPLY, INC.
MUNICIPAL SUPPLY0803085-IN      07/26/2021      OMNI CHAMBER     600-810-6504      748.00
MUNICIPAL SUPPLY802379-IN       07/26/2021      METERS           600-810-6504    4,587.00
MUNICIPAL SUPPLY802380          07/26/2021      WALL MOUNT READ U600-810-6722    12,500.0
MUNICIPAL SUPPLY802380-1        07/26/2021      WALL MOUNT READ U610-815-6722    12,500.0
                                                                                --------
                                   Vendor 003491 - MUNICIPAL SUPPLY, INC. Total: 30,335.0
Vendor: 005547 - NELSON ELECTRIC
NELSON ELECTRIC 176511          07/26/2021      PUMP MOTORS      044-440-6475      379.18
                                                                                --------
                                             Vendor 005547 - NELSON ELECTRIC Total:   379.18
Vendor: 005880 - NORTH CENTRAL LABORATORIES
NORTH CENTRAL LA456698          07/26/2021      THERMOMETER      610-815-6504       57.79
                                                                                --------
                                 Vendor 005880 - NORTH CENTRAL LABORATORIES Total:    57.79
Vendor: 005623 - OFFICE EXPRESS
OFFICE EXPRESS  172881-0        07/15/2021      CLEANER, COPY PAP041-410-6540       89.85
                                                                                --------
                                              Vendor 005623 - OFFICE EXPRESS Total:    89.85
Vendor: 005239 - ORIGIN DESIGN CO.
ORIGIN DESIGN CO75826           07/26/2021      STALLION CREEK   361-511-6490    3,887.75
                                                                                --------
                                        Vendor 005239 - ORIGIN DESIGN CO. Total: 3,887.75
Vendor: 000357 - PETTY CASH
PETTY CASH      INV0000094      07/16/2021      STAMPS, POSTAGE  041-410-6508       13.90
PETTY CASH      INV0000094      07/16/2021      STAMPS, POSTAGE  041-410-6508       55.00
                                                                                --------
                                                Vendor 000357 - PETTY CASH Total:    68.90
Vendor: 006199 - POLICE LEGAL SCIENCES
POLICE LEGAL SCI10388           07/26/2021      ANNUAL PLS TRAINI001-110-6490      960.00
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		Vendor 006199 - POLICE LEGAL SCIENCES Total:		960.00
Vendor: 000040 - RADIO COMMUNICATIONS				
RADIO COMMUNICAT99592	07/26/2021	BELT CLIP	015-150-6470	15.00

		Vendor 000040 - RADIO COMMUNICATIONS Total:		15.00
Vendor: 005741 - RECREATIONAL MOTOR SPORTS				
RECREATIONAL MOT55547	07/26/2021	UPS	600-810-6431	21.00

		Vendor 005741 - RECREATIONAL MOTOR SPORTS Total:		21.00
Vendor: 000364 - RED'S SALES & SERVICE				
RED'S SALES & SE48911	07/26/2021	VEHICLE MAINT	001-110-6537	87.45
RED'S SALES & SE49031	07/26/2021	VEHICLE MAINT	001-110-6474	452.01
RED'S SALES & SE49042	07/26/2021	VEHICLE MAINT	001-110-6474	70.95

		Vendor 000364 - RED'S SALES & SERVICE Total:		610.41
Vendor: 004846 - SADLER POWER TRAIN				
SADLER POWER TRA0310148855	07/26/2021	BRAKE DRUM	110-211-6552	1,450.33
SADLER POWER TRA0310148989	07/26/2021	SLACK ADJ	110-211-6552	23.60
SADLER POWER TRACM0000003	07/26/2021	CREDIT	110-211-6552	-186.59
SADLER POWER TRA0110284892	07/26/2021	BRAKES	110-211-6552	214.80

		Vendor 004846 - SADLER POWER TRAIN Total:		1,502.14
Vendor: 005575 - SELECT SERVICE PORTABLE RESTRO				
SELECT SERVICE P5791	07/26/2021	PORTA POTS BALLFI	043-430-6531	360.00

		Vendor 005575 - SELECT SERVICE PORTABLE RESTRO Total:		360.00
Vendor: 005143 - SHERWIN WILLIAMS CO/THE				
SHERWIN WILLIAMS1558-2	07/26/2021	PAINT	110-211-6553	183.18
SHERWIN WILLIAMS4482-1	07/26/2021	DRAIN VALVE - FIT	110-211-6553	671.57

		Vendor 005143 - SHERWIN WILLIAMS CO/THE Total:		854.75
Vendor: 006163 - SHIVE-HATTERY				
SHIVE-HATTERY 4207090-4	07/26/2021	FIRE STATION DESI	341-151-6407	2,083.10

		Vendor 006163 - SHIVE-HATTERY Total:		2,083.10

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Vendor: 000740 - TAPKEN'S CONVENIENCE PLUS
TAPKEN'S CONVENI3908            07/26/2021      FUEL             043-430-6551      247.39
TAPKEN'S CONVENI3908-1          07/26/2021      FUEL             110-211-6551      271.98
                                                                                  --------
                                Vendor 000740 - TAPKEN'S CONVENIENCE PLUS Total:   519.37
Vendor: 006197 - THOMAS/GINGER
THOMAS/GINGER   INV0000145      07/26/2021      MONTHLY PHONE REI001-622-6373       20.00
                                                                                  --------
                                           Vendor 006197 - THOMAS/GINGER Total:    20.00
Vendor: 004687 - TOWN & COUNTRY
TOWN & COUNTRY  384060          07/26/2021      CONCESSION ITEMS 044-440-6546      763.01
TOWN & COUNTRY  384550          07/26/2021      CONCESSION ITEMS 044-440-6546      618.32
                                                                                  --------
                                          Vendor 004687 - TOWN & COUNTRY Total: 1,381.33
Vendor: 004654 - TRANSWORLD NETWORK, C0RP
TRANSWORLD NETWO15110597-8583   07/26/2021      PHONE - LONG DIST001-110-6373        5.61
TRANSWORLD NETWO15110597-8583-1 07/26/2021      PHONE - LONG DIST015-150-6373        1.22
TRANSWORLD NETWO15110597-8583-5 07/26/2021      PHONE - LONG DIST046-460-6373        7.21
TRANSWORLD NETWO15110597-8583-6 07/26/2021      PHONE - LONG DIST044-440-6373        1.23
TRANSWORLD NETWO15110597-8583-7 07/26/2021      PHONE - LONG DIST600-810-6373        2.46
TRANSWORLD NETWO15110597-8583-8 07/26/2021      PHONE - LONG DIST610-815-6373        3.93
TRANSWORLD NETWO1511597-8583-3  07/26/2021      PHONE - LONG DIST110-211-6373        2.46
TRANSWORLD NETWO1511597-8583-4  07/26/2021      PHONE - LONG DIST001-622-6373       62.56
                                                                                  --------
                                 Vendor 004654 - TRANSWORLD NETWORK, C0RP Total:    86.68
Vendor: 000359 - US POSTMASTER
US POSTMASTER   INV0000148      07/26/2021      STAMPS           001-622-6508      110.00
US POSTMASTER   INV0000149      07/26/2021      STAMPS           600-810-6508       55.00
US POSTMASTER   INV0000150      07/26/2021      STAMPS           610-815-6508       55.00
US POSTMASTER   INV0000151      07/26/2021      STAMPS           046-460-6508       55.00
                                                                                  --------
                                           Vendor 000359 - US POSTMASTER Total:   275.00
Vendor: 004565 - USA BLUE BOOK
USA BLUE BOOK   644318          07/26/2021      SAMPLER THERMOMET610-815-6504      314.54
                                                                                  --------
                                           Vendor 004565 - USA BLUE BOOK Total:   314.54
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Vendor: 000398 - WALMART COMMUNITY CARD

WALMART COMMUNIT9713	07/26/2021	TP - TRASH BAGS	001-622-6530	26.84
WALMART COMMUNIT1431	07/26/2021	CLEANING SUPPLIES	044-440-6545	58.63
WALMART COMMUNIT2011	07/26/2021	CLEANING SUPPLIES	044-440-6545	43.02
WALMART COMMUNIT8021	07/26/2021	BATTERIES	001-110-6530	21.64
WALMART COMMUNIT8021-1	07/26/2021	T.P.	001-110-6530	14.74
WALMART COMMUNIT8699	07/26/2021	CLEANING SUPPLIES	044-440-6545	137.21
WALMART COMMUNIT1335	07/19/2021	SUMMER READING SU	041-410-6537	13.91
WALMART COMMUNIT1731	07/19/2021	SUMMER READING SU	041-410-6537	67.18
WALMART COMMUNIT7144	07/15/2021	SUMMER READING SU	041-410-6537	31.22
WALMART COMMUNIT7145	07/15/2021	TRASH BAGS	041-410-6540	9.74
WALMART COMMUNIT8942	07/26/2021	FURNITURE SLIDER	001-622-6542	8.97
WALMART COMMUNIT9545	07/19/2021	SUMMER READING SU	041-410-6537	38.76
WALMART COMMUNIT9546	07/15/2021	SUNRIES	041-410-6540	8.20
WALMART COMMUNIT1134	07/26/2021	RAGBRAI - SUPPLIE	001-110-6553	65.40
WALMART COMMUNIT1134-1	07/26/2021	COPY PAPER - SUNR	001-110-6535	97.09

		Vendor 000398 - WALMART COMMUNITY CARD Total:		642.55

Vendor: 004582 - WAPSI WASTE SERICE, INC.

WAPSI WASTE SERI3561	07/26/2021	TRASH SERVICE	001-650-6474	437.00

		Vendor 004582 - WAPSI WASTE SERICE, INC. Total:		437.00

Vendor: 004987 - WATER SOLUTIONS UNLIMITED

WATER SOLUTIONS 43787	07/26/2021	WSU - HMO SOLUTIO	600-810-6501	3,978.43

		Vendor 004987 - WATER SOLUTIONS UNLIMITED Total:		3,978.43

Vendor: 005299 - WOODWARD COMMUNITY MEDIA

WOODWARD COMMUNI062147097	07/26/2021	LEGALS	001-622-6414	202.37

		Vendor 005299 - WOODWARD COMMUNITY MEDIA Total:		202.37

		Grand Total:		88,652.7

Fund Summary

Fund	Expense Amo	Payment Am
001 - GENERAL FUND	19,939.14	0.00

015 - FIRE SERVICE	54.48	0.00
041 - LIBRARY FUND	1,656.95	0.00
043 - PARKS & RECREATION	1,036.61	0.00
044 - AQUA COURT	3,185.50	0.00
046 - LAWRENCE COMMUNITY CENT	1,230.63	0.00
110 - ROAD USE TAX	5,202.68	0.00
122 - LOCAL OPTION TAX 65%	3,506.98	0.00
331 - DOWNTOWN PROJECTS/PROGR	5,849.23	0.00
341 - FIRE STATION ADDITION	2,083.10	0.00
351 - POLICE STATION RENOVATI	1,807.50	0.00
361 - CAPITAL PROJECTS	3,887.75	0.00
600 - WATER FUND	22,857.54	0.00
610 - WASTEWATER FUND	16,354.64	0.00
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Grand Total	88,652.73	0.00

FIRE PAY JAN-JUNE 2021

Vendor Name	Payable Number	Post Date	Description (It	Account Number	Amoun
Vendor: 006214 - ACKERMAN/CURTIS W					
ACKERMAN/CURTIS	INV0000085	07/16/2021	JUNE FIRE PAY	015-150-6069	90.00

			Vendor 006214 - ACKERMAN/CURTIS W Total:		90.00
Vendor: 006191 - BALENTINE/CARTER					
BALENTINE/CARTER	INV0000083	07/16/2021	JUNE FIRE PAY	015-150-6069	525.00

			Vendor 006191 - BALENTINE/CARTER Total:		525.00
Vendor: 003416 - BARNES/CHUCK					
BARNES/CHUCK	INV0000057	07/16/2021	JUNE FIRE PAY	015-150-6069	540.00

			Vendor 003416 - BARNES/CHUCK Total:		540.00
Vendor: 005913 - BARNES/JASON					
BARNES/JASON	INV0000077	07/16/2021	JUNE FIRE PAY	015-150-6069	235.00

			Vendor 005913 - BARNES/JASON Total:		235.00
Vendor: 005803 - BUCK/JUSTIN					
BUCK/JUSTIN	INV0000074	07/16/2021	JUNE FIRE PAY	015-150-6069	250.00

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                                                                                --------
                                                Vendor 005803 - BUCK/JUSTIN Total:   250.00
Vendor: 005667 - CAMP/RICHARD
CAMP/RICHARD    INV0000071      07/16/2021      JUNE FIRE PAY   015-150-6069      90.00
                                                                                --------
                                              Vendor 005667 - CAMP/RICHARD Total:    90.00
Vendor: 003541 - CAMPBELL/TOM
CAMPBELL/TOM    INV0000058      07/16/2021      JUNE FIRE PAY   015-150-6069     110.00
                                                                                --------
                                              Vendor 003541 - CAMPBELL/TOM Total:   110.00
Vendor: 005536 - CARSON/DAVID
CARSON/DAVID    INV0000069      07/16/2021      JUNE FIRE PAY   015-150-6069     440.00
                                                                                --------
                                              Vendor 005536 - CARSON/DAVID Total:   440.00
Vendor: 005804 - EDWARDS/ROBERT
EDWARDS/ROBERT  INV0000075      07/16/2021      JUNE FIRE PAY   015-150-6069     675.00
                                                                                --------
                                            Vendor 005804 - EDWARDS/ROBERT Total:   675.00
Vendor: 006025 - FABER/ALEXANDER
FABER/ALEXANDER INV0000079      07/16/2021      JUNE FIRE PAY   015-150-6069      60.00
                                                                                --------
                                          Vendor 006025 - FABER/ALEXANDER Total:    60.00
Vendor: 005314 - FRANK/DANIEL
FRANK/DANIEL    INV0000064      07/16/2021      JUNE FIRE PAY   015-150-6069     530.00
                                                                                --------
                                              Vendor 005314 - FRANK/DANIEL Total:   530.00
Vendor: 005478 - GIBBS JR/TIM
GIBBS JR/TIM    INV0000067      07/16/2021      JUNE FIRE PAY   015-150-6069     310.00
                                                                                --------
                                              Vendor 005478 - GIBBS JR/TIM Total:   310.00
Vendor: 005366 - HANDEL/LANCE
HANDEL/LANCE    INV0000065      07/16/2021      JUNE FIRE PAY   015-150-6069      30.00
                                                                                --------
                                              Vendor 005366 - HANDEL/LANCE Total:    30.00
Vendor: 004453 - KOOB/WESLEY
KOOB/WESLEY     INV0000059      07/16/2021      JUNE FIRE PAY   015-150-6069     340.00
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                                                Vendor 004453 - KOOB/WESLEY Total:   340.00
Vendor: 006024 - KULA/DYLAN
KULA/DYLAN      INV0000080      07/16/2021      JUNE FIRE PAY   015-150-6069       90.00
                                                                                --------
                                                 Vendor 006024 - KULA/DYLAN Total:    90.00
Vendor: 000332 - MCGREEVY/MICHAEL
MCGREEVY/MICHAELINV0000054      07/16/2021      JUNE FIRE PAY   015-150-6069      825.00
                                                                                --------
                                        Vendor 000332 - MCGREEVY/MICHAEL Total:   825.00
 Vendor: 005313 - MCNAMARA/MATT
MCNAMARA/MATT   INV0000063      07/16/2021      JUNE FIRE PAY   015-150-6069      215.00
                                                                                --------
                                           Vendor 005313 - MCNAMARA/MATT Total:   215.00
Vendor: 005537 - MINER JR/MIKE
MINER JR/MIKE   INV0000070      07/16/2021      JUNE FIRE PAY   015-150-6069       75.00
                                                                                --------
                                           Vendor 005537 - MINER JR/MIKE Total:    75.00
Vendor: 002328 - MINER/CHRIS
MINER/CHRIS     INV0000068      07/16/2021      JUNE FIRE PAY   015-150-6069      250.00
                                                                                --------
                                                Vendor 002328 - MINER/CHRIS Total:   250.00
Vendor: 005312 - MOELLER/JAMES
MOELLER/JAMES   INV0000062      07/16/2021      JUNE FIRE PAY   015-150-6069      150.00
                                                                                --------
                                           Vendor 005312 - MOELLER/JAMES Total:   150.00
Vendor: 006216 - NORTON/SPENCER
NORTON/SPENCER  INV0000084      07/16/2021      JUNE FIRE PAY   015-150-6069      240.00
                                                                                --------
                                          Vendor 006216 - NORTON/SPENCER Total:   240.00
Vendor: 005805 - PAULSON/KEITH
PAULSON/KEITH   INV0000073      07/16/2021      JUNE FIRE PAY   015-150-6069      140.00
                                                                                --------
                                           Vendor 005805 - PAULSON/KEITH Total:   140.00
Vendor: 000426 - SHADA/TIM
SHADA/TIM       INV0000055      07/16/2021      JUNE FIRE PAY   015-150-6069      970.00
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                                                                                --------
                                                Vendor 000426 - SHADA/TIM Total:   970.00
Vendor: 004456 - SNOW/JASON
SNOW/JASON      INV0000060      07/16/2021      JUNE FIRE PAY   015-150-6069      350.00
                                                                                --------
                                               Vendor 004456 - SNOW/JASON Total:   350.00
Vendor: 006158 - SNOW/JEREMEIAH
SNOW/JEREMEIAH  INV0000082      07/16/2021      JUNE FIRE PAY   015-150-6069      340.00
                                                                                --------
                                          Vendor 006158 - SNOW/JEREMEIAH Total:   340.00
Vendor: 005867 - STRUBE/KYLE
STRUBE/KYLE     INV0000076      07/16/2021      JUNE FIRE PAY   015-150-6069      225.00
                                                                                --------
                                             Vendor 005867 - STRUBE/KYLE Total:   225.00
Vendor: 001038 - SWISHER/JEFF
SWISHER/JEFF    INV0000056      07/16/2021      JUNE FIRE PAY   015-150-6069      410.00
                                                                                --------
                                            Vendor 001038 - SWISHER/JEFF Total:   410.00
Vendor: 005753 - TAPKEN/MATTHEW
TAPKEN/MATTHEW  INV0000072      07/16/2021      JUNE FIRE PAY   015-150-6069      425.00
                                                                                --------
                                          Vendor 005753 - TAPKEN/MATTHEW Total:   425.00
Vendor: 005131 - YOUNG/ROBERT
YOUNG/ROBERT    INV0000081      07/16/2021      JUNE FIRE PAY   015-150-6069       40.00
                                                                                --------
                                            Vendor 005131 - YOUNG/ROBERT Total:    40.00
Vendor: 005449 - ZIMMERMAN/BRODY
ZIMMERMAN/BRODY INV0000066      07/16/2021      JUNE FIRE PAY   015-150-6069      110.00
                                                                                --------
                                        Vendor 005449 - ZIMMERMAN/BRODY Total:   110.00
                                                                                --------
                                                                   Grand Total: 9,080.00
                                Fund Summary
                  Fund                                      Payment Am
                  015 - FIRE SERVICE                          9,080.00
                                                           ----------
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Grand Total	9,080.00