



CITY OF ANAMOSA

CITY COUNCIL AGENDA – REGULAR SESSION

MONDAY, JULY 11, 2022 – 6:00 P.M.
ANAMOSA LIBRARY & LEARNING CENTER
600 EAST 1ST STREET, ANAMOSA, IA 52205

Zoom Meeting Link
<https://us02web.zoom.us/j/81583080516>

Meeting ID: 815 8308 0516
Passcode: Anamosa

Join by Telephone
+1 312 626 6799 US
Meeting ID: 815 8308 0516
Passcode: 4713367

If you wish to address the City Council, please wait for the Mayor to open the floor for public comment on that agenda item and then approach the podium. Before speaking, please state your name and address. Each speaker is limited to five (5) minutes per agenda item and is expected to refrain from the use of profane, obscene, or slanderous language.

The above Zoom link does not allow for participation in the meeting. It is for viewing only.

- 1.0) **ROLL CALL**
- 2.0) **PLEDGE OF ALLEGIANCE**
- 3.0) **APPROVAL OF AGENDA**
- 4.0) **MOTION TO APPROVE THE MINUTES FROM THE FOLLOWING MEETINGS:**
 - 4.1) JUNE 27, 2022 – REGULAR COUNCIL MEETING
- 5.0) **PROCLAMATIONS: NONE**
- 6.0) **OLD BUSINESS:**
 - 6.1) **REVIEW AND APPROVAL** – UPDATE ON ANAMOSA POLICE STATION REMODEL AND RELEASE FOR PUBLIC BIDDING (Brian Stark, Martin Gardner Architecture)
 - 6.2) **REVIEW AND APPROVAL** – PAY APPLICATION NO. 5 TO BOOMERANG IN THE AMOUNT OF \$165,537.50 FOR THE ANAMOSA FIRE STATION PROJECT.
 - 6.3) **REVIEW AND APPROVAL** – PAY APPLICATION NO. 6 TO BOOMERANG IN THE AMOUNT OF \$10,450.00 FOR THE ANAMOSA FIRE STATION PROJECT.
 - 6.4) **REVIEW AND APPROVAL** – PAY APPLICATION NO. 7 TO BOOMERANG IN THE AMOUNT OF \$12,649.25 FOR THE ANAMOSA FIRE STATION PROJECT.
 - 6.5) **REVIEW AND APPROVAL** – PAY APPLICATION NO. 8 TO BOOMERANG IN THE AMOUNT OF \$29,545.00 FOR THE ANAMOSA FIRE STATION PROJECT.
 - 6.6) **PROJECT STATUS UPDATE** – FIRE STATION PROJECT
 - 6.7) **RESOLUTION** – SETTING THE DATE FOR A PUBLIC HEARING AND ADDITIONAL ACTION ON PROPOSAL TO ENTER INTO A GENERAL OBLIGATION CORPORATE PURPOSE LOAN AGREEMENT FOR THE OLD DUBUQUE ROAD EXTENSION PROJECT, ON JULY 25, 2022, AT 6PM, AT THE ANAMOSA LIBRARY AND LEARNING CENTER. **ROLL VOTE.**
- 7.0) **NEW BUSINESS**
 - 7.1) **RESOLUTION** – SETTING THE TEMPORARY SALARY FOR THE DEPUTY TREASURER.
ROLL VOTE
 - 7.2) **REVIEW AND APPROVAL** - LIQUOR LICENSE RENEWAL FOR LAS BRASAS
 - 7.3) **REVIEW AND APPROVAL** - LIQUOR LICENSE FOR SCOOTERS/J&P CYCLES “BIKE NIGHT”
 - 7.4) **REVIEW AND APPROVAL** OF CURRENT BILLS

8.0) CITY ADMINISTRATOR’S REPORT:

9.0) MAYOR AND COUNCIL REPORTS:

9.1) MAYOR’S REPORT

9.2) COUNCIL REPORTS

10.0) PUBLIC COMMENT FOR ITEMS NOT ON THE AGENDA

11.0) CLOSED SESSION

11.1) MOTION TO ENTER INTO CLOSED SESSION PER IOWA STATE CODE SECTION 21.5(1)(c) – TO DISCUSS STRATEGY WITH COUNSEL IN MATTERS THAT ARE PRESENTLY IN LITIGATION OR WHERE LITIGATION IS IMMINENT WHERE ITS DISCLOSURE WOULD BE LIKELY TO PREJUDICE OR DISADVANTAGE THE POSITION OF THE GOVERNMENTAL BODY IN THAT LITIGATION. **ROLL VOTE.**

11.2) RETURN TO OPEN SESSION

12.0) ADJOURNMENT

STATEMENT OF COUNCIL PROCEEDINGS
June 27, 2022

The City Council of the City of Anamosa met in Regular Session June 27, 2022 at the Anamosa Library and Learning Center and via Zoom at 6:00 p.m. with Mayor Pro Tem Jeff Stout presiding. The following Council Members were present: Rich Crump, Alan Zumbach, Teresa Tuetken, Kay Smith and Brooke Gombert. Absent: Rod Smith. Also present were Jeremiah Hoyt, Interim City Administrator/City Clerk, Penny Lode, Deputy Treasurer, Shane Brown, Street Superintendent, Steve Agnitsch, Utilities Superintendent, Robert Young, Assistant Utilities Superintendent, Shelley Carr, Parks & Recreation Director, Rachel Frank, Wastewater Trainee, and Nick Brokaw, Interim Lieutenant. Iowa Code Chapter 21, as interpreted, permits public meetings to be held electronically.

Mayor Pro Tem Jeff Stout called the meeting to order at 6:00 p.m. Roll call was taken with a quorum present.

Pledge of Allegiance.

Motion by Crump, second by Zumbach to approve the agenda. Ayes: all. Nays: none. Motion carried.

Motion by Crump, second by Gombert to approve the minutes of the June 13, 2022 Regular City Council meeting. Ayes: all. Nays: none. Motion carried.

Motion by Smith, second by Crump to approve the minutes of the June 25, 2022 Special Council Meeting. Ayes: all. Nays: none. Motion carried.

Motion by Smith, second by Zumbach approving the agreement between the City of Anamosa and the Anamosa Fire Department for water distribution to the fire department. Ayes: All. Nays: none. Motion carried.

Motion by Zumbach, second by Crump to approve Jones County Economic Development, Martin-Gardner and ECICOG to apply for a Community Development Block Grant for a façade project in the amount of \$1,150,883 for 13 properties. Ayes: all. Nays: None. Motion carried.

Motion by Smith, second by Zumbach to approve contract amendment between City of Anamosa and ECICOG in the amount of \$2,000 for administrative fees for the Downtown Revitalization project. Ayes: all. Nays: none. Motion carried.

Snyder & Associates submitted updates for the Old Dubuque Road Extension project. Pre-con meeting will be held next Wednesday at 11:00 a.m.

Hoyt gave update on Fire Station project. Bryce Ricklefs also addressed the Council to answer any questions and give an update.

Josh , HR Green gave updates on the projects provided in the packet.

Motion by Crump, second by Smith to approve the Fireworks Display request submitted by the Rotary Club of Anamosa to be held on July 3, 2022, at 5:00 p.m. (fireworks at approximately 9:30 p.m.) with a rain date of July 4, 2022. Ayes: all. Nays: none. Motion carried.

Motion by Smith, second by Zumbach to approve Resolution 2022-37 approving the hiring and setting of salary for Beth Steuri for the Utility Billing Clerk position. Ayes: Gombert, Stout, Crump, Smith, Tuetken, Zumbach. Nays: none. Motion carried.

Motion by Zumbach, second by Gombert to approve Resolution 2022-38 approving the hiring and setting of salary for Michon Jackson for the City Administrator/City Clerk position. Ayes: Zumbach, Crump, Gombert, Smith, Stout, Tuetken. Nays: none. Motion carried.

Motion by Crump, second by Zumbach to approve the current bills. Ayes: all. Nays: none. Motion carried.

Jeremiah Hoyt, Interim City Clerk/City Administrator presented the City Administrator's report. No report.

Mayor and Council Reports: Smith provided a Library update, no fines in July to return past due books.

Public Comment: Tom Durgin addressed the council with an update on the Dillon Bridge, which is still moving.

There being no further business to come before the Council the meeting adjourned at 6:30 p.m.

Jeff Stout, Mayor Pro Tem

ATTEST:

Penny Lode, Deputy Treasurer

RENOVATION TO ANAMOSA POLICE STATION

106 N. FORD ST.

ANAMOSA, IOWA 52205

OWNER

CITY OF ANAMOSA
107 S. FORD STREET
ANAMOSA, IOWA 52205
JEREMIAH HOYT, CHIEF OF POLICE
jeremiah.hoyt@anamosa-ia.org
319-462-6055

ARCHITECT:

MARTIN GARDNER ARCHITECTURE, P.C.
102 S. FREDERICK AVE.
SUITE 1
OELWEIN, IOWA 50662
BRIAN STARK - SENIOR PROJECT MANAGER
brians@martingardnerarch.com
319-200-8498

STRUCTURAL

HOOTING COYOTE LLC
1553 W MORLEY RD.
ELIZABETH, ILLINOIS 61028
TODD BIRKEL, PE
tbirkel@hootingcoyote.com
815-858-5514

MECHANICAL / ELECTRICAL

WEST PLAINS ENGINEERING
215 2ND AVENUE SE
SUITE 200
CEDAR RAPIDS, IOWA 52401
DAVID CLARK, PE
david.clark@westplainsengineering.com
319-365-0030

CIVIL

FEHR GRAHAM ENGINEERING & ENVIRONMENTAL
128 S. VINE ST.
WEST UNION, IOWA 52175
JON BIEDERMAN, PE
jbiederman@fehrgraham.com
563-422-5131

DRAWING SHEET INDEX	
M201	MECHANICAL SYMBOLS & DETAILS
1 - COVER	
A000	COVER SHEET
A001	CODE REVIEW
2 - CIVIL	
C.01	SITE REMOVAL / PROPOSED PAVING
C.02	SITE DETAILS
3 - ARCHITECTURAL	
A100	DEMOLITION / LOWER FLOOR PLAN
A101	MAIN FLOOR PLAN
A102	ENLARGED FLOOR PLAN
A103	REFLECTED CEILING PLAN
A200	SCHEDULES
A300	DETAILS
A400	EXTERIOR ELEVATIONS - DEMOLITION
A401	EXTERIOR ELEVATIONS
A500	INTERIOR ELEVATIONS
A600	SECTIONS
5-MECHANICAL	
M101	HVAC PLANS
M202	MECHANICAL SCHEDULES
P101	SANITARY AND VENT PLANS
P201	DOMESTIC PLUMBING PLANS
6-ELECTRICAL	
E101	LIGHTING PLANS
E201	POWER AND COMMUNICATIONS PLANS
E301	SYMBOLS, ABB'S, & DETAILS
E401	ELECTRICAL SCHEDULES



ALTERNATE NOTES:

THIS PROJECT HAS THE FOLLOWING ALTERNATES. THESE ALTERNATES WILL ALLOW THE OWNER TO CONSIDER MULTIPLE PRICES FOR SET VARIATIONS IN THE WORK. BELOW ARE GENERAL DESCRIPTIONS FOR THESE ALTERNATES. REVIEW THE REMAINDER OF THE DOCUMENTS FOR ADDITIONAL DETAIL AND INFORMATION.

- ALTERNATE DESCRIPTIONS:
- ALTERNATE A-1: ALTERNATE SHALL INCLUDE EXTERIOR BUILDING PAINTING AS SHOWN ON THE PLANS TO INCLUDE NEW INFILL LOCATIONS, EXISTING WALL MASONRY AND SIDING, SOFFITS, FASCIA, TRIM, ETC.

GENERAL NOTES:

- ALL WORK ON THIS PROJECT IS TO BE BUILT IN ACCORDANCE TO ALL FEDERAL, STATE, AND LOCAL BUILDING CODES. CONTRACTOR SHALL BRING TO ARCHITECT'S ATTENTION ALL ITEMS REQUIRING INTERPRETATION.
- ALL CONTRACTORS ON THIS PROJECT MUST BE REGISTERED WITH THE STATE OF IOWA. GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE STATE REGISTRATION AND INSURANCE CERTIFICATES FROM EACH CONTRACTOR AND TRANSMIT TO ARCHITECT PRIOR TO START OF CONSTRUCTION.
- HAZARDOUS MATERIAL: THE OWNER AT THIS TIME HAS NO KNOWLEDGE OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL WITHIN OR ADJACENT TO THE EXISTING BUILDING. SHOULD THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS ENCOUNTER MATERIAL WHICH THEY SUSPECT TO CONTAIN OR BE CONTAMINATED WITH ASBESTOS OR OTHER HAZARDOUS MATERIAL IN HAZARDOUS FORM, THEY SHOULD IMMEDIATELY:
 - CEASE ALL OPERATIONS IN THE AREA OF SUSPECTED MATERIAL.
 - NOTIFY THE OWNER VERBALLY AND CONFIRM THE NOTIFICATION IN WRITING. ONCE NOTIFIED, THE OWNER WILL BE RESPONSIBLE TO HAVE THE QUESTIONABLE MATERIAL TESTED AND IF NECESSARY, REMOVED OR STABILIZED.

I hereby certify that the portion of this technical submission described below was prepared by me, or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa.

Kyle D. Martin
License number:
License expires: Date issued:
Pages or sheets covered by this seal:

PRELIMINARY - NOT FOR CONSTRUCTION

CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION



700 11TH ST
SUITE 200
MARION, IOWA
52302
(319) 377-7604
WWW.MARTINGARDNERARCH.COM
102 S. FREDERICK
AVE
SUITE #1
OELWEIN, IA
50662

A000

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BID SET 07/11/2022	REVISION	DATE:
NUMBER:		

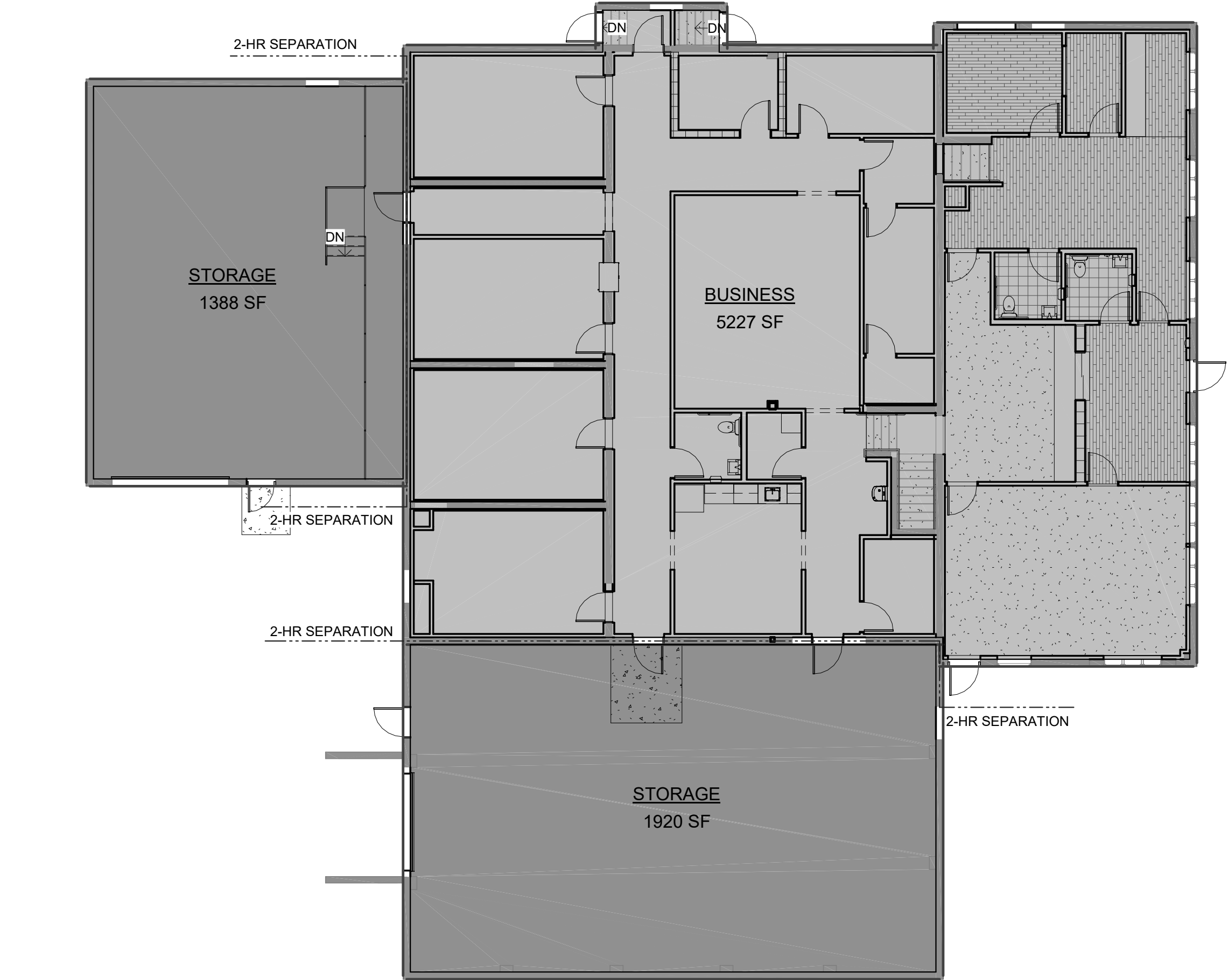
BUILDING CODE SUMMARY

AUTORITY HAVING JURISDICTION				
CITY OF ANAMOSA				
BUILDING CODES				
2015 INTERNATIONAL BUILDING CODE				
2015 INTERNATIONAL FIRE CODE				
2012 INTERNATIONAL ENERGY CONSERVATION CODE				
2012 NFPA 101 LIFE SAFETY CODE				
2010 AMERICANS WITH DISABILITY ACT				
2021 INTERNATIONAL MECHANICAL CODE				
2021 UNIFORM PLUMBING CODE				
2020 NATIONAL ELECTRICAL CODE				
CHAPTER 3 - USE AND OCCUPANCY				
OCCUPANCY		VB	B	S-2
CONSTRUCTION TYPE				
CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS				
TABLE 504.3 - ALLOWABLE HEIGHT IN FEET ABOVE GRADE PLANE				
ALLOWABLE BUILDING HEIGHT	25'	40'	40'	
PROPOSED BUILDING HEIGHT				
TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE				
ALLOWABLE NUMBER OF STORIES	1	2	2	
PROPOSED NUMBER OF STORIES				
TABLE 506.2 - ALLOWABLE AREA FACTOR IN SF				
ALLOWABLE AREA		9,000	13,500	
PROPOSED AREA	11,978	8,670	3,308	
EXISTING AREA (IF APPLICABLE)	N/A			
SECTION 506 - BUILDING AND AREA MODIFICATIONS				
FRONTAGE INCREASE	N/A			
TOTAL BUILDING				
PROPOSED AREA (MAIN FLOOR)	8,535			
PROPOSED AREA (BASEMENT)	3443			
TOTAL ALLOWABLE BUILDING AREA	9,000			
TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES				
	S-2 TO B	2-HR		
TABLE 509 - INCIDENTAL USES		NONE		
CHAPTER 6 - TYPES OF CONSTRUCTION				
TABLE 601 FIRE RESISTANCE REATING (BUILDING ELEMENTS)				
PRIMARY STRUCTURE	0			
EXTERIOR BEARING WALLS	0			
INTERIOR BEARING WALLS	0			
NON BEARING WALLS	0			
FLOORS	0			
ROOFS	0			
SECTION 602 - CONSTRUCTION CLASSIFICATION	V			
CHAPTER 7 - FIRE AND SMOKE PROTECTION				
SECTION 706 - FIRE WALLS				
TABLE 706.4 - FIRE WALL FIRE RESISTANCE RATING	3	2		
SECTION 707 - FIRE BARRIERS				
TABLE 707.3.10 - FIRE RESISTANCE RATINGS	2	2		
SECTION 708 - FIRE PARTITIONS	1	1		
SECTION 709 - SMOKE BARRIERS	1	1		
SECTION 710 - SMOKE PARTITIONS	0	0		
CHAPTER 9 - FIRE PROTECTION SYSTEMS				
SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS	NONE			
SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS	NONE			
CHAPTER 10 - MEANS OF EGRESS				
1004.1 - DESIGN OCCUPANT LOAD	94			
TABLE 1006.3.1 - MINIMUM NUMBER OF EXITS PER STORY	2			
TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE		200'	300'	

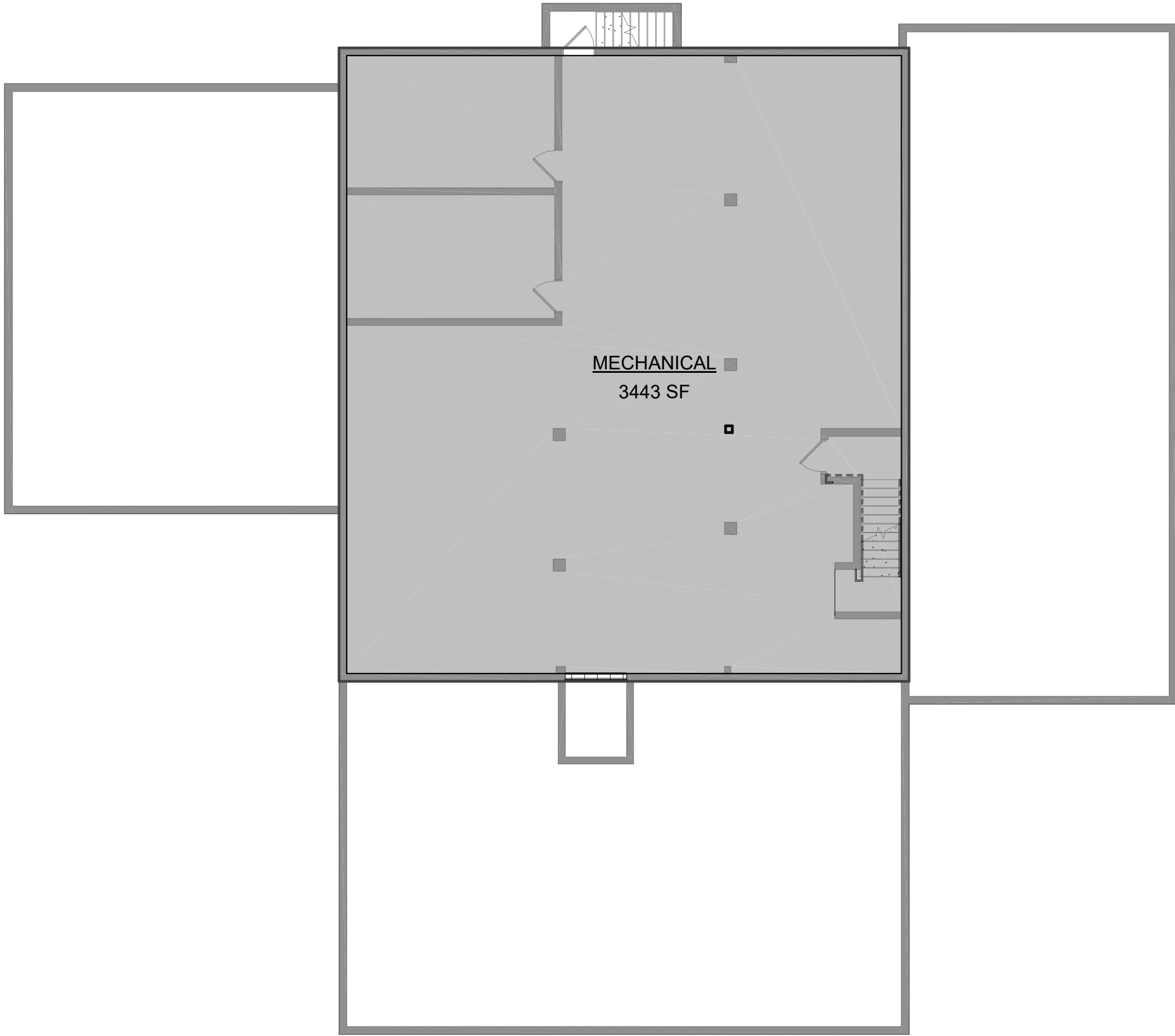
INSTRUCTIONS TO CODE OFFICALS

UPON COMPLETION OF THE REVIEW OF THESE CONSTRUCTION DOCUMENTS, PLEASE COPY ALL MARKUPS AND/OR COMMENTS TO THE APPLICANT AND THE ARCHITECT.

OCCUPANT LOADING SCHEDULE				
AREA NAME	FUNCTION	AREA	OCCUPANT LOAD FACTOR	MAX. LOAD
MECHANICAL	ACCESSORY	3443 SF	300	12
BREAK	ASSEMBLY	203 SF	15	14
TRAINING	ASSEMBLY	436 SF	15	30
OFFICE	BUSINESS	244 SF	150	2
OFFICE	BUSINESS	260 SF	150	2
OFFICE	BUSINESS	247 SF	150	2
OFFICE	BUSINESS	420 SF	150	3
ADMINISTRATIVE	BUSINESS	253 SF	150	2
COMMONS	BUSINESS	294 SF	150	2
INTERVIEW	BUSINESS	122 SF	150	1
VIEWING	BUSINESS	59 SF	150	1
F.P.	BUSINESS	68 SF	150	1
STORAGE	MECHANICAL	1293 SF	300	5
EVIDENCE	MECHANICAL	243 SF	300	1
ARMORY	MECHANICAL	78 SF	300	1
STORAGE	MECHANICAL	123 SF	300	1
STORAGE	MECHANICAL	109 SF	300	1
STORAGE	MECHANICAL	34 SF	300	1
JANITOR	MECHANICAL	39 SF	300	1
STORAGE	MECHANICAL	72 SF	300	1
VEHICLE STORAGE	PARKING	1828 SF	200	10
CORRIDOR	UNOCCUPIED	499 SF	0	
CORRIDOR	UNOCCUPIED	154 SF	0	
TOILET	UNOCCUPIED	47 SF	0	
VESTIBULE	UNOCCUPIED	169 SF	0	
TOILET	UNOCCUPIED	48 SF	0	
TOILET	UNOCCUPIED	48 SF	0	
10830 SF			94	



OCCUPANCY PLAN
3/32" = 1'-0"



OCCUPANCY PLAN - BASEMENT
3/32" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

CODE REVIEW

CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION

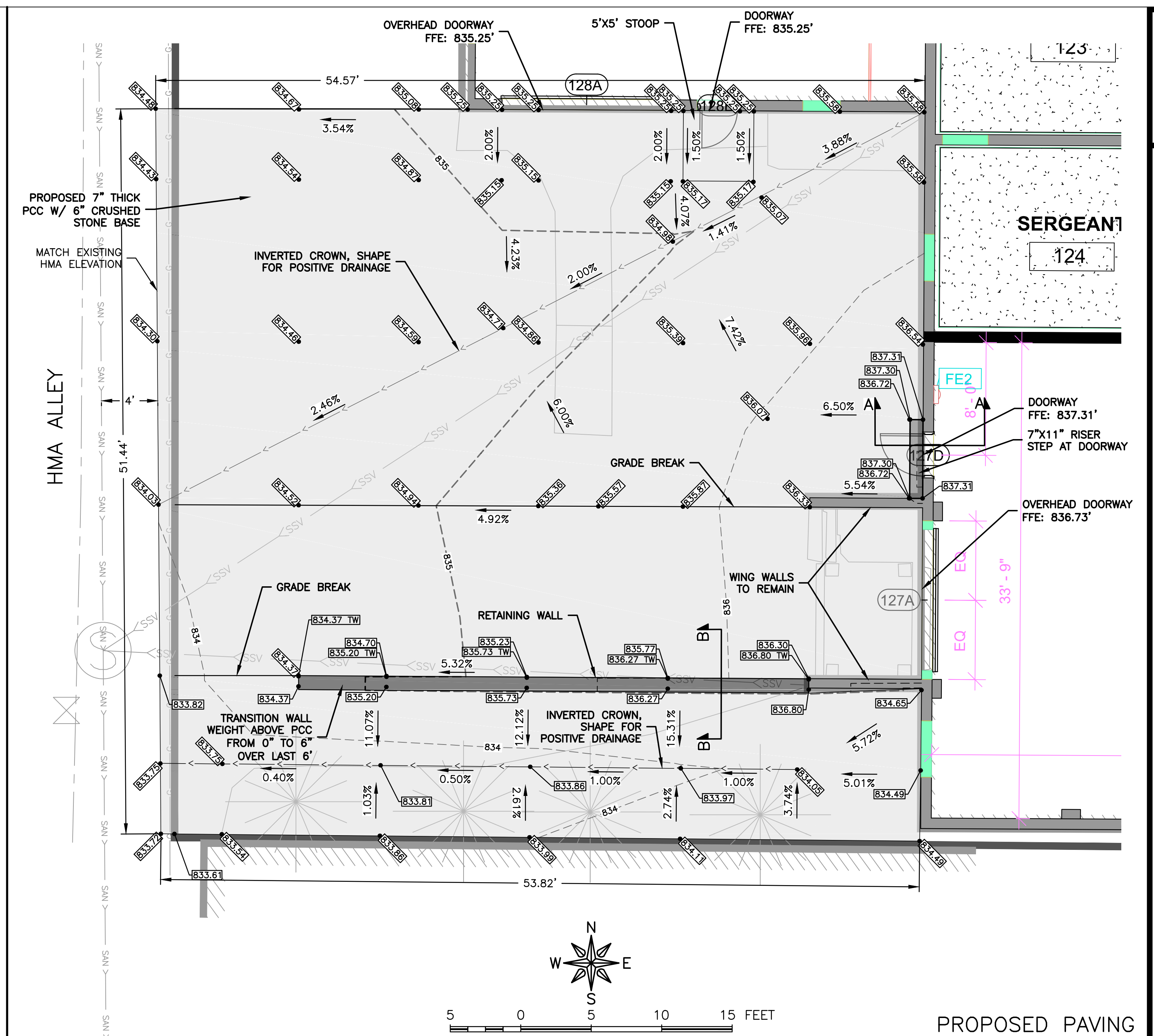


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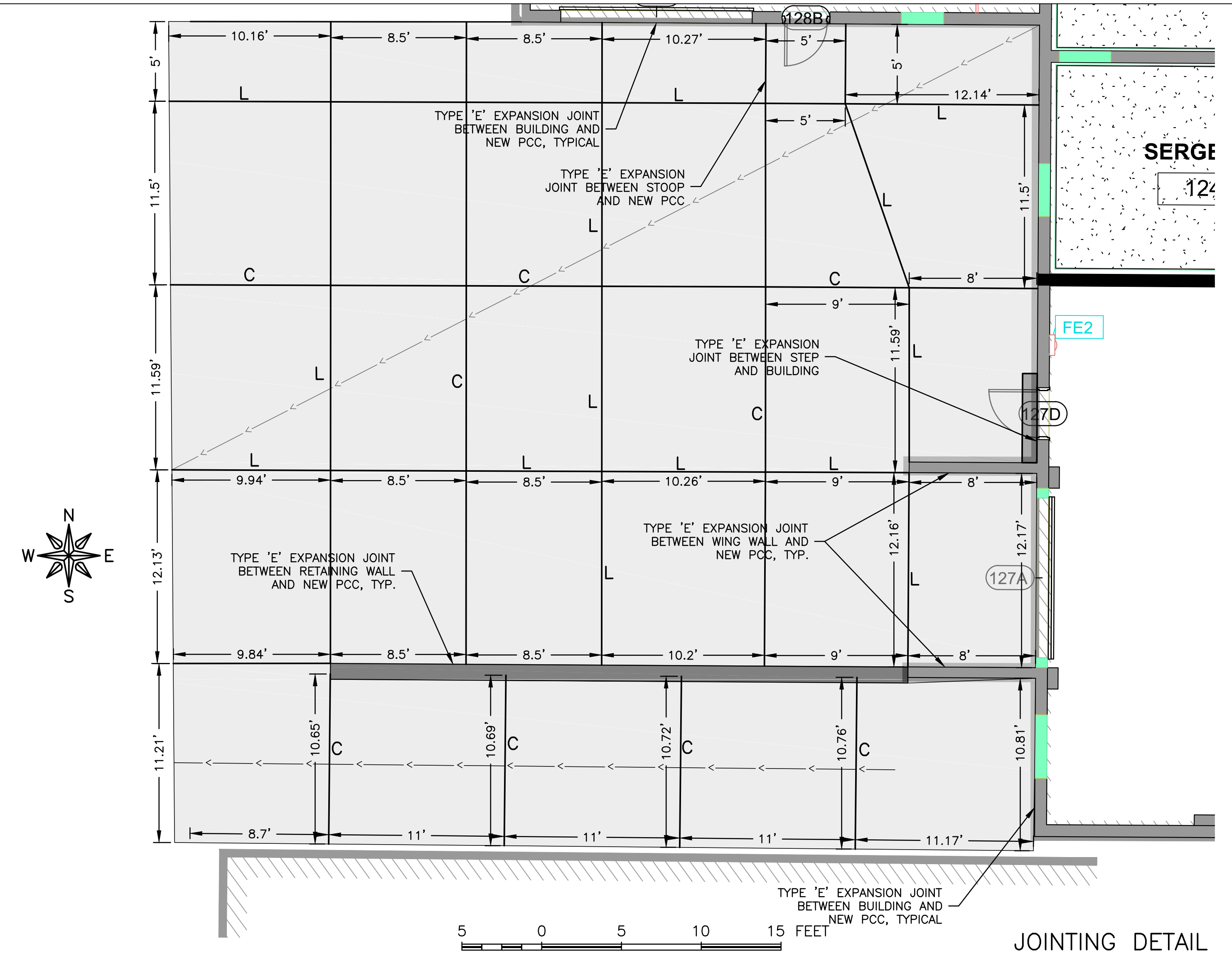
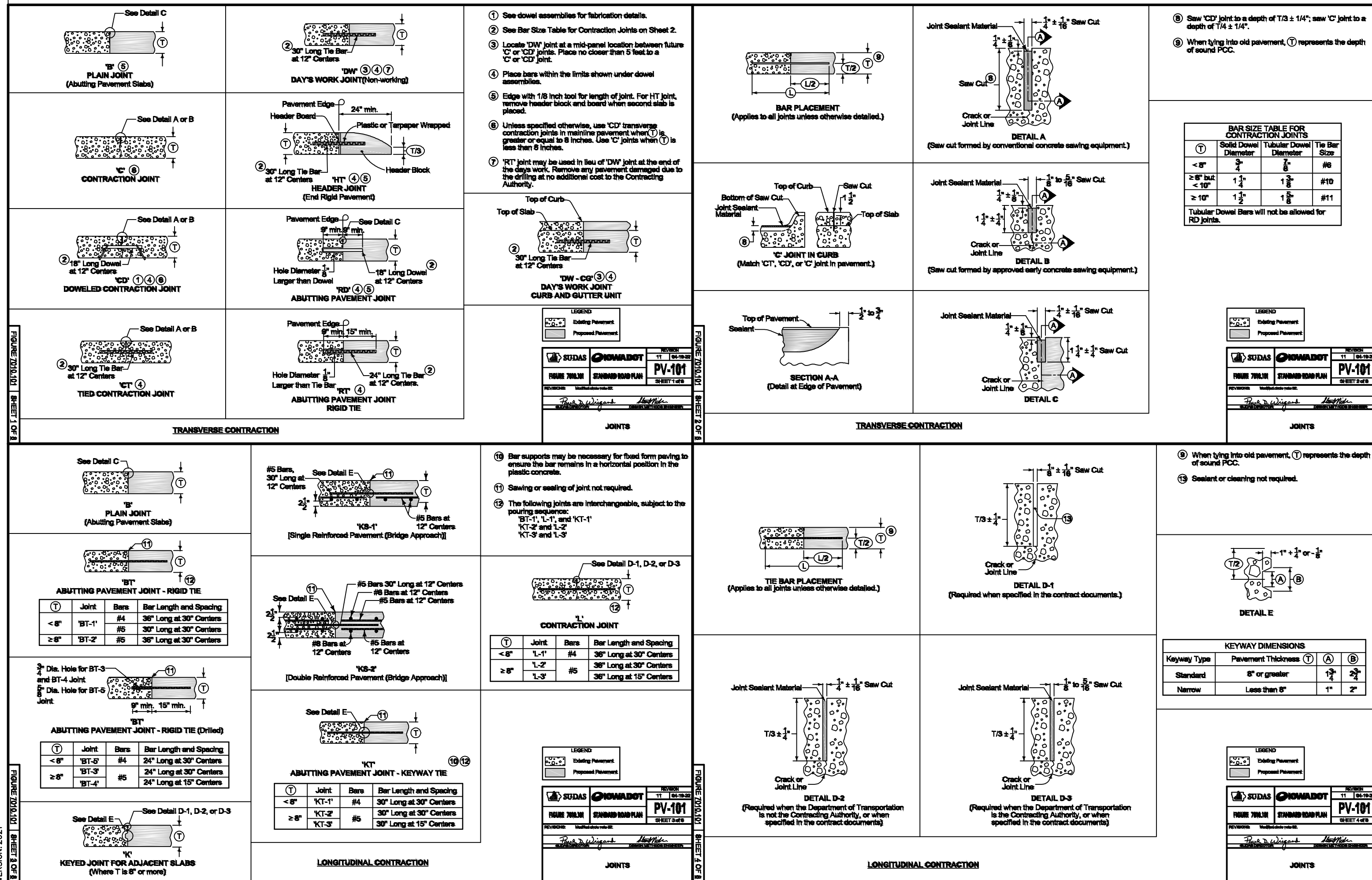
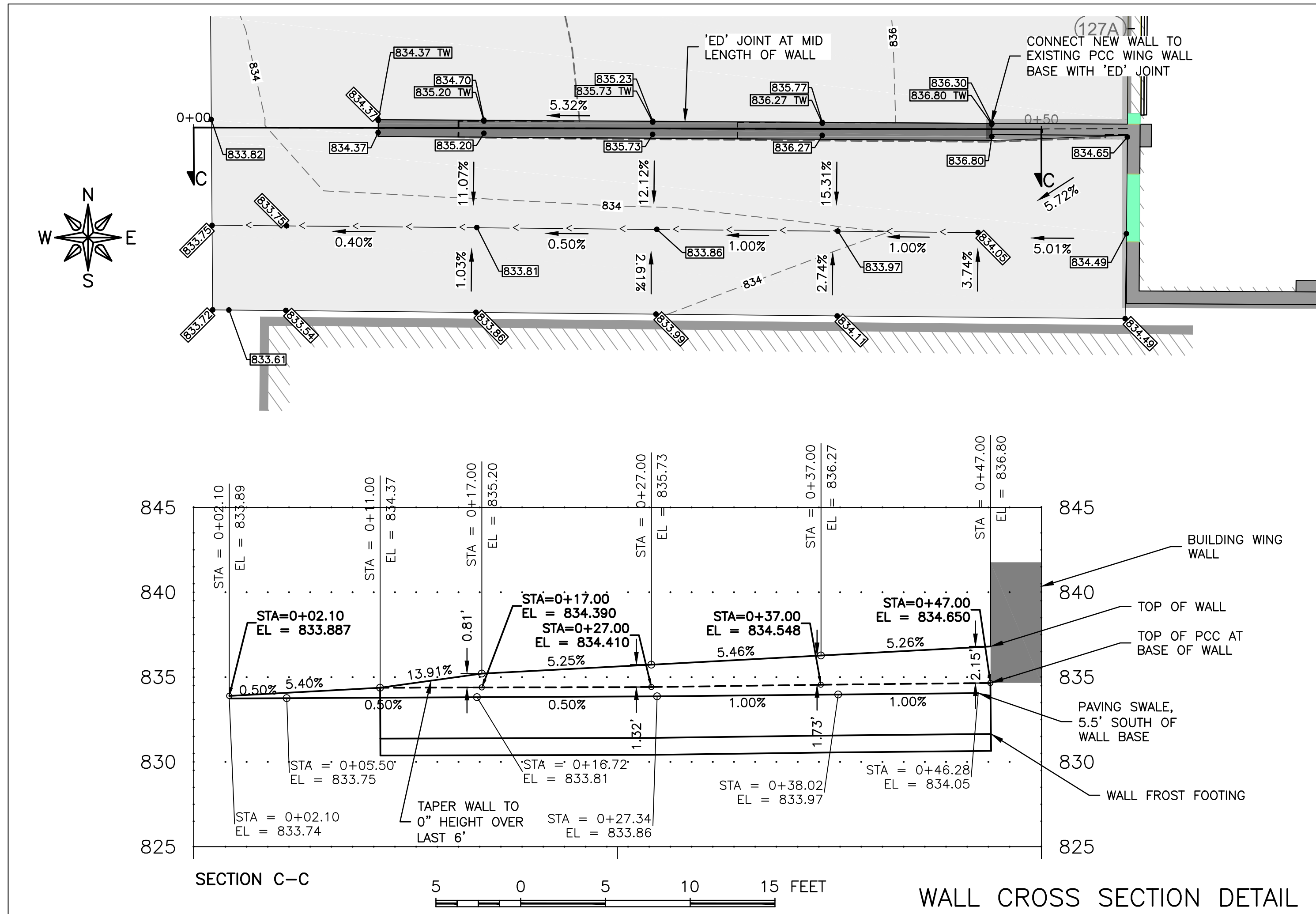
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C.01
I1911.02

6/22/2022 9:40:35 BM 3502 // Anamosa Police Station Renovation/Anamosa Police Station
REVIT VERSION: 2021
AM

C:\30\22\22-330 MGA Anamosa PD\22-330 Design.dwg, C.02
PLOT DATE: 6/22/22



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CIVIL

C.02

11911.02

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CITY OF ANAMOSA
RENOVATION TO ANAMOSA
POLICE STATION

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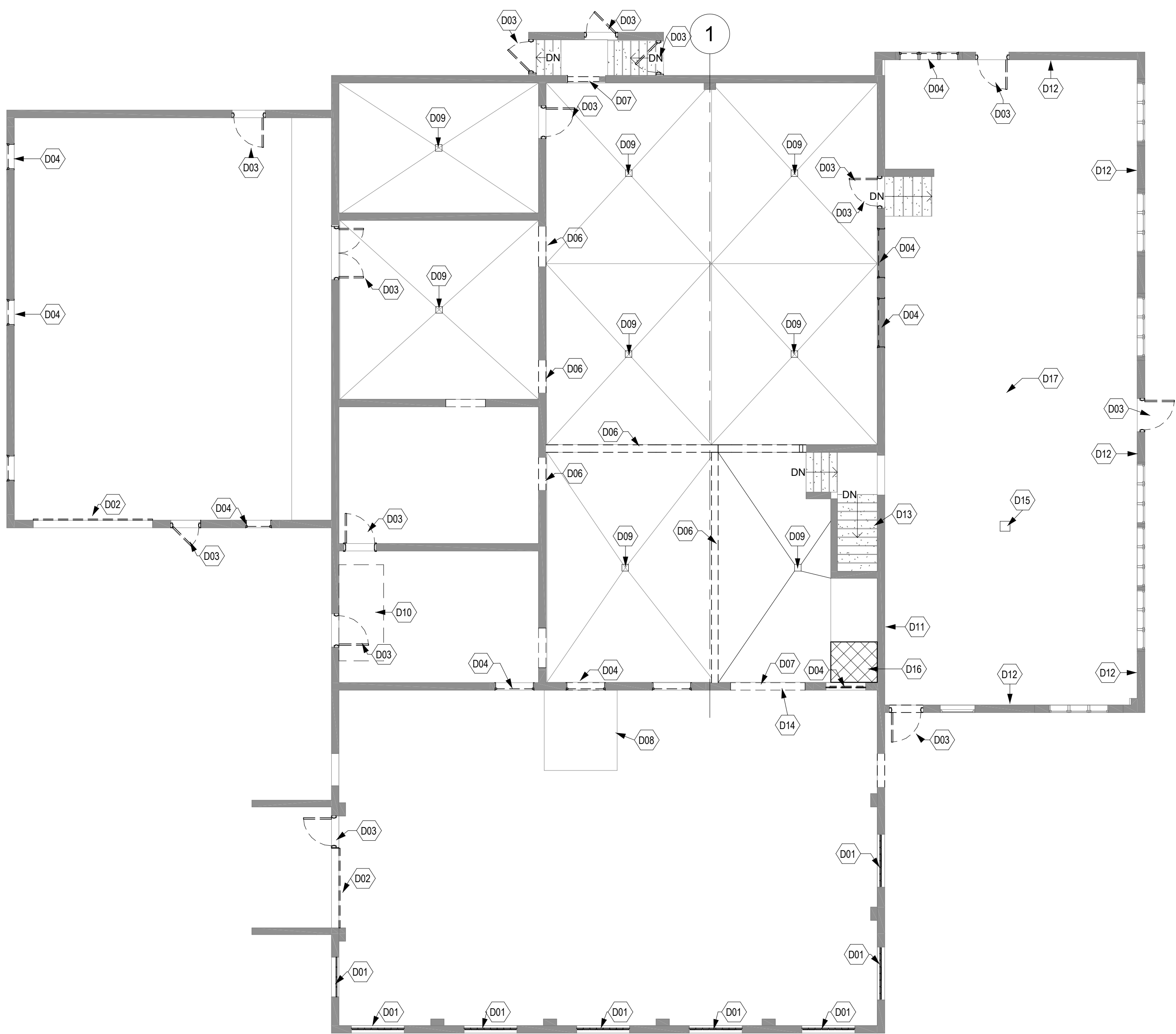
REVISION	DATE

7/6/2022 8:26:10 AM
Bldg 300 / Anamosa Police Station Renovation / Anamosa Police Station v4
REV: 1/15/2022

KEY NOTES	
KEY	KEYNOTE
D01	REMOVE GLASS BLOCK WINDOW
D02	REMOVE OVERHEAD DOOR, TRACK AND WEATHERSTRIPPING
D03	REMOVE EXISTING DOOR AND FRAME
D04	REMOVE EXISTING WINDOW AND FRAME
D06	REMOVE EXISTING MASONRY WALL
D07	EXISTING DOOR OPENING
D08	REMOVE STEEL DOORWAY AND FRAME
D09	TERMINATE FLOOR DRAIN IN BASEMENT, FILL WITH GROUT
D10	SAWCUT AND REMOVE SLOPED FLOOR
D11	REMOVE GYP. BRD. AND FURRING
D12	REMOVE GYP. BRD. OR PLASTER FINISH
D13	REMOVE EXISTING WOOD FRAMING AT STAIR OPENING
D14	GRIND DOWN EXISTING BRICK TILE FLOOR IN OPENING AS NEEDED TO ACCOMMODATE NEW DOOR
D15	EXISTING FLOOR PENETRATION TO BE PATCHED BACK
D16	REMOVE EXISTING FLOORING AND TRIM OVER WOOD FLOOR INFILL, VERIFY SUBFLOOR AND FRAMING CONDITION, REPAIR AS NEEDED
D17	REMOVE EXISTING FLOORING AS NEEDED TO PREPARE FOR INSTALLATION OF NEW WOOD UNDERLAYMENT
P08	EXISTING STAIRS, PROTECT
P09	FILL EXISTING SHAFT WITH COMPACTED GRAVEL, INSTALL IN 24" LIFTS
P12	INFILL SHAFT OPENING WITH NEW CMU WALL
P17	NEW 8" STEEL COLUMN, SEE STRUCTURAL

DEMOLITION NOTES:

- MECHANICAL & ELECTRICAL REMOVE ALL ITEMS THROUGHOUT THE BUILDING WHICH ARE SPECIFICALLY NOTED TO BE REMOVED. SEE MECHANICAL & ELECTRICAL DRAWINGS & SPECS FOR FURTHER INFORMATION. ALL OTHER EXISTING MECHANICAL & ELECTRICAL ITEMS ARE TO REMAIN AND BE PROTECTED.
- SITE DEMOLITION. REMOVE MISC. SLABS, PIPES, ROCKS & OTHER FEATURES NO LONGER BEING USED. SEE SITE PLANS FOR FURTHER INFORMATION.
- REMOVE TRASH & DEBRIS FROM ALL AREAS OF THE BUILDING. THIS INCLUDES STUD SPACES & ATTICS OPENED DURING CONSTRUCTION.
- WHERE CONCRETE FLOORS ARE TO BE REMOVED USE MOTOR DRIVEN SAW & REMOVE IN STRAIGHT LINE AT EDGES TO REMAIN.
- WHERE CONC BLOCK ARE REMOVED, REMOVE IN TOOTHED PATTERN.
- WOOD WALLS AND ROOFS - REMOVE ROTTED OR BROKEN AREAS OF SHEATHING AND FRAMING AT ALL AREAS WHERE SHEATHING OR FRAMING ARE TO BE REPLACED SHALL BE PHOTO DOCUMENTED.
- REMOVE DEBRIS FROM THE SITE AS IT IS GENERATED. PROVIDE ON SITE DUMPSTER OR OTHER CONTAINERS.
- TEMPORARY SUPPORTS - BEFORE REMOVING ANY BEARING WALLS, COLUMNS, BEAMS OR OTHER FEATURES MAKE PROVISIONS FOR TEMPORARY SHORING.
- NOT ALL ITEMS FOR DEMOLITION CAN BE SHOWN OR NOTED FOR REMOVAL DUE TO THE SCALE OF THE DRAWINGS. QUESTIONS REGARDING REMOVAL SHALL BE DIRECTED TO THE ARCHITECT FOR RESOLUTION.



MAIN FLOOR DEMOLITION PLAN
1/8" = 1'-0"

LOWER FLOOR PLAN
1/8" = 1'-0"

DEMOLITION / LOWER FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

CITY OF ANAMOSA

RENOVATION TO ANAMOSA POLICE STATION

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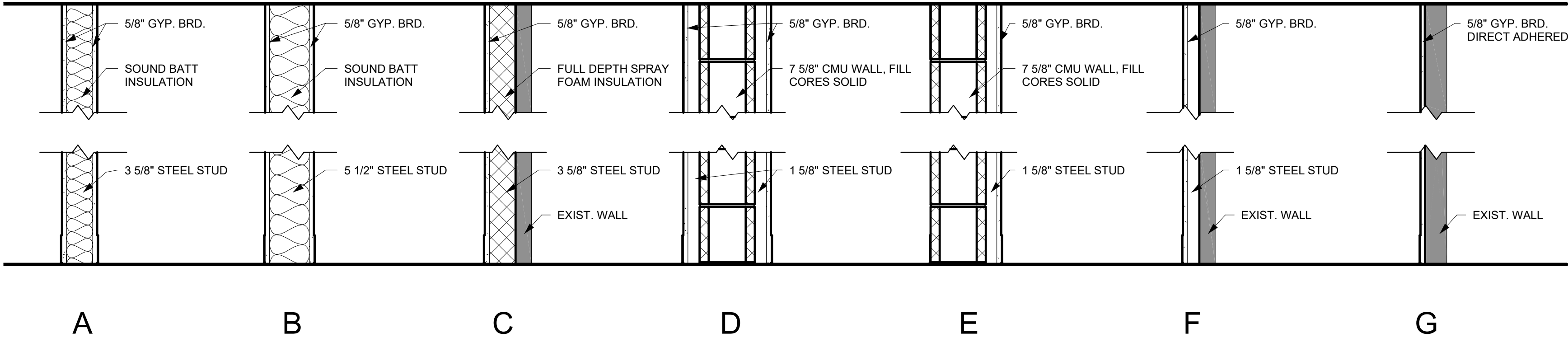
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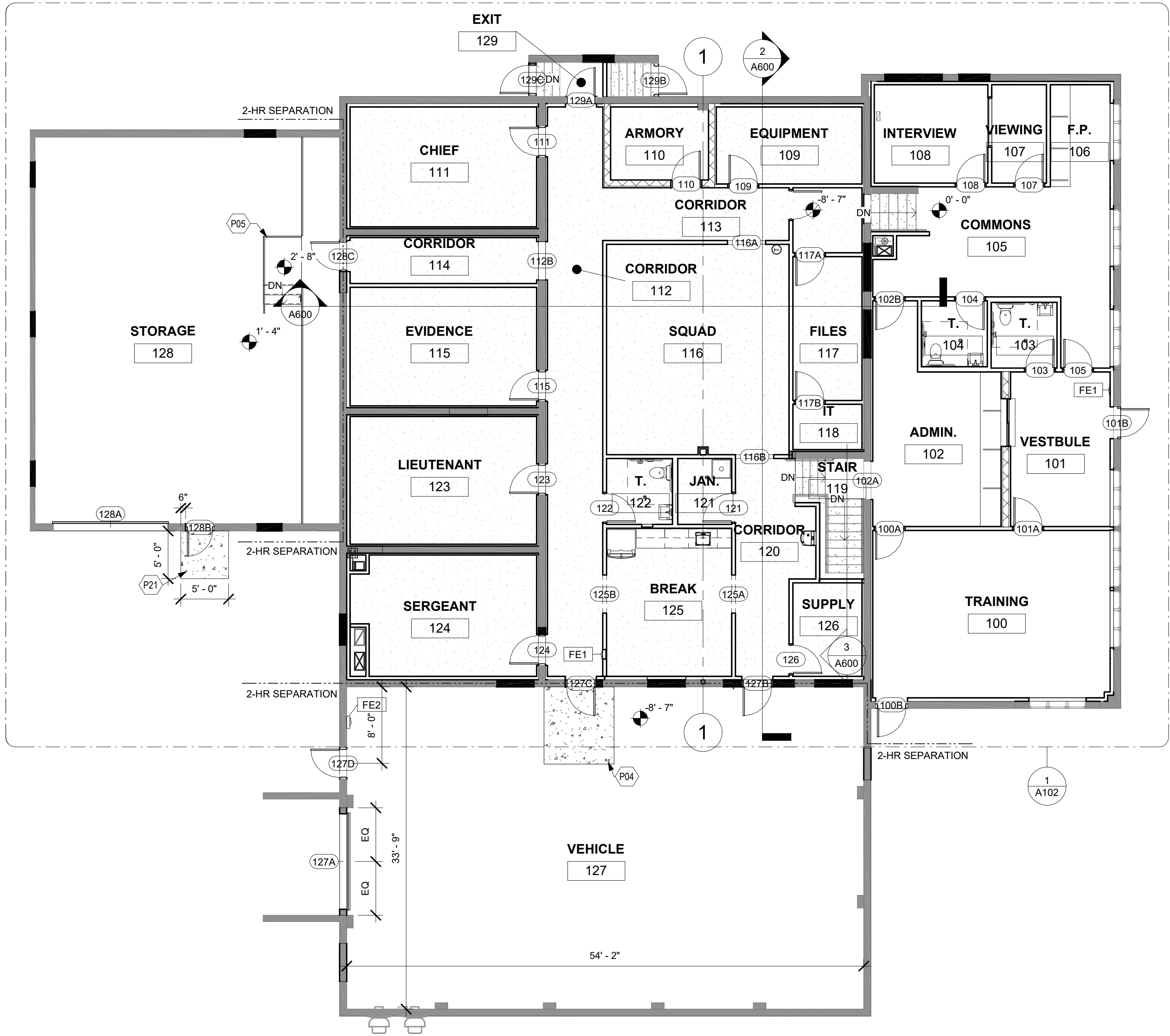
KEY NOTES	
KEY	KEYNOTE
P04	NEW 6" C.I.P. CONC. SLAB INFILL
P05	NEW STEEL STAIRWAY
P21	NEW FROST PROTECTED STOOP, LOCATE EDGE OF STOOP 6" FROM HINGE SIDE OF DOORWAY. SEE STRUCTURAL.

FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO THE EXTERIOR FACE OF FRAMING, WHICH ALIGN TO THE EXTERIOR FACE OF FOUNDATION WALL.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FRAMING.
- ALL SILL PLATES AND OTHER FRAMING COMING INTO CONTACT WITH CONCRETE IS TO BE TREATED.
- AT PIPE CHASES ON EXTERIOR WALLS, INSULATE BETWEEN PIPE AND EXTERIOR FACE. DO NOT INSULATE ON INTERIOR SIDE OF CHASE.
- VERIFY ALL DUCT CHASES WITH MECHANICAL CONTRACTOR PRIOR TO CHASE CONSTRUCTION.
- F.E. = FIRE EXTINGUISHERS. EXTINGUISHERS PROVIDED BY OWNER, CABINETS PROVIDE AND INSTALLED BY CONTRACTOR. COORDINATE LOCATIONS SHOWN ON FLOOR PLANS WITH ARCHITECT PRIOR TO INSTALLATION.
- INSTALL SELF LEVELING FLOOR UNDERLAYMENT OVER EXISTING FLOOR SYSTEM. TERMINATE DOOR OPENINGS AS NEEDED WITH TERMINATION ANGLE. KEEP SELF LEVELING FLOORING AS THIN AS POSSIBLE WHEN ABUTTING TO EXISTING FLOORS/WALLS.
- CONTRACTOR TO ENSURE THAT ALL EXISTING PENETRATIONS IN 2-HR RATED WALL ARE SEALED WITH MASONRY OR OTHER RATED ASSEMBLY. VERIFY REQUIREMENTS WITH ARCHITECT.



Wall Types
1" = 1'-0"



MAIN FLOOR PLAN
1/8" = 1'-0"

MAIN FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

CITY OF ANAMOSA

RENOVATION TO ANAMOSA POLICE STATION



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A101

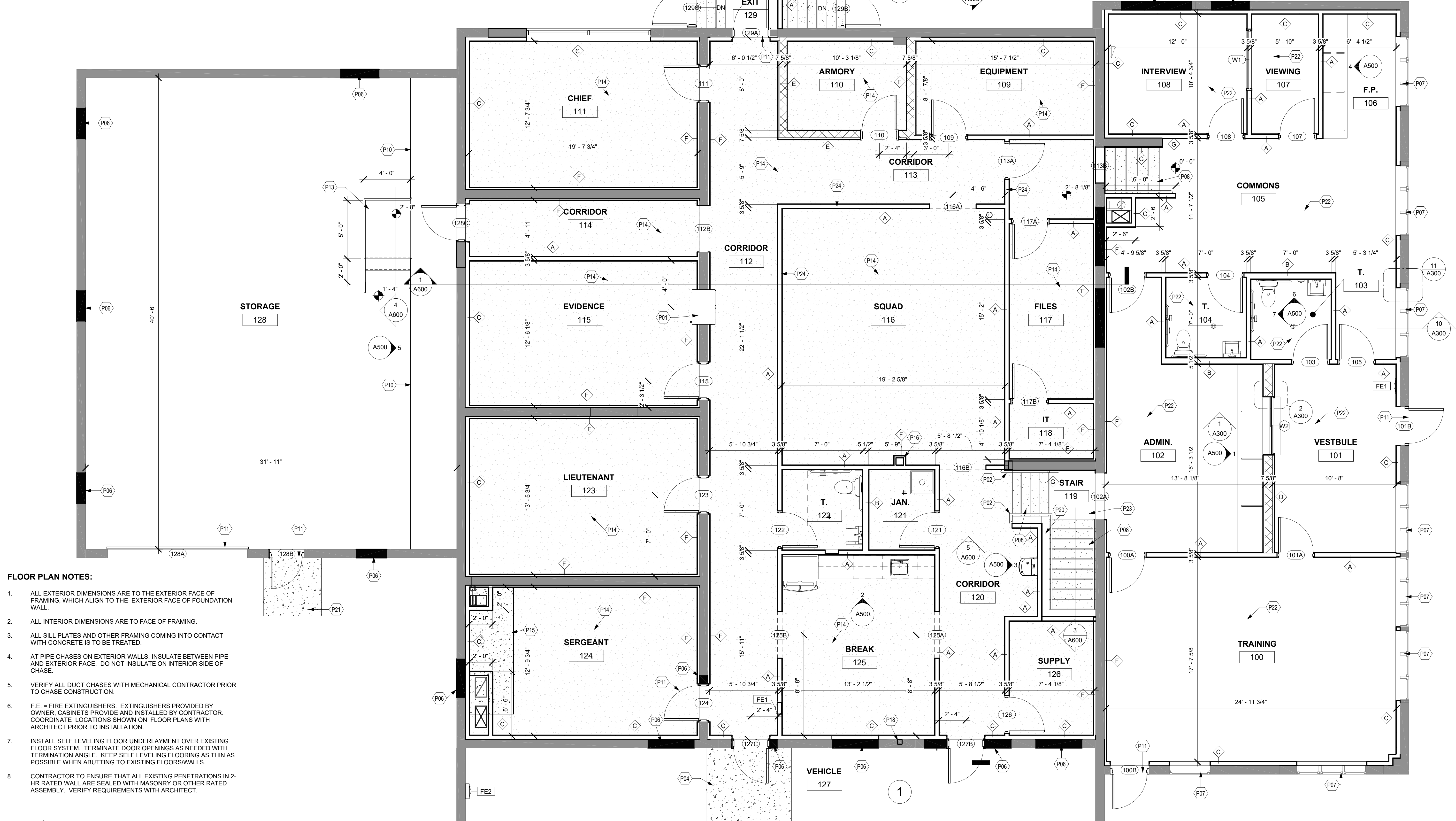
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	NUMBER:	

KEY NOTES	
KEY	KEYNOTE
P01	EVIDENCE LOCKER
P02	NEW RAILING EACH SIDE OF STAIRWAY
P04	NEW 6" C.I.P. CONC. SLAB INFILL
P06	INFILL WALLS WITH CMU AT REMOVED WINDOWS/DOORS
P07	EXISTING WINDOWS TO REMAIN, CONTRACTOR TO INSTALL NEW EXTENSION JAMBS
P08	EXISTING STAIRS, PROTECT
P10	NEW STEEL GUARDRAILING
P11	NEW DOOR IN EXISTING OPENING, SEE SCHEDULE
P13	NEW STEEL GRATE STAIRWAY
P14	INSTALL SELF LEVELING UNDERLAYMENT, SEE FLOOR PLAN NOTES
P15	NEW 4" C.I.P. CONC. SLAB INFILL
P16	FURRING OVER NEW 8" STEEL COLUMN, SEE STRUCTURAL

KEY NOTES	
KEY	KEYNOTE
P18	NEW 5" STEEL COLUMN LET INTO EXISTING WALL, SEE STRUCTURAL
P19	INFILL EXISTING DOOR OPENING WITH FRAMING AND MATCHING SIDING
P20	CLEAN AND PAINT EXISTING GLAZED BLOCK STUB WALL AT STAIRWAY
P21	NEW FROST PROTECTED STOOP, LOCATE EDGE OF STOOP 6" FROM HINGE SIDE OF DOORWAY. SEE STRUCTURAL.

KEY NOTES	
KEY	KEYNOTE
P22	INSTALL CEMENT BASED LEVELING PATCH, SEE FLOOR PLAN NOTES
P23	INSTALL VINYL TREAD AND RISERS OVER EXISTING STEPS
P24	8'-4" WALL HEIGHT



FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO THE EXTERIOR FACE OF FRAMING, WHICH ALIGN TO THE EXTERIOR FACE OF FOUNDATION WALL.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FRAMING.
- ALL SILL PLATES AND OTHER FRAMING COMING INTO CONTACT WITH CONCRETE IS TO BE TREATED.
- AT PIPE CHASES ON EXTERIOR WALLS, INSULATE BETWEEN PIPE AND EXTERIOR FACE. DO NOT INSULATE ON INTERIOR SIDE OF CHASE.
- VERIFY ALL DUCT CHASES WITH MECHANICAL CONTRACTOR PRIOR TO CHASE CONSTRUCTION.
- F.E. = FIRE EXTINGUISHERS. EXTINGUISHERS PROVIDED BY OWNER, CABINETS PROVIDE AND INSTALLED BY CONTRACTOR. COORDINATE LOCATIONS SHOWN ON FLOOR PLANS WITH ARCHITECT PRIOR TO INSTALLATION.
- INSTALL SELF LEVELING FLOOR UNDERLAYMENT OVER EXISTING FLOOR SYSTEM. TERMINATE DOOR OPENINGS AS NEEDED WITH TERMINATION ANGLE. KEEP SELF LEVELING FLOORING AS THIN AS POSSIBLE WHEN ABUTTING TO EXISTING FLOORS/WALLS.
- CONTRACTOR TO ENSURE THAT ALL EXISTING PENETRATIONS IN 2-HR RATED WALL ARE SEALED WITH MASONRY OR OTHER RATED ASSEMBLY. VERIFY REQUIREMENTS WITH ARCHITECT.

ENLARGED PLAN
1/4" = 1'-0"

ENLARGED FLOOR PLAN

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CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION

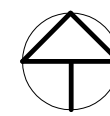
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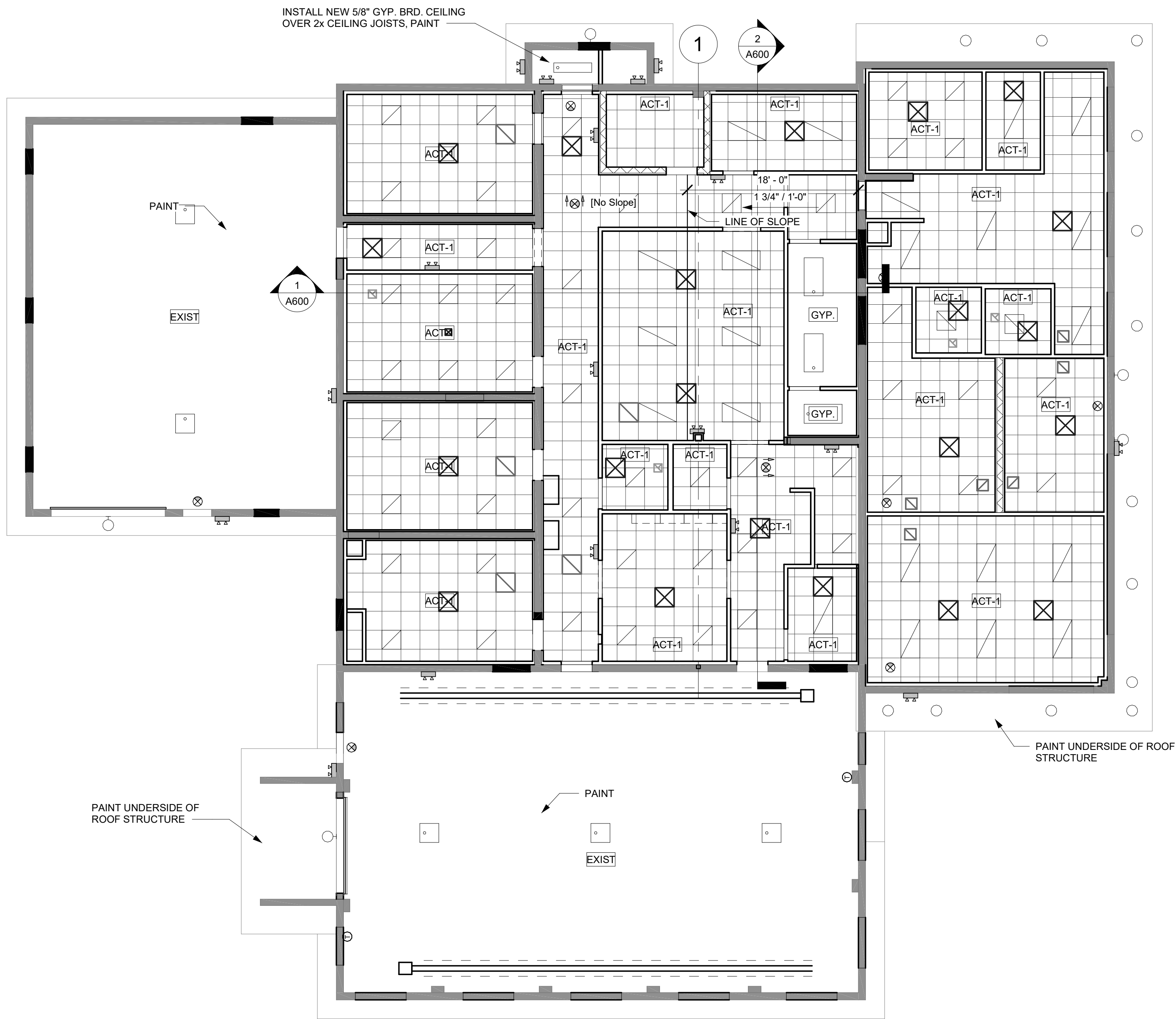
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 REFLECTED CEILING PLAN
1/8" = 1'-0"



REFLECTED CEILING PLAN NOTES:

1. VERIFY CEILING GRID LAYOUT WITH EXACT ROOM DIMENSIONS.
2. AVOID CUT TILE SIZES LESS THAN 4"
3. LIGHT FIXTURES AND DIFFUSERS ARE SHOWN FOR REFERENCE ONLY. REFER TO RESPECTIVE MECHANICAL AND ELECTRICAL SHEETS FOR MORE INFORMATION.

REFLECTED CEILING PLAN

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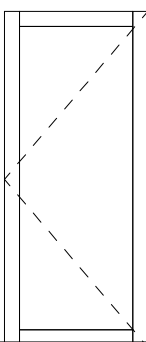
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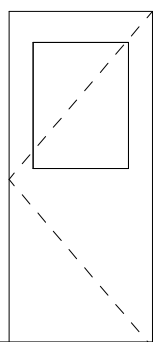
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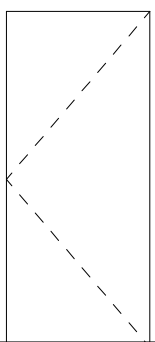
DOOR AND FRAME SCHEDULE													
DOOR NO.	DOOR			FRAME					DETAIL			FIRE LABEL	NOTES
	WIDTH	HEIGHT	THICK	MATERIAL	TYPE	GLASS	TYPE	MATERIAL	GLASS	HEAD	JAMB	SILL	
100A	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	TEMP.	I	HOLLOW METAL	---	7/A300	6/A300	---	
100B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	INSUL./TEMP.	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300	
101A	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
101B	3'-0"	7'-0"	0'-1 3/4"	ALUMINUM	A	INSUL./TEMP.	II	ALUMINUM	---	9/A300	8/A300	3/A300	
102A	4'-0"	7'-0"		OPENING				GYP. BRD.					
102B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL				HOLLOW METAL		7/A300	6/A300	---	
103	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
104	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
105	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
107	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
108	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
109	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
110	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	13/A300	12/A300	---	
111	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	TEMP.	I	HOLLOW METAL	---	5/A300	4/A300	---	
112B	4'-0"	7'-0"		OPENING				GYP. BRD.					
113A	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	TEMP.	I	HOLLOW METAL		5/A300	4/A300	---	
113B	3'-0"	7'-0"		OPENING				GYP. BRD.					
115	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	5/A300	4/A300	---	
116A	4'-0"	7'-0"		OPENING				GYP. BRD.					
116B	4'-0"	7'-0"		OPENING				GYP. BRD.					
117A	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
117B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL				HOLLOW METAL		7/A300	6/A300	---	
121	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
122	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
123	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	TEMP.	I	HOLLOW METAL	---	5/A300	4/A300	---	
124	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	TEMP.	I	HOLLOW METAL	---	5/A300	4/A300	---	
125A	4'-0"	7'-0"		OPENING				GYP. BRD.					
125B	4'-0"	7'-0"		OPENING				GYP. BRD.					
126	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	7/A300	6/A300	---	
127A	10'-0"	10'-0"	0'-2"	STEEL	E	INSUL./TEMP.	---	STEEL	---				
127B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	D	RATED	I	HOLLOW METAL	---	5/A300 (SIM)	4/A300 (SIM)	3/A300 (SIM)	90 Minute
127C	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	D	RATED	I	HOLLOW METAL	---	5/A300 (SIM)	4/A300 (SIM)	3/A300 (SIM)	90 Minute
127D	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	B	INSUL./TEMP.	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300	
128A	12'-0"	10'-0"	0'-2"	STEEL	F	---	---	STEEL	---				
128B	2'-8"	6'-8"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300	
128C	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	D	RATED	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300 (SIM)	90 Minute
129A	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	5/A300	4/A300	---	
129B	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300	
129C	3'-0"	7'-0"	0'-1 3/4"	HOLLOW METAL	C	---	I	HOLLOW METAL	---	9/A300 (SIM)	8/A300 (SIM)	3/A300	



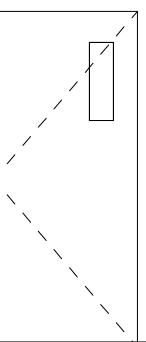
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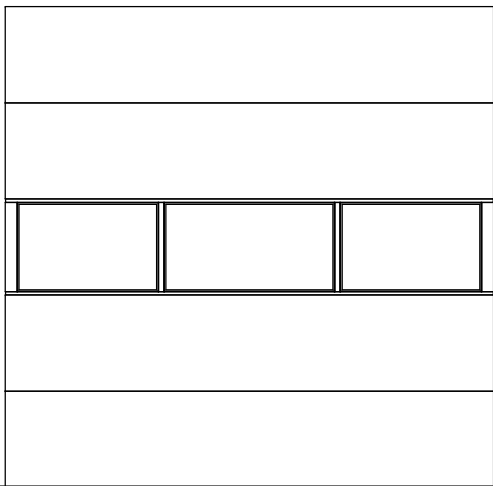
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C



D

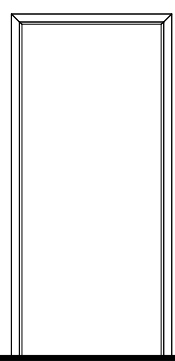


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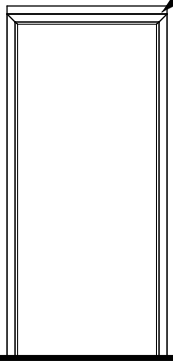


F

Door Types
1/4" = 1'-0"



I



II



III

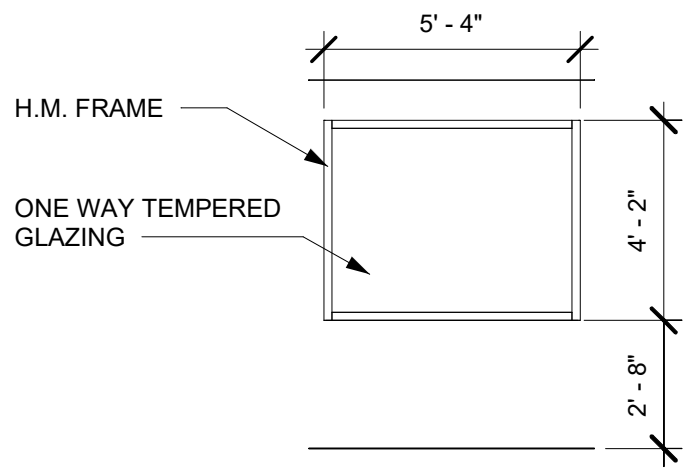


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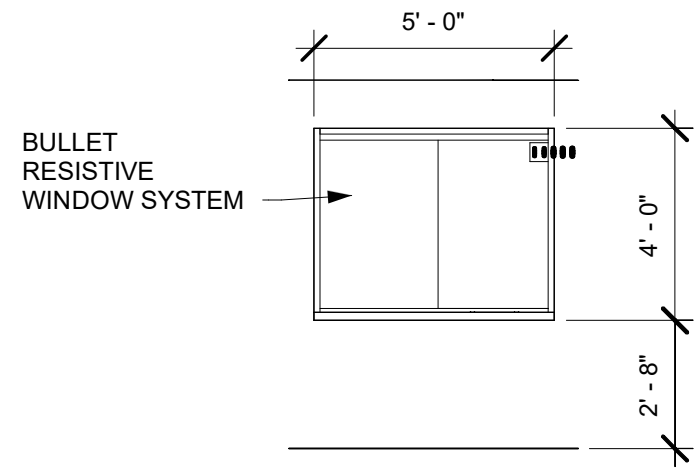


V

Door Frame Types
1/4" = 1'-0"



WINDOW W-1
1/4" = 1'-0"



WINDOW W-2
1/4" = 1'-0"

WINDOW NOTES:

1. PROVIDE SPECIALIZED GLAZING AS CALLED FOR IN EACH WINDOW ELEVATION, SEE GLAZING SPECIFICATIONS.
2. FIELD VERIFY ALL WINDOW OPENINGS PRIOR TO FRAMINGS.
3. COORDINATE WALL THICKNESSES AND FRAMING REQUIREMENTS WITH WINDOW MANUFACTURER.

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISHES				CEILING FINIISH	CEILING HT.	NOTES
				NORTH	EAST	SOUTH	WEST			
001	MECHANICAL	EXPOSED CONCRETE	---	---	---	---	---	---		
002	STORAGE	EXPOSED CONCRETE	---	---	---	---	---	---		
003	STORAGE	EXPOSED CONCRETE	---	---	---	---	---	---		
004	STAIR	EXPOSED CONCRETE	---	---	---	---	---	---		
100	TRAINING	CARPET	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
101	VESTBULE	LVT	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
102	ADMIN.	CARPET	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
103	T.	CERAMIC TILE	VINYL	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	ACT	8'-0"	NOTE 2
104	T.	CERAMIC TILE	VINYL	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	ACT	8'-0"	NOTE 2
105	COMMONS	LVT	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
106	F.P.	LVT	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
107	VIEWING	LVT	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
108	INTERVIEW	LVT	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 2
109	EQUIPMENT	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
110	ARMORY	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
111	CHIEF	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
112	CORRIDOR	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
113	CORRIDOR	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	12'-8"	NOTE 1
114	CORRIDOR	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
115	EVIDENCE	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
116	SQUAD	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	12'-8"	NOTE 1
117	FILES	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	PAINT	8'-0"	NOTE 1
118	IT	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	PAINT	8'-0"	NOTE 1
119	STAIR	VINYL TREAD	---	PAINT	PAINT	PAINT	PAINT	---	8'-0"	
120	CORRIDOR	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
121	JAN.	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
122	T.	EXPOSED CONCRETE	VINYL	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	EPOXY PAINT	ACT	8'-0"	NOTE 1
123	LIEUTENANT	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
124	SERGEANT	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
125	BREAK	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
126	SUPPLY	EXPOSED CONCRETE	VINYL	PAINT	PAINT	PAINT	PAINT	ACT	8'-0"	NOTE 1
127	VEHICLE	EXPOSED CONCRETE	---	PAINT	PAINT	PAINT	PAINT	PAINT		
128	STORAGE	EXPOSED CONCRETE	---	PAINT	PAINT	PAINT	PAINT	PAINT		
129	EXIT	VINYL TREAD	VINYL	PAINT	PAINT	PAINT	PAINT	PAINT		

GENERAL DOOR AND FRAME NOTES:

1. ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE INSULATED GALVANIZED
2. ALL THRESHOLDS TO MEET THE AMERICANS WITH DISABILITIES ACT
3. OVERHEAD DOORS ARE TO BE HIGH-LIFT WHERE SIDE WALLS ARE TALL AND INSTALLED AS HIGH AS POSSIBLE IN ALL CASES EXCEPT WHERE NOTED.
4. SEE INTERIOR ELEVATIONS FOR TYPICAL CLEARANCES
5. PROVIDE CLOSERS, SWEEPS AND WEATHERSTRIPPING FOR ALL EXTERIOR DOORS
6. MATCH KEYWAY TO OWNER KEY SYSTEM.
7. FIELD VERIFY ALL CONDITIONS PRIOR TO ORDERING.
8. ALL GLAZING TO BE TEMPERED WHERE REQUIRED BY CODE.
9. PROVIDE CORNER GUARDS AT WALL/DOOR OPENINGS THAT DO NOT RECEIVE A DOOR OR WINDOW FRAME.

GENERAL ROOM FINISH NOTES:

1. INSTALL SELF LEVELING CONCRETE FLOOR UNDERLAYMENT AS SPECIFIED. CONTRACTOR TO FIELD VERIFY EXISTING FLOOR CONDITION PRIOR TO BIDDING PER SPECIFICATION REQUIREMENTS FOR THE ARDEX SYSTEM TO BE INSTALLED.
2. REMOVE ALL EXISTING FLOORING IN THESE AREAS NOT ALREADY REMOVED. PREPARE EXISTING FLOOR BY INSTALLING SURFACE PREP AS SPECIFIED AND INSTALL NEW FLOORING AS SCHEDULED.

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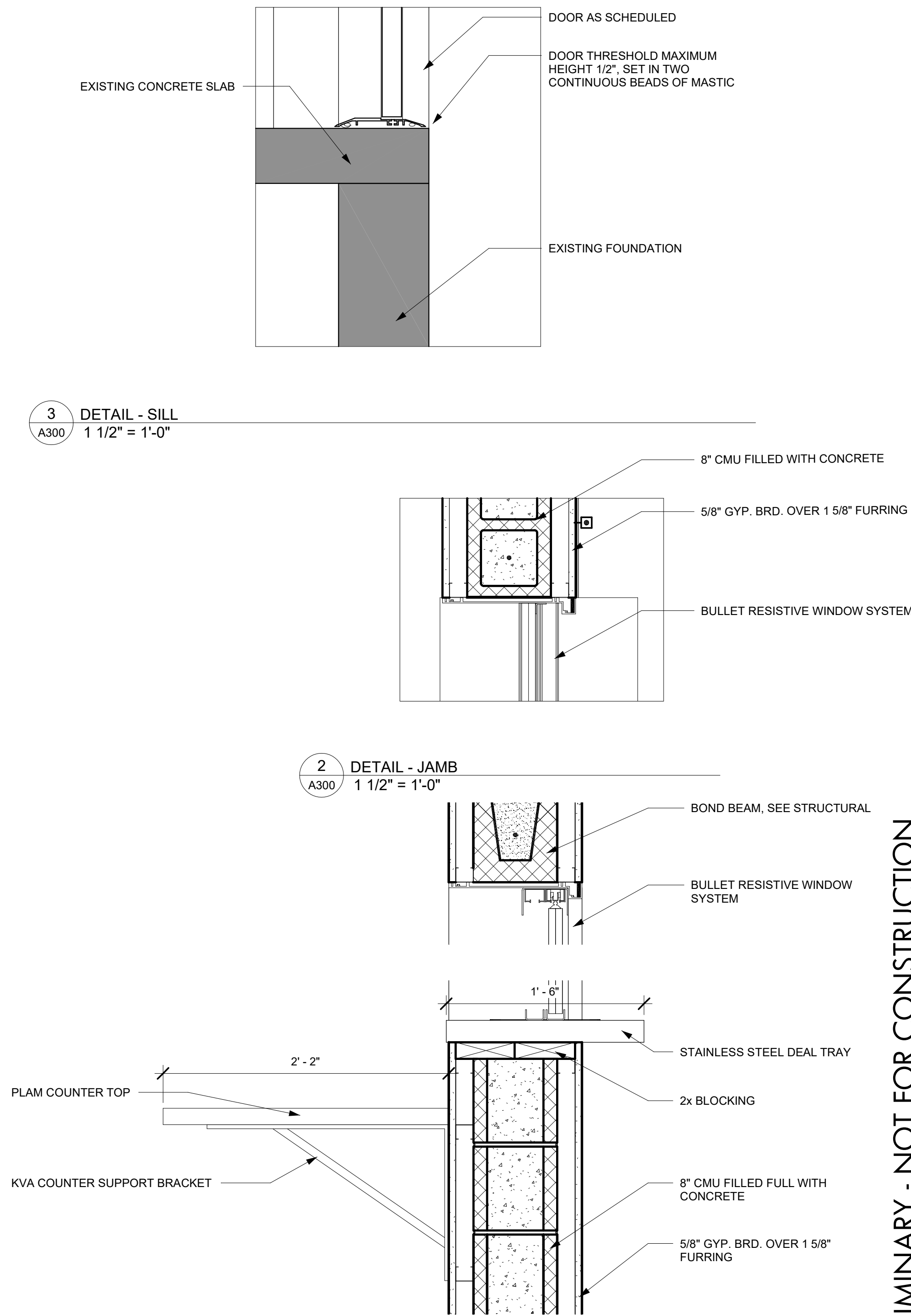
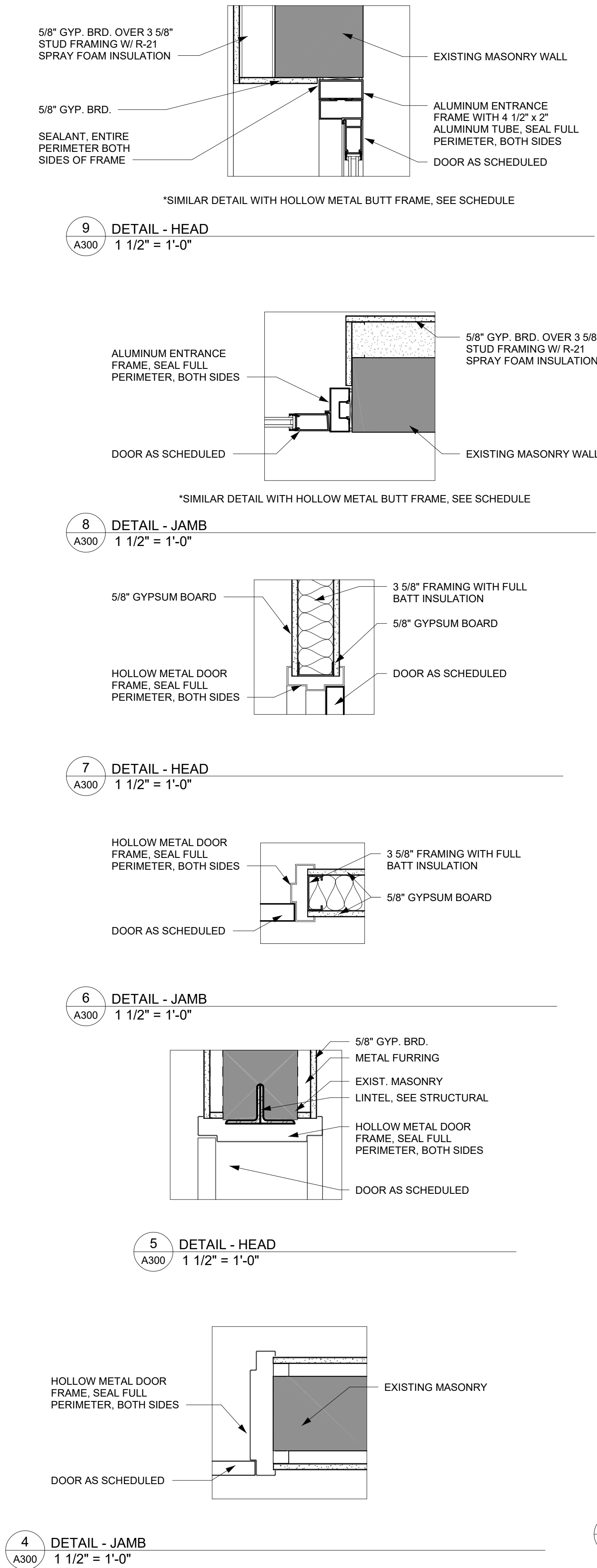
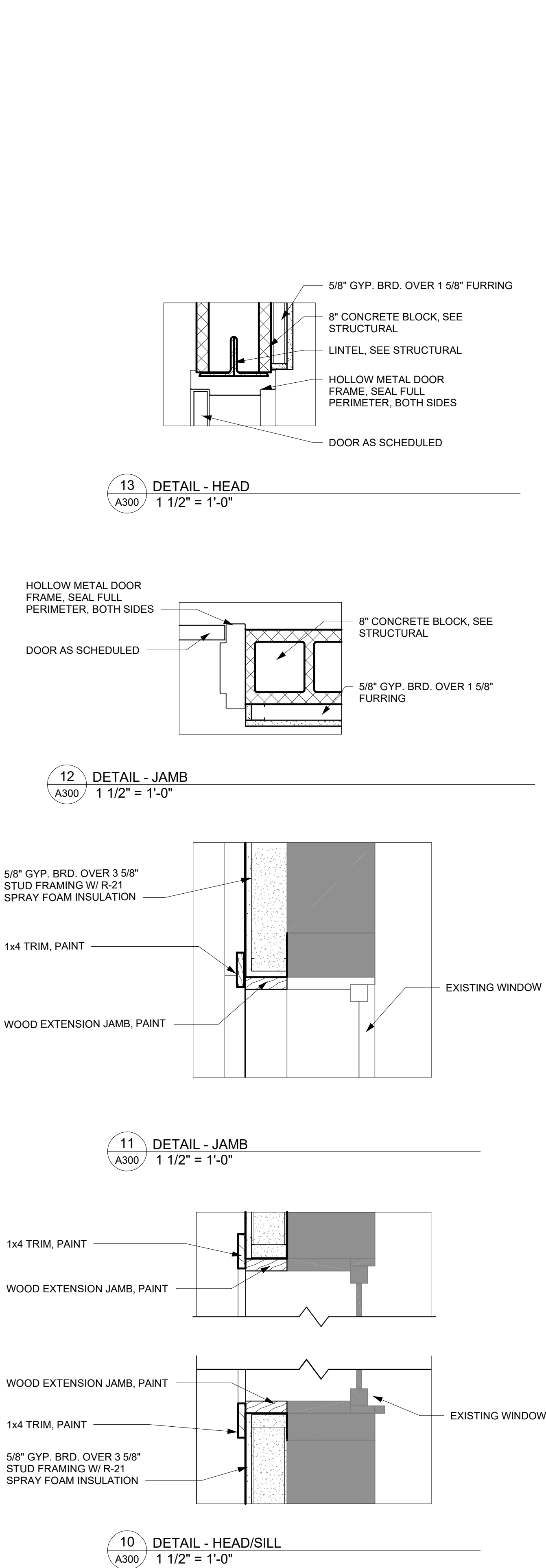


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SCHEDULES



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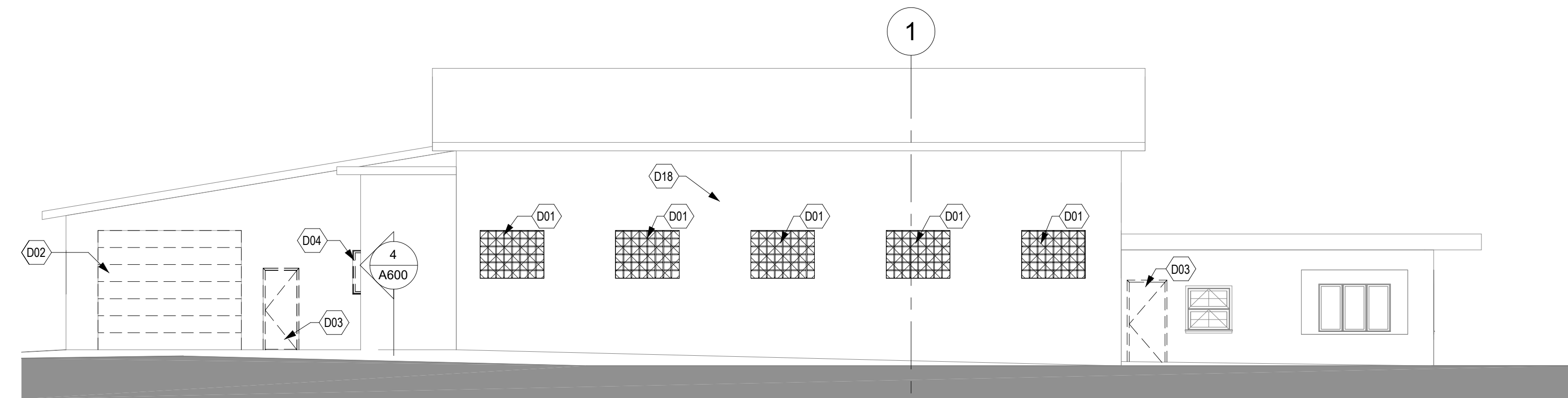
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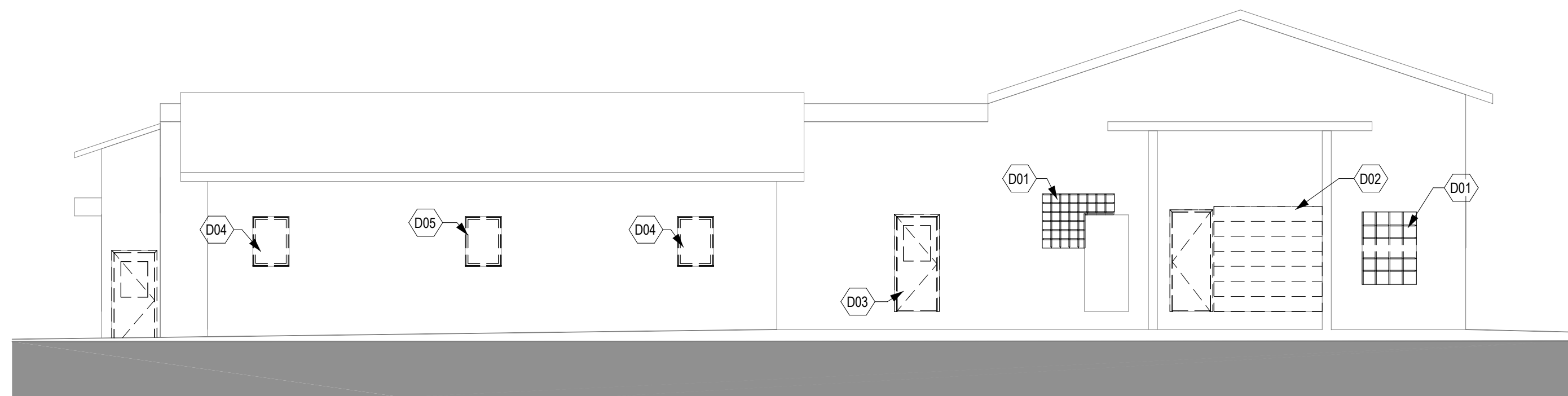
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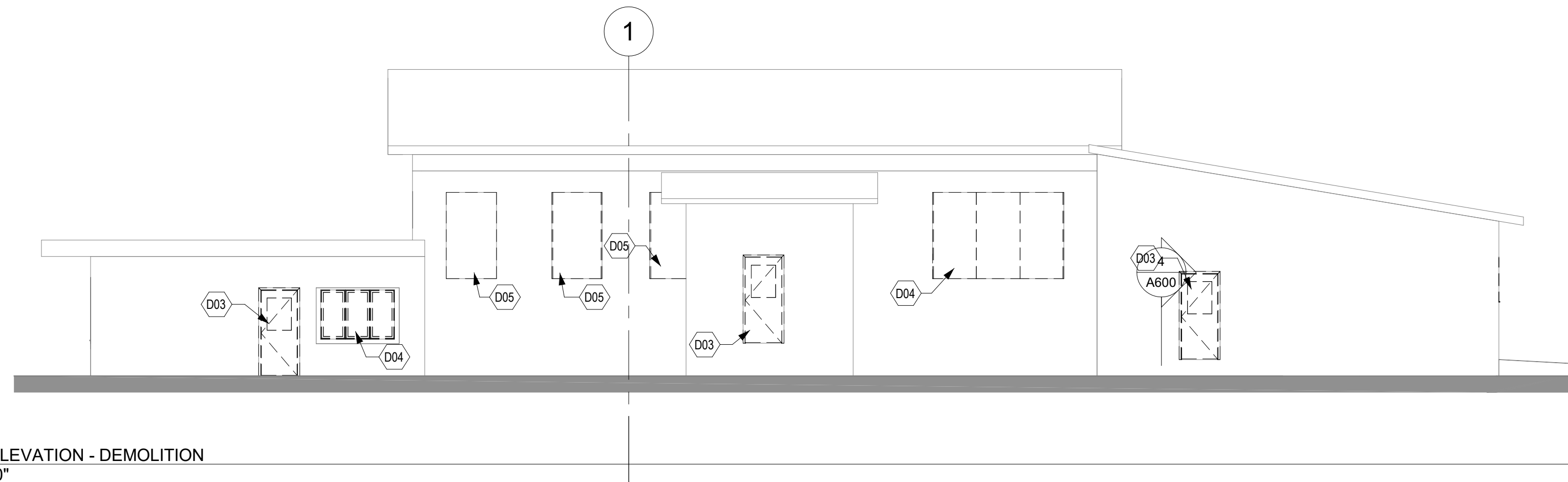
KEY NOTES	
KEY	KEYNOTE
D01	REMOVE GLASS BLOCK WINDOW
D02	REMOVE OVERHEAD DOOR, TRACK AND WEATHERSTRIPPING
D03	REMOVE EXISTING DOOR AND FRAME
D04	REMOVE EXISTING WINDOW AND FRAME
D05	REMOVE EXISTING SIDING INFILL
D18	CONTRACTOR TO REMOVE ANY EXISTING VINES AND VEGETATION THIS FACE



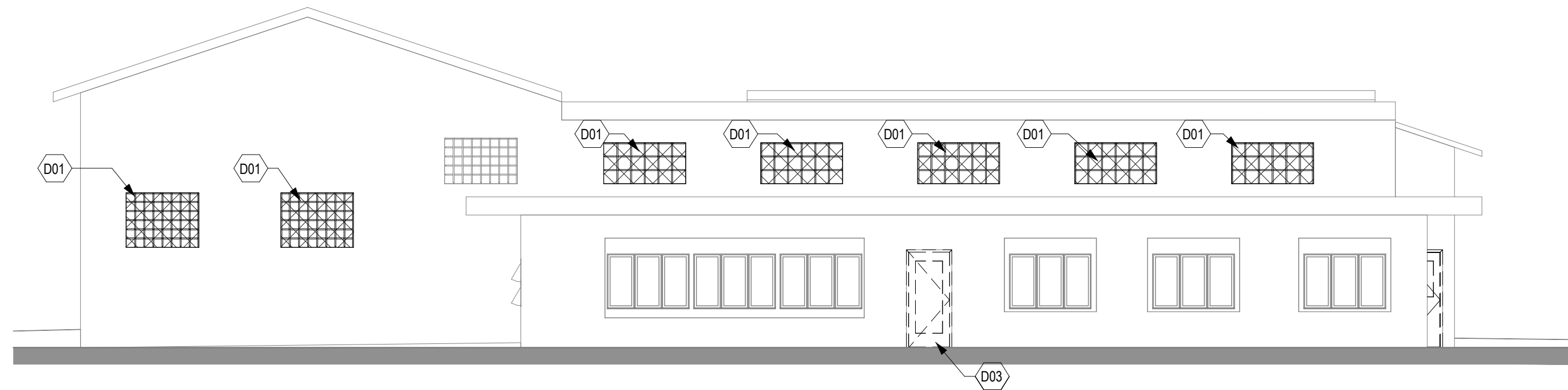
SOUTH ELEVATION - DEMOLITION
1/8" = 1'-0"



WEST ELEVATION - DEMOLITION
1/8" = 1'-0"



NORTH ELEVATION - DEMOLITION
1/8" = 1'-0"



EAST ELEVATION - DEMOLITION
1/8" = 1'-0"

EXTERIOR ELEVATIONS - DEMOLITION

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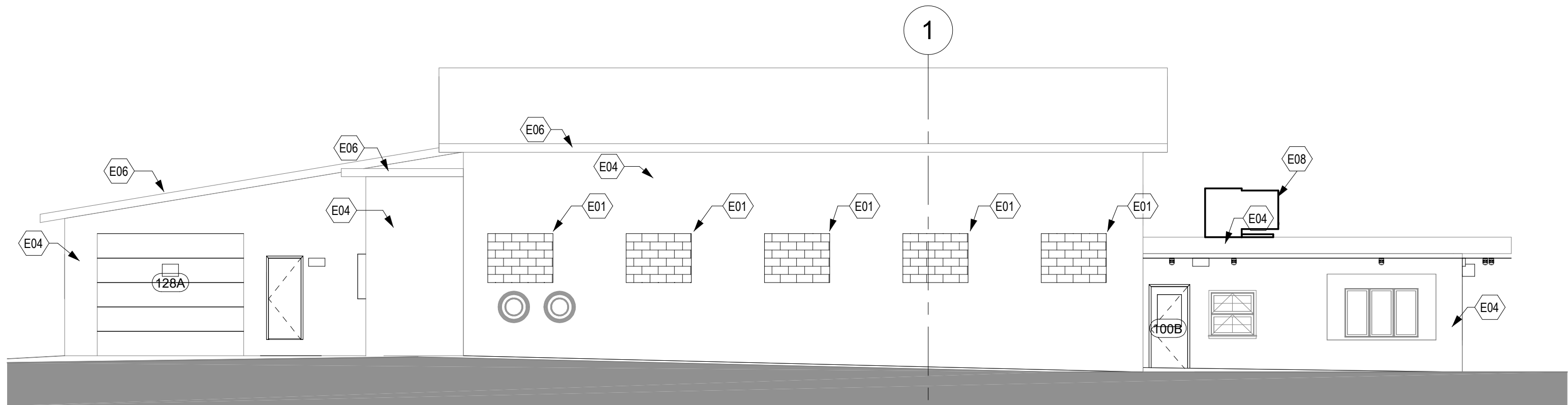
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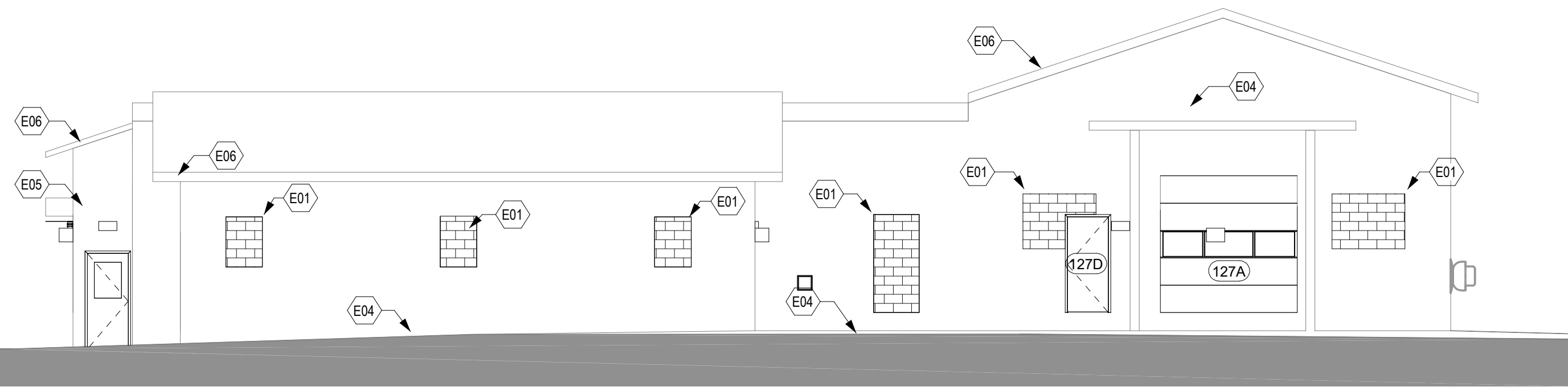
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KEY NOTES	
KEY	KEYNOTE

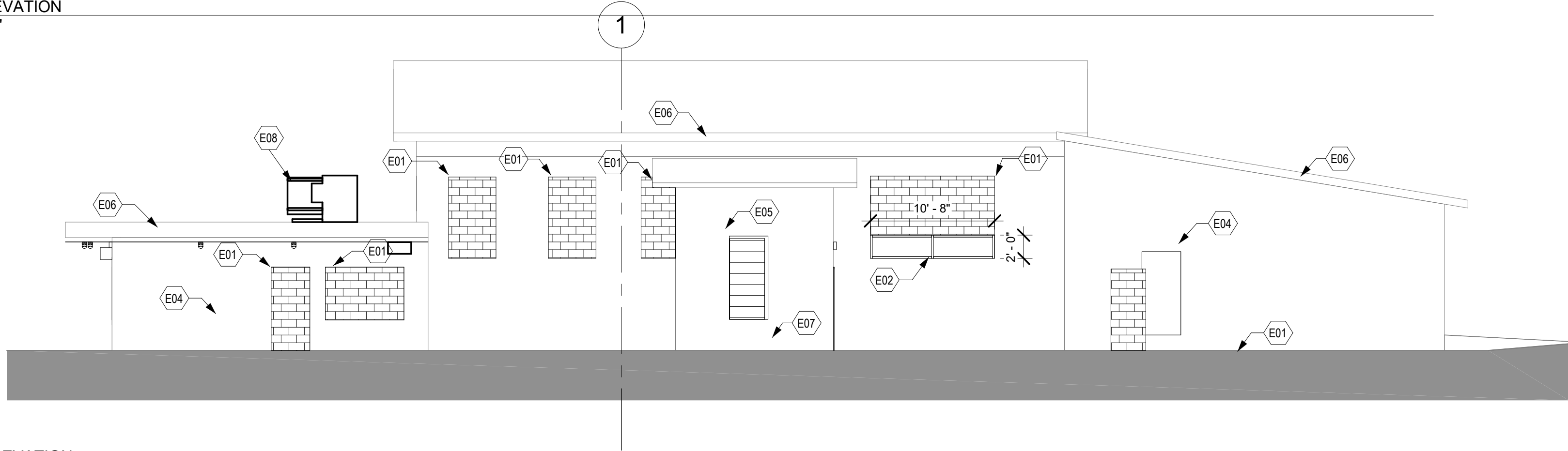
E01	INFILL WITH CMU, PAINT
E02	NEW ALUMINUM WINDOW, SEE SCHEDULE
E03	EXISTING GLASS BLOCK TO REMAIN
E04	EXISTING CMU, CLEAN AND PAINT
E05	EXISTING SIDING, PAINT
E06	EXISTING FASCIA, PAINT
E07	NEW SIDING INFILL, PAINT
E08	ROOF TOP MECHANICAL EQUIPMENT, SEE MECHANICAL SHEETS



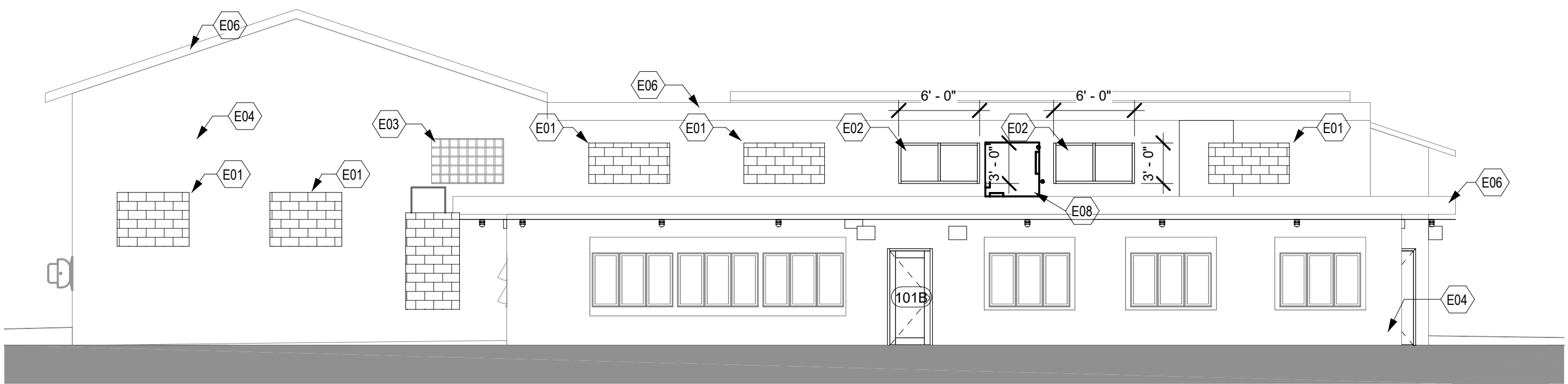
SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS

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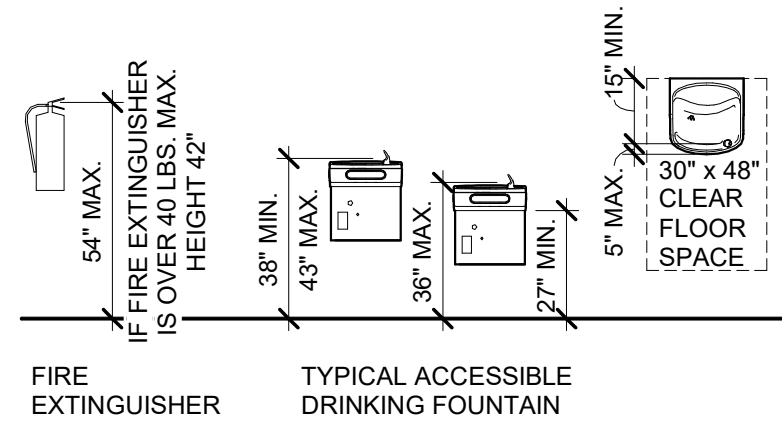


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OELWEIN, IA
50662

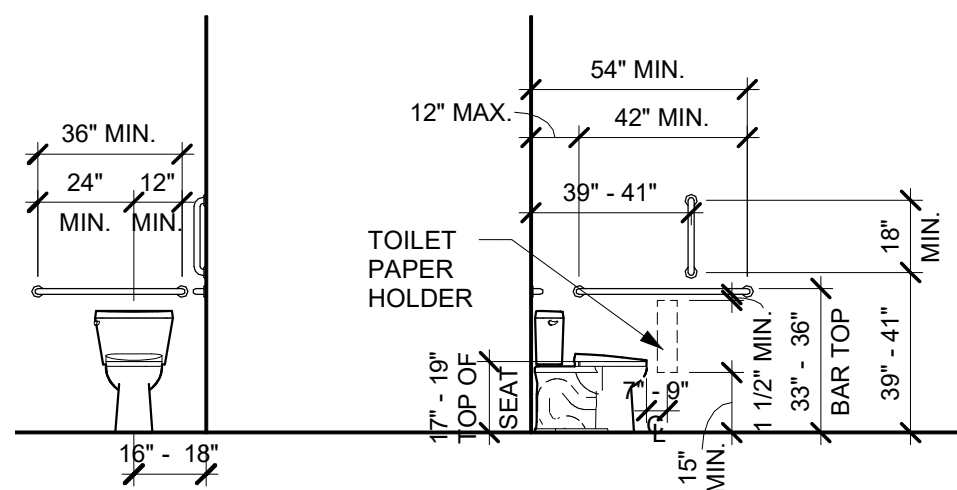
A401

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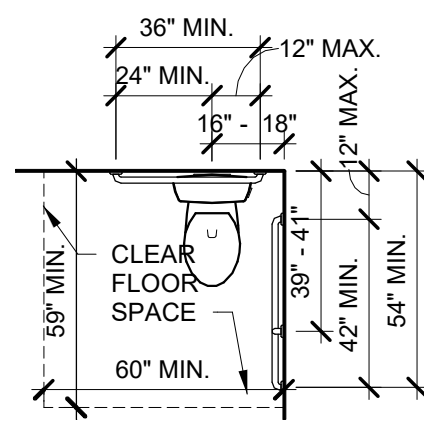
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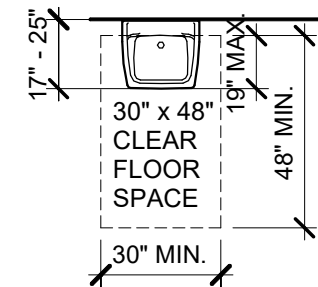
TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



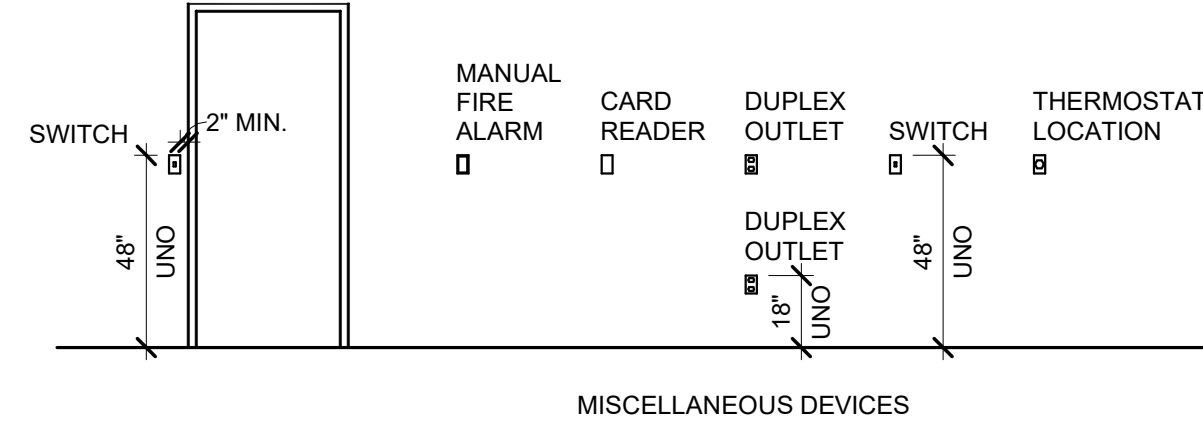
TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



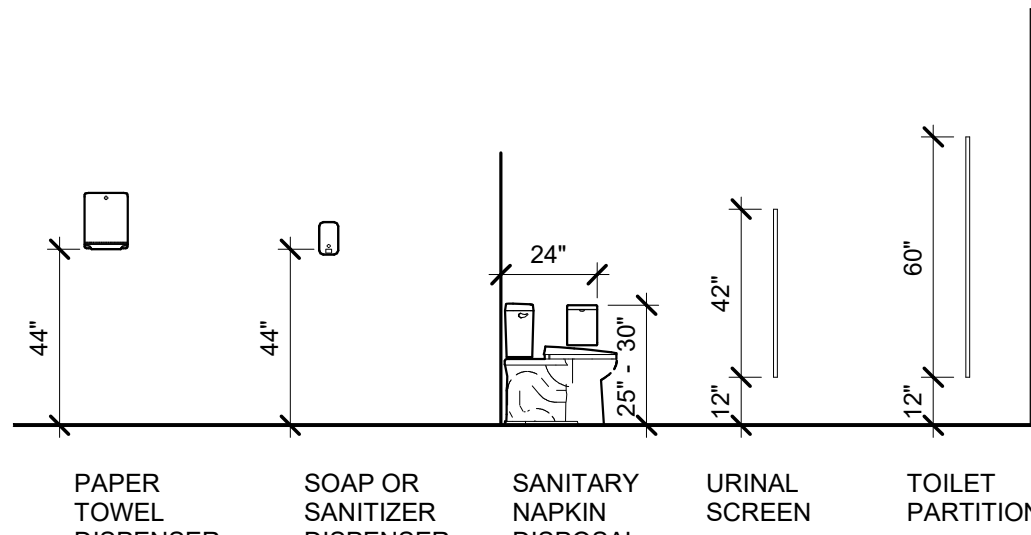
CLEAR FLOOR SPACE @ ADA STALL
1/4" = 1'-0"



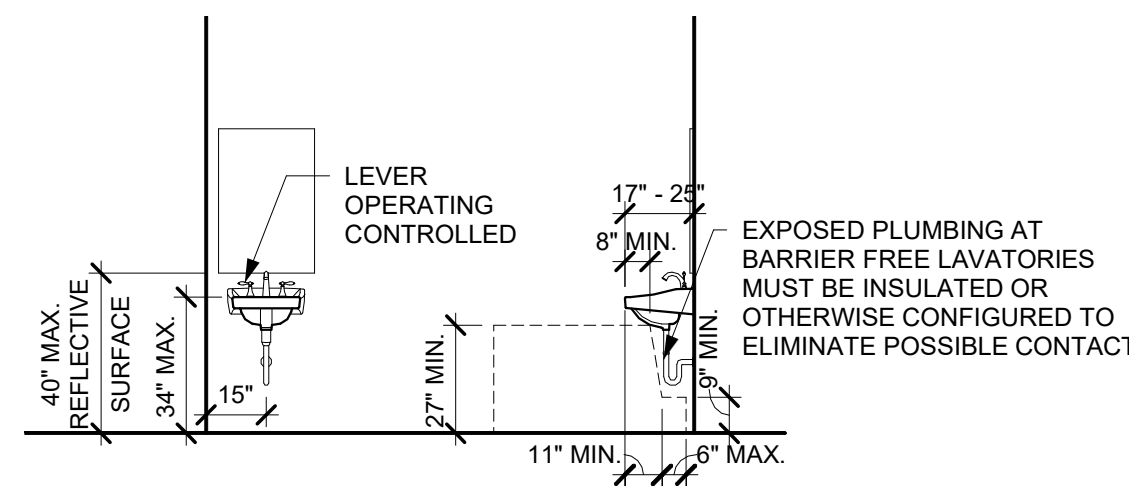
CLEAR FLOOR SPACE @ LAVATORY
1/4" = 1'-0"



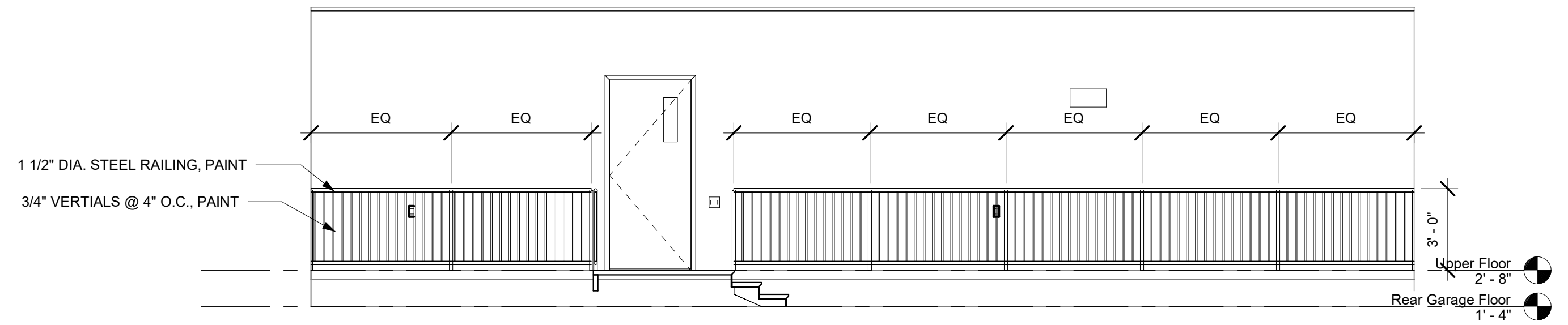
TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



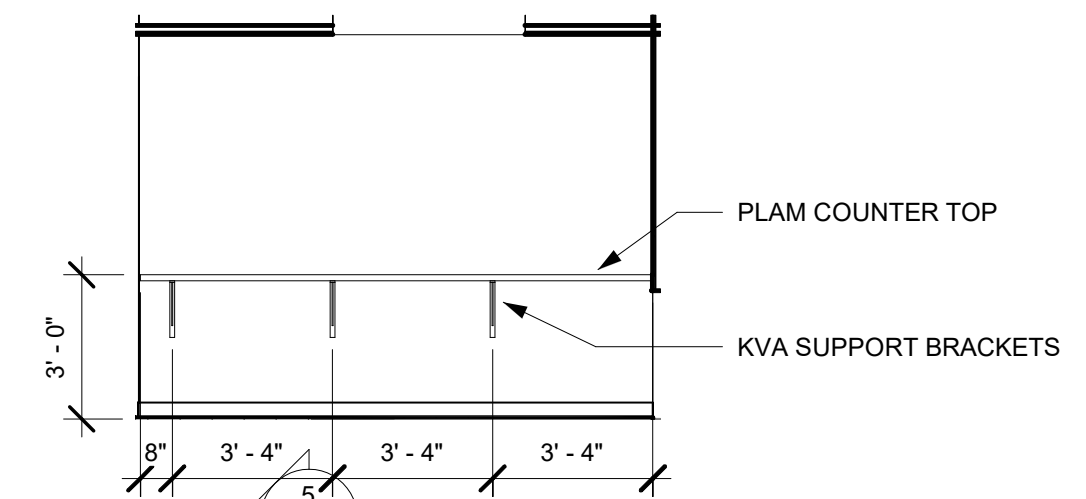
TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



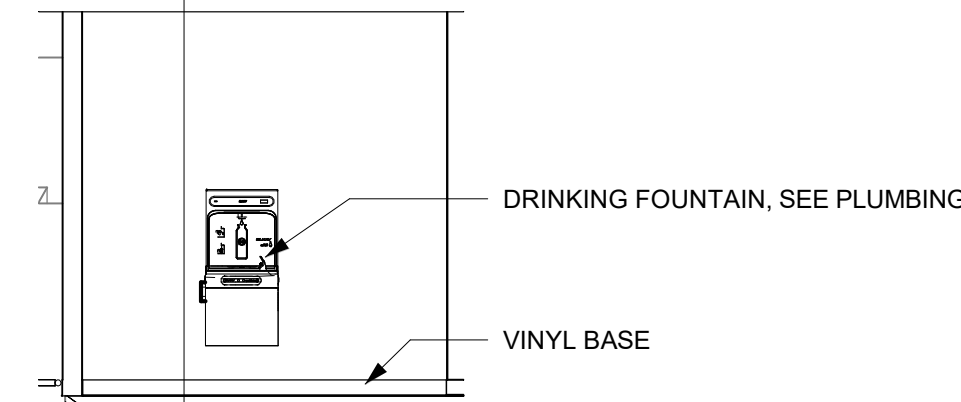
TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



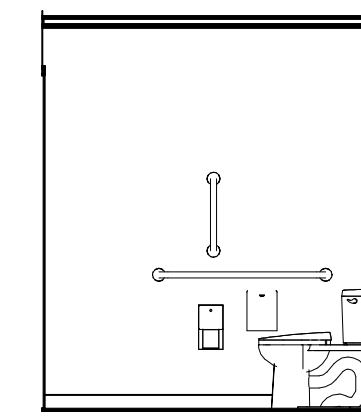
5 RAILING ELEVATION
1/4" = 1'-0"



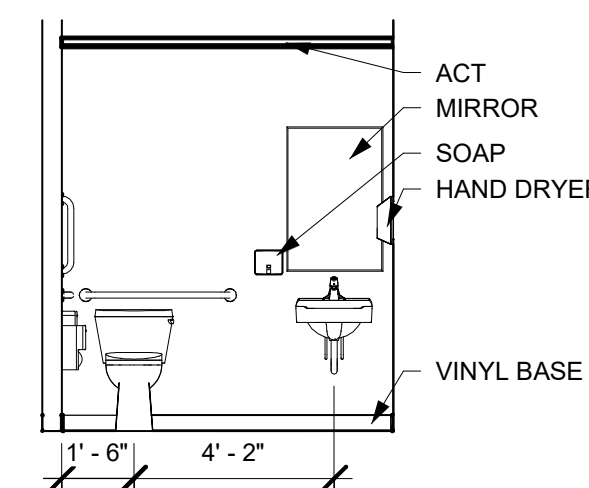
4 ELEVATION - FINGER PRINT
1/4" = 1'-0"



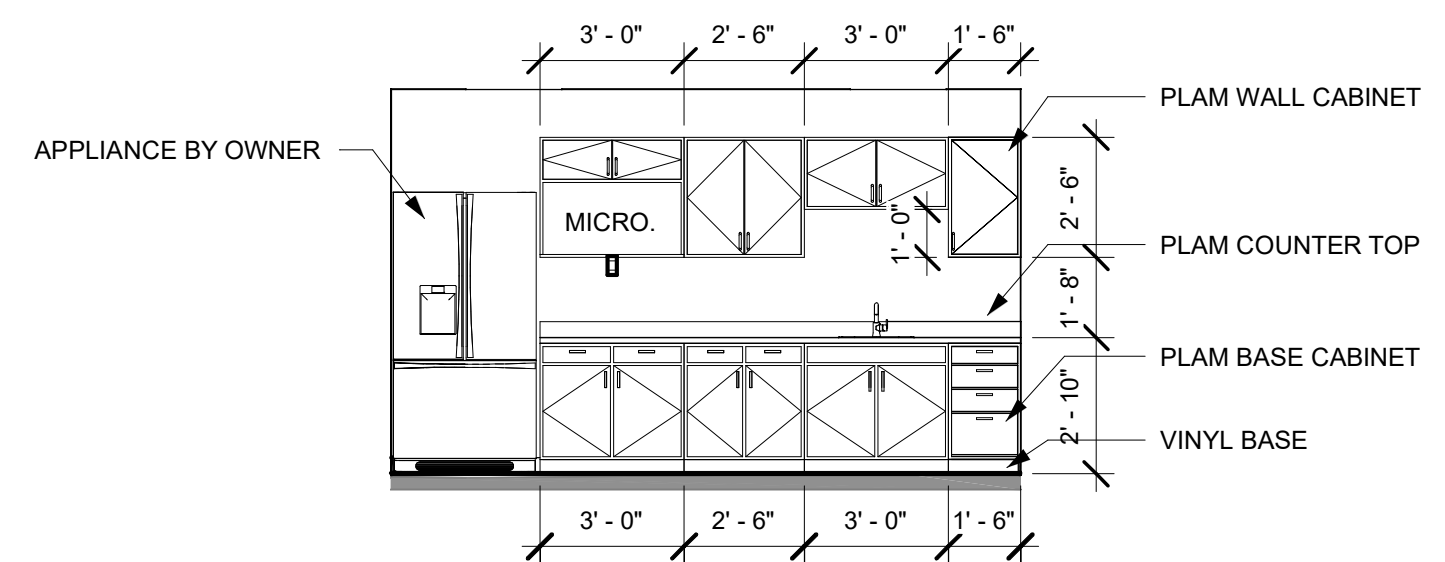
3 ELEVATION - DRINKING FOUNTAINS
1/4" = 1'-0"



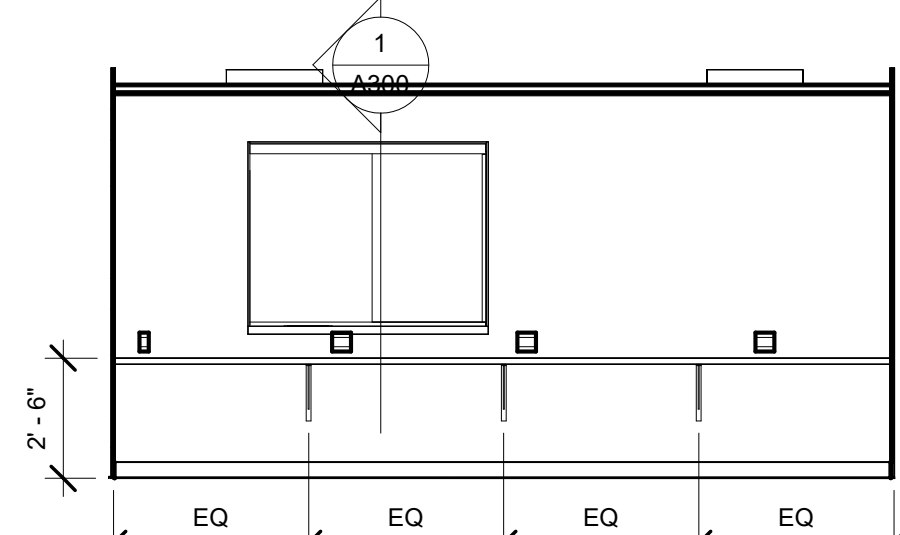
7 ELEVATION - TOILET SIDE
1/4" = 1'-0"



6 ELEVATION - TOILET
1/4" = 1'-0"



2 ELEVATION - BREAK ROOM
1/4" = 1'-0"

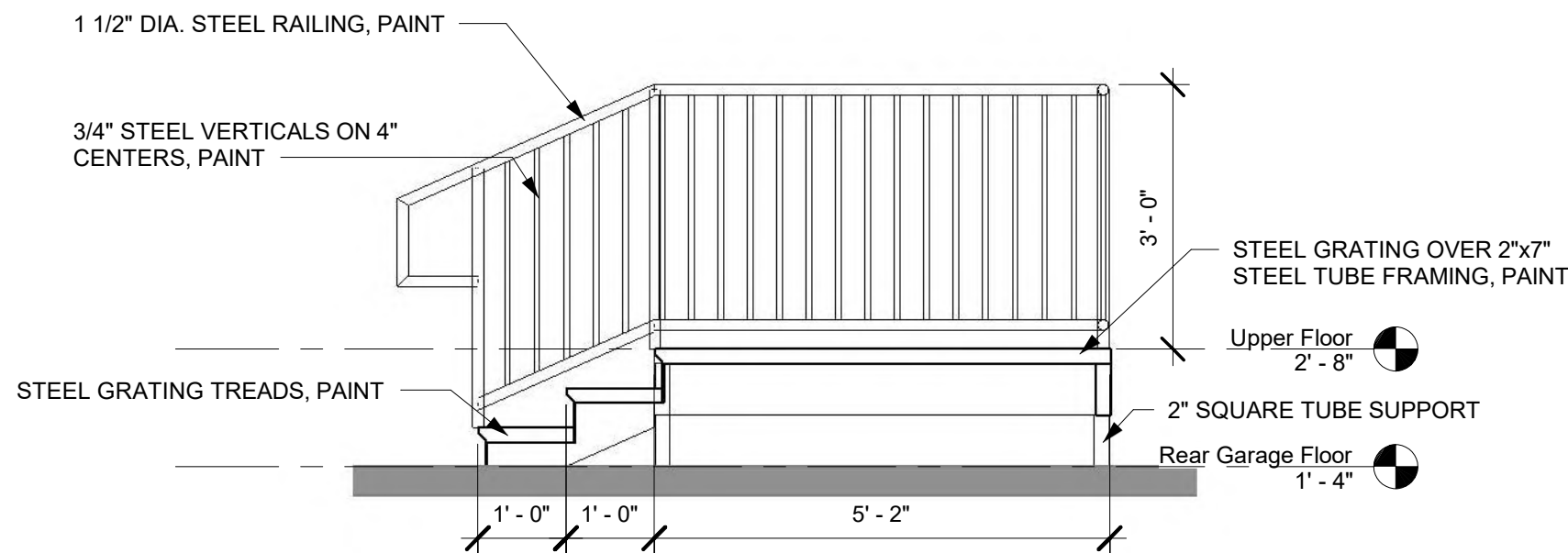


1 ELEVATION - ADMIN.
1/4" = 1'-0"

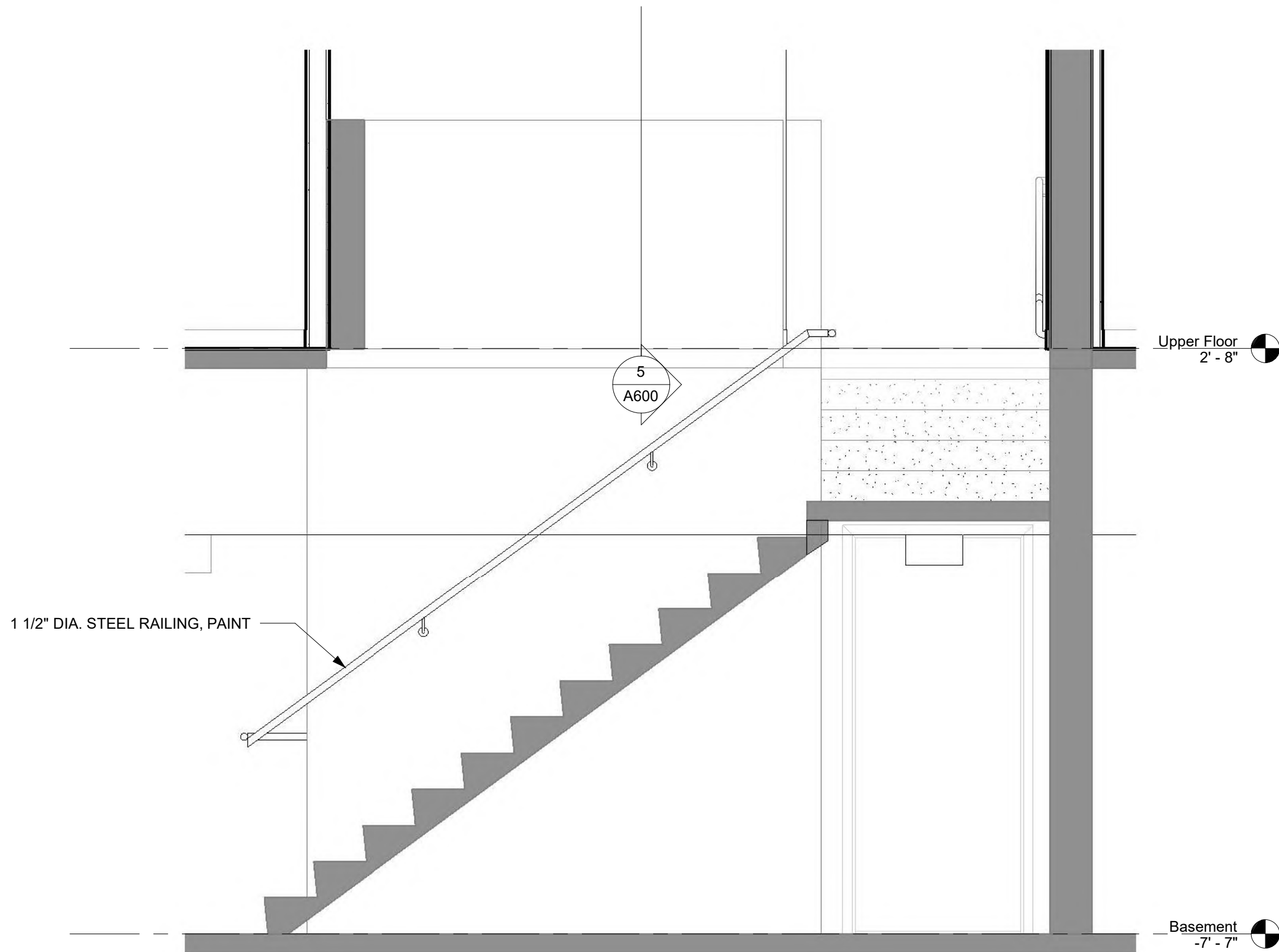
SECTION DRAWING NOTES:

SECTION DRAWINGS, WHERE ADDITIONAL DETAILS ARE PROVIDED, ARE SCHEMATIC IN NATURE AND DO NOT SHOW ALL DETAILS. THEY ARE PROVIDED FOR CONFIGURATION AND RELATIVE ARRANGMENT OF MAJOR COMPONENTS OF THE WALL OR ASSEMBLY.

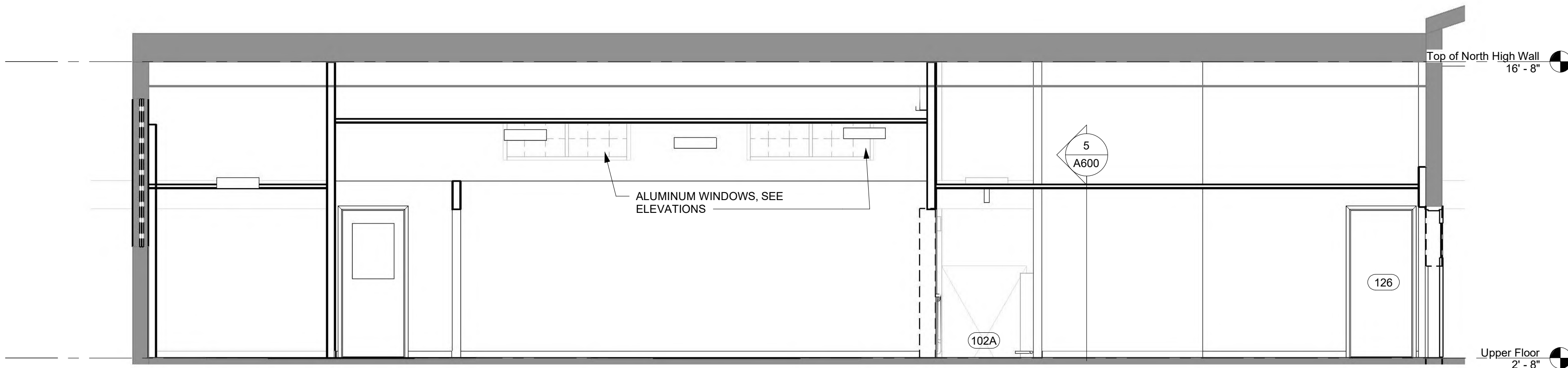
FOR ADDITIONAL DETAIL OR INFORMATION, SEE ENLARGED DETAILS



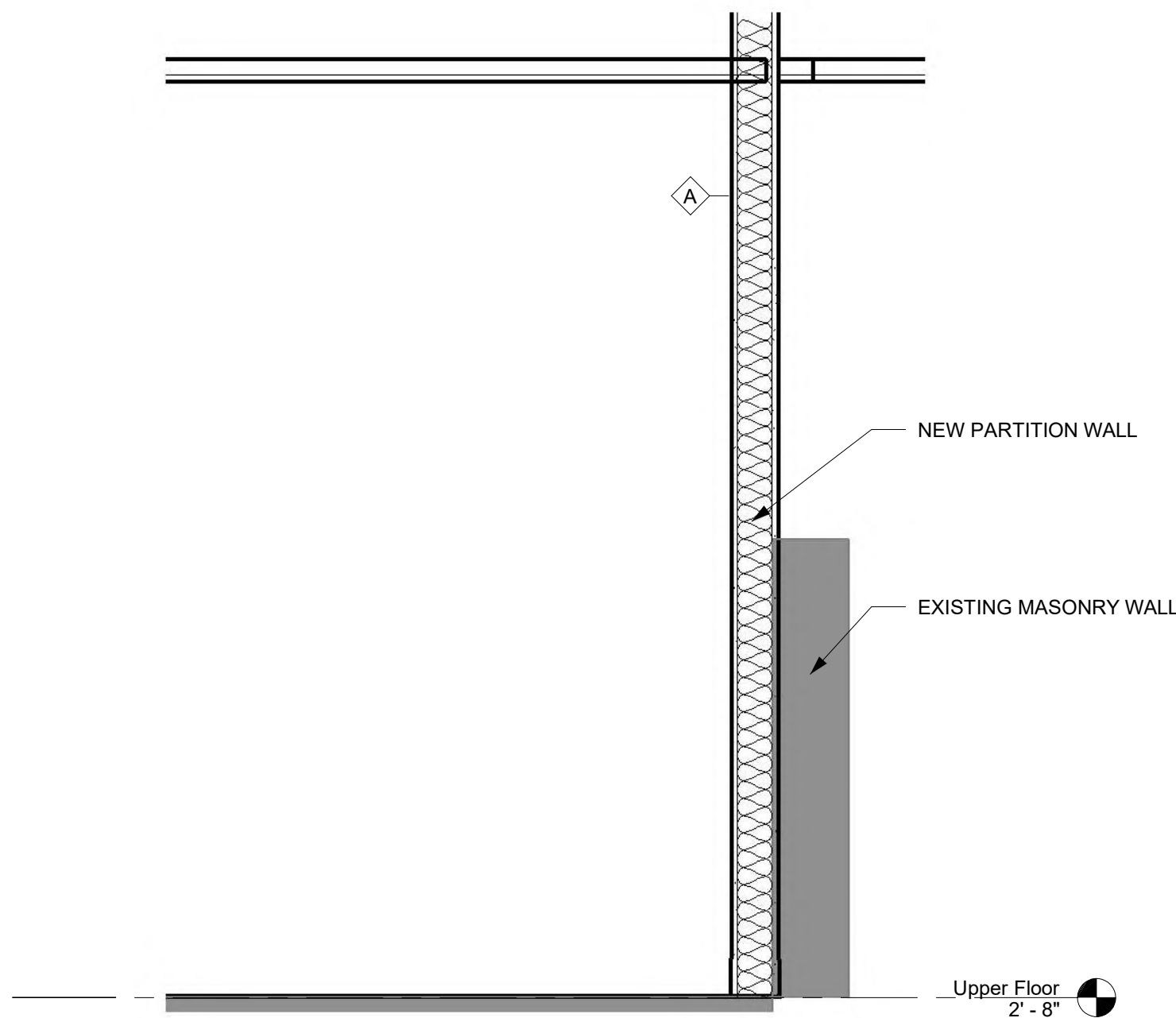
4 STAIR RAILING - STORAGE
A600 / 1/2" = 1'-0"



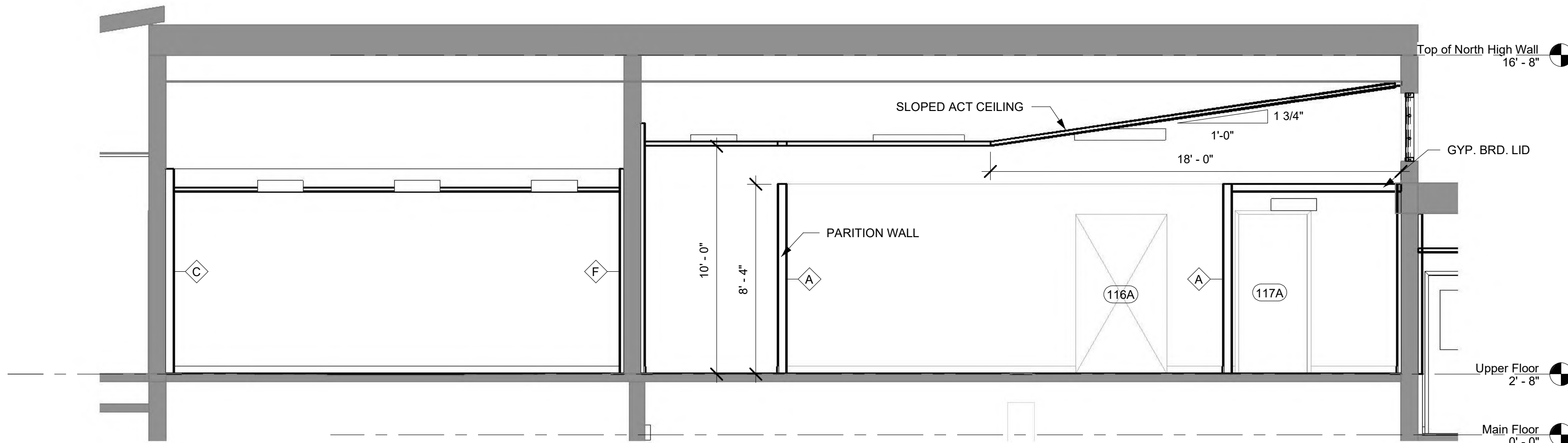
3 SECTION - STAIR
A600 / 1/2" = 1'-0"



2 LONGITUDINAL SECTION
A600 / 1/4" = 1'-0"



5 SECTION - STAIRWAY
A600 / 3/4" = 1'-0"



1 TRANSVERSE SECTION
A600 / 1/4" = 1'-0"

BID SET 07/11/2022	REVISION	DATE:
	NUMBER:	

CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION



700 11TH ST
SUITE 200
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102 S. FREDERICK
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SUITE #1
OELWEIN, IA
50662

PRELIMINARY - NOT FOR CONSTRUCTION

SECTIONS

A600

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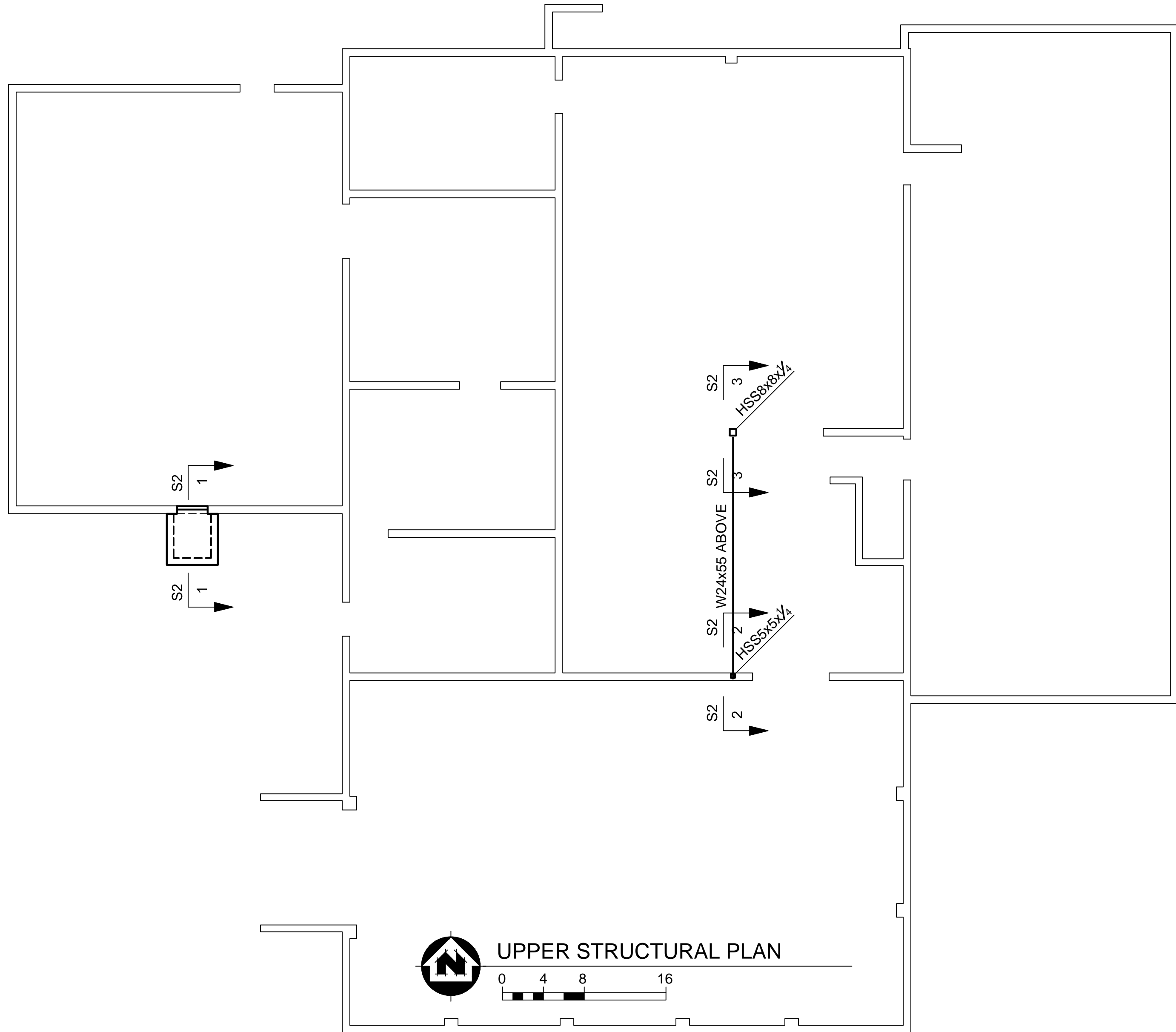
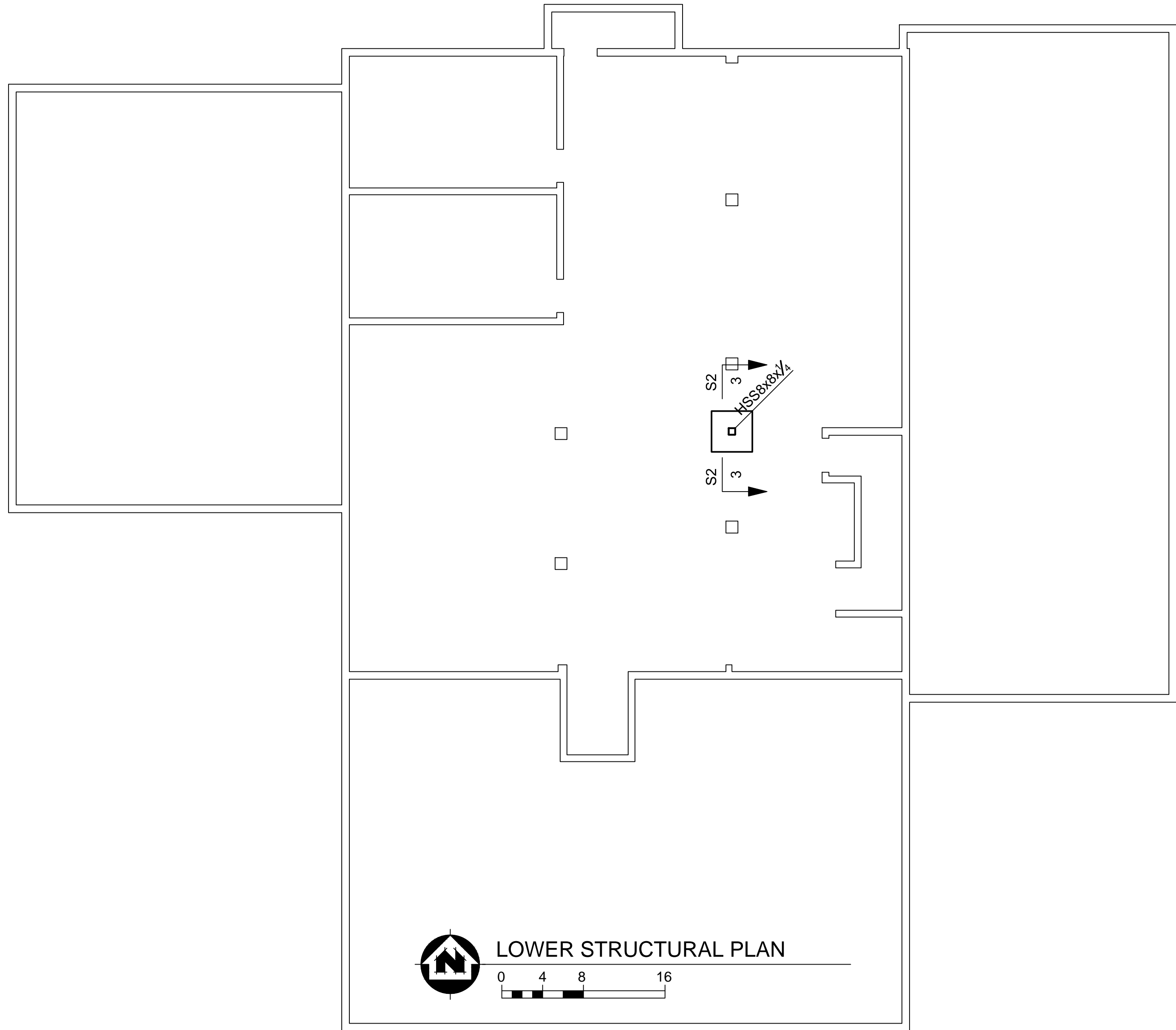
1. DESIGN BASED UPON 2015 INTERNATIONAL BUILDING CODE (IBC2015).
2. DEAD LOADS:
WEIGHT OF STRUCTURAL COMPONENTS ESTABLISHED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.
3. LIVE LOADS
 - 3.1. FIRST FLOOR - ASSEMBLY 100 PSF (SERVICE LOAD)
 - 3.2. ROOF 20 PSF (SERVICE LOAD)
4. SNOW LOADS:
 - 4.1. GROUND SNOW LOAD, P_g 25 PSF (SERVICE LOAD)
 - 4.2. FLAT-ROOF SNOW LOAD, P_f 21 PSF (SERVICE LOAD)
 - 4.3. SLOPED-ROOF SNOW LOAD, P_s 21 PSF (SERVICE LOAD)
 - 4.4. SNOW EXPOSURE FACTOR, C_e 1.00
 - 4.5. IMPORTANCE FACTOR, I_s 1.20
 - 4.6. THERMAL FACTOR, C_t 1.00
5. WIND LOADS:
 - 5.1. ULTIMATE WIND SPEED, V_{ult} 120 MPH
 - 5.2. EXPOSURE B
 - 5.3. INTERNAL PRESSURE COEFF. +/-0.18
 - 5.4. COMPONENTS AND CLADDING
 - 5.4.1. MAN-DOORS, WINDOWS +/- 50 PSF (FACTORED LOAD)

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES AND OTHER CODES OF APPLICABLE REGULATORY AGENCIES.
2. CONTRACTOR SHALL COMPLY WITH LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
3. PERFORM WORK IN ACCORDANCE WITH SPECIFICATIONS AND CONTRACT DRAWINGS. REPORT DISCREPANCIES BETWEEN SPECIFICATIONS AND CONTRACT DRAWINGS TO ARCHITECT FOR CLARIFICATION PRIOR TO IMPLEMENTING WORK.
4. CONTRACTOR SHALL COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MEP, CIVIL AND OTHER CONTRACT DRAWINGS AND REPORT DISCREPANCIES TO ARCHITECT PRIOR TO IMPLEMENTING WORK.
5. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONAL INFORMATION.
6. DO NOT PLACE MATERIALS OR EQUIPMENT ON UNFINISHED FLOORS OR ROOFS IN EXCESS OF 20 PSF NOR ON FINISHED FLOORS OR ROOFS IN EXCESS OF THE INDICATED DESIGN LIVE LOADS. AVOID IMPACT LOADING.
7. THE STRUCTURE WAS DESIGNED FOR THE IN-SERVICE CONDITIONS ONLY. THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
8. CONNECTIONS OF MEP AND ARCHITECTURAL ITEMS TO THE STRUCTURE SHALL BE DESIGNED AND DETAILED BY CONTRACTOR. CONNECTIONS TO STRUCTURAL MEMBERS SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW. RESPONSIBILITY FOR THE PERFORMANCE OF THE SUPPLIED SYSTEM AND ASSOCIATED CONNECTIONS SHALL REMAIN THAT OF CONTRACTOR.
9. EXISTING CONDITIONS AND RELATED DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE FIELD VERIFIED PRIOR TO IMPLEMENTING WORK. CONDITIONS THAT DIFFER FROM THAT INDICATED IN CONTRACT DOCUMENTS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO IMPLEMENTING WORK.
10. GENERALLY, DRAWINGS DO NOT INDICATE TEMPORARY REQUIREMENTS. NEED FOR TEMPORARY SHORING, TEMPORARY DEWATERING, TEMPORARY EARTH RETENTION, TEMPORARY WATER CUTOFF OR OTHER TEMPORARY MEASURES MAY BE INDICATED ON DRAWINGS AT SELECTED AREAS AS SUGGESTIONS FOR CONTRACTOR'S CONVENIENCE. DRAWINGS DO NOT IDENTIFY ALL AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM TEMPORARY MEASURES INDICATED ON DRAWINGS, IDENTIFY OTHER AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES, DETERMINE MOST EFFICIENT TEMPORARY SYSTEMS AND DESIGN AND CONSTRUCT TEMPORARY SYSTEMS.

1. FOOTINGS WERE DESIGNED FOR AN ASSUMED 1,500 PSF NET ALLOWABLE BEARING PRESSURES.
2. QUALITY CONTROL SERVICE SHALL INSPECT AND PERFORM TESTS TO VERIFY THE ACTUAL ALLOWABLE SOIL BEARING PRESSURE AT FOUNDATION BEARING LOCATIONS. QUALITY CONTROL SERVICE SHALL NOTIFY STRUCTURAL ENGINEER OF LOCATIONS WHERE THE ACTUAL ALLOWABLE BEARING PRESSURE IS LESS THAN THE SPECIFIED VALUE OR WHERE FOUNDATION ELEVATIONS MUST BE MODIFIED TO BEAR ON APPROPRIATE MATERIAL. CONSTRUCTION OF THE FOUNDATION SYSTEM SHALL NOT PROCEED AT SUCH LOCATIONS UNTIL AN APPROPRIATE REMEDIAL ACTION HAS BEEN REVIEWED AND ACCEPTED BY STRUCTURAL ENGINEER.
3. LOCATION AND EXTENT OF EXISTING FOUNDATIONS AND SUBGRADE ITEMS ARE PROVIDED FOR INFORMATION ONLY. CONTRACTOR SHALL DETERMINE, CONFIRM, OR VERIFY THE LOCATION AND EXTENT OF EXISTING FOUNDATIONS OR OTHER ITEMS WHICH MAY CONFLICT WITH NEW CONSTRUCTION. PERFORM VERIFICATION PROCEDURE PRIOR TO IMPLEMENTING WORK.
4. CONSULT GEOTECHNICAL ENGINEER FOR SLOPE OF EXCAVATION CUTS.
5. PLACE REINFORCING STEEL AND CONCRETE AS SOON AS POSSIBLE AFTER EXCAVATION FOR THE FOUNDATION SYSTEM.
6. DO NOT CAST CONCRETE ON OR AGAINST SUBGRADE MATERIAL CONTAINING FROST, WATER OR SNOW. PROTECT SUBGRADE FROM FROST OR FREEZING DURING CONSTRUCTION OF FOUNDATION SYSTEM.

1. CONCRETE PLACEMENT AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 301.
2. CONCRETE DETAILING SHALL BE IN ACCORDANCE WITH ACI 315.
3. PROVIDE SAND AND NORMAL WEIGHT COARSE AGGREGATE (145 PCF, MAX.) CONCRETE WITH 0.50 MAXIMUM WATER/CEMENT RATIO, NO INTENTIONALLY ENTRAINED AIR, AND 4,000 PSI 28-DAY COMPRESSIVE STRENGTH.
4. UNLESS NOTED OTHERWISE, CONCRETE REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
5. PROVIDE REBAR CHAIRS FOR REINFORCING STEEL. PROVIDE ADDITIONAL LONGITUDINAL SUPPORT BARS AS REQUIRED TO ASSURE PROPER SUPPORT FOR REINFORCING STEEL AND WIRE MESH.
6. DESIGN AND DETAILING OF FORMWORK AND SHORING SYSTEMS SHALL BE RESPONSIBILITY OF CONTRACTOR.
7. DO NOT REMOVE FORMWORK PRIOR TO CONCRETE ATTAINING 75% OF THE SPECIFIED 28-DAY COMPRESSIVE STRENGTH.

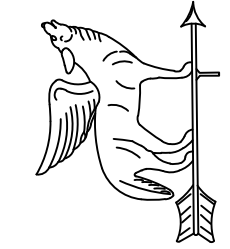
1. STRUCTURAL STEEL DETAILING, FABRICATION AND ERECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS AND STANDARDS.
2. STRUCTURAL STEEL ROLLED SHAPES AND PLATES IN THE FOLLOWING AREAS SHALL CONFORM TO THE DESIGNATED SPECIFICATION:
 - 2.1. BEAMS ASTM A572-60 OR ASTM A992
 - 2.2. ANGLES & PLATES ASTM A36
3. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B (FY = 46 KSI).
4. BOLTED CONNECTIONS SHALL USE HIGH-STRENGTH BOLTS IN ACCORDANCE WITH THE "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS."
5. WELDING SHALL CONFORM TO STANDARDS OF AWS D1.1. ELECTRODES FOR FIELD AND SHOP WELDING SHALL CONFORM TO AWS RECOMMENDATIONS. WELDS NOT INDICATED SHALL BE AWS MINIMUM OR AS REQUIRED TO SATISFY STRENGTH CRITERIA (WHICHEVER IS GREATER). FOLLOW PREHEAT REQUIREMENTS OF AWS, TO MINIMIZE THE USE OF PREHEAT, LOW HYDROGEN ELECTRODES MAY BE UTILIZED. LOW HYDROGEN ELECTRODES SHALL BE USED FOR WELDING TO CONCRETE EMBEDMENT PLATES OR OTHER STRUCTURAL STEEL ELEMENT IN CONTACT WITH CONCRETE OR MASONRY.
6. SPlicing STRUCTURAL MEMBERS WHERE NOT DETAILED ON STRUCTURAL DRAWINGS IS PROHIBITED WITHOUT PRIOR ACCEPTANCE BY STRUCTURAL ENGINEER.
7. SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS. FOR FIREPROOFING PURPOSES, FRAMING SHALL BE CONSIDERED AS "UNRESTRAINED" AS DEFINED BY UL.
8. UNLESS NOTED OTHERWISE, GALVANIZE STRUCTURAL STEEL NOT PROTECTED BY A CONTROLLED ENVIRONMENT. GALVANIZING SHALL CONFORM TO ASTM A123. TOUCH-UP GALVANIZING WITH PAINT CONFORMING TO TT-P-641.
17. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS INDICATING SHOP AND ERECTION DETAILS, INCLUDING CUTS, COPEs, CONNECTIONS, HOLES, THREADED FASTENERS AND WELDS. INDICATE WHICH CONNECTIONS ARE SLIP CRITICAL. INDICATE WELDS, BOTH SHOP AND FIELD, BY AWS WELDING SYMBOLS.
18. PRIMER - ALKYD GRAY: MODIFIED ALKYD RUST-INHIBITIVE PRIMER, LEAD AND CHROMATE FREE, 54 PERCENT MINIMUM SOLIDS BY VOLUME, 3.2 LBS/GAL (383 G/L) MAXIMUM VOC UNTHINNED, ONE COAT COVERAGE, NON-IMMERSION SERVICE, MEETING USDA AND FDA ACCEPTABILITY REGULATIONS, GRAY COLOR, FLAT SHEEN FINISH.



xx, 2022	
REVISION	
NUMBER:	DATE:

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Hooting Coyote LLC

HOOTING COYOTE LLC
TODD BIRKEL, STRUCTURAL ENGINEER
1553 W. MORLEY ROAD, ELIZABETH, IL 61028
telephone: (815) 858-5514
email: tbirkel@hootingscoyote.com
web address: <http://hootingscoyote.com/>



CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION

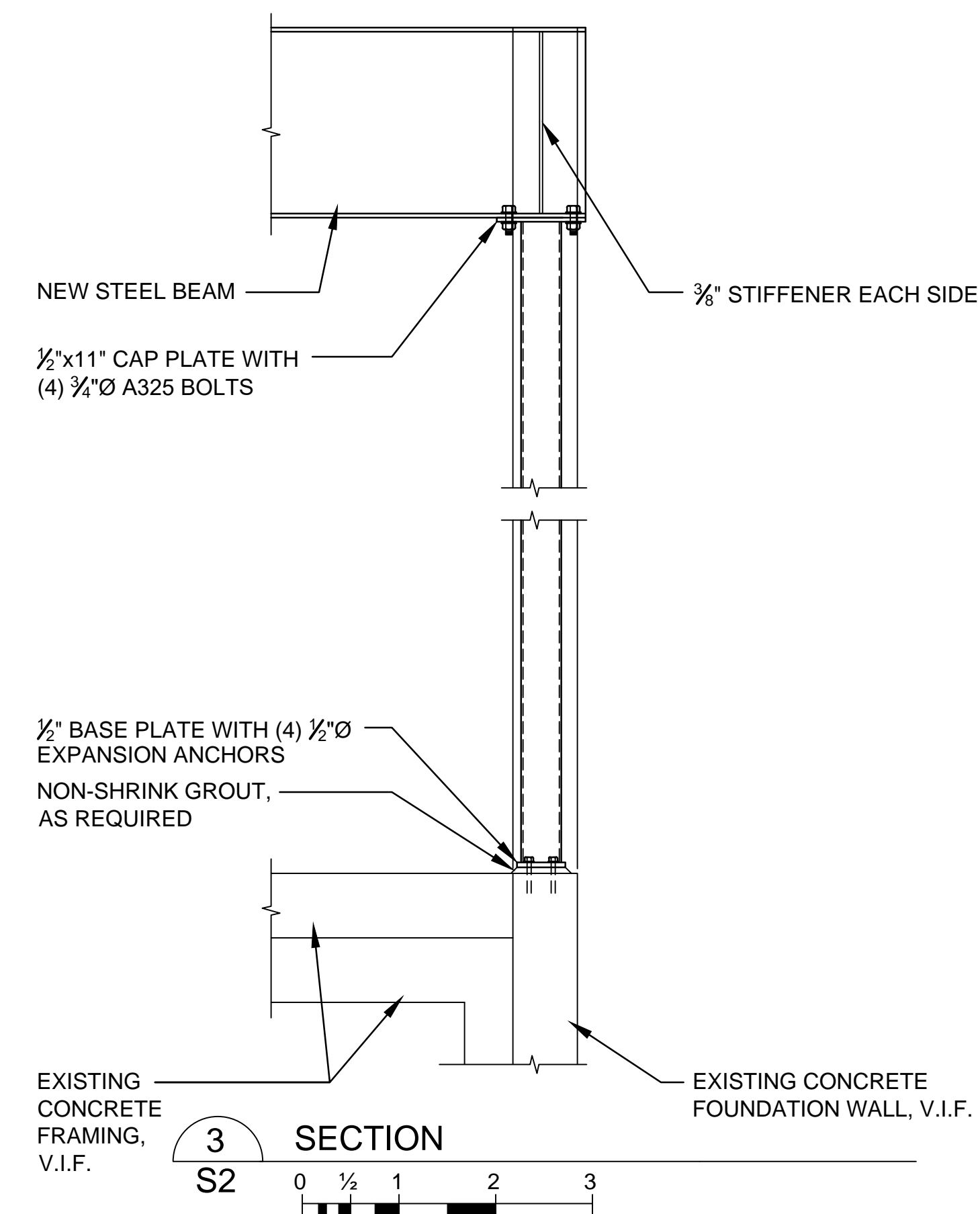
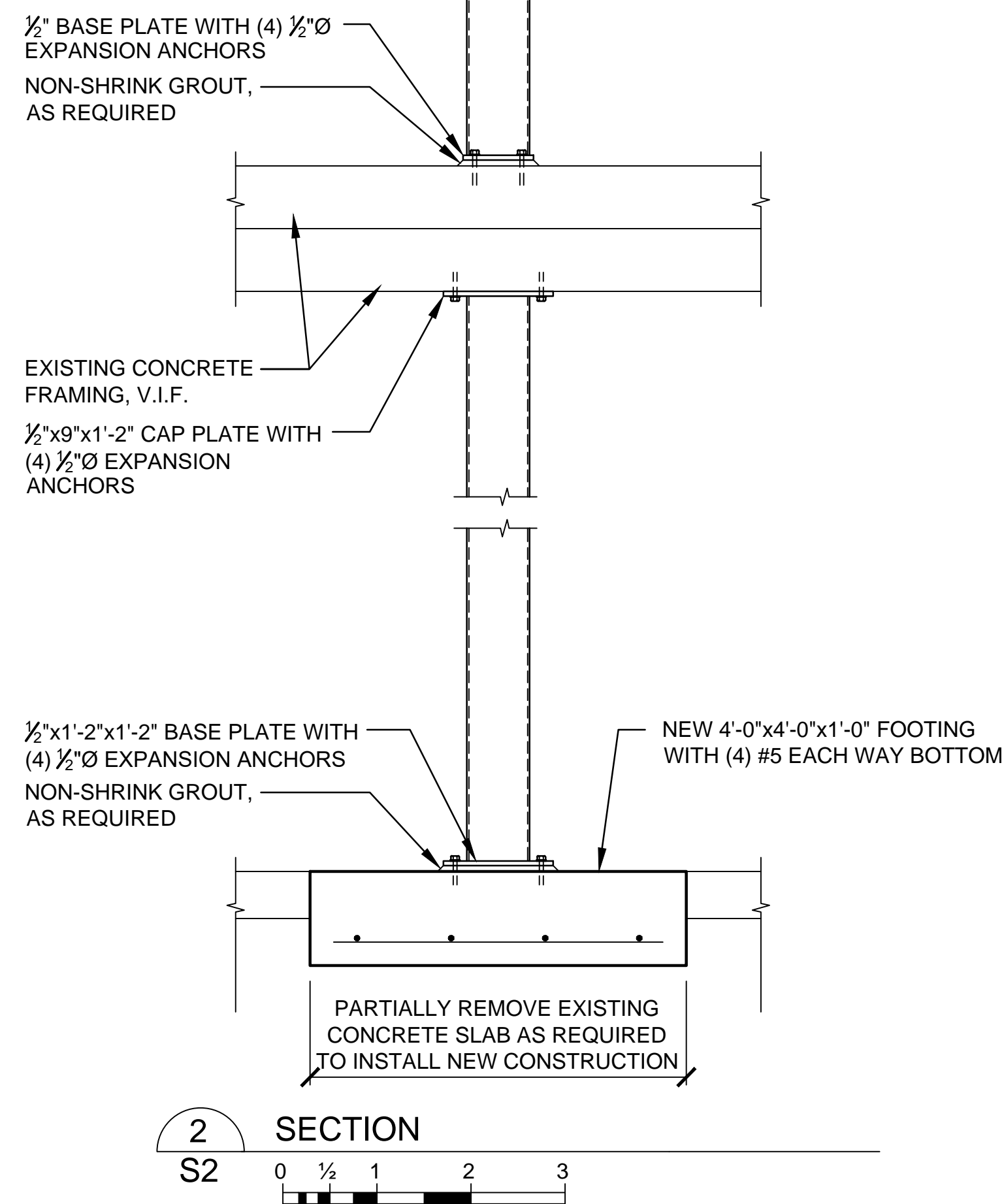
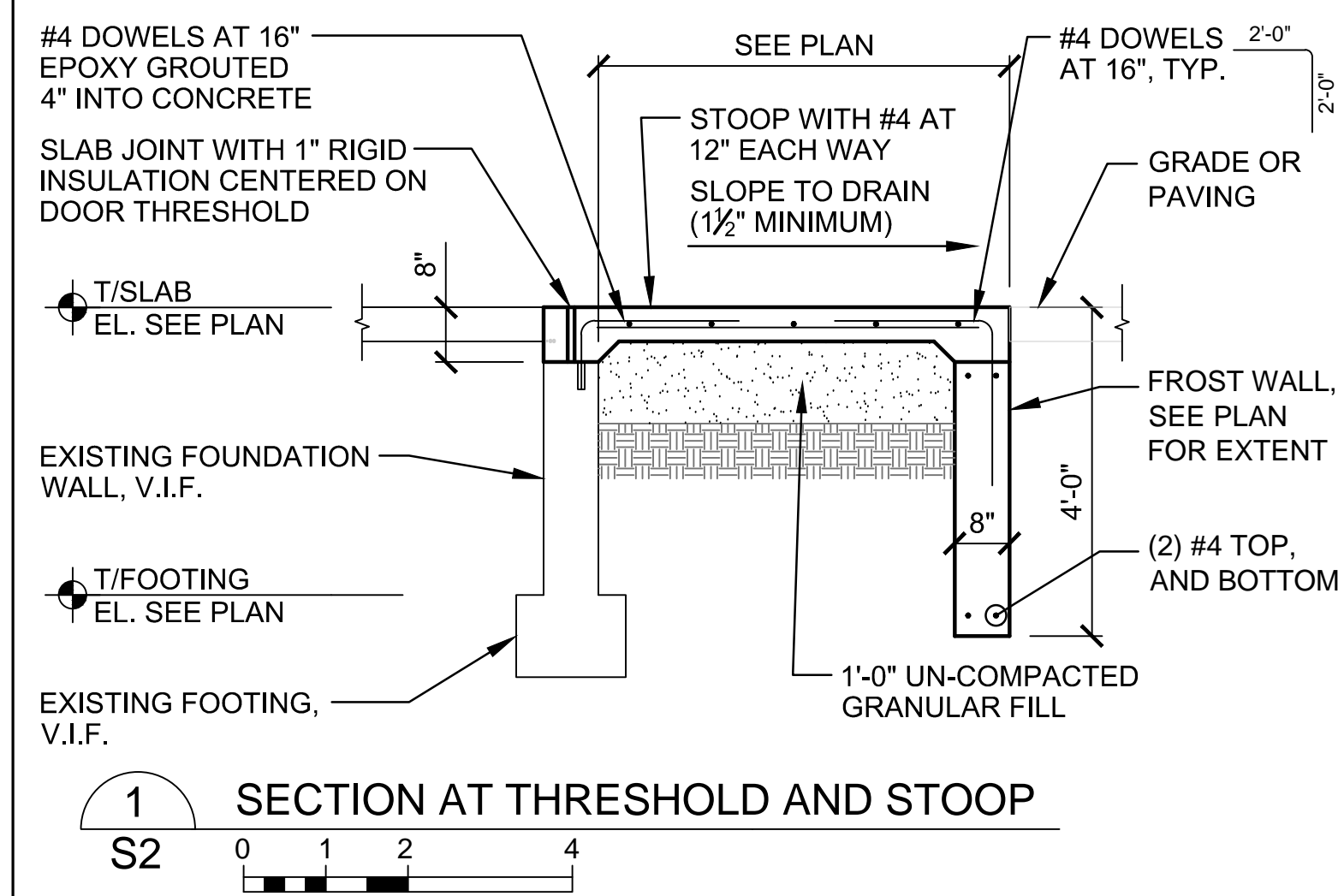


700 11TH STREET
SUITE 200
MARION, IOWA
52302
(319) 377-7604

102 FREDERICK
AVENUE, SUITE 100
OELWEIN, IOWA
52076
(563) 933-4712

S1

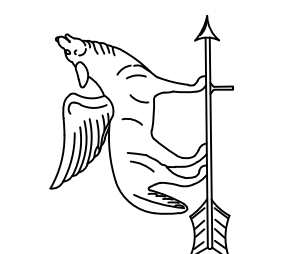
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CITY OF ANAMOSA
RENOVATION TO ANAMOSA POLICE STATION



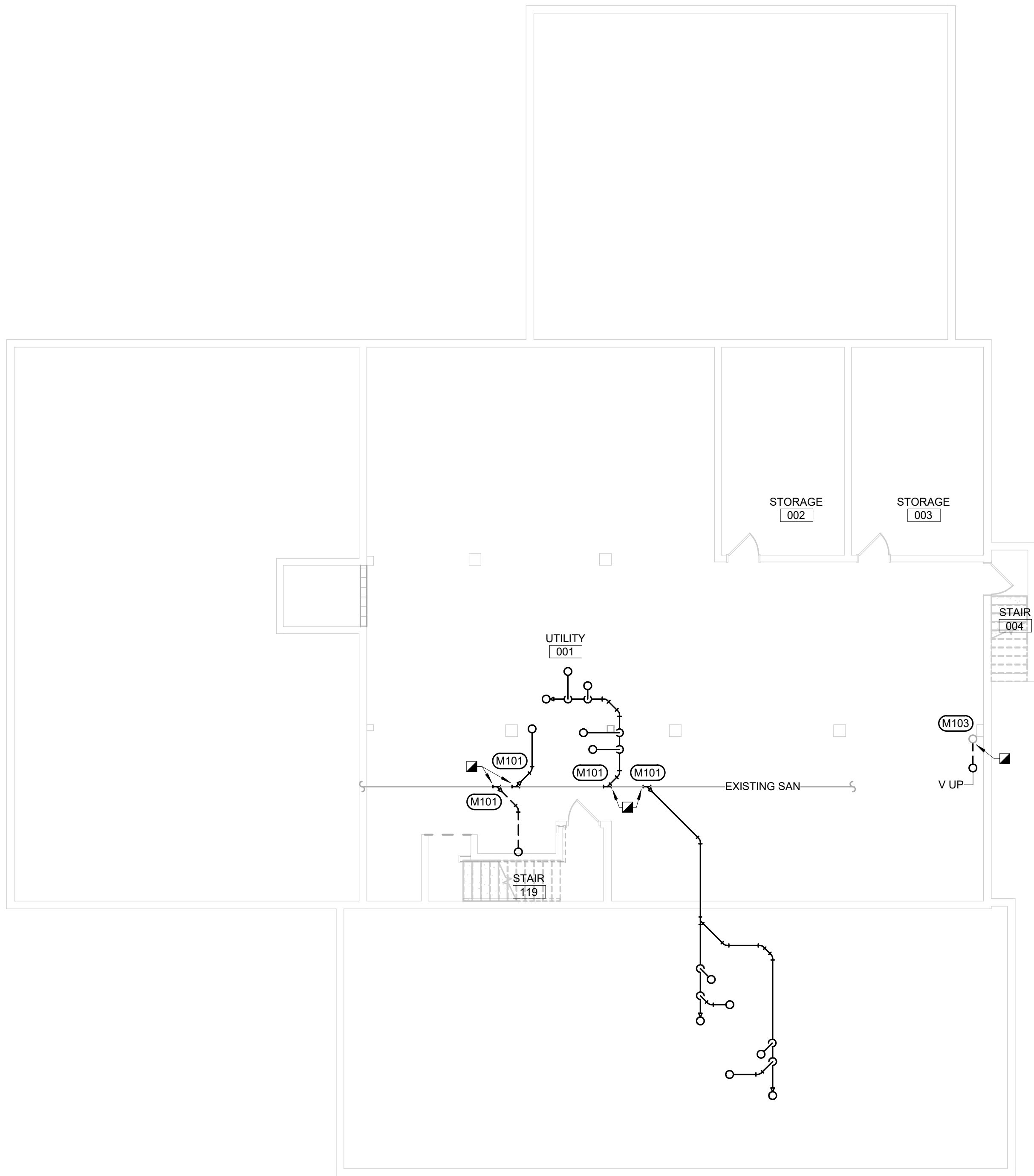
700 11TH STREET
SUITE 200
MARION, IOWA
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(319) 377-7604

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102 FREDERICK
AVENUE, SUITE 1
OELWEIN, IOWA
52076
(563) 933-4712

S2

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① Basement - SANITARY AND VENT
1/8" = 1'-0"



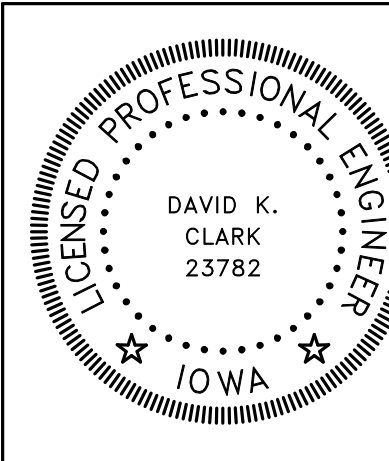
② Main Floor - SANITARY AND VENT
1/8" = 1'-0"

GENERAL PLUMBING NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH STATE OF IOWA AND CITY OF ANAMOSA, IA BUILDING CODES.
- COORDINATE THE PLUMBING WITH THE WORK OF ALL OTHER TRADES.
- INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS.
- FIRE CAULK ALL PIPE PENETRATIONS THAT PENETRATE FIRE RATED WALLS AND FLOOR/CEILING ASSEMBLIES.
- CONTRACTOR TO CUT AND PATCH WALLS, FLOORS, AND CEILINGS AS REQUIRED FOR INSTALLATION OF PIPING AND EQUIPMENT.
- DRAWINGS DO NOT SHOW ALL PIPE ELEVATION CHANGES AND TRANSITIONS. CONTRACTOR TO INCLUDE PIPE FITTINGS OFFSETS AS NEEDED TO COORDINATE WITH EXISTING WORK AND OTHER TRADES.
- COORDINATE HANGER SUPPORT MATERIAL WITH STRUCTURAL CONDITIONS.
- DRAWINGS DO NOT SHOW ALL ISOLATION VALVES. INCLUDE VALVES ON BRANCH TAKE-OFFS OF PIPING MAINS.

MECHANICAL SPECIFIC NOTES

- M101 CONNECT TO EXISTING SANITARY PIPE. FIELD VERIFY EXACT LOCATION.
- M102 CONNECT TO EXISTING VENT PIPE. FIELD VERIFY EXACT LOCATION.
- M103 EXISTING VENT PIPING TO BE REPLACED AND RELOCATED AS REQUIRED FOR INSTALLATION OF NEW WALLS. RECONNECT TO EXISTING BELOW FLOOR AND ABOVE CEILING TO ROOF PENETRATION. FIELD VERIFY EXACT LOCATION AND SIZE.
- M104 EXISTING STORM PIPE TO REMAIN.
- M105 EXISTING STORM PIPING TO BE REPLACED AND RELOCATED AS REQUIRED FOR INSTALLATION OF NEW WALLS. RECONNECT TO EXISTING BELOW FLOOR AND ABOVE CEILING TO ROOF PENETRATION. FIELD VERIFY EXACT LOCATION AND SIZE.
- M106 EXISTING VENT PIPING TO REMAIN.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

David K. Clark

Iowa Registration Number: 23782

My license renewal date is December 31, 2023.

Pages or sheets covered by this seal: M101, M201, M202, P101, P201



SANITARY AND VENT PLANS

Project Status: 05-20-22
REVISION
NUMBER
DATE

CITY OF ANAMOSA
Anamosa Police Department Renovation



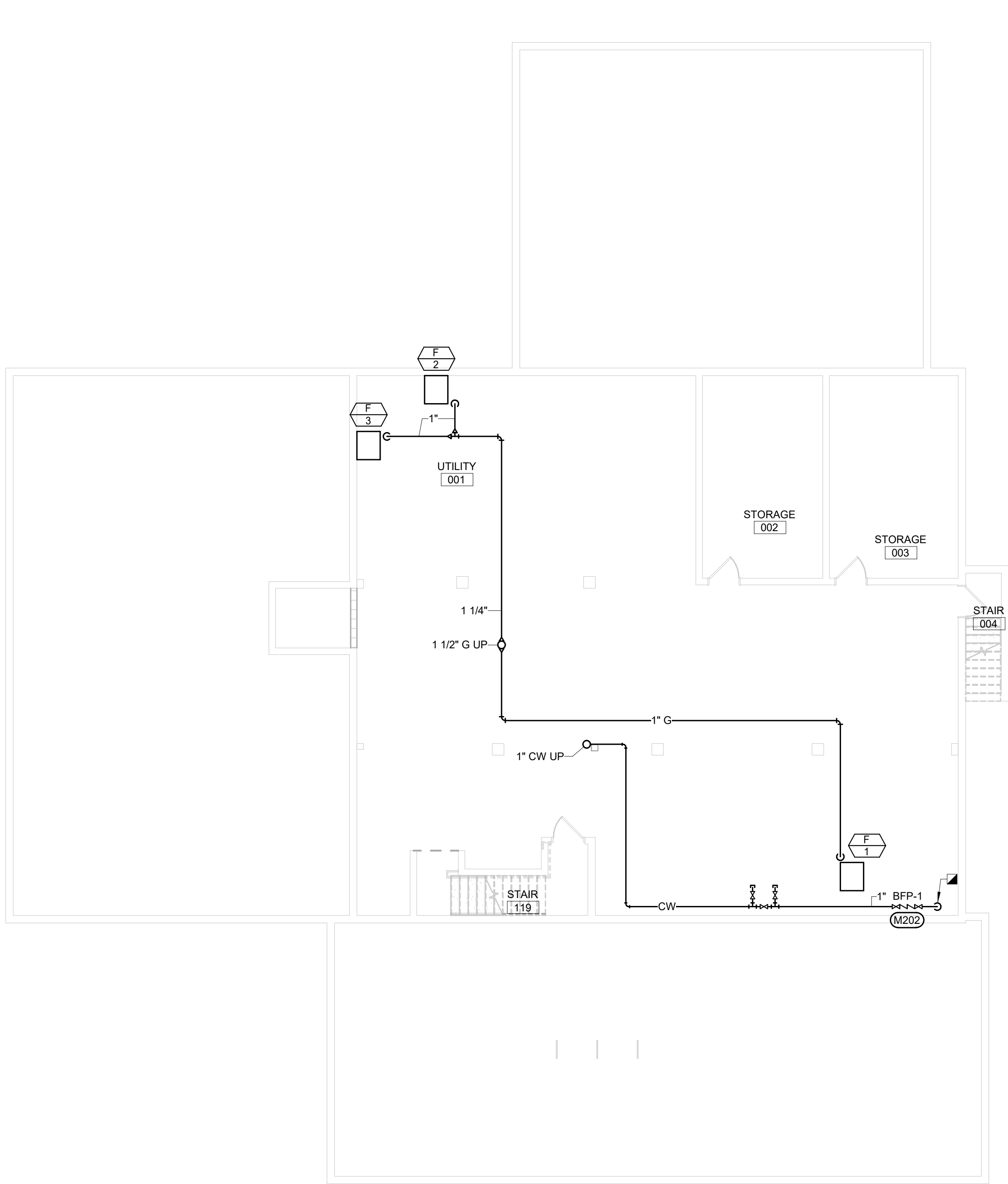
700 11TH ST
SUITE 200
MARION, IOWA
52302
(319) 377-7604

11502 390TH ST
STRAWBERRY
POINT, IOWA
52076
(563) 933-4712

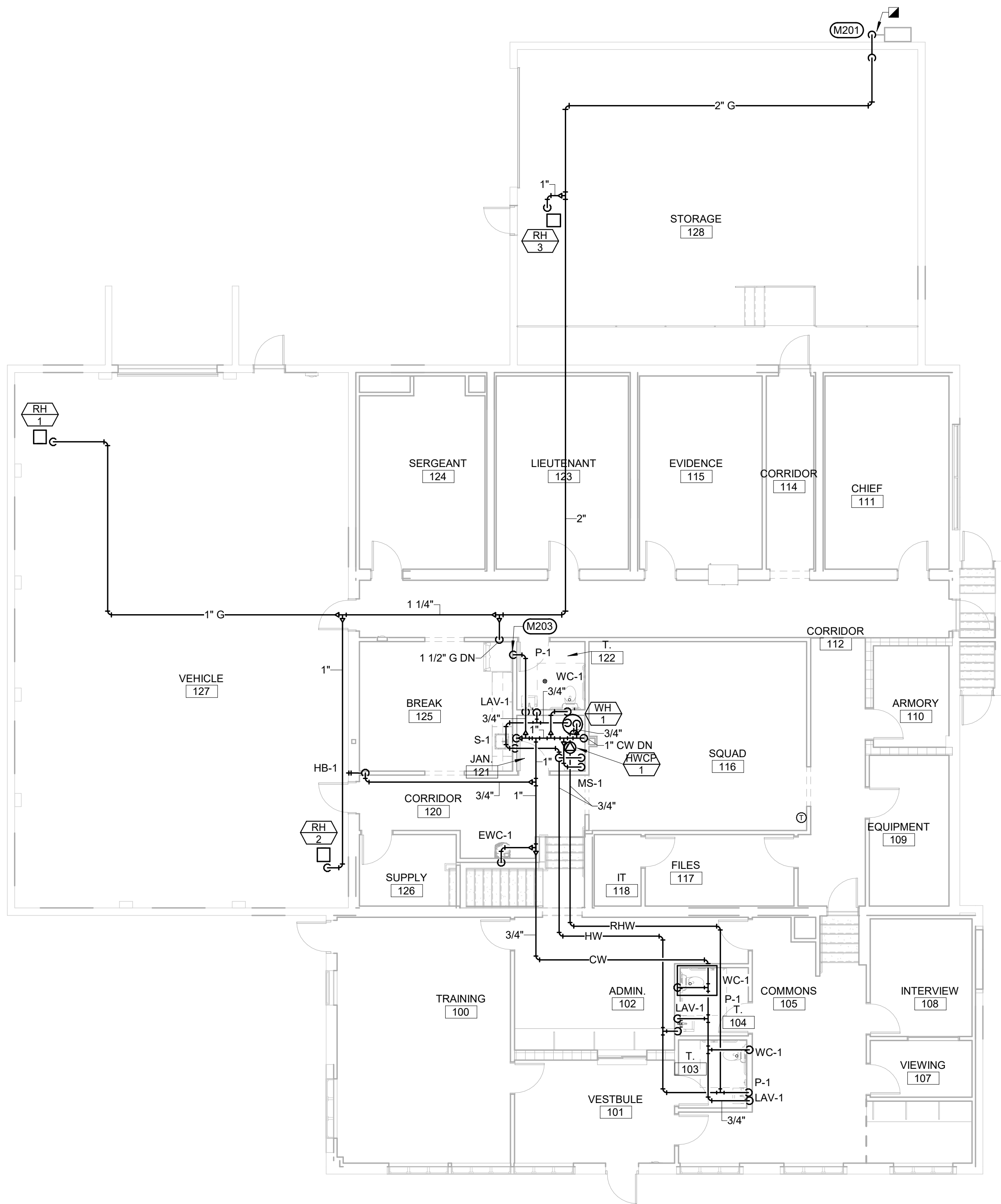
P101

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① Basement - PLUMBING
1/8" = 1'-0"



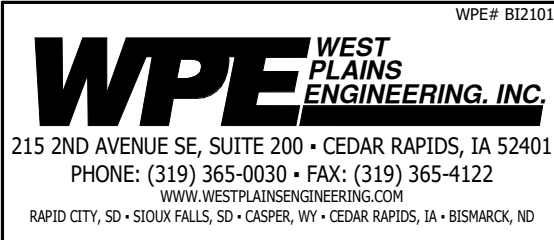
② Main Floor - PLUMBING
1/8" = 1'-0"

GENERAL PLUMBING NOTES:

- A. ALL WORK SHALL BE IN ACCORDANCE WITH STATE OF IOWA AND CITY OF ANAMOSA, IA BUILDING CODES.
- B. COORDINATE THE PLUMBING WITH THE WORK OF ALL OTHER TRADES.
- C. INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS.
- D. FIRE CAULK ALL PIPE PENETRATIONS THAT PENETRATE FIRE RATED WALLS AND FLOOR/CEILING ASSEMBLIES.
- E. CONTRACTOR TO CUT AND PATCH WALLS, FLOORS, AND CEILINGS AS REQUIRED FOR INSTALLATION OF PIPING AND EQUIPMENT.
- F. DRAWINGS DO NOT SHOW ALL PIPE ELEVATION CHANGES AND TRANSITIONS. CONTRACTOR TO INCLUDE PIPE FITTINGS OFFSETS AS NEEDED TO COORDINATE WITH EXISTING WORK AND OTHER TRADES.
- G. COORDINATE HANGER SUPPORT MATERIAL WITH STRUCTURAL CONDITIONS.
- H. DRAWINGS DO NOT SHOW ALL ISOLATION VALVES. INCLUDE VALVES ON BRANCH TAKE-OFFS OF PIPING MAINS.

MECHANICAL SPECIFIC NOTES

- M201 CONNECT TO EXISTING GAS LINE. CONTRACTOR TO VERIFY EXISTING METER AND REGULATOR CAN HANDLE NEW GAS LOAD. COORDINATE WITH LOCAL UTILITY TO PROVIDE NEW GAS REGULATOR AND METER IF REQUIRED FOR NEW GAS LOAD. APPROXIMATE CONNECTED LOAD IS 415.6 CFH. PROVIDE LOW PRESSURE GAS.
- M202 CONNECT TO EXISTING INCOMING WATER LINE. FIELD VERIFY EXACT LOCATION.
- M203 ROUTE 1/2 INCH COLD WATER LINE WITH A SHUTOFF VALVE IN A RECESSED ICE MAKER OUTLET BOX FOR REFRIGERATOR WATER CONNECTION.



DOMESTIC PLUMBING PLANS

Project Status: 05-20-22	REVISION	DATE:
	NUMBER:	

CITY OF ANAMOSA
Anamosa Police Department Renovation

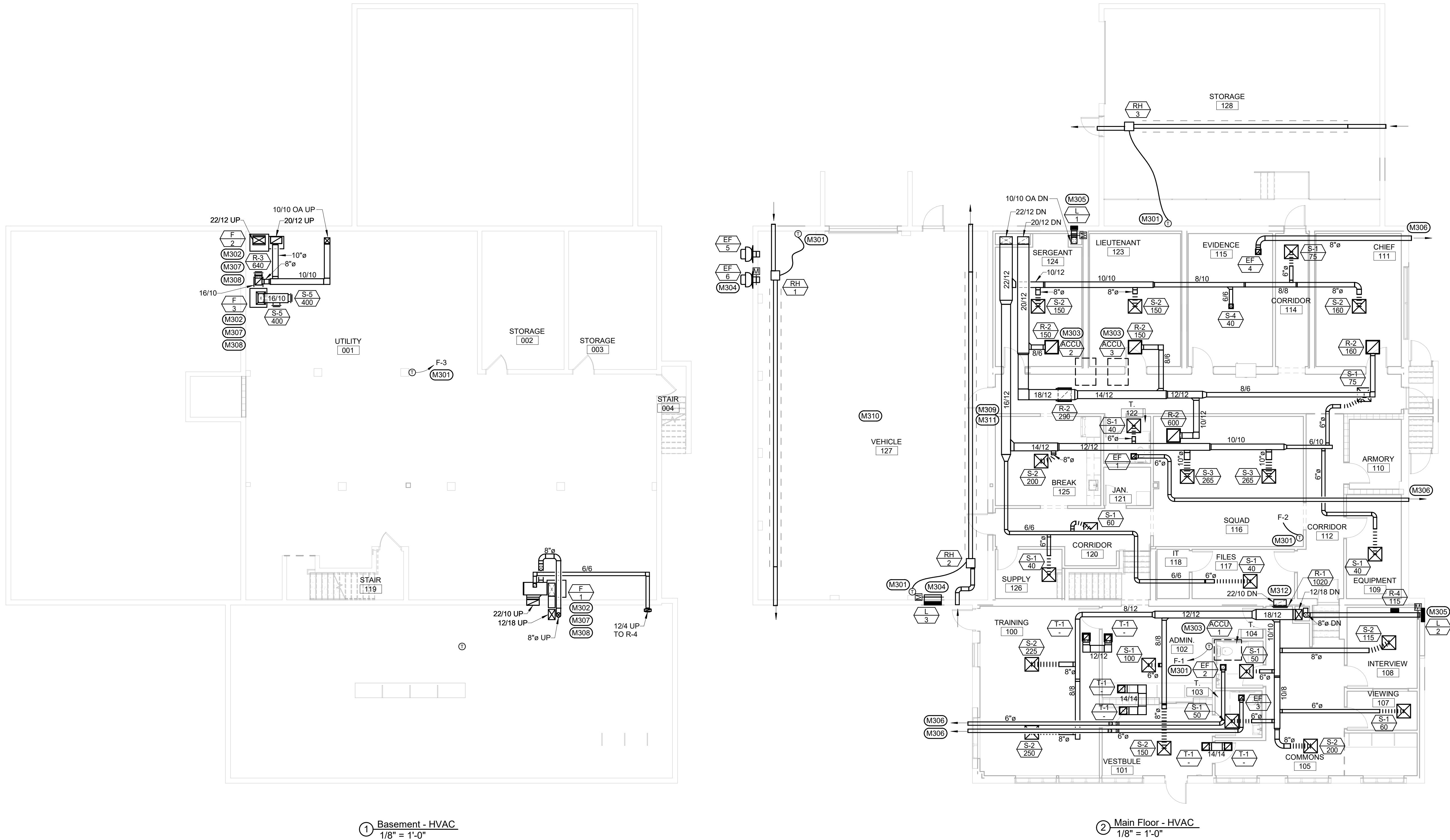


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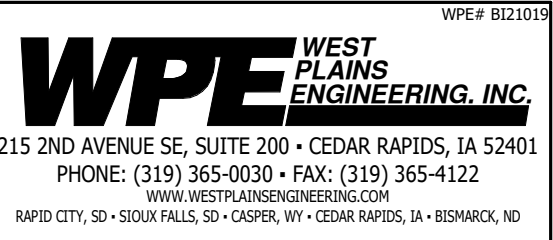
P201

BI21019



- GENERAL MECHANICAL NOTES:**
- A. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODES ADOPTED BY THE STATE OF IOWA AND CITY OF ANAMOSA, IA. INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS.
 - B. INSTALL ALL EQUIPMENT PER THE MANUFACTURER'S RECOMMENDATIONS.
 - C. FIRE CAULK ALL PIPE PENETRATIONS THAT PENETRATE FIRE RATED WALLS AND FLOOR/CEILING ASSEMBLIES. ALL NON RATED PENETRATIONS TO BE CAULKED TO REDUCE NOISE TRANSFER.
 - D. CONTRACTOR TO CUT AND PATCH WALLS, FLOORS, AND CEILINGS AS REQUIRED FOR INSTALLATION OF PIPING AND EQUIPMENT.
 - E. DRAWINGS DO NOT SHOW ALL PIPE ELEVATION CHANGES AND TRANSITIONS. CONTRACTOR TO INCLUDE PIPE FITTINGS OFFSETS AS NEEDED TO COORDINATE WITH EXISTING WORK AND OTHER TRADES.
 - F. COORDINATE HANGER SUPPORT MATERIAL WITH STRUCTURAL CONDITIONS.
 - G. COORDINATE NEW WORK WITH ALL OTHER TRADES.
 - H. NOT ALL DUCT TRANSITIONS INCLUDING RISES, DROPS AND NECK DOWNS ARE SHOWN ON PLANS. CONTRACTOR SHALL SHOW ALL REQUIRED TRANSITIONS ON COORDINATION SHOP DRAWINGS. ASSUME SOME ARE REQUIRED TO OFFSET AROUND ARCHITECTURAL AND MEP ITEMS. COORDINATE WITH OTHER TRADES. PROVIDE OFFSET AS NECESSARY.
 - I. PROVIDE TURNING VANES PER SMACNA IN ALL 90 DEGREE AND 45 DEGREE ELBOWS.

- MECHANICAL SPECIFIC NOTES**
- M301 PROVIDE WALL MOUNTED THERMOSTAT AT 48 INCHES ABOVE FINISHED FLOOR. PROVIDE WITH INSULATED BACKPLATE ON ALL THERMOSTATS IN MAINTENANCE BAY.
 - M302 MOUNT FURNACE ON 4" THICK HOUSEKEEPING CONCRETE PAD. EXTEND PAD 6" BEYOND UNIT IN ALL DIRECTIONS. MAKE TRANSITION TO FULL SIZE UNIT OPENINGS AS NECESSARY. DUCT CONNECTIONS TO FURNACE SHALL BE MADE WITH FLEXIBLE DUCT CONNECTORS. COORDINATE PAD WITH GENERAL CONTRACTOR.
 - M303 INSTALL REFRIGERANT PIPING (NOT SHOWN) FROM AIR COOLED CONDENSING UNIT ON ROOF TO ASSOCIATED FURNACE. INSTALL ALL REFRIGERANT PIPING PER THE MANUFACTURER'S RECOMMENDATION. PROVIDE PVC PIPE GOOSENECK TO ROUTE REFRIGERANT PIPING. FLASH PIPE TO ROOF. INSTALL THE CONDENSING UNIT ON A 4 INCH THICK HARD PLASTIC PAD AT LEAST 6 INCHES LONGER AND WIDER THAN THE UNIT IN ALL DIRECTIONS. PROVIDE MANUFACTURER'S RECOMMENDED CLEARANCES FOR CONDENSING UNIT. MAINTAIN 10 FEET FROM ROOF EDGE.
 - M304 INTERLOCK EXHAUST FAN AND MOTORIZED DAMPER WITH GAS DETECTION SYSTEM.
 - M305 PROVIDE A LOW-LEAKAGE MOTORIZED DAMPER WITH A LOW-VOLTAGE ACTUATOR. PROVIDE LOW VOLTAGE INTERLOCK WITH FURNACE OPERATION.
 - M306 EXHAUST AIR OUT THROUGH SIDEWALL. PROVIDE WALL CAP. COORDINATE PENETRATION WITH GENERAL CONTRACTOR.
 - M307 UTILIZE THERMOSTAT TO SCHEDULE THE ASSOCIATED MOTORIZED DAMPER TO CYCLE OPEN DURING NORMAL BUILDING OCCUPIED HOURS. PROVIDE RELAY TRANSFORMER AND OTHER CONTROLS AS REQUIRED TO INTERLOCK LOW VOLTAGE MOTORIZED DAMPER OPERATION WITH FURNACE OPERATION. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER REQUIREMENTS. MOTORIZED DAMPER SHALL BE CLOSED DURING UNOCCUPIED BUILDING HOURS.
 - M308 PROVIDE WITH WIFI PROGRAMMABLE 7-DAY THERMOSTAT. FURNACE FAN SHALL OPERATE CONTINUOUSLY DURING OCCUPIED BUILDING HOURS. COOLING AND HEATING SHALL OPERATE AS REQUIRED TO MAINTAIN SETPOINT. FURNACE SHALL CYCLE ON/OFF DURING UNOCCUPIED BUILDING HOURS.
 - M309 PROVIDE VULCAIN VA301C GAS DETECTION CONTROLLER. INSTALL AT 48 INCHES ABOVE FINISHED FLOOR.
 - M310 PROVIDE VULCAIN E3SM REMOTE GAS SENSOR AT 18 INCHES BELOW CEILING LEVEL IN THIS LOCATION. PROVIDE WITH E3NO2 SENSOR CARTRIDGE. THROUGH A RELAY TO THE GAS DETECTION CONTROLLER. THE NO2 SENSOR SHALL ENERGIZE EF-3 (EXHAUST FAN) TO OPERATE AT 1 PPM AND DEENERGIZE AT 0.8 PPM. INTERLOCK GAS DETECTION SYSTEM WITH EXHAUST FAN EF-6 AND MOTORIZED DAMPER AT LOUVER L-3.
 - M311 PROVIDE VULCAIN E3SM REMOTE GAS SENSOR AT 66 INCHES ABOVE THE FLOOR IN THIS LOCATION. PROVIDE WITH E3SCO SENSOR CARTRIDGE. THROUGH A RELAY TO THE GAS DETECTION CONTROLLER. THE CO SENSOR SHALL ENERGIZE EF-6 (EXHAUST FAN) TO OPERATE AT 35 PPM AND DEENERGIZE AT 24 PPM. INTERLOCK GAS DETECTION SYSTEM WITH EXHAUST FAN EF-6 AND MOTORIZED DAMPER AT LOUVER L-3.
 - M312 INSTALL RETURN GRILLE IN EXISTING RETURN DUCT LOCATION. PROVIDE NEW DUCTWORK. COORDINATE EXACT DUCT AND GRILLE SIZE WITH EXISTING CONDITIONS BEFORE PURCHASING. FIELD VERIFY EXACT LOCATION.



Project Status: 05-20-22	
REVISION	DATE
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CITY OF ANAMOSA
Anamosa Police Department Renovation



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B121019

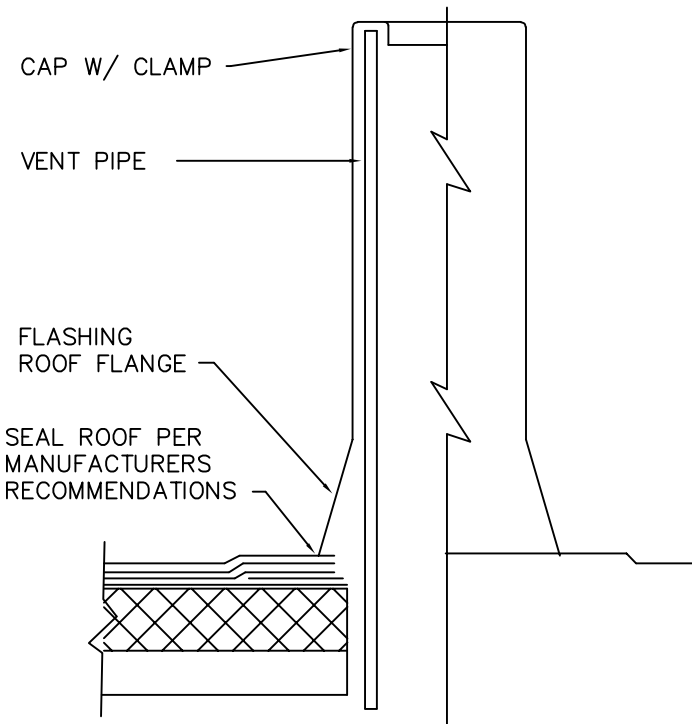
HVAC PLANS

MECHANICAL SYMBOLS

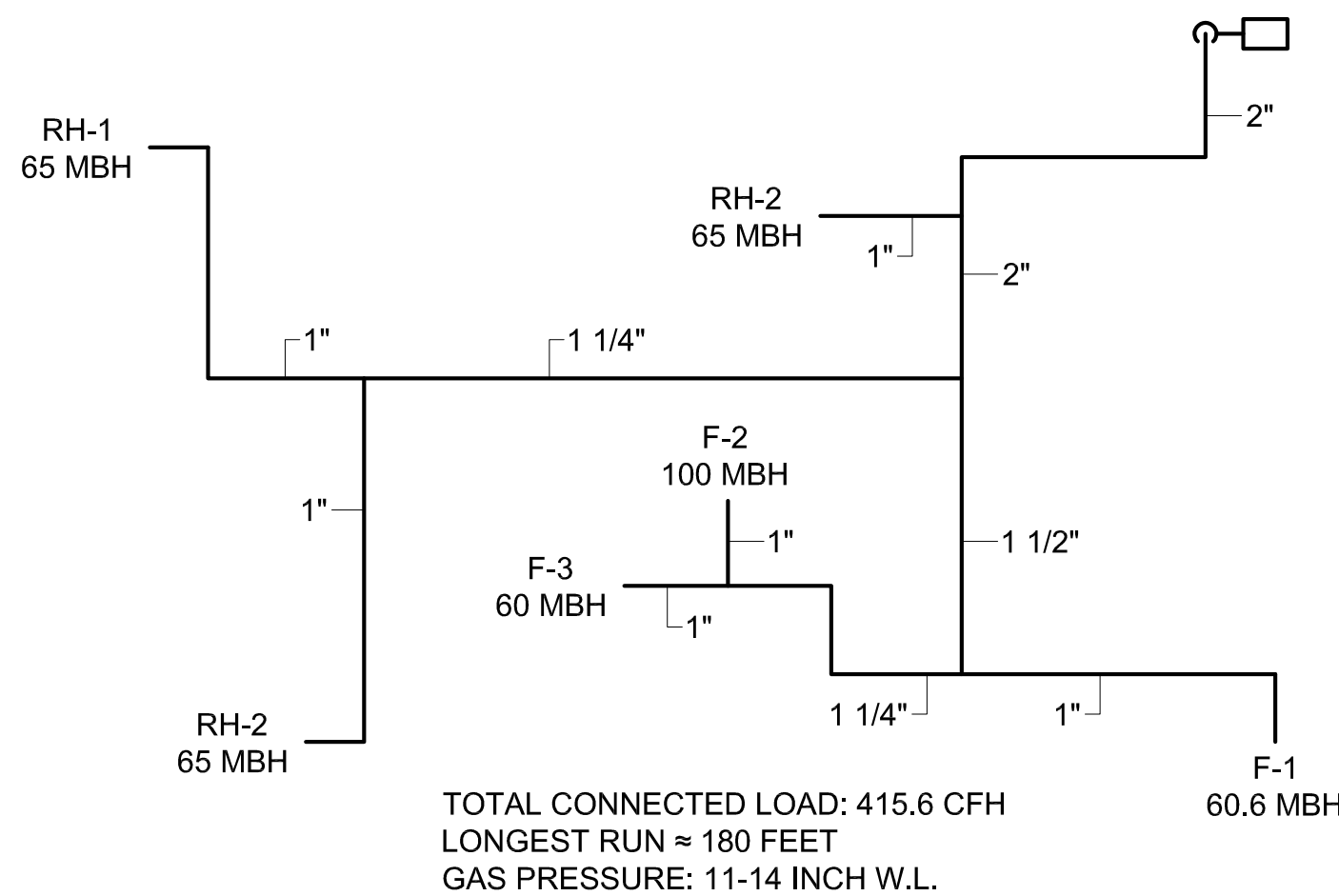
—CW— COLD WATER PIPE	—HW— HOT WATER PIPE	—RHW— CIRCULATING HOT WATER PIPE
—CW— UNDERGROUND COLD WATER PIPE	—HW— UNDERGROUND HOT WATER PIPE	—RHW— UNDERGROUND CIRCULATING HOT WATER PIPE
—SAN— UNDERFLOOR WASTE PIPE	—SAN— ABOVE FLOOR WASTE PIPE	—V— VENT PIPE
—ST— UNDERFLOOR STORM PIPE	—ST— ABOVE FLOOR STORM PIPE	
—OST— UNDERFLOOR OVERFLOW STORM PIPE	—OST— ABOVE FLOOR OVERFLOW STORM PIPE	
—PD— PUMP DISCHARGE	—PD— PUMP DISCHARGE	
—AW— UNDERFLOOR ACID WASTE PIPE	—AW— ABOVE FLOOR ACID RESISTANT WASTE PIPE	—AV— ACID RESISTANT VENT PIPE
—S— COLD SOFT WATER PIPE	—SHW— SOFT HOT WATER PIPE	—SRHW— SOFT CIRCULATING HOT WATER PIPE
—CA— COMPRESSED AIR PIPE	—LS— LAWN SPRINKLER PIPE	△ COMPRESSED AIR OUTLET
—HPS— HIGH PRESSURE STEAM	—MPS— MEDIUM PRESSURE STEAM	—LPS— LOW PRESSURE STEAM
—HPR— HIGH PRESSURE RETURN	—MPR— MEDIUM PRESSURE RETURN	—LPR— LOW PRESSURE RETURN
—PC— PUMPED CONDENSATE PIPE		
—G— NATURAL GAS	—LP— LIQUEFIED PETROLEUM GAS	
—HWS— HOT WATER HEATING SUPPLY	—HWR— HOT WATER HEATING RETURN	
—CWS— CHILLED WATER SUPPLY PIPE	—CWR— CHILLED WATER RETURN PIPE	
—CS— PIPE	—CR— PIPE	
—HPWS— HEAT PUMP WATER SUPPLY	—HPWR— HEAT PUMP WATER RETURN	
—GLWS— GROUND LOOP WATER SUPPLY	—GLWR— GROUND LOOP WATER RETURN	
—FOS— FUEL OIL SUPPLY	—FOR— FUEL OIL RETURN	
—FOV— FUEL OIL VENT	—FOG— FUEL OIL GAUGE	
—RL— REFRIGERANT LIQUID PIPE	—RS— REFRIGERANT SUCTION PIPE	—HG— HOT GAS
—O— OXYGEN PIPE	—VAC— CLINICAL AND LAB VACUUM	—GE— GAS EVACUATION PIPE
—NO— NITROUS OXIDE PIPE	—N— NITROGEN PIPE	—A— CLINICAL AND LAB AIR PIPE
△ OXYGEN OUTLET	△ CLINICAL AND LAB VACUUM OUTLET	△ GAS EVACUATION OUTLET
△ NITROUS OXIDE OUTLET	△ NITROGEN OUTLET	△ CLINICAL AIR OUTLET
—D— EQUIPMENT DRAIN	DS DOWN SPOUT	FD FIRE DEPT. HOSE VALVE
—F— FIRE SPRINKLER PIPE	SP STAND PIPE	
○ PENDANT TYPE SPRINKLER HEAD	○ UPRIGHT SPRINKLER HEAD	○ RECESSED SPRINKLER HEAD
○ CONCEALED SPRINKLER HEAD	○ POST INDICATOR VALVE	
— PIPE CONNECTION	— AIR VENT	— FLOW ALARM
— ELBOW DOWN	— FLOW MEASURING DEVICE	— PRESSURE/TEMPERATURE TAP
— ELBOW UP	— EXPANSION JOINT, PIPE GUIDE	— PRESSURE GAUGE
— TEE DOWN	— CAPPED OUTLET	— STATIC PRESSURE SENSOR
— PIPE PITCH DOWN	— SHUT OFF VALVE	— THERMOMETER
— DIRECTION OF FLOW	— BALANCING VALVE	— STRAINER
— PIPE ANCHOR	— CONTROL VALVE	— STEAM TRAP
— REDUCER OR INCREASER	— 3-WAY CONTROL VALVE	— BACK FLOW PREVENTER
— UNION	— PRESSURE REDUCING VALVE	— FLOW CONTROL VALVE
— FLEXIBLE PIPE CONNECTION	— PRESSURE RELIEF VALVE	— STRAINER VALVE
WH WALL HYDRANT	— DOMESTIC WATER TEMPERING VALVE	— PRESSURE SENSOR DIFFERENTIAL
HB HOSE BIB	— CHECK VALVE	— THERMOSTAT
CO CLEAN OUT ABOVE FLOOR	— CURB STOP	— NIGHT THERMOSTAT
WC WALL CLEAN OUT		— THERMOSTAT W/LOCKABLE COVER
CD CLEAN OUT IN FLOOR	RD ROOF DRAIN	— HUMIDISTAT
FD FLOOR DRAIN	ORD OVERFLOW ROOF DRAIN	— FLOW SWITCH
FS FLOOR SINK	AD AREA DRAIN	DEMOLITION HATCHING
— RADIATION ELEMENT	— CONNECT TO EXIST. SERVICE	
RAD-1 TYPE RADIATION DESIGNATION		
5'-0" FINNED ELEMENT LENGTH		

VENTILATION SYMBOLS

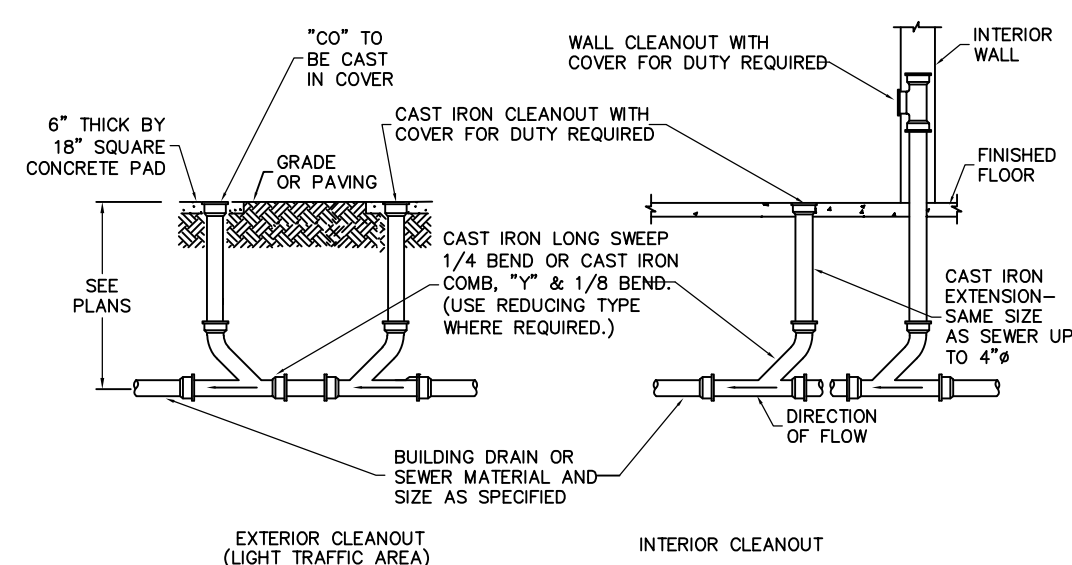
☒ SUPPLY DUCT (UP & DOWN)	MANUAL VOLUME DAMPER
☑ RETURN DUCT (UP & DOWN)	BRANCH DUCT INTO SIDE OF MAIN DUCT
☒ EXHAUST DUCT (UP & DOWN)	DUCT RISE OR DROP IN DIRECTION OF AIR FLOW
STANDARD RADIUS ELBOW R EQUAL W (MINIMUM)	DUCT DIMENSION- WIDTH x DEPTH
DUCT TURN WITH TURN VANES	DUCT INSULATION (SEE SPECIFICATION)
FLEXIBLE DUCT CONNECTION	DUCT TURN AND AIR SPLIT TYPE TAKEOFF (NON-ADJUSTABLE)
SPIRAL DUCTWORK	GRILLE, REGISTER & DIFFUSER DESIGNATION
LOW PRESURE DUCTWORK MAX 2" W.G. PRESSURE	EQUIPMENT DESIGNATION
MEDIUM PRESSURE DUCTWORK 2"-6" W.G. PRESSURE	
F - FIRE DAMPER M - MOTORIZED DAMPER	FLEX DUCT (5' MAXIMUM)
S - SMOKE DAMPER B - BACKDRAFT DAMPER	
C - COMBINATION FIRE SMOKE DAMPER	



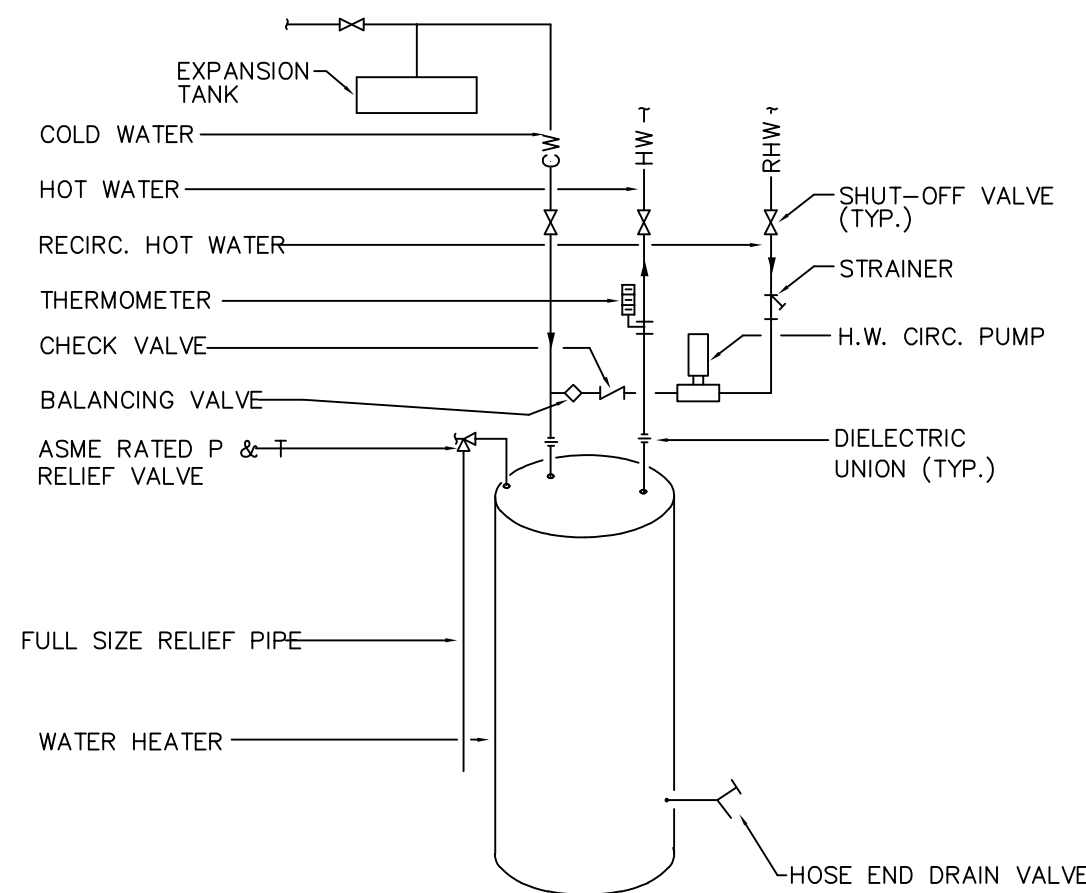
1 PLUMBING VENT DETAIL
NOT TO SCALE



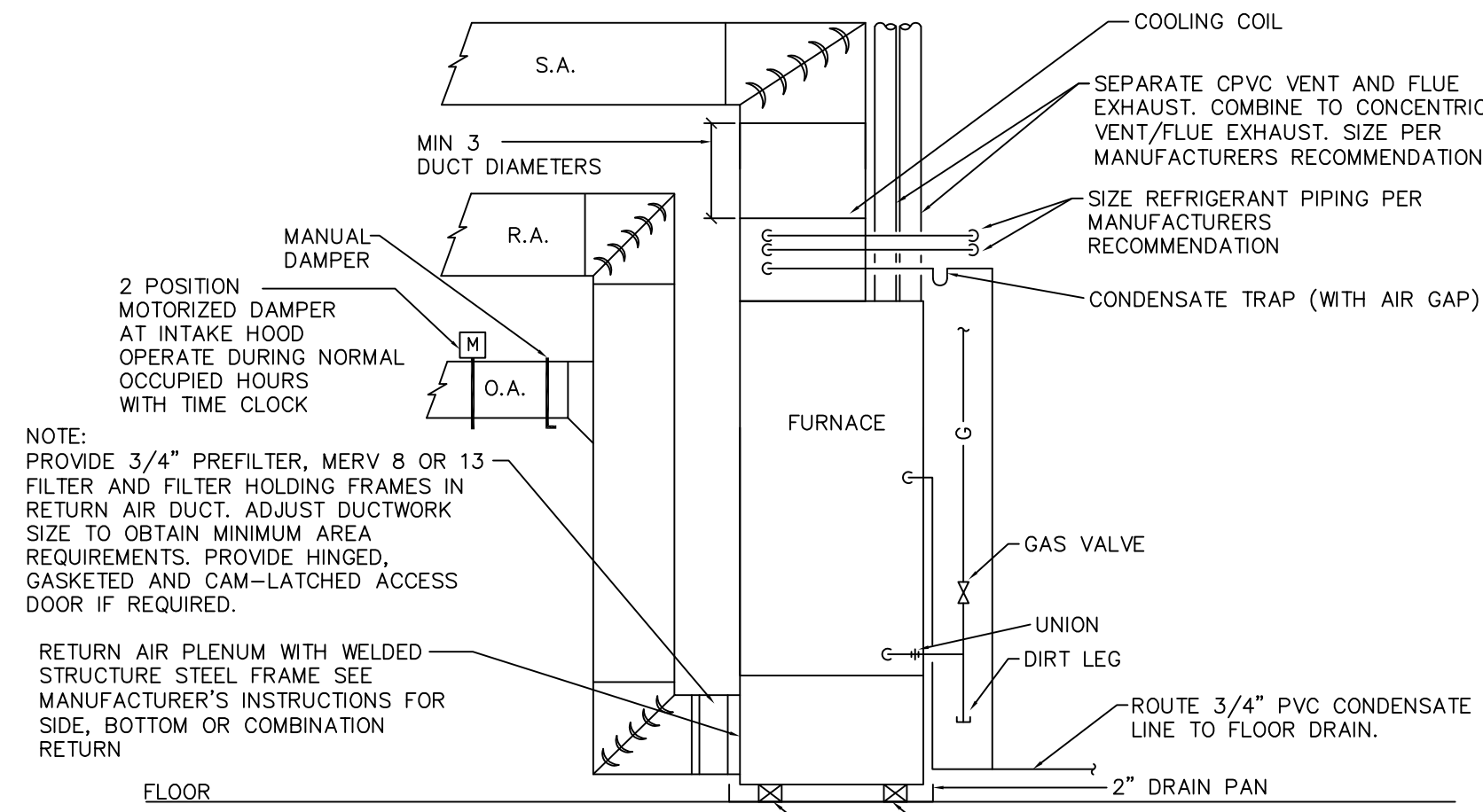
3 GAS SCHEMATIC
NOT TO SCALE



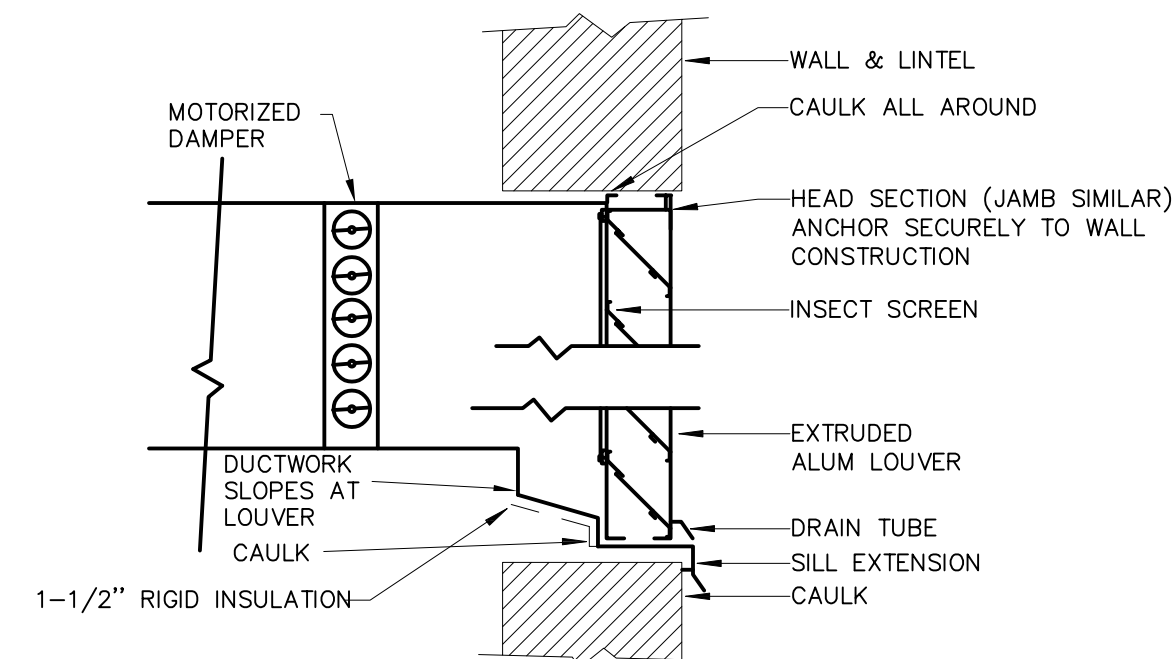
5 CLEANOUTS DETAIL
NO SCALE



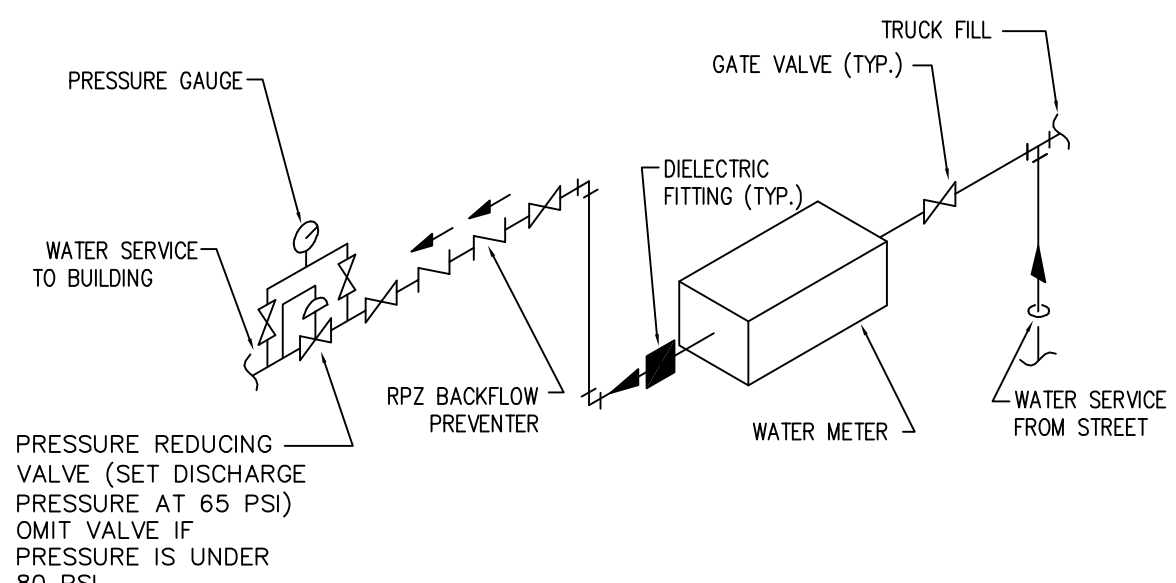
7 WATER HEATER PIPING DETAIL
NO SCALE



2 TYPICAL FURNACE DETAIL
NOT TO SCALE



4 INTAKE LOUVER
NOT TO SCALE



6 WATER METER PIPING DETAIL - ELECTRIC
NO SCALE

Project Status: 05-30-22

REVISION

NUMBER

DATE

CITY OF ANAMOSA
Anamosa Police Department Renovation

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MECHANICAL SYMBOLS & DETAILS

PLUMBING FIXTURE SCHEDULE										
FIXTURE NO	MANUFACTURER'S DESIGNATION	FIXTURE TYPE	MATERIAL	WASTE	VENT	FAUCET MFGR MODEL	MISC.	SUPPLY		NOTES
								CW	HW	
WC-1	KOHLER - K-3493	ADA FLOOR MOUNT WATER CLOSET	VITREOUS CHINA	4"	2"	-	PRESSURE LITE FLUSH	3/4"	-	1,2
LAV-1	KOHLER - K-1999	WALL MOUNT LAVATORY	VITREOUS CHINA	1-1/4"	1-1/4"	DELTA - 22C131	-	1/2"	1/2"	1
MS-1	FIAT MSB2424	MOP SINK	-	3"	2"	DELTA - 28T9	-	3/4"	3/4"	3
S-1	ELKAY - LR1918	SINGLE BOWL KITCHEN SINK	STAINLESS STEEL	1-1/2"	1-1/2"	DELTA - B4310LF	-	1/2"	1/2"	-
HB-1	ACORN 8136	HOSE BIBB	STAINLESS STEEL	-	-	-	-	3/4"	-	4
EWIC-1	ELKAY EZS8WSLK	SINGLE WATER COOLER	STAINLESS STEEL	1-1/2"	1-1/2"	-	EZH20 BOTTLE FILLING STATION	1/2"	-	1,5
P-1	POWERS LFE480	THERMOSTATIC MIXING VALVE	BRASS	-	-	-	POINT-OF-USE TMV	-	-	-
FD-1	JAY R SMITH - 2005	FLOOR DRAIN	CAST IRON	3"	1-1/2"	-	-	-	-	6
BFP-1	WATTS LF009	RPZ BACKFLOW	STAINLESS STEEL	-	-	-	-	1"	-	7
NOTES:	1. INSTALL AS ADA-COMPLIANT. 2. PROVIDE WITH WHITE OPEN SEAT. 3. INCLUDE FIAT 889-CC AND 832-AA MOP HANGER, HOSE, AND BRACKET. 4. SECURE HOSE BIBB AND EXPOSED PIPE TO WALL. 5. PROVIDE WITH EZH20 BOTTLE FILLING STATION. 6. PROVIDE WITH NICKEL BRONZE STRAINER HEAD. 7. PROVIDE WITH AIR GAP DRAIN CONNECTION.									

FAN SCHEDULE								
UNIT NO	MANUFACTURER'S DESIGNATION	CFM	S.P.D. (IN)	TOTAL WATTS	MOTOR HP	ELEC.	SONES	NOTES
EF-1	GREENHECK SP-110-VG	70	0.375	8	-	115/1	0.3	1-5
EF-2	GREENHECK SP-110-VG	70	0.375	8	-	115/1	0.3	1-5
EF-3	GREENHECK SP-110-VG	70	0.375	8	-	115/1	0.3	1-5
EF-4	GREENHECK SP-A250	200	0.375	83	-	115/1	3.5	1-4,6
EF-5	GREENHECK CUE-060-VG	80	0.375	-	1/15	115/1	4.5	1,2,7
EF-6	GREENHECK CUE-130-VG	1200	0.375	-	1/4	115/1	10.6	1,2,8
NOTES:	1. PROVIDE WITH FACTORY INSTALLED BACKDRAFT DAMPER AND BIRDSCREEN. 2. PROVIDE WITH STANDARD PREWIRED DISCONNECT. 3. ENERGY STAR RATED IF AVAILABLE. 4. PROVIDE WITH HOODED WALL CAP OR ROOF CAP. ARCHITECT TO SELECT COLOR. 5. FAN SHALL BE ENERGIZED VIA THE LIGHT SWITCH IN THEIR RESPECTIVE ROOM. 6. FAN SHALL BE ENERGIZED VIA A WALL SWITCH IN THEIR RESPECTIVE ROOM. 7. FAN SHALL RUN CONTINUOUSLY. 8. FAN SHALL BE ENERGIZED VIA GAS DETECTION SYSTEM. INTERLOCK WITH LOUVER MOTORIZED DAMPERS. PROVIDE WITH WALL SWITCH TO TURN ON AND OFF WHEN NOT BEING CONTROLLED BY GAS DETECTION SYSTEM.							

LOUVER SCHEDULE							
UNIT NO	MANUFACTURER'S DESIGNATION	FUNCTION	SIZE W" X H"	CFM	S.P. (IN. W.G)	FREE AREA VELOCITY (FPM)	REMARKS
L-1	GREENHECK ESD-403	FURNACE F-1 OA	12 x 12	180	0.06	594	1-5
L-2	GREENHECK ESD-403	FURNACE F-2,3 OA	12 x 20	410	0.08	665	1-5
L-3	GREENHECK EHH-601	EF-6 MAKE UP AIR	30 x 24	1250	0.08	607	1-4,6
NOTES: 1. PROVIDE WITH BIRD SCREEN. 2. ARCHITECT TO SELECT COLOR FROM MANUFACTURERS STANDARD COLOR SELECTIONS. 3. ALUMINUM CONSTRUCTION WITH BAKED ENAMEL FINISH. 4. COORDINATE FRAME TYPE WITH ARCHITECTURE DETAILS. 5. PROVIDE WITH LOW VOLTAGE MOTORIZED DAMPER. INTERLOCK WITH FURNACE FAN OPERATION. 6. PROVIDE WITH LOW VOLTAGE MOTORIZED DAMPER. INTERLOCK WITH FAN EF-5 OPERATION.							

ELECTRIC WATER HEATER SCHEDULE							
UNIT NO	MANUFACTURER'S DESIGNATION	STORAGE GALLONS	FUEL	WATTS	UEF	ELECTRICAL V/PH	NOTES
EWH-1	RUUD - PRO630 M2 RUB6	50	ELECTRIC	4500	0.93	208/1	1
NOTES: 1. PROVIDE AGA-RATED TEMPERATURE AND PRESSURE RELIEF VALVE.							

EXPANSION TANK SCHEDULE							
UNIT NO	MANUFACTURER'S DESIGNATION	SERVICE	GALLONS TOTAL	ACCEPT	LENGTH	DIAMETER	REMARKS
ET-1	THERM-X-TROL ST-5	HOT WATER DOMESTIC	2.0	0.9	13"	8"	1-2
NOTES: 1. INITIAL FACTORY PRECHARGED SETTING SHALL BE 50 PSI AND IS FIELD ADJUSTABLE. 2. PROVIDE AUTOMATIC AIRVENT							

PUMP SCHEDULE							
PUMP NO	DESCRIPTION	MANUFACTURER'S MODEL #	GPM	HEAD	HP	ELECTRICAL V/PH	REMARKS
HWCP-1	DOM HOT WATER	GRUNDFOS UP15-18BUC7	4	12	1/25	115/1	1,2,3
NOTES: 1. PROVIDE PREMIUM EFFICIENT MOTOR IF AVAILABLE. 2. PROVIDE HOUSING AND IMPELLER AS BRONZE OR STAINLESS STEEL. 3. PROVIDE WITH COMBINATION AUTOMATIC (PROGRAMMABLE) TIMER KIT AND AQUASTAT.							

FURNACE SCHEDULE															
UNIT NO	MANUFACTURER'S DESIGNATION	MIN				MBH		AFUE	FAN HP	ELECTRICAL				CONFIGURATION	NOTES
		CFM	CFM OA	E.S.P.	FUEL	IN	OUT			V	PH	MCA	MOCP		
F-1	CARRIER 59MN7B060V21-20	1200	180	1.0	NG	60.6	60	+98%	1	115	1	18.4	20	UPFLOW	1-7
F-2	CARRIER 59MN7B100V21-22	1600	250	1.0	NG	100	98	+98%	1	115	1	18.4	20	UPFLOW	1-7
F-3	CARRIER 59MN7B060V17-14	800	160	0.5	NG	60	59	+97%	1/2	115	1	12	15	UPFLOW	1-7
NOTES: 1. PROVIDE MANUFACTURERS RECOMMENDED INTAKE AND VENT FOR DIRECT VENT (2-PIPE SINGLE EXIT) SIDE WALL PENETRATION. 2. PIPE FURNACE CONDENSATE TO NEAREST FLOOR DRAIN. 3. PROVIDE MATCHING CONDENSING UNIT, SEE CONDENSING UNIT SCHEDULE. 4. PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT. 5. PROVIDE UNIT MOUNTED DISCONNECT. 6. PROVIDE MERV 8 FILTER WITH ANGLE FRAME IN RETURN AIR DUCTWORK. 7. ELECTRONICALLY CONTROLLED MOTOR FOR VARIABLE SUPPLY FAN OPERATION.															

AIR COOLED CONDENSING UNIT SCHEDULE												
UNIT NO	MANUFACTURER'S DESIGNATION	SERVES	REQUIRED CAPACITY MBH	AMBIENT TEMP.	COIL EAT DB/WB	REF TYPE	SEER	ELECTRICAL				NOTES
								V	PH	MCA	MAX FUSE	
ACCU-1	CARRIER 24VNA936	F-1	36.0	95	80/67	R-410A	18	208	1	24.2	40	1 - 7
ACCU-2	CARRIER 24VNA948	F-2	48.0	95	80/67	R-410A	19	208	1	31.4	50	1 - 7
ACCU-3	CARRIER 24VNA924B	F-3	24.0	95	80/67	R-410A	18	208	1	13.5	20	1 - 7
NOTES: 1. VARIABLE SPEED COMPRESSOR, 5 STAGES, 25-100% CAPACITY RANGE. 2. OUTDOOR THERMOSTAT TO SHUT UNIT OFF AT TEMPERATURES BELOW 50 DEG. F. 3. PROVIDE 5YR COMPRESSOR WARRANTY, PROVIDE HAIL GUARD 4. ALL CAPACITIES ARE BASED ON INDOOR AND OUTDOOR UNITS AT ARI STANDARD 210/240-94 CONDITIONS (80 F DB, 67 F WB EVAPORATOR EAT). 5. PROVIDE ALL UNITS WITH FILTER-DRYER, CRANKCASE HEATER, LOW PRESSURE SWITCH, TIME-DELAY, RELAY AND CYCLE PROTECTOR. 6. PROVIDE WITH INDOOR COOLING COIL AND HOUSEKEEPING PAD FOR EXTERIOR MOUNTING. 7. PROVIDE PKICAC INFINITY TOUCH CONTROL												

REGISTER GRILLES AND DIFFUSER SCHEDULE								
UNIT NO	MANUFACTURER'S DESIGNATION	NOMINAL SIZE	THROAT SIZE	MAX CFM	THROW	T.P.D. (IN.)	NC	REMARKS
S-1	TITUS - OMNI	24" x 24"	6"	175	3-4-8	0.06	17	1,2,3
S-2	TITUS - OMNI	24" x 24"	8"	250	3-5-10	0.06	12	1,2,3
S-3	TITUS - OMNI	24" x 24"	10"	430	5-8-14	0.11	20	1,2,3
S-4	TITUS - 300RS	8" X 8"	6" x 6"	150	13-16-23	0.12	24	1,2,3,4,5
S-5	TITUS - 300RS	14" x 10"	12" x 8"	400	20-26-37	0.09	25	1,2,3,4,5
R-1	TITUS - 350RL	26" x 14"	24" x 12"	1350	-	0.11	30	1,2
R-2	TITUS - 50F	24" x 24"	22" x 22"	2200	-	0.10	20	1,6
R-3	TITUS - 350RL	14" x 14"	12" x 12"	700	-	0.13	30	1,2
R-4	TITUS - CT-PP-0	4" x 1 FOOT	4" x 1 FOOT	135	-	0.07	23	1,2
T-1	TITUS - 50F	24" x 24"	22" x 22"	2200	-	0.10	20	1,6
NOTES: 1. COORDINATE FRAME STYLE WITH CEILING, WALL, SILL AND/OR DUCT. 2. NECK OR THROAT SIZE TO MATCH DUCT SIZE UNLESS NOTED OTHERWISE. 3. TRANSITION DUCT AS REQUIRED TO THROAT SIZE OF GRILLE OR REGISTER. 4. THROW AND TOTAL PRESSURE DROP NUMBERS ARE AT 0° DEFLECTION. 5. PROVIDE WITH O.B.D. 6. PROVIDE OR BUILD A SHEETMETAL BACK PAN FOR EXHAUST OR RETURN DUCT CONNECTION.								

RADIANT HEATER SCHEDULE								
UNIT NO	MANUFACTURER'S DESIGNATION	FUEL	INPUT MBH	CONFIG	LENGTH	ELECTRICAL: VOLT / IGNITION-AMPS	MOUNTING ANGLE	NOTES
RH-1	RE-VERBER-RAY HL3-40-65	NATURAL GAS	65 /50	STRAIGHT	41" - 1"	120 / 4.8	0 DEG.	1,2,3
RH-2	RE-VERBER-RAY HL3-40-65	NATURAL GAS	65 /50	STRAIGHT	41" - 1"	120 / 4.8	0 DEG.	1,2,3
RH-3	RE-VERBER-RAY HL3-30-65	NATURAL GAS	65 /50	STRAIGHT	31" - 5"	120 / 4.8	0 DEG.	1,2,3
NOTES: 1. INSTALL PER MANUFACTURERS INSTRUCTIONS. MAINTAIN PROPER CLEARANCES TO COMBUSTIBLES. MOUNT AS CLOSE TO CEILING AS ALLOWED.								
2. PROVIDE WITH TWO-STAGE BURNER, OUTSIDE AIR WALL CAP, EXHAUST AIR ROOF CAP, AND 24V THERMOSTAT.								
3. MBH INPUT VALUES ARE HIGH FIRE/LOW FIRE.								

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WPE# BJ2101

Project Status: 05-30-22		REVISION	DATE:
NUMBER:			

MGA

PLAINS

MARTIN GARDNER ARCHITECTURE

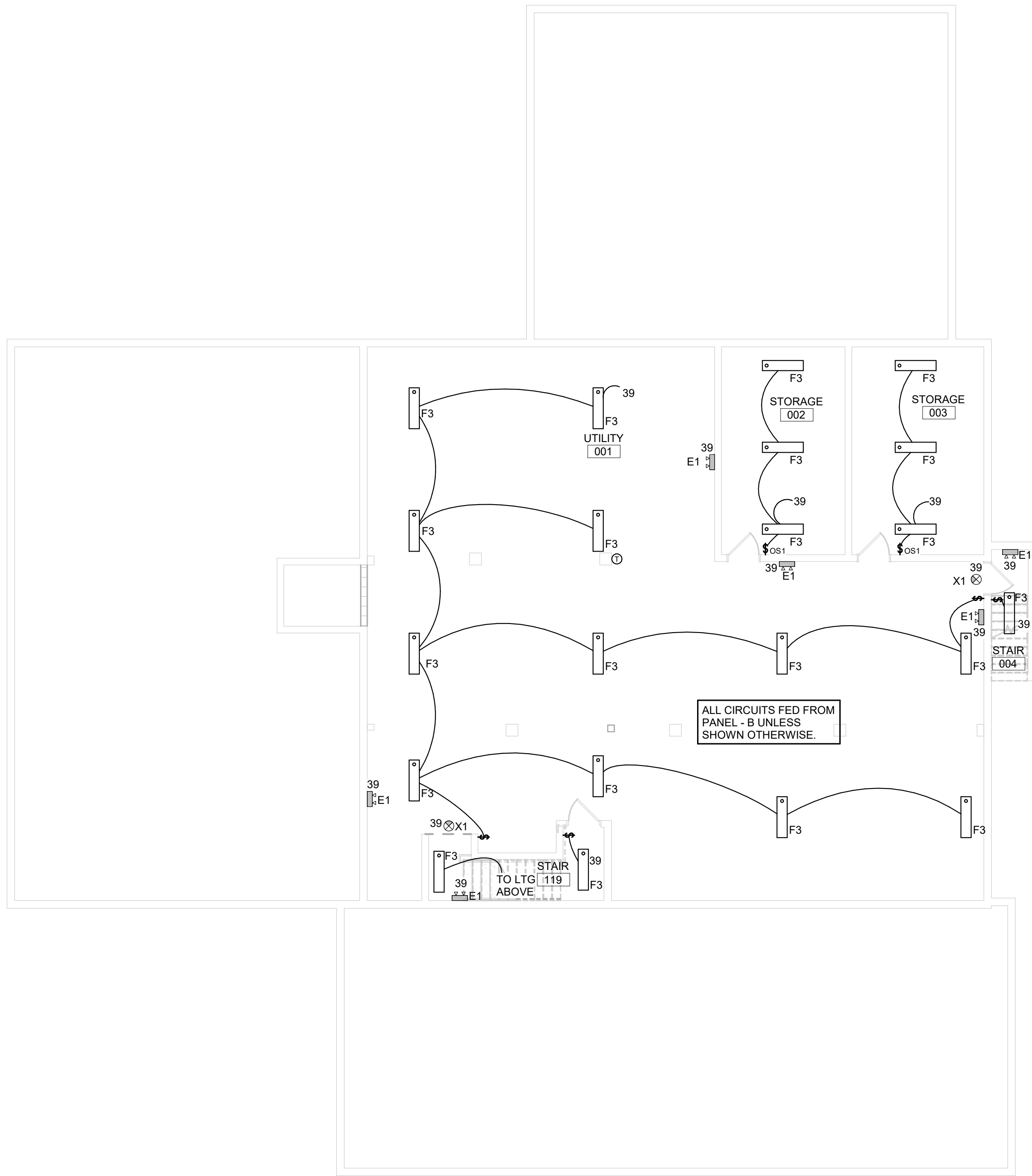
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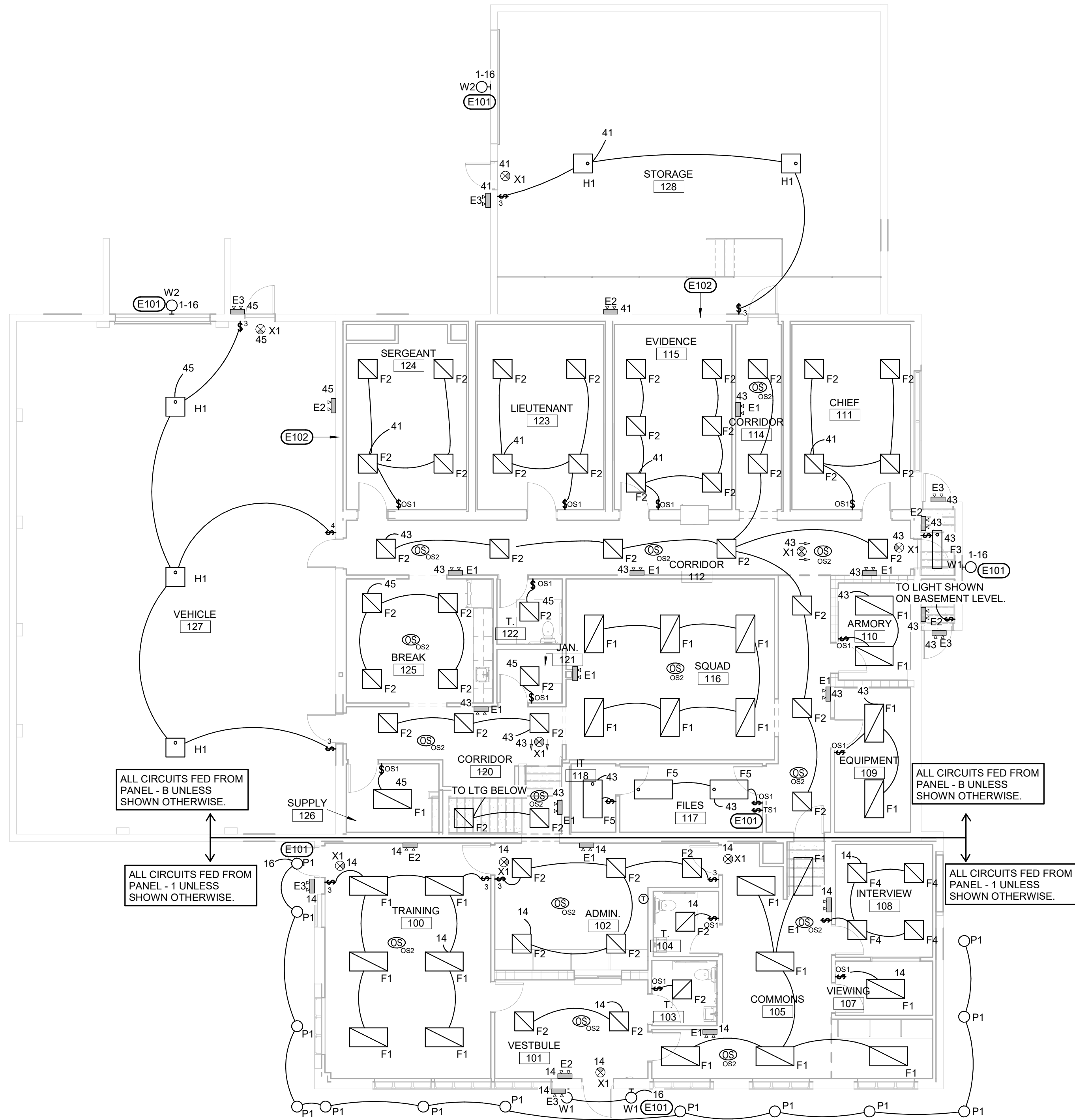
WWW.MARTINGARDNERARCH.COM

11502 390TH ST
STRAWBERRY
POINT, IOWA
52076
(563) 933-4712

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① Basement - LIGHTING
1/8" = 1'-0"



② Main Floor - LIGHTING
1/8" = 1'-0"

#	ELECTRICAL SPECIFIC NOTES
E101	EXTERIOR LIGHTING SHALL BE CONTROLLED THROUGH ASTRONOMICAL TIME SWITCH TS1 IN FILES 117.
E102	2 HOUR RATED FIRE WALL. ALL PENETRATIONS THROUGH WALL SHALL MEET REQUIREMENTS TO KEEP WALL 2 HOUR RATED.

PROFESSIONAL ENGINEER

JEFFREY R. REINHART

13499

IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Jeffrey R. Reinhart

Iowa Registration Number: 13499

My license renewal date is December 31, 2023.

Pages or sheets covered by this seal:

E101, E201, E301, E401

LIGHTING/SWITCHING KEY
X# = LIGHT FIXTURE TYPE PER LIGHT FIXTURE SCHEDULE
EM = EMERGENCY LIGHT FIXTURE
N# = NIGHT LIGHT FIXTURE
= PANEL CIRCUIT NUMBER
H# = HEIGHT TO CENTER OF FIXTURE OR SWITCH ABOVE FINISHED FLOOR (48" FOR SWITCHES IF NOT SHOWN)
X = SWITCHING SCHEME

WPE

WEST PLAINS ENGINEERING, INC.

215 2ND AVENUE SE, SUITE 200 • CEDAR RAPIDS, IA 52401

PHONE: (319) 365-0030 • FAX: (319) 365-4122

WWW.WESTPLAINSENGINEERING.COM

RAPID CITY, SD • SIOUX FALLS, SD • CAAPER, WI • CEDAR RAPIDS, IA • BEAUMONT, TX

Project Status: 05-20-22	REVISION	DATE:
	NUMBER:	

CITY OF ANAMOSA
Anamosa Police Department Renovation



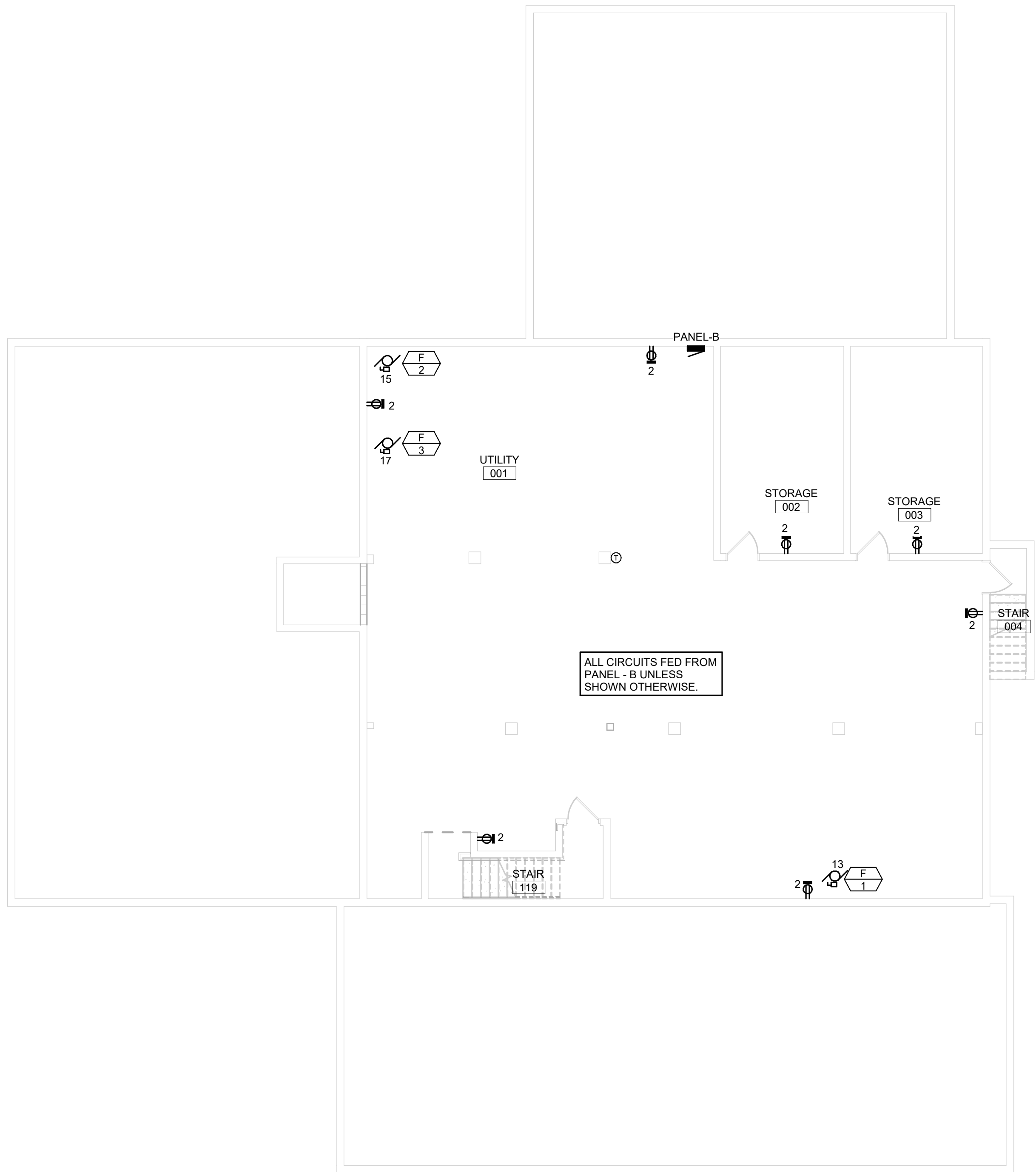
700 11TH ST
SUITE 200
MARION, IOWA
52302
(319) 377-7604

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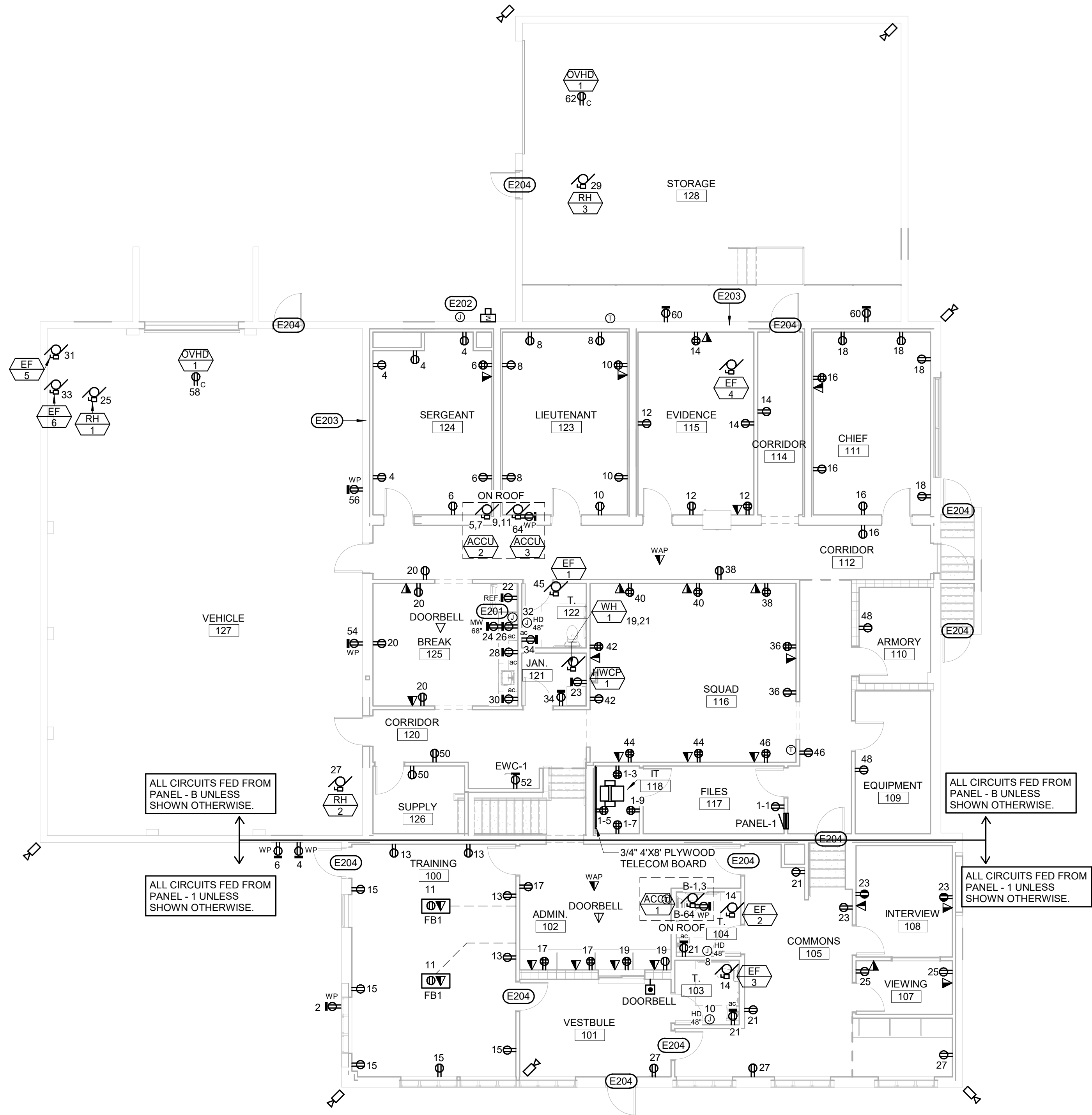
E101

BI21019

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① Basement - POWER AND COMMUNICATIONS
1/8" = 1'-0"



② Main Floor - POWER AND COMMUNICATIONS
1/8" = 1'-0"

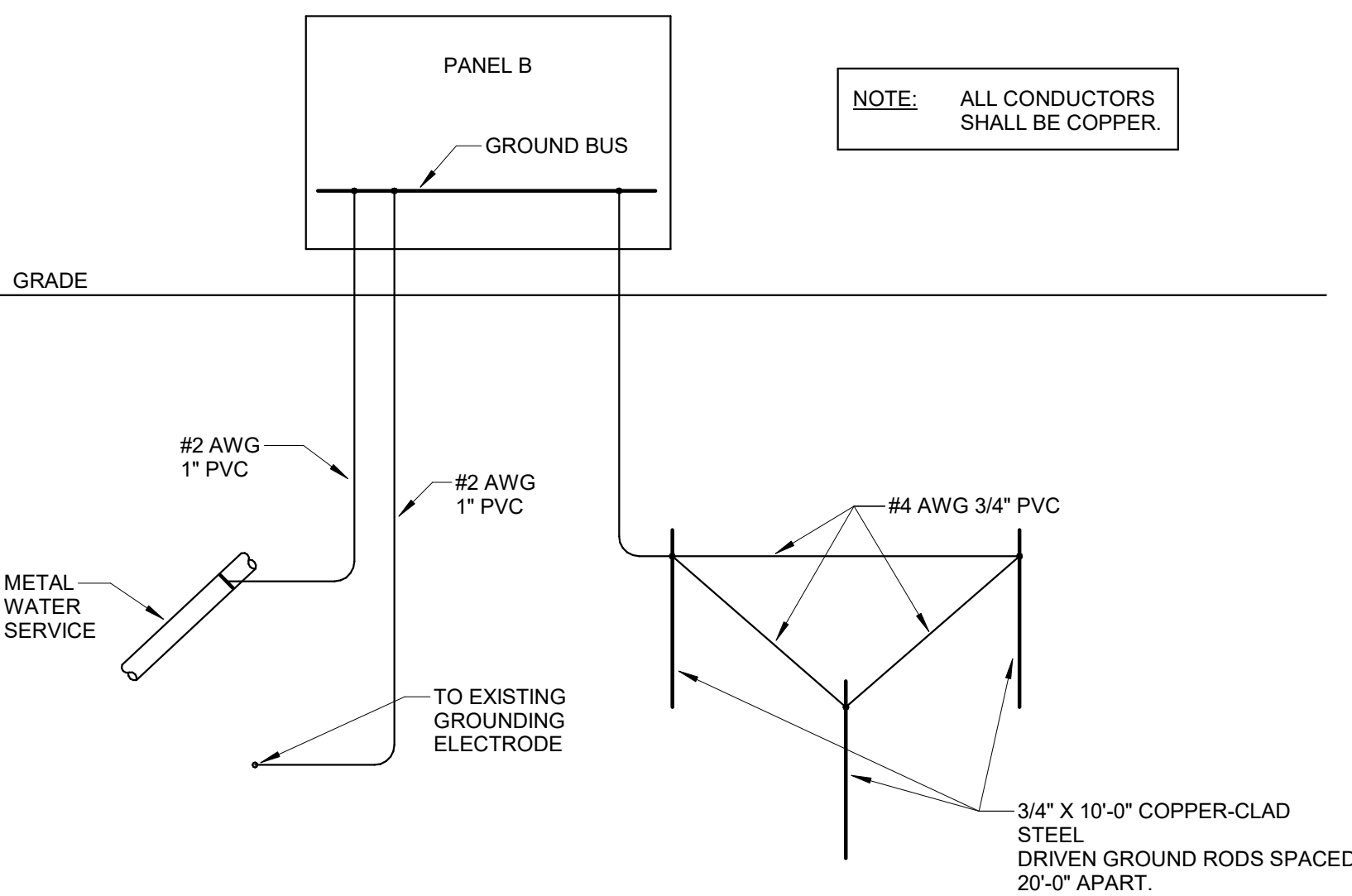
COMMUNICATIONS KEY	
	#V = QUANTITY OF VOICE JACKS/CABLES (ONE IF NOT SHOWN)
	#D = QUANTITY OF DATA JACKS/CABLES (ONE IF NOT SHOWN)
	RI = ROUGH-IN ONLY (NO CABLES/JACKS)
	## = HEIGHT TO CENTER OF OUTLET (18" UNLESS NOTED OTHERWISE)
	TV = TELEVISION OUTLET WITH ONE CABLE/JACK

RECEPTACLE/OUTLET KEY	
	# = PANEL CIRCUIT NUMBER
	## = HEIGHT TO CENTER OF RECEPTACLE OR OTHER OUTLET ABOVE FINISHED FLOOR (18" IF NOT SHOWN)
	RC = RECEPTACLE OR OTHER OUTLET MOUNTED 6" ABOVE COUNTER OR 4" ABOVE BACKSPLASH

WPE WEST PLAINS ENGINEERING, INC.
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WPE# B121019

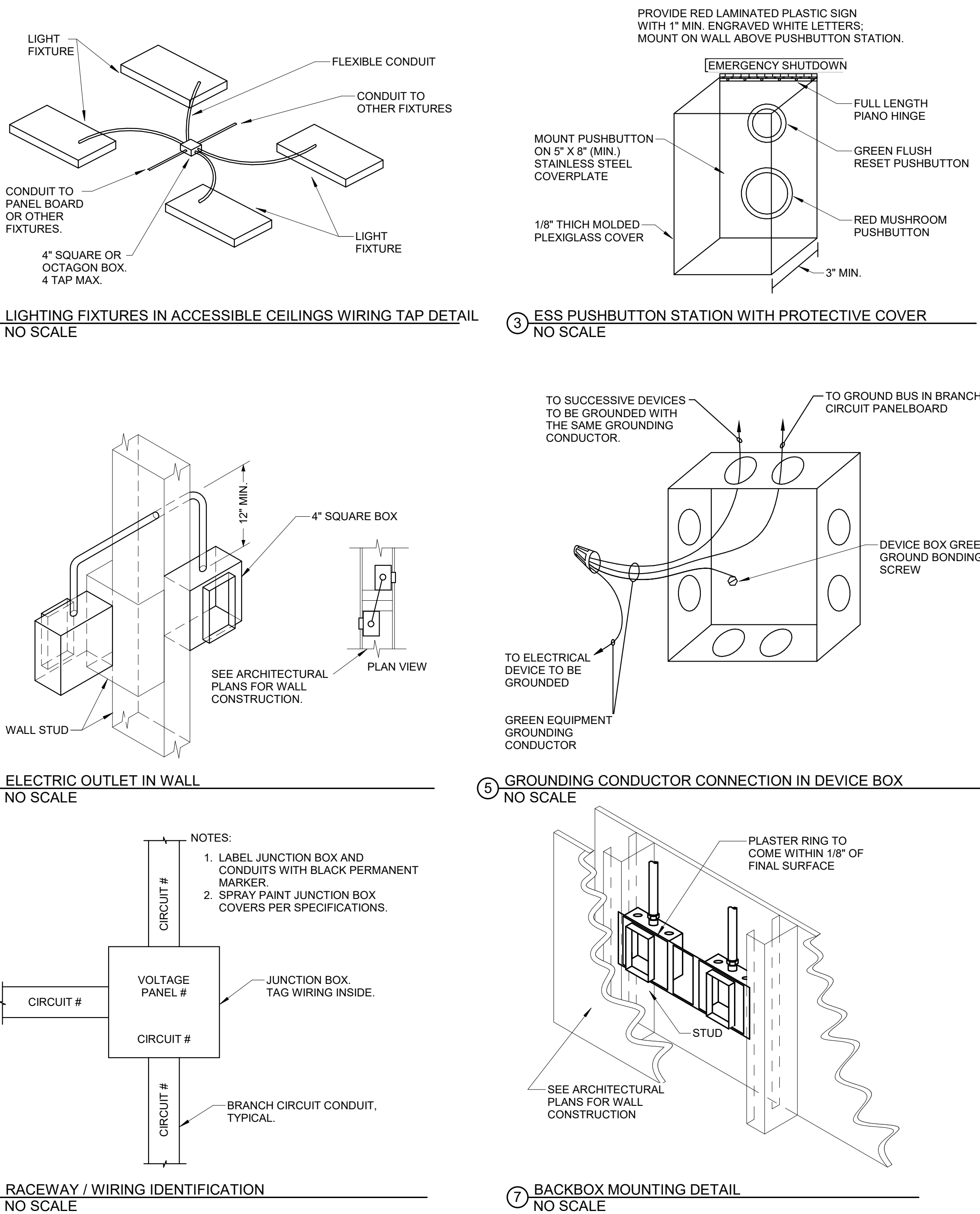
- # ELECTRICAL SPECIFIC NOTES
- E201 PROVIDE TWO GFCI DEADFRONT AT JUNCTION BOX SHOWN FOR RESET AND TEST SWITCHES OF REFRIGERATOR RECEPTACLE AND MICROWAVE RECEPTACLE.
- E202 PROVIDE NEW WEATHERHEAD ON ROOF FOR NEW TELECOMMUNICATION LINE. PROVIDE 2" VERTICAL CONDUIT RISER FROM NEW TELECOM WEATHERHEAD TO 48" ABOVE FINISHED GRADE ON THE EXISTING BUILDING. ELBOW INTO THE NEW MECHANICAL CHASE AND HAVE A NEW 2" VERTICAL TO ABOVE CEILING. PROVIDE J-HOOKS AND PENETRATIONS FOR PATHWAY FROM SERGEANT 124 TO IT 118.
- E203 2 HOUR RATED FIRE WALL. ALL PENETRATIONS THROUGH WALL SHALL MEET REQUIREMENTS TO KEEP WALL 2 HOUR RATED.
- E204 1" CONDUIT VERTICAL SHALL GO FROM TOP OF HINGE SIDE FRAME OF DOOR UP TO ACCESSIBLE CEILING. CONDUIT IS FOR SECURITY ROUGH-IN. COORDINATE WITH SECURITY CONTRACTOR.

ELECTRICAL SYMBOLS		
THESE SYMBOLS COMPRISE A STANDARD LIST. NOT ALL SYMBOLS MAY APPEAR ON THIS PROJECT. ALL MOUNTING HEIGHTS ARE TO CENTER OF DEVICE ABOVE FINISHED FLOOR. MOUNTING HEIGHTS INDICATED ON ARCH. WALL ELEVATIONS OR AS NOTED SPECIFICALLY ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER MOUNTING HEIGHTS LISTED BELOW.		
LIGHTING		
CEILING SURFACE MOUNT FIXTURE. (Circle letter indicates fixture type. Small letter indicates switching. Typical for all fixture types) EMERGENCY CEILING SURFACE MOUNT FIXTURE	RECESSED FIXTURE EMERGENCY RECESSED FIXTURE	OS OCCUPANCY SENSOR
WALL FIXTURE EMERGENCY WALL FIXTURE	WALL FIXTURE FLOOD LIGHT TRACK LIGHT	2 SINGLE POLE SWITCH (40" M.H.) 3 DOUBLE POLE SWITCH (40" M.H.) 4 THREE-WAY SWITCH (40" M.H.) 5 FOUR-WAY SWITCH (40" M.H.) 6 SWITCH WITH PILOT (40" M.H.) 7 KEY OPERATED SWITCH (40" M.H.) 8 MOMENTARY CONTACT SWITCH (60" M.H.) 9 DIMMER SWITCH (40" M.H.) 10 TIMER SWITCH (60" M.H.) 11 VARIABLE SPEED SWITCH 12 FUSED SWITCH
RECESSED FIXTURE EMERGENCY RECESSED FIXTURE	PC PHOTO ELECTRIC CELL LC LIGHTING CONTACTOR (54" M.H.) TC TIME CLOCK (60" M.H.) EC EMERGENCY LIGHTING W/BATTERY PACK CEILING EXT. LIGHT (FACE(S) SHADED, ARROW INDICATES CHEVRON) WALL EXT. LIGHT (FACE(S) SHADED, ARROW INDICATES CHEVRON)	
EXTERIOR POLE LIGHT BOLLARD LIGHT		
SURFACE MOUNT FIXTURE EMERGENCY SURFACE MOUNT FIXTURE		
POWER		
PUSH BUTTON STATION (62" M.H.) DOUBLE PUSH BUTTON STATION EMERGENCY SHUTDOWN PUSHBUTTON ISOLATED GROUND RECEPTACLE (18" M.H.) DUPLEX CONVENIENCE RECEPTACLE (18" M.H.) SINGLE RECEPTACLE (18" M.H.) DOUBLE DUPLEX CONVENIENCE RECEPTACLE (18" M.H.) DOUBLE DUPLEX CONVENIENCE RECEPTACLE (18" M.H.) SPLIT WIRED DUPLEX RECEPTACLE (18" M.H.) SAFETY CONVENIENCE RECEPTACLE POWER RECEPTACLE EMERGENCY DUPLEX RECEPTACLE TWIST LOCK RECEPTACLE GFI DUPLEX CONVENIENCE RECEPTACLE GFI DOUBLE DUPLEX CONVENIENCE RECEPTACLE SPECIAL PURPOSE OUTLET OR CONNECTION CORD/PLUG CORD REEL CEILING DUPLEX RECEPTACLE FLUSH FLOOR DUPLEX RECEPTACLE FLUSH FLOOR DOUBLE DUPLEX RECEPTACLE FLUSH FLOOR MULTI-SERVICE OUTLET (WITH DEVICES INDICATED) MULTI-SERVICE POLE (WITH DEVICES INDICATED)	BLANK OUTLET JUNCTION BOX PULL BOX MOTOR DISCONNECT SWITCH GENERATOR ANNUNCIATOR PANEL AUTOMATIC TRANSFER SWITCH VARIABLE FREQUENCY DRIVE COMBINATION VARIABLE FREQUENCY DRIVE DISCONNECT MAGNETIC STARTER COMBINATION STARTER/DISCONNECT MOTOR THERMAL SWITCH TRANSFORMER ELECTRIC METER SWITCHBOARD/DISTRIBUTION PANEL SECTION PANELBOARD OR LOAD CENTER PANELBOARD OR LOAD CENTER (EXISTING TO REMAIN) TRANSIENT VOLTAGE SURGE SUPPRESSOR CIRCUIT BREAKER FUSE HUMIDISTAT THERMOSTAT	REMOTE HVAC SENSOR RADIANT HEAT PANEL BASEBOARD OR COVE ELEC. HEAT ELECTRIC UNIT HEATER ELECTRIC CABINET UNIT HEATER BUS DUCT SURFACE MOUNT RACEWAY CEILING PAD FAN TYPE OF EQUIPMENT, SEE SCHEDULES EQUIPMENT NUMBER ROOFTOP EQUIPMENT/CIRCUITING EXISTING EQUIPMENT/CIRCUITING GROUND CONDUIT IN FLOOR OR UNDERGROUND CONDUIT IN WALL OR CEILING SPACE, CROSS MARKS INDICATE NUMBER OF WIRES, NO MARKS INDICATE TWO WIRES. ARROWS INDICATE HOME RUNS TO PANEL. NUMBERS INDICATE PANEL AND CIRCUIT IN PANEL. PNL-1, 2, 3 SWITCH/LEG TRAVELER HOT NEUTRAL WIRE INDICATES SEPARATE GROUND WIRE TO BE INSTALLED IN RACEWAY
TELECOM		
SPECIAL EQUIPMENT CABINET-AS NOTED TERMINATION BOARD - AS NOTED CABLE TRAY	INTERCOM TELEPHONE/VOICE OUTLET (18" M.H.) WALL PHONE (40" M.H.) DATA OUTLET (18" M.H.)	CEILING MOUNT DATA OUTLET COMBINATION VOICEDATA OUTLET (18" M.H.) TELEVISION OUTLET (18" M.H.) CEILING MOUNT TELEVISION OUTLET
SOUND AND SECURITY		
FLUSH SPEAKER SURFACE SPEAKER PAGING HORN VOLUME CONTROL (40" M.H.) MICROPHONE OUTLET (18" M.H.) AUXILIARY OUTLET AMPLIFIER SURVEILLANCE VIDEO CAMERA CEILING MOUNTED SURVEILLANCE VIDEO CAMERA	SURVEILLANCE VIDEO CAMERA - PAN/TILT/ZOOM SURVEILLANCE VIDEO MONITOR SURVEILLANCE VIDEO RECORDER SURVEILLANCE VIDEO SWITCHER ALARM CONTROL PANEL BURGLAR ALARM ANNUNCIATOR ANTENNA (AS NOTED) ALARM PANIC SWITCH	ALARM DOOR SWITCH DOOR RELEASE MECHANISM ALARM MOTION DETECTOR ALARM SHUNT PAD ALARM KEYPAD CARD ACCESS SECURITY INTERCOM (54" M.H.) REQUEST EXIT PUSH BUTTON



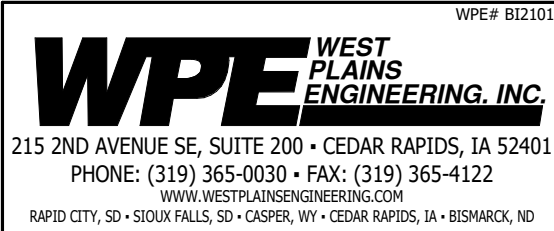
2 GROUNDING ELECTRODE DIAGRAM
NO SCALE

ELECTRICAL ABBREVIATIONS		
A STANDARD LIST. NOT ALL WORDS APPEAR IN THESE DRAWINGS. SEE SPECIFICATION SECTION "EQUIPMENT WIRING" FOR ADDITIONAL INFORMATION AND REQUIREMENTS.		
A or AMP A/C or A/E AC ADA AFF AFS AFI or AFCI AHJ AIC AL ANN AS AWG bc bc BH BL BRD or BD BUP C or COND C/B or CB C/B or CB CCT or CKT CM CO COB CONF CP C/C or CU CU DC DC DP DISC DISP DL DN or DWN DW DWG EC EF EH ELEC EHD EM or EMERG EMT END EW EXP F or FUS FA FAAP FACP FBD FL, FLU or FLUOR FLA FVR FVR GC GD GEN GFI or GFCI GRD GRD or GRND H & AC H & V HA HD HI HP HPS HTR HVAC HZ IC IR IMC INC ISO J, JB or J-BOX K KV KVA KVAR KW KWH	AIR CONDITIONING ARCHITECT & ENGINEER ARCHITECT ALTERNATING CURRENT AMERICANS WITH DISABILITIES ACT ABOVE FINISH FLOOR ARC FAULT CIRCUT INTERRUPTER AUTHORITY HAVING JURISDICTION AIR HANDLING UNIT AMPERES INTERRUPTING CURRENT ALUMINUM ANNUNCIATOR AUTOMATIC SENSORS AMERICAN WIRE GAUGE BELOW COUNTER BELOW COUNTER BASKETBALL HOOP OPER. BLEACHER ELECTRIC OPERATOR BOARD BLAST UNIT HEATER CONDUIT CIRCUIT BREAKER CATEGORY CIRCUIT CARBON MONOXIDE SENSOR CARBON MONOXIDE COMBINATION CONFERENCE CEILING PROJECTOR CABLE TERMINATION CABINET C/C or CU CONDENSING UNIT CABINET UNIT HEATER DIRECT CURRENT DISTRIBUTION CABINET DISTRIBUTION PANEL PR or pr DISC DISP DL DN or DWN DW DWG ELECTRICAL CONTRACTOR ELECTRICAL CABINET EXHAUST FAN ELECTRICAL HEAT ELECTRIC OR ELECTRICAL ELECTRIC HAND DRYER EMERGENCY ELECTRICAL METALLIC TUBING ELECTRIC NON-METALLIC TUBING ELECTRIC UNIT HEATER ELECTRIC WATER COOLER EXISTING EXPLOSION PROOF FUSE OR FUSIBLE FIRE ALARM FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL FURNISHED BY OTHERS FLUORESCENT FULL LOAD AMPERES FULL VOLTAGE, NON-REVERSING FULL VOLTAGE, REVERSING GENERAL CONTRACTOR GARBAGE DISPOSAL GENERATOR GROUND FAULT CIRCUIT INTERRUPTER GALVANIZED RIGID CONDUIT GROUND HEATING & AIR CONDITIONING HEATING & VENTILATING HANDICAP ACCESS DOOR HAND DRYER HIGH INTENSITY DISCHARGE HORSE POWER HIGH PRESSURE SODIUM HEATING HEATER HEATING, VENTILATION & AIR CONDITIONING HERTZ (CYCLES/SEC) INTERRUPTING CURRENT ISOLATED GROUND RECEPTACLE INSULATED METAL CONDUIT INCANDESCENT ISOLATED OR ISOLATION JUNCTION BOX THOUSAND CIRCULAR MILS KILOVOLT KILOVOLT - AMPERE KILOVOLT - AMPERE REACTIVE KILOWATT KILOWATT - HOUR	LA LT LTO LTS MCB MCC MCM MDP MECH MFS MH MLO MSB MTD MTS MV MW Na or NA NC NEC NEMA NEU, NEUT or N NF NL NO OFF, OF, or OFC OH OHD P PA PB PH PLBG PNL PAR PRV PS PTZ PVC PWR RCP REC or RECEPT REF or REFRIG RH RH RLY RM RMS SCC SD SFR SFTY SHLD SIG SMR SN SP SPEC SPKR SPR SW SWBD TC TC TCC TEL TL TR, TRANS or TRFM TTB TV TVSS TYP UG UH UV V V W W/ W/O WP WTR or H2O WS XFMR Y φ Δ



GENERAL ELECTRICAL NOTES:

- COORDINATE DEVICE LOCATIONS/HEIGHTS WITH ARCHITECTURAL ELEVATIONS/DETAILS PRIOR TO ROUGH-IN.
- COORDINATE WORK WITH THE HVAC CONTRACTOR, AND ANY OTHER ASSOCIATED CONTRACTORS. VERIFY ALL EQUIPMENT LOADS PRIOR TO INSTALLATION OF WIRING AND DEVICES.
- ALL COMMUNICATION CABBING AND DEVICES ARE BY THE ELECTRICAL CONTRACTOR.
- BELOW IS A LIST OF SOME COMMON REQUIREMENTS OUTLINED IN THE SPECIFICATION. REFER TO THE SPECIFICATION FOR MORE DETAILED INFORMATION FOR THESE AND ALL OTHER ITEMS.
 - CONDUIT PENETRATIONS THROUGH WALLS SHALL BE SEALED.
 - EMT FITTINGS SHALL BE SET SCREW TYPE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
 - BOXES FLUSH IN COMMON WALL SHALL NOT BE BACK-TO-BACK OR THROUGH-WALL TYPE.
 - RECEPTACLES AND SWITCHES SHALL BE 20 AMP COMMERCIAL GRADE.
 - CONDUITS, JUNCTION BOXES, WIRING, AND EQUIPMENT SHALL BE LABELED PER NEC.
 - PROVIDE A GREEN GROUND CONDUCTOR THROUGHOUT ALL NEW ELECTRICAL WORK. PROVIDE SEPARATE NEUTRAL FOR EACH ELECTRICAL PHASE.
 - EXIT SIGNS AND EMERGENCY FIXTURES SHALL BE CONNECTED TO UNSWITCHED PORTION OF LIGHTING CIRCUIT.
- ALL SECURITY CABBING AND DEVICES SHALL BE ROUGH-IN ONLY.



SYMBOLS, ABB'S, & DETAILS

CITY OF ANAMOSA

Anamosa Police Department Renovation



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SUITE 200
MARION, IOWA
52302
(319) 377-7604

11502 390TH ST
STRAWBERRY
POINT, IOWA
52076
(563) 933-4712

E301

B121019

PANEL B		VOLTS		120/ 208		PHASE		1		WIRE		3		MAIN CAP.		300		AMPERES	
		AIC RATING		22,000		SERVICE RATED, GROUND BAR, TYPE WRITTEN PANEL DIRECTORY													
		MOUNTING		SURFACE		FEEDER SIZE		SEE RISER										MAIN CONNECTION		300A 22KALC MCB
CCT NO	ITEM FED	LOAD WATTS	WIRE SIZE	CIRCUIT BREAKER			NEUTRAL	CIRCUIT BREAKER			WIRE SIZE	LOAD WATTS	ITEM FED		CCT NO				
				AMPS	POLES	FRAME		FRAME	POLES	AMPS									
1	AIR COOLED CONDENSING UNIT ACCU-1	2,517	8	40	2	100A	L1	100A	1	20	12	1,260	BASMENT RECEPT.	2					
3		2,517	8				L2	100A	1	20	12	720	RECEPT. 124	4					
5	AIR COOLED CONDENSING UNIT ACCU-2	3,266	8	50	2	100A	L1	100A	1	20	12	720	RECEPT. 124	6					
7		3,266	8				L2	100A	1	20	12	720	RECEPT. 123	8					
9	AIR COOLED CONDENSING UNIT ACCU-3	1,404	10	20	2	100A	L1	100A	1	20	12	720	RECEPT. 123	10					
11		1,404	10				L2	100A	1	20	12	720	RECEPT. 115	12					
13	FURNACE F-1	2,208	12	20	1	100A	L1	100A	1	20	12	720	RECEPT. 115	14					
15	FURNACE F-2	2,208	12	20	1	100A	L2	100A	1	20	12	900	RECEPT. 111	16					
17	FURNACE F-3	2,208	12	20	1	100A	L1	100A	1	20	12	720	RECEPT. 111	18					
19	WATER HEATER WH-1	2,250	10	30	2	100A	L2	100A	1	20	12	720	RECEPT. 125	20					
21		2,250	10				L1	100A	1	20	12	700	REFRIGERATOR	22					
23	DOM HOT WATER HMCR-1	200	12	20	1	100A	L2	100A	1	20	12	1,200	MICROWAVE	24					
25	RADIANT HEATER RH-1	720	12	20	1	100A	L1	100A	1	20	12	180	RECEPT. 125 COUNTER	26					
27	RADIANT HEATER RH-2	720	12	20	1	100A	L2	100A	1	20	12	180	RECEPT. 125 COUNTER	28					
29	RADIANT HEATER RH-3	720	12	20	1	100A	L1	100A	1	20	12	180	RECEPT. 125 COUNTER	30					
31	EXHAUST FAN EF-5	200	12	20	1	100A	L2	100A	1	20	12	2,300	HAND DRYER	32					
33	EXHAUST FAN EF-6	876	12	20	1	100A	L1	100A	1	20	12	360	RECEPT. 121 & 122	34					
35	SPARE					100A	L2	100A	1	20	12	540	RECEPT. 116	36					
37	SPARE					100A	L1	100A	1	20	12	540	RECEPT. 116	38					
39	BASMENT LTG	717	12	20	1	100A	L2	100A	1	20	12	720	RECEPT. 116	40					
41	FIRST FLOOR LTG	814	12	20	1	100A	L1	100A	1	20	12	540	RECEPT. 116	42					
43	FIRST FLOOR LTG	989	12	20	1	100A	L2	100A	1	20	12	720	RECEPT. 116	44					
45	FIRST FLOOR LTG	568	12	20	1	100A	L1	100A	1	20	12	540	RECEPT. 116	46					
47	SPARE					100A	L2	100A	1	20	12	360	RECEPT. 109 & 110	48					
49	SPARE					100A	L1	100A	1	20	12	360	RECEPT. 126	50					
51	SPARE					100A	L2	100A	1	20	12	500	ELECTRIC WATER COOLER BWC-1	52					
53	SPARE					100A	L1	100A	1	20	12	180	RECEPT. 127	54					
55	SPARE					100A	L2	100A	1	20	12	180	RECEPT. 127	56					
57	SPARE					100A	L1	100A	1	20	12	200	OVHD-1 127	58					
59	SPACE						L2	100A	1	20	12	360	RECEPT. 128	60					
61	SPACE						L1	100A	1	20	12	200	OVHD-1 128	62					
63	SPACE						L2	100A	1	20	12	360	ROOF RECEPT.	64					
65	SPACE						L1	100A	1	20			SPARE	66					
67	SPACE						L2	100A	1	20			SPARE	68					
69	PANEL 1	6,749	SEE RISER	100	2	100A	L1	100A	1	20			SPARE	70					
71		6,175	SEE RISER				L2	100A	1	20			SPARE	72					

PANEL 1		VOLTS		120/ 208		PHASE		1		WIRE		3		MAIN CAP.		100		AMPERES	
		AIC RATING		22,000		GROUND BAR, TYPEWRITTEN PANEL DIRECTORY													
		MOUNTING		SURFACE		FEEDER SIZE		SEE RISER										MAIN CONNECTION		MLO
CCT NO	ITEM FED	LOAD WATTS	WIRE SIZE	CIRCUIT BREAKER		NEUTRAL		CIRCUIT BREAKER		WIRE SIZE	LOAD WATTS	ITEM FED		CCT NO					
				AMPS	POLES	FRAME		FRAME	POLES	AMPS									
1	RECEPT, 117	180	12	20	1	100A	L1	100A	1	20	10	180	EXTERNOR RECEPT.	2					
3	RECEPT, 118	360	12	20	1	100A	L2	100A	1	20	10	180	EXTERNOR RECEPT.	4					
5	RECEPT, 118	360	12	20	1	100A	L1	100A	1	20	10	180	EXTERNOR RECEPT.	6					
7	RECEPT, 118	360	12	20	1	100A	L2	100A	1	20	12	2,300	HAND DRYER 104	8					
9	RECEPT, 118	360	12	20	1	100A	L1	100A	1	20	12	2,300	HAND DRYER 103	10					
11	FLOOR RECEPT, 100	360	12	20	1	100A	L2	100A	1	20			SPARE	12					
13	RECEPT, 100	720	12	20	1	100A	L1	100A	1	20	12	1,029	FIRST FLOOR LTG & EF-2 & EF-3	14					
15	RECEPT, 100	720	12	20	1	100A	L2	100A	1	20	10	275	EXTERNOR LTG	16					
17	RECEPT, 102	900	12	20	1	100A	L1	100A	1	20			SPARE	18					
19	RECEPT, 102	540	12	20	1	100A	L2	100A	1	20			SPARE	20					
21	RECEPT, 103 & 104	720	12	20	1	100A	L1	100A	1	20			SPARE	22					
23	("GFCI BREAKER") RECEPT, 108	540	12	20	1	100A	L2						SPACE	24					
25	RECEPT, 107	360	12	20	1	100A	L1						SPACE	26					
27	RECEPT, 101 & 105	540	12	20	1	100A	L2						SPACE	28					
29	SPARE			20	1	100A	L1						SPACE	30					

EQUIPMENT CONNECTION SCHEDULE									
EQUIP NO.	EQUIPMENT DESCRIPTION	VOLTS/ PHASE	HP OR WATTS	FLA	MCA	OCBP SIZE	EQUIPMENT FEEDER	DISCONNECT AT EQUIP.	NOTES
ACCU-1	AIR COOLED CONDENSING UNIT	208/1	-	-	24.2	40A	2#8 CU, 1#10 CU GRND	60/2, NF, WP	
ACCU-2	AIR COOLED CONDENSING UNIT	208/1	-	-	31.4	50A	2#8 CU, 1#10 CU GRND	60/2, NF, WP	
ACCU-3	AIR COOLED CONDENSING UNIT	208/1	-	-	13.5	20A	2#10 CU, 1#10 CU GRND	30/2, NF, WP	
EF-1	EXHAUST FAN	120/1	8 W	-	-	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
EF-2	EXHAUST FAN	120/1	8 W	-	-	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
EF-3	EXHAUST FAN	120/1	8 W	-	-	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
EF-4	EXHAUST FAN	120/1	83 W	-	-	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
EF-5	EXHAUST FAN	120/1	1/15 HP	-	-	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
EF-6	EXHAUST FAN	120/1	1/4 HP	5.8	7.3	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	1
F-1	FURNACE	120/1	-	-	18.4	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	
F-2	FURNACE	120/1	-	-	18.4	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	
F-3	FURNACE	120/1	-	-	12.0	15A	2#12 CU, 1#12 CU GRND	1P SWITCH	
HMCR-1	DOM HOT WATER	120/1	1/25 HP	-	-	20A	2#12 CU, 1#12 CU GRND	NEMA 5-20R	
OVHD-1	OVERHEAD DOOR	120/1	-	-	-	20A	2#12 CU, 1#12 CU GRND	NEMA 5-20R	
RH-1	RADIANT HEATER	120/1	-	4.8	6.0	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	
RH-2	RADIANT HEATER	120/1	-	4.8	6.0	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	
RH-3	RADIANT HEATER	120/1	-	4.8	6.0	20A	2#12 CU, 1#12 CU GRND	1P SWITCH	
WH-1	ELECTRIC WATER HEATER	208/1	4500 W		21.6	30A	2#10 CU, 1#10 CU GRND	30/2, NF	
NF = NON-FUSED SSY = BUSSMAN FUSED SWITCH OCPD = OVERCURRENT PROTECTIVE DEVICE 4X = NEMA 4X TYPE FLA = FULL LOAD AMPS MCA = MINIMUM CIRCUIT AMPS 1P SWITCH = 1 POLE TOGGLE SWITCH FE = FURNISHED WITH EQUIPMENT									
GENERAL NOTES: A. VERIFY ALL BREAKERS, FEEDER, AND DISCONNECT SIZES WITH MECHNICAL EQUIPMENT. B. VERIFY EQUIPMENT CONNECTION AND LOCATION PRIOR TO INSTALLATION.									
NOTES: 1. CONTROL WITH LIGHTING IN THE AREA. 2. INSTALL DISCONNECT SWITCH ON GALVANIZED STEEL, UN-STRUT ADJACENT TO CONDENSING UNIT TO MAINTAIN WORKING CLEARANCE.									

LIGHTING FIXTURE SCHEDULE									
MARK	DESCRIPTION	MANUFACTURER AND SERIES	LAMPING		MOUNTING	VOLT.	WATT.	NOTES	
			QTY.	TYPE					
E1	EMERGENCY LIGHT LED, BATTERY BACK-UP, SELF-DIAGNOSTICS	SIGNIFY CLU2NW COOPER, HUBBELL, WILLIAMS	NA	INCLUDED	SURFACE	120	5	2	
E2	EMERGENCY LIGHT, REMOTE CAPABILITY LED, BATTERY BACK-UP, SELF-DIAGNOSTICS	SIGNIFY CLU2NA2R COOPER, HUBBELL, WILLIAMS	NA	INCLUDED	SURFACE	120	10	2	
E3	EMERGENCY LIGHT, WET LOCATION, REMOTE UNIT LED, BATTERY BACK-UP, SELF-DIAGNOSTICS	SIGNIFY CLR2WG COOPER, HUBBELL, WILLIAMS	NA	INCLUDED	SURFACE	120	50	2	
F1	2'X4' RECESSED TROFFER LED	SIGNIFY 2FPZ42B835-4-DS-UNV-DIM COOPER, HUBBELL, WILLIAMS	NA	3500K 4200 LUMENS	RECESSED	UNV.	40		
F2	2'X2' RECESSED TROFFER LED	SIGNIFY 2FPZ38B835-2-DS-UNV-DIM COOPER, HUBBELL, WILLIAMS	NA	3500K 3800 LUMENS	RECESSED	UNV.	33		
F3	4' STRIP LIGHT LED	SIGNIFY FSS440L840-UNV-DIM COOPER, HUBBELL, WILLIAMS	NA	3500K 4000 LUMENS	SURFACE	UNV.	31	3	
F4	2'X2' RECESSED TROFFER LED, SECURITY LENS	LA GSE120-3-2L-FSW-DR98-1DRDM-UNV-2-835 FAIL-SAFE, KENALL, PARAMOUNT	NA	3500K 3000 LUMENS	RECESSED	UNV.	24.3		
F5	2'X4' SURFACE TROFFER LED	SIGNIFY 2FPZ42B835-4-DS-UNV-DIM-FSK24 COOPER, HUBBELL, WILLIAMS	NA	3500K 4200 LUMENS	SURFACE	UNV.	40		
H1	2'X2' HIGH BAY LED, AIR CRAFT CABLE	SIGNIFY FBX16LL35-UNV COOPER, HUBBELL, WILLIAMS	NA	3500K 16000 LUMENS	SUSPENDED	UNV.	110		
P1	SURFACE MOUNT DISC, WET LOCATION LED, VANDAL RESISTANT	LUMINAIRE APX13 MN10 15W 30K M/VOLT FCL COOPER, HUBBELL, WILLIAMS, SIGNIFY	NA	3000K 900 LUMENS	SURFACE	UNV.	15	1	
W1	WALL SCONCE, WET LOCATION LED	WAC WS-W190114-30-BK COOPER, HUBBELL, WILLIAMS, SIGNIFY	NA	3000K 1050 LUMENS	SURFACE	120	20		
W2	WALL SCONCE, WET LOCATION LED	SIGNIFY LPW7-10-WW-G3-2-120 COOPER, HUBBELL, WILLIAMS	NA	3000K 1050 LUMENS	SURFACE	120	10		
X1	EXIT SIGN LED, BATTERY BACK-UP, SELF-DIAGNOSTICS	SIGNIFY CLXNRW COOPER, HUBBELL, WILLIAMS	NA	INCLUDED	SURFACE	120	5	1,2	
X2	EXIT SIGN, DOUBLE FACED LED, BATTERY BACK-UP, SELF-DIAGNOSTICS	SIGNIFY CLXNRW COOPER, HUBBELL, WILLIAMS	NA	INCLUDED	CEILING	120	5	1,2	
GENERAL NOTES: A. LED DRIVERS TO BE MULTIVOLT, 0-10V DIMMABLE, WITH 5 YEAR WARRANTY. B. LED DRIVERS TO BE PHILIPS XITANUM OR EQUAL SYLVANIE OR ACUTY. NOTES: 1. COORDINATE STANDARD FINISH AT TIME OF SHOP DRAWINGS. 2. PROVIDE EMERGENCY BATTERY PACK AND SELF DIAGNOSTICS. 3. COORDINATE CBLING TYPE WITH HANGER TYPE.									

LIGHTING CONTROL SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER/ SERIES	SIZE	NOTES
OS1	DUAL TECHNOLOGY OCCUPANCY SENSOR LINE VOLTAGE, WALL BOX	LEGRAND DSW-305 I/LC, COOPER, LEVITON, HUBBELL	400 SQFT	1,2
OS2	DUAL TECHNOLOGY OCCUPANCY SENSOR LINE VOLTAGE, CEILING MOUNTED	LEGRAND DT-355 I/LC, COOPER, LEVITON, HUBBELL	1,296 SQFT	1,2
TS1	ASTRONOMICAL TIME SWITCH LINE VOLTAGE, WALL BOX	LEGRAND RT-200 I/LC, COOPER, LEVITON, HUBBELL	NA	2
GENERAL NOTES:				
A. SET AND PROGRAM ALL SENSORS AS FOLLOWS:				
a. SET SENSITIVITY TO MATCH ROOM SIZE AND SHAPE				
b. SET TIME DELAY TO MAXIMUM				
c. PROGRAM AND FINE TUNE EACH SENSOR, AND INSTRUCT OWNER ON ADJUSTMENTS.				
d. MANUFACTURER SHALL ADVISE EXACT LOCATIONS IN ROOMS AND PROVIDE WIRING DIAGRAMS.				
e. PROVIDE 10' SERVICE LOOP FOR ALL SENSORS, FOR FUTURE RELOCATION.				
f. CEILING MOUNT ULTRASONIC SENSORS SHALL BE MOUNTED A MINIMUM OF 4 FEET FROM SUPPLY AIR DIFFUSERS.				
g. CABLING AND LOW VOLTAGE DEVICES SHALL BE PLENUM RATED.				
C. BID SHALL BE BASED ON THE QUANTITY AND TYPE OF SENSORS SHOWN. MANUFACTURERS MAY NEED TO ADD ITEMS (SENSORS, POWER RACKS, ETC.) TO MEET THE REQUIREMENTS OF THE SPECIFIED MANUFACTURERS' PRODUCTS BUT SHALL NOT DELETE ITEMS OR CHANGE THE SENSOR TYPES.				
D. TESTING, BY FACTORY APPROVED PERSONNEL, SHALL BE DONE FOR EACH SENSOR AND ADJUSTED FOR THE REQUIREMENTS FOR EACH ROOM.				
NOTES:				
1. COORDINATE STANDARD COLOR AT TIME OF SHOP DRAWINGS.				
2. REQUIRE NEUTRAL WIRE AT SWITCHING LOCATION.				

Statements of probable construction cost prepared by Martin Gardner Architecture, P.C. represents our best judgments as design professionals familiar with the construction industry. However, neither Martin Gardner Architecture, P.C. nor the Owner has control over the cost of labor, materials or equipment, over the contractor's method of determining bid prices, or over competitive bidding, market or negotiating conditions. Accordingly, Martin Gardner Architecture, P.C. cannot and does not warrant or represent that bids will not vary from the project budget proposed, established or approved by the owner, if any, or from any statement of probable construction cost prepared by Martin Gardner Architecture.

Building Square Footage		8,534 SF Main Floor
		Cost Per SF
DEMOLITION		
Demolition Subtotal		\$77,040 \$9.03
SITEWORK		
Sitework Subtotal		\$78,000 \$9.14
SUBSTRUCTURE		
Substructure Subtotal		\$71,280 \$8.35
EXTERIOR ENCLOSURE		
Exterior Enclosure Subtotal		\$129,288 \$15.15
INTERIORS		
Interiors Subtotal		\$259,054 \$30.36
SERVICES		
Services Subtotal		\$286,742 \$33.60
Construction Subtotal		\$901,405 \$105.63
GENERAL CONDITIONS		
General Contracting Fees (General Requirements: 10%; O.H. and Profit is included in unit prices)		10% \$90,140
Construction Subtotal + General Conditions		\$991,545 \$116.19
CONSTRUCTION & DESIGN CONTINGENCIES		
Estimating, Design and Market Contingency (% of Project Subtotal)		20.0% \$198,309
Construction Contingency (% of Project Subtotal)		10.0% \$99,155
Subtotal Contingencies		\$297,464 \$34.86
Construction Total		\$1,289,009 \$151.04
PROFESSIONAL FEES AND CONTINGENCIES		
Basic Services A/E Professional Fees		\$82,250
Construction Reimbursable, Bidding, Administrative Costs (Estimate)		1.0% \$12,890
Subtotal Professional Fees		\$95,140 \$11.15
Project Total		\$1,384,149 \$162.19

NOTICE OF PUBLIC HEARING AND LETTING OF BIDS FOR THE RENOVATION TO ANAMOSA POLICE STATION, City of Anamosa, Iowa, hereafter referred to as the Owner.

Notice is hereby given that the Owner, 107 S. Ford Street, Anamosa, Iowa 52205 invites contractors to submit bids for this project and that a public hearing will be held on the on the project.

Project Description: The proposed project consists of a renovation to an existing building located at 106 N. Ford St., Anamosa, Iowa 52205. Renovation consists of certain interior demolition and interior buildout of the building including offices, storage, mechanical spaces, vehicle parking and other miscellaneous spaces.

Bid Type:

One lump sum contract will be awarded at the appointed time and place.

Pre-Bid Conference: A pre-bid meeting for all Contractors, Subcontractors and suppliers will be held at the project site located at 106 N. Ford St., Anamosa, Iowa on **August 10, 2022** at 2:00 pm local time.

Project Access: The building will only be available for inspection during the pre-bid meeting and by appointment by contacting the City of Anamosa.

Documents: Plans and specifications governing construction of the proposed project have been prepared by Martin Gardner Architecture PC., Marion, Iowa as Architect. All materials and procedures shall be in strict accordance with said plans and specifications referred to and defining said proposed improvements and are hereby made a part of this Advertisement and of the proposed contract by reference, and that the contract shall be executed in compliance therewith.

Document Availability: Plans and specifications and proposed contract documents may be examined at the offices of the Architect, and other locations as outlined in the Construction Documents. Copies of the plans and specifications, form of contract and bid form may be obtained from Rapids Reproductions, 6015 Huntington Court NE, Cedar Rapids, IA 52402, (319) 364-2473. You may also access and request plans by visiting their online Plan Room on their website at www.RapidsRepro.com. Rapids Reproductions will issue plans to all Contractors. A maximum of two sets of Construction Documents will be provided to each General Contractor upon delivery of a \$250 per set refundable deposit made payable to the Architect but delivered to Rapids Reproductions Cedar Rapids office. All other Subcontractors and Suppliers may obtain one set of Construction Documents upon delivery of a \$250 per set refundable deposit made payable to the Architect but delivered to Rapids Reproductions Cedar Rapids office. A link to the drawings and specifications are also available at the architect's website www.MartinGardnerArch.com. Plans and specifications to be viewed are in Adobe .pdf format and may be downloaded and printed. Be aware that no warranty as to the compatibility of your computer software or hardware with the files provided is made. Variations between the printed files provided above by the Architect and these electronic files may exist. In the event that a conflict does exist, the printed documents issued by the Architect will take precedence over the downloaded files.

Bid Forms: All bids shall be on the forms provided in the specifications for project. The provided forms of proposal shall be submitted at the time required for bids.

Bid Security: Each bid shall be accompanied by a bid bond, certified check, cashier's check or credit union certified share draft, in a separate sealed envelope in an amount equal to five percent (5%) of the total amount of the bid. If bid bond is submitted, it must be on an approved AIA bid bond form. The certified check or cashier's check shall be drawn on a bank in Iowa or a bank chartered under the laws of the United States of America; certified share draft shall be drawn on a credit union chartered under the laws of the United States. Bid security should be made payable to the Owner as security that if awarded a contract the bidder will enter into a contract at the prices bid and furnish the required Contractor's Bonds, Certificate of Insurance, and other materials as may be required in the contract documents. The certified check, cashier's check, or certified share draft may be cashed, or the Bid Bond forfeited, and the proceeds retained as liquidated damages if the Bidder fails to execute a contract and file acceptable Certificate of Insurance within ten (10) days after the acceptance of the proposal by the Owner. No bidder may withdraw a proposal forty-five (45) days after the date set for opening bids.

Project Bonding: The successful bidder shall be required to furnish a Contractor's Performance and Labor and Material Payment Bond on an approved AIA form in an amount equal to one hundred percent (100%) of the contract price. The bonds are to be issued by responsible surety, approved by the Owner, and shall guarantee the faithful performance of the contract and the terms and conditions therein contained and shall guarantee the prompt payment for and of all materials and protect and save harmless the Owner from all claims and damages of any kind caused by the operation of the Contractor, and shall guarantee the work contracted for a period of one (1) year from the date of final acceptance of the improvements by the Owner.

Sales Tax: The said project is a tax exempt project. The Owner will issue exemption certificates from the Iowa Department of Revenue, as specified in the 701 Iowa Administrative Code, Chapter 19, Rule 19.12. These certificates shall be used by the successful bidder when purchasing materials or the completion of the project.

Bid Filing: All bids must be filed at the Anamosa City Hall, located at 107 S. Ford Street, Anamosa, Iowa, on or before 2:00 pm local time, August 18, 2022. Bids received after this time will not be accepted.

Bid Opening: Bids will be opened and publicly read aloud immediately after specified closing time.

Notice of Public Hearing: Notice is hereby given that the City of Anamosa City Council will meet in the community meeting room located in the Anamosa Library and Learning Center located at 600 East 1st Street, Anamosa, Iowa on August 22, 2022 at 6:00 pm local time at which time and place a hearing will be held on the proposed drawing, specifications, budget, and form of contract for the Renovation to Anamosa Police Station project. Any interested party may appear to be heard. At the said time and place, the City Council will also receive and consider BIDS for said construction that were previously opened at the time and place noted below.

Award of Contract: Notice is hereby given that the Owner will meet at the location and time designated above at which time and place the Owner will consider bids for said construction.

Progress Payments: Payment to the Contractor will be made in monthly estimates and one final payment. Monthly estimates will be equivalent to ninety-five percent (95%) of the contract value of the work completed during the preceding calendar month. Such payments will in no way be construed as an act of acceptance for any of the work partially or totally completed.

Final Payment: Final payment to Contractor will be made no earlier than forty-five (45) days from and after final acceptance of work by the Owner, subject to the contract conditions and in accordance with the provisions of Iowa Code chapters 26 and 573.

Project Construction Schedule: The work under the contract shall commence on or before the date specified in the written 'Notice of Proceed' or if lieu of the notice to proceed, the execution of the contract for construction and shall be Substantially Completed on or before the date indicated on the awarded contractor's bid form and fully completed and ready for acceptance no later than 30 calendar days after said date.

Iowa Preference: By virtue of statutory authority, preference will be given to products and provisions grown and produced within the State of Iowa and to Iowa domestic labor.

The Owner hereby reserves the right to reject any or all bids and to waive informalities and irregularities and to accept the lowest responsive and responsible bid.

Published upon order of the City of Anamosa.

Rod Smith
Mayor

By_____

Attest:_____

APPLICATION AND CERTIFICATION FOR PAYMENT

TO OWNER: City of Anamosa

PROJECT: Anamosa Fire Station

APPLICATION NO: 5
PERIOD TO: 3/25/2022
PROJECT NOS:

FROM CONTRACTOR:
Boomerang Corp
12536 Buffalo Road
Anamosa, Iowa 52205

VIA ENGINEER: Shive-Hattery
Ron Hinds

CONTRACT DATE:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	..... \$	760,800.00
2. Net change by Change Orders \$	-
3. CONTRACT SUM TO DATE (Line 1 + 2)	..... \$	760,800.00
4. TOTAL COMPLETED & STORED TO DATE	..... \$	525,077.73
5. RETAINAGE:		
a. 5% of Work Completed (Columns D + E on Continuation Sheet)	\$	26,253.89
b. <u>5</u> % of Stored Material (Column F on Continuation Sheet)		
Total Retainage (Line 5a + 5b) (Total in Column I on Continuation Sheet)	\$	26,253.89
6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$	498,823.84
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT..... (Line 6 from prior Certificate)	\$	333,286.34
8. CURRENT PAYMENT DUE	\$	165,537.50
9. BALANCE TO FINISH, INCLUDING RETAINAGE..... (Line 3 less Line 6)	\$	261,976.16

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: Mic D

Date: 3/30/22

Cindy Behrends



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 165,537.50

(Attached explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified)

ARCHITECT

By: Re Gant Date: Apr 20 2022 8:48 AM

OWNER'S APPROVAL:

By: _____ Date: _____

CONTINUATION SHEET

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

units are stated to the nearest dollar.

variable retainage for line items may apply.

APPLICATION NO: 5
APPLICATION DATE:
PERIOD TO: 3/25/2022
ENGINEER'S PROJECT NO.:

A	B	C	D	E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored (not in D or E)	Total Completed & Stored to Date (D + E + F)	%(G/C)	Balance to Finish (C - G)	Retainage (If Variable Rate)
			From Previous Application (D + E)	This Period					
1	General Requirements								
	Bonds / Permits / Insurance	\$ 52,000.00	\$ 52,000.00	\$ -	\$ -	\$ 52,000.00	100%	\$ -	\$ 2,600.00
	Administrative Requirements	\$ 15,000.00	\$ 11,000.00	\$ 1,000.00	\$ -	\$ 12,000.00	80%	\$ 3,000.00	\$ 600.00
	Mobilize in	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Temporary Facilities and Controls	\$ 1,000.00	\$ 500.00	\$ -	\$ -	\$ 500.00	50%	\$ 500.00	\$ 25.00
	Testing	\$ 1,000.00	\$ 500.00	\$ 500.00	\$ -	\$ 1,000.00	100%	\$ -	\$ 50.00
2	Existing Conditions								
	Strip Topsoil	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ 5,000.00	100%	\$ -	\$ 250.00
	Excavate for Footings	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Import Fill	\$ 10,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 10,000.00	\$ -
	Erosion Control	\$ 3,500.00	\$ 3,500.00	\$ -	\$ -	\$ 3,500.00	100%	\$ -	\$ 175.00
3	Concrete								
	Cast-In-Place Concrete	\$ 232,758.00	\$ 200,000.00	\$ 20,000.00	\$ -	\$ 220,000.00	95%	\$ 12,758.00	\$ 11,000.00
	7" PCC Parking Lot	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 20,000.00	\$ -
7	Thermal and Moisture Protection								
	Included in Concrete and Special Construction								
8	Openings								
	Hollow Metal Doors and Frames	\$ 6,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 6,500.00	\$ -
	Sectional Doors	\$ 21,992.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 21,992.00	\$ -
	Aluminum Windows	\$ 2,100.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,100.00	\$ -
	Door Hardware	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,000.00	\$ -
9	Finishes								
	Painting and Coating	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
13	Special Construction								
	Metal Building Systems submittals and engineering	\$ 50,000.00	\$ -	\$ -	\$ 48,750.00	\$ 48,750.00	98%	\$ 1,250.00	\$ 2,437.50
	Metal Building Fabrication	\$ 104,000.00	\$ -	\$ -	\$ 104,000.00	\$ 104,000.00	100%	\$ -	\$ 5,200.00
	Building delivery and Labor	\$ 33,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 33,000.00	\$ -
22	Plumbing								
	Materials	\$ 24,000.00	\$ 24,000.00	\$ -	\$ -	\$ 24,000.00	100%	\$ -	\$ 1,200.00
	Labor	\$ 8,450.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 8,450.00	\$ -
23	Heating, Ventilating, and Air-Conditioning (HVAC)								
	HVAC Equipment	\$ 40,000.00	\$ 335.00	\$ -	\$ -	\$ 335.00	1%	\$ 39,665.00	\$ 16.75
	Labor	\$ 22,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 22,000.00	\$ -

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

APPLICATION DATE:
PERIOD TO: 3/25/2022
ENGINEER'S PROJECT NO.:

Units are stated to the nearest dollar.

variable retainage for line items may apply.

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (not in D or E)	G		H Balance to Finish (C - G)	I Retainage (If Variable Rate)
			From Previous Application (D + E)	This Period		Total Completed & Stored to Date (D + E + F)	% (G/C)		
23	Electrical								
	labor	\$ 18,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 18,000.00	\$ -
	Gear	\$ 10,000.00	\$ 4,134.26	\$ -	\$ -	\$ 4,134.26	41%	\$ 5,865.74	\$ 206.71
	Lighting materials	\$ 11,500.00	\$ 9,858.47	\$ -	\$ -	\$ 9,858.47	86%	\$ 1,641.53	\$ 492.92
	Equipment	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	pipe/ Wire	\$ 17,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 17,500.00	\$ -
	Underground	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	Misc. Material	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 3,000.00	\$ -
	Trim Out	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,500.00	\$ -
		\$760,800.00	\$350,827.73	\$21,500.00	\$152,750.00	\$525,077.73	#DIV/0!	\$235,722.27	\$26,253.89

APPLICATION AND CERTIFICATION FOR PAYMENT

TO OWNER: City of Anamosa

PROJECT: Anamosa Fire Station

APPLICATION NO: 6
PERIOD TO: 4/24/2022
PROJECT NOS:

FROM CONTRACTOR:
Boomerang Corp
12536 Buffalo Road
Anamosa, Iowa 52205

VIA ENGINEER: Shive-Hattery
Ron Hinds

CONTRACT DATE:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	.....	\$	760,800.00
2. Net change by Change Orders	.....	\$	-
3. CONTRACT SUM TO DATE (Line 1 + 2)	.....	\$	760,800.00
4. TOTAL COMPLETED & STORED TO DATE	.....	\$	536,077.73
5. RETAINAGE:			
a. 5% of Work Completed	.....	\$	26,803.89
(Columns D + E on Continuation Sheet)			
b. <u>5</u> % of Stored Material	.....	
(Column F on Continuation Sheet)			
Total Retainage (Line 5a + 5b )	.....	\$	26,803.89
(Total in Column I on Continuation Sheet)			
6. TOTAL EARNED LESS RETAINAGE	.....	\$	509,273.84
(Line 4 less Line 5 Total)			
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	.....	\$	498,823.84
(Line 6 from prior Certificate)			
8. CURRENT PAYMENT DUE	.....	\$	10,450.00
9. BALANCE TO FINISH, INCLUDING RETAINAGE	.....	\$	251,526.16
(Line 3 less Line 6)			

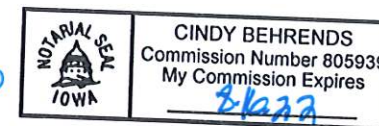
The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: [Signature]

Date: 4-26-2022

Cindy Behrends



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 10,450.00

(Attached explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified)

Architect:

[Signature]

Jun 23 2022 1:31 PM

By: _____

Date: _____

OWNER'S APPROVAL:

By: _____

Date: _____

CONTINUATION SHEET

APPLICATION AND CERTIFICATE FOR PAYMENT,
containing Contractor's signed Certification, is attached.

APPLICATION NO: 6
APPLICATION DATE:
PERIOD TO: 4/24/2022
ENGINEER'S PROJECT NO.:

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (not in D or E)	G Total Completed & Stored to Date (D + E + F)		H Balance to Finish (C - G)	I Retainage (if Variab'le Rate)
			From Previous Application (D + E)	This Period		% (G/C)			
1	General Requirements								
	Bonds / Permits / Insurance	\$ 52,000.00	\$ 52,000.00	\$ -	\$ -	\$ 52,000.00	100%	\$ -	\$ 2,600.00
	Administrative Requirements	\$ 15,000.00	\$ 12,000.00	\$ 1,000.00	\$ -	\$ 13,000.00	87%	\$ 2,000.00	\$ 650.00
	Mobilize in	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Temporary Facilities and Controls	\$ 1,000.00	\$ 500.00	\$ -	\$ -	\$ 500.00	50%	\$ 500.00	\$ 25.00
	Testing	\$ 1,000.00	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00	100%	\$ -	\$ 50.00
2	Existing Conditions								
	Strip Topsoil	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ 5,000.00	100%	\$ -	\$ 250.00
	Excavate for Footings	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Import Fill	\$ 10,000.00	\$ -	\$ 10,000.00	\$ -	\$ 10,000.00	100%	\$ -	\$ 500.00
	Erosion Control	\$ 3,500.00	\$ 3,500.00	\$ -	\$ -	\$ 3,500.00	100%	\$ -	\$ 175.00
3	Concrete								
	Cast-In-Place Concrete	\$ 232,758.00	\$ 220,000.00	\$ -	\$ -	\$ 220,000.00	95%	\$ 12,758.00	\$ 11,000.00
	7" PCC Parking Lot	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 20,000.00	\$ -
7	Thermal and Moisture Protection								
	Included in Concrete and Special Construction								
8	Openlngs								
	Hollow Metal Doors and Frames	\$ 6,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 6,500.00	\$ -
	Sectional Doors	\$ 21,992.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 21,992.00	\$ -
	Aluminum Windows	\$ 2,100.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,100.00	\$ -
	Door Hardware	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,000.00	\$ -
9	Finishes								
	Painting and Coaling	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
13	Special Construction								
	Metal Building Systems submittals and engineering	\$ 50,000.00	\$ 48,750.00	\$ -	\$ -	\$ 48,750.00	98%	\$ 1,250.00	\$ 2,437.50
	Metal Building Fabrication	\$ 104,000.00	\$ 104,000.00	\$ -	\$ -	\$ 104,000.00	100%	\$ -	\$ 5,200.00
	Building delivery and Labor	\$ 33,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 33,000.00	\$ -
22	Plumbing								
	Materials	\$ 24,000.00	\$ 24,000.00	\$ -	\$ -	\$ 24,000.00	100%	\$ -	\$ 1,200.00
	Labor	\$ 8,450.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 8,450.00	\$ -
23	Heating, Ventilating, and Air-Conditioning (HVAC)								
	HVAC Equipment	\$ 40,000.00	\$ 335.00	\$ -	\$ -	\$ 335.00	1%	\$ 39,665.00	\$ 16.75
	Labor	\$ 22,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 22,000.00	\$ -
23	Electrical								
	labor	\$ 18,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 18,000.00	\$ -
	Gear	\$ 10,000.00	\$ 4,134.26	\$ -	\$ -	\$ 4,134.26	41%	\$ 5,865.74	\$ 206.71
	Lighting materials	\$ 11,500.00	\$ 9,858.47	\$ -	\$ -	\$ 9,858.47	86%	\$ 1,641.53	\$ 492.92
	Equipment	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	pipe/ Wire	\$ 17,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 17,500.00	\$ -
	Underground	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	Misc. Material	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 3,000.00	\$ -
	Trim Out	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,500.00	\$ -
		\$760,800.00	\$525,077.73	\$11,000.00	\$0.00	\$536,077.73	#DIV/0!	\$224,722.27	\$26,603.69

APPLICATION AND CERTIFICATION FOR PAYMENT

TO OWNER: City of Anamosa

PROJECT: Anamosa Fire Station

APPLICATION NO: 7
PERIOD TO: 5/26/2022
PROJECT NOS:

FROM CONTRACTOR:
Boomerang Corp
12536 Buffalo Road
Anamosa, Iowa 52205

VIA ENGINEER: Shive-Hattery
Ron Hinds

CONTRACT DATE:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	..... \$	760,800.00
2. Net change by Change Orders \$	-
3. CONTRACT SUM TO DATE (Line 1 + 2)	..... \$	760,800.00
4. TOTAL COMPLETED & STORED TO DATE	..... \$	549,392.73
5. RETAINAGE:		
a. 5% of Work Completed	\$	27,469.64
(Columns D + E on Continuation Sheet)		
b. <u>5</u> % of Stored Material	.....
(Column F on Continuation Sheet)		
Total Retainage (Line 5a + 5b)	..... \$	27,469.64
(Total in Column I on Continuation Sheet)		
6. TOTAL EARNED LESS RETAINAGE	..... \$	521,923.09
(Line 4 less Line 5 Total)		
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	..... \$	509,273.84
(Line 6 from prior Certificate)		
8. CURRENT PAYMENT DUE	..... \$	12,649.25
9. BALANCE TO FINISH, INCLUDING RETAINAGE	..... \$	238,876.91
(Line 3 less Line 6)		

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: Kate Helgen

Date: 5/27/22

ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 12,649.25

(Attached explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified)

ENGINEER:

By: Per Janoff

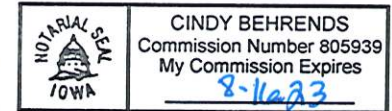
Jun 23 2022 1:31 PM

Date: _____

OWNER'S APPROVAL:

By: _____

Date: _____



CONTINUATION SHEET

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

units are stated to the nearest dollar.

variable retainage for line items may apply.

APPLICATION NO: 7
APPLICATION DATE:
PERIOD TO: 5/26/2022
ENGINEER'S PROJECT NO.:

A	B	C	D	E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored (not in D or E)	Total Completed & Stored to Date (D + E + F)	% (G/C)	Balance to Finish (C - G)	Retainage (If Variable Rate)
			From Previous Application (D + E)	This Period					
1	General Requirements								
	Bonds / Permits / Insurance	\$ 52,000.00	\$ 52,000.00	\$ -	\$ -	\$ 52,000.00	100%	\$ -	\$ 2,600.00
	Administrative Requirements	\$ 15,000.00	\$ 13,000.00	\$ 1,000.00	\$ -	\$ 14,000.00	93%	\$ 1,000.00	\$ 700.00
	Mobilize in	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Temporary Facilities and Controls	\$ 1,000.00	\$ 500.00	\$ -	\$ -	\$ 500.00	50%	\$ 500.00	\$ 25.00
	Testing	\$ 1,000.00	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00	100%	\$ -	\$ 50.00
2	Existing Conditions								
	Strip Topsoil	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ 5,000.00	100%	\$ -	\$ 250.00
	Excavate for Footings	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00
	Import Fill	\$ 10,000.00	\$ 10,000.00	\$ -	\$ -	\$ 10,000.00	100%	\$ -	\$ 500.00
	Erosion Control	\$ 3,500.00	\$ 3,500.00	\$ -	\$ -	\$ 3,500.00	100%	\$ -	\$ 175.00
3	Concrete								
	Cast-In-Place Concrete	\$ 232,758.00	\$ 220,000.00	\$ -	\$ -	\$ 220,000.00	95%	\$ 12,758.00	\$ 11,000.00
	7" PCC Parking Lot	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 20,000.00	\$ -
7	Thermal and Moisture Protection Included in Concrete and Special Construction								
8	Openings								
	Hollow Metal Doors and Frames	\$ 6,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 6,500.00	\$ -
	Sectional Doors	\$ 21,992.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 21,992.00	\$ -
	Aluminum Windows	\$ 2,100.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,100.00	\$ -
	Door Hardware	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,000.00	\$ -
9	Finishes								
	Painting and Coating	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
13	Special Construction								
	Metal Building Systems submittals and engineering	\$ 50,000.00	\$ 48,750.00	\$ -	\$ -	\$ 48,750.00	98%	\$ 1,250.00	\$ 2,437.50
	Metal Building Fabrication	\$ 104,000.00	\$ 104,000.00	\$ -	\$ -	\$ 104,000.00	100%	\$ -	\$ 5,200.00
	Building delivery and Labor	\$ 33,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 33,000.00	\$ -
22	Plumbing								
	Materials	\$ 24,000.00	\$ 24,000.00	\$ -	\$ -	\$ 24,000.00	100%	\$ -	\$ 1,200.00
	Labor	\$ 8,450.00	\$ -	\$ 1,500.00	\$ -	\$ 1,500.00	18%	\$ 6,950.00	\$ 75.00
23	Heating, Ventilating, and Air-Conditioning (HVAC)								
	HVAC Equipment	\$ 40,000.00	\$ 335.00	\$ -	\$ 10,815.00	\$ 11,150.00	28%	\$ 28,850.00	\$ 557.50
	Labor	\$ 22,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 22,000.00	\$ -

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

APPLICATION DATE:
PERIOD TO: 5/26/2022
ENGINEER'S PROJECT NO.:

units are stated to the nearest dollar.

variable retainage for line items may apply.

A Item No.	B Description of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (not in D or E)	G		H Balance to Finish (C - G)	I Retainage (If Variable Rate)
			From Previous Application (D + E)	This Period		Total Completed & Stored to Date (D + E + F)	% (G/C)		
23	Electrical								
	labor	\$ 18,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 18,000.00	\$ -
	Gear	\$ 10,000.00	\$ 4,134.26	\$ -	\$ -	\$ 4,134.26	41%	\$ 5,865.74	\$ 206.71
	Lighting materials	\$ 11,500.00	\$ 9,858.47	\$ -	\$ -	\$ 9,858.47	86%	\$ 1,641.53	\$ 492.92
	Equipment	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	pipe/ Wire	\$ 17,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 17,500.00	\$ -
	Underground	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	Misc. Material	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 3,000.00	\$ -
	Trim Out	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,500.00	\$ -
		\$760,800.00	\$536,077.73	\$2,500.00	\$10,815.00	\$549,392.73		\$211,407.27	\$27,469.64



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

5/26/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Cottingham & Butler 800 Main St. Dubuque IA 52001		CONTACT NAME: PHONE (A/C, No, Ext): 563-587-5000 FAX (A/C, No): 563-583-7339 E-MAIL ADDRESS: certificates@cottinghambutler.com	
		INSURER(S) AFFORDING COVERAGE	
		INSURER A: Amerisure Insurance Company	
		INSURER B:	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** 286491599 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER:			CPP 21195040001	1/1/2022	1/1/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			CA 21194830001	1/1/2022	1/1/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 0			CU 21194840002	1/1/2022	1/1/2023	EACH OCCURRENCE \$ 6,000,000 AGGREGATE \$ 6,000,000 \$
A	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/>	N/A	WC 21194850005	1/1/2022	1/1/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
All Projects
Boomerang Corp and City of Anamosa are additional insured on the General Liability policy on a primary, non-contributory basis per written contract between the named insured and the certificate holder that requires such a status subject to the terms and conditions of the endorsement attached to the policy. The General Liability, Auto Liability and Workers' Compensation policies include a Waiver of Subrogation in favor of the additional insureds per written contract between the named insured and the certificate holder that requires such a status subject to the terms and conditions of the endorsement attached to the policy. A 30-day notice of cancellation is provided by the insurance company to the certificate holder as outlined by the endorsement attached to the General Liability policy. Stored Materials: 317 S Locust St Monticello, IA \$49,133 w/ \$1,000 deductible

CERTIFICATE HOLDER **CANCELLATION**

CERTIFICATE HOLDER Boomerang Corp 12536 Buffalo Road Anamosa IA 52205	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	---

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Millennium Technology of Iowa Corp

1454 30th St, Ste 207
West Des Moines, IA 50266

INVOICE

Invoice Date	Invoice #
3/1/2022	30094

Bill To
Kraus Plumbing & Heating Attn: Accounts Payable 317 S Locust St Monticello, IA 52310

Ship To
Kraus Plumbing & Heating Attn: 317 S Locust St Monticello, IA 52310

Customer PO	Payment Terms	Due Date	Sales Rep ID	Customer ID	Ship Date	Shipping Meth...
21-66	Net 30	3/31/2022	Matt	KRAUSP&H	3/1/2022	
Quantity	Description			Unit Price	Amount	
1.00	Custom Fan Control Panel (NEMA 4X enclosure) per Quote 32809			5,375.00	5,375.00	

Thank you for your business!

Payments not received by the due date are subject to 1.5% monthly interest charge
Start-up on equipment cannot be performed until equipment on invoice is paid in full.
A minimum 3.0% processing fee applies to all payments made with Visa or Mastercard.
Please contact Deslree Johnson at mtiaccounting@millitechvac.com or 515.452.0261 for any questions on this invoice.

Total	\$5,375.00
Payments/Credits	\$0.00
Balance Due	\$5,375.00

Phone #
(515) 452.0261

E-mail
mtiaccounting@millitechvac.com

Millennium Technology of Iowa Corp

1454 30th St, Ste 207
West Des Moines, IA 50266

INVOICE

Invoice Date	Invoice #
3/9/2022	30094-2

Bill To
Kraus Plumbing & Heating Attn: Accounts Payable 317 S Locust St Monticello, IA 52310

Ship To
Kraus Plumbing & Heating Attn: 317 S Locust St Monticello, IA 52310

Customer PO	Payment Terms	Due Date	Sales Rep ID	Customer ID	Ship Date	Shipping Meth...
21-66	Net 30	4/8/2022	Matt	KRAUSP&H	3/9/2022	FedEx Ground
Quantity	Description			Unit Price	Amount	
1.00	HONEYWELL ANALYTICS GAS DETECTION SYSTEM PER QUOTE 32809			4,440.00	4,440.00	
2.00	24VAC STROBE HORN			500.00	1,000.00	
1.00	TRIP FACTORY TRAINED TECHNICIAN PROGRAMMING AND TESTING INCLUDED				0.00	
	***** Startup on equipment cannot be performed until equipment on invoice is paid in full. *****					

Thank you for your business!

Payments not received by the due date are subject to 1.5% monthly interest charge
Start-up on equipment cannot be performed until equipment on invoice is paid in full.
A minimum 3.0% processing fee applies to all payments made with Visa or Mastercard.
Please contact Destree Johnson at mtiaccounting@milltechhvac.com or 515.452.0261 for any questions on this invoice.

Total \$5,440.00

Payments/Credits \$0.00

Balance Due \$5,440.00

Phone #
(515) 452.0261

E-mail
mtiaccounting@milltechhvac.com

NOTICE

DAMAGE will result if crate is not kept
UPRIGHT at all times!
Careless handling will result in claims
against the transportation company.

TRANSIT TESTED



INTERNATIONAL SAFE TRANSIT ASSOCIATION

LOREN COOK COMPANY

LOREN COOK COMPANY
1000 S. 10TH AVE.
MILWAUKEE, WI 53204
TEL: 414-224-1000
FAX: 414-224-1001
E-MAIL: SALES@LCOOK.COM
WWW.LCOOK.COM

Tear Here

5896

DEL 8130701524



Shipped To:

Kraus Plumbing and Heating TAG:
PO 21-66
317 S Locust Street Monticello IA
52310 US

PO:
30094

Gross Weight : 22.450 LB

Lincolnshire
IL

0 LB

Qty: COO

1 US

3 US

2 US

1 US

3 US

Page 1 of 2

HU 53402005105896

DEL 813070



Shipped From:

Honeywell Analytics, Lincolnshire
405 Barclay Blvd Lincolnshire IL
60069-3609 US

SO:55854101

Net Weight: 22.440 LB

Contents:

Material

Material description

Customer Part Number

OPTION E3PT ECLAB ENCLOSURE

M-512024

STASA24VAC-STROBE HORN- ADAPT AMBER

2

Shipped To:

Kraus Plumbing and Heating
PO 21-66
317 S Locust Street Monticello
52310 US

PO:
30094

Gross Weight : 22.450

Qty:

Page 2 of

Gas Detection
Control Panel

OVERRIDE TIMER



FANS RUNNING



HAND / OFF / AUTO



APPLICATION AND CERTIFICATION FOR PAYMENT

TO OWNER: City of Anamosa

PROJECT: Anamosa Fire Station

APPLICATION NO: 8
PERIOD TO: 6/23/2022
PROJECT NOS:

FROM CONTRACTOR:
Boomerang Corp
12536 Buffalo Road
Anamosa, Iowa 52205

VIA ENGINEER: Shive-Hattery
Ron Hinds

CONTRACT DATE:

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

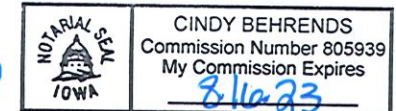
1. ORIGINAL CONTRACT SUM	\$	760,800.00
2. Net change by Change Orders	\$	-
3. CONTRACT SUM TO DATE (Line 1 + 2)	\$	760,800.00
4. TOTAL COMPLETED & STORED TO DATE	\$	580,250.73
5. RETAINAGE:		
a. 5% of Work Completed (Columns D + E on Continuation Sheet)	\$	29,012.54
b. <u>5</u> % of Stored Material (Column F on Continuation Sheet)		
Total Retainage (Line 5a + 5b) (Total in Column I on Continuation Sheet)	\$	29,012.54
6. TOTAL EARNED LESS RETAINAGE (Line 4 less Line 5 Total)	\$	551,238.19
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	521,693.19
8. CURRENT PAYMENT DUE	\$	29,545.00
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$	209,561.81

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: [Signature]

Date: 6/23/22



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED..... \$ 29,545.00

(Attached explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform to the amount certified)

ENGINEER:

By: [Signature]

Jun 23 2022 1:49 PM

Date: _____

OWNER'S APPROVAL:

By: _____

Date: _____

CONTINUATION SHEET

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

units are stated to the nearest dollar.

variable retainage for line items may apply.

APPLICATION NO: 8
APPLICATION DATE:
PERIOD TO: 6/23/2022
ENGINEER'S PROJECT NO.:

A	B	C	D		E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored (not in D or E)	Total Completed & Stored to Date (D + E + F)	% (G/C)	Balance to Finish (C - G)	Retainage (If Variable Rate)	
			From Previous Application (D + E)	This Period						
1	General Requirements									
	Bonds / Permits / Insurance	\$ 52,000.00	\$ 52,000.00	\$ -	\$ -	\$ 52,000.00	100%	\$ -	\$ 2,600.00	
	Administrative Requirements	\$ 15,000.00	\$ 14,000.00	\$ -	\$ -	\$ 14,000.00	93%	\$ 1,000.00	\$ 700.00	
	Mobilize in	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00	
	Temporary Facilities and Controls	\$ 1,000.00	\$ 500.00	\$ 150.00	\$ -	\$ 650.00	65%	\$ 350.00	\$ 32.50	
	Testing	\$ 1,000.00	\$ 1,000.00	\$ -	\$ -	\$ 1,000.00	100%	\$ -	\$ 50.00	
2	Existing Conditions									
	Strip Topsoil	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ 5,000.00	100%	\$ -	\$ 250.00	
	Excavate for Footings	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	100%	\$ -	\$ 1,000.00	
	Import Fill	\$ 10,000.00	\$ 10,000.00	\$ -	\$ -	\$ 10,000.00	100%	\$ -	\$ 500.00	
	Erosion Control	\$ 3,500.00	\$ 3,500.00	\$ -	\$ -	\$ 3,500.00	100%	\$ -	\$ 175.00	
3	Concrete									
	Cast-in-Place Concrete	\$ 232,758.00	\$ 220,000.00	\$ -	\$ -	\$ 220,000.00	95%	\$ 12,758.00	\$ 11,000.00	
	7" PCC Parking Lot	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 20,000.00	\$ -	
7	Thermal and Moisture Protection									
	Included in Concrete and Special Construction									
8	Openings									
	Hollow Metal Doors and Frames	\$ 6,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 6,500.00	\$ -	
	Sectional Doors	\$ 21,992.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 21,992.00	\$ -	
	Aluminum Windows	\$ 2,100.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,100.00	\$ -	
	Door Hardware	\$ 1,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,000.00	\$ -	
9	Finishes									
	Painting and Coating	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -	
13	Special Construction									
	Metal Building Systems submittals and engineering	\$ 50,000.00	\$ 48,750.00	\$ 1,250.00	\$ -	\$ 50,000.00	100%	\$ -	\$ 2,500.00	
	Metal Building Fabrication	\$ 104,000.00	\$ 104,000.00	\$ -	\$ -	\$ 104,000.00	100%	\$ -	\$ 5,200.00	
	Building delivery and Labor	\$ 33,000.00	\$ -	\$ 29,700.00	\$ -	\$ 29,700.00	90%	\$ 3,300.00	\$ 1,485.00	
22	Plumbing									
	Materials	\$ 24,000.00	\$ 24,000.00	\$ -	\$ -	\$ 24,000.00	100%	\$ -	\$ 1,200.00	
	Labor	\$ 8,450.00	\$ 1,500.00	\$ -	\$ -	\$ 1,500.00	18%	\$ 6,950.00	\$ 75.00	
23	Heating, Ventilating, and Air-Conditioning (HVAC)									
	HVAC Equipment	\$ 40,000.00	\$ 10,908.00	\$ -	\$ -	\$ 10,908.00	27%	\$ 29,092.00	\$ 545.40	
	Labor	\$ 22,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 22,000.00	\$ -	

CERTIFICATE FOR PAYMENT,
signed Certification, is attached.

units are stated to the nearest dollar.
variable retainage for line items may apply.

APPLICATION DATE:
PERIOD TO: 6/23/2022
ENGINEER'S PROJECT NO.:

A	B	C	D	E	F	G		H	I
Item No.	Description of Work	Scheduled Value	Work Completed		Materials Presently Stored (not in D or E)	Total Completed & Stored to Date (D + E + F)	% (G/C)	Balance to Finish (C - G)	Retainage (If Variable Rate)
			From Previous Application (D + E)	This Period					
23	Electrical								
	Labor	\$ 18,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 18,000.00	\$ -
	Gear	\$ 10,000.00	\$ 4,134.26	\$ -	\$ -	\$ 4,134.26	41%	\$ 5,865.74	\$ 206.71
	Lighting materials	\$ 11,500.00	\$ 9,858.47	\$ -	\$ -	\$ 9,858.47	86%	\$ 1,641.53	\$ 492.92
	Equipment	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	Pipe/ Wire	\$ 17,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 17,500.00	\$ -
	Underground	\$ 2,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 2,000.00	\$ -
	Misc. Material	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 3,000.00	\$ -
	Trim Out	\$ 1,500.00	\$ -	\$ -	\$ -	\$ -	0%	\$ 1,500.00	\$ -
		\$760,800.00	\$549,150.73	\$31,100.00	\$0.00	\$580,250.73		\$180,549.27	\$29,012.54

PROJECT: Anamosa Fire Station

OWNER:	City of Anamosa		
BOOMERANG #:	21011	CONTRACT #:	0



PROJECT REPORT FOR WEEK OF: 6/19/2022

DAY	CRITICAL PATH	SUBCONTRACTORS	SITE CONDITIONS	DESCRIPTION OF WORK	DELAY
SUNDAY 6/19/2022			High Temp: 86 Low Temp: 56		
MONDAY 6/20/2022	Oil/Sand Separator & Sanitary Line Decision	Jansen Steel	High Temp: 92 Low Temp: 65	Erected Steel Building - removed trench drain	Yes - waiting for direction
TUESDAY 6/21/2022	Oil/Sand Separator & Sanitary Line Decision	Jansen Steel	High Temp: 95 Low Temp: 71	Erected Steel Building - started putting on metal sheathing	Yes - waiting for direction
WEDNESDAY 6/22/2022	Oil/Sand Separator & Sanitary Line Decision	Jansen Steel	High Temp: 88 Low Temp: 66	Erected Steel Building - Found out that the panels were blue and white instead of saddle tan as the returned shops had called out	Yes - waiting for direction
THURSDAY 6/23/2022	Oil/Sand Separator & Sanitary Line Decision	Jansen Steel	High Temp: 90 Low Temp: 63	Erected Steel Building - Removed metal panels	Yes - waiting for direction
FRIDAY 6/24/2022	Oil/Sand Separator & Sanitary Line Decision	Jansen Steel	High Temp: 83 Low Temp: 67	Erected Steel Building - Removed metal panels	Yes - waiting for direction
SATURDAY 6/25/2022			H: 82 L:64 Precipitation: 3"		
TOTAL					

3 Week Outlook

Week 1 6/26/2022	Receive new metal panels, finish building
Week 2 7/3/2022	-
Week 3 7/10/2022	-

REMARKS	Once the building is erected, no more work can take place until decisions are made.	ORG COMPLETION DATE	1/31/22
		Days Added	0
		NEW COMPLETION DATE	6/30/22
DATE	6/27/2022	SIGNATURE	

RESOLUTION NO. 2022-__

**RESOLUTION SETTING THE DATE FOR PUBLIC HEARING AND ADDITIONAL
ACTION ON PROPOSAL TO ENTER INTO A GENERAL OBLIGATION
CORPORATE PURPOSE LOAN AGREEMENT, SERIES 2022**

WHEREAS, the City of Anamosa (the “City”), in Jones County, State of Iowa proposes to enter into a general obligation corporate purpose loan agreement (the “Loan Agreement”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$2,200,000 for the purpose of paying the costs, to that extent, of (i) constructing street, water system, sanitary sewer system, storm water drainage and sidewalk improvements; and (ii) acquiring and installing street lighting, signage and signalization improvements (the “Projects”), and it is now necessary to fix a date of meeting of the City Council at which it is proposed to take action to enter into the Loan Agreement and to give notice thereof as required by such law;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF ANAMOSA, IOWA, that the following proposal be approved:

Section 1. This City Council shall meet on July 25, 2022, at the Anamosa Library & Learning Center, Anamosa, Iowa, at six o’clock p.m., at which time and place a hearing will be held and proceedings will be instituted and action taken to enter into the Loan Agreement described in the preamble hereof.

Section 2. The City Clerk is hereby directed to give notice of the proposed action on the Loan Agreement setting forth the amount and purpose thereof, the time when and place where the said meeting will be held by publication at least once, not less than four (4) and not more than twenty (20) days before the date of said meeting, in a legal newspaper which has a general circulation in the City. The notice shall be in substantially the following form:

COUNCILMEMBER	AYES	NAYS	ABSENT	ABSTAIN
CRUMP				
SMITH				
GOMBERT				
ZUMBACH				
STOUT				
TUETKEN				

PASSED AND APPROVED this 11th day of July, 2022.

Rod Smith, Mayor

Attest:

Jeremiah W. Hoyt, Interim City Administrator/Clerk

**CITY OF ANAMOSA, IOWA
BOND ISSUANCE TIMELINE**

\$900,000* General Obligation Corporate Purpose Bonds, Series 2022

July 11, 2022	SET DATE OF PUBLIC HEARING – NTE \$2,200,000 Resolution provided by Bond Counsel (Speer does not plan to attend, unless Council requests)
July 25, 2022	HOLD PUBLIC HEARING APPROVE THE PRELIMINARY OFFICIAL STATEMENT Resolution provided by Bond Counsel (Speer does not plan to attend, unless Council requests)
August 8, 2022	BOND SALE AND AWARD Resolution provided by Bond Counsel (Speer plans to attend this meeting)
August 22, 2022	AUTHORIZING/ISSUANCE PROCEEDINGS Resolution provided by Bond Counsel
September 6, 2022	BOND CLOSING Day that City will receive Bond Proceeds (No meeting required)

**Subject to change.*

CITY OF ANAMOSA, IOWA

\$2,200,000 General Obligation Corporate Purpose Bonds, Series 2022

***PRELIMINARY - SUBJECT TO CHANGE ***

Debt Service Schedule

	Date	Principal	Coupon	Interest	Total P+I	Fiscal Total
	09/06/2022	-	-	-	-	-
	12/01/2022	-	-	18,062.50	18,062.50	-
	06/01/2023	-	-	38,250.00	38,250.00	56,312.50
	12/01/2023	-	-	38,250.00	38,250.00	-
	06/01/2024	155,000.00	3.000%	38,250.00	193,250.00	231,500.00
	12/01/2024	-	-	35,925.00	35,925.00	-
	06/01/2025	160,000.00	3.000%	35,925.00	195,925.00	231,850.00
	12/01/2025	-	-	33,525.00	33,525.00	-
	06/01/2026	160,000.00	3.000%	33,525.00	193,525.00	227,050.00
	12/01/2026	-	-	31,125.00	31,125.00	-
	06/01/2027	165,000.00	3.250%	31,125.00	196,125.00	227,250.00
	12/01/2027	-	-	28,443.75	28,443.75	-
	06/01/2028	175,000.00	3.250%	28,443.75	203,443.75	231,887.50
	12/01/2028	-	-	25,600.00	25,600.00	-
	06/01/2029	180,000.00	3.250%	25,600.00	205,600.00	231,200.00
	12/01/2029	-	-	22,675.00	22,675.00	-
call	06/01/2030	185,000.00	3.500%	22,675.00	207,675.00	230,350.00
	12/01/2030	-	-	19,437.50	19,437.50	-
	06/01/2031	190,000.00	3.500%	19,437.50	209,437.50	228,875.00
	12/01/2031	-	-	16,112.50	16,112.50	-
	06/01/2032	195,000.00	3.500%	16,112.50	211,112.50	227,225.00
	12/01/2032	-	-	12,700.00	12,700.00	-
	06/01/2033	205,000.00	4.000%	12,700.00	217,700.00	230,400.00
	12/01/2033	-	-	8,600.00	8,600.00	-
	06/01/2034	210,000.00	4.000%	8,600.00	218,600.00	227,200.00
	12/01/2034	-	-	4,400.00	4,400.00	-
	06/01/2035	220,000.00	4.000%	4,400.00	224,400.00	228,800.00
	Total	\$2,200,000.00	-	\$609,900.00	\$2,809,900.00	-

Yield Statistics

Bond Year Dollars	\$16,759.44
Average Life	7.618 Years
Average Coupon	3.6391421%
Net Interest Cost (NIC)	3.6391421%
True Interest Cost (TIC)	3.6228663%
Bond Yield for Arbitrage Purposes	3.6228663%
All Inclusive Cost (AIC)	3.6228663%

IRS Form 8038

Net Interest Cost	3.6391421%
Weighted Average Maturity	7.618 Years

22 Anamosa \$2.2m GO 7.5.2 | SINGLE PURPOSE | 7/ 5/2022 | 11:15 AM

Speer Financial, Inc.
Independent Public Municipal Advisors Since 1954

****PRELIMINARY - SUBJECT TO CHANGE****

July 5, 2022

VIA E-MAIL

Jeremiah Hoyt
Interim City Administrator/City Hall
Anamosa, Iowa

Re: Anamosa, Iowa
General Obligation Corporate Purpose Bonds, Series 2022

Dear Jeremiah:

I am writing to explain our role as bond counsel for the City's proposed General Obligation borrowing. It is our understanding that the City will issue General Obligation Corporate Purpose Bonds (the "Bonds") in the approximate principal amount of \$900,000 into the municipal bond market through a competitive sale to be facilitated by Speer Financial, Inc., the City's municipal advisor (the "Municipal Advisor").

As bond counsel, it is our responsibility to provide legal representation to the City with respect to the authorization of the issuance of the Bonds. In serving the City as bond counsel, we will prepare appropriate resolutions, notices, agreements, filings and closing certificates, consult with the Municipal Advisor, and undertake such additional duties as we deem necessary to help the City through this transaction. At closing of the Bond issue, assuming the proper conditions are in place, we will deliver our bond counsel opinion that (1) the Bonds are valid and binding general obligations of the City, and (2) the interest paid on the Bonds will be excluded from gross income for federal income tax purposes.

In performing our services as Bond Counsel our sole client in this matter will be the City of Anamosa. We will not represent any other party in this financing and it is mutually understood that the services to be provided by us as described herein are solely for the benefit of the City of Anamosa.

It is important to note that we have not been engaged to serve as "disclosure counsel" to the City, which would cover in-depth legal work with respect to securities law regulations related to the Bonds and the official statement which will be drafted to facilitate their sale. This means that while we will review and comment on the portions of the official statement that are pertinent to our role as bond counsel (particularly tax related matters, state law authority related matters and collateralization related matters), we will not engage in a due diligence process to (i) investigate the accuracy of financial data contained therein, or (ii) to discover any bond holder risks that are unknown to us. Furthermore, we will not be giving a legal opinion with respect to any aspects of the official statement. Please be aware that we are available to provide these

Page 2

additional services should the City desire to expand the scope of our representation. Please let me know if you would like to discuss this.

Based upon: (i) our current understanding of the terms, structure, size and schedule of the financing, (ii) the duties we will undertake, (iii) the time we anticipate devoting to the project, and (iv) the responsibilities we assume, we estimate that our aggregate fees and expenses for legal services as Bond Counsel will not exceed \$11,000.

After this arrangement is approved on behalf of the City, please have this letter executed in the space below and either fax an executed copy of this letter to our office at (515) 283-1060 or scan and email an executed copy to lemke.susan@dorsey.com. If you have questions, please call me.

We look forward to working with you. Thank you for the opportunity to serve the City.

Best regards,



John P. Danos

JPD/sl

I understand and agree to the arrangements stated above.

CITY OF ANAMOSA, IOWA

BY: _____
Mayor

Date: _____

ATTEST: _____
City Clerk

Date: _____

RESOLUTION NO. 2022-

RESOLUTION SETTING TEMPORARY SALARY FOR DEPUTY TREASURER

WHEREAS, the Deputy Treasurer assumed the additional duties of Utility Bill Clerk in which became vacant on April 22, 2020; and

WHEREAS, the Deputy Treasurer will be carrying out additional responsibilities until a new Deputy City Clerk is hired;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF ANAMOSA, IOWA, authorizes the setting of a temporary salary for Penny Lode, Deputy Treasurer, effective April 22, 2022 until such a time that a new Utility Billing Clerk is trained and a new Deputy City Clerk is hired and in place.

Position	Employee Name	Hourly Wage
Deputy Treasurer	Penny Lode	\$25.00/Hour

Councilmember _____ introduced the foregoing **Resolution No. 2022-** and moved for its adoption.

Councilmember _____ seconded the motion to adopt. The roll was called and the following indicates the result of the vote.

Council Member	AYE	NAY	ABSENT
CRUMP			
SMITH			
GOMBERT			
TUETKEN			
STOUT			
ZUMBACH			

PASSED AND APPROVED this 11th day of July, 2022.

.

Rod Smith, Mayor

ATTEST:

Jeremiah Hoyt, City Administrator/City Clerk

CITY OF ANAMOSA
APPROVAL FORM FOR LIQUOR AND BEER LICENSE APPLICATIONS

Class ☒ Beer/Liquor
Sunday: Yes ☒ No ☐
New ☒ Renewal ☐ Amended ☐
Circle Appropriate Info.

NAME OF APPLICANT: Las Brasas LLC

TRADE NAME (DBA): _____

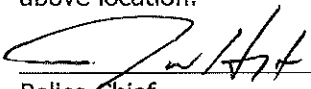
STREET ADDRESS: 300 W. Main St

PHONE (BUSINESS): 319-462-0137 **HOME (OR CELL):** _____

The undersigned have by the signatures of the officials noted below, certify that the above mentioned structure conforms to all laws within the jurisdictional limits of enforcement of said officials and may receive approval of this application.

ANAMOSA POLICE DEPARTMENT

The above named applicant(s) is approved by this department to have a beer and/or liquor license at the above location.



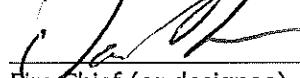
Police Chief

07/06/22

Date

Leave form at City Hall after Fire and Health signatures are complete

ANAMOSA FIRE DEPARTMENT: Fire Inspection Fee -- \$35.00, includes two inspections. Each inspection after that will be \$25 each. (Make check out to: City of Anamosa)



Fire Chief (or designee)

7/5/22

Date

Phone: 319-462-4134 for appointment

4995

JONES COUNTY ENVIRONMENTAL HEALTH DEPARTMENT: (If applicable)

The above mentioned structure and business is in compliance with the Jones County Board of Health Regulations.



Jones County Environmental Health Official

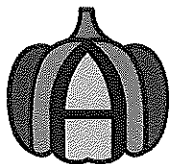
6-27-22

Date

Phone: 319-462-4715 for appointment

PLEASE RETURN FORM TO REENIE AT CITY HALL WHEN COMPLETED

Received at City Hall _____ for the _____ Council Meeting



City of Anamosa

107 South Ford Street

Anamosa, Iowa 52205

Phone: 319-462-6055 Fax: 319-462-6081

ALCOHOL COMPLAINT TRAINING CERTIFICATION

Name of Applicant: La Brasas Restaurant, LLC

Trade Name (DBA): _____

Street Address: 300 W. Main St

Phone (Business): 319-462-0137 Home (or cell): _____

As per Ordinance No. 898 adopted by the Anamosa City Council on February 19, 2015, all persons involved in the selling, serving, or dispensing of alcoholic beverages shall participate in and complete a free alcohol training program (in person or online) offered by the Iowa Alcoholic Beverage Division's approved training.

All persons required to complete training shall do so within ninety (90) days of the date on which the person becomes subject to the training requirement (date of hire or enactment of this ordinance).

All persons completing the training required by this section shall maintain active certification. Approval of liquor license applications is contingent on all servers/sellers completing the required training within the 90-day timeframe mentioned above.

If a business fails a compliance check, all servers/sellers who do not hold the in-person certification must complete the in-person classroom training.

I, Gerson Gonzalez, the owner or authorized person of the liquor license applicant (business) stated above, have read the above ordinance statement requiring that all persons working at the business as of this date, have either met the requirement for Alcohol Compliance Training.

Owner or Authorized Person

Date

Gerson Gonzalez
Printed Name of Owner or Authorized Person

Title

Penny Lode

From: noreply@salesforce.com on behalf of IOWA ABD Licensing Support
<elaps@iowaabd.com>
Sent: Friday, July 8, 2022 8:11 AM
To: Beth Brincks; Penny Lode
Cc: licensingnotification@iowaabd.com
Subject: Application App-164173 Ready for Review

Hello,

Application Number App-164173 has been set to "Submitted to Local Authority" status and is currently ready for your review.

Corp Name: L & D REYNER, INC.

DBA: Scooters

License Number:

Application Number: App-164173

Tentative Effective Date: 7/15/2022

License Type: Class B Beer Permit (BB)

Application Type: New

Amendment Type:

Thank you.